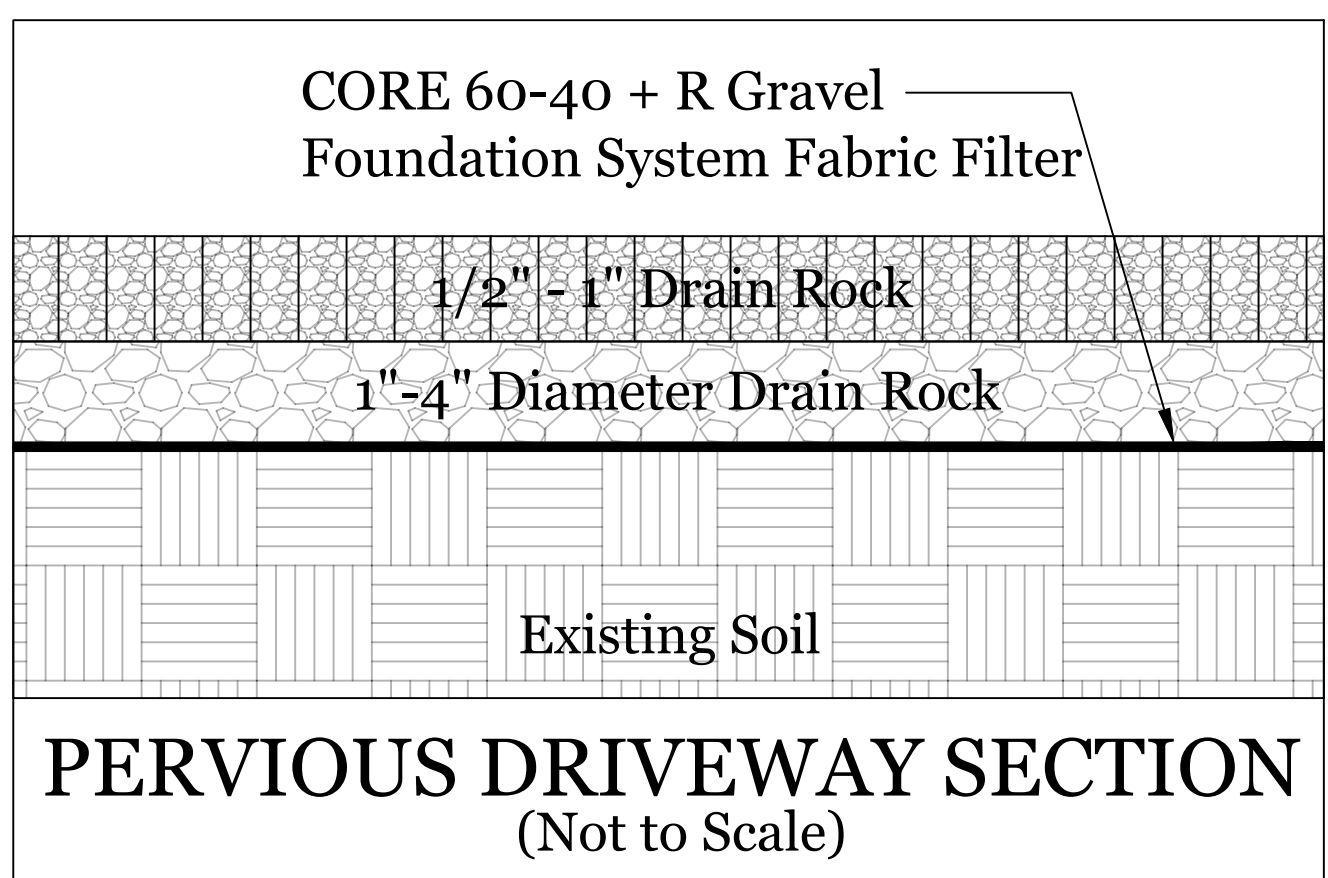
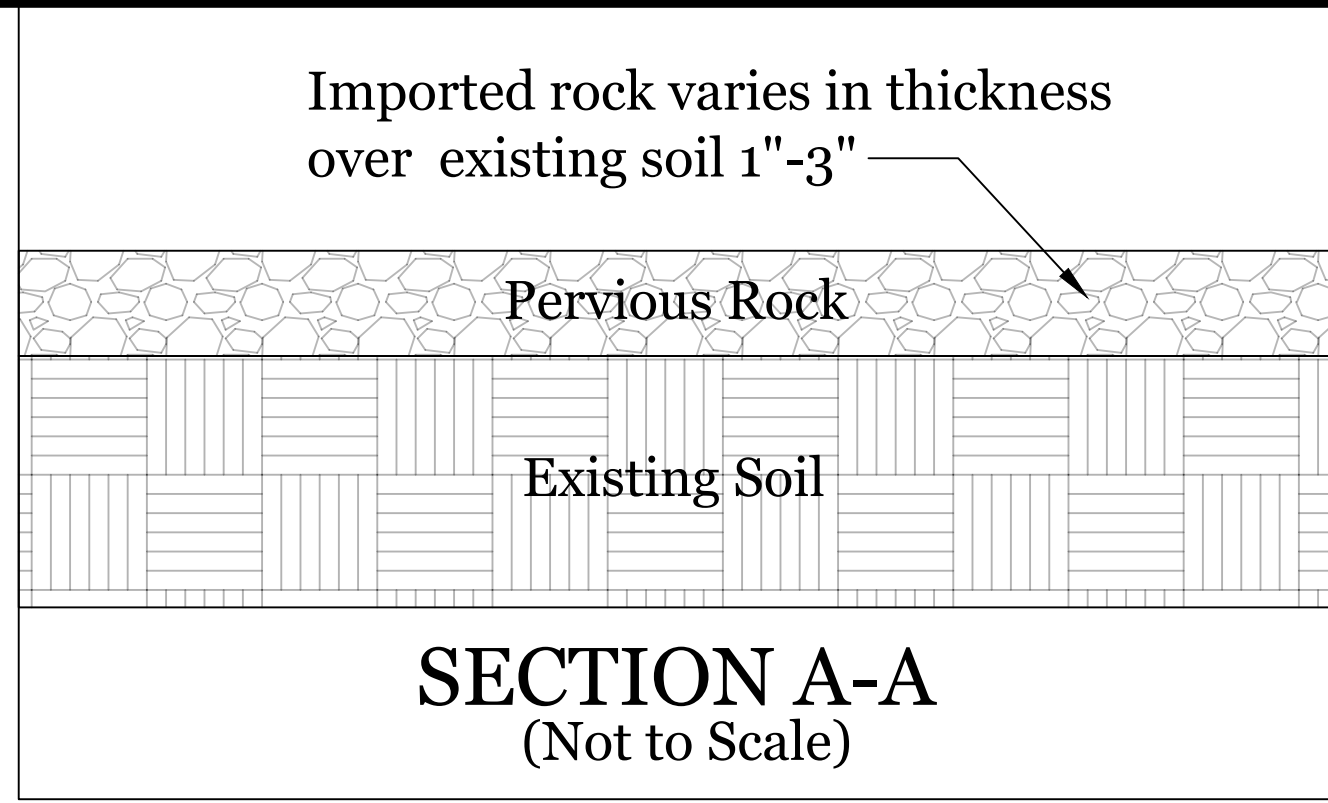
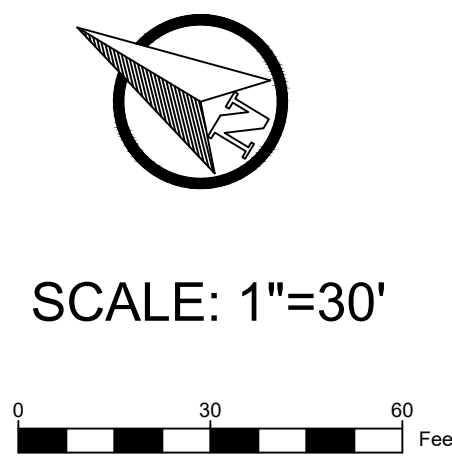


| LEGEND | |
|--------|---|
| FF | FINISHED FLOOR |
| PP | POWER POLE |
| SS.CO | SANITARY SEWER CLEANOUT |
| → | FLOW ARROW (POINTED IN DIRECTION OF WATER FLOW) |
| - - - | PROPERTY LINE |
| ▭ | BUILDING |
| ○ | FENCE |
| ○ | FIRE HYDRANT |
| ▭ | CONCRETE |
| ▭ | ASPHALT CONCRETE |
| ▭ | BAMBOO PATCH |
| ▭ | GRAVEL |



- ① Install fire hydrant per County & Fire District requirement. Connect to County Water Main.
- ② Existing asphalt driveway to be removed and install Pervious Driveway (See Section Detail).
- ③ Gate is manually operated.
- ④ Non-permeable impervious surface (3,594 SQ. FT.) to remain.
- ⑤ Non-permitted impervious pavement to be removed and replaced with pervious material.
- ⑥ Non-permitted impervious concrete to be modified to become pervious.
- ⑦ Relocate Fencing 35 feet away from existing creek top of bank.
- ⑧ Remove all existing Bamboo in creek area.
- ⑨ 107 Cu. Yds. of Imported Aggregate Rock to remain.
- ⑩ 81 Cu. Yds. of Imported Topsoil.
- ⑪ 211 Flood Elevation per FEMA map.
- ⑫ Existing shed to remain.
- ⑬ Statement by county of soil importation and placement of 81 Cu. Yds. soil was used for potted plants. There is 8 Cu. Yds. still in that area.
- ⑭ Relocate existing fencing out of County Right-of-Way with measurements as shown.
- ⑮ Install fence around existing septic tank and leach field.
- ⑯ Remove 2 existing bollards.
- ⑰ Install 53 LF of Perforated 4" Subdrain.
- ⑱ Install 28 LF of Solid 4" HPPE over to Existing Detention Basin.

MAY 25, 2023

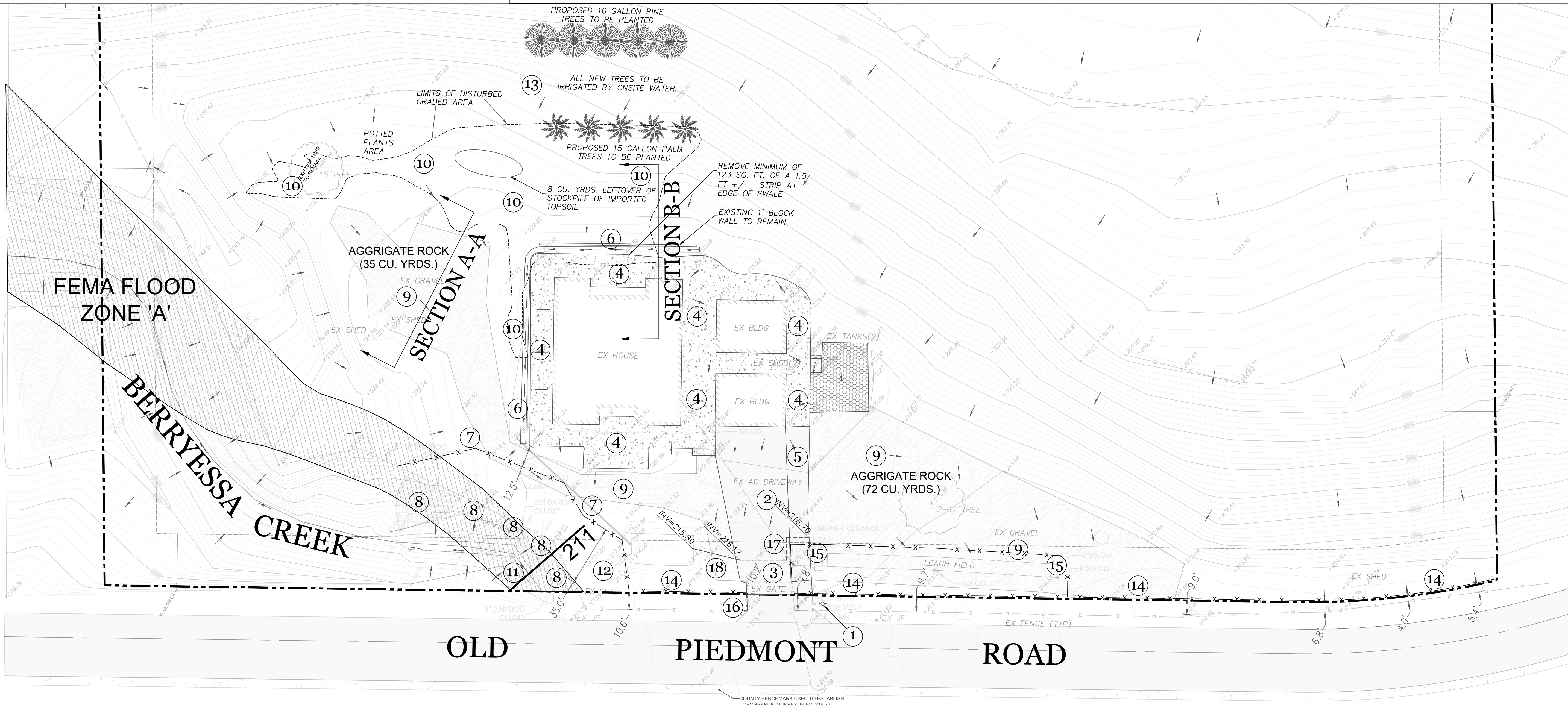
SCALE: AS SHOWN

DESIGNED BY: R A M

DRAWN BY: G J M

CHECKED BY: G L M

| No. | DATE | APVD | REVISION |
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SITE, GRADING, & DRAINAGE PLAN
 2054 Piedmonte Road
 SANTA CLARA COUNTY
 CALIFORNIA
 SAN JOSE

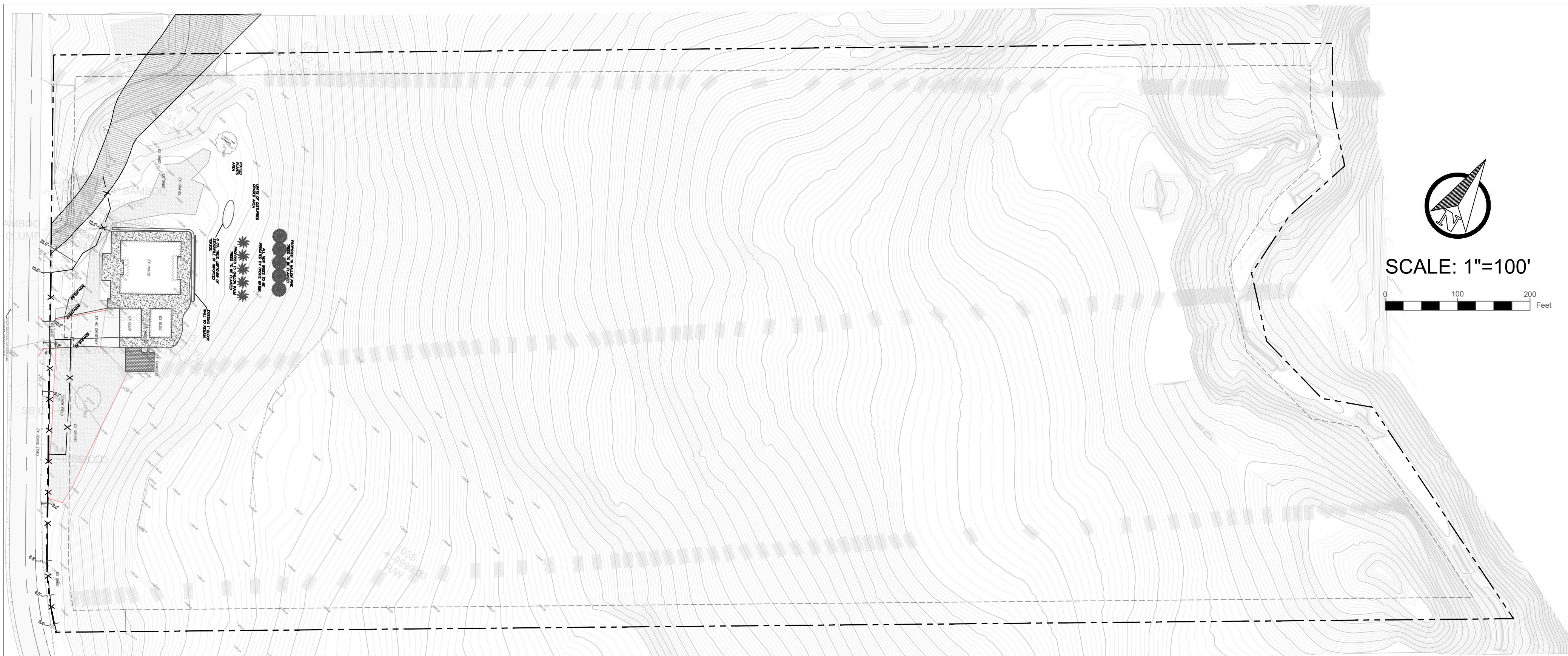
TERRA FIRMA
 ENGINEERING-SURVEYING
 LAND PLANNING
 GOLF COURSE DESIGN
 3710 LONE TREE WAY #113
 ANTIOCH, CA. 94509
 PH: 925-437-3700

GENERAL NOTES

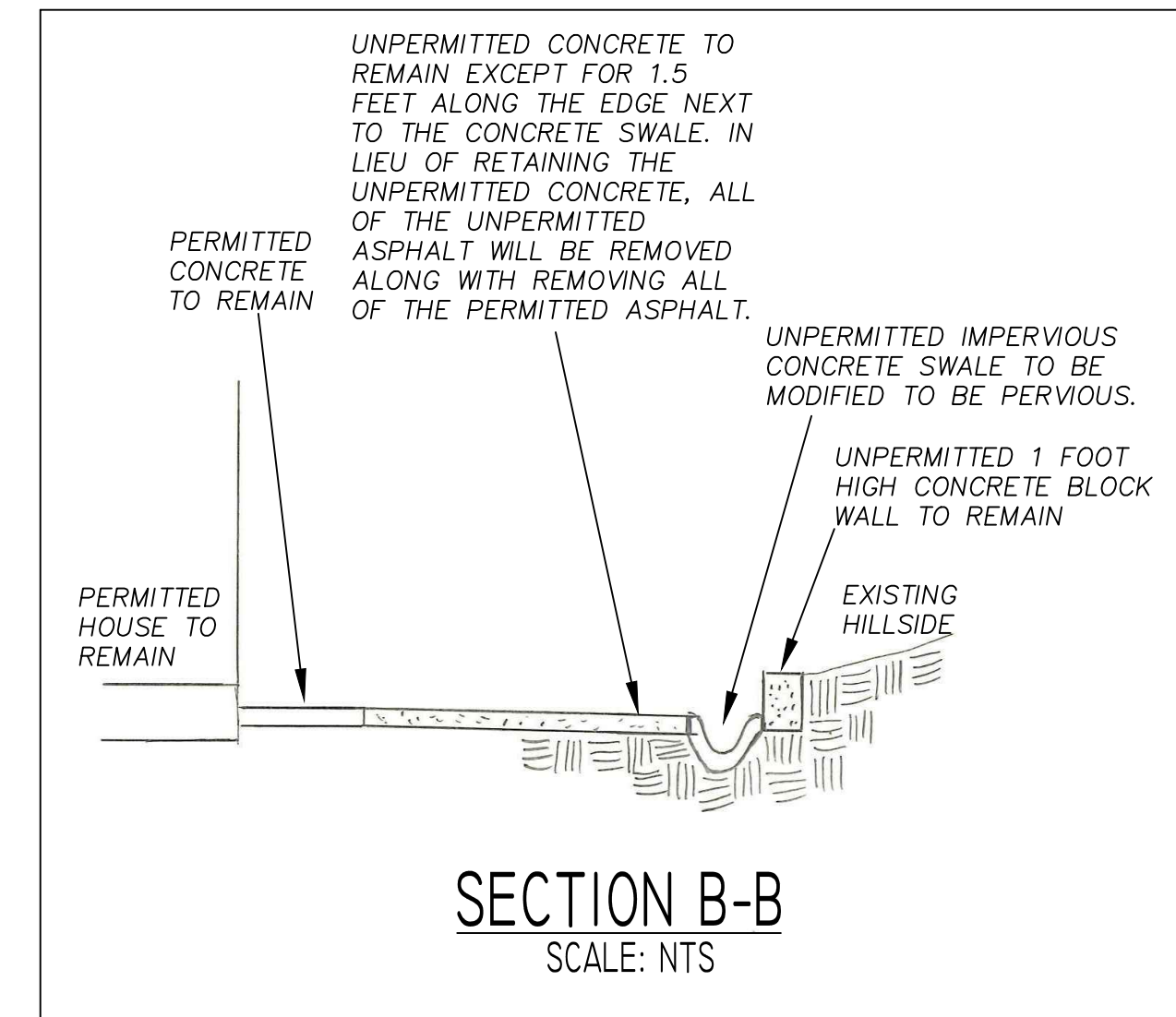
1. THE ENGINEER ASSUMES NO RESPONSIBILITY BEYOND THE ACCURACY OF HIS DESIGN CONTAINED HEREIN.
2. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND DISTRIBUTED BY THE ENGINEERING SERVICES DIVISION PRIOR TO ACCEPTANCE OF THE WORK AS COMPLETE.
3. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, (800) 642-2444, 48 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
4. ALL UTILITY DISTRIBUTION FACILITIES SHALL BE INSTALLED UNDERGROUND.
5. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT TERRA FIRMA ENGINEERS AT (925) 437-3700 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
6. IF PAVING AND STORM DRAIN IMPROVEMENTS ARE NOT COMPLETED BY OCTOBER 1ST, TEMPORARY SILT AND DRAINAGE CONTROL FACILITIES SHALL BE INSTALLED TO CONTROL AND CONTAIN EROSION-CAUSED SILT DEPOSITS AND TO PROVIDE FOR THE SAFE DISCHARGE OF STORM WATERS INTO EXISTING STORM WATER FACILITIES. DESIGN OF THESE FACILITIES MUST BE APPROVED BY THE BUILDING INSPECTION DEPARTMENT.
7. CONTRACTOR IS RESPONSIBLE FOR TESTING (IN PRIVATE STREET) AND PROVIDING RESULTS TO COUNTY GRADING INSPECTOR.
8. THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS AND PROCEDURES OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR MUNICIPAL CONSTRUCTION AND INDUSTRIAL ACTIVITIES AS PROMULGATED BY THE CALIFORNIA STATE WATER RESOURCE CONTROL BOARD OR ANY OF ITS REGIONAL WATER QUALITY CONTROL BOARDS.
9. MINIMUM RELATIVE COMPACTION REQUIRED UNDER DRIVEWAYS SHALL BE 95%.
10. GRADING ADJACENT TO NEIGHBORING PROPERTY SHALL BE DONE SUCH THAT EXISTING DRAINAGE PATTERN FROM THESE LOTS SHALL NOT BE DISTURBED. ANY CONFLICT SHALL BE REPORTED TO THE ENGINEER.
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS REPORT.
12. ALL GRADES SHOWN ARE FOR FINISHED SURFACES. CONTRACTOR TO MAKE APPROPRIATE ALLOWANCES FOR ROUGH GRADES.
13. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING HIS WORK TO AVOID CONFLICTS BETWEEN SEWER LATERALS, STORM DRAINS AND WATER MAINS.
14. THE CONTRACTOR SHALL COOPERATE AND COORDINATE HIS WORK WITH ALL OTHER UTILITY COMPANIES.
15. THE CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND/OR PERPETUATION OF ALL EXISTING MONUMENTS WHICH CONTROL SUBDIVISIONS, TRACTS, STREETS, OR HIGHWAYS, OR PROVIDE SURVEY CONTROL WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTORS' WORK. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 WORKING DAYS NOTICE TO PROJECT ENGINEER/SURVEYOR PRIOR TO DISTURBANCE OR REMOVAL OF EXISTING MONUMENTS. PROJECT ENGINEER/SURVEYOR SHALL COORDINATE WITH THE CONTRACTOR TO RESET MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR PER BUSINESS AND PROFESSIONS CODE SECTION 8771.
16. NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE REMOVED ON THE IMPROVEMENT PLANS. IF ANY TREES ARE TO BE REMOVED, THE IMPROVEMENT PLANS MUST BE REVIEWED AND ACKNOWLEDGED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED PROPERLY, TREATED AND SEALED.
17. NOISE GENERATING CONSTRUCTION ACTIVITIES, INCLUDING SUCH THINGS AS POWER GENERATORS, SHALL BE LIMITED TO THE HOURS OF 7:30 A.M. TO 5:30 P.M., MONDAY THROUGH FRIDAY, AND SHALL BE PROHIBITED ON STATE OR FEDERAL HOLIDAYS. THE RESTRICTIONS ON ALLOWED WORKING DAYS MAY BE MODIFIED ON PRIOR WRITTEN APPROVAL BY ZONING ADMINISTRATOR.
18. THE CONTRACTOR AND HIS SUBCONTRACTORS ARE REQUIRED TO FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS WHICH ARE IN A GOOD CONDITION AND SHALL LOCATE STATIONARY NOISE GENERATING EQUIPMENT SUCH AS AIR COMPRESSORS AND CONCRETE PUMPERS AS FAR AWAY FROM EXISTING RESIDENCES AS POSSIBLE.
19. A DUST AND LITTER CONTROL PROGRAM SHALL BE SUBMITTED FOR THE REVIEW AND APPROVAL OF THE ZONING ADMINISTRATOR. ANY VIOLATION OF THE APPROVED PROGRAM OR APPLICABLE ORDINANCE SHALL REQUIRE AN IMMEDIATE WORK STOPPAGE. CONSTRUCTION WORK SHALL NOT BE ALLOWED TO RESUME UNTIL, IF NECESSARY, AN APPROPRIATE CONSTRUCTION BOND HAS BEEN POSTED.

| EARTHWORK QUANTITIES | |
|----------------------|---|
| IMPORTED ROCK | 107 CU. YRDS. (72 CU. YRDS. + 35 CU. YRDS.) |
| IMPORTED SOIL | 81 CU. YRDS. |

| IMPERVIOUS AREAS | |
|--|---------------|
| PREVIOUSLY PERMITTED IMPERVIOUS SURFACES | 11590 SQ. FT. |
| UNPERMITTED IMPERVIOUS SURFACES | 4,738 SQ. FT. |



SITE MAP

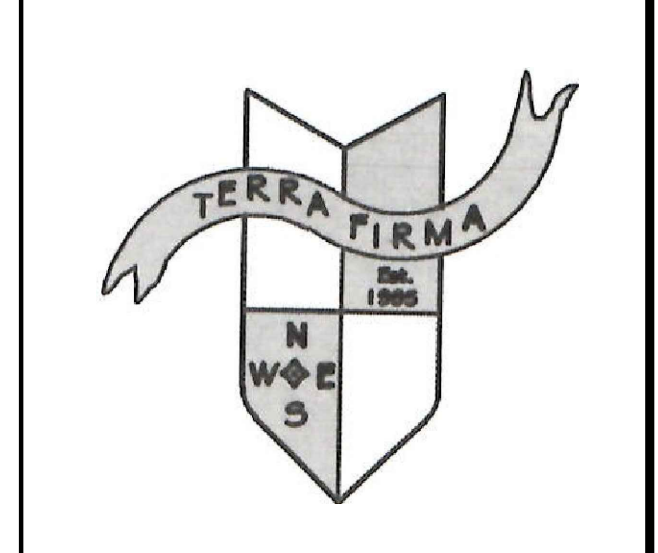


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| MAY 25, 2023 |
| SCALE: AS SHOWN |
| DESIGNED BY: R A M |
| DRAWN BY: G J M |
| CHECKED BY: G L M |



| No. | DATE | APVD | REVISION |
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SITE, GRADING, & DRAINAGE PLAN
2054 Piedmonte Road
 SANTA CLARA COUNTY CALIFORNIA
 SAN JOSE



TERRA FIRMA
 ENGINEERING-SURVEYING
 LAND PLANNING
 GOLF COURSE DESIGN
 3710 LONE TREE WAY #113
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 PH: 925-437-3700

GRADING NOTES

- ALL GRADING, SITE PREPARATION, PLACING AND COMPACTION OF FILL TO BE DONE IN ACCORDANCE WITH SANTA CLARA COUNTY GRADING ORDINANCE NO. 99-46; ALSO UNDER THE DIRECT SUPERVISION OF THE SOIL ENGINEER. SUBSEQUENT TO COMPLETION OF THE WORK, THE SOIL ENGINEER SHALL SUBMIT TO THE COUNTY BUILDING INSPECTION DEPARTMENT A REPORT STATING THAT ALL WORK HAS BEEN DONE TO ITS SATISFACTION.
- CONTRACTOR TO NOTIFY SANTA CLARA COUNTY GRADING SECTION 48-HOURS PRIOR TO START OF WORK. OWNER/CONTRACTOR NEEDS TO SET UP AN INSPECTION (CODE 600) OFF THE PERMIT CARD.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER. ANY DEVIATION FROM APPROVED PLAN REQUIRES APPROVAL FROM THE SANTA CLARA COUNTY SENIOR GRADING INSPECTOR.
- ALL SLIDE REPAIR WORK, KEYWAYS, SUBDRAIN INSTALLATION, AND LINED DITCH WORK SHALL BE INSPECTED BY THE GRADING SECTION. REPORT FROM THE SOIL ENGINEER SHALL BE SUBMITTED TO THE GRADING SECTION REGARDING THE SLIDE REPAIR AND/OR SUBDRAIN INSTALLATION.

6. DURING GRADING OPERATIONS, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES ON SITE AND HAUL ROUTES.
7. A FINAL REPORT BY THE CIVIL ENGINEER CERTIFYING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED AND THE SLOPE PLANTING INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS, SHALL BE SUBMITTED TO THE COUNTY PRIOR TO ISSUANCE OF BUILDING PERMITS.
8. SILT AND EROSION CONTROL PLANS REQUIRED FOR WORK DURING RAINY SEASON. (OCTOBER 15 THROUGH APRIL 15) EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY OCT. 1.
9. IF THERE ARE ANY EXISTING WATER WELLS ON THIS PROPERTY, YOU SHALL CONTACT THE COUNTY DEPARTMENT OF HEALTH SERVICES, ENVIRONMENTAL HEALTH DIVISION, PRIOR TO ANY GRADING IN THE IMMEDIATE VICINITY OF THESE WELLS.
10. GRADING WORK HOURS ARE 7:30 A.M. TO 5:30 P.M., MONDAY THRU FRIDAY. NO GRADING WORK WILL BE PERFORMED ON OBSERVED NATIONAL HOLIDAYS.

County of Santa Clara
Department of Planning and Development

County Government Center, East Wing
70 West Hedding Street, 7th Floor
San Jose, California 95110



CLEAN WATER QUESTIONNAIRE

Which Projects Must Comply with Stormwater Requirements? (READ THIS FIRST)

All projects that create and/or replace **10,000 sq. ft.** or more of impervious surface on the project site must fill out this worksheet and submit it with the development project application.

All restaurants, auto service facilities, retail gasoline outlets, and uncovered parking lot projects (stand-alone or part of another development project, including the top uncovered portion of parking structures) that create and/or replace **5,000 sq. ft.** or more of impervious surface on the project site must also fill out this worksheet.

Interior remodeling projects, routine maintenance or repair projects such as re-roofing and re-paving, and single family homes that are not part of a larger plan of development are **NOT** required to complete this worksheet.

What is an Impervious Surface?

An impervious surface is a surface covering or pavement that prevents the land's natural ability to absorb and infiltrate rainfall/stormwater. Impervious surfaces include, but are not limited to rooftops, walkways, paved patios, driveways, parking lots, storage areas, impervious concrete and asphalt, and any other continuous watertight pavement or covering. Pervious pavement, underlain with pervious soil or pervious storage material (e.g., drain rock), that infiltrates rainfall at a rate equal to or greater than surrounding unpaved areas OR that stores and infiltrates the water quality design volume specified in Provision C.3.d of the Municipal Regional Stormwater Permit (MRP), is not considered an impervious surface.

For More Information

For more information regarding selection of Best Management Practices for stormwater pollution prevention or stormwater treatment contact the Development Services Office: **(408) 299-5700**

1. Project Information

Project Name: _____ **APN #** _____

Project Address: _____

Cross Streets: _____

Applicant/Developer Name: _____

Project Phase(s): _____ **of** _____ **Engineer:** _____

Project Type (Check all that apply): New Development Redevelopment

Private Public

Residential Commercial Industrial Mixed Use Institutional

Restaurant Uncovered Parking Retail Gas Outlet Auto Service (SIC code) _____

Other _____ (5013-5014, 5541, 7532-7534, 7536-7539)

Project Description: _____

Project Watershed/Receiving Water (creek, river or bay): _____

2. Project Size

| a. Total Site Area: _____ acres | | b. Total Site Area Disturbed: _____ acres (including clearing, grading, or excavating) | | | |
|--|--|---|--|--|--|
| <i>Site Totals</i> | Total Existing (Pre-project) Area (ft ²) | Existing Area Retained ¹ (ft ²) | Existing Area Replaced ² (ft ²) | New Area Created ² (ft ²) | Total Post-Project Area (ft ²) |
| c. Total Impervious Area (IA) | | | | | |
| d. Total new and replaced impervious area | | | | | |
| e. Total Pervious Area (PA) ³ | | | | | |
| f. Total Area (IA+PA) | | | | | |
| g. Percent Replacement of IA in Redevelopment Projects: (Existing IA Replaced ÷ Existing Total IA) x 100% _____% | | | | | |

3. State Construction General Permit Applicability:

a. Is #2.b. equal to 1 acre or more?

- Yes, applicant must obtain coverage under the State Construction General Permit (see https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)
- No, applicant does not need coverage under the State Construction General Permit.

4. MRP Provision C.3 Applicability:

a. Is #2.d. equal to **10,000** sq. ft. or more, or **5,000** sq. ft. or more for restaurants, auto service facilities, retail gas outlets, and stand-alone uncovered parking?

- Yes, C.3. source control, site design and treatment requirements apply
- No, C.3. source control and site design requirements may apply – check with local agency

b. For redevelopment projects, is #2.g. equal to 50% or more?

- Yes, C.3. requirements (site design and source control, as appropriate, and stormwater treatment) apply to the entire site
- No, C.3. requirements only apply to the impervious area created and/or replaced

c. Does the project create and/or replace 5,000 sf or more of impervious surface parking?

- Yes, C.3. requirements may apply to the entire site – check with local agency
- No

5. Hydromodification Management (HM) Applicability:

a. Does the project create and/or replace one acre or more of impervious surface AND is the total post-project impervious area greater than the pre-project (existing) impervious area?

- Yes (continue) No – exempt from HM, go to page 3

b. Is the project located in an area of HM applicability (green area) on the HM Applicability Map? (www.scvurppp.org/hmp-map)

- Yes, the project must implement HM requirements
- No, the project is exempt from HM requirements

¹ “Retained” means to leave existing IA in place. An IA that goes through maintenance (e.g., pavement resurfacing/slurry seal/grind), but no change in grade is considered “retained”.

² The “new” and “replaced” IA are based on the total area of the site and not specific locations on site. For example, impervious parking created over a pervious area is not “new” IA, if an equal amount of pervious area replaces IA somewhere else on the site. Constructed IA on a site that does not exceed the total pre-project IA will be considered “replaced” IA. A site will have “new” IA only if the total post-project IA exceeds the total pre-project IA (total post-project IA – total pre-project IA = New IA).

³ Include bioretention areas, infiltration areas, green roofs, and pervious pavement in PA calculations.

6. Selection of Specific Stormwater Control Measures:

Site Design Measures

- Minimize land disturbed (e.g., protect trees and soil)
- Minimize impervious surfaces (e.g., reduction in post-project impervious surface)
- Minimum-impact street or parking lot design (e.g., parking on top of or under buildings)
- Cluster structures/ pavement
- Disconnected downspouts (direct runoff from roofs, sidewalks, patios to landscaped areas)
- Pervious pavement
- Green roof
- Other self-treating⁴ area (e.g., landscaped areas)
- Self-retaining⁴ area
- Interceptor trees³
- Rainwater harvesting and use (e.g., rain barrel, cistern for designated use)⁵
- Preserved open space: _____ ac. or sq. ft. (circle one)
- Protected riparian and wetland areas/buffers (Setback from top of bank: _____ ft.)
- Other _____

Source Control Measures

- Wash area/racks, drain to sanitary sewer⁵
- Covered dumpster area, drain to sanitary sewer⁶
- Sanitary sewer connection or accessible cleanout for swimming pool/spa/fountain⁶
- Beneficial landscaping (minimize irrigation, runoff, pesticides and fertilizers; promotes treatment)
- Outdoor material storage protection
- Covers, drains for loading docks, maintenance bays, fueling areas
- Maintenance (pavement sweeping, catch basin cleaning, good housekeeping)
- Storm drain labeling
- Other _____

Treatment Measures

- None (all impervious surface drains to self-retaining areas)

LID Treatment

- Bioretention area
- Flow-through planter
- Tree Well Filter or Trench with bioretention soils
- Rainwater harvest/use (e.g., cistern or rain barrel for designated use, sized for C.3.d treatment)
- Infiltration trench
- Infiltration well/dry well
- Subsurface Infiltration System (e.g. vault or large diameter conduit over drain rock)
- Other _____

Non-LID Treatment Methods

- Proprietary high flow rate tree box filter⁷
- Proprietary high flow media filter (sand, compost, or proprietary media)⁷
- Vegetated filter strip⁸
- Extended detention basin⁸
- Vegetated swale⁸
- Other _____

Flow Duration Controls for Hydromodification Management (HM)

- Extended Detention basin
- Underground tank or vault
- Bioretention with outlet control
- Other _____

⁴ See SCVURPPP C3 Handbook for definitions. <https://scvurppp.org/2016/06/20/c-3-stormwater-handbook-june-2016/>

⁵ Optional site design measure; does not have to be sized to comply with Provision C.3.d treatment requirements.

⁶ Subject to sanitary sewer authority requirements.

⁷ These treatment measures are only allowed if the project qualifies as a "Special Project".

⁸ These treatment measures are only allowed as part of a multi-step treatment process (i.e., for pretreatment).

