

PLANS FOR GRADING ABATEMENT & GRADING PERMIT AFTER THE FACT

LANDS OF SMITH

4012 HIGUERA HIGHLAND LANE, SAN JOSE, CALIFORNIA
A.P.N. 654-15-001
(COUNTY FILE NO. VIO-9273;11461-54-68-18GV)

SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SITE SPECIFIC & SECTIONS
3	EROSION CONTROL PLAN

GENERAL NOTES

OWNERS: LANDS OF SMITH
4012 HIGUERA HIGHLAND LANE
SAN JOSE, CA 95148

PROPERTY ADDRESS: 4012 HIGUERA HIGHLAND LANE
SAN JOSE, CA 95148

EXISTING ZONING: HS

NET ACREAGE: 13.61± Ac. GROSS

EXISTING USE: SINGLE FAMILY RESIDENCE

STORM: EXISTING NATURAL DRAINAGE PATTERNS

SANITARY: INDIVIDUAL SEPTIC TANK & LEACH FIELD

WATER: ON-SITE WATER WELL & STORAGE TANKS

ELECTRIC: P.G.E.
EXISTING IN HIGUERA HIGHLAND LANE AND ON-SITE

TELEPHONE: AT&T
EXISTING IN HIGUERA HIGHLAND LANE

CABLE TV: COMCAST
EXISTING IN HIGUERA HIGHLAND LANE

A.P.N. 654-15-001

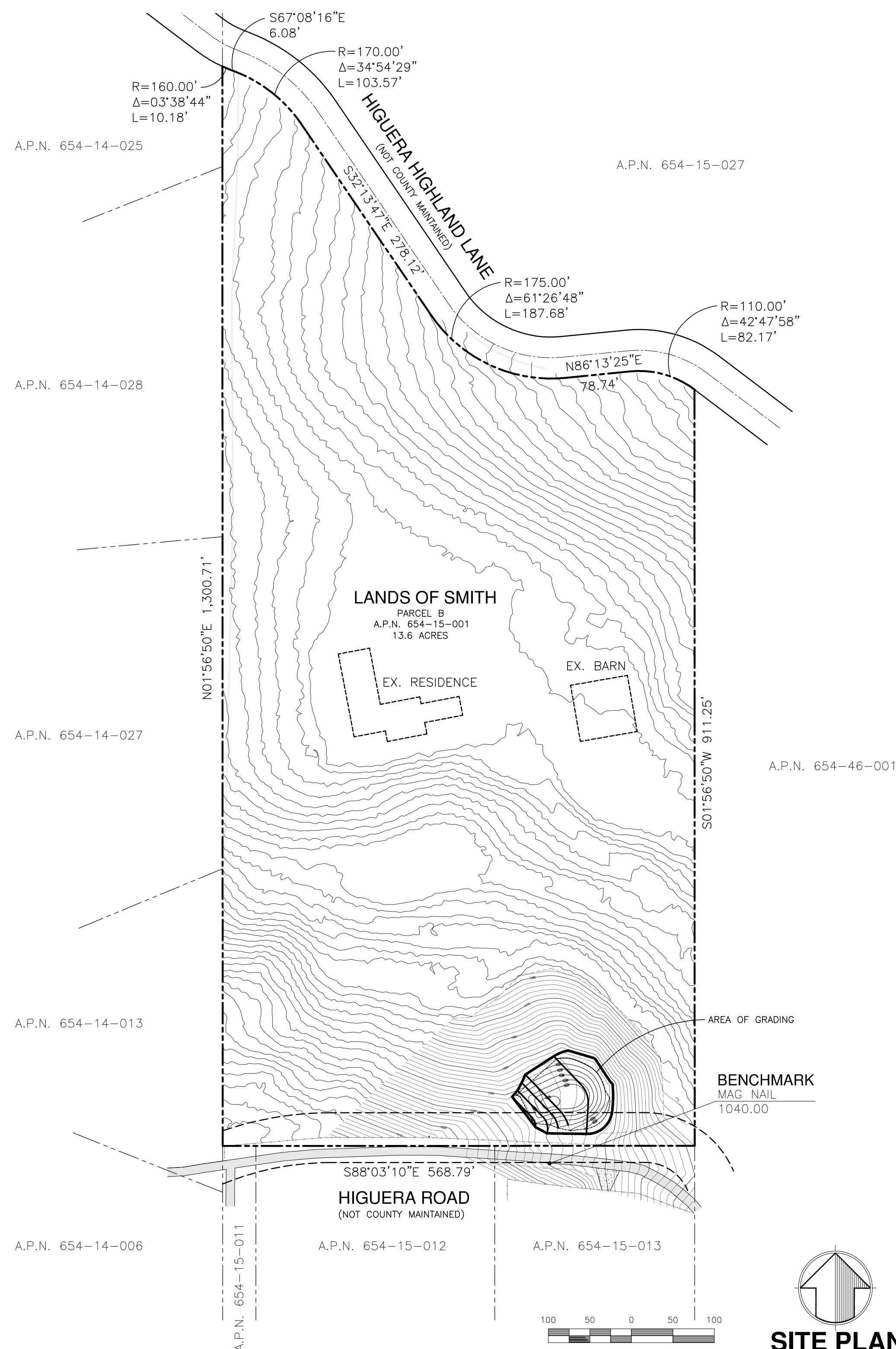
SITE IS OF RECORD: PARCEL B
PARCEL MAP BOOK 283 OF MAPS AT PAGE 32



VICINITY MAP
N.T.S.

ABBREVIATIONS

A.D.	= Area Drain
AC, or A.C.	= Asphalt, Concrete
B.C.	= Begin Curve
B.S.L.	= Building Setback Line
B.V.C.	= Begin Vertical Curve
B.W.	= Bottom of Wall
C. & G.	= Curb and Gutter
C.B.	= Catch Basin
C.O.	= Clean Out
C.T.	= Common Trench
CL	= Centerline
Conc.	= Concrete
D/W	= Driveway
E.C.	= End Curve
E.P.	= Edge of Pavement
E.V.A.E.	= Emergency Vehicle Access Easement
E.V.C.	= End Vertical Curve
Ex. or Exist.	= Existing
F.F.	= Finish Floor
F.H.	= Fire Hydrant
F.L.	= Flow Line
F.O.C.	= Face of Curb
Find.	= Found
Horiz.	= Horizontal
I. & E.E.	= Ingress and Egress Easement
Inv.	= Invert
IP	= Iron Pipe
L.E.	= Landscape Easement
L.F.	= Linear Feet
L.L.	= Lot Line
M.H.	= Manhole
Max.	= Maximum
Min.	= Minimum
Mon.	= Monument
N.T.S.	= Not To Scale
Nat.	= Natural
P.R.C.	= Point of Reverse Curve
P.S.E.	= Public Service Easement
P.U.E.	= Public Utility Easement
P.V.I.	= Point of Vertical Intersection
Pav.	= Pavement
Pl. or Prop.	= Property Line
R.C.E.	= Road Construction Easement
R/W	= Right-of-Way
Ret.	= Retaining
S.D.	= Storm Drain
S.D.E.	= Storm Drain Easement
S.E.	= Slope Easement
S.S.	= Sanitary Sewer
S.S.E.	= Sanitary Sewer Easement
S/W	= Sidewalk
Sta.	= Station
T.C.	= Top of Curb
T.O.C.	= Top of Cable
T.O.P.	= Top of Pipe
T.W.	= Top of Wall
Tel.	= Telephone
TP	= Top of Pavement
U.E.	= Utilities Easement
Vert.	= Vertical
W	= Water
W.E.	= Water Easement
W.M.	= Water Meter



ALL ADDITIONAL GRADING SHALL BE PER GEOLOGIC AND GEOTECHNIC STUDY PREPARED BY C2EARTH, INC. DATED MARCH 16, 2021

GENERAL NOTES

- TOPOGRAPHY OBTAINED MAY, 2020.
- CONTOUR INTERVAL IS 2-FOOT WITH SPOT ELEVATIONS.
- AREA OF 5-FOOT CONTOUR INTERVAL BY LIDAR AERIAL METHOD
- BASIS OF ELEVATION: LIDAR METHOD (GIS) USGS DATUM.
- THIS TOPOGRAPHIC MAP REPRESENTS SURFACE FEATURES ONLY.
- PROPERTY LINES SHOWN ARE RECORD DATA. PM 283 M 32

SPECIAL NOTES

- THE UNPERMITTED GRADING OCCURRED IN OCTOBER 2018.
- APPROXIMATELY 1,257 CUBIC YARDS OF DIRT WAS IMPORTED.
- EXISTING HOLE UP TO 12-FOOT DEEP WAS FILLED.

REASON FOR GRADING

- THERE WAS ORIGINALLY A NATURAL, APPROXIMATELY 100-FOOT WIDE, DEPRESSION.
- DUE TO THE EXISTING TERRAIN CONFIGURATION, IN THE LATE 1960'S EARLY 1970'S THIS SEGMENT OF HIGUERA ROAD WAS CONSTRUCTED ON FILL APPROXIMATELY 12-FOET HIGH.
- THE CONSTRUCTION OF THIS SEGMENT OF HIGUERA ROAD CREATED A HOLE ON THE NORTH SIDE OF HIGUERA ROAD.
- THIS MANMADE HOLE AREA WOULD POND WITH WATER DURING THE RAINY SEASON CREATING A LARGE PROBLEM WITH MOSQUITOS, AND, TRASH ACCUMULATED IN THE HOLE.
- THE PRESENT OWNER DECIDED TO FILL THE HOLE TO MEET THE HIGUERA ROAD ELEVATION AND TO ELIMINATE THE PROBLEMS CREATED BY THE MANMADE HOLE, AND FOR EASE OF MAINTENANCE.
- HIGUERA ROAD IS VERY NARROW, 10 TO 12-FOET WIDE, WITH NO TURNAROUND OR TURN OUT AREAS. THIS NEW FLAT AREA PROVIDES A WIDE TURNAROUND AREA FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
- THE NEW GRADED AREA WAS USED AS A STAGING AREA FOR FIRE EQUIPMENT WHEN THERE WAS A FIRE IN THE FOOTHILLS IN 2019.
- THIS NEWLY CREATED TURNAROUND AREA HAS BECOME VERY IMPORTANT TO THE LOCAL RESIDENTS AND SHOULD REMAIN AS-IS.

CORRECTIVE ACTION

- IT IS RECOMMENDED TO LEAVE THE UNPERMITTED FILL AS-IS.
- THE EXISTING FILL IS IN A STABLE CONFIGURATION.
- ADDITIONAL FILL REQUIRED PER GEOTECHNICAL REPORT.

GRADING QUANTITIES

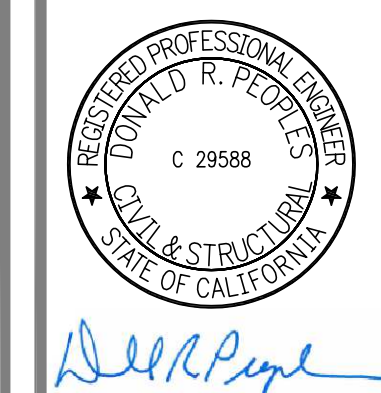
LOCATION	CUT (In Cubic Yards)	FILL (In Cubic Yards)	DEPTH (In Feet)
IMPORTED FILL	0	1,257	12
TOTAL	0	1,257	12

FILL TO REMAIN ON-SITE

ADDITIONAL FILL REQUIRED

LOCATION	CUT (In Cubic Yards)	FILL (In Cubic Yards)	DEPTH (In Feet)
IMPORTED FILL*	0	583	2
GRAND TOTAL	0	1,840	12

*FILL REQUIRED PER GEOTECHNICAL REPORT



DESIGNED BY: V.S.
DRAWN BY: R.S.C.
CHECKED BY: V.S.
SCALE: AS SHOWN
DATE: 6-29-20

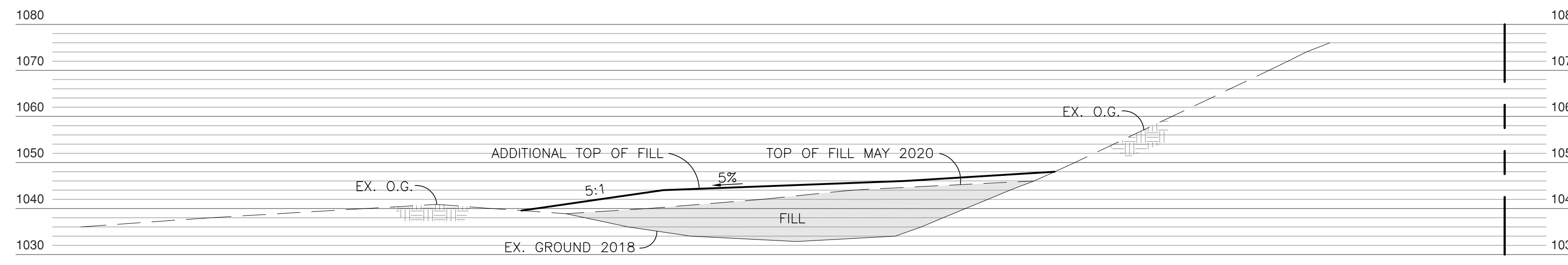
REV.	DATE	DESCRIPTION
1	10.22	ADDITIONAL FILL ADDED
0	07.20	RELEASED TO CLIENT & COUNTY

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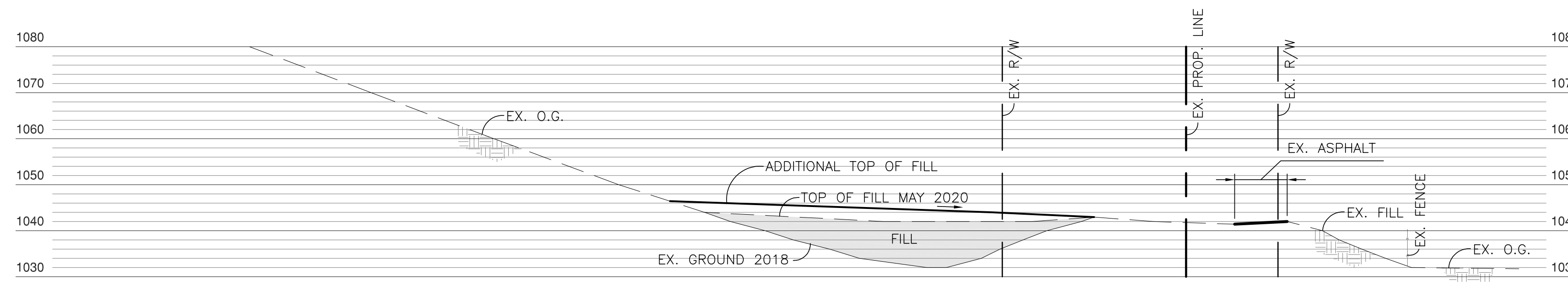
PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
408-687-8220
San Jose, California
www.peas.com
Pleasanton, California

APPROVED BY: V.S.

TITLE SHEET
LANDS OF SMITH
4012 HIGUERA ROAD
SAN JOSE, CALIFORNIA



SECTION A-A
SCALE: 1"=20' HOR. & VERT.



SECTION B-B
SCALE: 1"=20' HOR. & VERT.

LEGEND

- — — — — = PROPERTY LINE
- — — — — = ADJACENT PROPERTY LINE
- — — — — = RIGHT-OF-WAY
- — — — — = CENTERLINE
- 1040 ○ = NATURAL CONTOURS (PRIOR GRADING)
- 1040 — = EXISTING MAJOR CONTOUR (FILL)
- 1040 — = EXISTING MINOR CONTOUR (FILL)
- x — x — = EXISTING FENCE LINE
- x — x — = EXISTING 5-FOOT LIDAR CONTOUR
- 1040 — = NEW CONTOUR (ADDITIONAL FILL)

GRADING QUANTITIES

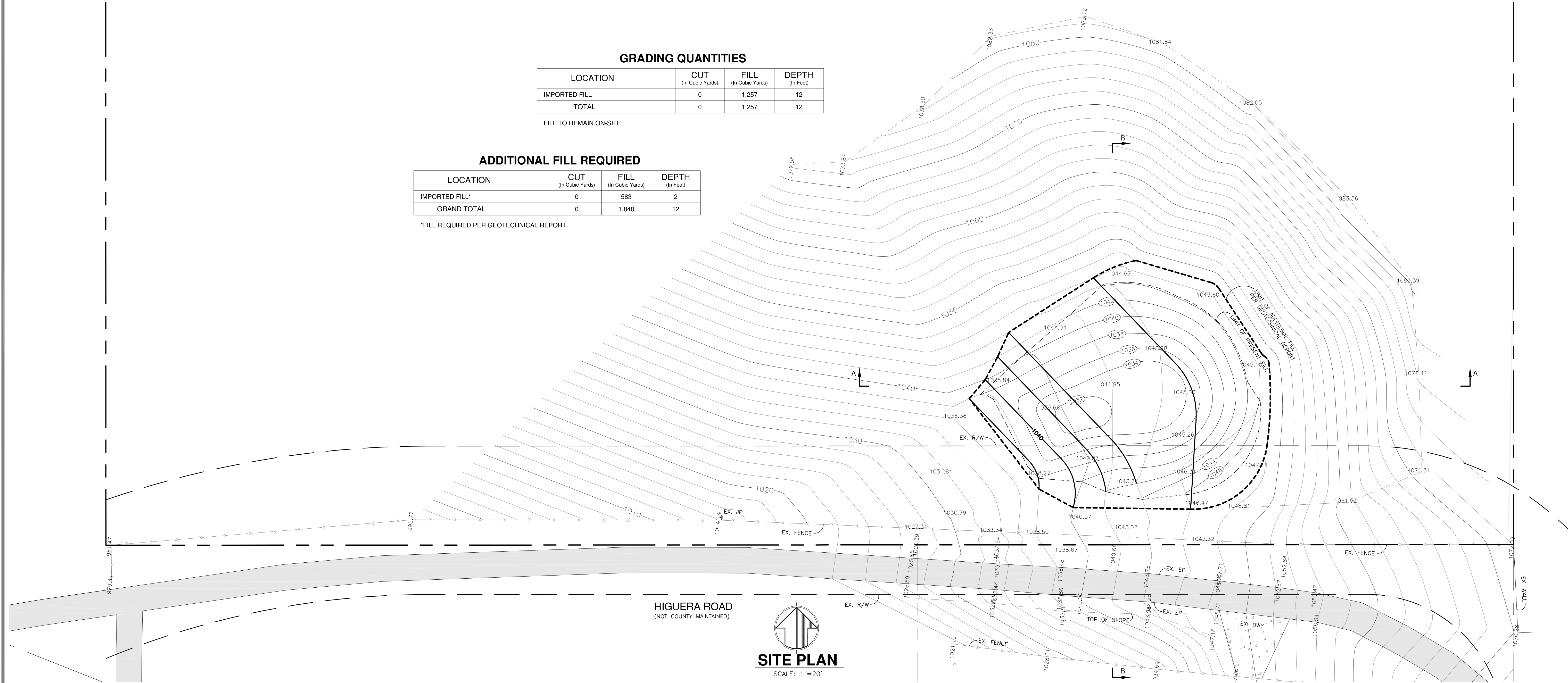
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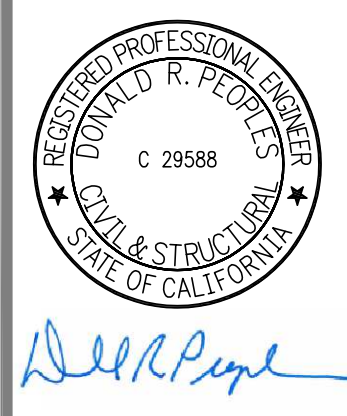
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HIGUERA ROAD
(NOT COUNTY MAINTAINED)

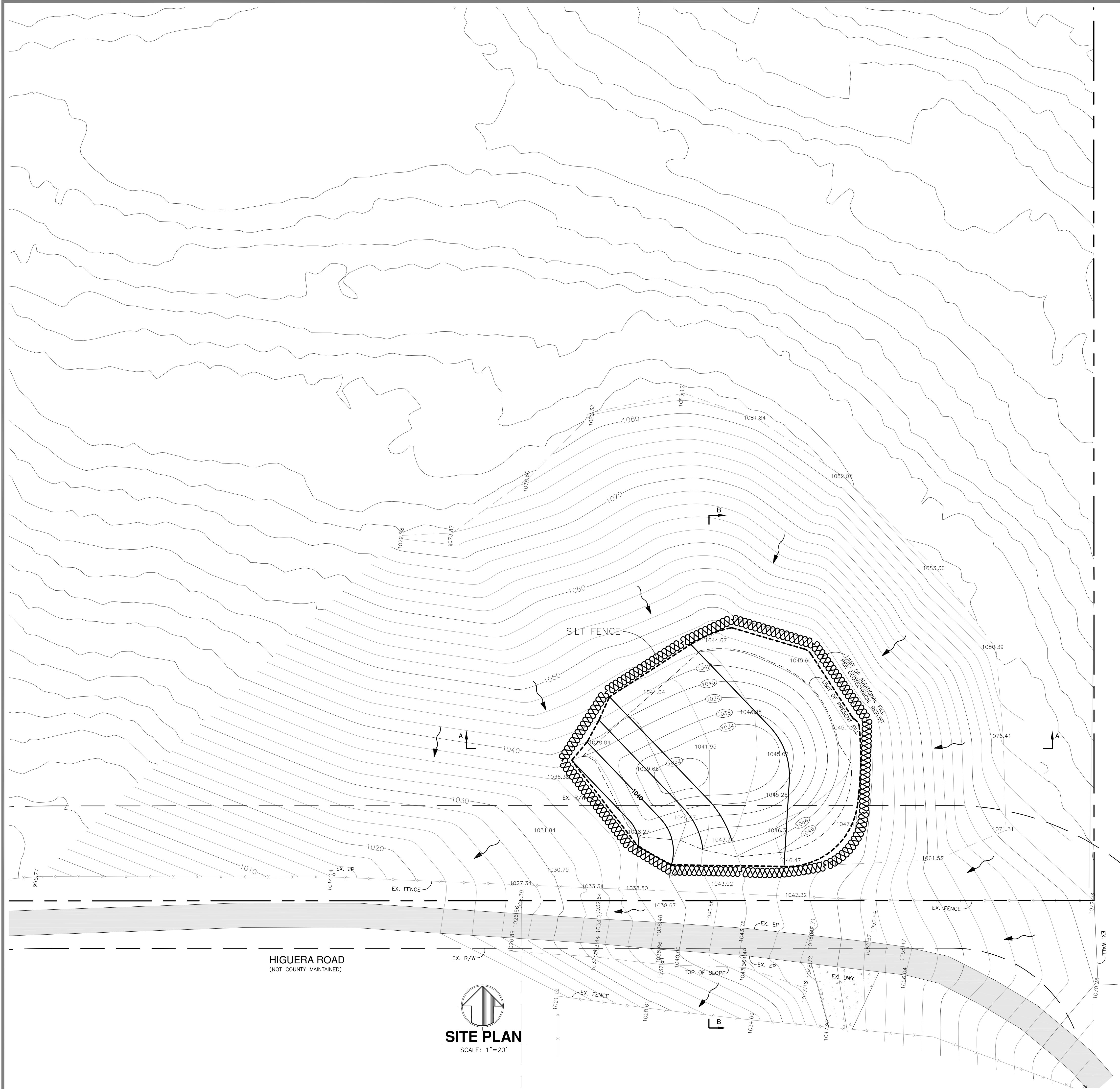


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CHECKED BY: <td>V.S. <td></td> <td></td> </td>	V.S. <td></td> <td></td>		

PEOPLES ASSOCIATES
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408-87-0220
San Jose, California
www.peas.com
Pleasanton, California
P.E. NO. 29,588
DATE: 6-29-20

SITE SPECIFIC & SECTIONS
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SAN JOSE, CALIFORNIA



- LEGEND:**
-  = Silt Fence or Straw Wattles
 -  = Direction of Flow

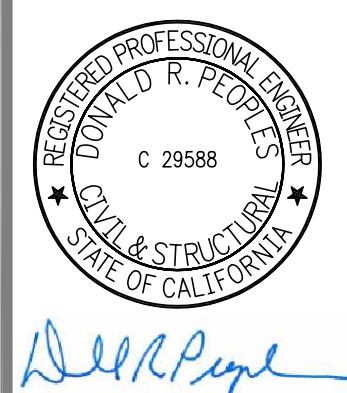
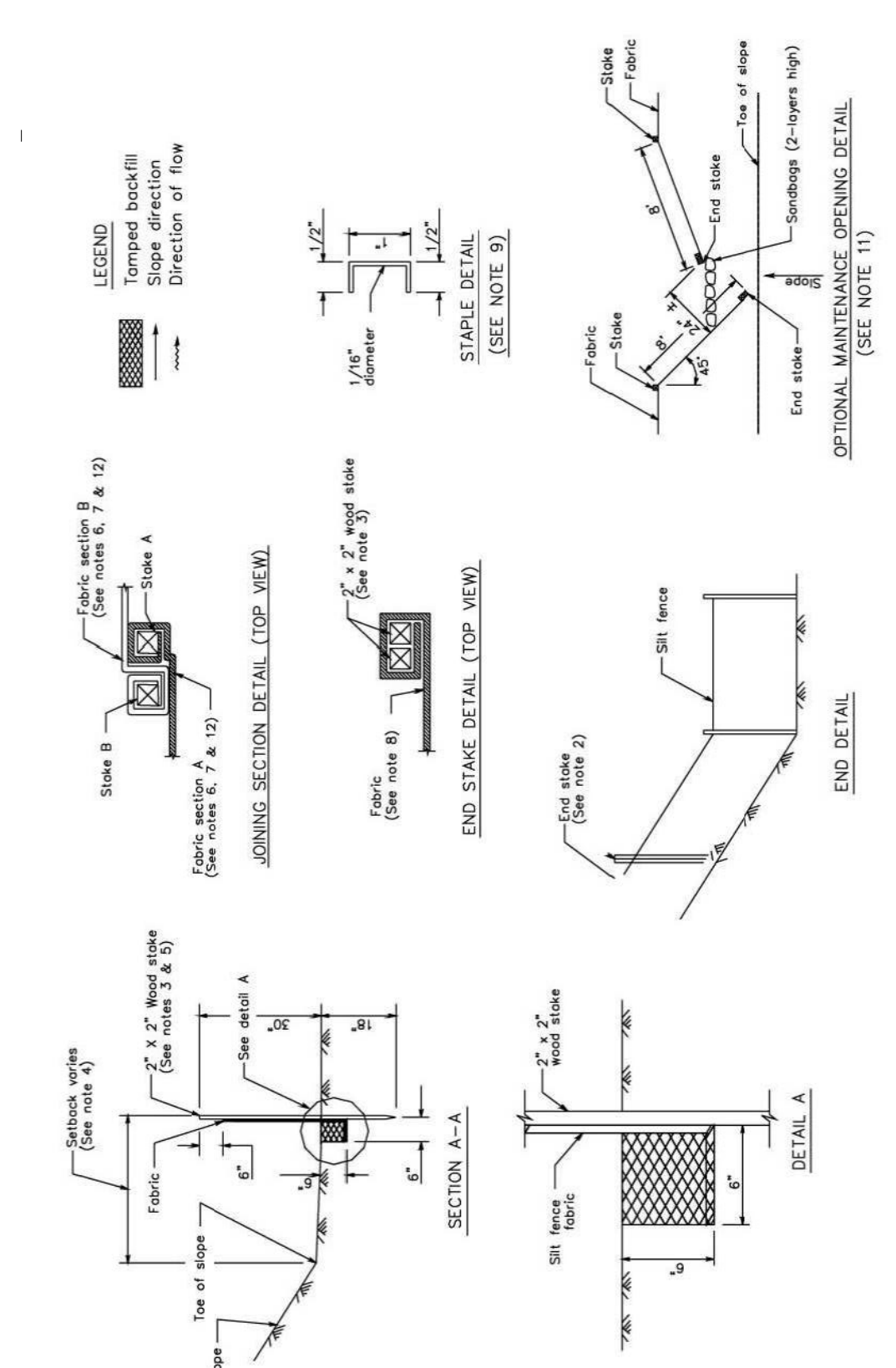
- EROSION CONTROL NOTES:**
1. EROSION CONTROL MEASURES SHALL CONFORM WITH ABAG STANDARDS OR COUNTY STANDARDS. SEE BMP-1 & BMP-2 DRAWINGS
 2. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED YEAR ROUND.
 3. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
 5. ALL CUT AND FILL SLOPES SHALL BE PROTECTED BY SEEDING AND COVERED WITH STRAW MULCH.
 6. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY THE SOILS ENGINEER.
 7. CONTRACTOR SHALL PREVENT ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY PAVED ROAD.

- EROSION PROTECTION MEASURES:**
1. INSTALL SEDIMENT ROLLS (FIBER ROLLS), OR SILT FENCE, OR STRAW BALE DIKES WHERE SHOWN.
 2. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
 3. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO INSURE THAT NO MUD OR SILTATION LEAVES THE PROJECT SITE.

- SEEDING NOTES:**
1. SEED AND MULCH WILL BE APPLIED BY OCTOBER 15 TO ALL DISTURBED SLOPES STEEPER THAN 5% AND HIGHER THAN 3 FEET, AND TO ALL CUT AND FILL SLOPES WITHIN OR ADJACENT TO EXISTING DRIVEWAY AS DIRECTED BY THE COUNTY INSPECTOR.
 2. SEED AND FERTILIZER WILL BE APPLIED HYDRAULICALLY OR BY HAND AT THE RATES SPECIFIED BELOW. ON SLOPES, STRAW WILL BE APPLIED BY BLOWER OR BY HAND AND ANCHORED IN PLACE BY PUNCHING
- | ITEM | POUNDS PER ACRE |
|-----------------------------------|-----------------|
| "BLANDO" BROME | 30 |
| ANNUAL RYE GRASS | 20 |
| FERTILIZER (16-20-0 & 15% SULFUR) | 500 |
| STRAW MULCH | 4,000 |
3. SEEDED AREAS WILL BE REPAIRED, RESEEDED AND MULCHED IF DAMAGED

SPECIAL NOTE:
GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY BUILDING OFFICIAL.

SE-1 Silt Fence



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