

ABBREVIATIONS:

AC	Asphaltic Concrete
AD	Area Drain
ADJ	Adjustable
AFF	Above Finished Floor
CAB	Cabinet
CBC	California Building Code
CL	Center Line
CLR	Clear Dimension
CLO	Closet
CMU	Concrete Masonry Unit
COL	Column
(D)	to be Demolished / Removed
DBL	Double
DIA	Diameter
DISP	Dispenser
DS	Downspout
(E)	Existing
ELEC	Electrical
EXH	Exhaust
EXT	Exterior
FAR	Floor Area Ratio
FD	Floor Drain
FL	Fluorescent
FOS	Face of Stud
GSM	Galvanized Sheet Metal
GC	General Contractor
GFI (GFCI)	Ground Fault (Circuit) Interrupter
GWB	Gypsum Wall Board
HB	Hose Bib
HC	Hollow Core
HDWD	Hardwood
HT	Height
HVAC	Heating, Ventilating, Air Conditioning
INC	Incandescent
INT	Interior
MFR	Manufacture
MAX	Maximum Dimension
MC	Medicine Cabinet
MECH	Mechanical
MIR	Mirror
MTL	Metal
MTL	Material
(N)	Minimum
(N)	New
NIC	Not In Contract
NTS	Not To Scale
OC	On Center
OFCI	Owner Furnished Contractor Installed
OPNG	Opening
or	Over
PLAM	Plastic Laminate
RCP	Reflected Ceiling Plan
RD	Roof Drain
SC	Solid Core
SD	Smoke Detector
SHT	Sheet
SPEC	Specification
SS	Stainless Steel
SSD	See Structural Drawings
STRUCT	Structural
TB	Towel Bar
TBD	To Be Determined
TEMP	Tempered
TP	Toilet Paper Dispenser
TYP	Typical
U.O.N.	Unless Otherwise Noted
VCT	Vinyl Composition Tile
VIF	Verify In Field
WC	Water Closet
WH	Water Heater
W/O	Without
WP	Waterproof

VICINITY MAP:



PROJECT LOCATION TRUE NORTH

HARDIE-ROMERO RESIDENCE

0 CLAYTON ROAD, SAN JOSE, CA 95127

PROJECT DESCRIPTION:

Scope of work includes construction of a new, single family residence, on a vacant lot in a modern style. The new residence will be 2-story house and includes 5 bedrooms, 3.5 bathrooms, a detached 3-car garage, a detached workshop, and a detached ADU with 1 bathroom, a new driveway with vehicle gate, and new landscape & screening trees around the vicinity of the house.

PROJECT DATA:

Jurisdiction: Santa Clara County
 Zoning: HS-d1
 Parcel Number: 612-40-001
 Address: 0 Clayton Rd, San Jose, CA 95127
 Lot Area: 958,320 S.F. / 22 acres
 Occupancy Group: R-3 / U
 Construction Type: V-B
 Flood Zone: D
 Fire Zone: Wildlife Urban Interface (W.U.I.), SRA
 Liquefaction Hazard: -
 F.A.R.: N/A
 Lot Coverage: N/A
 Setbacks:
 Front: 30'
 Rear: 30'
 Side: 30'
 Accessory Structure: 75'
 Right of Way: 20'
 Future Width Line: 30'
 Max Height: 35'

Proposed Utility: Septic & Leach Field - DEH Submittal # SR0870174 (9/30/22)
 Soils Report: BAAG Engineers (04/10/2023)
 Land Cover Verification: Coast Range Biological (11/15/19)
 Archaeological Report: Archaeological Resource Mgmt. Cultural Evaluation (02/27/23)

FLOOR AREA CALCULATIONS*:

Main House - 1st Floor (A-I)	3,391 s.f.
Main House - 2nd Floor (M-P)	1,331 s.f.
MAIN HOUSE TOTAL	4,722 s.f.
Detached ADU (J)	466 s.f.
Detached 3-Car Garage (Unconditioned) (K)	979 s.f.
Detached Workshop (Unconditioned) (L)	980 s.f.
LANDSCAPE AREA TOTAL	14,000 s.f.

* see sheet A1.0 for floor area calculation diagrams

DEFERRED SUBMITTALS:

- Automatic Fire Sprinkler System under a separate permit in accordance with NFPA 13D and 2022 California Fire Code 903.2.
- Photovoltaic Solar Panel System per the Title 24 Energy Code compliance report under a separate permit.
- Swimming Pool
- Vehicle & Pedestrian Gate
- Landscape Permit - Required if the result of the total disturbed area minus the impervious area exceeds 500 square feet.

LIST OF DRAWINGS:

ARCHITECTURAL

- A0 Cover Sheet
- Survey Sheet 1
- Survey Sheet 2
- A1.0 (N) Site Plan - Entire Property
- A1.1 (N) Site Plan - Project Area
- A1.2 (N) Enlarged Site Plan
- A1.3 (N) Fire Access Diagram
- A2.0 (N) Overall 1st Floor Plan
- A2.1 (N) 1st Floor Plan - Main House
- A2.2 (N) 2nd Floor Plan - Main House
- A2.3 (N) Roof Plan - Main House
- A2.4 (N) Plans & Elevations - ADU
- A2.5 (N) Plans & Elevations - Garage
- A2.6 (N) Plans & Elevations - Workshop

CIVIL

- A3.1 (N) Exterior Elevations
- A3.2 (N) Exterior Elevations
- A3.3 (N) Exterior Elevations
- A3.4 (N) Exterior Elevations
- A4.1 (N) Building Sections
- A4.2 (N) Building Section
- A9.1 (N) Exterior Colors & Materials
- C01 Cover Sheet
- C02 Overall Site Plan
- C03 Private Driveway - Plan & Profile
- C04 Preliminary Grading & Drainage Plan
- C05 Preliminary Grading & Drainage Plan
- C06 Details, Notes & Cross Sections
- C07 Details, Notes & Cross Sections
- C08 Erosion Control Plan
- C09 Best Management Practices
- C10 Best Management Practices

LANDSCAPE

- L1.1 Site Plan
- L4.0 Planting Plan

SEPTIC

- S01 Septic System Notes
- S02 Septic System Details
- S03 Septic System Plans
- S04 Architectural Plans

PROJECT DIRECTORY:

Owner: Terry Hardie & Daniel Romero
 228 Appian Way
 Union City, CA 94587
 (510)206-2366
 terryh@orcas.net
 romerotozzi@hotmail.com

Architect: Alan Ohashi, A.I.A.
 ODS Architecture
 5895 Doyle Street
 Emeryville, CA 94608
 Tel. (510) 595-1300
 alano@odsarchitecture.com

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 tfontelera@elementse.com

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 Hanna-Brunetti
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 BAAG Engineers
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Septic Designer: Rick Haltenhoff
 Associated Terra Consultants Inc.
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 Campbell, CA, 95008
 (408) 866-1067
 rick@atterracon.com

Surveyor: Kristina D. Comerer
 Cross Land Surveying, Inc.
 2210 Mt. Pleasant Rd
 San Jose, CA 95148
 (408) 274-7994
 xlsi@msn.com

Archaeologist: Dr. Robert Cartier
 Archaeological Resource Mgmt.
 496 North Fifth Street
 San Jose, CA 95112
 (408) 295-1373
 armcartier@netscape.net



AERIAL VIEW

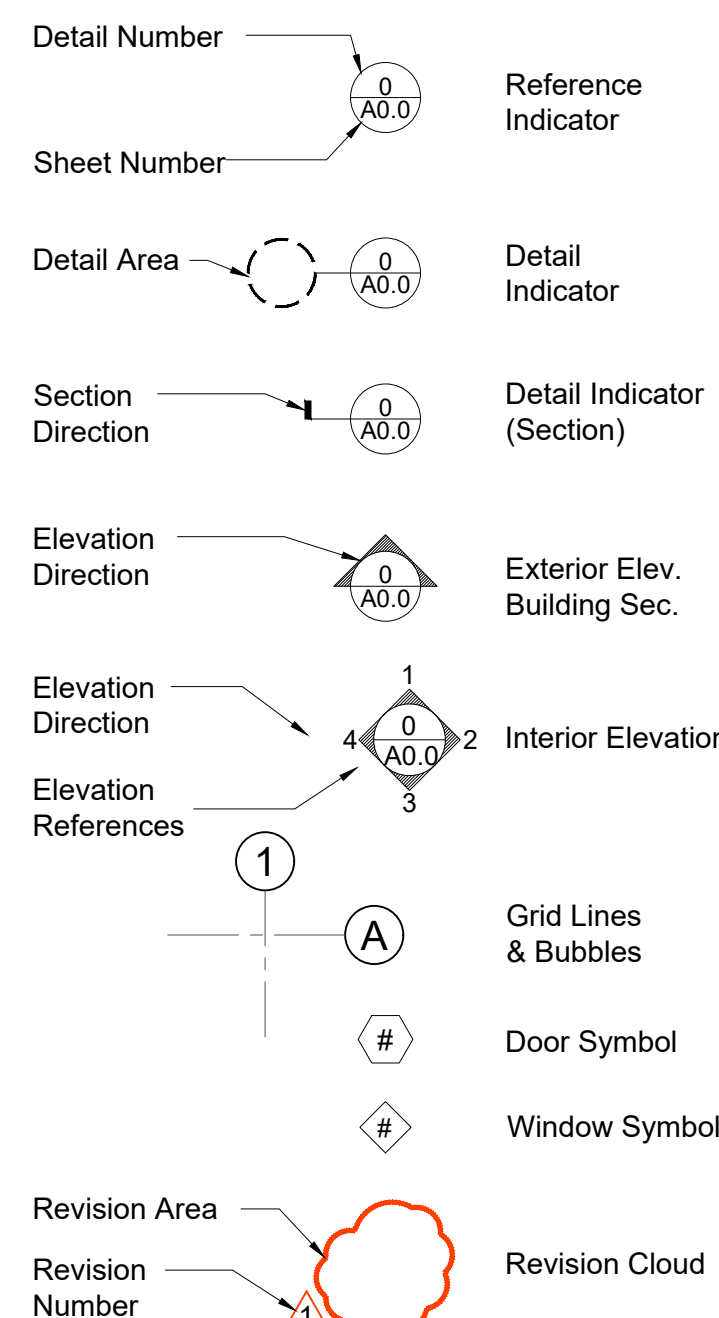


FRONT ELEVATION



REAR ELEVATION

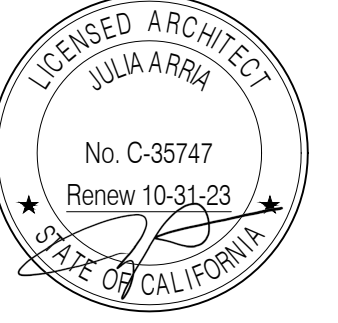
SYMBOLS:



ODS

ARCHITECTURE

5895 Doyle Street,
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 Tel. 510-595-1300
 Fax 510-595-1313
 www.odsarchitecture.com



Hardie - Romero Residence

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PLANNING SUBMITTAL

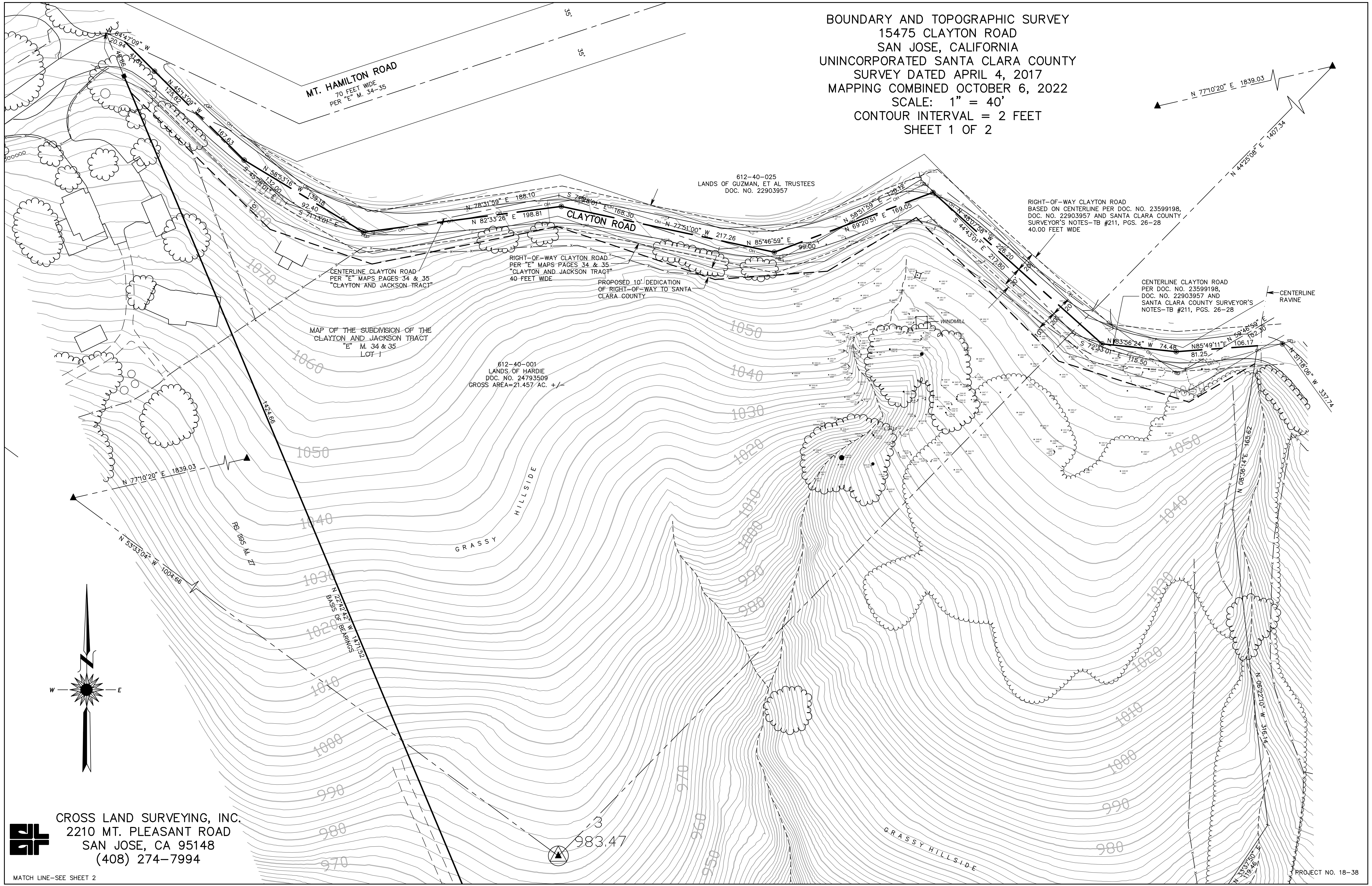
SHEET TITLE:

Cover Sheet

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

A0

BOUNDARY AND TOPOGRAPHIC SURVEY
 15475 CLAYTON ROAD
 SAN JOSE, CALIFORNIA
 UNINCORPORATED SANTA CLARA COUNTY
 SURVEY DATED APRIL 4, 2017
 MAPPING COMBINED OCTOBER 6, 2022
 SCALE: 1" = 40'
 CONTOUR INTERVAL = 2 FEET
 SHEET 1 OF 2



MT. HAMILTON ROAD
 70 FEET WIDE
 PER "E" M. 34-35

612-40-025
 LANDS OF GUZMAN, ET AL TRUSTEES
 DOC. NO. 22903957

RIGHT-OF-WAY CLAYTON ROAD
 BASED ON CENTERLINE PER DOC. NO. 23599198,
 DOC. NO. 22903957 AND SANTA CLARA COUNTY
 SURVEYOR'S NOTES-TB #211, PGS. 26-28
 40.00 FEET WIDE

CENTERLINE CLAYTON ROAD
 PER "E" MAPS PAGES 34 & 35
 "CLAYTON AND JACKSON TRACT"

RIGHT-OF-WAY CLAYTON ROAD
 PER "E" MAPS PAGES 34 & 35
 "CLAYTON AND JACKSON TRACT"
 40 FEET WIDE

PROPOSED 10' DEDICATION
 OF RIGHT-OF-WAY TO SANTA
 CLARA COUNTY

MAP OF THE SUBDIVISION OF THE
 CLAYTON AND JACKSON TRACT
 "E" M. 34 & 35
 LOT 1

612-40-001
 LANDS OF HARDIE
 DOC. NO. 24793509
 GROSS AREA=21.457 AC. +/-

CENTERLINE CLAYTON ROAD
 PER DOC. NO. 23599198,
 DOC. NO. 22903957 AND
 SANTA CLARA COUNTY SURVEYOR'S
 NOTES-TB #211, PGS. 26-28

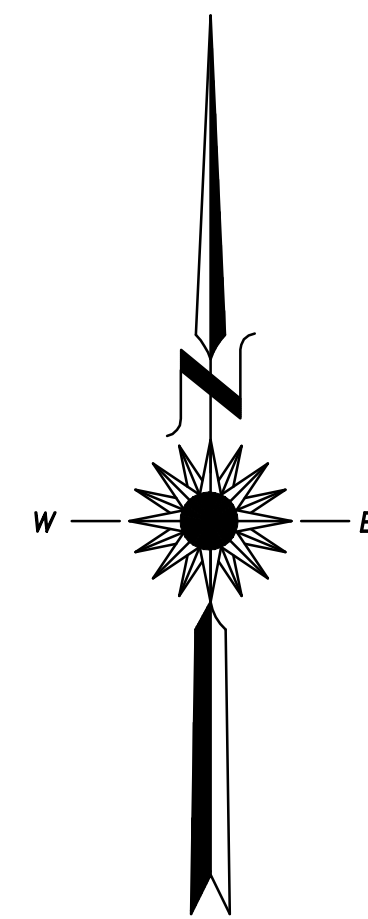
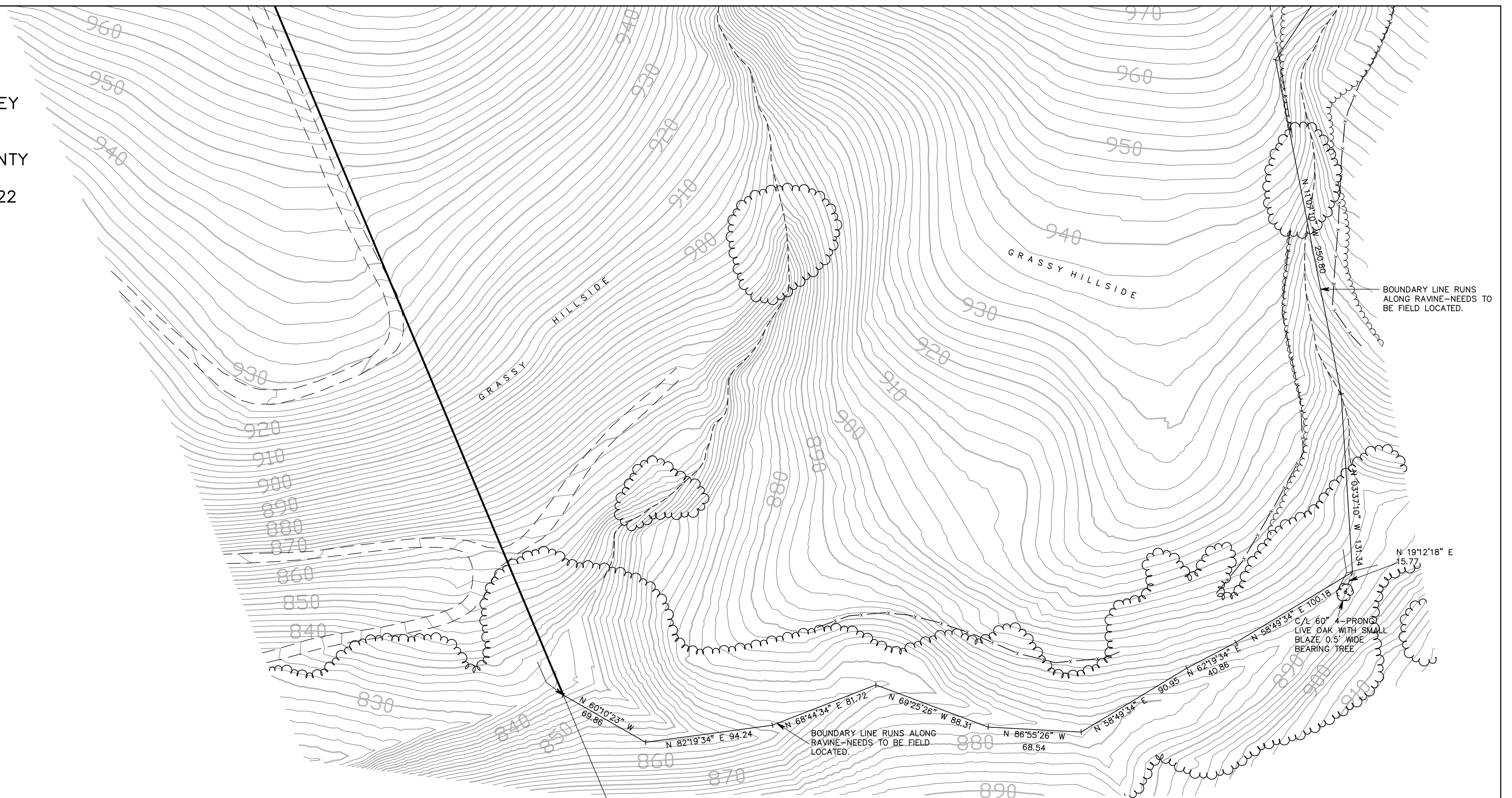
CENTERLINE RAVINE

CROSS LAND SURVEYING, INC.
 2210 MT. PLEASANT ROAD
 SAN JOSE, CA 95148
 (408) 274-7994

MATCH LINE-SEE SHEET 2

PROJECT NO. 18-38

BOUNDARY AND TOPOGRAPHIC SURVEY
 15475 CLAYTON ROAD
 SAN JOSE, CALIFORNIA
 UNINCORPORATED SANTA CLARA COUNTY
 SURVEY DATED APRIL 4, 2017
 MAPPING COMBINED OCTOBER 6, 2022
 SCALE: 1" = 40'
 CONTOUR INTERVAL = 2 FEET
 SHEET 2 OF 2



BASIS OF BEARINGS

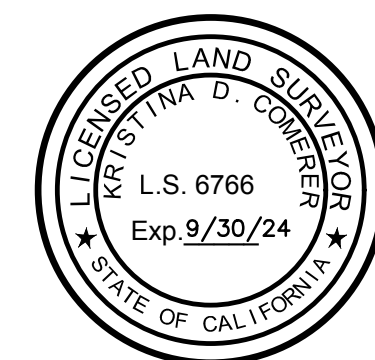
THE BEARING OF NORTH 22° 42' 42" WEST ALONG THE WESTERLY LINE OF LOT 1, AS SHOWN ON THE RECORD OF SURVEY FILED ON AUGUST 14, 2016 IN BOOK 895 OF MAPS AT PAGE 27, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY AND WAS ESTABLISHED BETWEEN FOUND MONUMENTS.

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF TERRY HARDIE IN OCTOBER 2022.

Kristina D. Comer
 KRISTINA D. COMERER, PLS 6766

DATE: OCTOBER 7, 2022



TOPOGRAPHIC SURVEY NOTE:

CONTOUR LINES, SPOT ELEVATIONS AND PLANIMETRIC FEATURES PROVIDED BY WOOTTON LAND SURVEYING AND IS BASED ON A COMBINATION OF AERIAL MAPPING AND FIELD SURVEY TECHNIQUES AND ROTATED TO BOUNDARY SURVEY PROVIDED BY CROSS LAND SURVEYING, INC. DATE OF TOPOGRAPHIC SURVEY IS APRIL 4, 2017. UNKNOWN ELEVATION DATUM, ASSUMED TO BE ON GPS COORDINATE SYSTEM; THEREFORE, POSSIBLY NAVD88.

BOUNDARY SURVEY NOTE:

THE CENTERLINE OF CLAYTON ROAD AS DESCRIBED IN THE DEED FOR RAMM AND FOR GUZMAN FIT WITH THE FOUND SANTA CLARA COUNTY SURVEYOR MONUMENTS. THIS ALIGNMENT DOES NOT AGREE WITH THE COURSES SHOWN ON THE MAP OF THE SUBDIVISION OF THE CLAYTON AND JACKSON TRACT, FILED IN BOOK "E" OF MAPS AT PAGES 34 AND 35, SANTA CLARA COUNTY RECORDS SHOWING THE EXTENTS OF CLAYTON ROAD, BEING 40 FEET WIDE. THERE IS NO MENTION IN THE TITLE REPORT FOR THE LANDS OF RAMM OF A SEPARATE AGREEMENT OR DEDICATION FOR THE COUNTY'S ALIGNMENT OF CLAYTON ROAD; THEREFORE, I BELIEVE THE OFFICIAL RIGHT OF WAY FOR CLAYTON ROAD SHOULD FOLLOW THE COURSES AS SHOWN ON SAID MAP OF THE CLAYTON AND JACKSON TRACT; HOWEVER, THAT IS NOT PARALLEL WITH THE DETERMINED BOUNDARY LINE. THE PROPOSED 10' RIGHT-OF-WAY DEDICATION IS PARALLEL WITH THE EXISTING RIGHT-OF-WAY AS SHOWN ON SAID MAP OF THE CLAYTON AND JACKSON TRACT.

TOPO LEGEND
DESCRIPTION

FENCELINE
 GRADE BREAK
 OVERHEAD WIRES

ABBREVIATIONS

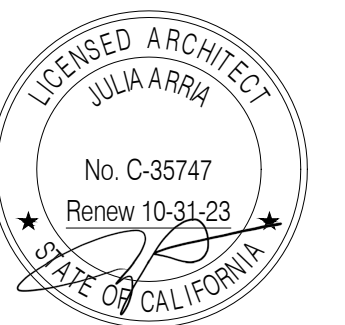
EC EDGE OF CONCRETE
 EP EDGE OF PAVEMENT
 GB GRADE BREAK
 GND GROUND ELEVATION
 PP POWER POLE
 POS POINT ON SLOPE
 TOB TOP OF BANK
 TOE TOE OF SLOPE
 WMILL WIND TURBINE

BOUNDARY LEGEND

- FD. 2" x 4" WOOD POST, DECAYED WITH NAIL, DN. 1.0'
- FD. I.P. WITH ESCUTCHEON PIN AND TAG "SANTA CLARA COUNTY SURVEYOR", DN. 0.4' IN MON. WELL, WELL DN. 0.5'
- ▲ FD. 60D NAIL IN FLIGHT CROSS
- SURVEYED BOUNDARY LINE
- - - RECORD BOUNDARY LINE—WOULD NEED TO BE SURVEYED
- - - CENTERLINE OF CLAYTON ROAD PER DEEDS AND SANTA CLARA COUNTY SURVEYOR'S NOTES TRANSIT BOOK #211, PGS. 26-28
- - - CENTERLINE CLAYTON ROAD PER COURSES SHOWN ON THE MAP OF CLAYTON AND JACKSON TRACT, BK. "E" MAPS PGS. 34-35
- 40' RIGHT OF WAY PER CENTERLINE IN DEEDS
- - - 40' WIDE RIGHT OF WAY PER "E" MAPS 34-35
- - - PROPOSED 10' RIGHT-OF-WAY DEDICATION
- LINE BETWEEN FOUND PHOTO CONTROL POINTS



CROSS LAND SURVEYING, INC.
 2210 MT. PLEASANT ROAD
 SAN JOSE, CA 95148
 (408) 274-7994



Hardie - Romero Residence

0 Clayton Road
San Jose, CA 95127
(no mail delivery)

APN: 612-40-001

OWNER:
Terry Hardie &
Daniel Romero
228 Appian Way
Union City, CA 94587
(510) 206-2366

PLANNING SUBMITTAL

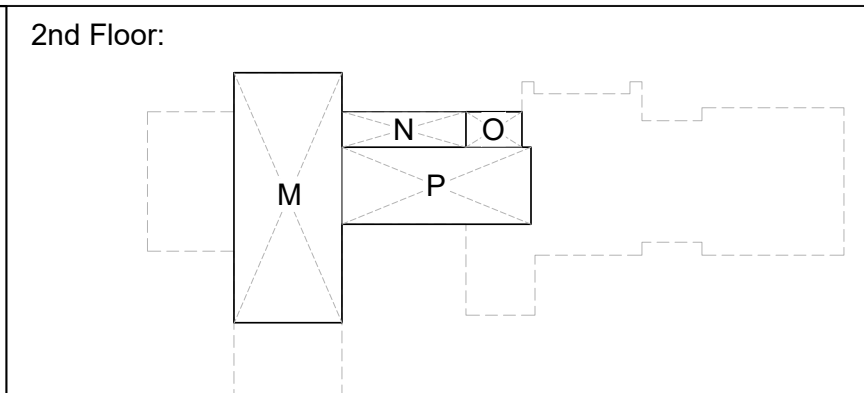
SHEET TITLE:
(N) Site Plan - Entire Property

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

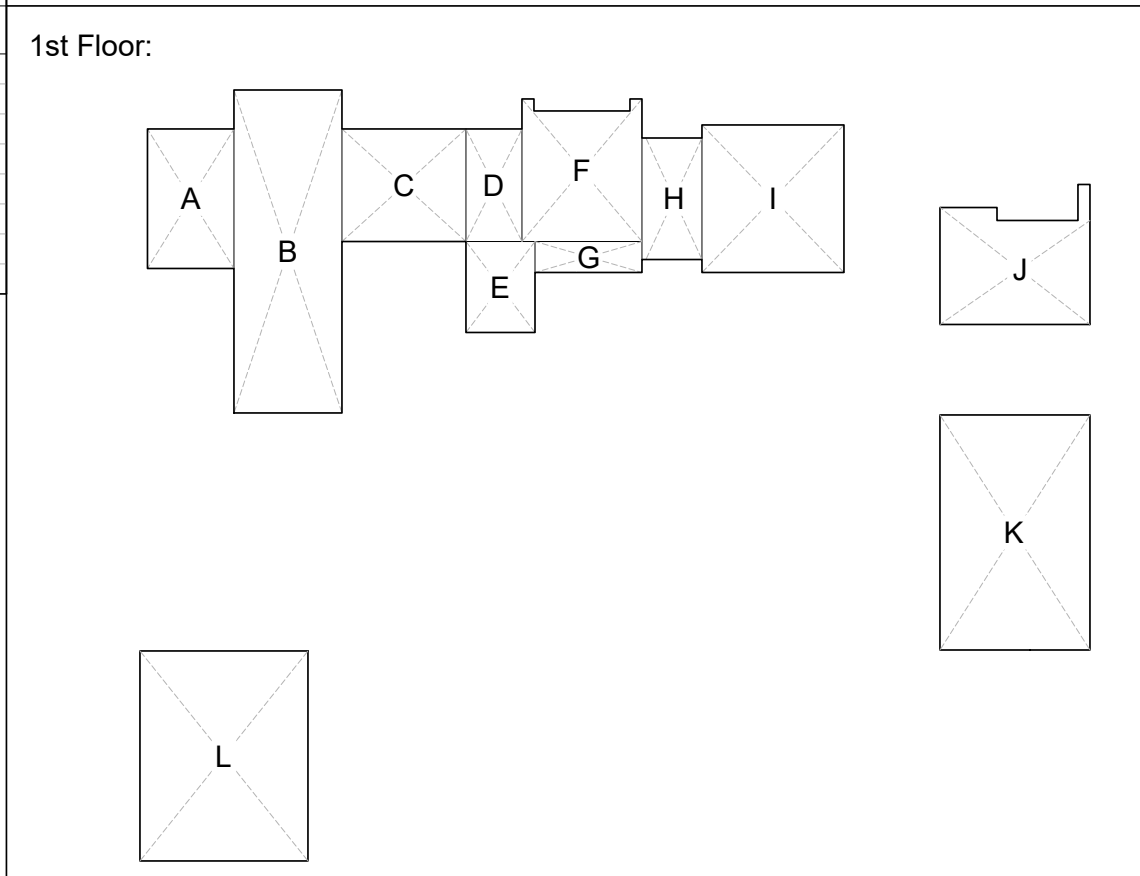
A1.0

FLOOR AREA CALCULATIONS:

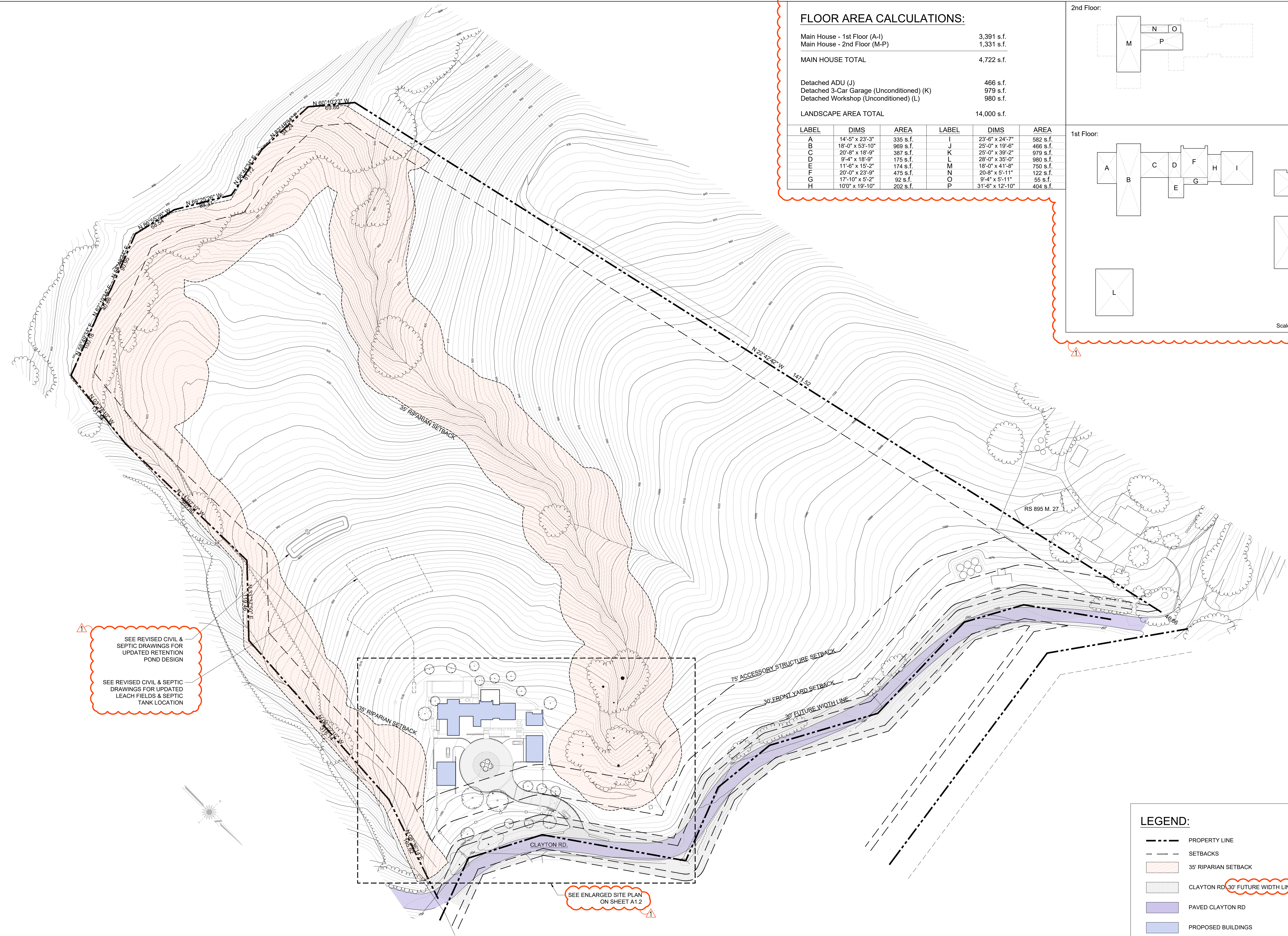
Main House - 1st Floor (A-I)	3,391 s.f.
Main House - 2nd Floor (M-P)	1,331 s.f.
MAIN HOUSE TOTAL	4,722 s.f.
Detached ADU (J)	466 s.f.
Detached 3-Car Garage (Unconditioned) (K)	979 s.f.
Detached Workshop (Unconditioned) (L)	980 s.f.
LANDSCAPE AREA TOTAL	14,000 s.f.



LABEL	DIMS	AREA	LABEL	DIMS	AREA
A	14'-5" x 23'-3"	335 s.f.	I	23'-6" x 24'-7"	582 s.f.
B	18'-0" x 53'-10"	969 s.f.	J	25'-0" x 19'-6"	466 s.f.
C	20'-8" x 18'-9"	387 s.f.	K	25'-0" x 39'-2"	979 s.f.
D	9'-4" x 18'-9"	175 s.f.	L	28'-0" x 35'-0"	980 s.f.
E	11'-6" x 15'-2"	174 s.f.	M	18'-0" x 41'-8"	750 s.f.
F	20'-0" x 23'-9"	475 s.f.	N	20'-8" x 5'-11"	122 s.f.
G	17'-10" x 5'-2"	92 s.f.	O	9'-4" x 5'-11"	55 s.f.
H	10'-0" x 19'-10"	202 s.f.	P	31'-6" x 12'-10"	404 s.f.



Scale = 1/32" = 1'-0"



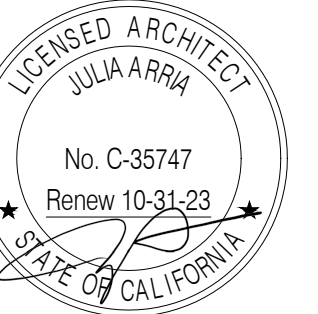
SEE REVISED CIVIL & SEPTIC DRAWINGS FOR UPDATED RETENTION POND DESIGN

SEE REVISED CIVIL & SEPTIC DRAWINGS FOR UPDATED LEACH FIELDS & SEPTIC TANK LOCATION

SEE ENLARGED SITE PLAN ON SHEET A1.2

LEGEND:

- PROPERTY LINE
- - - SETBACKS
- 35' RIPARIAN SETBACK
- CLAYTON RD. 30' FUTURE WIDTH LINE
- PAVED CLAYTON RD
- PROPOSED BUILDINGS



Hardie -
Romero
Residence

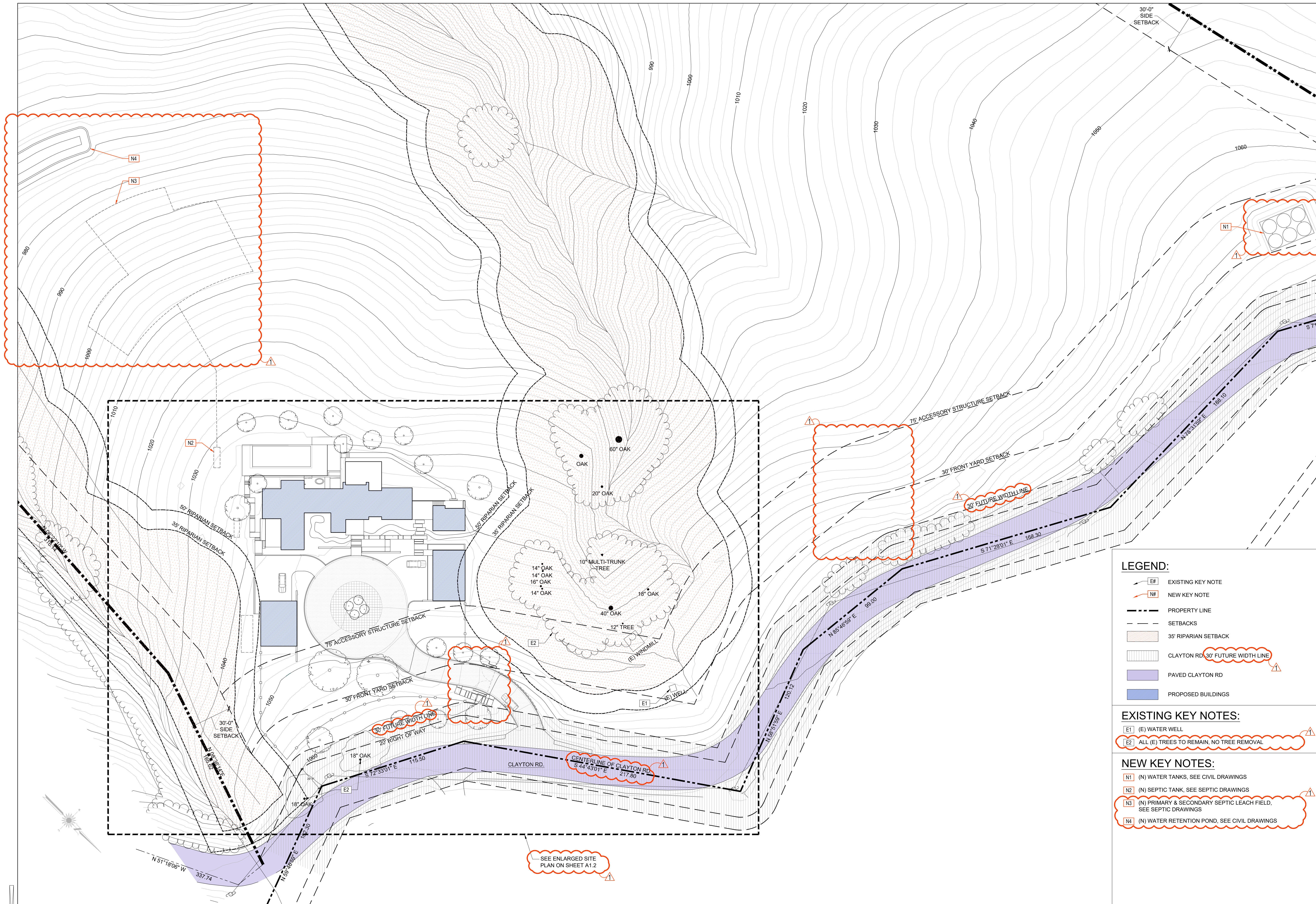
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PLANNING
SUBMITTAL



LEGEND:

- EXISTING KEY NOTE
- NEW KEY NOTE
- PROPERTY LINE
- SETBACKS
- 35' RIPARIAN SETBACK
- CLAYTON RD. 30' FUTURE WIDTH LINE
- PAVED CLAYTON RD.
- PROPOSED BUILDINGS

EXISTING KEY NOTES:

- (E) WATER WELL
- ALL (E) TREES TO REMAIN, NO TREE REMOVAL

NEW KEY NOTES:

- (N) WATER TANKS, SEE CIVIL DRAWINGS
- (N) SEPTIC TANK, SEE SEPTIC DRAWINGS
- (N) PRIMARY & SECONDARY SEPTIC LEACH FIELD, SEE SEPTIC DRAWINGS
- (N) WATER RETENTION POND, SEE CIVIL DRAWINGS

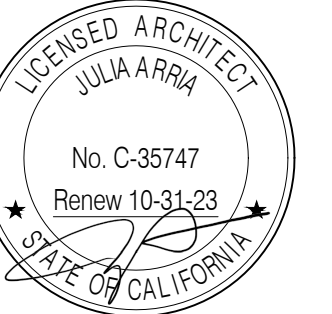
SHEET TITLE:

(N) Site Plan -
Project Area

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

1 (N) SITE PLAN - PROJECT AREA
1/32" = 1'-0"





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APN: 612-40-001

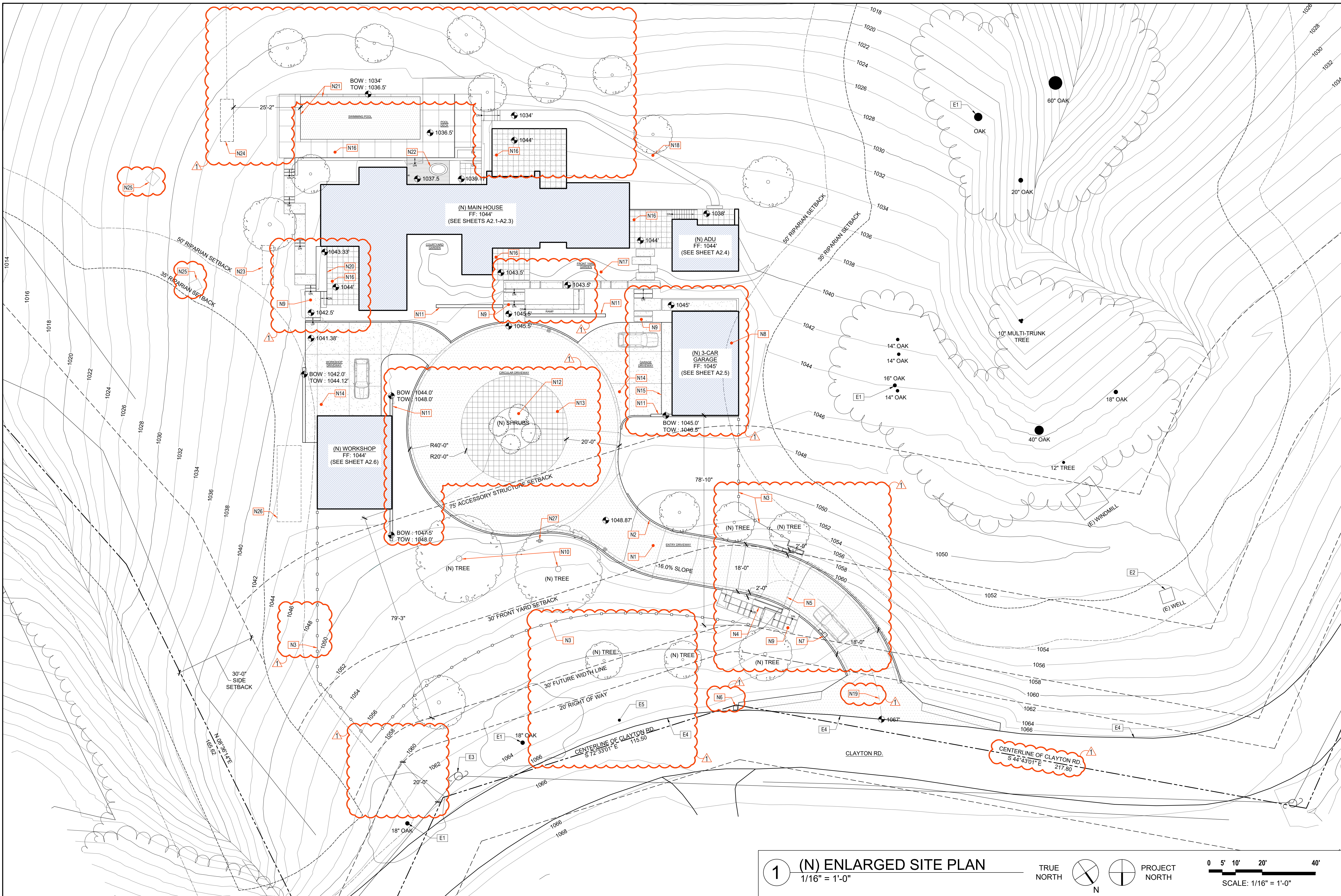
OWNER:
Terry Hardie &
Daniel Romero
228 Appian Way
Union City, CA 94587
(510) 206-2366

PLANNING SUBMITTAL

SHEET TITLE:

(N) Enlarged Site Plan

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal



1 (N) ENLARGED SITE PLAN
1/16" = 1'-0"

TRUE NORTH PROJECT NORTH

0 5' 10' 20' 40'
SCALE: 1/16" = 1'-0"

EXISTING KEY NOTES:

- ALL (E) TREES TO REMAIN, NO TREE REMOVAL
- (E) WATER WELL
- (E) PG&E ELECTRIC POLE
- (E) EDGE OF PAVEMENT
- (E) GRAVEL DRIVEWAY TO BE REMOVED & RESTORED. SEE LANDSCAPE DRAWINGS

NEW KEY NOTES:

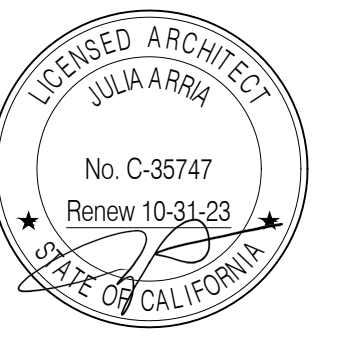
- (N) ASPHALT DRIVEWAY. SEE CIVIL DRAWINGS
- (N) 6" CONCRETE CURB w/ DRAINAGE SWALE. SEE CIVIL DRAWINGS
- (N) 6'-0" HIGH HOG WIRE FENCE, w/ RWD POSTS @ 7' OC. SEE SHEET A4.0 FOR DETAILS & ELEVATIONS
- (N) PEDESTRIAN GATE
- (N) 4'-0" HIGH AUTOMATIC SWING VEHICLE ENTRY GATE
- NEIGHBOR'S (E) MAILBOX
- (N) LED BACKLIT PROPERTY NUMBER, GATE CONTROLS, KNOX BOX & MAILBOX, SEE DETAILS
- 167' SQ FT ENCROACHED INTO 50' RIPARIAN SETBACK
- (N) LANDSCAPE CONCRETE STEPS AND PATH, FOLLOWING THE ADJACENT GRADE
- (N) TREES & VEGETATION, SEE LANDSCAPE DRAWINGS
- (N) BOARD FORM CONCRETE RETAINING WALL
- (N) LOW LANDSCAPE AREA
- (N) DRIVABLE GRASS CELL PAVERS OR SIM.
- (N) TEXTURED CONCRETE DRIVEWAY w/ SCORE LINES
- (N) TRENCH DRAIN. SEE CIVIL DRAWINGS
- (N) PAVERS ON PEDESTAL SYSTEM
- (N) DRY CREEK LANDSCAPE FEATURE
- (N) DECOMPOSED GRANITE PATH, OR SIMILAR
- (N) LENGTH FROM ROAD TO VEHICLE GATE : 64'-0"
- (N) RAISED STEEL PLANTER
- (N) SWIMMING POOL w/ AUTOMATIC POOL COVER
- (N) PARTIALLY SUNKEN HOT TUB
- (N) CONCRETE UTILITY PAD, FOR CONDENSER UNITS AND BACKUP GENERATOR & SEPTIC CONTROLS
- (N) SEPTIC TANK LOCATION. SEE CIVIL & SEPTIC DRAWINGS FOR LEECH FIELD LOCATION & MORE INFORMATION
- (N) ROCK RIP-RAP. SEE CIVIL DRAWINGS
- (N) CONCRETE UTILITY PAD FOR PROPANE TANK
- (N) WHARF HYDRANT PER CMFO-W1

- GENERAL NOTES:**
1. Project is located within the State Response Area (SRA) and the Wildland Urban Interface (WUI)
 2. Chapter 7A of the CBC to be met at Building Permit submittal
 3. Defensible space to be maintained at all times per Public Resource Code 4291
 4. PRC-4290 compliance will be reviewed by CAL FIRE
 5. Comply with the defensible space regulations in Title 14, Natural Resources Division 1.5, Department of Forestry and Fire Protection Chapter 7, Fire Protection Subchapter 3, Fire Hazard.
 6. Follow all minimum wildfire protection standards of California Code of Regulations Title 14 Natural Resources Division 1.5 Department of Forestry Chapter 7 - Fire Protection Subchapter 2 SRA Fire Safe Regulations Articles 1-5.

ODS

ARCHITECTURE

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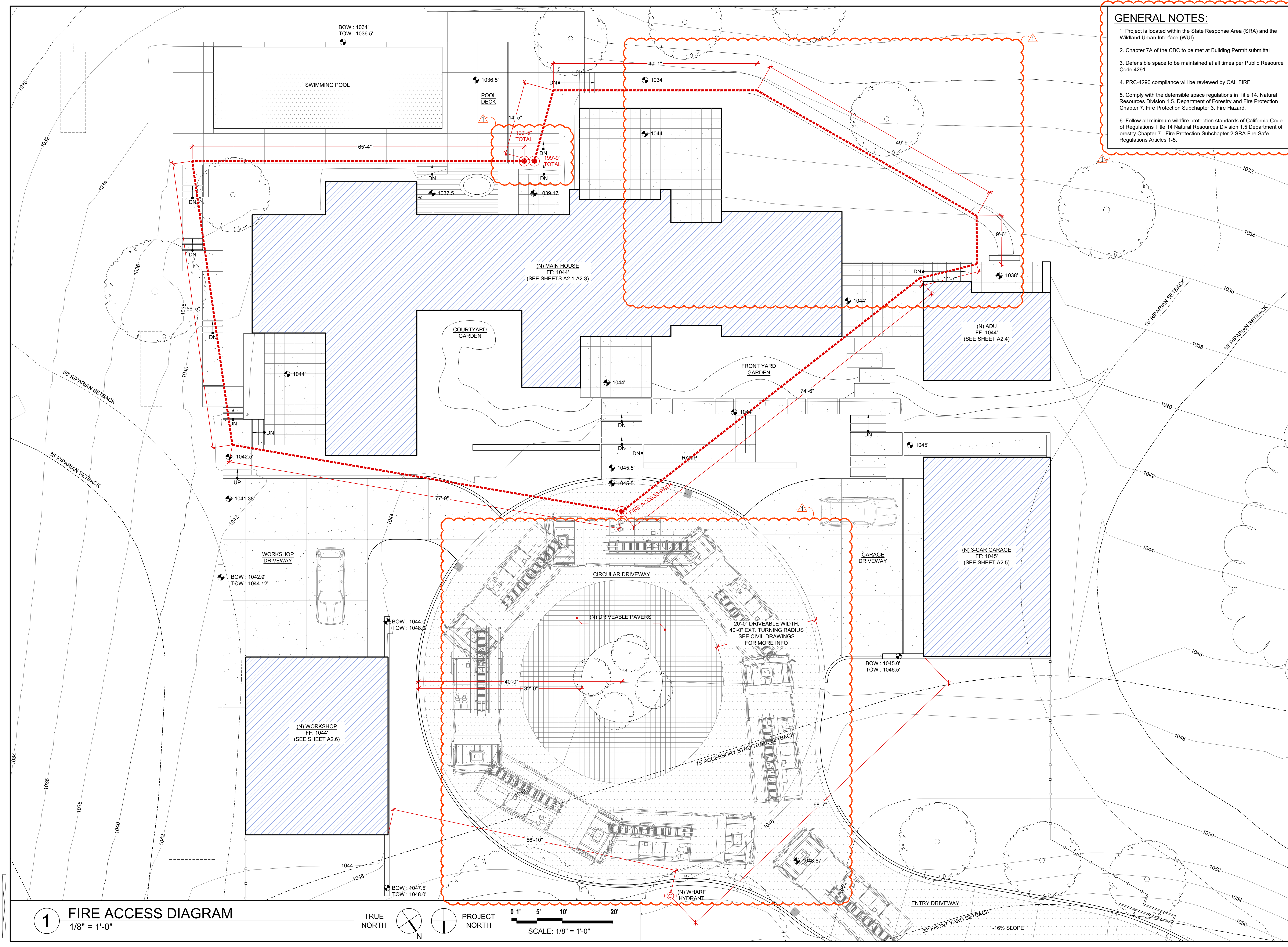
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**PLANNING
SUBMITTAL**

SHEET TITLE:
Fire Access Diagram

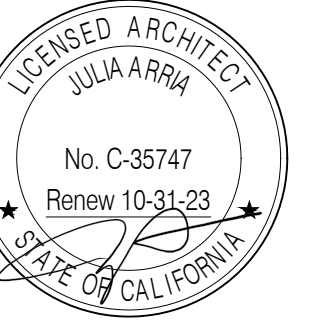
Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

A1.3



1 FIRE ACCESS DIAGRAM
1/8" = 1'-0"





**Hardie -
Romero
Residence**

0 Clayton Road
San Jose, CA 95127
(no mail delivery)

APN: 612-40-001

OWNER:

Terry Hardie &
Daniel Romero
228 Appian Way
Union City, CA 94587
(510) 206-2366

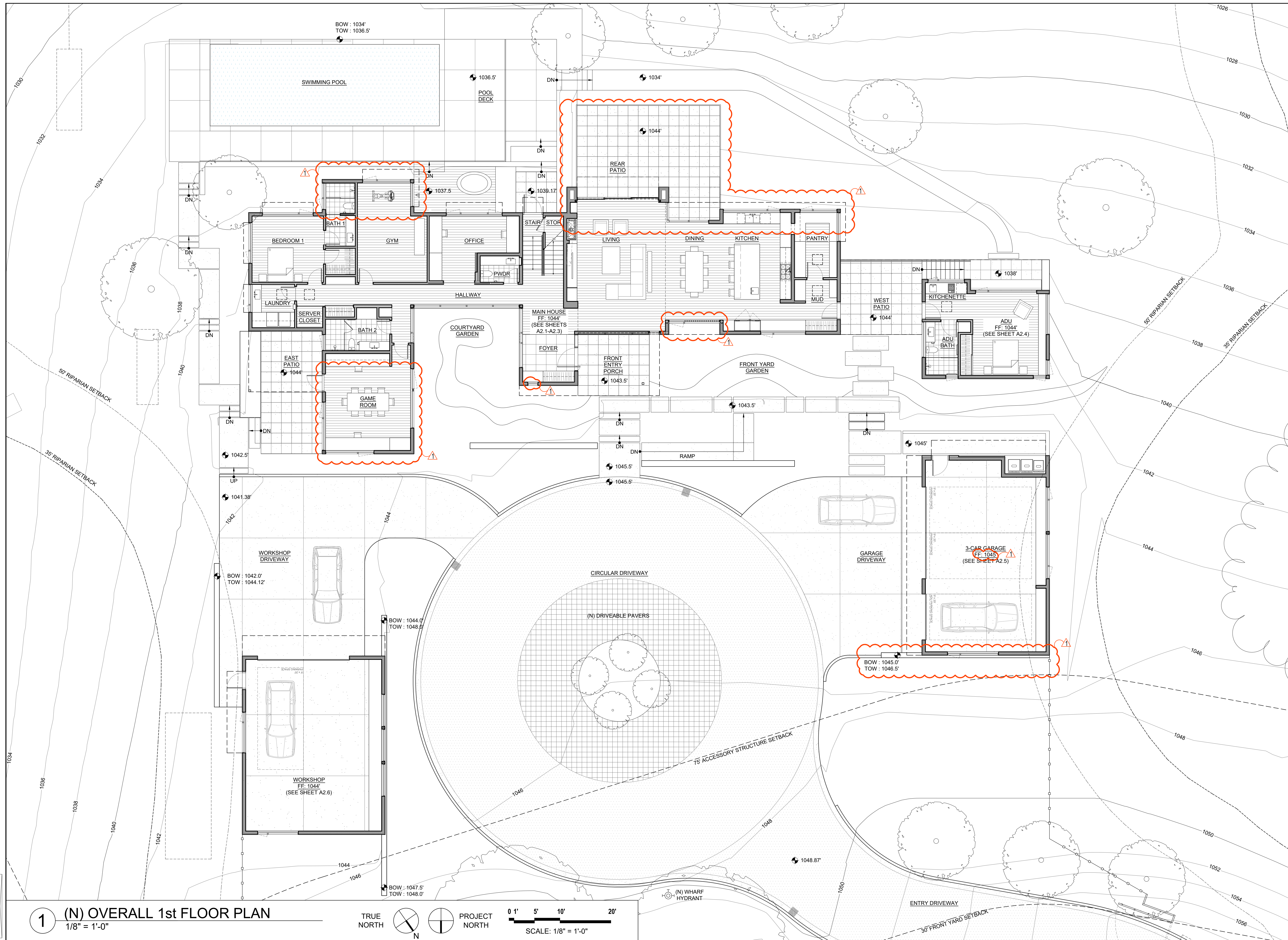
**PLANNING
SUBMITTAL**

SHEET TITLE:

(N) Overall
1st Floor Plan

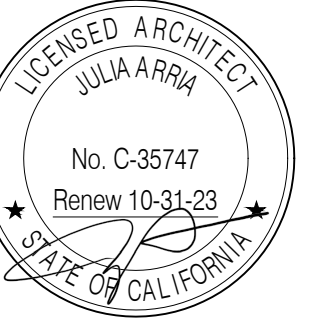
Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

A2.0



1 (N) OVERALL 1st FLOOR PLAN
1/8" = 1'-0"





Hardie -
Romero
Residence

0 Clayton Road
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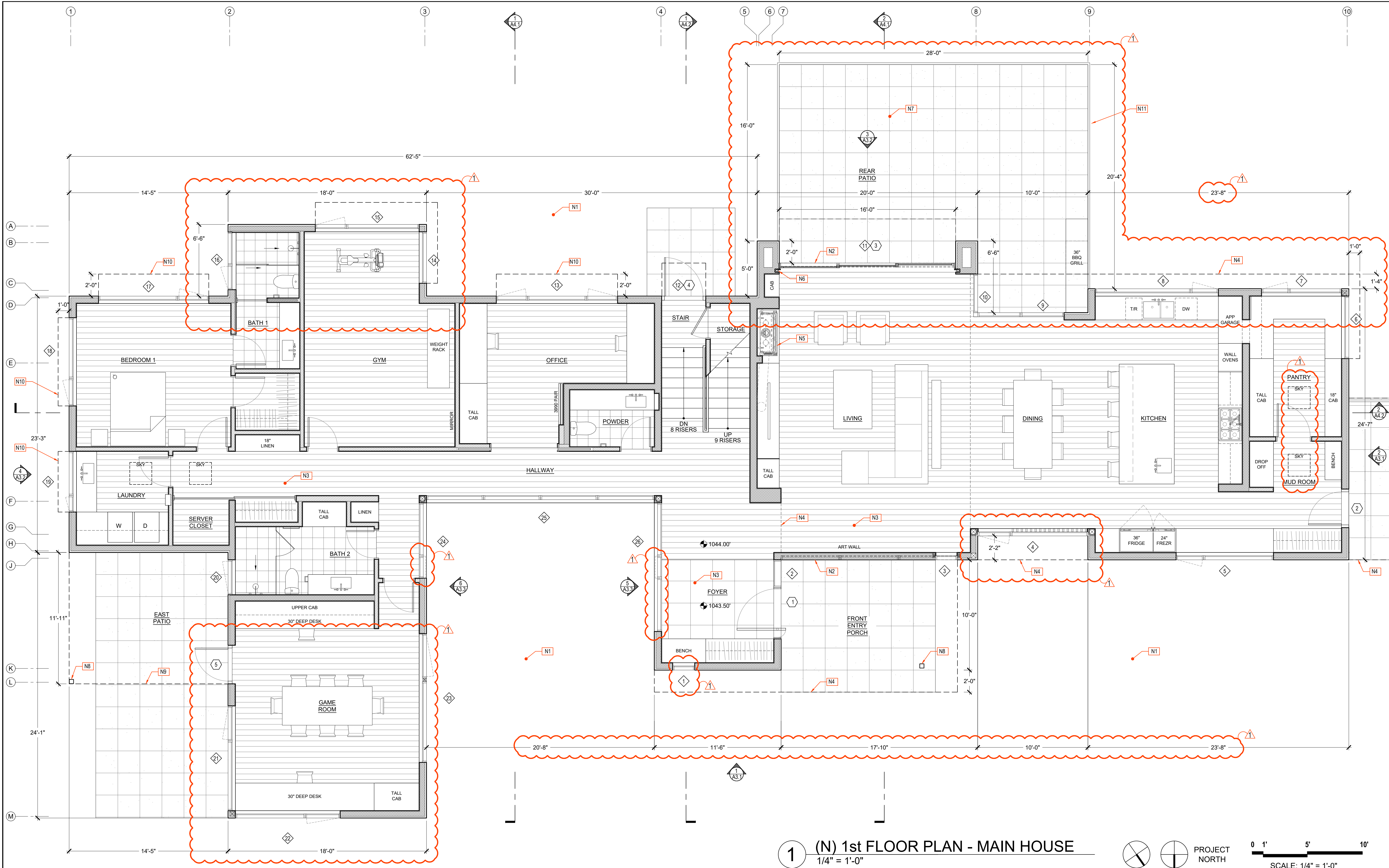
APN: 612-40-001

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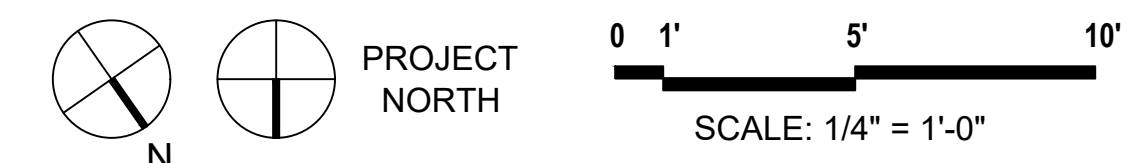
PLANNING
SUBMITTAL

SHEET TITLE:
(N) 1st Floor Plan
- Main House

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal



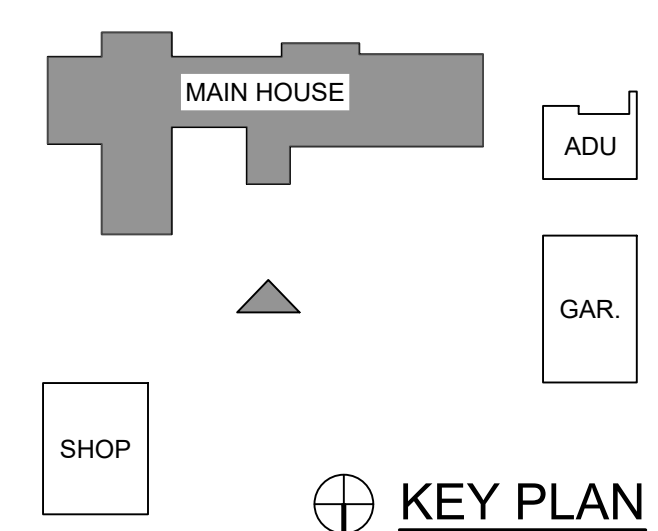
1 (N) 1st FLOOR PLAN - MAIN HOUSE
1/4" = 1'-0"

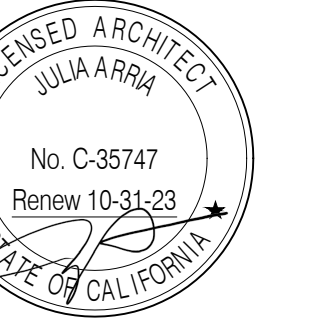


- LEGEND:**
- (N) 2 x 6 WALLS
 - (N) 2 x 4 WALLS
 - ROOF OR WALL ABOVE / BELOW
 - N# NEW KEY NOTE
 - E.P./G.M. ELECTRICAL PANEL / GAS METER
 - # SPOT ELEVATION

- NEW KEY NOTES:**
- N1 SEE A1 SHEETS FOR (N) SITE RELATED NOTES, SEE CIVIL DRAWINGS
 - N2 (N) CLERESTORY WINDOW, SEE A3 EXTERIOR ELEVATIONS
 - N3 (N) ENGINEERED HARDWOOD FLOORING
 - N4 (N) SOFFIT, OR ROOF ABOVE SHOWN DASHED, SEE EXTERIOR ELEVATIONS & SECTIONS
 - N5 (N) DIRECT VENT GAS FIREPLACE, SEE INTERIOR ELEVATIONS & DETAILS
 - N6 (N) CENTOR POCKET ROLLER INSECT SCREEN SYSTEM
 - N7 (N) PAVER DECK w/ PEDESTAL SYSTEM & AREA DRAIN BELOW, SEE DETAILS
 - N8 (N) STEEL POST, ARCH. GRADE FINISH, PAINTED TO MATCH WINDOW FRAMES

- N9 (N) OPEN STEEL TRELLIS w/ WOOD SLATS, SEE EXTERIOR ELEVATIONS & DETAILS
- N10 (N) STEEL PLATE SHADE, SEE EXTERIOR ELEVATIONS & DETAILS
- N11 (N) STEEL FLAT BAR RAILING, SEE EXTERIOR ELEVATIONS & DETAILS





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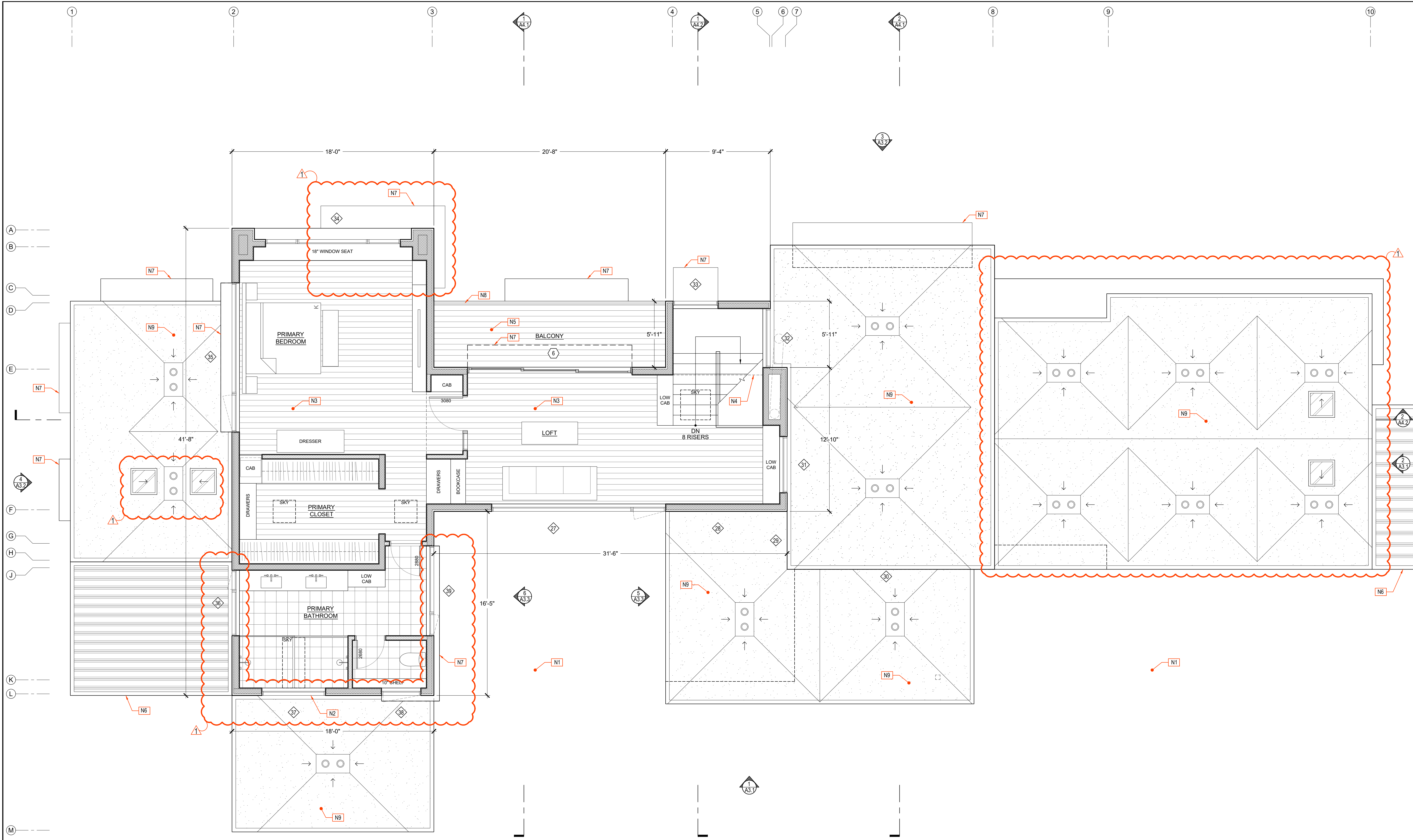
Terry Hardie &
Daniel Romero
228 Appian Way
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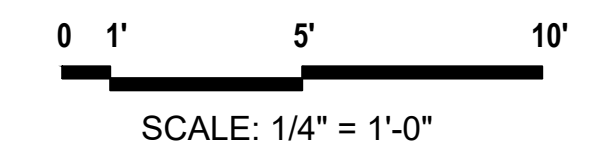
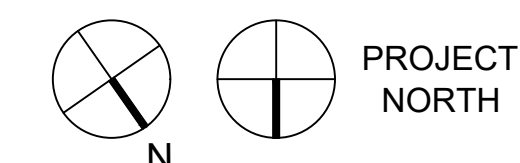
SHEET TITLE:

(N) 2nd Floor Plan
- Main House

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal



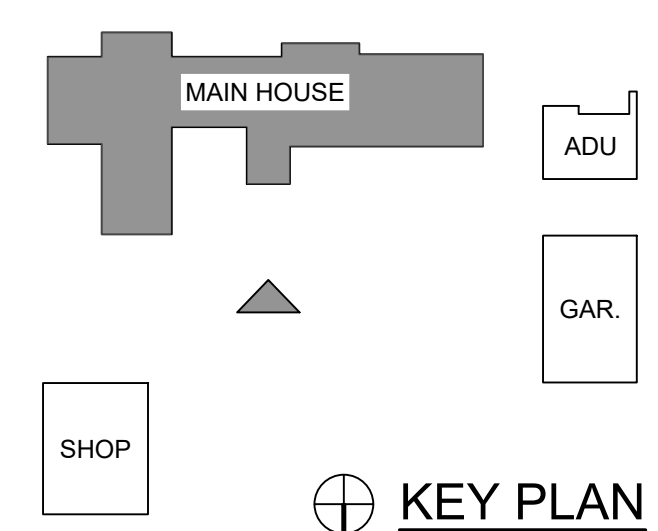
1 (N) 2nd FLOOR PLAN - MAIN HOUSE
1/4" = 1'-0"

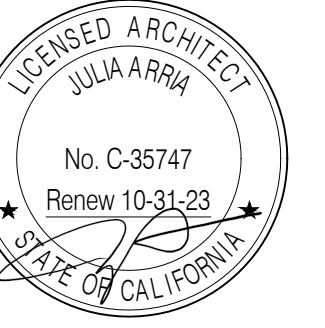


- LEGEND:**
- (N) 2 x 6 WALLS
 - (N) 2 x 4 WALLS
 - ROOF OR WALL ABOVE / BELOW
 - N# NEW KEY NOTE
 - E.P./G.M. ELECTRICAL PANEL / GAS METER
 - # SPOT ELEVATION

- NEW KEY NOTES:**
- N1 SEE A1 SHEETS FOR (N) SITE RELATED NOTES, SEE CIVIL DRAWINGS
 - N2 CLERESTORY WINDOW, SEE A3 EXTERIOR ELEVATIONS
 - N3 (N) ENGINEERED HARDWOOD FLOORING
 - N4 (N) SOFFIT, OR ROOF ABOVE SHOWN DASHED, SEE EXTERIOR ELEVATIONS & SECTIONS
 - N5 (N) WOOD DECK w/ PEDESTAL SYSTEM & AREA DRAIN BELOW, SEE DETAILS
 - N6 (N) OPEN STEEL TRELLIS w/ WOOD SLATS, SEE EXTERIOR ELEVATIONS & DETAILS
 - N7 (N) STEEL AWNING, SEE EXTERIOR ELEVATIONS & DETAILS
 - N8 (N) STEEL FLAT BAR RAILING, SEE EXTERIOR ELEVATIONS & DETAILS

N9 (N) TPO ROOF w/ 2" LAYER OF DECORATIVE PEBBLES





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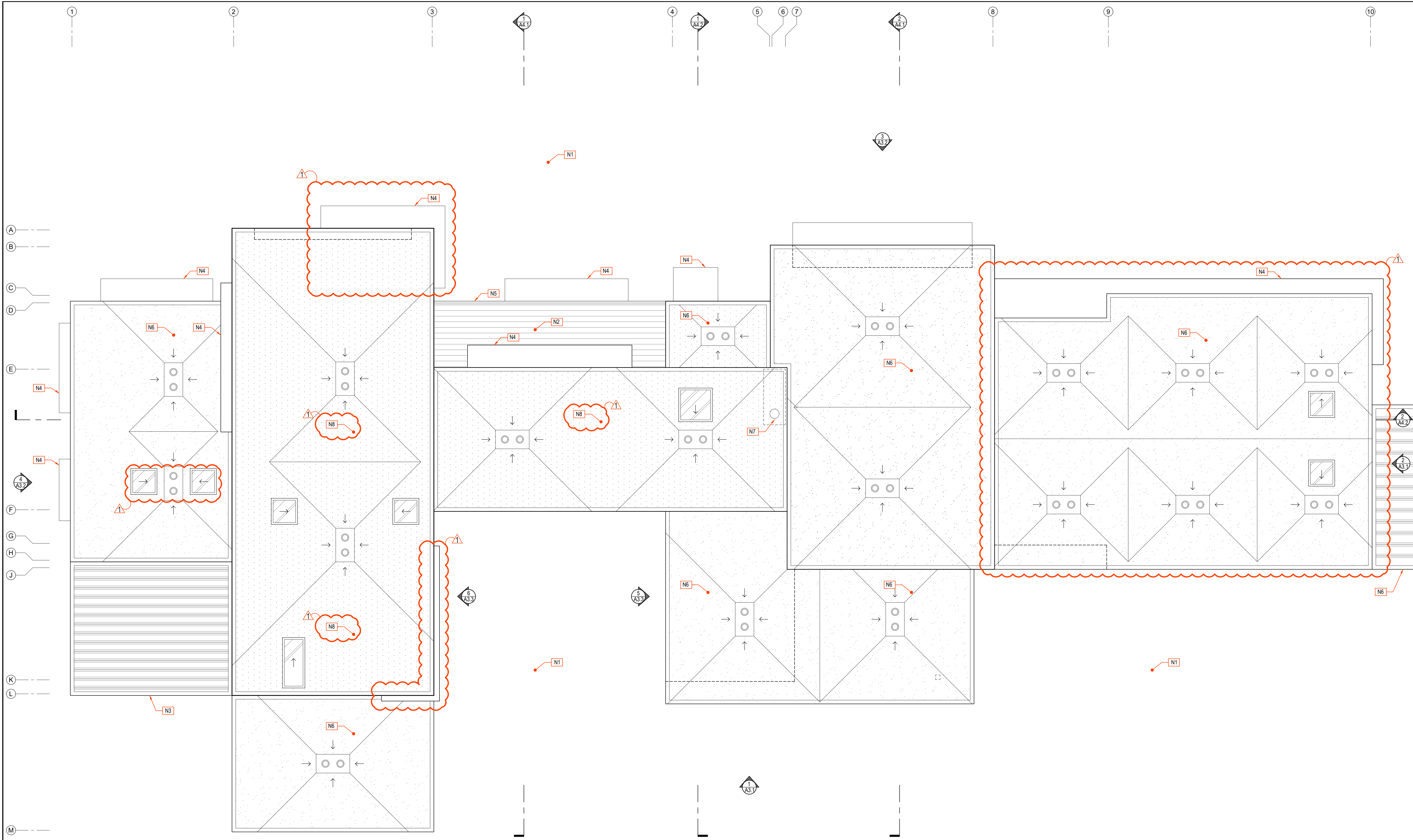
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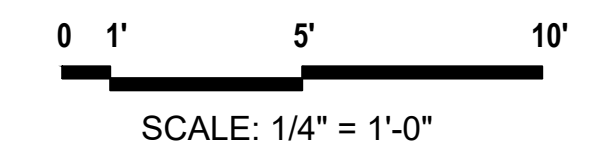
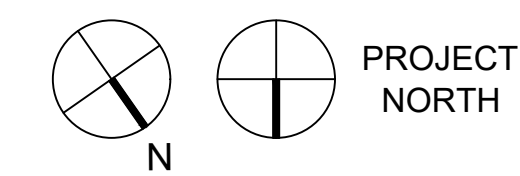
SHEET TITLE:

(N) Roof Plan
- Main House

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

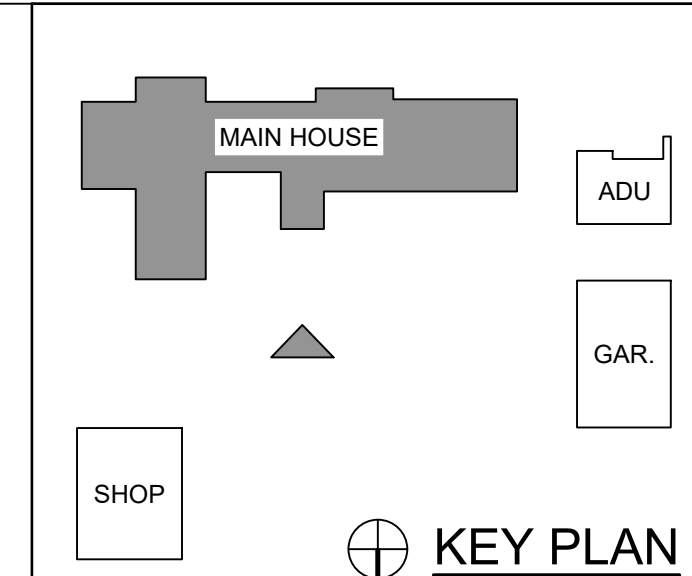


1 (N) ROOF PLAN - MAIN HOUSE
1/4" = 1'-0"

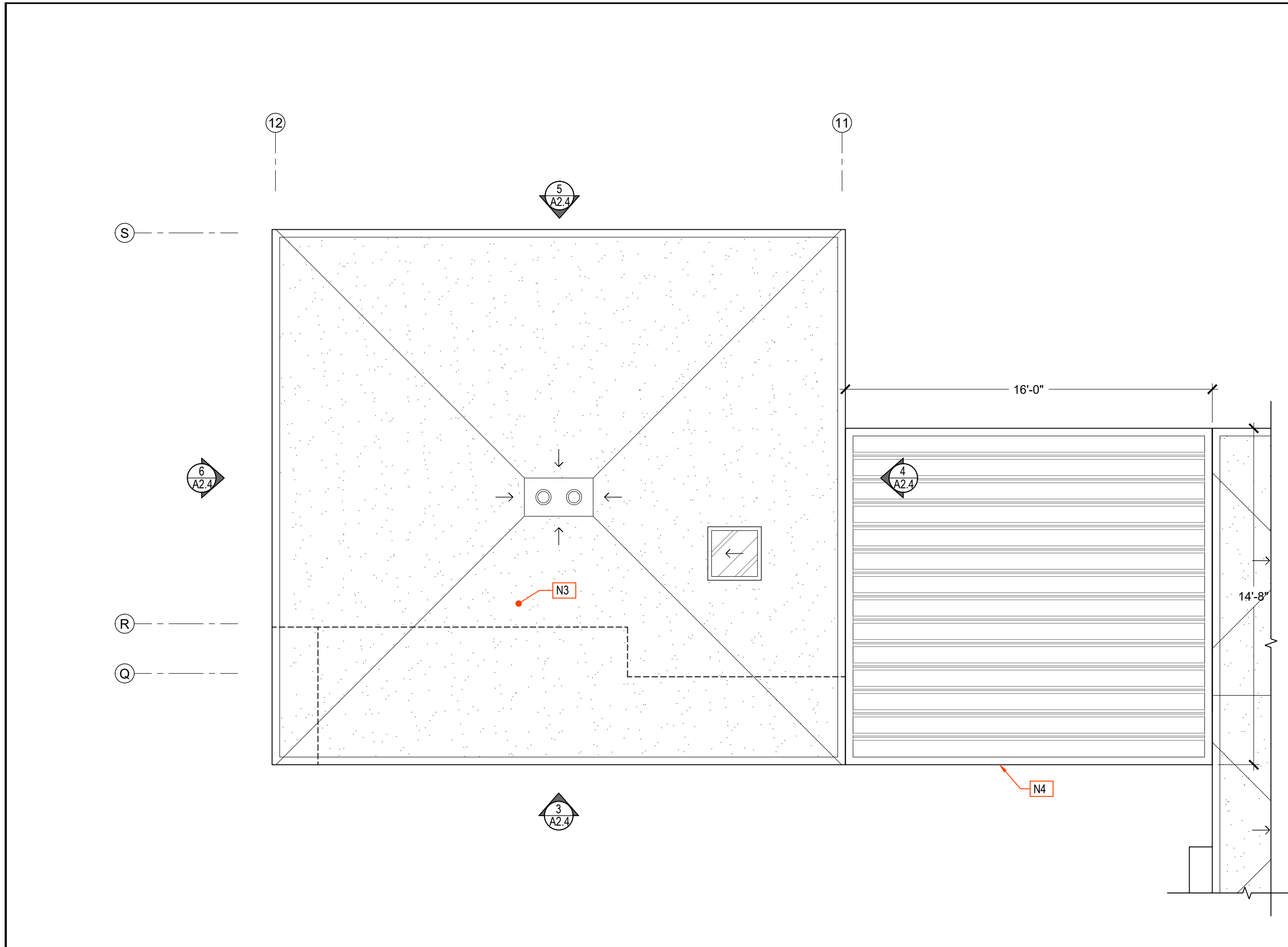


- LEGEND:**
- (N) 2 x 6 WALLS
 - (N) 2 x 4 WALLS
 - ROOF OR WALL ABOVE / BELOW
 - NEW KEY NOTE
 - E.P./G.M. ELECTRICAL PANEL / GAS METER
 - SPOT ELEVATION

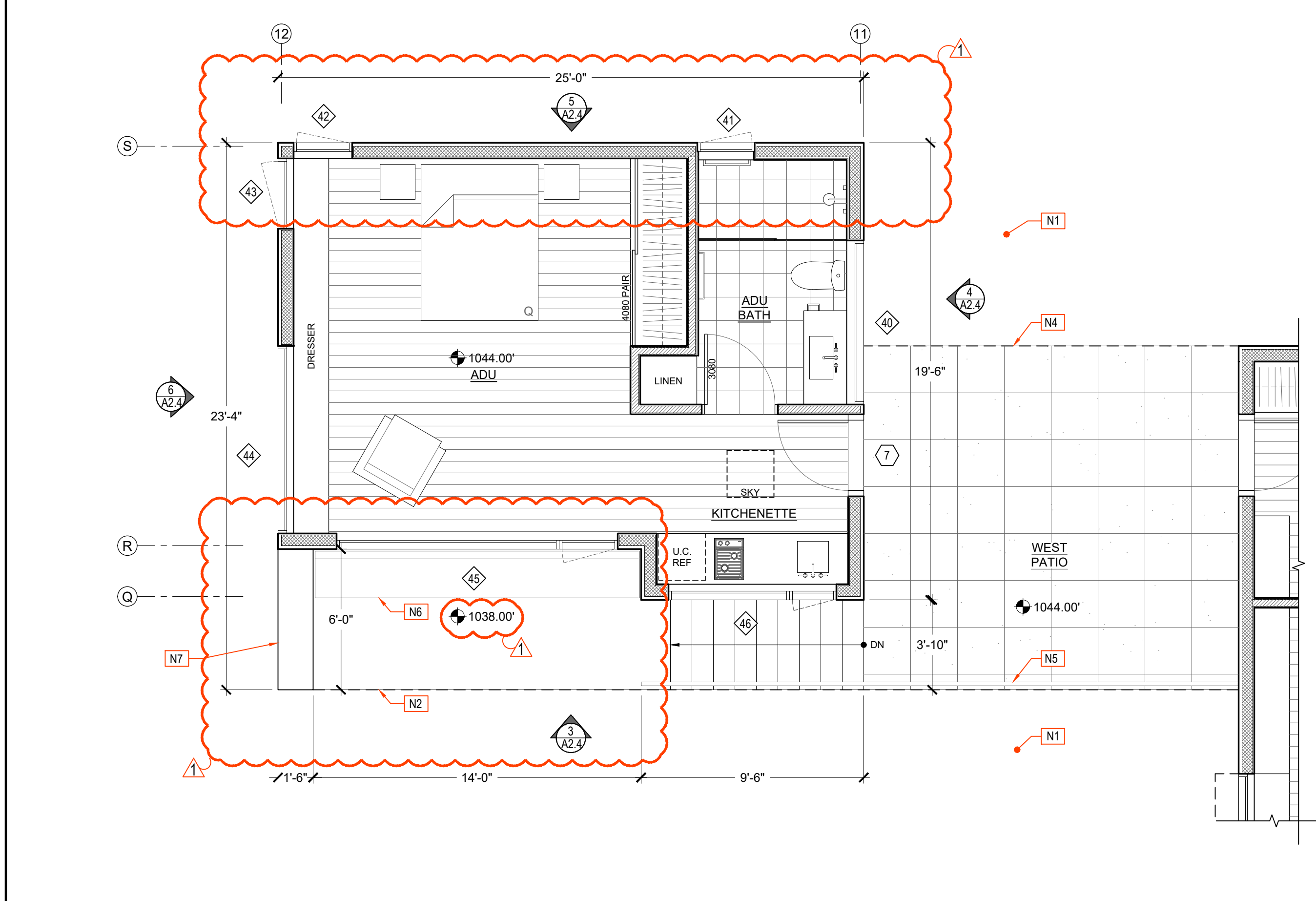
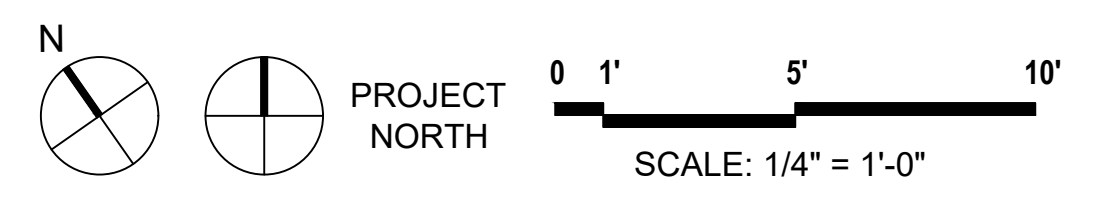
- NEW KEY NOTES:**
- N1** SEE A1 SHEETS FOR (N) SITE RELATED NOTES, SEE CIVIL DRAWINGS
 - N2** (N) WOOD DECK w/ PEDESTAL SYSTEM & AREA DRAIN BELOW, SEE DETAILS
 - N3** (N) OPEN STEEL TRELLIS w/ WOOD SLATS, SEE EXTERIOR ELEVATIONS & DETAILS
 - N4** (N) STEEL PLATE SHADE, SEE EXTERIOR ELEVATIONS & DETAILS
 - N5** (N) STEEL FLAT BAR RAILING, SEE EXTERIOR ELEVATIONS & DETAILS
 - N6** (N) TPO ROOF w/ 2" LAYER OF DECORATIVE PEBBLES
 - N7** (N) FIREPLACE FLUE
 - N8** (N) TPO ROOF



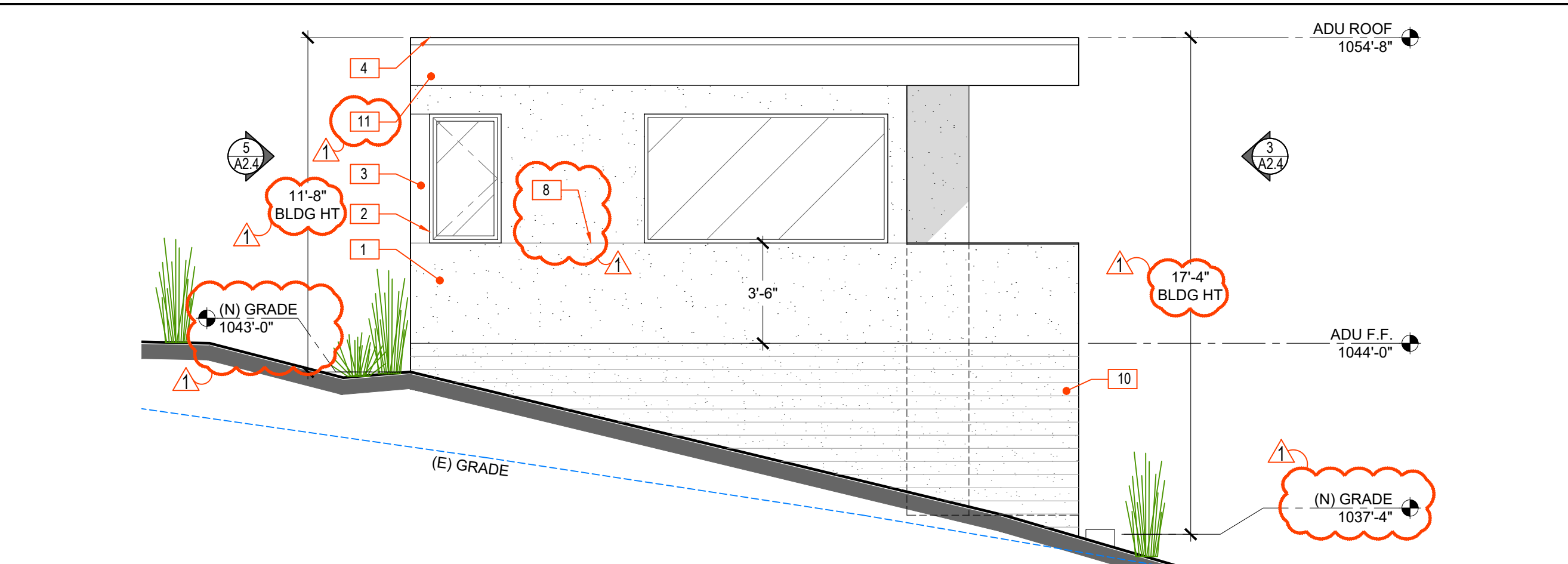
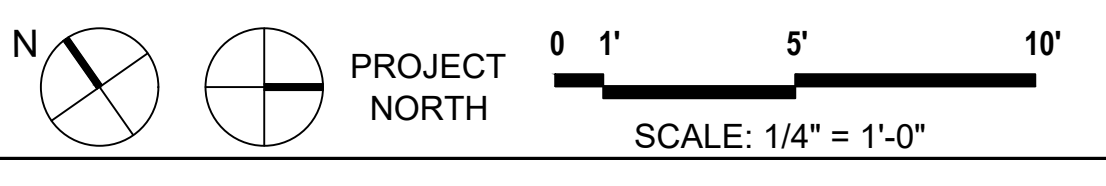
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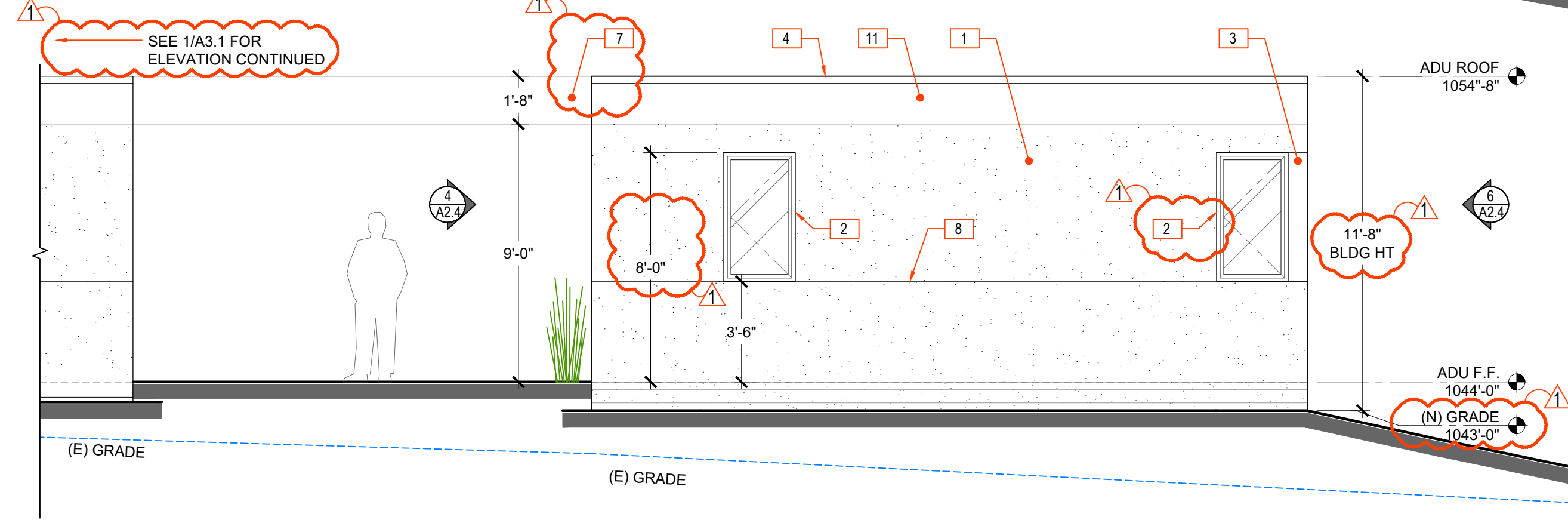
2 DETACHED ADU ROOF PLAN
1/8" = 1'-0"



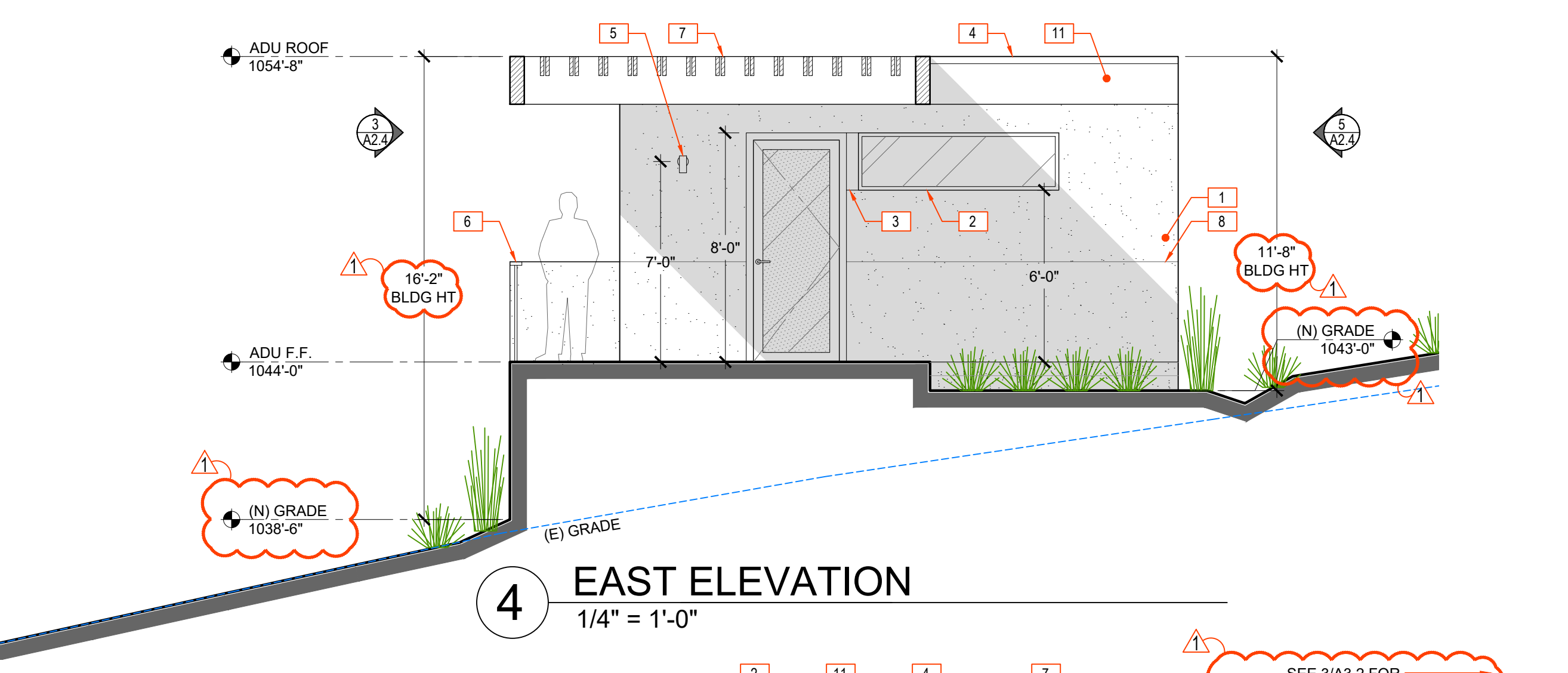
1 DETACHED ADU FLOOR PLAN
1/8" = 1'-0"



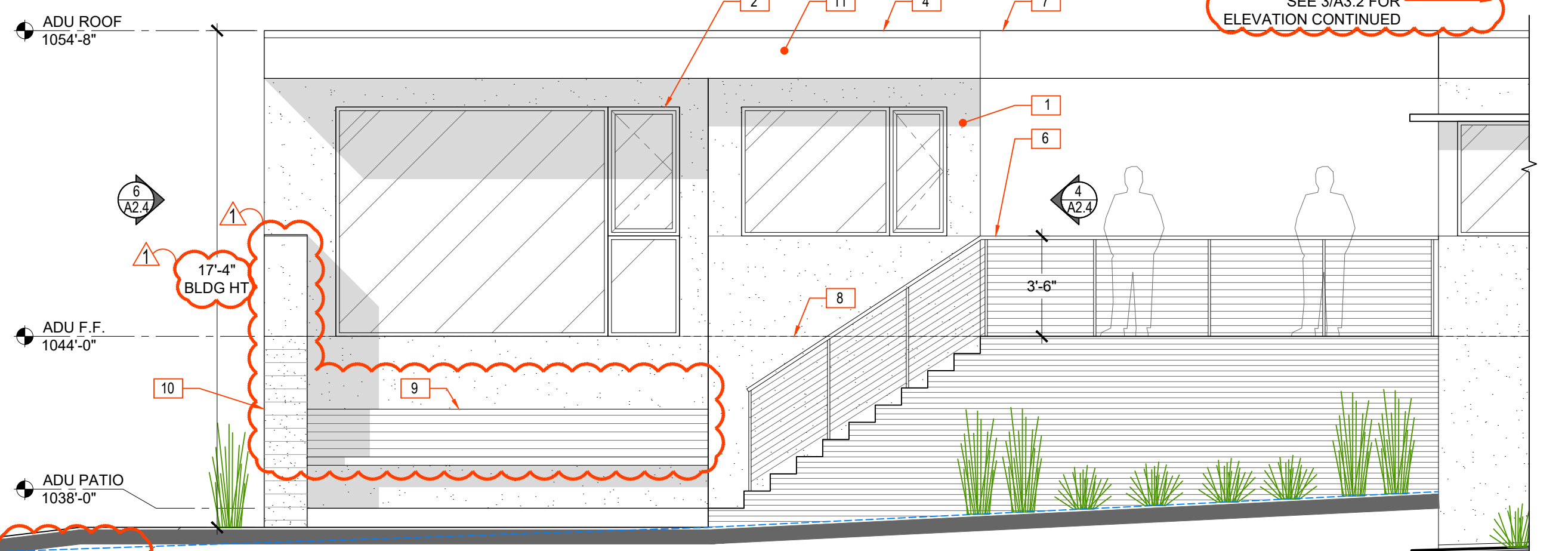
6 WEST ELEVATION
1/4" = 1'-0"



5 NORTH ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION
1/4" = 1'-0"

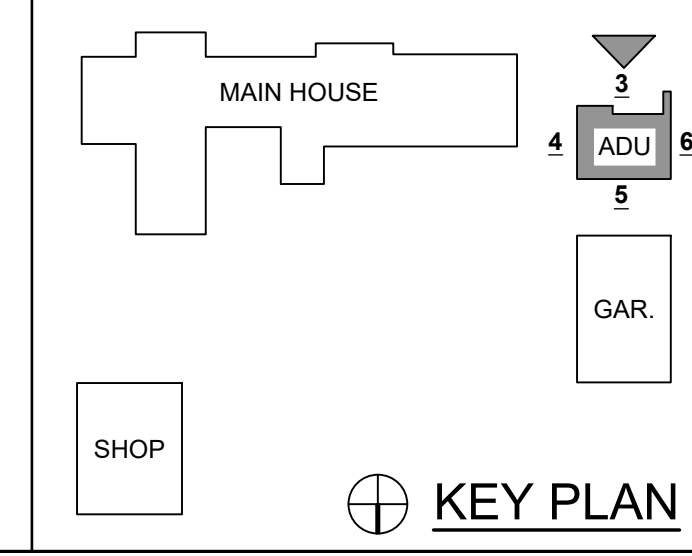


3 SOUTH ELEVATION
1/4" = 1'-0"

- LEGEND:**
- (N) 2 x 6 WALLS
 - (N) 2 x 4 WALLS
 - N# NEW PLAN KEY NOTE
 - # NEW ELEV. KEY NOTE
 - # SPOT ELEVATION
 - # WINDOW TYPE, SEE ALSO SCHEDULES
 - # DOOR TYPE, SEE ALSO SCHEDULES
 - EXISTING GRADE

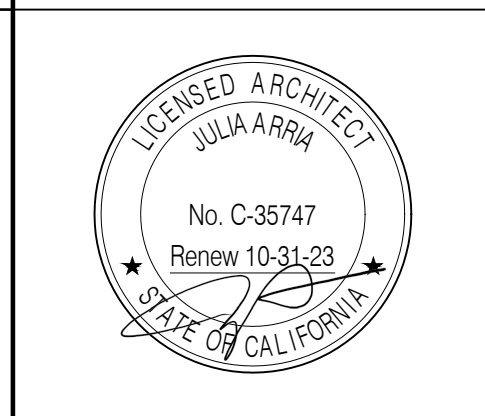
- NEW KEY NOTES (PLAN):**
- N1 SEE A1 SHEETS FOR (N) SITE RELATED NOTES, SEE ALSO CIVIL DRAWINGS
 - N2 (N) SOFFIT, OR ROOF ABOVE SHOWN DASHED, SEE ALSO EXTERIOR ELEVATIONS AND SECTIONS.
 - N3 (N) TPO ROOF w/ 2" LAYER OF DECORATIVE PEBBLES, LAYOUT DESIGN TBD
 - N4 (N) OPEN STEEL TRELLIS w/ WOOD SLATS, SEE EXTERIOR ELEVATIONS & DETAILS
 - N5 (N) STEEL FLAT BAR RAILING, SEE EXTERIOR ELEVATIONS & DETAILS
 - N6 (N) BUILT-IN FLOATING WOOD BENCH w/ BACKREST
 - N7 (N) BOARD FORM CONCRETE RETAINING WALL w/ STEEL CAP

- NEW KEY NOTES (ELEV.):**
- 1 (N) INTEGRAL COLOR ACRYLIC STUCCO w/ FINE SAND FINISH (LIGHT COLOR PER A9 FINISH SCHEDULE)
 - 2 (N) PAINTED ALUMINUM DOORS & WINDOWS, SEE A9 FINISH SCHEDULE
 - 3 (N) BREAK METAL, PAINTED TO MATCH WINDOWS, SEE A9 FINISH SCHEDULE
 - 4 (N) 20 GAUGE METAL DRIP CAP @ ROOF PARAPET, PAINTED TO MATCH WINDOWS, SEE A9 SCHEDULE
 - 5 (N) EXTERIOR DOWN LIGHT WALL SCENCE (TYP.), SEE LIGHTING SCHEDULE
 - 6 (N) STEEL FLAT BAR GUARDRAIL 42" A.F.F. w/ HORIZONTAL RODS 3" OC, SEE A9 SCHEDULE
 - 7 (N) OPEN STEEL TRELLIS w/ WOOD SLATS, SEE PLANS & DETAILS
 - 8 (N) STUCCO REVEAL SCORE LINE, PAINTED TO MATCH STUCCO OR WINDOW
 - 9 (N) BUILT-IN FLOATING WOOD BENCH w/ BACKREST
 - 10 (N) BOARD FORM CONCRETE RETAINING WALL w/ STEEL CAP
 - 11 (N) FASCIA BOARD, PAINTED TO MATCH WINDOW FRAME, SEE A9 FINISH SCHEDULE



ODS
ARCHITECTURE

5895 Doyle Street,
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www.odsarchitecture.com



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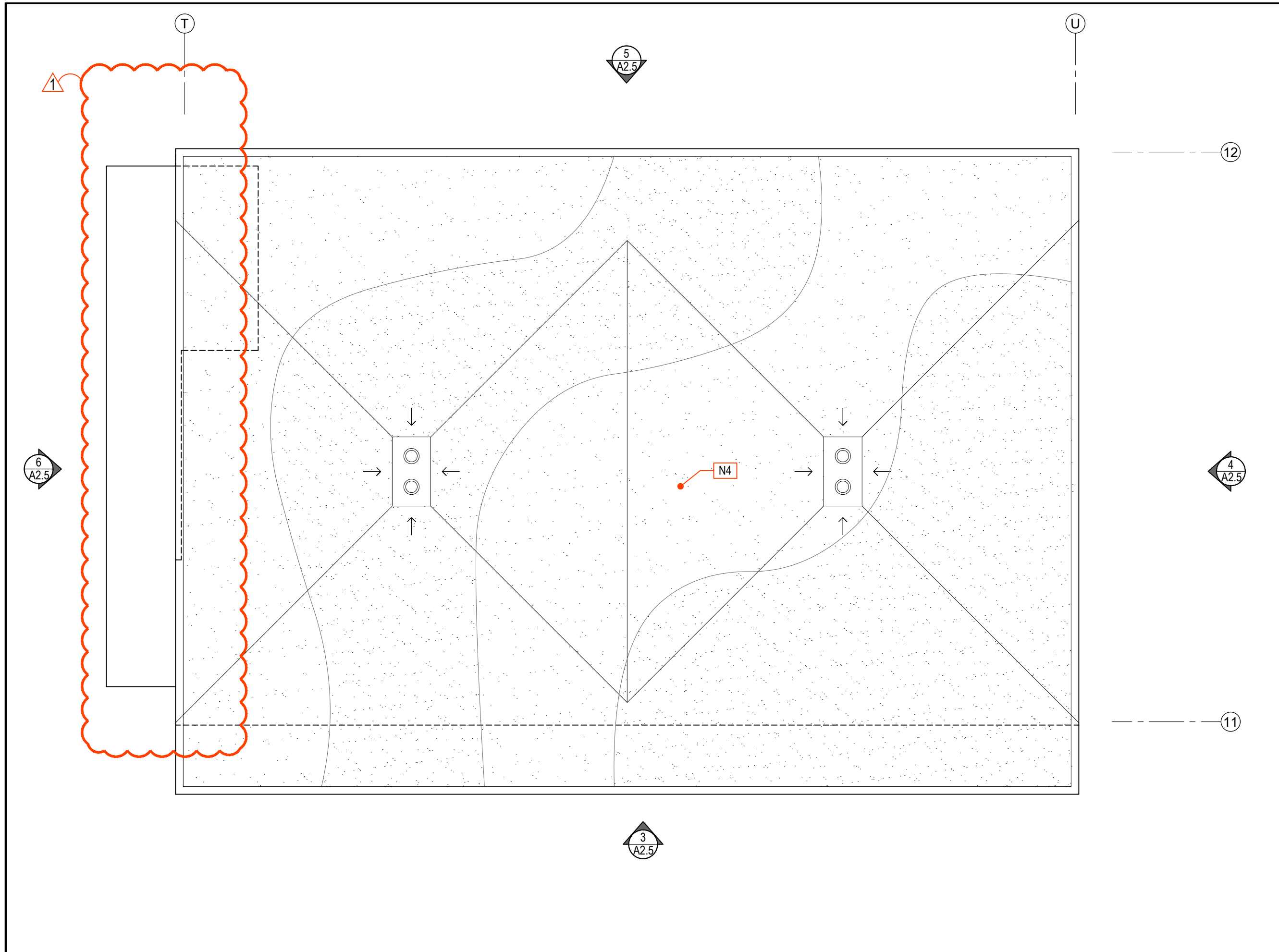
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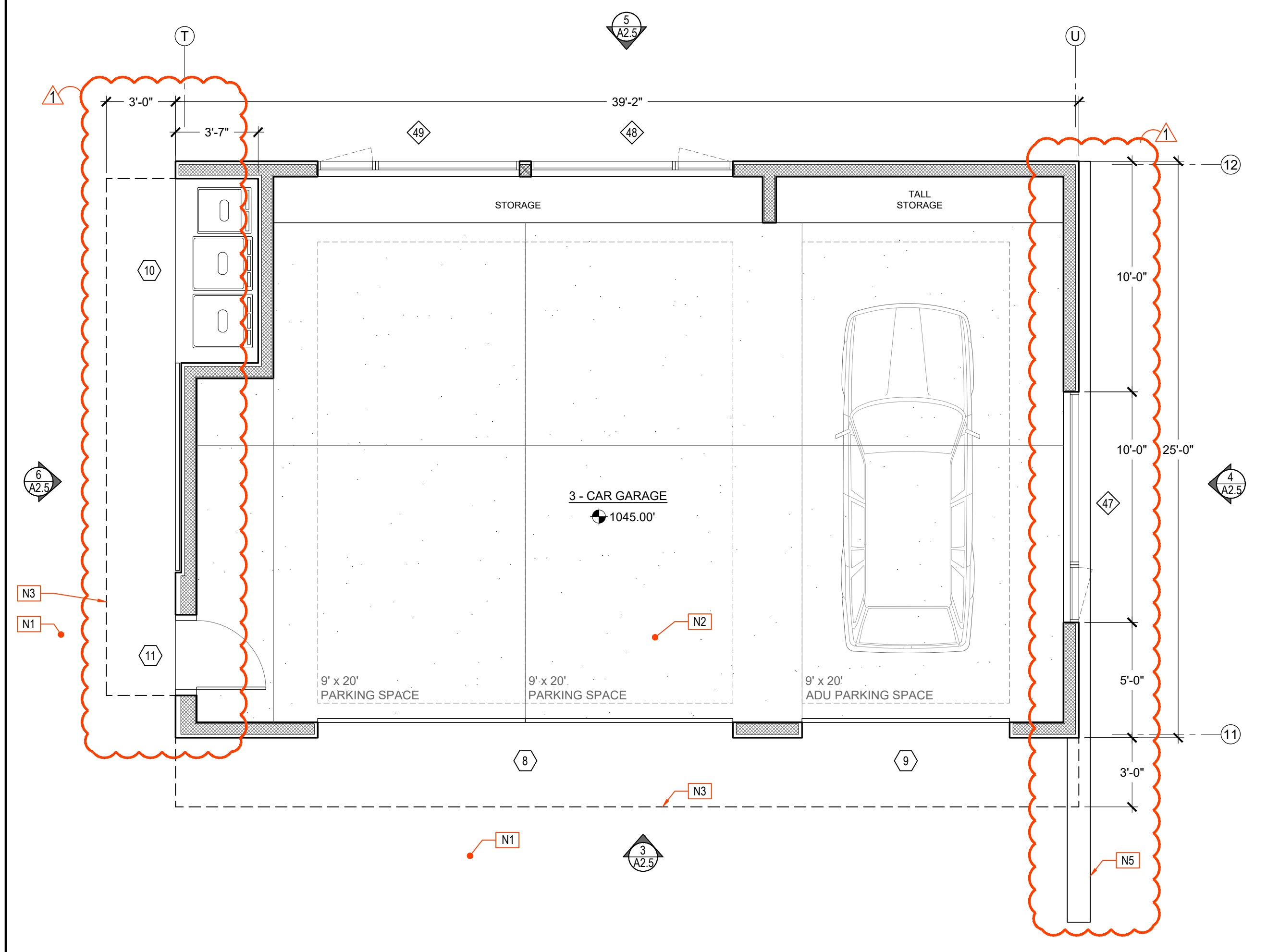
SHEET TITLE:
(N) Plans & Elevations - Detached ADU

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

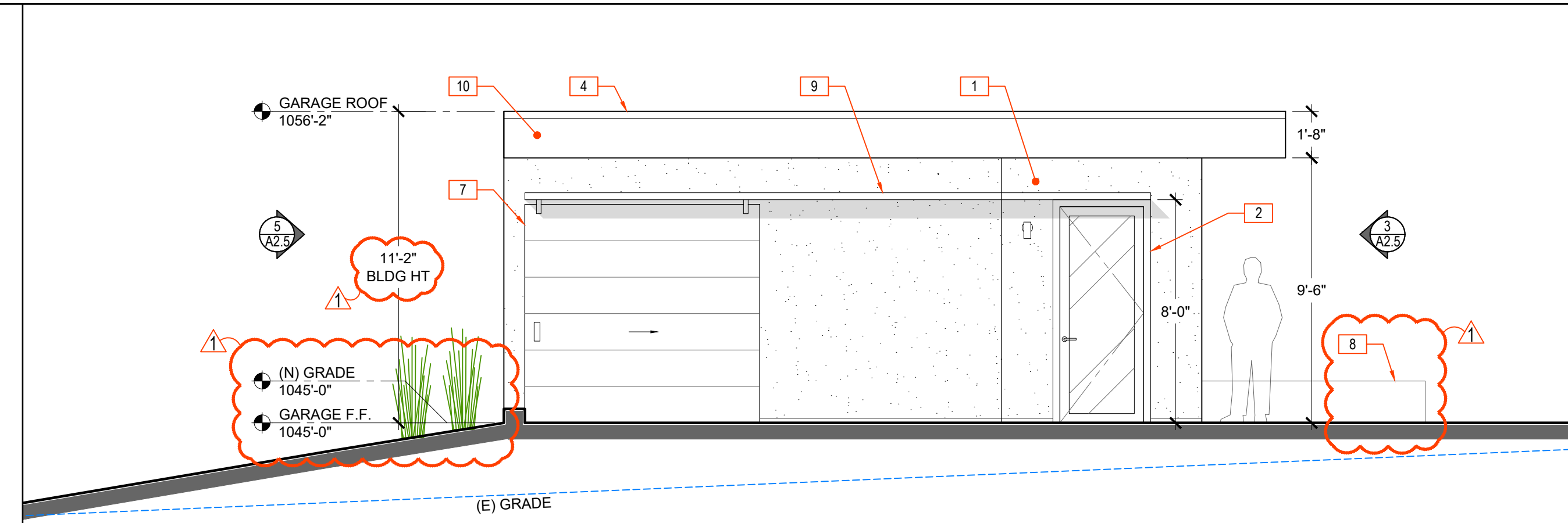
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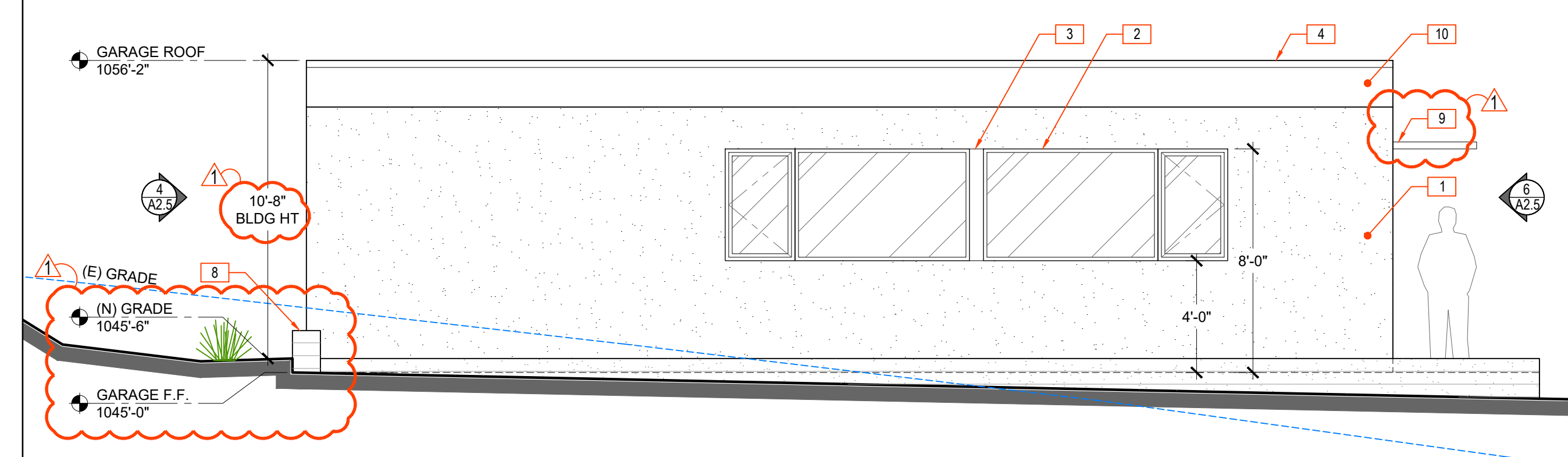
2 DETACHED GARAGE ROOF PLAN
1/8" = 1'-0"
PROJECT NORTH
SCALE: 1/4" = 1'-0"



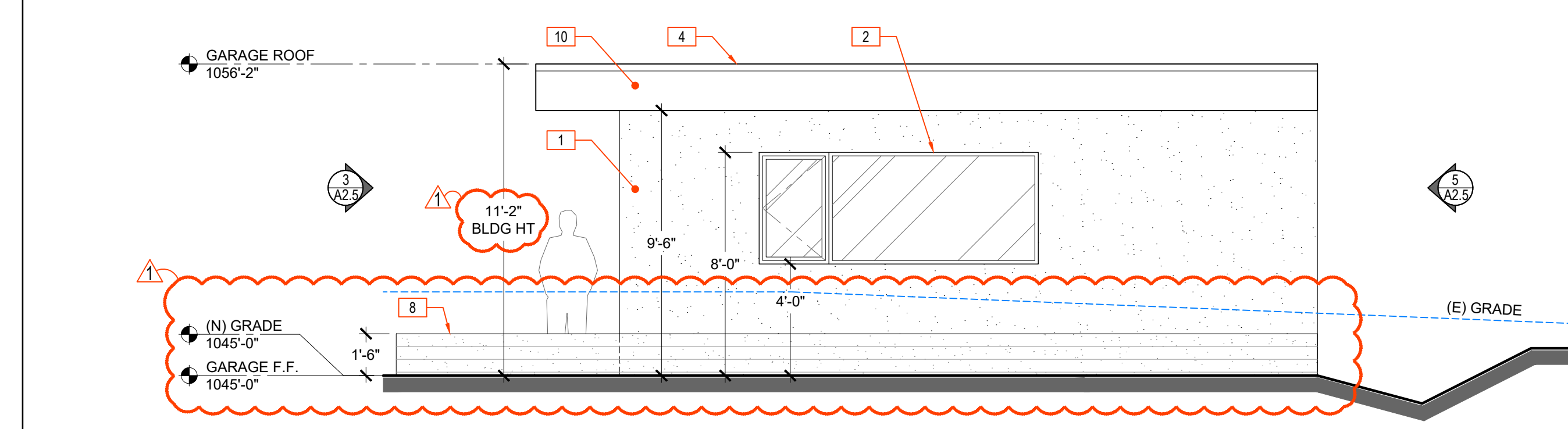
1 DETACHED GARAGE FLOOR PLAN
1/8" = 1'-0"
PROJECT NORTH
SCALE: 1/4" = 1'-0"



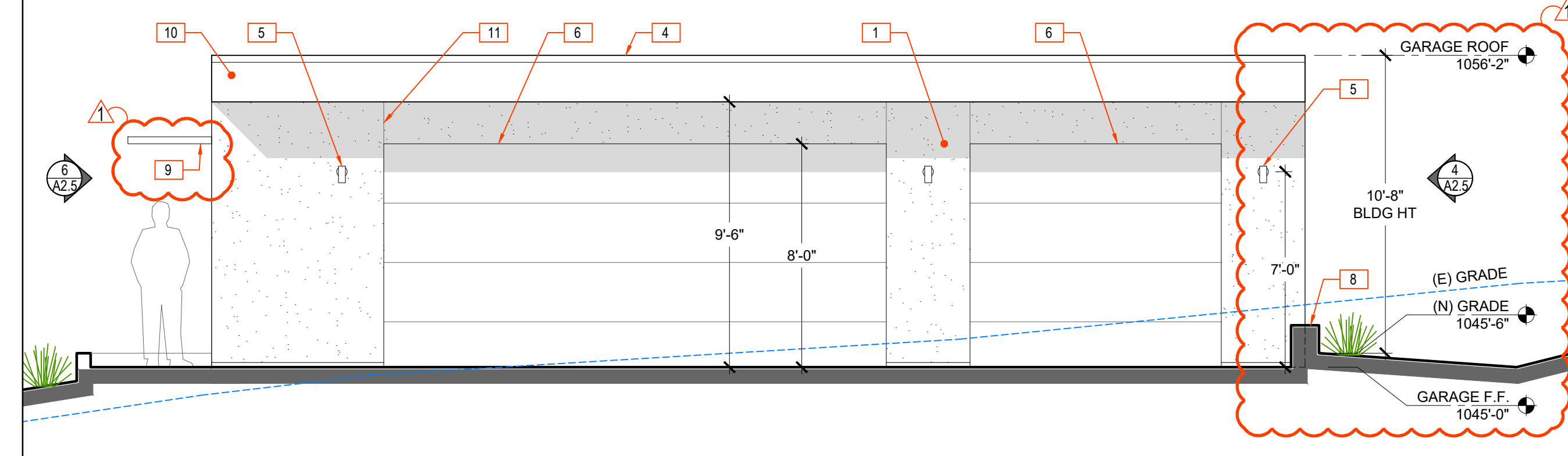
6 SOUTH ELEVATION
1/4" = 1'-0"



5 WEST ELEVATION
1/4" = 1'-0"



4 NORTH ELEVATION
1/4" = 1'-0"

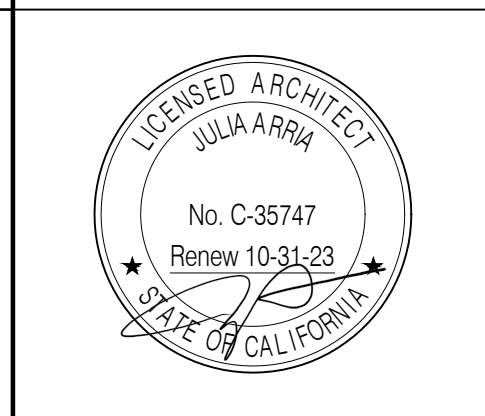
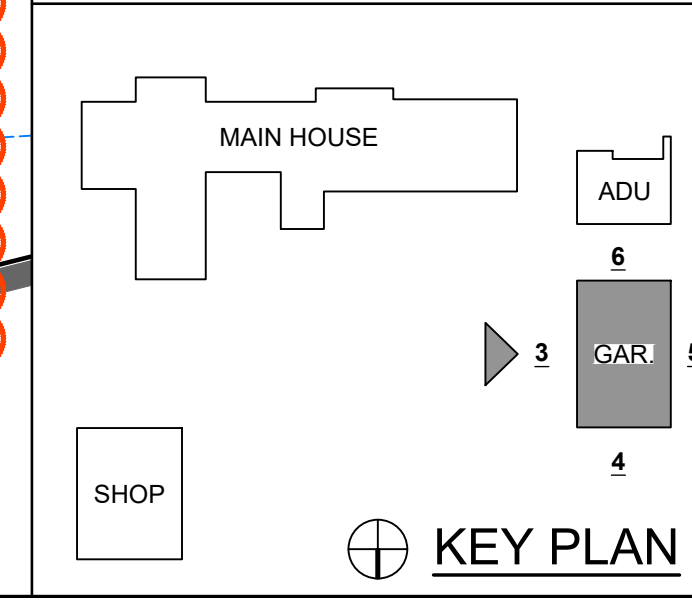


3 EAST ELEVATION
1/4" = 1'-0"

- LEGEND:**
- (N) 2 x 6 WALLS
 - (N) 2 x 4 WALLS
 - N# NEW PLAN KEY NOTE
 - E# NEW ELEV. KEY NOTE
 - # SPOT ELEVATION
 - ◇ WINDOW TYPE, SEE ALSO SCHEDULES
 - ⊕ DOOR TYPE, SEE ALSO SCHEDULES
 - EXISTING GRADE

- NEW KEY NOTES (PLAN):**
- N1 SEE A1 SHEETS FOR (N) SITE RELATED NOTES, SEE ALSO CIVIL DRAWINGS
 - N2 (N) EPOXY FINISH OF CONCRETE FLOOR
 - N3 (N) SOFFIT, OR ROOF ABOVE SHOWN DASHED, SEE ALSO EXTERIOR ELEVATIONS AND SECTIONS.
 - N4 (N) TPO ROOF w/ 2" LAYER OF DECORATIVE PEBBLES, LAYOUT DESIGN TBD
 - N5 (N) CONCRETE RETAINING WALL, SEE CIVIL DRAWINGS

- NEW KEY NOTES (ELEV.):**
- 1 (N) INTEGRAL COLOR ACRYLIC STUCCO w/ FINE SAND FINISH (DARK COLOR PER A9 FINISH SCHEDULE
 - 2 (N) PAINTED ALUMINUM DOORS & WINDOWS, SEE A9 FINISH SCHEDULE
 - 3 (N) BREAK METAL, PAINTED TO MATCH WINDOWS, SEE A9 FINISH SCHEDULE
 - 4 (N) 20 GAUGE METAL DRIP CAP @ ROOF PARAPET, PAINTED TO MATCH WINDOWS, SEE A9 FINISH SCHEDULE
 - 5 (N) EXTERIOR DOWN LIGHT WALL SCENCE (TYP.), SEE LIGHTING SCHEDULE
 - 6 (N) FLUSH METAL PANEL SECTIONAL GARAGE DOOR, PAINTED TO MATCH WINDOWS, SEE A9 FINISH SCHEDULE
 - 7 (N) LIGHT WEIGHT SLIDING TRASH ENCLOSURE, DETAILS TBD
 - 8 (N) BOARD FORM CONCRETE RETAINING WALL
 - 9 STEEL PLATE AWNING, PAINTED TO MATCH WINDOWS
 - 10 (N) FASCIA BOARD, PAINTED TO MATCH WINDOW FRAME, SEE A9 FINISH SCHEDULE
 - 11 (N) STUCCO REVEAL SCORE LINE, PAINTED TO MATCH STUCCO OR WINDOW



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PLANNING SUBMITTAL

SHEET TITLE:
(N) Plans & Elevations - Detached Garage

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

A2.5



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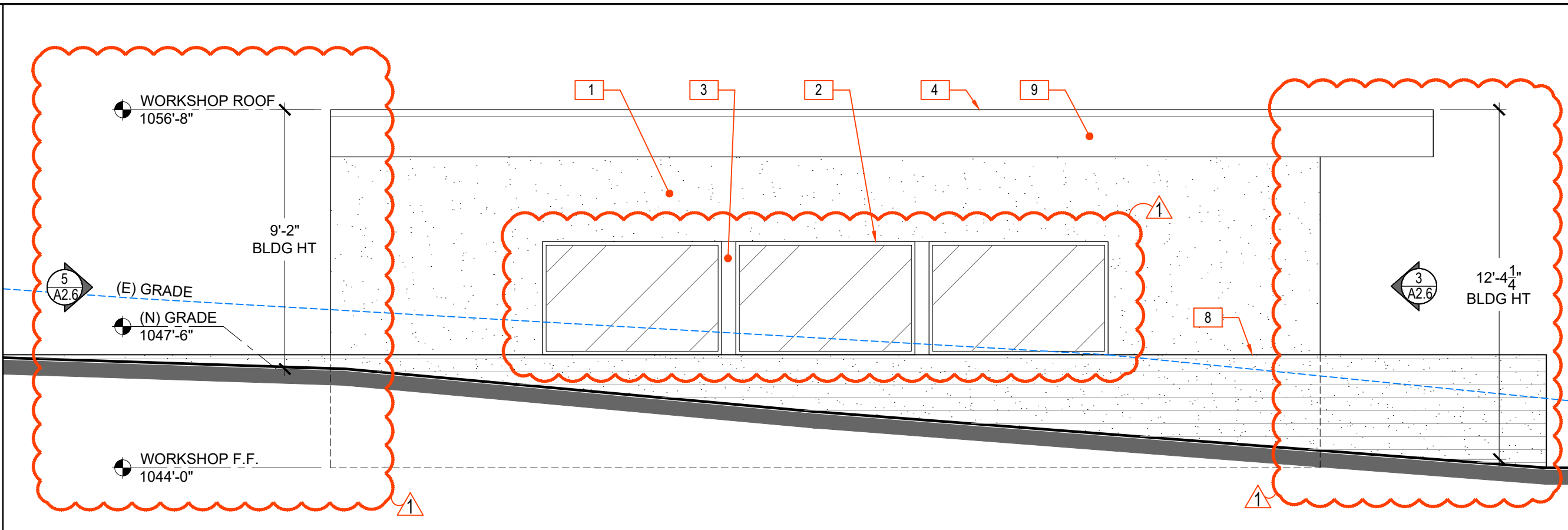
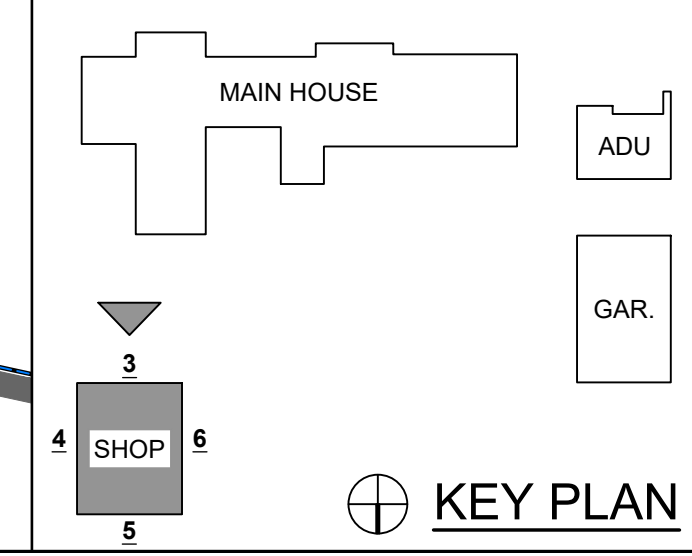
SHEET TITLE:
(N) Plans & Elevations -
Detached Workshop

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

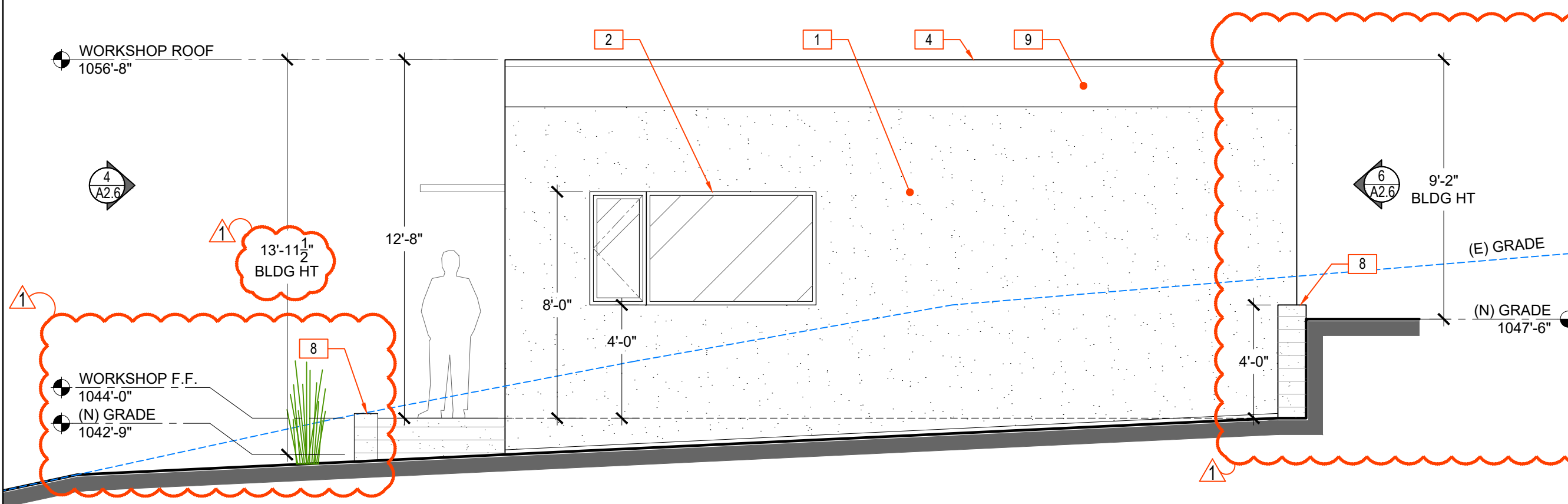
- LEGEND:**
- (N) 2 x 6 WALLS
 - (N) 2 x 4 WALLS
 - N# NEW PLAN KEY NOTE
 - # NEW ELEV. KEY NOTE
 - # SPOT ELEVATION
 - # WINDOW TYPE, SEE ALSO SCHEDULES
 - # DOOR TYPE, SEE ALSO SCHEDULES
 - - - - - EXISTING GRADE

- NEW KEY NOTES (PLAN):**
- N1 SEE A1 SHEETS FOR (N) SITE RELATED NOTES, SEE ALSO CIVIL DRAWINGS
 - N2 (N) EPOXY FINISH OF CONCRETE FLOOR
 - N3 (N) SOFFIT, OR ROOF ABOVE SHOWN DASHED, SEE ALSO EXTERIOR ELEVATIONS AND SECTIONS.
 - N4 (N) TPO ROOF w/ 2" LAYER OF DECORATIVE PEBBLES, LAYOUT DESIGN TBD

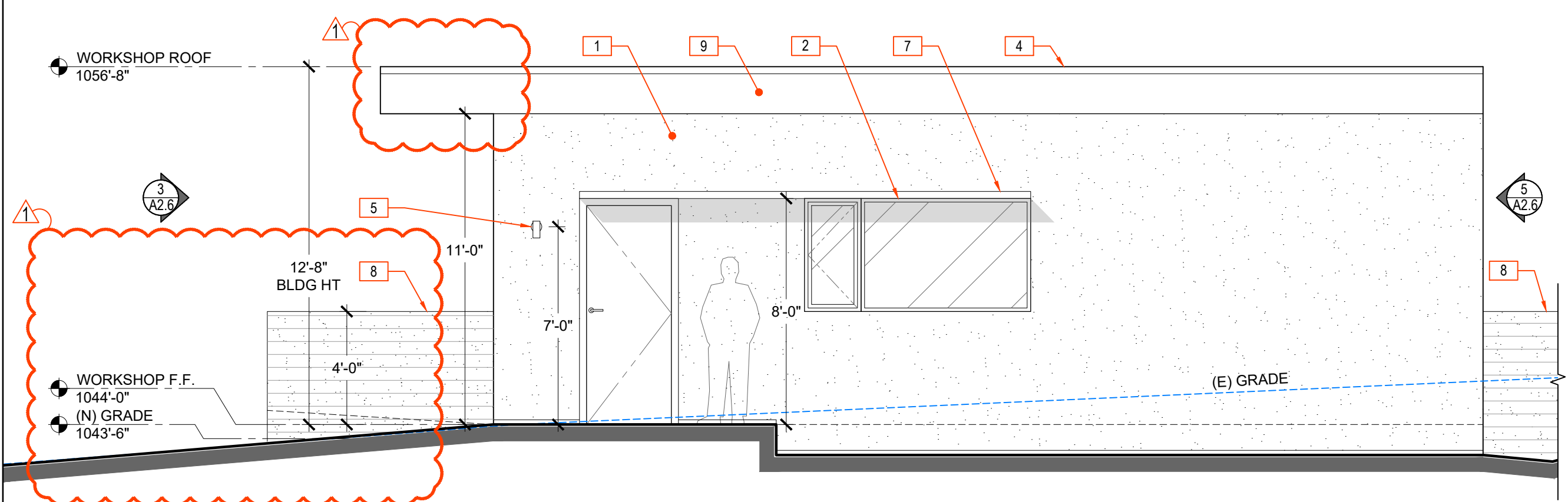
- NEW KEY NOTES (ELEV.):**
- 1 (N) INTEGRAL COLOR ACRYLIC STUCCO w/ FINE SAND FINISH (DARK COLOR PER A9 FINISH SCHEDULE
 - 2 (N) PAINTED ALUMINUM DOORS & WINDOWS, SEE A9 FINISH SCHEDULE
 - 3 (N) BREAK METAL, PAINTED TO MATCH WINDOWS, SEE A9 FINISH SCHEDULE
 - 4 (N) 20 GAUGE METAL DRIP CAP @ ROOF PARAPET, PAINTED TO MATCH WINDOWS, SEE A9 FINISH SCHEDULE
 - 5 (N) EXTERIOR DOWN LIGHT WALL SCENCE (TYP.), SEE LIGHTING SCHEDULE
 - 6 (N) FLUSH METAL PANEL SECTIONAL GARAGE DOOR, PAINTED TO MATCH WINDOWS, SEE A8 & A9 SCHEDULES
 - 7 STEEL PLATE AWNING, PAINTED TO MATCH WINDOWS
 - 8 (N) BOARD FORM CONCRETE RETAINING WALL
 - 9 (N) FASCIA BOARD, PAINTED TO MATCH WINDOW FRAME, SEE A9 FINISH SCHEDULE
 - 10 (N) STUCCO REVEAL SCORE LINE, PAINTED TO MATCH STUCCO OR DOOR



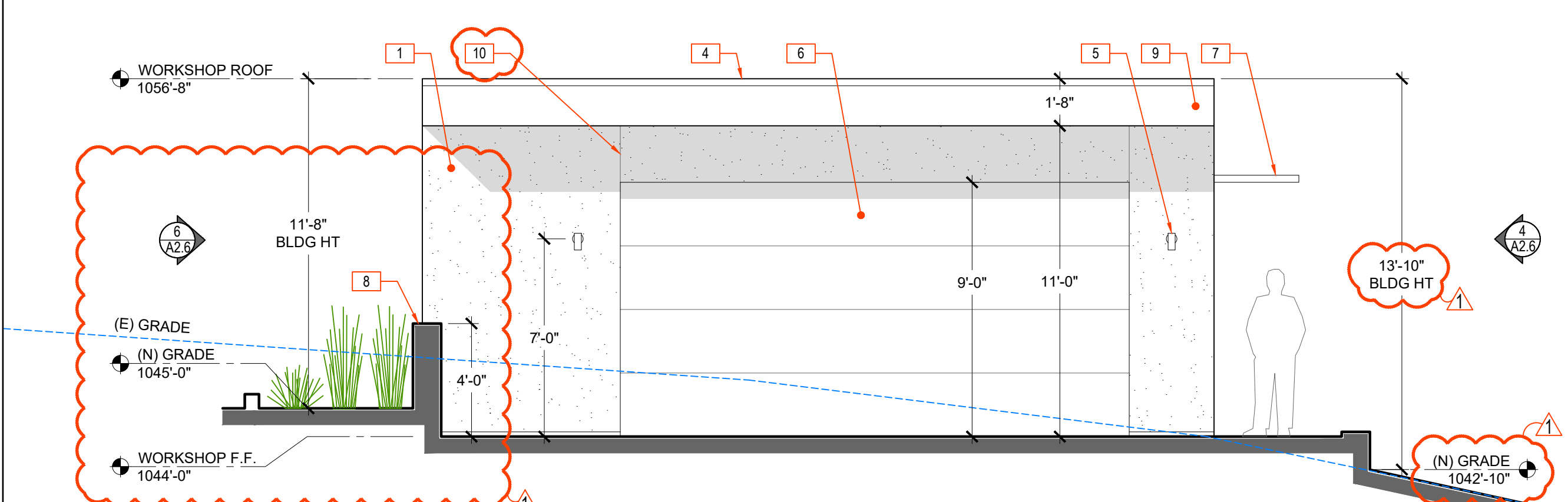
6 WEST ELEVATION
1/4" = 1'-0"



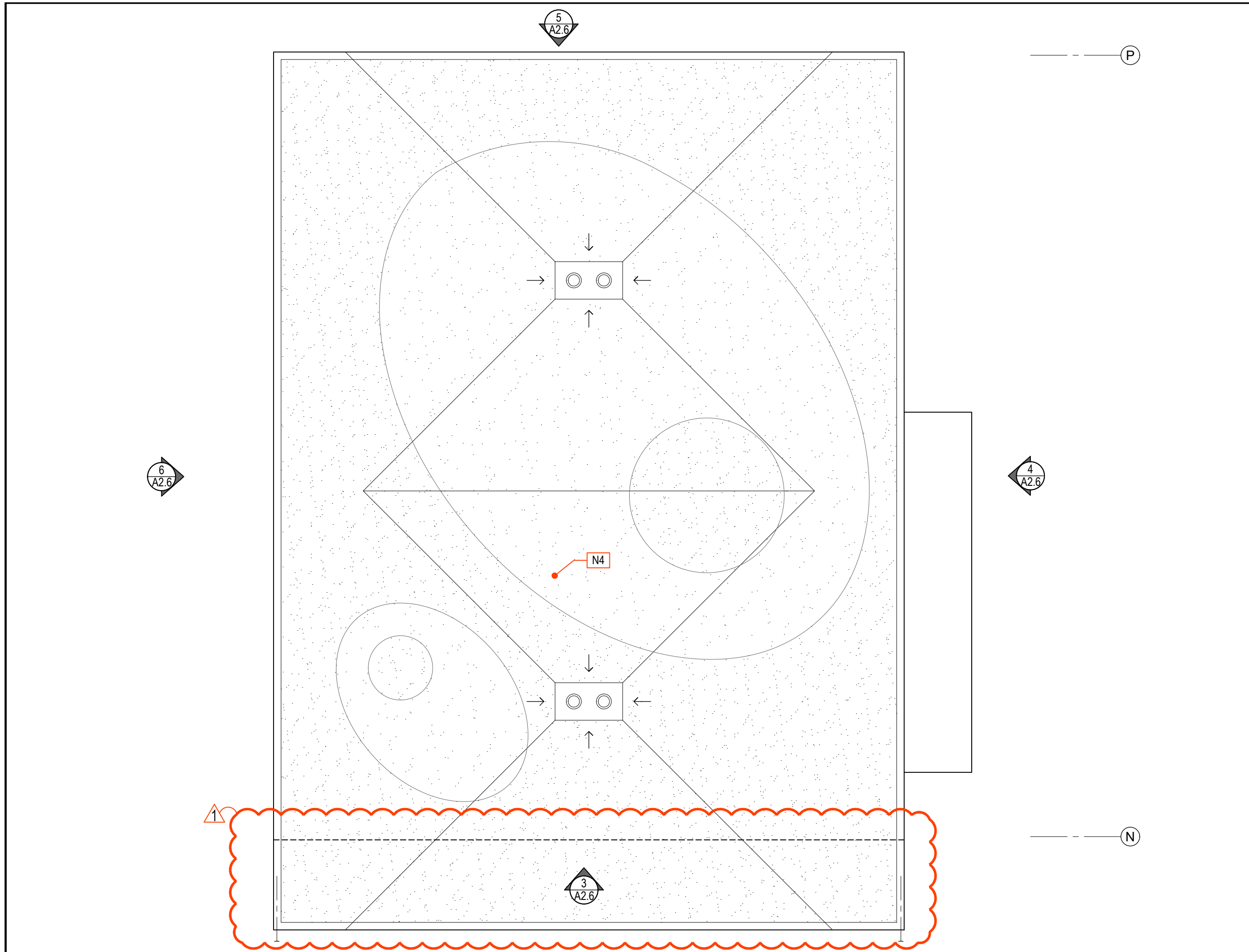
5 NORTH ELEVATION
1/4" = 1'-0"



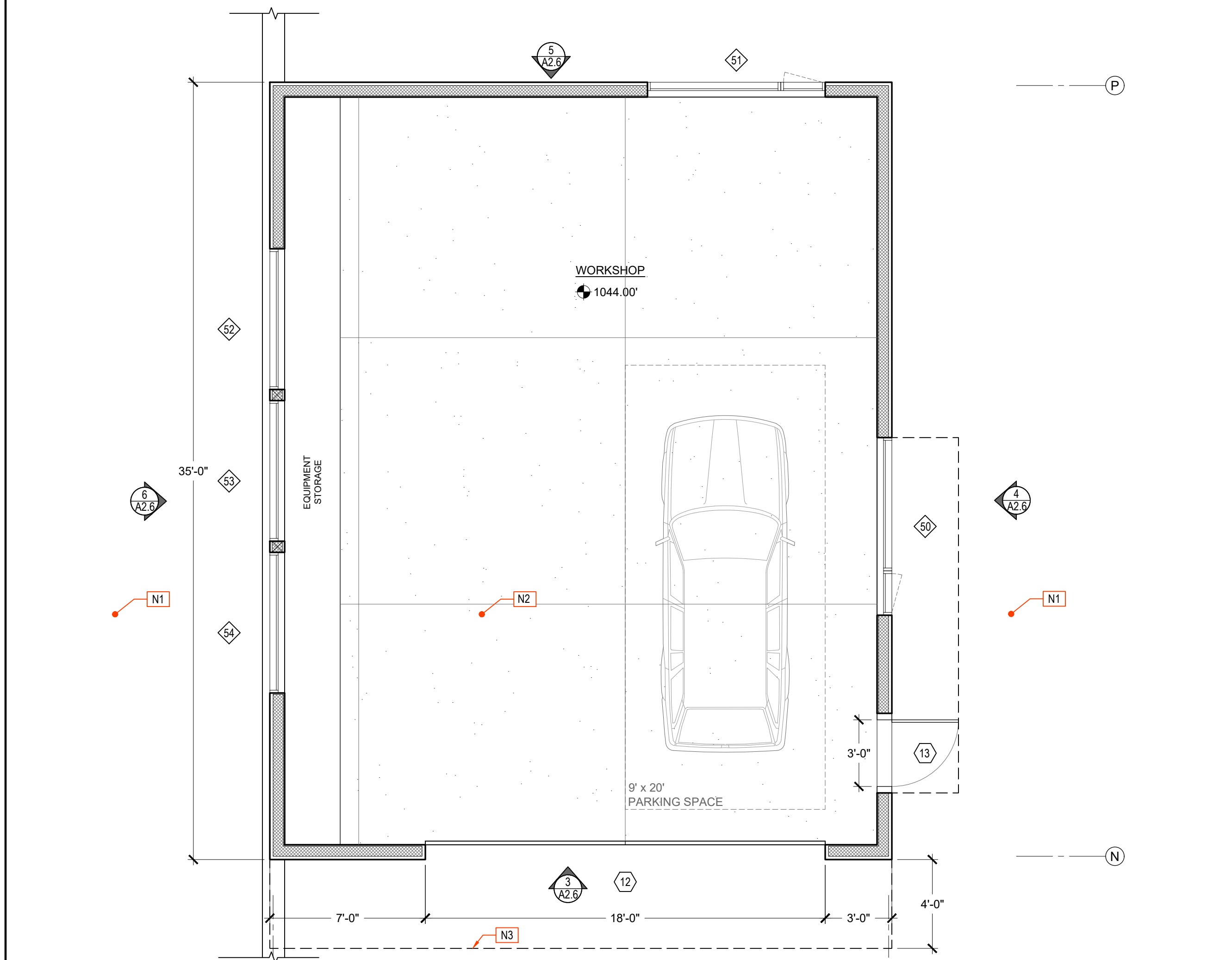
4 EAST ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



2 DETACHED WORKSHOP ROOF PLAN
1/8" = 1'-0"



1 DETACHED WORKSHOP FLOOR PLAN
1/8" = 1'-0"



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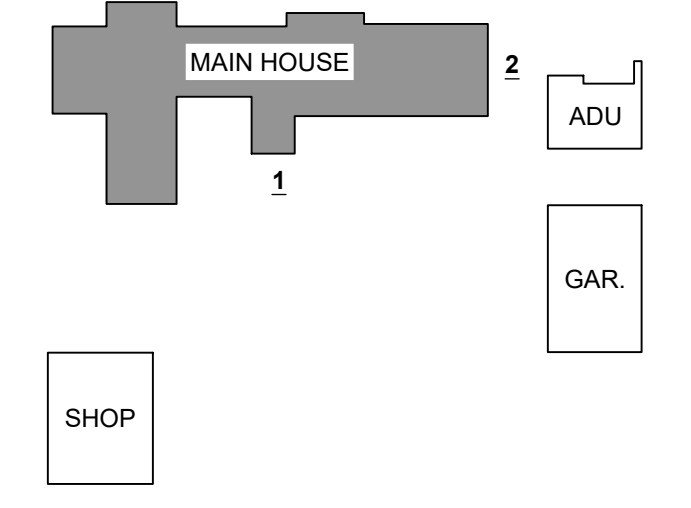
PLANNING SUBMITTAL

SHEET TITLE:
(N) Exterior Elevations

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

A3.1

KEY PLAN:

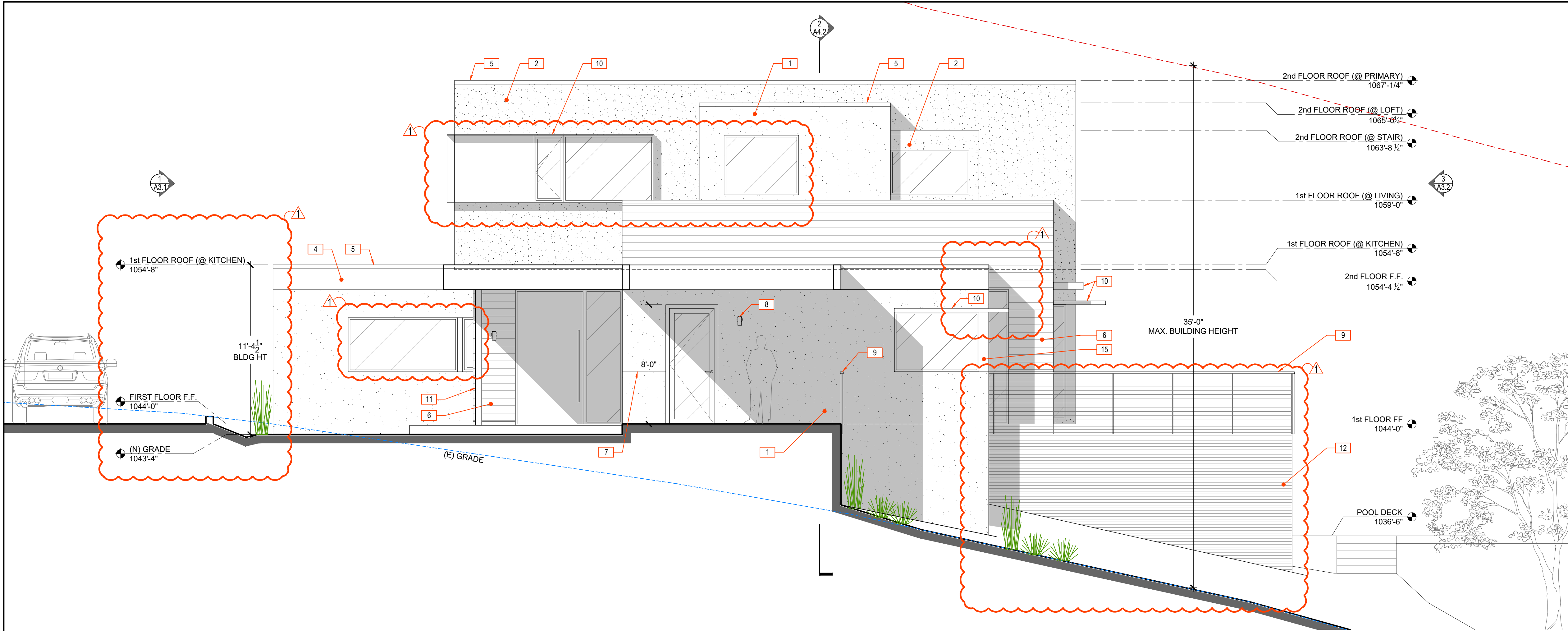


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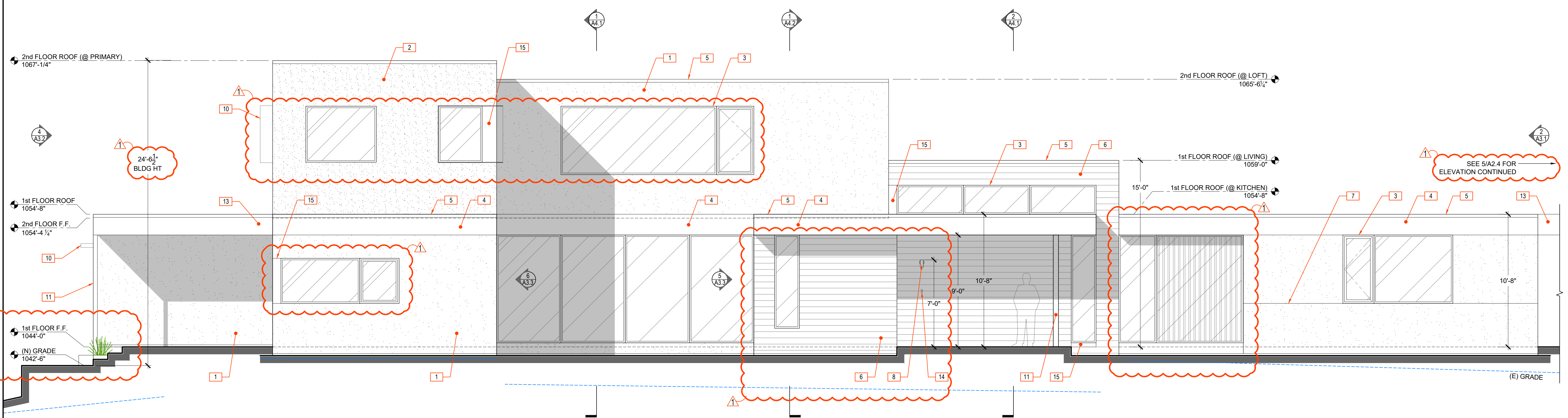
- # NEW ELEV. KEY NOTE
- EXISTING GRADE

NEW KEY NOTES:

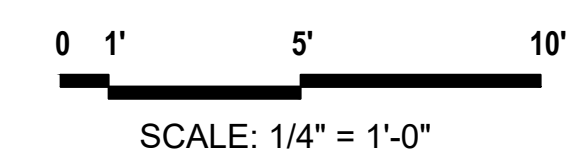
- 1 (N) INTEGRAL COLOR ACRYLIC STUCCO w/ FINE SAND FINISH (LIGHT COLOR PER A9 FINISH SCHEDULE)
- 2 (N) INTEGRAL COLOR ACRYLIC STUCCO w/ FINE SAND FINISH (DARK COLOR PER A9 FINISH SCHEDULE)
- 3 (N) PAINTED ALUMINUM DOORS & WINDOWS, SEE A9 FINISH SCHEDULE
- 4 (N) FASCIA BOARD, PAINTED TO MATCH WINDOW FRAME, SEE A9 FINISH SCHEDULE
- 5 (N) 20 GAUGE METAL DRIP CAP @ ROOF PARAPET, PAINTED TO MATCH WINDOWS, SEE A9 SCHEDULE
- 6 (N) 1x6 CEDAR SIDING, SEE A9 SCHEDULE FOR STAIN & FINISH
- 7 (N) STUCCO REVEAL SCORE LINE, PAINTED TO MATCH STUCCO OR WINDOWS/DOORS
- 8 (N) EXTERIOR LIGHTING, TYP.
- 9 (N) STEEL FLAT BAR GUARDRAIL 42" A.F.F. w/ HORIZONTAL RODS 3" OC, SEE A9 SCHEDULE
- 10 (N) STEEL PLATE AWNING, PAINTED TO MATCH WINDOWS
- 11 (N) STEEL POST, PAINTED TO MATCH WINDOWS, SEE A9 SCHEDULE
- 12 (N) 1x4 WOOD SKIRT w/ 1/2" GAP FOR VENTILATION WHERE REQ.
- 13 (N) OPEN STEEL TRELIS w/ WOOD SLATS, SEE PLANS & DETAILS
- 14 (N) DOOR BELL, TBD
- 15 (N) BREAK METAL, PAINTED TO MATCH WINDOWS, SEE A9 SCHEDULE

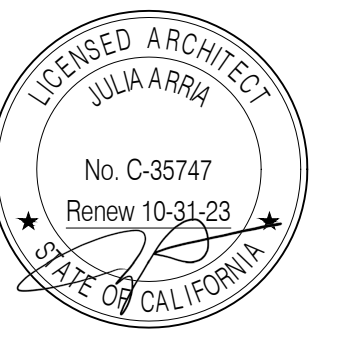


2 (N) WEST ELEVATION
1/4" = 1'-0"



1 (N) NORTH ELEVATION
1/4" = 1'-0"





Hardie - Romero Residence

0 Clayton Road
San Jose, CA 95127
(no mail delivery)

APN: 612-40-001

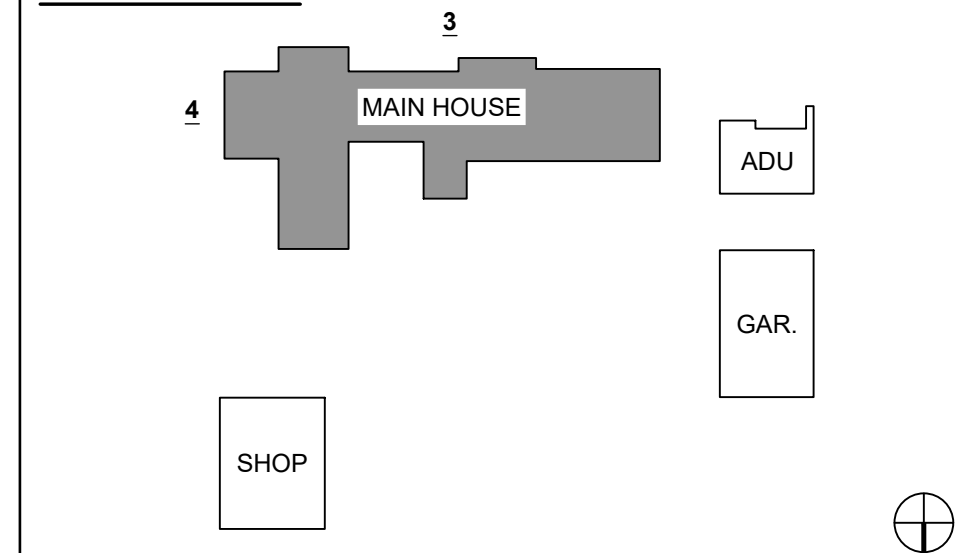
OWNER:
Terry Hardie &
Daniel Romero
228 Appian Way
Union City, CA 94587
(510) 206-2366

PLANNING SUBMITTAL

SHEET TITLE:
(N) Exterior Elevations

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

KEY PLAN:



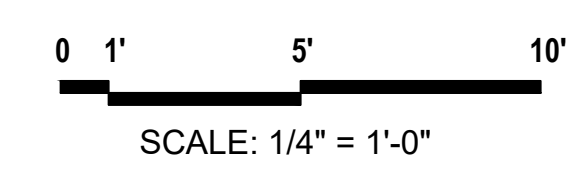
LEGEND:

- # NEW ELEV. KEY NOTE
- EXISTING GRADE

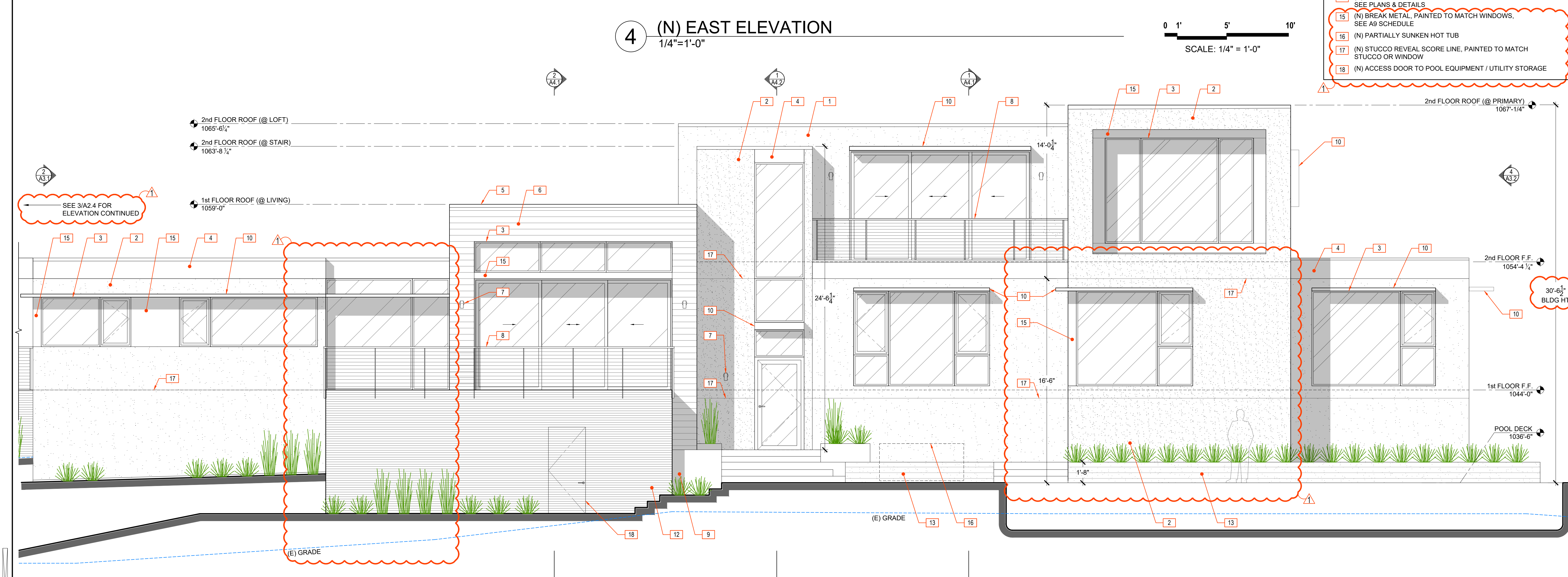
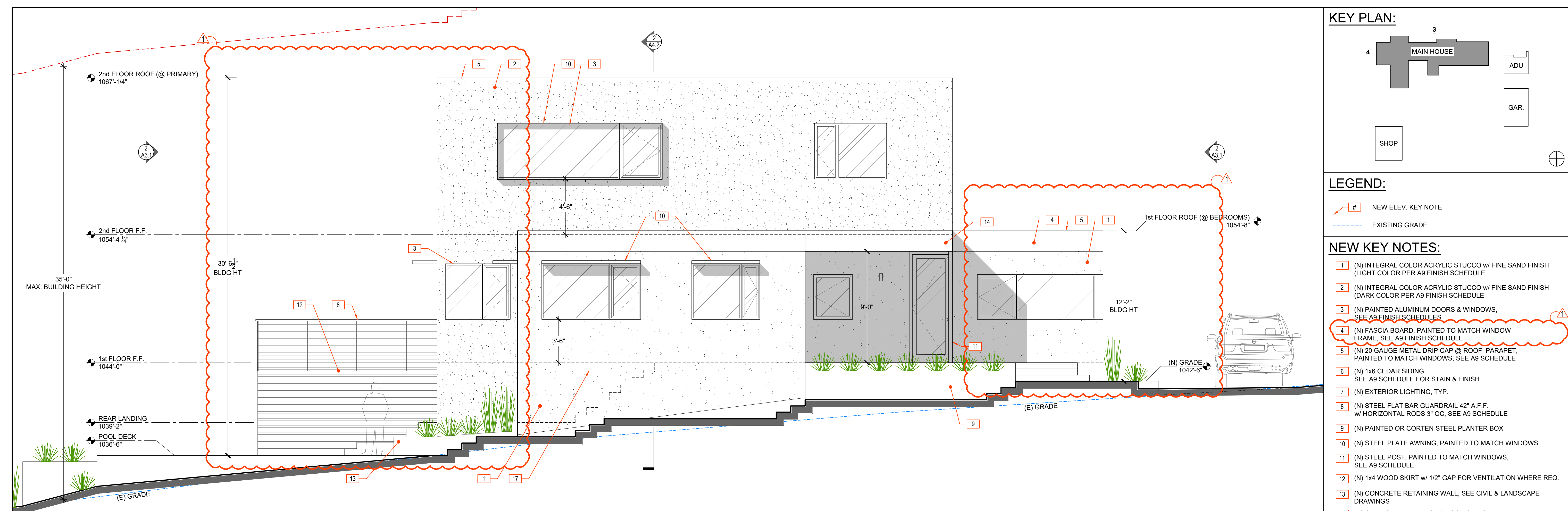
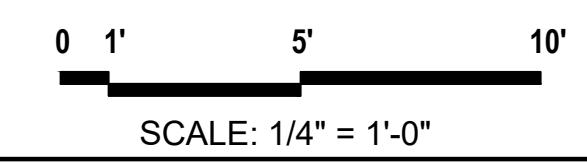
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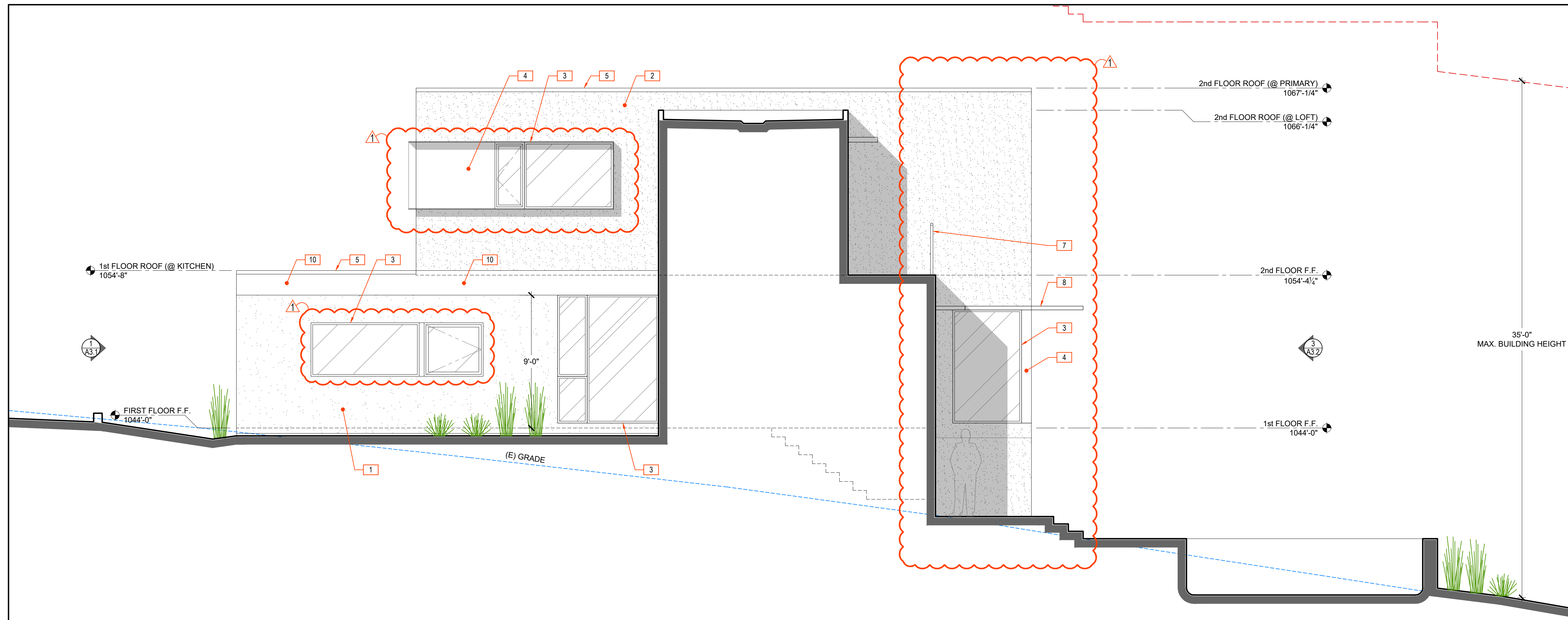
- 1 (N) INTEGRAL COLOR ACRYLIC STUCCO w/ FINE SAND FINISH (LIGHT COLOR PER A9 FINISH SCHEDULE)
- 2 (N) INTEGRAL COLOR ACRYLIC STUCCO w/ FINE SAND FINISH (DARK COLOR PER A9 FINISH SCHEDULE)
- 3 (N) PAINTED ALUMINUM DOORS & WINDOWS, SEE A9 FINISH SCHEDULES
- 4 (N) FASCIA BOARD, PAINTED TO MATCH WINDOW FRAME, SEE A9 FINISH SCHEDULE
- 5 (N) 20 GAUGE METAL DRIP CAP @ ROOF PARAPET, PAINTED TO MATCH WINDOWS, SEE A9 SCHEDULE
- 6 (N) 1x6 CEDAR SIDING, SEE A9 SCHEDULE FOR STAIN & FINISH
- 7 (N) EXTERIOR LIGHTING, TYP.
- 8 (N) STEEL FLAT BAR GUARDRAIL 42" A.F.F. w/ HORIZONTAL RODS 3" OC, SEE A9 SCHEDULE
- 9 (N) PAINTED OR CORTEN STEEL PLANTER BOX
- 10 (N) STEEL PLATE AWNING, PAINTED TO MATCH WINDOWS
- 11 (N) STEEL POST, PAINTED TO MATCH WINDOWS, SEE A9 SCHEDULE
- 12 (N) 1x4 WOOD SKIRT w/ 1/2" GAP FOR VENTILATION WHERE REQ.
- 13 (N) CONCRETE RETAINING WALL, SEE CIVIL & LANDSCAPE DRAWINGS
- 14 (N) OPEN STEEL TRELLIS w/ WOOD SLATS, SEE PLANS & DETAILS
- 15 (N) BREAK METAL, PAINTED TO MATCH WINDOWS, SEE A9 SCHEDULE
- 16 (N) PARTIALLY SUNKEN HOT TUB
- 17 (N) STUCCO REVEAL SCORE LINE, PAINTED TO MATCH STUCCO OR WINDOW
- 18 (N) ACCESS DOOR TO POOL EQUIPMENT / UTILITY STORAGE

4 (N) EAST ELEVATION
1/4"=1'-0"

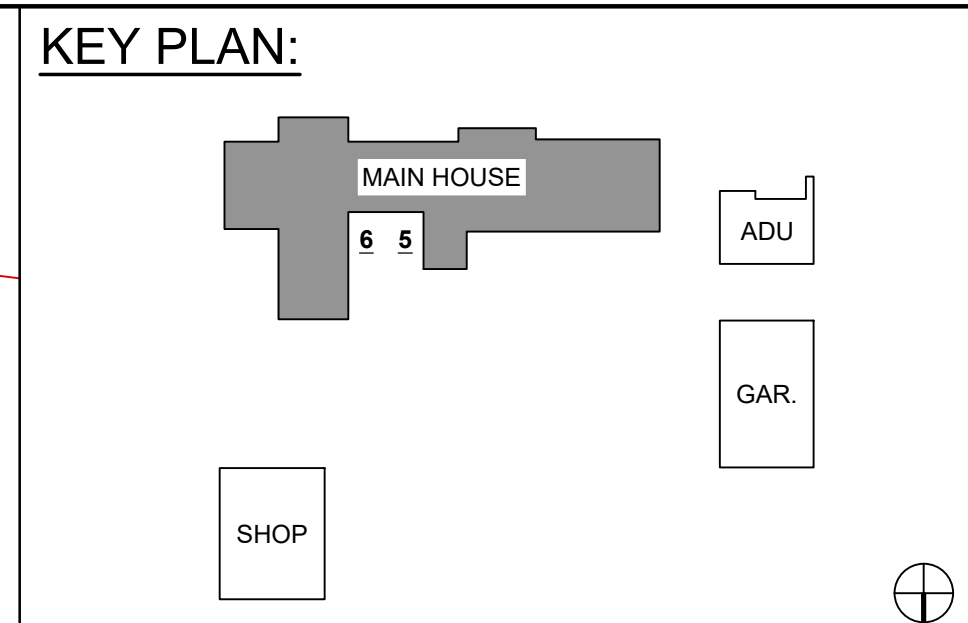
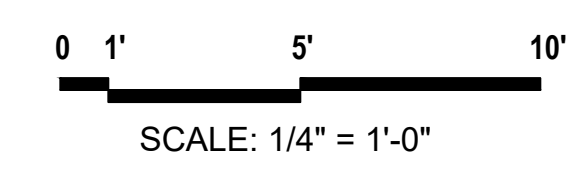


3 (N) SOUTH ELEVATION
1/4"=1'-0"





6 (N) WEST ELEVATION
1/4"=1'-0"



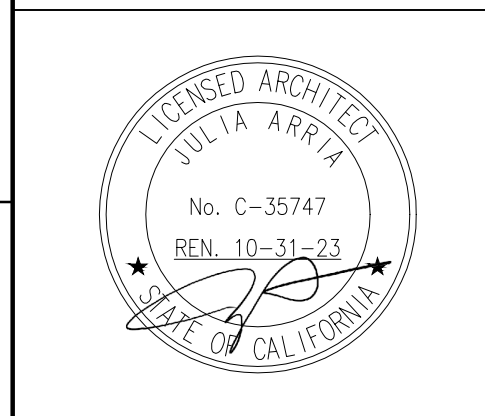
LEGEND:

- # NEW ELEV. KEY NOTE
- EXISTING GRADE

- NEW KEY NOTES:**
- 1 (N) INTEGRAL COLOR ACRYLIC STUCCO w/ FINE SAND FINISH (LIGHT COLOR PER A9 FINISH SCHEDULE)
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 - 9 (N) 1x4 WOOD SKIRT w/ 1/2" GAP FOR VENTILATION WHERE REQ.
 - 10 (N) FASCIA BOARD, PAINTED TO MATCH WINDOW FRAME, SEE A9 FINISH SCHEDULE

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ARCHITECTURE

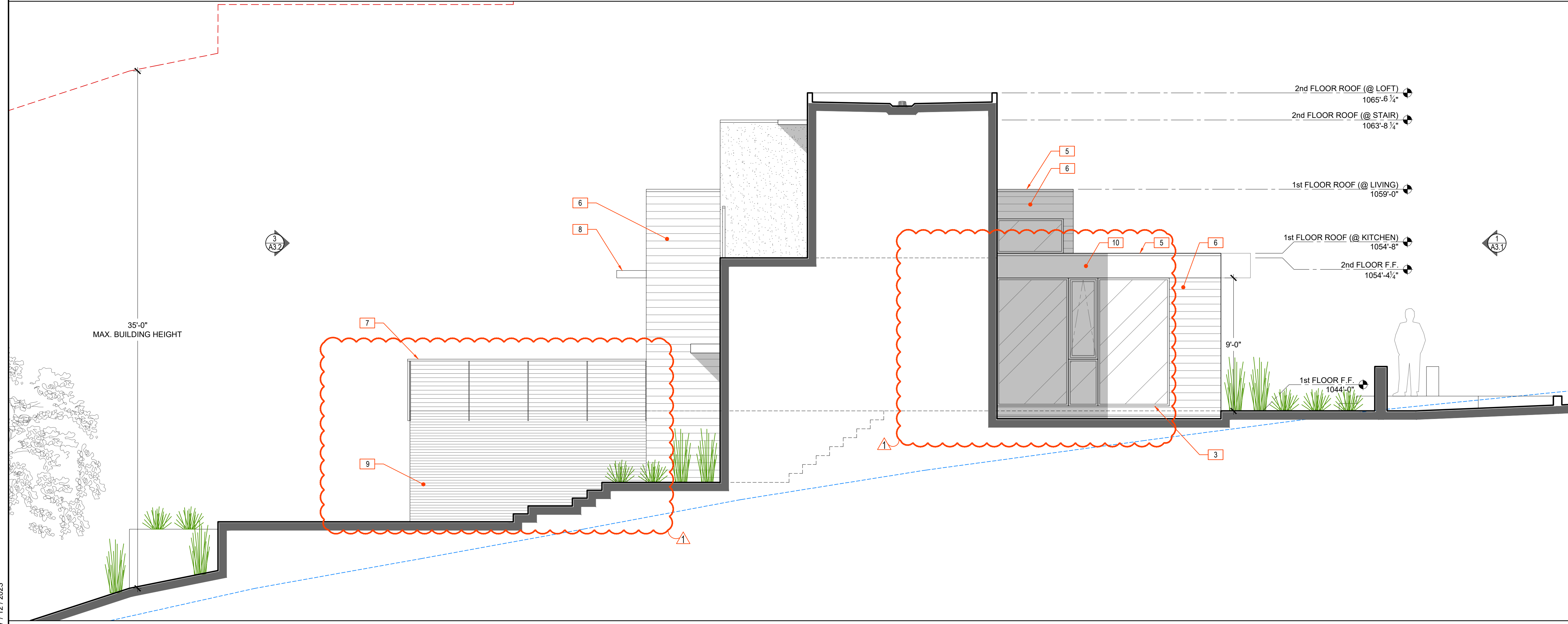
5895 Doyle Street,
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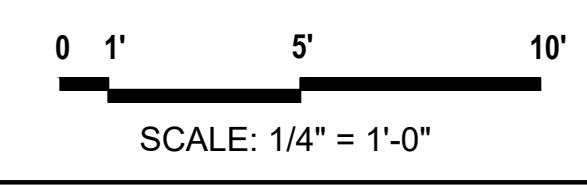
Hardie - Romero Residence
0 Clayton Road
San Jose, CA 95127
(no mail delivery)

APN: 612-40-001

OWNER:
Terry Hardie &
Daniel Romero
228 Appian Way
Union City, CA 94587
(510) 206-2366



5 (N) EAST ELEVATION
1/4"=1'-0"



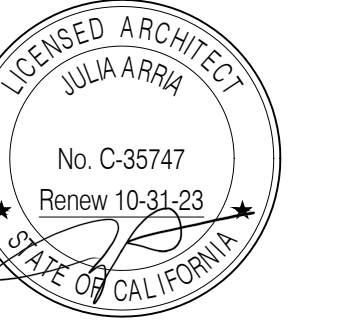
PLANNING SUBMITTAL

SHEET TITLE:
(N) Exterior Elevations

Date	Issues & Revisions
11/18/22	Planning Submittal
05/15/23	Planning Resubmittal

A3.3

UPDATED - 07/12/2023



**Hardie -
Romero
Residence**

0 Clayton Road
San Jose, CA 95127
(no mail delivery)

APN: 612-40-001

OWNER:

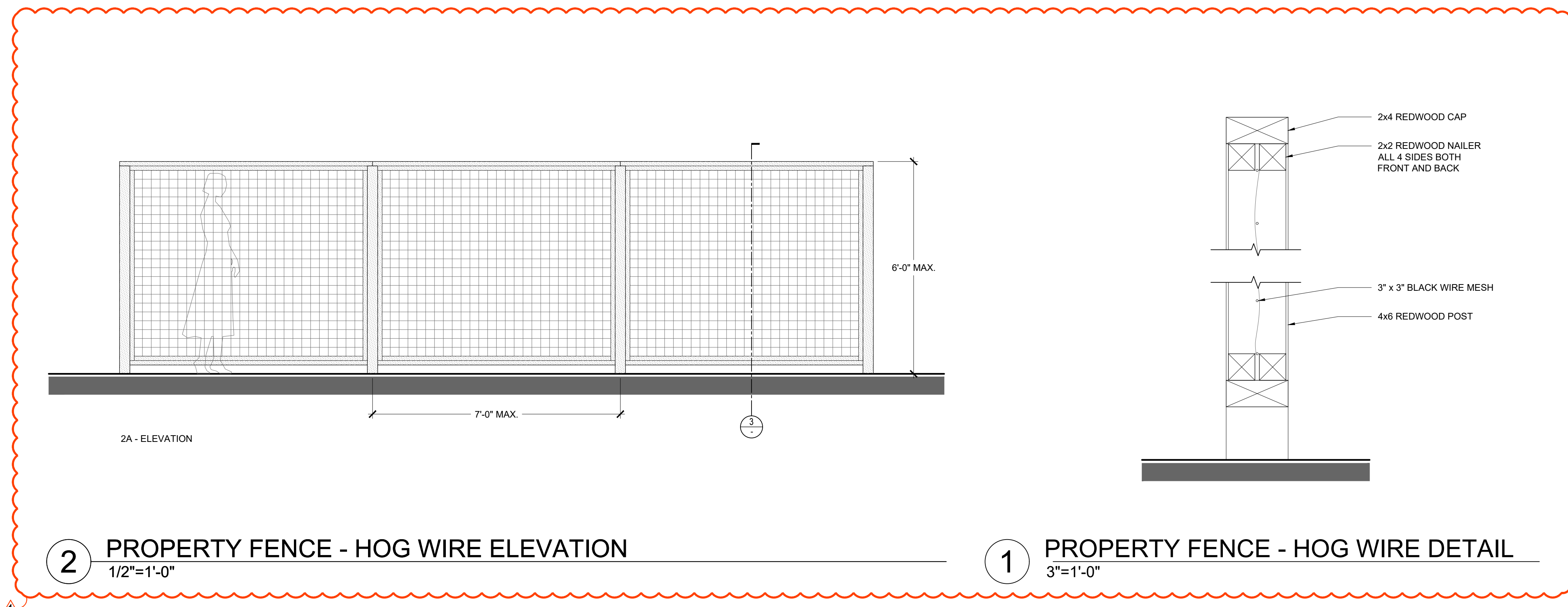
Terry Hardie &
Daniel Romero
228 Appian Way
Union City, CA 94587
(510) 206-2366

**PLANNING
SUBMITTAL**

SHEET TITLE:

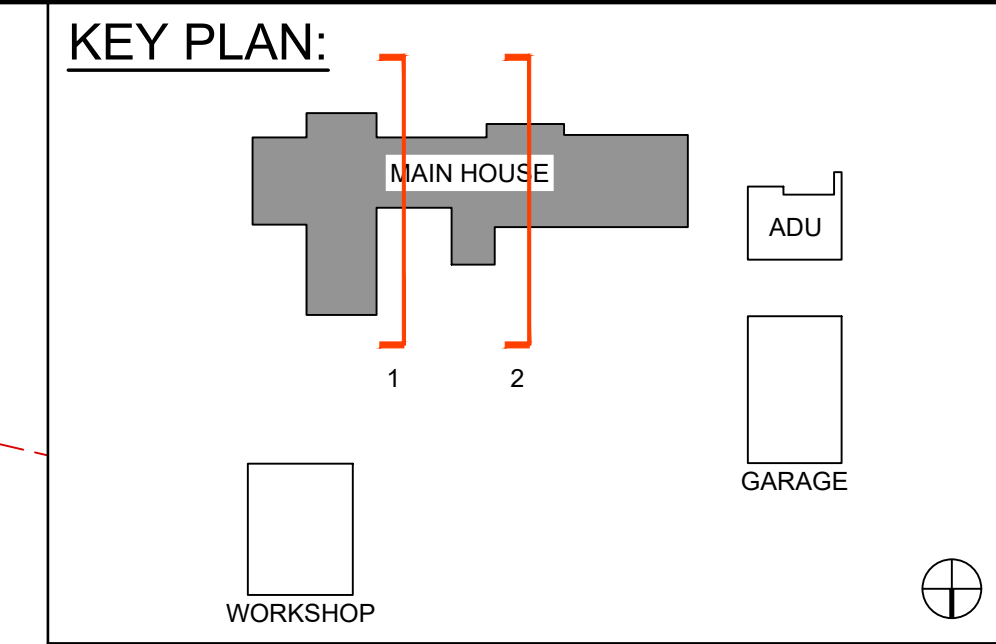
(N) Property Fence
Elevations & Details

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal



2 PROPERTY FENCE - HOG WIRE ELEVATION
1/2"=1'-0"

1 PROPERTY FENCE - HOG WIRE DETAIL
3"=1'-0"



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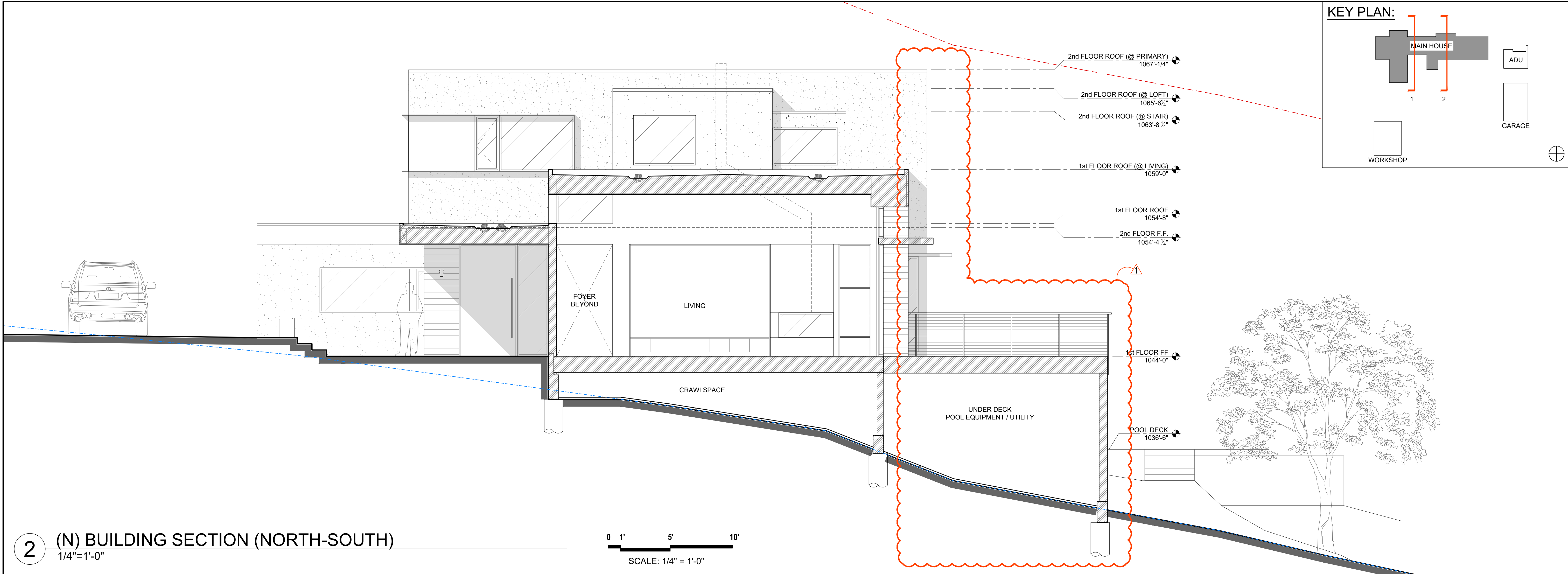


Hardie - Romero Residence

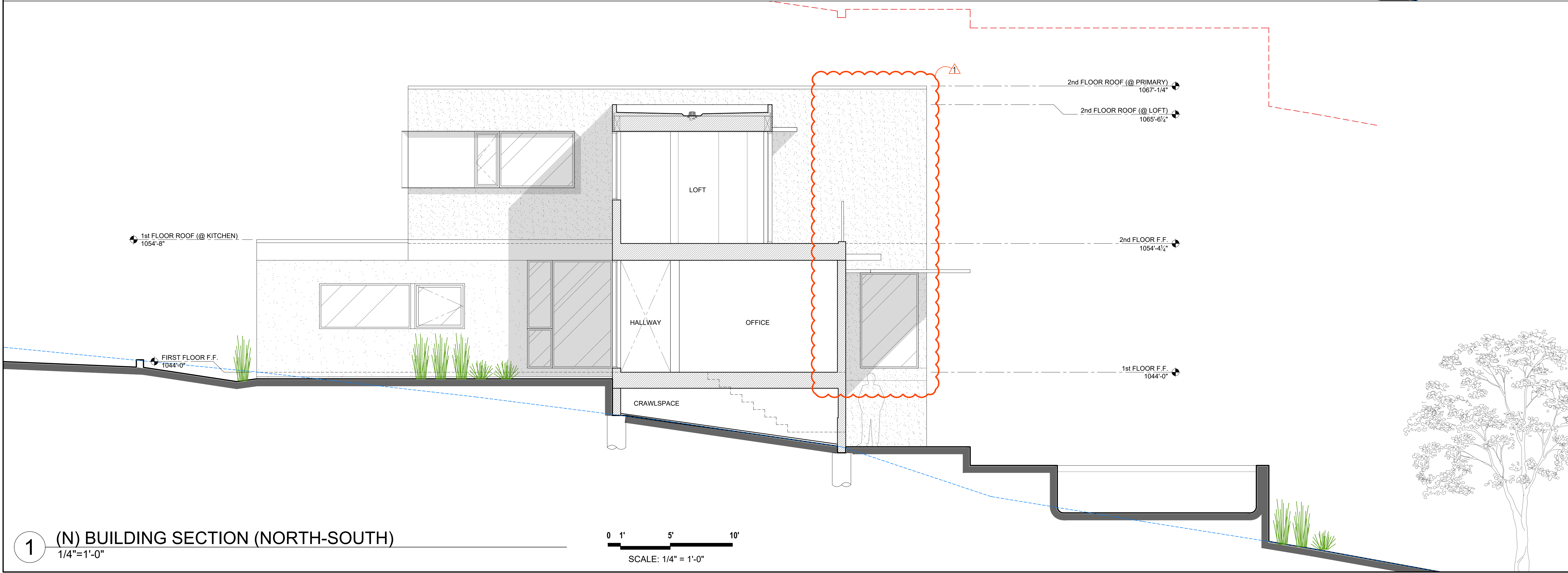
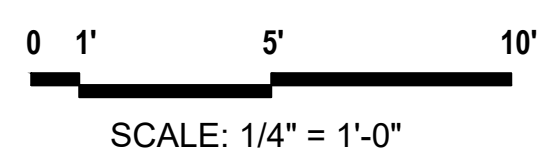
0 Clayton Road
San Jose, CA 95127
(no mail delivery)

APN: 612-40-001

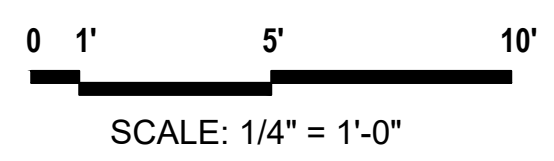
OWNER:
Terry Hardie &
Daniel Romero
228 Appian Way
Union City, CA 94587
(510) 206-2366



2 (N) BUILDING SECTION (NORTH-SOUTH)
1/4"=1'-0"



1 (N) BUILDING SECTION (NORTH-SOUTH)
1/4"=1'-0"



PLANNING SUBMITTAL

SHEET TITLE:
(N) Building Sections

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

A4.1



Hardie - Romero Residence

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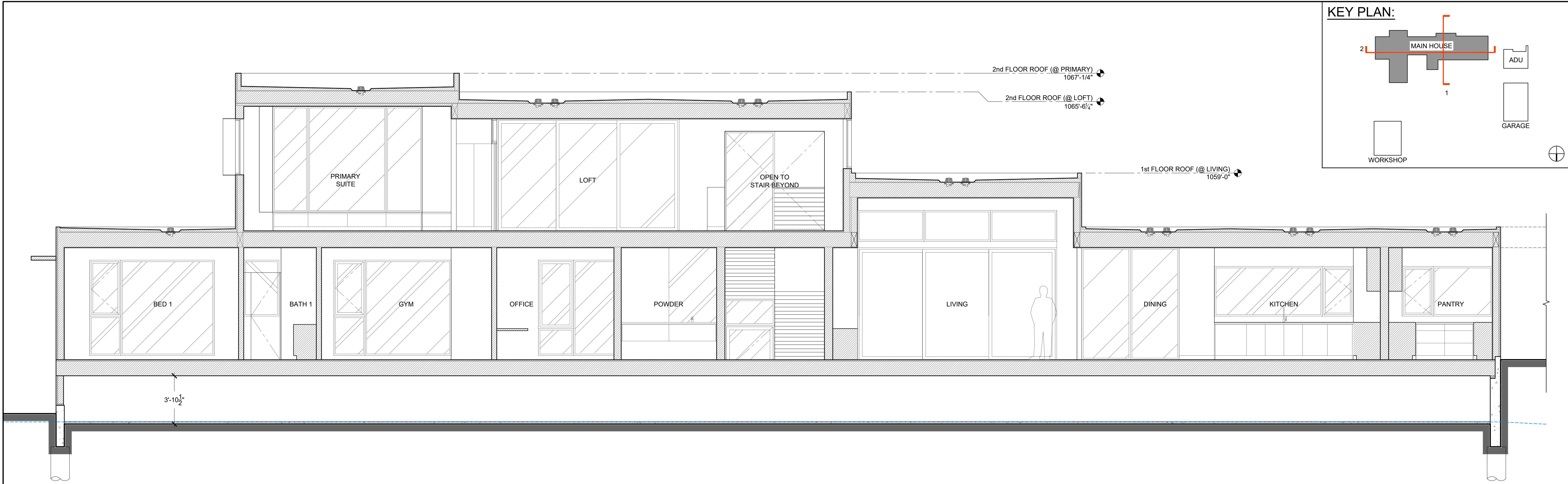
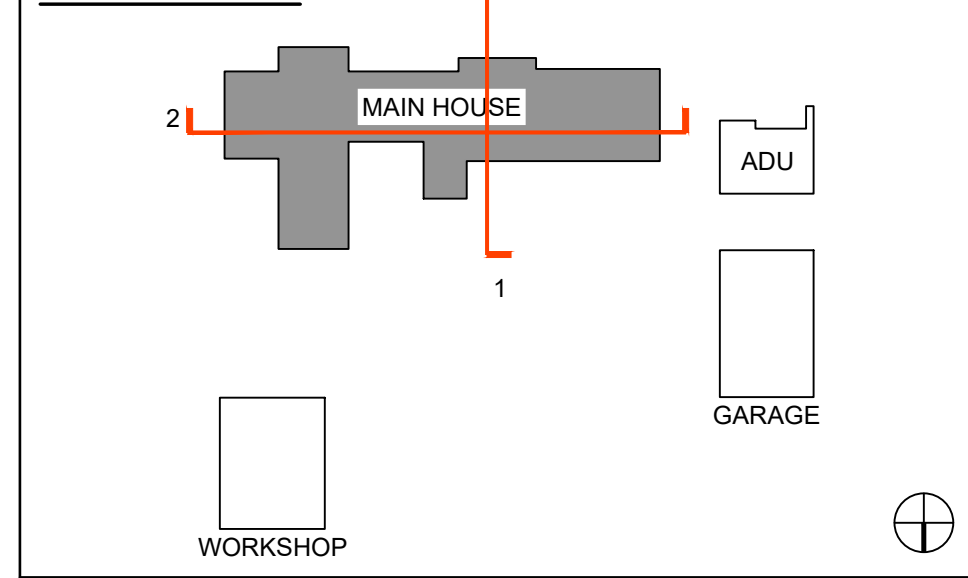
OWNER:
Terry Hardie &
Daniel Romero
228 Appian Way
Union City, CA 94587
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**PLANNING
SUBMITTAL**

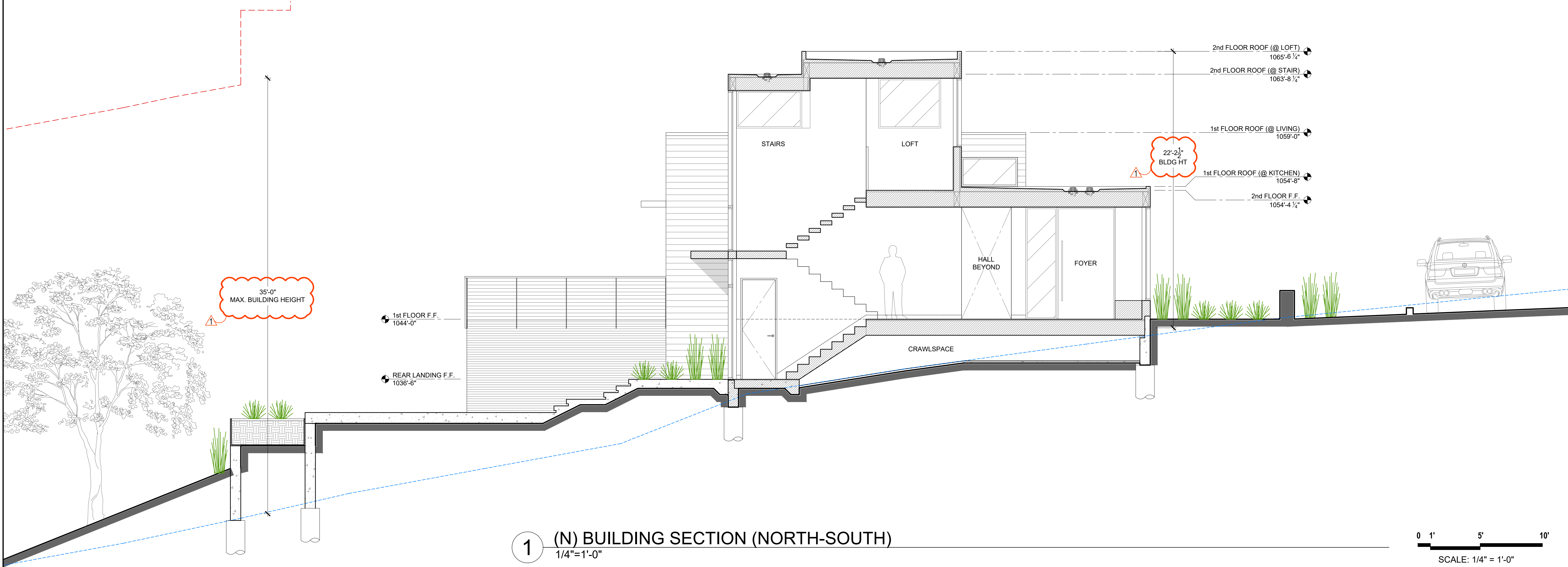
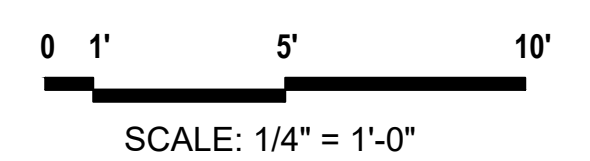
SHEET TITLE:
(N) Building Sections

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

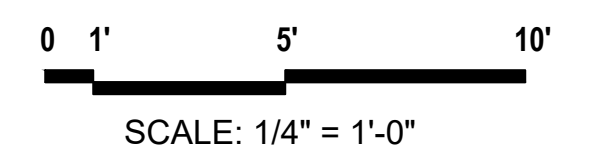
KEY PLAN:



2 (N) BUILDING SECTION (EAST-WEST)
1/4"=1'-0"



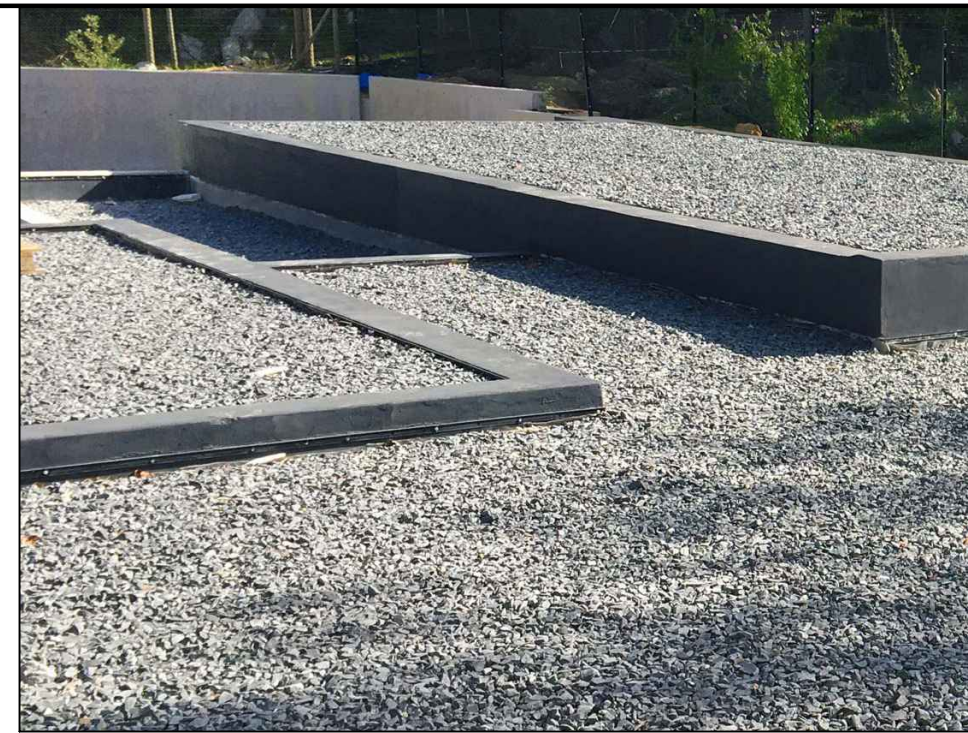
1 (N) BUILDING SECTION (NORTH-SOUTH)
1/4"=1'-0"





STEEL GUARDRAIL 8

1 1/2" x 1/2" STEEL FLAT BAR TOP RAIL & PICKETS, 5/8" DIA. HORIZONTAL STEEL RODS EQUALLY SPACED, PICKETS TO ALIGN W/ STONE PAVER JOINTS, POWDER COATED TO MATCH WINDOWS AND DOORS



TPO ROOFING w/ RIVER ROCKS 4

MANUFACTURER: "GAF", 60 MIL EVERGUARD TPO FULLY ADHERED ROOFING MEMBRANE COLOR: ENERGY GRAY, LRV: N/A 1"-2" GREY ROOFING GRAVEL BALLAST o/ TPO



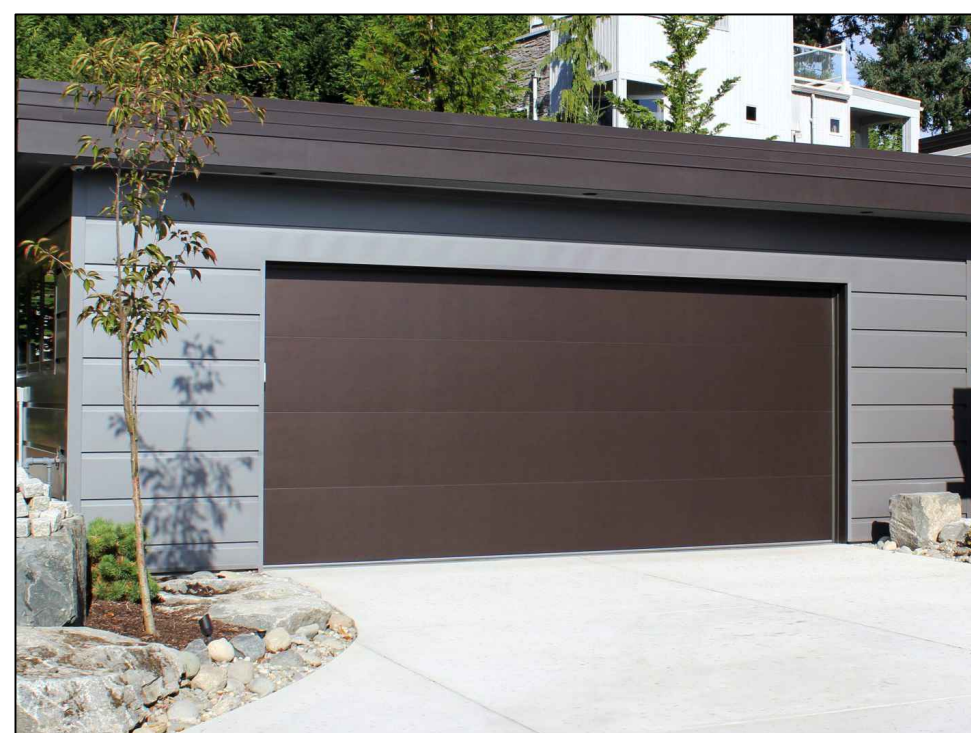
METAL PLANTER BOX 7

3/8" THICK STEEL PLANTER BOX w/ CONCEALED REINFORCING STRUTS PAINTED TO MATCH DOORS & WINDOWS



BOARDFORM CONCRETE WALL 3

HORIZONTAL 2 x 8 WOOD FORMS w/ MINIMAL RADIUS CORNERS & INTEGRAL COLOR, "DAVIS COLORS" PEWTER 860, LRV: 23.01



SECTIONAL GARAGE DOOR 6

MANUFACTURER: "NORTHWEST DOOR" MODERN TECH SECTIONAL, 24 GA STEEL, SMOOTH FLUSH FACE BOTH SIDES, INSULATED FINISH: PAINTED TO MATCH WINDOWS & DOORS



WOOD SIDING 2

1 x 6 HORIZONTAL SHIPLAP RESAWN TIMBER CO. THERMALLY MODIFIED CHARRED WESTERN RED CEDAR, OR EQ. COLOR: "DUNCAN 2.0", LRV: N/A



WINDOWS, DOORS & SKYLIGHTS 5

ALUMINUM (THERMALLY BROKEN) FLEETWOOD OR EQ. (DOORS & WINDOWS) VELUX OR EQ. (SKYLIGHTS) COLOR: MEDIUM BRONZE OR SIM. LRV: 3-11

WHERE OCCURS - BREAK METALS (OR PAINTED WOOD) TRIM / FASCIA PAINTED TO MATCH DOORS & WINDOWS



SMOOTH FINISH STUCCO

MANUFACTURER: "BMI PRODUCTS" 7/8" THICK, 3-PART STUCCO w/ STEEL TROWEL SMOOTH FINISH
 LIGHT INTEGRAL COLOR: "BENJAMIN MOORE" 1474 CAPE MAY COBBLESTONE LRV:39.53
 DARK PAINTED COLOR: "BENJAMIN MOORE" HC-166 KENDALL CHARCOAL LRV:12.96



2 (N) 3D PERSPECTIVE - AERIAL
NTS

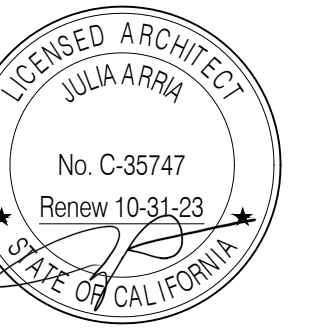


1 (N) 3D PERSPECTIVE - REAR ELEVATION (SOUTH)
NTS

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Emeryville, CA 94608
Tel. 510-595-1300
Fax 510-595-1313
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**PLANNING
SUBMITTAL**

SHEET TITLE:
Exterior
Colors & Materials

Date	Issues & Revisions
11/18/22	Planning Submittal
11/10/23	Planning Resubmittal

A9.1

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- 1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY BAGG ENGINEERS; JOB NO. RAMMR-01-01 AND DATED NOVEMBER 1, 2018 THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS, IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER, THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS, THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18). THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- 1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING. IN ACCORDANCE WITH THE CALIFORNIA PROFESSIONAL LAND SURVEYORS' ACT (BUSINESS AND PROFESSIONS CODE) CHAPTER 15 SECTIONS 8771 AND 8725.1, CALIFORNIA PENAL CODE 606, AND CALIFORNIA GOVERNMENT CODE 27581, ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING ROADWAY/STREET MONUMENT, PROPERTY CORNER, OR ANY OTHER PERMANENT SURVEYED MONUMENT AND/OR AS SHOWN ON THIS TENTATIVE MAP SHALL ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR OFFICE PRIOR TO DISTURBING SAID MONUMENTS. ALL DISTURBED OR DESTROYED MONUMENTS SHALL BE RESET AND FILED IN COMPLIANCE WITH SECTION 8771.

CONSTRUCTION INSPECTION

- 1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

- 1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS: A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE) B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

- 1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL. IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS, THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

- 1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO A DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEVED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

Table with 4 columns: LOCATION, CUT (C.Y.), FILL (C.Y.), VERT. DEPTH. Rows include MAIN HOUSE, ADU, GARAGE HOUSE, GARAGE SHOP, DRIVEWAY, YARD, POND, TANK PAD, SUB-TOTAL.

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

- 7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL. TOTAL DISTURBED AREA FOR THE PROJECT 56,570 SF. W/D NO. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

- 1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING: A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES. B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION. C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES. D. SIGNAGE STATING: "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT http://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY. 2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR. 3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

- 1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT). 2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING. 3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM. 4. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC.

STREET LIGHTING

- 1. PACIFIC GAS & ELECTRIC ELECTROUWER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- 1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY. 2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

- 1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. 2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD. 3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. 4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED. 5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED. 6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE. 7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR. 8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION. 9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED. A. 15 MILES PER HOUR (MPH) SPEED LIMIT B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367. 10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING. 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH. 12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB. 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW. 14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE. 15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE. 16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.

- 17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING: A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS. B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. 18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY. 19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

- 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004 / ORDER NO. 2013-0001-DWQ. 2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS, WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS. 3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW. 4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES. 5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

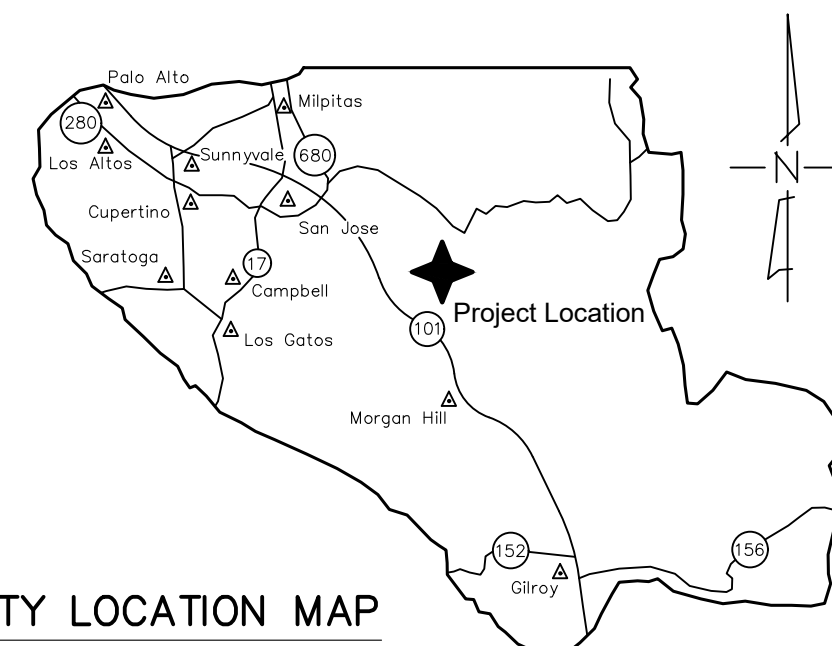
THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE () WERE () WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL ("). THERE () WERE () WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE, OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

GEOTECHNICAL ENGINEER OBSERVATION

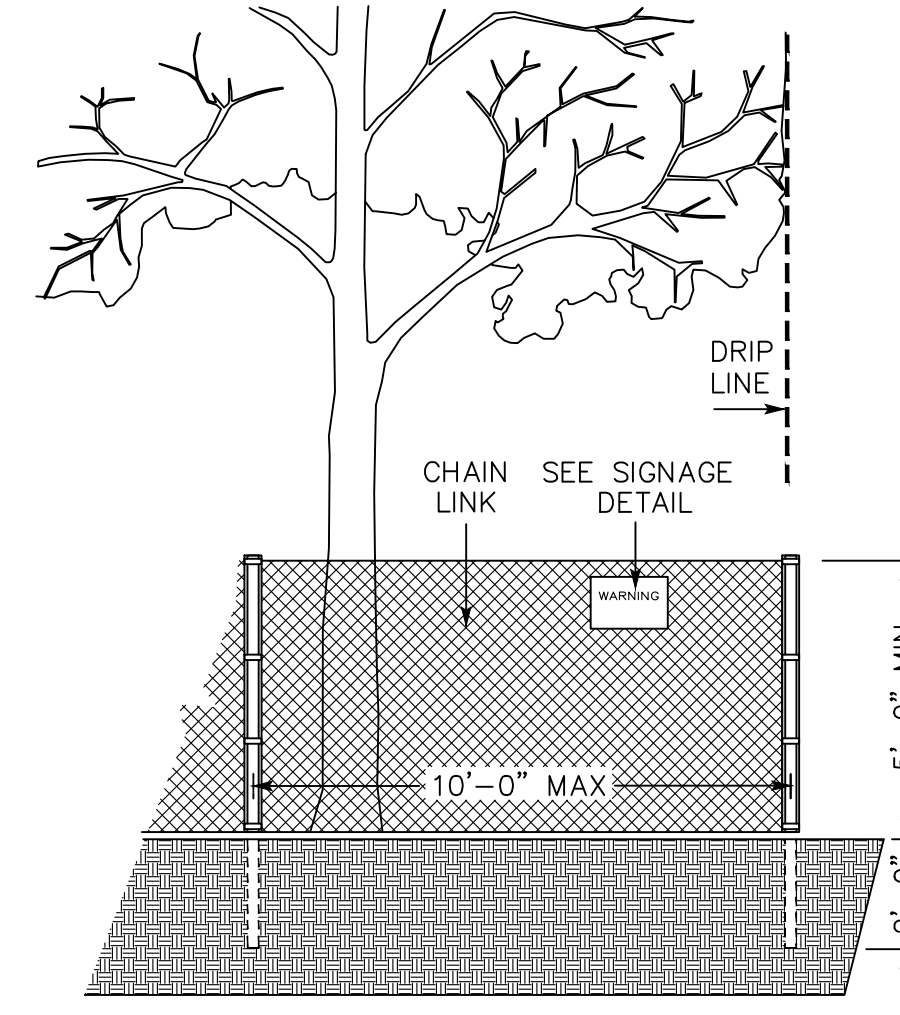
- 1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



COUNTY LOCATION MAP

SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER/CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES. 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY. 3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



EXISTING TREE PROTECTION DETAILS

- 1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS. 2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY). 3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART. 4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION. 5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS ISSUED BY: DATE: ENCROACHMENT PERMIT NO.

COUNTY OF SANTA CLARA LAND DEVELOPMENT ENGINEERING & SURVEYING GRADING/DRAINAGE PERMIT NO. ISSUED BY: DATE:

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

PRELIMINARY PLANS NOT FOR CONSTRUCTION

ENGINEER'S STATEMENT

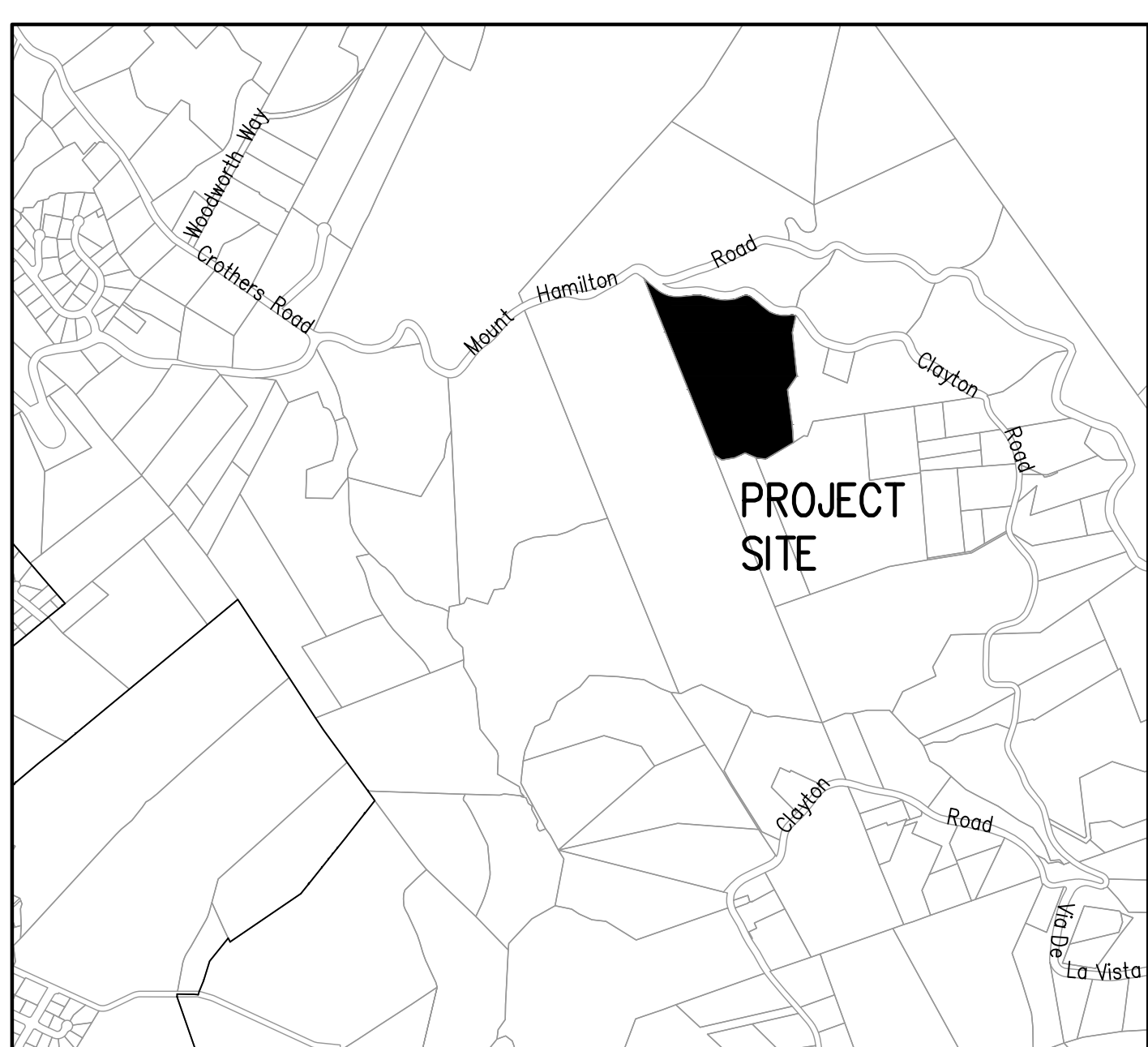
I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO. 11314-18B-18DR

DATE 69278 R.C.E. NO.

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE, OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE DARRELL K.H. WONG R.C.E. NO. 63958



VICINITY MAP NO SCALE

SCOPE OF WORK

- 1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION. 2. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND. 3. CONSTRUCT COUNTY APPROVED DRIVEWAY APPROACH 4. CLEAR AND GRUB BUILDING PAD AND DRIVEWAY. 5. BUILDING PAD AND DRIVEWAY GRADING. 6. CONSTRUCT DRIVEWAY 7. FURNISH AND INSTALL WATER TANKS AND PAD 8. FURNISH AND INSTALL WATER LINE AND FIRE HYDRANTS 9. JOINT TRENCH TO EXISTING UTILITY POLES 10. INSTALL DOMESTIC WATER LINE; COMMON TRENCH WITH FIRE LINE

SEPARATE BUILDING PERMIT:

- 1. SEPTIC TANK AND LEACHFIELD 2. CONSTRUCT RETAINING WALL

SHEET INDEX

Table with 2 columns: Sheet Number, Sheet Description. Includes COVER SHEET, OVERALL SITE PLAN, PRIVATE DRIVEWAY - PLAN & PROFILE, PRELIMINARY GRADING & DRAINAGE PLAN, DETAILS, NOTES & CROSS SECTIONS, EROSION CONTROL PLAN, BEST MANAGEMENT PRACTICES.

ENGINEER'S NAME: HANNA-BRUNETTI ADDRESS: 7651 EGGLEBERRY STREET, GILROY CA 95020 PHONE NO. 408 842-2173 FAX NO. 408 842-3662

PRELIMINARY IMPROVEMENT PLANS

FOR THE HOME GRADING AND DRAINAGE ON THE LANDS OF HARDIE CLAYTON ROAD A PORTION OF LOT 1; MAP OF THE SUBDIVISION OF THE CLAYTON AND JACKSON TRACT IN PUEBLO TRACT NO. 1 RECORDED IN BOOK "E" OF MAPS, PAGES 34 AND 35 ON SEPT 11, 1846 SANTA CLARA COUNTY, CALIFORNIA A.P.N.: 612-40-001

Table with 4 columns: Revision Number, Date, APN, Sheet Number. Shows revisions 1, 2, and 3.

JOB NO. 22013

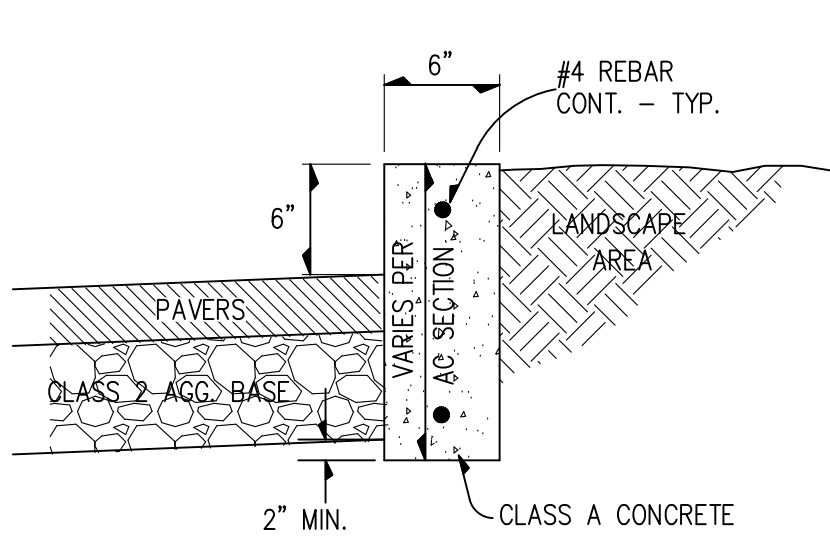
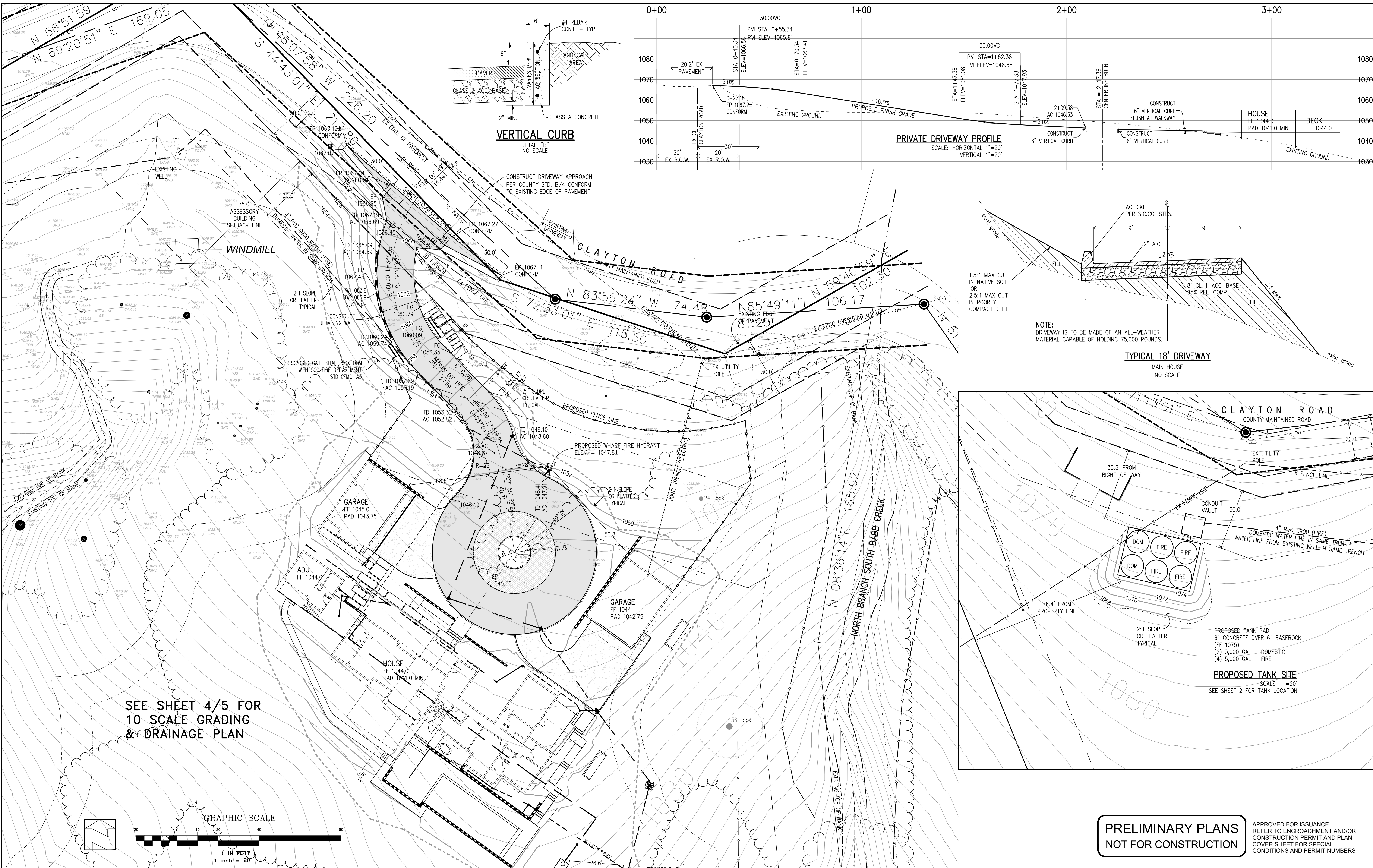
APPLICANT: HARDIE

ROAD: CLAYTON ROAD

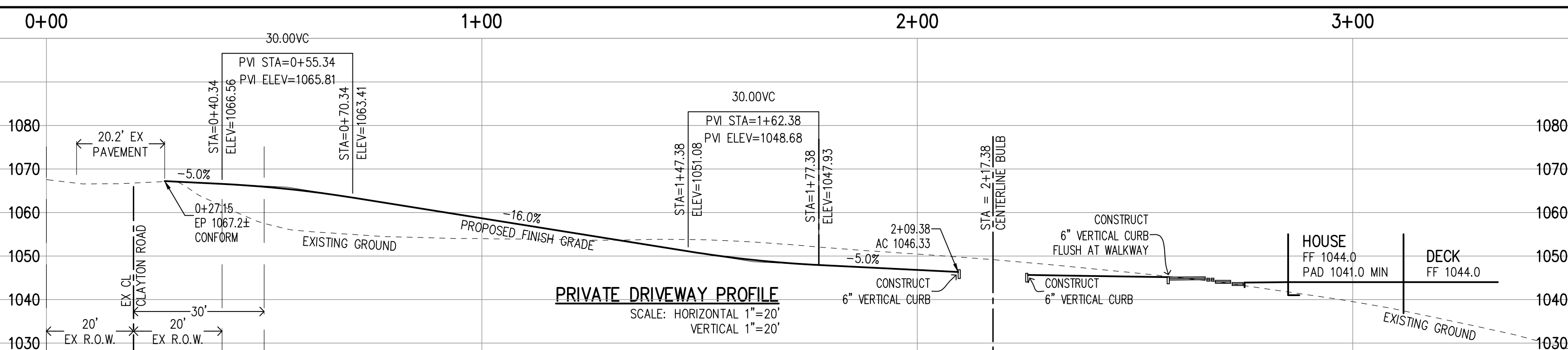
COUNTY FILE NO.:

JOB NO. 22013

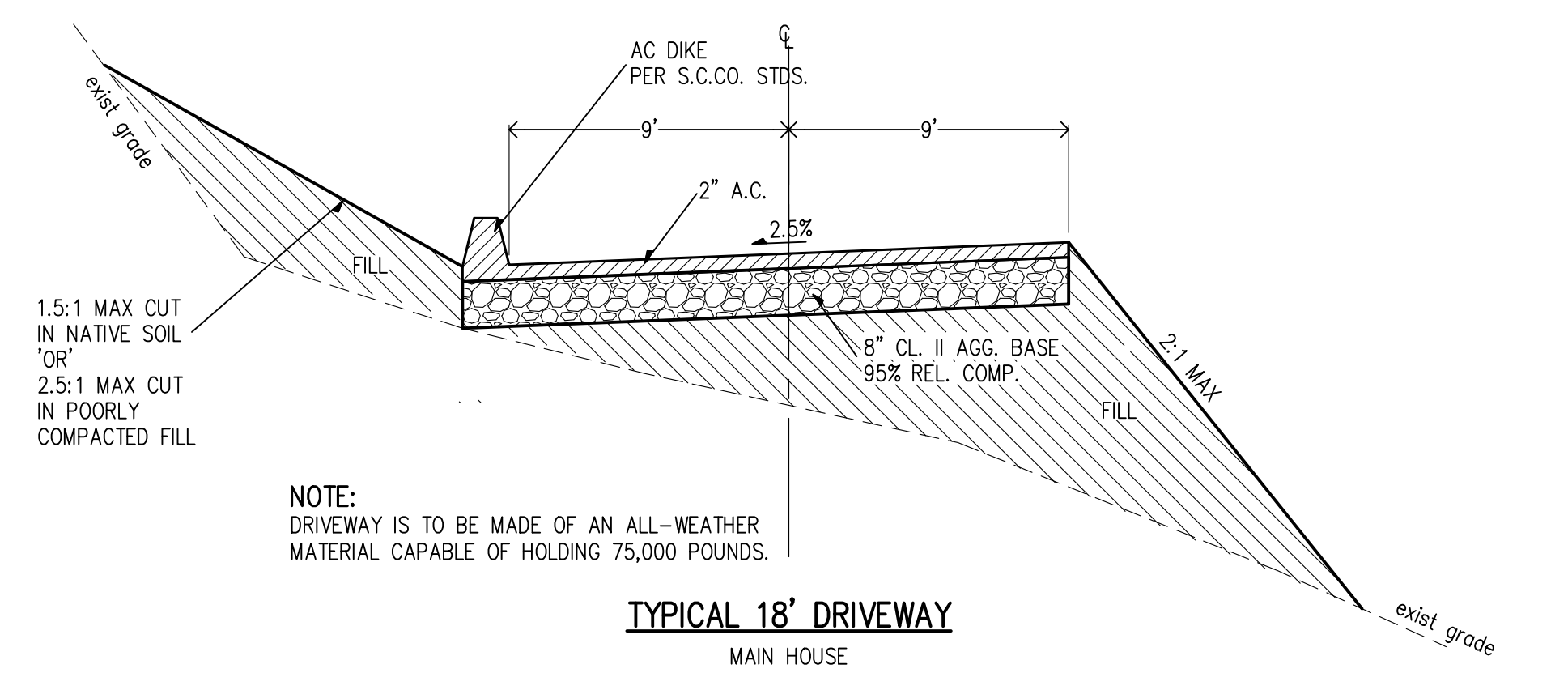
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



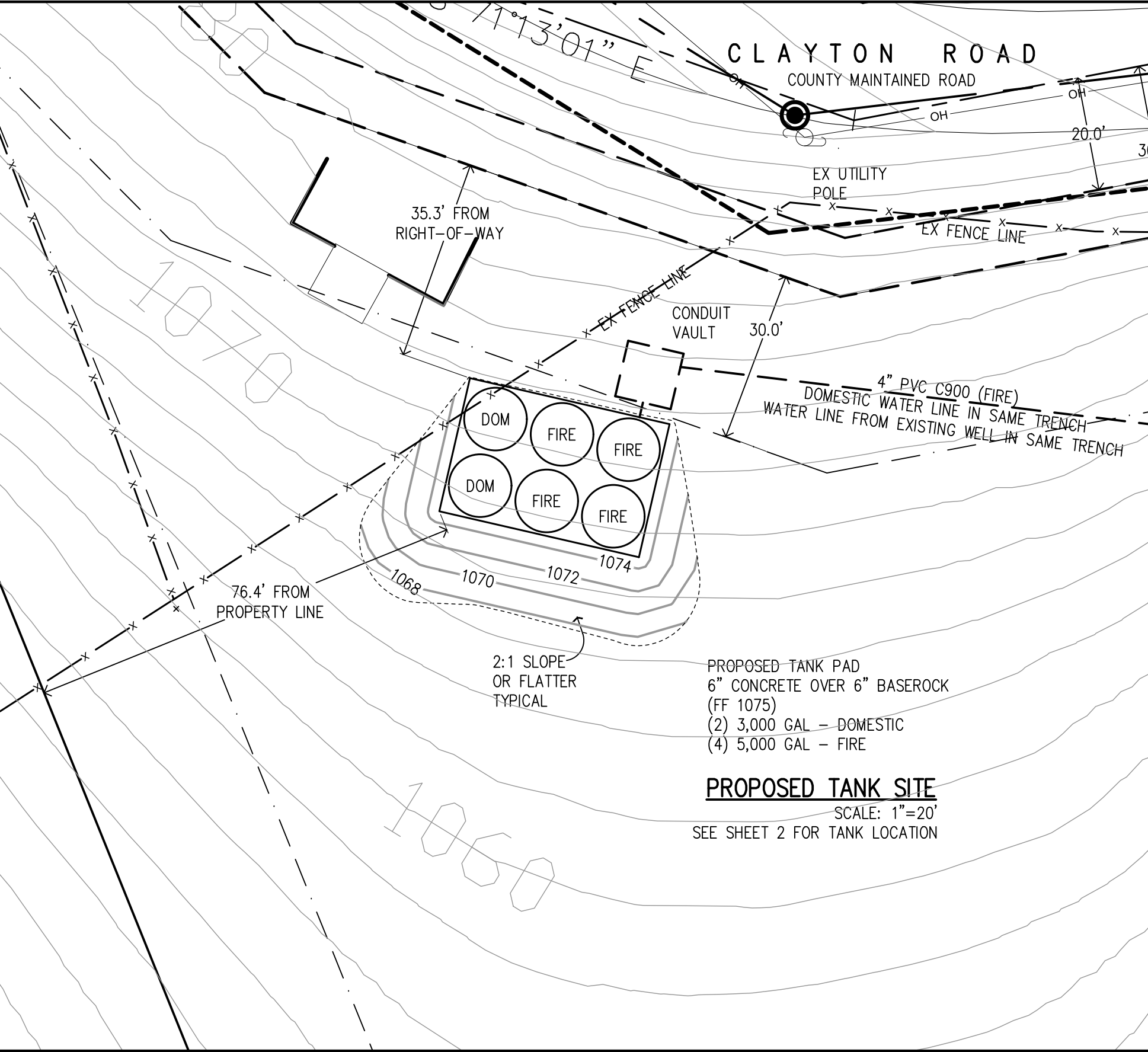
VERTICAL CURB
DETAIL "B"
NO SCALE



PRIVATE DRIVEWAY PROFILE
SCALE: HORIZONTAL 1"=20'
VERTICAL 1"=20'

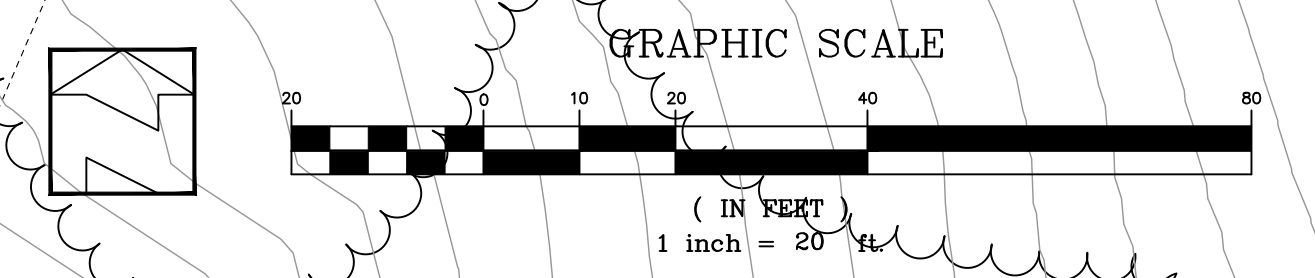


TYPICAL 18' DRIVEWAY
MAIN HOUSE
NO SCALE



PROPOSED TANK SITE
SCALE: 1"=20'
SEE SHEET 2 FOR TANK LOCATION

SEE SHEET 4/5 FOR
10 SCALE GRADING
& DRAINAGE PLAN



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL CONDITIONS AND PERMIT NUMBERS

PLAN # _____ OF _____ SHEET

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1982
CIVIL ENGINEERS - LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EIGLEBERRY STREET - GILROY - 95020 - CALIFORNIA
OFFICE (408) 842-2173 - FAX (408) 842-3682
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: NOVEMBER 2023
HORIZ. SCALE: 1"=20'
VERT. SCALE: NONE
DESIGNED BY: AM.
CHECKED BY: _____
DRAWN BY: TM.

date: _____
Hanna - Brunetti
Amanda Joy Musy-Verdel
R.C.E. # 69278

REFERENCES

UNINCORPORATED
NOVEMBER 2023

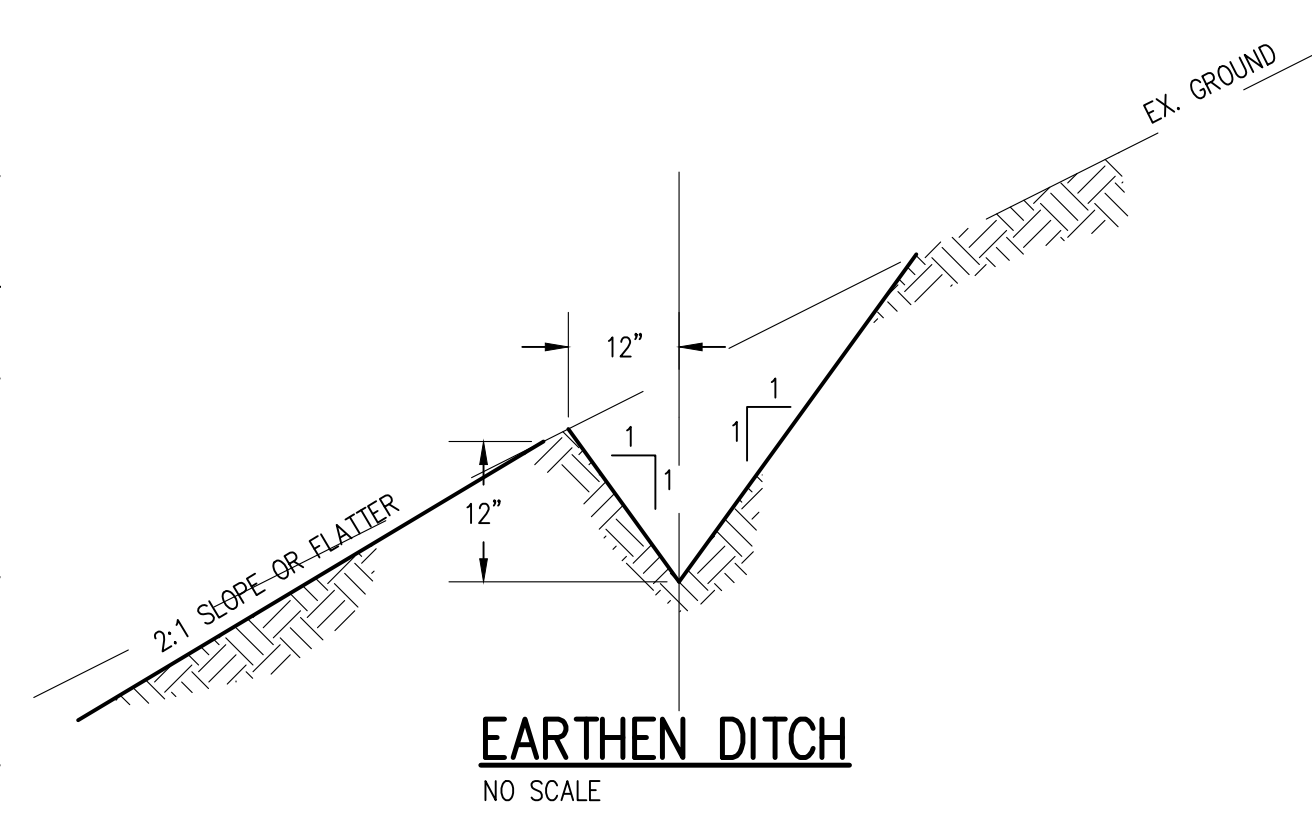
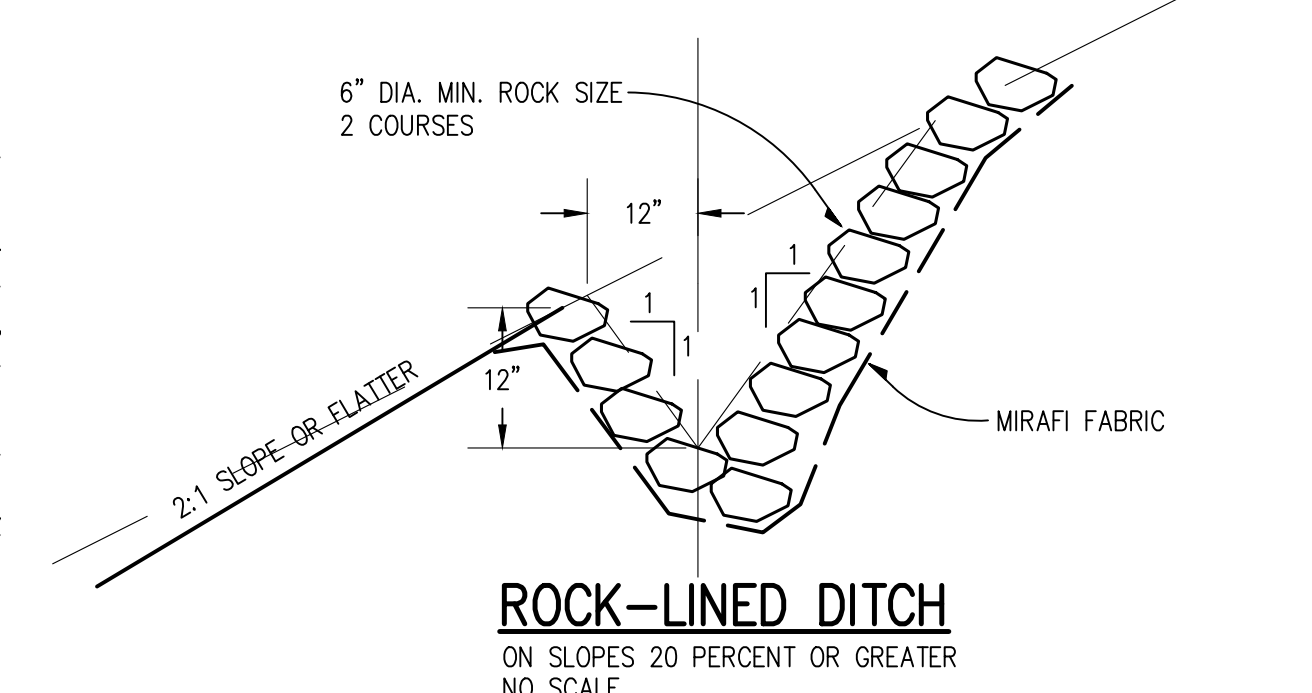
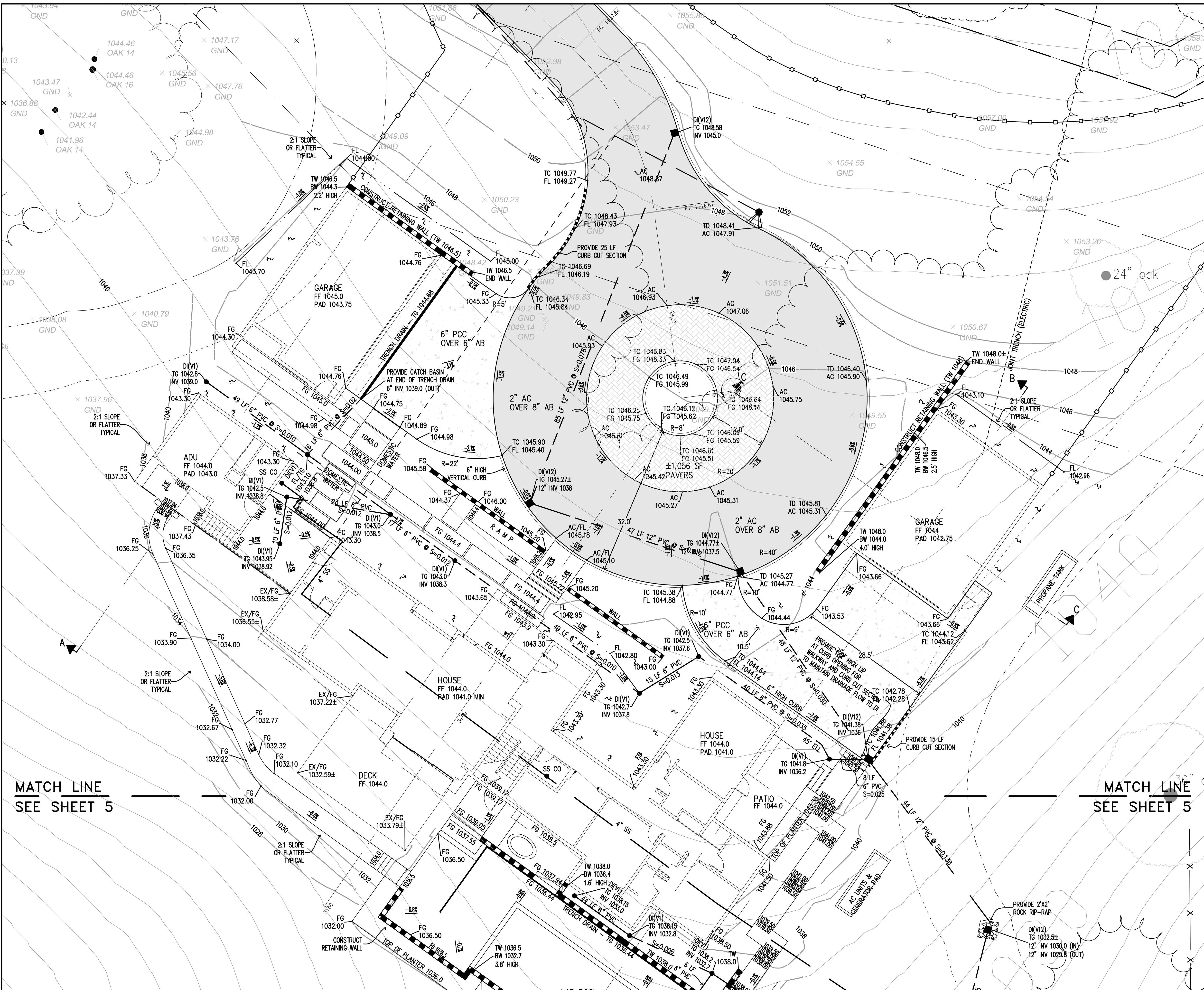
Private Driveway - Plan & Profile

Lands of Hardie - Clayton Road - apn 612-40-001

SANTA CLARA COUNTY
CALIFORNIA

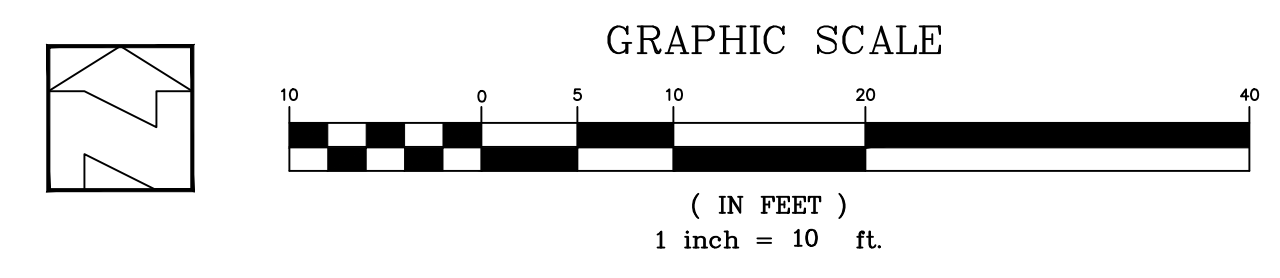
SHEET **3** OF 10
JOB NO. 22013

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MATCH LINE
SEE SHEET 5

MATCH LINE
SEE SHEET 5



**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

PLAN # _____ OF _____ SHEET

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1982
CIVIL ENGINEERS - LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EIGLEBERRY STREET - GILROY - 95020 - CALIFORNIA
OFFICE (408) 842-2173 - FAX (408) 842-3692
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: NOVEMBER 2023
HORIZ. SCALE: 1"=12'
VERT. SCALE: NONE
DESIGNED BY: AM.
CHECKED BY: _____
DRAWN BY: TM.

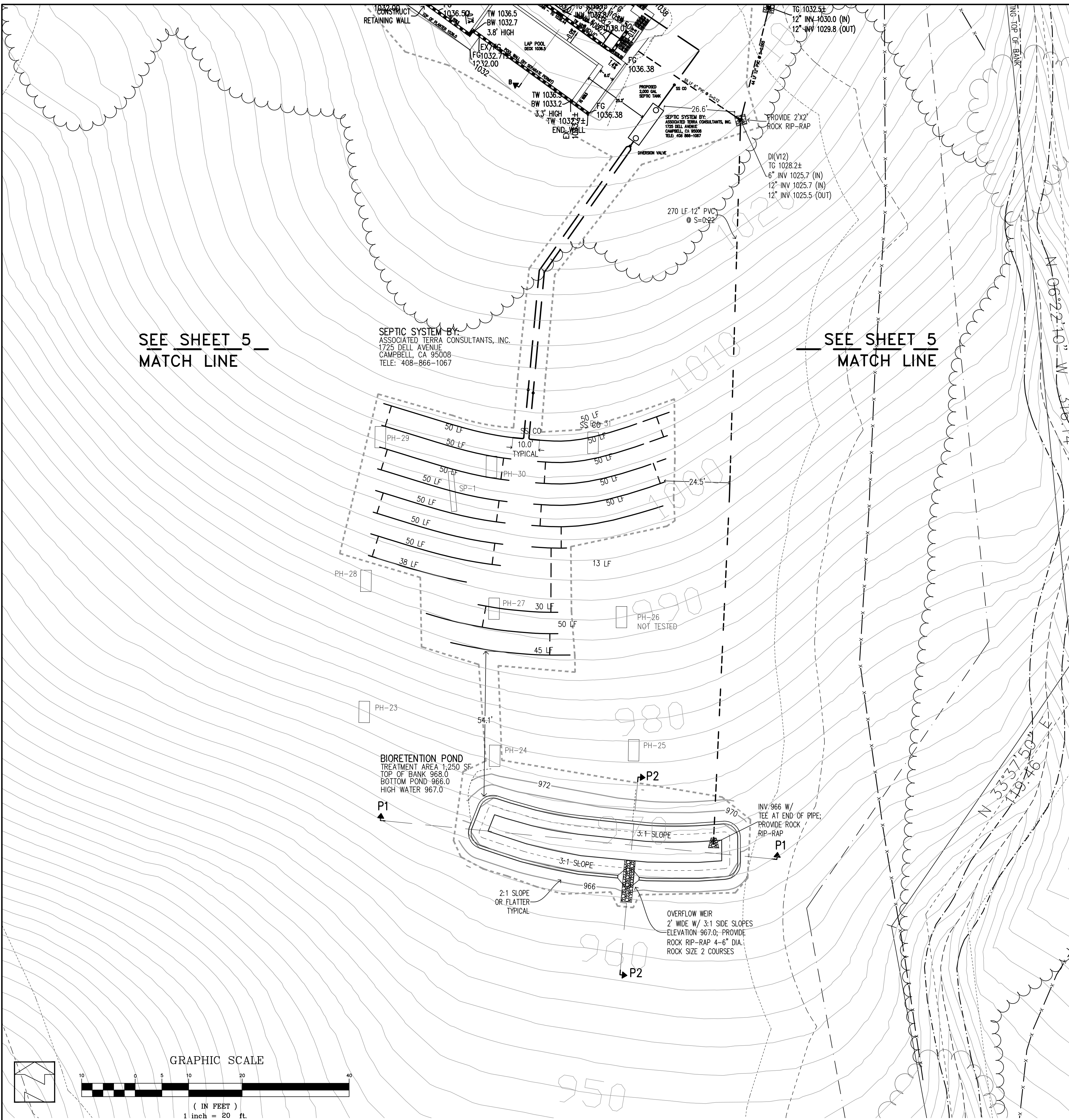
date: _____
Hanna - Brunetti
Amanda Joy Musy-Verdel
R.C.E. # 69278

REFERENCES

Preliminary Grading & Drainage Plan
Lands of Hardie - Clayton Road - apn 612-40-001
UNINCORPORATED NOVEMBER 2023
SANTA CLARA COUNTY CALIFORNIA

SHEET **4** OF 10
JOB NO. 22013

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR PART IS PROHIBITED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



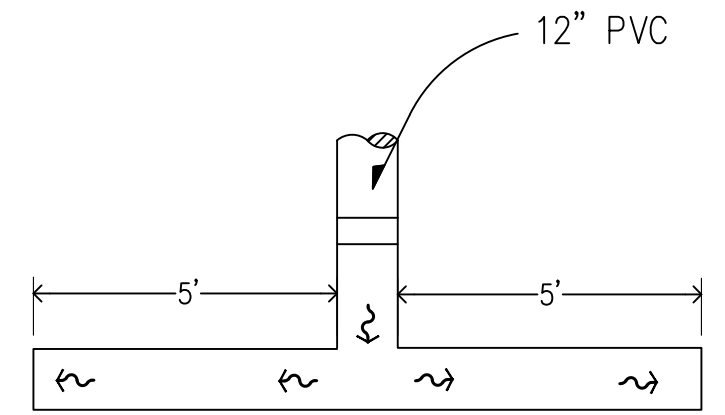
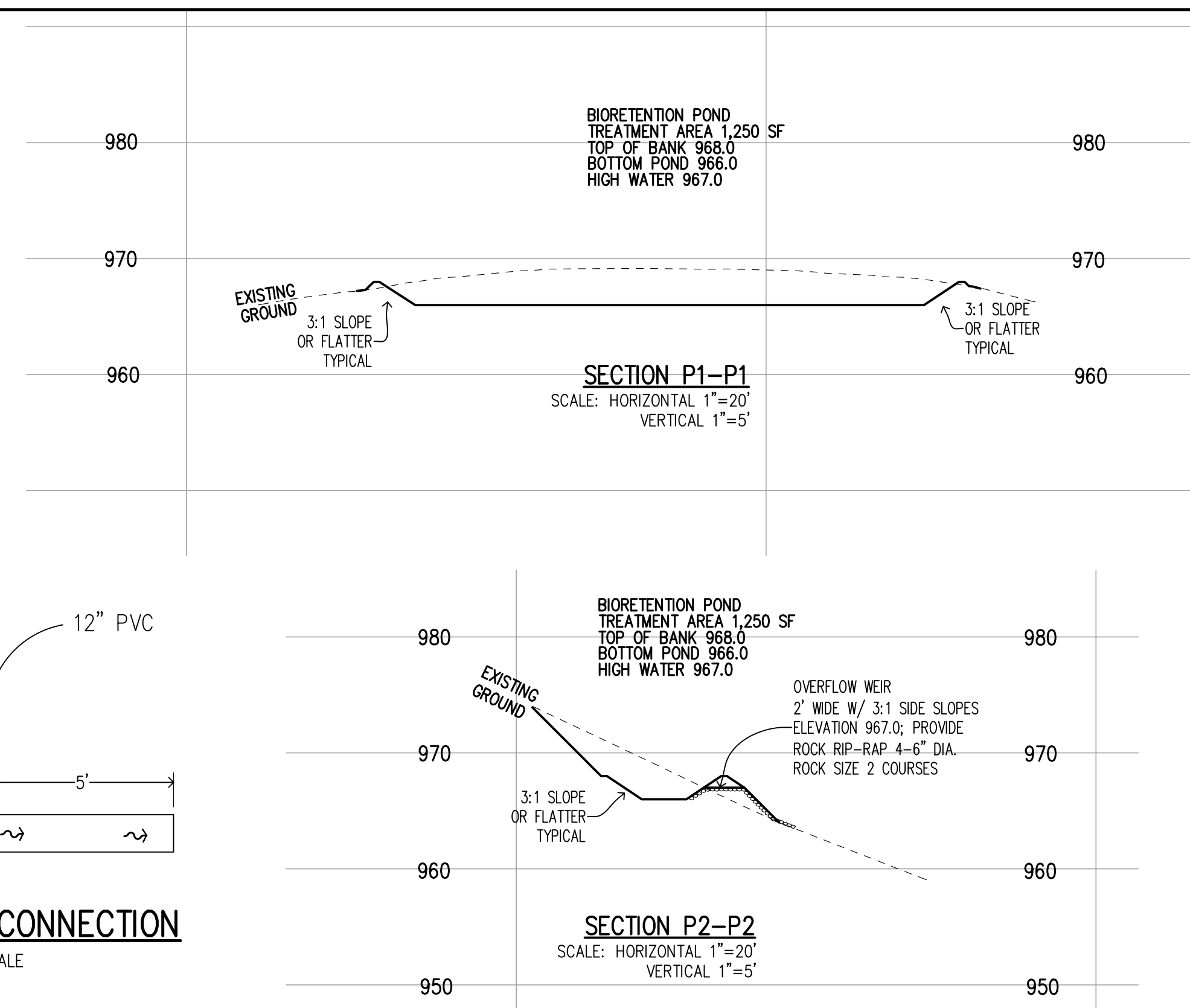
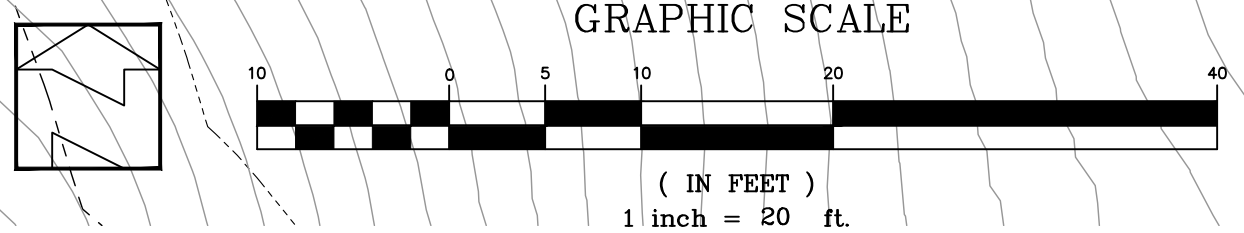
SEE SHEET 5
MATCH LINE

SEE SHEET 5
MATCH LINE

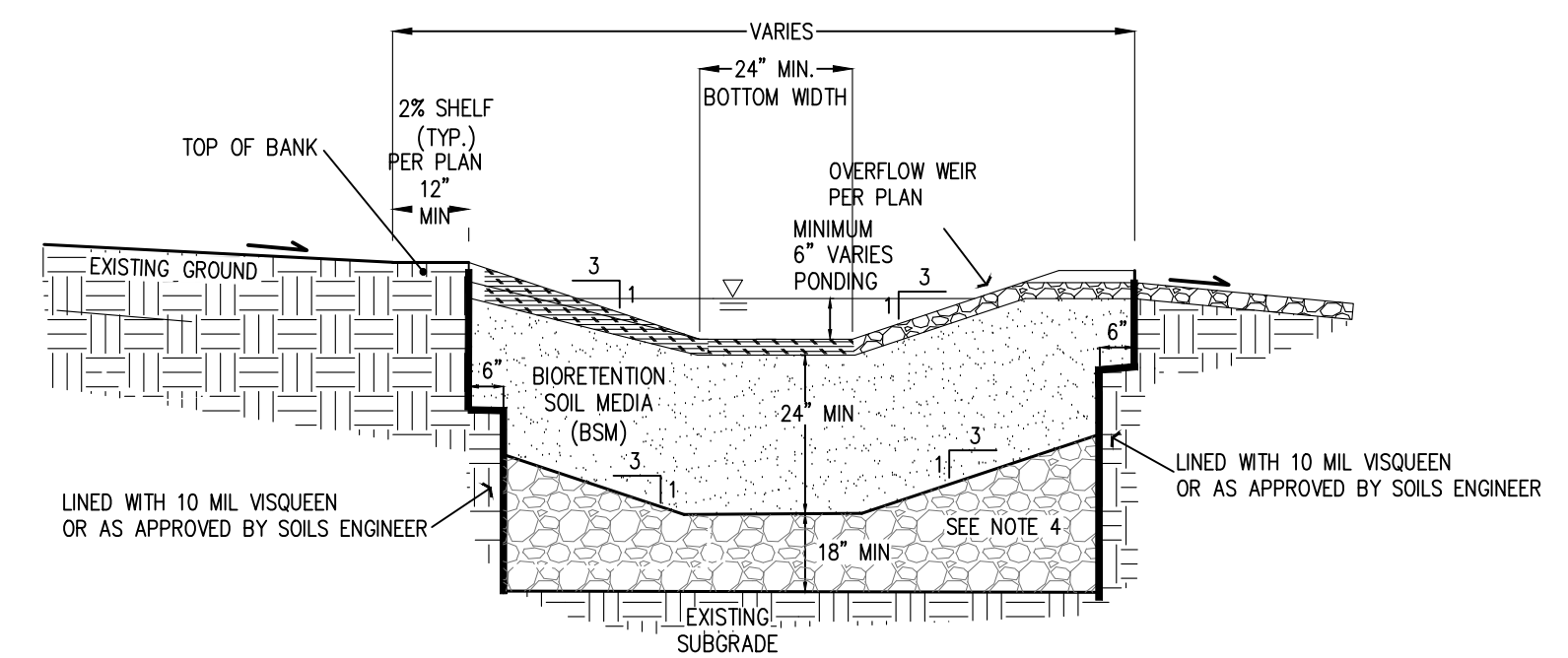
SEPTIC SYSTEM BY:
ASSOCIATED TERRA CONSULTANTS, INC.
1725 BELL AVENUE
CAMPBELL, CA 95008
TELE: 408-866-1067

BIORETENTION POND
TREATMENT AREA 1,250 SF
TOP OF BANK 968.0
BOTTOM POND 966.0
HIGH WATER 967.0

OVERFLOW WEIR
2' WIDE W/ 3:1 SIDE SLOPES
ELEVATION 967.0; PROVIDE
ROCK RIP-RAP 4-6" DIA.
ROCK SIZE 2 COURSES



TYPICAL TEE CONNECTION
NO SCALE



BIORETENTION POND DETAIL
WITH OVERFLOW WEIR - NOT TO SCALE

- | | |
|---|---|
| <p>CONSTRUCTION NOTES</p> <ol style="list-style-type: none"> SCARIFY SUBGRADE BEFORE INSTALLING BIORETENTION AREA AGGREGATE AND BSM. FACILITY EXCAVATION TO ALLOW FOR SPECIFIED SOIL AND MULCH DEPTHS TO ACHIEVE FINISHED ELEVATIONS ON CIVIL PLANS. COMPACT EACH 6" LIFT OF BSM WITH LANDSCAPE ROLLER OR BY LIGHTLY WETTING, IF WETTING, LET DRY OVERNIGHT BEFORE PLANTING. DO NOT WORK WITHIN BIORETENTION AREA DURING RAIN OR UNDER WET CONDITIONS. KEEP HEAVY MACHINERY OUTSIDE BIORETENTION AREA LIMITS. | <p>DESIGN NOTES</p> <ol style="list-style-type: none"> FULL DESIGN GUIDANCE PROVIDED IN BIORETENTION TECHNICAL SPECIFICATIONS DOCUMENT. CURB AND SIDEWALK DETAILS MAY BE MODIFIED FOR PROJECT BY GEOTECHNICAL ENGINEER. IF CALTRANS CLASS 2 PERMEABLE IS NOT AVAILABLE, SUBSTITUTE CLASS 3 PERMEABLE WITH AN OVERLYING 3" DEEP LAYER OF 3/4" (NO. 4) OPEN-GRADED AGGREGATE. BIORETENTION SOIL MEDIA (BSM) SPECIFICATION PER BIORETENTION TECHNICAL SPECIFICATIONS. PLANTING DESIGN AND IRRIGATION PER SANTA CLARA COUNTY - SCVRRPPP C.3 HANDBOOK. MULCH (OPTIONAL) PER BIORETENTION TECHNICAL SPECIFICATIONS. LOCATE ENERGY DISSIPATION COBBLE PADS AS SPECIFIED IN INLET DETAILS - AVIOD DECORATIVE USE. |
|---|---|

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

PLAN # _____ OF _____ SHEET

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1992
CIVIL ENGINEERS - LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EIGLEBERRY STREET - GILROY - 95020 - CALIFORNIA
OFFICE (408) 842-2173 - FAX (408) 842-3662
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: NOVEMBER 2013
HORIZ. SCALE: 1"=10'
VERT. SCALE: NONE
DESIGNED BY: AM.
CHECKED BY: TM.
DRAWN BY: TM.

date: _____
Hanna - Brunetti
Amanda Joy Musy-Verdel
R.C.E. # 69278

REFERENCES

UNINCORPORATED
NOVEMBER 2023

Preliminary Grading & Drainage Plan

Lands of Hardie - Clayton Road - apn 612-40-001

SANTA CLARA COUNTY
CALIFORNIA

SHEET
6
OF 10
JOB NO.
22013

APPLICANT: HARDIE

ROAD: CLAYTON ROAD

COUNTY FILE NO.:

JOB NO. 22013

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION IN WHOLE OR PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

PROJECT NOTES:

- THE LOCATION OF THE BUILDING PADS AND/OR FOUNDATIONS ARE TO BE ESTABLISHED BY A PERSON AUTHORIZED TO PRACTICE LAND SURVEYING. A LETTER SIGNED AND SEALED BY THAT AUTHORIZED PERSON, STATING THAT HE/SHE HAS LOCATED THE BUILDING CORNERS, AND THEIR LOCATIONS CONFORM TO COUNTY BUILDING SETBACK REQUIREMENTS PER THE APPROVED BUILDING PLANS IS REQUIRED TO BE SUBMITTED TO THE COUNTY ENGINEER.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE GROUND WHICH ARE SHOWN TO BE REMOVED. ANY OTHER SUCH TREES ARE NOT TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- NO TREES ARE TO BE REMOVED
- PRIOR TO GRADING COMPLETION AND RELEASE OF BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADED SLOPES AND REDUCE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
- BOTH DRAINFIELDS MUST BE STAKED AND STRUNG PRIOR TO APPROVAL OF THE SEPTIC DESIGN TO VERIFY THAT THE PROPOSED SEPTIC DESIGN WILL ACTUALLY FIT INTO THE PROPOSED LEACHFIELD AREA, AND CONFORM TO ALL REQUIRED SETBACKS.
- IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
- ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- IN THE EVENT THAT ARCHAEOLOGICAL FEATURES SHOULD BE DISCOVERED AT ANY TIME DURING THE GRADING, SCRAPING OR EXCAVATION, ALL WORK SHOULD BE HALTED IN THE VICINITY OF THE FIND AND AN ARCHAEOLOGIST SHOULD BE CONTACTED IMMEDIATELY TO EVALUATE THE DISCOVERED MATERIAL TO ASSESS ITS AREAL EXTENT, CONDITION, AND SCIENTIFIC SIGNIFICANCE. IF THE DISCOVERED MATERIAL IS DEEMED POTENTIALLY SIGNIFICANT, A QUALIFIED ARCHAEOLOGIST SHOULD MONITOR ANY SUBSEQUENT ACTIVITY IN THE PROXIMITY.
- IN THE EVENT THAT HUMAN SKELETAL REMAINS ARE ENCOUNTERED, THE APPLICANT IS REQUIRED BY COUNTY ORDINANCE NO. B6-18 TO IMMEDIATELY NOTIFY THE COUNTY CORONER. UPON DETERMINATION BY THE COUNTY CORONER THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION, PURSUANT TO SUBDIVISION (c) OF SECTION 7050.5 OF THE HEALTH AND SAFETY CODE AND THE COUNTY COORDINATOR OF INDIAN AFFAIRS. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY CHAPTER. IF ARTIFACTS ARE FOUND ON THE SITE A QUALIFIED ARCHAEOLOGIST SHALL BE CONTACTED ALONG WITH THE COUNTY PLANNING OFFICE. NO FURTHER DISTURBANCE OF THE ARTIFACTS MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY PLANNING OFFICE.
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
- ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THIS PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- AN APPROVED RESIDENTIAL FIRE SPRINKLER SYSTEM COMPLYING WITH FIRE MARSHAL STANDARD CFMO-SP6 IS REQUIRED TO BE INSTALLED THROUGHOUT THE STRUCTURE.
- ALL NEW ON-SITE UTILITIES, MAINS AND SERVICES SHALL BE PLACED UNDERGROUND AND EXTENDED TO SERVE THE PROPOSED RESIDENCE.
- A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.
- ALL ROOF RUNOFF SHALL BE DIRECTED TO LANDSCAPED OR NATURAL AREAS AWAY FROM BUILDING FOUNDATIONS, TO ALLOW FOR STORM WATER INFILTRATION INTO THE SOIL AND SHEET FLOW.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

CONTRACTOR TO VERIFY:

CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION OF BUILDING PAD, THE STRUCTURAL SECTION OF FOUNDATION TO DETERMINE BUILDING PAD ELEVATION.
SEE SOILS REPORT AND/OR STRUCTURAL PLANS TO DETERMINE THE ELEVATION OF THE BUILDING FINISH FLOOR AND PAD.

THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES IN THE AREA FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.
EXCESS MATERIAL SHALL BE OFF-HAULED. IF LOCATION IS WITHIN THE COUNTY A SEPARATED PERMIT SHALL BE REQUIRED.

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**



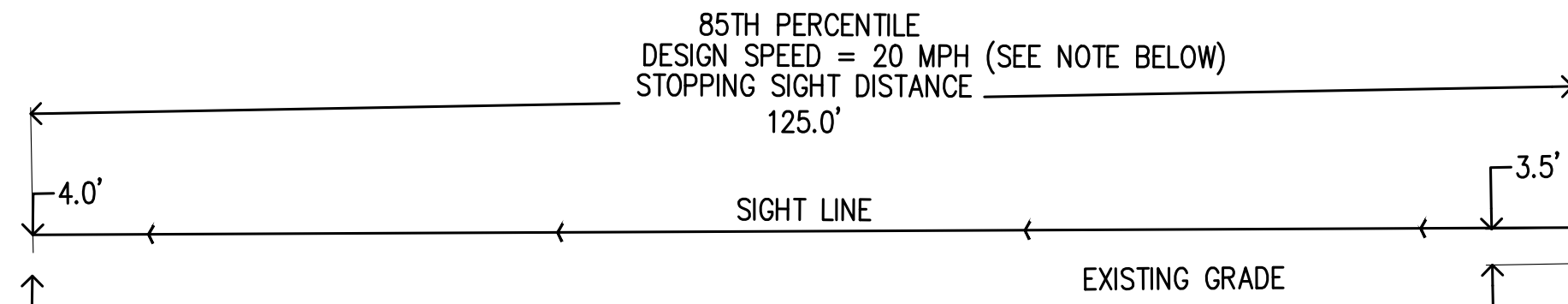
SSD - WESTBOUND
NOT TO SCALE



SSD - PLAN VIEW
NOT TO SCALE



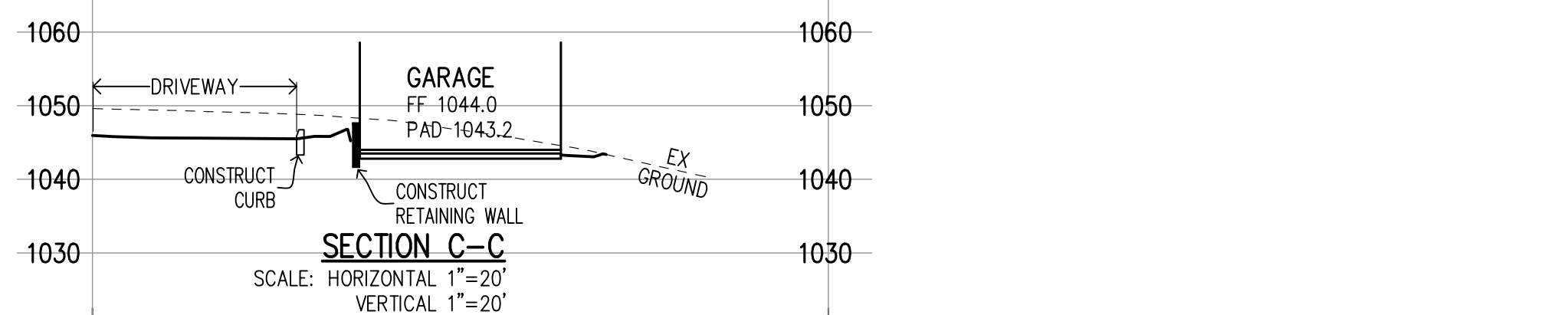
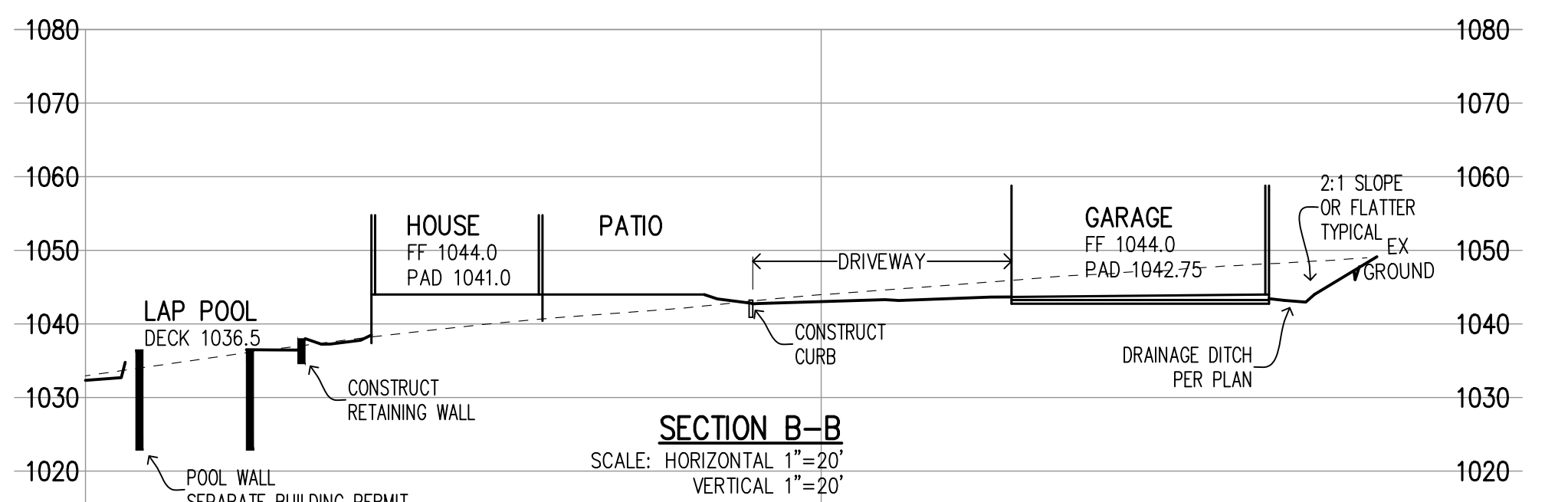
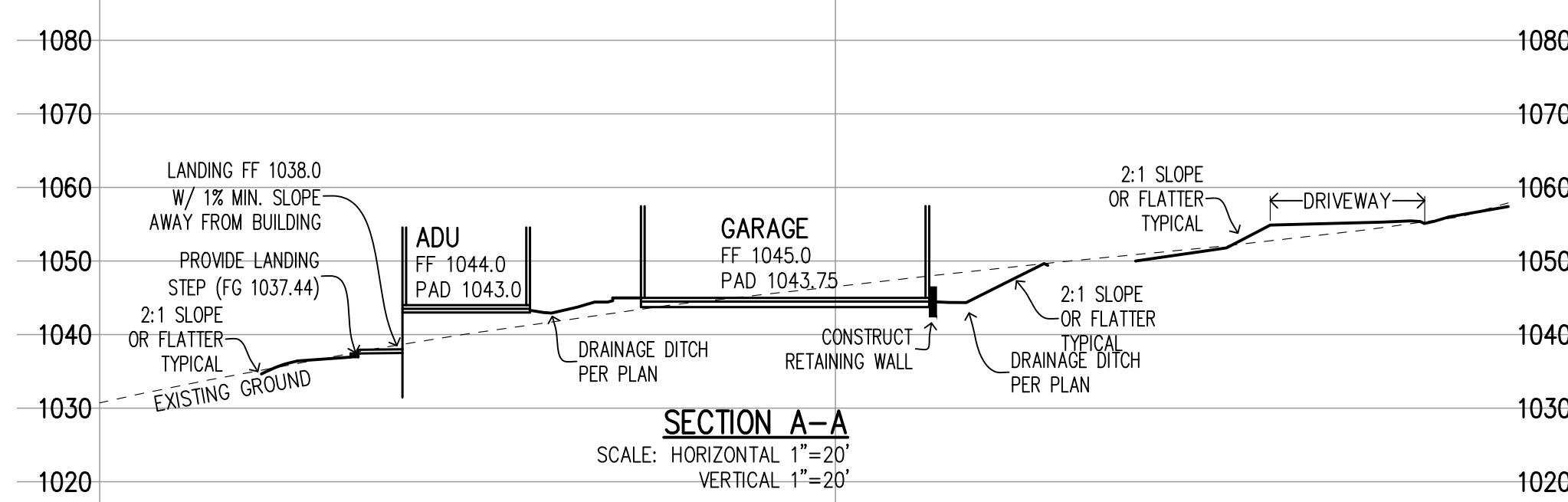
SSD - EASTBOUND
NOT TO SCALE



SECTION SIGHT LINE

NOT TO SCALE

NOTE: THE POSTED SPEED LIMIT FOR CLAYTON ROAD IS 35 MPH; HOWEVER, THE CAUTIONARY SPEED OF 20 MPH FOR THE MEANDERING SEGMENT OF THE ROAD IS USED IN THE ANALYSIS.



Christy "U" Series Catch Basins

Product Number	Dimensions
	A B C
U21	2' 2" 4"
U23	2' 2" 6"
U26	2' 3" 6"
U28	2' 4" 5"
U29	3' 4" 6"
U32	3' 4" 6"

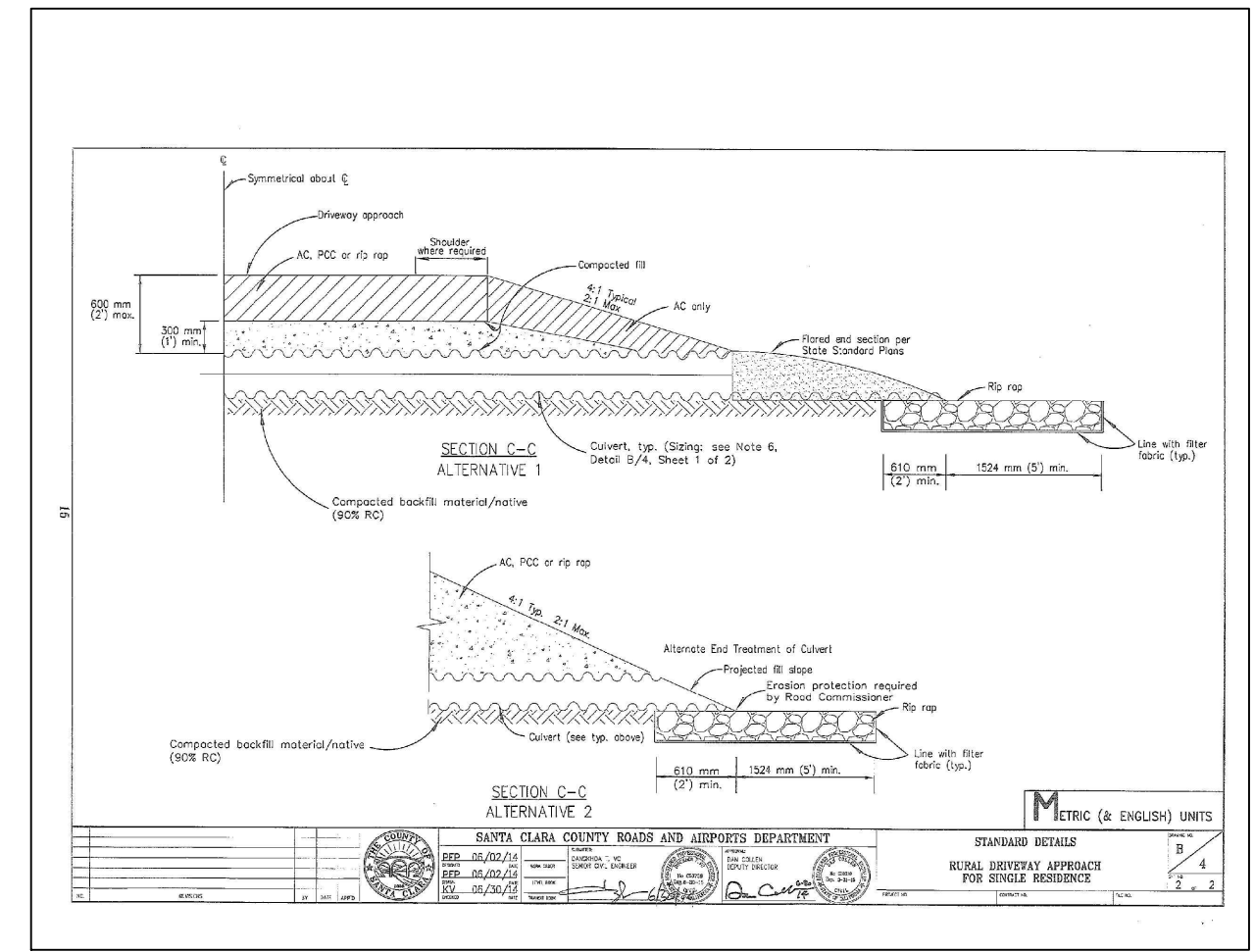
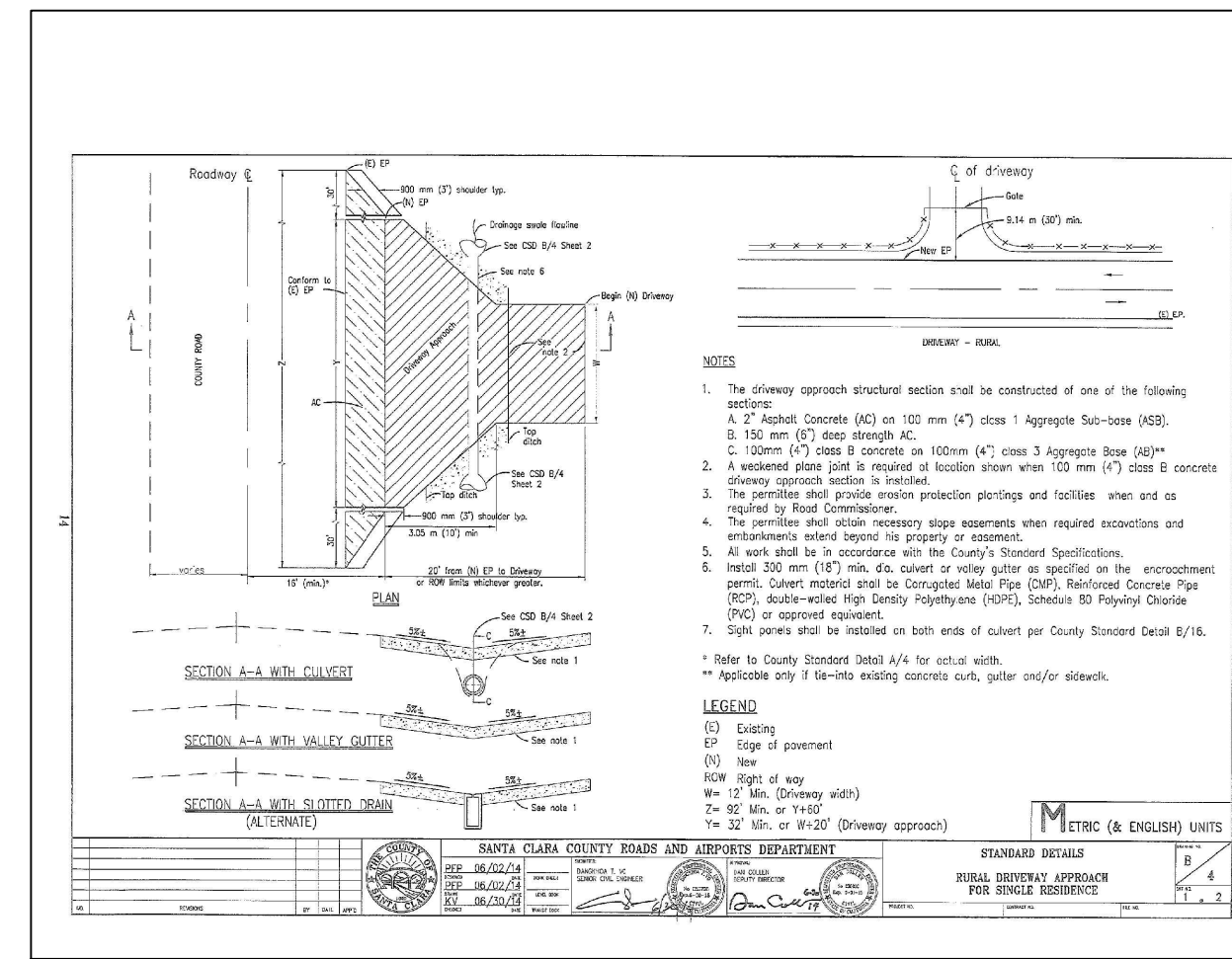
48% OPEN FLOW AREA
41% OPEN FLOW AREA
77% OPEN FLOW AREA

Christy V1 Drain Box 8-5/8" I.D. x 12"

48% OPEN FLOW AREA
41% OPEN FLOW AREA
77% OPEN FLOW AREA

Christy Cast Iron & Welded Steel Grates

Product Number	Dimensions
	A B C
U21	2' 2" 4"
U23	2' 2" 6"
U26	2' 3" 6"
U28	2' 4" 5"
U29	3' 4" 6"
U32	3' 4" 6"



APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

PLAN # _____ OF _____ SHEET

REVISIONS:

DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1988
CIVIL ENGINEERS - LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EAGLEBERRY STREET - GILROY - 95020 - CALIFORNIA
OFFICE (408) 842-2173 - FAX (408) 842-3662
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: NOVEMBER 2013
HORIZ. SCALE: 1"=20'
VERT. SCALE: 1"=20'
DESIGNED BY: AM
CHECKED BY: _____
DRAWN BY: TM

date: Hanna - Brunetti
Amanda Joy Musy-Verdel
R.C.E. # 69278

REFERENCES

UNINCORPORATED
NOVEMBER 2023

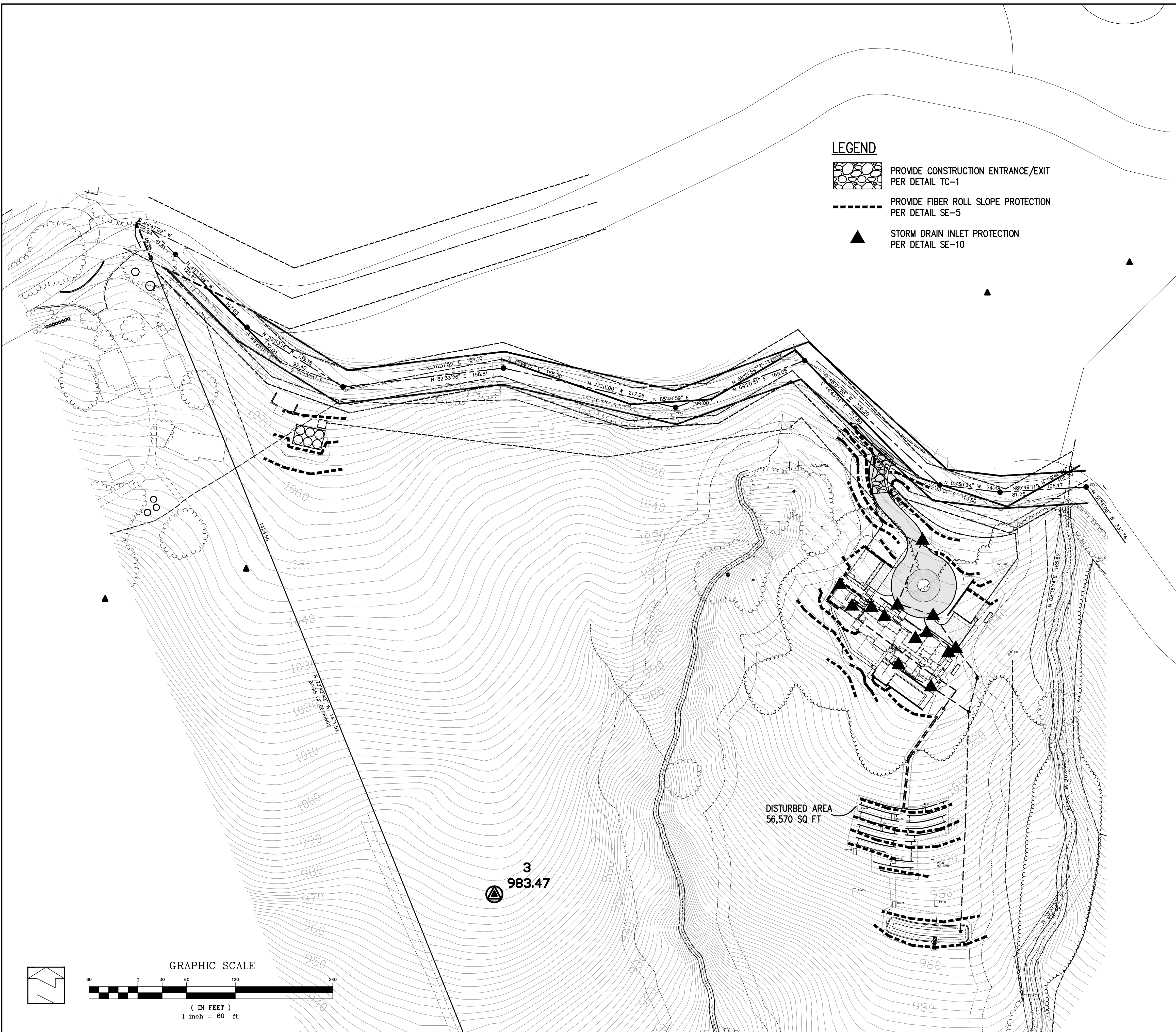
Notes, Details & Cross Sections
Lands of Hardie - Clayton Road - apn 612-40-001
SANTA CLARA COUNTY CALIFORNIA

SHEET **7** OF 10
JOB NO. **22013**

APPLICANT: HARDIE ROAD: CLAYTON ROAD COUNTY FILE NO.:

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PLAN # _____ OF _____ SHEET



- EROSION CONTROL NOTES**
- EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
 - NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
 - A FIBER ROLL BARRIER PER "DETAIL SE-5" SHALL BE INSTALL ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
 - ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
 - THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE COUNTY.
 - PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE COUNTY.
 - ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE COUNTY INSPECTOR. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL COUNTY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO COUNTY INSPECTOR'S APPROVAL.
 - ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY DURING THE RAINY SEASON. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
 - ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
 - INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRATOR SHALL MAINATN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE COUNTY INSPECTOR.
 - IF THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

- ALL GRADING WORK BETWEEN OCTOBER 15th AND APRIL 15th IS AT THE DISCRETION OF THE SANTA CLARA COUNTY BUILDING OFFICIAL.
- PROVIDE SHRUBS AND/OR TREES REQUIRED ON SLOPES GREATER THAN 15 FEET IN VERTICAL HEIGHT.
- THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL INSTALL AND MAINTAIN THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL WITHIN THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, WASTE MATERIALS, AND SEDIMENT CAUSED BY EROSION FROM CONSTRUCTION ACTIVITIES ENTERING THE STORM DRAIN SYSTEM, WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMP'S SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING PRACTICES APPLICABLE TO THE PUBLIC ROAD AND EXPRESSWAY FACILITIES:
 - REDUCTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS.
 - PREVENTION OF TRACKING OF MUD, DIRT AND CONSTRUCTION MATERIALS ONTO PUBLIC ROAD RIGHT OF WAY.
 - PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY
- THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY SHALL HAVE SEASONALLY APPROPRIATE BMP'S INSTALLED AND MAINTAINED AT ALL TIMES.

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

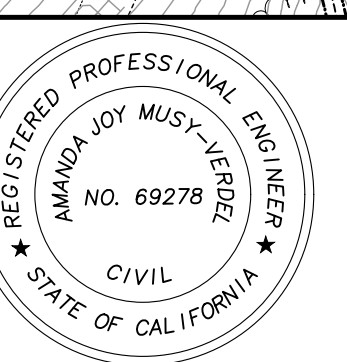
APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1982
CIVIL ENGINEERS - LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EIGLEBERRY STREET - GILROY - 95020 - CALIFORNIA
OFFICE (408) 842-2173 - FAX (408) 842-3682
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: NOVEMBER 2023
HORIZ. SCALE: 1"=60'
VERT. SCALE: NONE
DESIGNED BY: AM
CHECKED BY: _____
DRAWN BY: TM

date: _____
Hanna - Brunetti
Amanda Joy Musy-Verdel
R.C.E. # 69278



REFERENCES

UNINCORPORATED
NOVEMBER 2023

Erosion Control Plan

Lands of Hardie - Clayton Road - apn 612-40-001

SANTA CLARA COUNTY
CALIFORNIA

SHEET
8
OF 10
JOB NO.
22013

APPLICANT: HARDIE

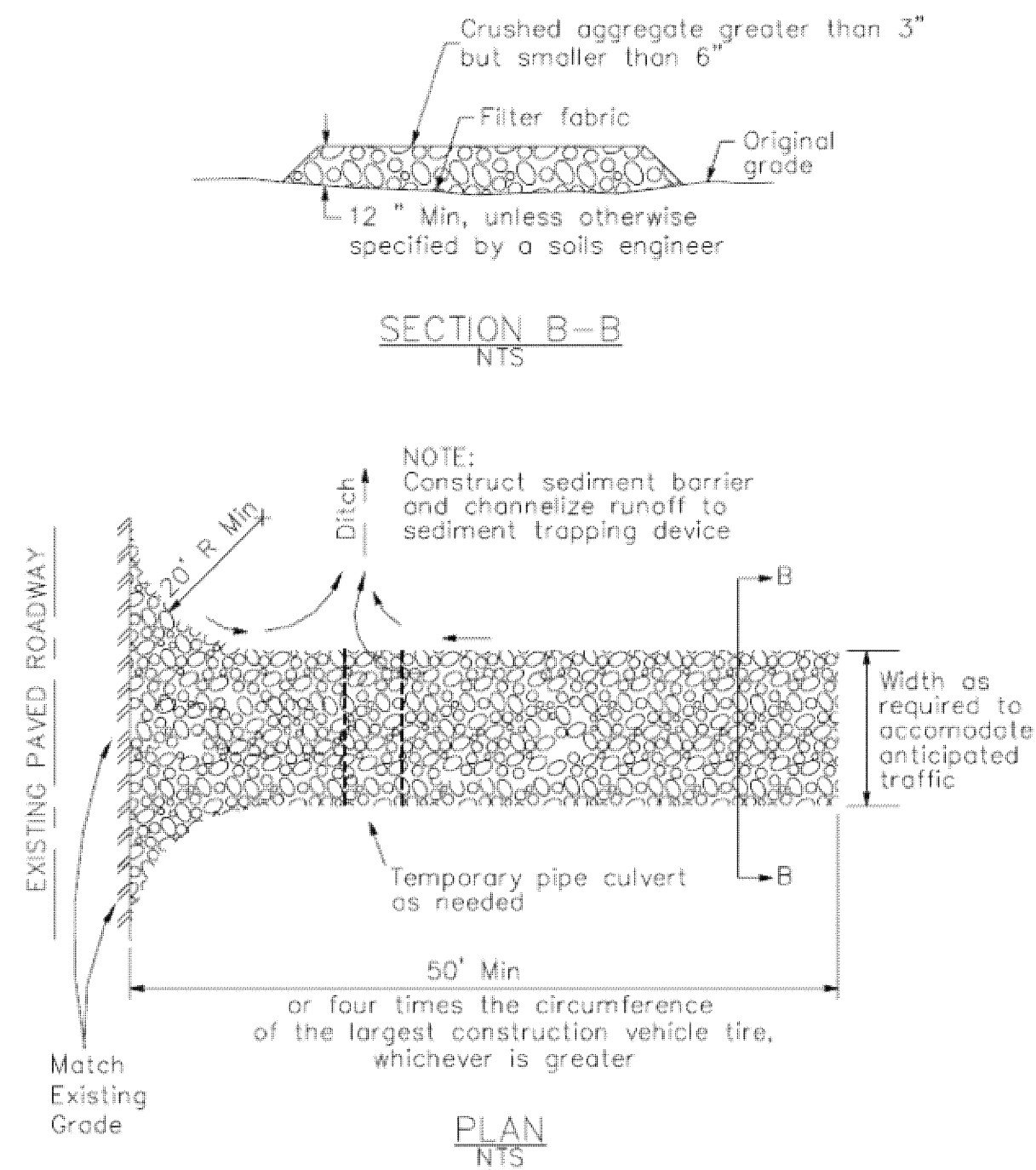
ROAD: CLAYTON ROAD

COUNTY FILE NO.:

JOB NO. 22013

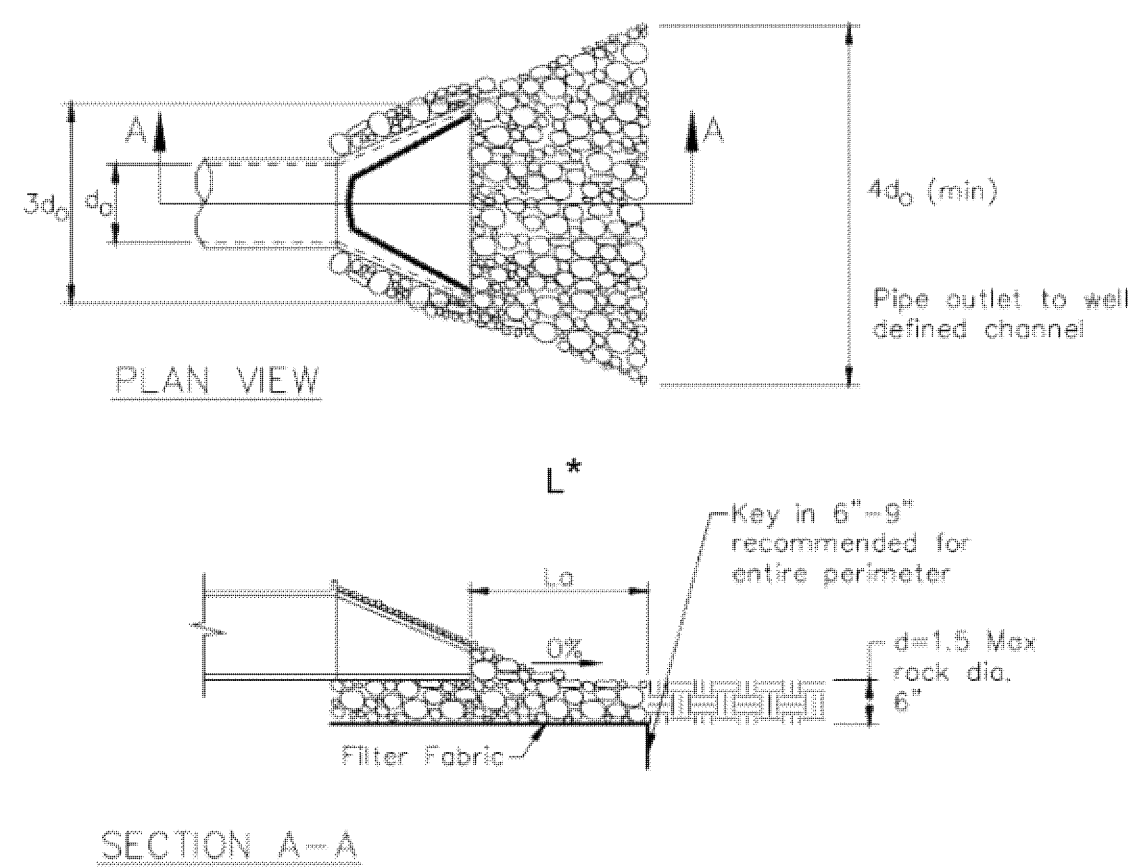
3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



4 Velocity Dissipation Devices

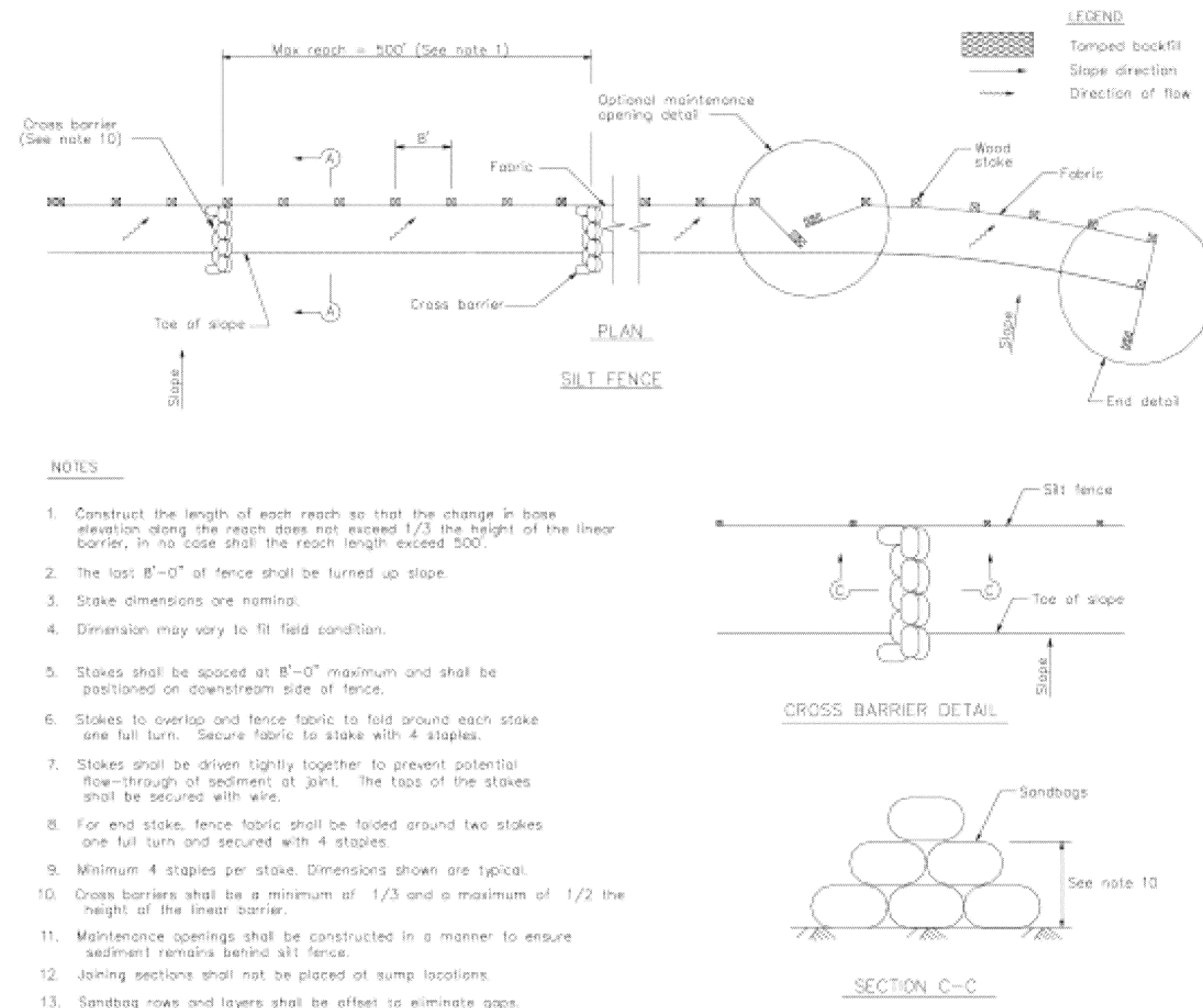
CASQA Detail EC-10



Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

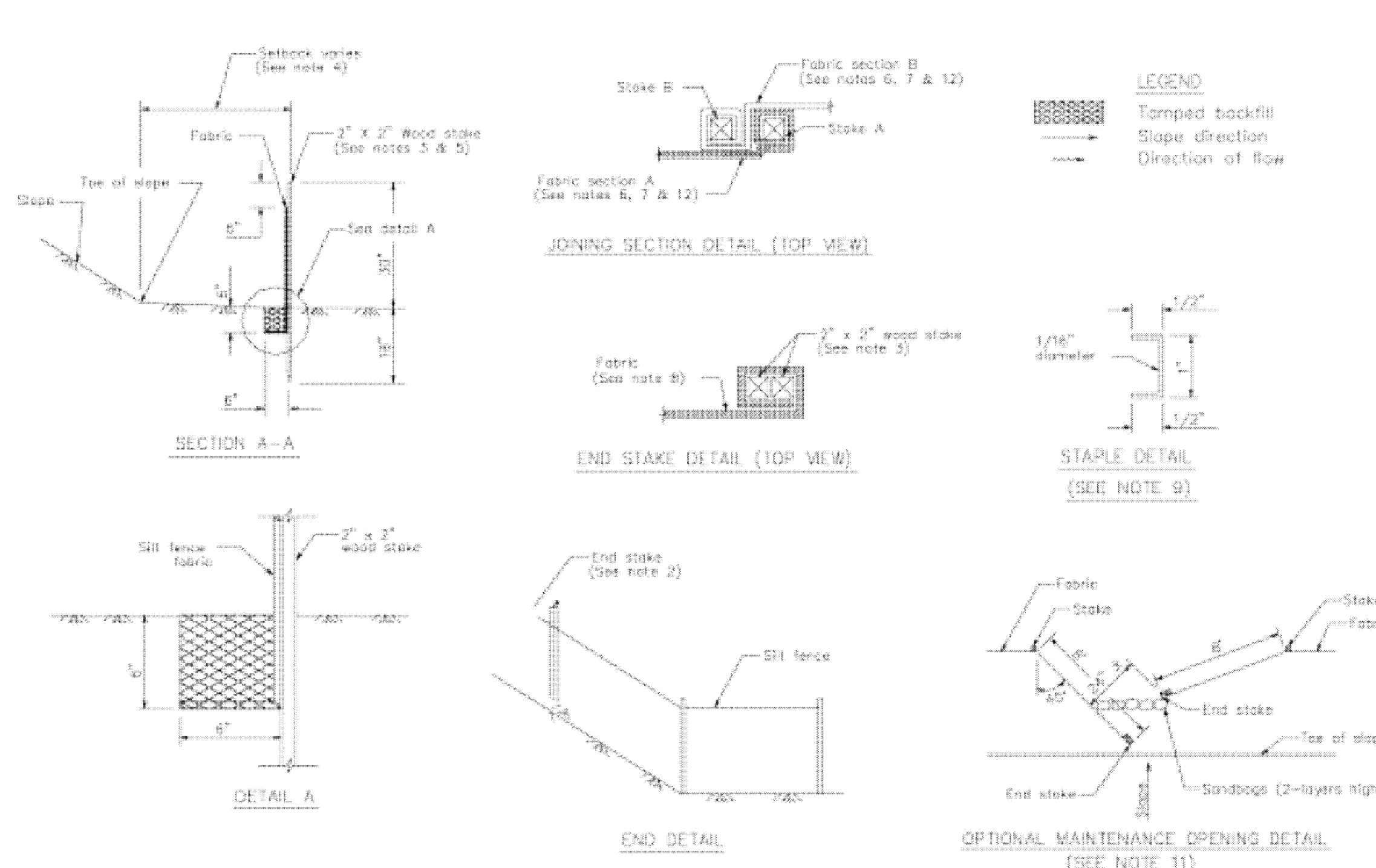
1 Silt Fence

CASQA Detail SE-1



2 Silt Fence

CASQA Detail SE-1



STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**
 - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
 - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber rolls or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
 - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
 - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
 - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

IMPROVEMENT PLANS

FOR THE
HOME GRADING AND DRAINAGE
ON THE LANDS OF HARDIE
CLAYTON ROAD

A PORTION OF LOT 11, MAP OF THE SUBDIVISION OF THE
CLAYTON AND JACKSON TRACT IN PUEBLO TRACT NO. 1
RECORDED IN BOOK "E" OF MAPS, PAGES 34 AND 35 ON SEPT 11, 1846
SANTA CLARA COUNTY, CALIFORNIA
A.P.N.: 612-40-001

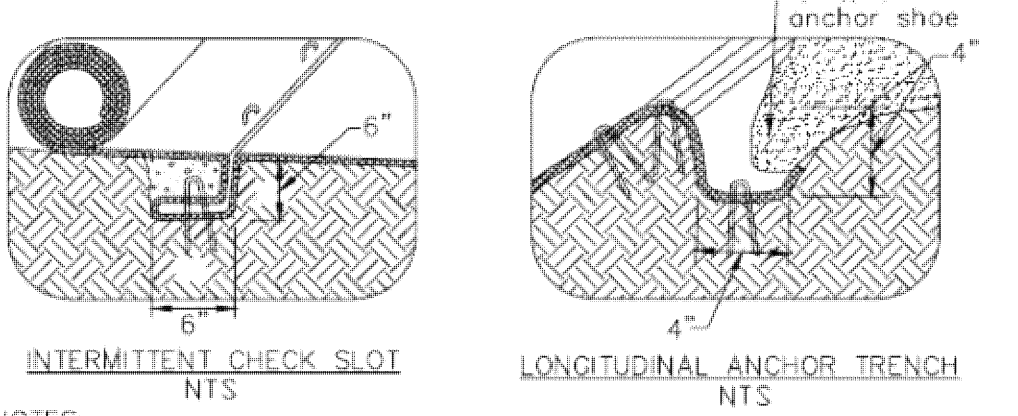
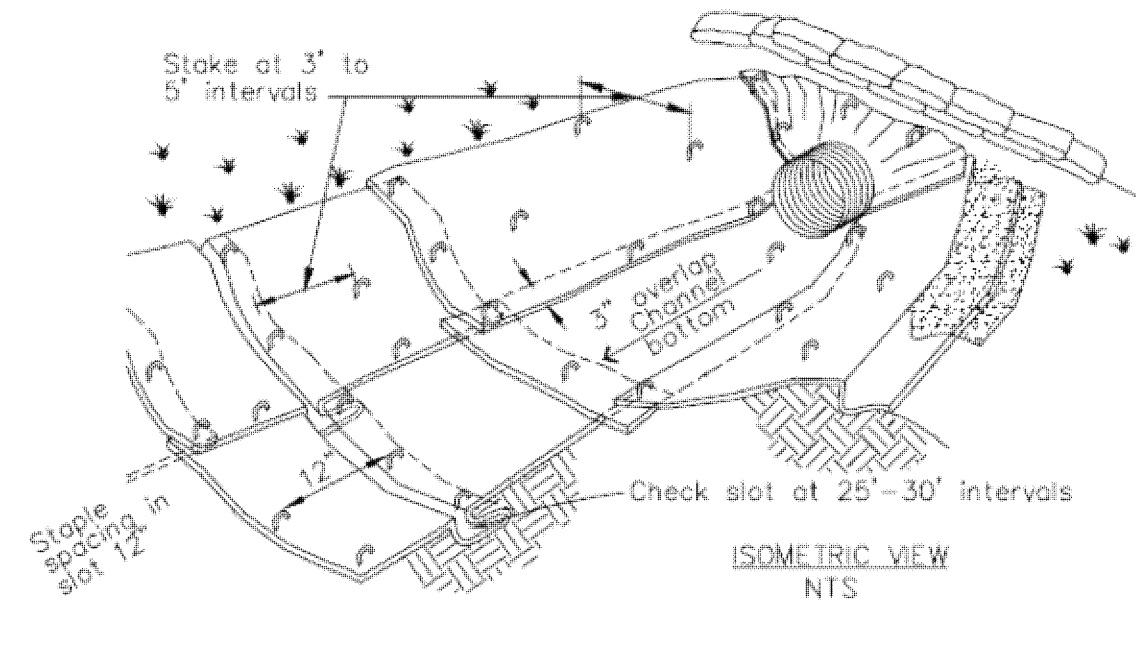
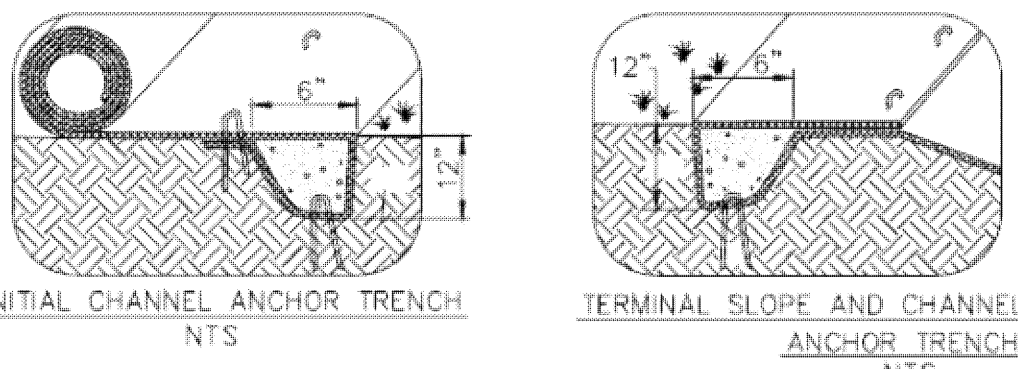
Project Information



7

Geotextiles and Mats

CASQA Detail EC-7



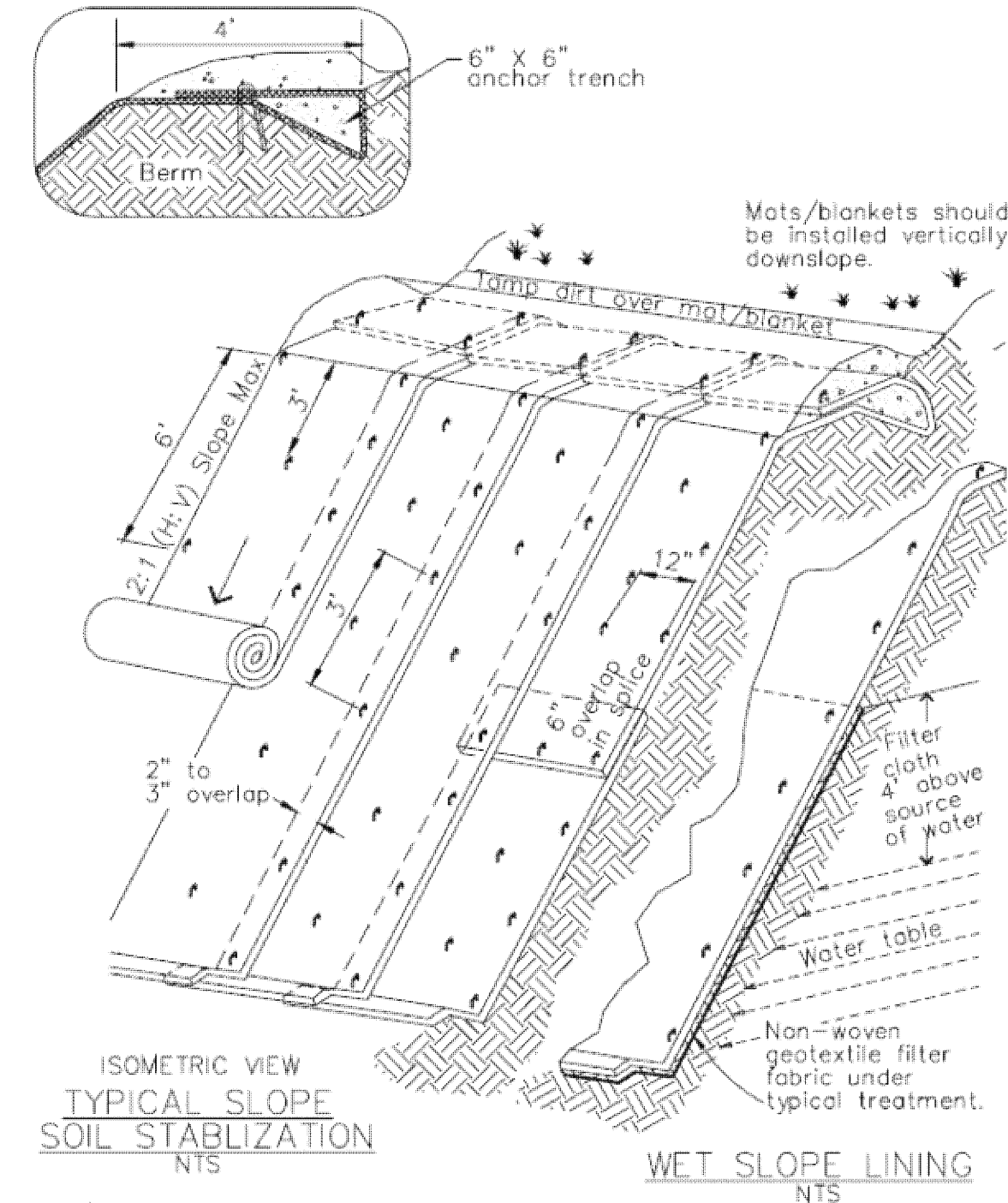
- NOTES:
1. Check slots to be constructed per manufacturers specifications.
 2. Staking or stapling layout per manufacturers specifications.
 3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

5

Geotextiles and Mats

CASQA Detail EC-7



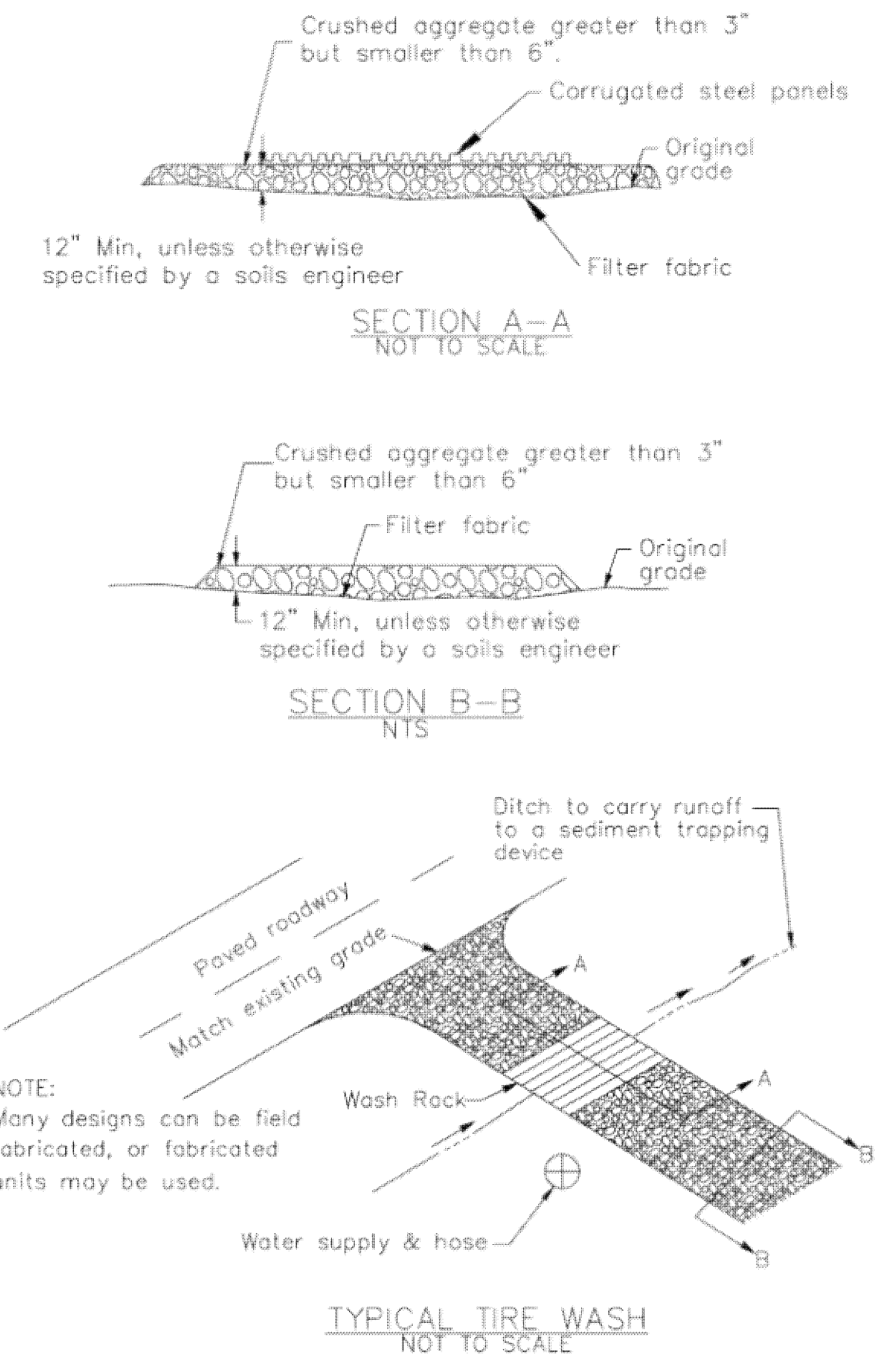
- NOTES:
1. Slope surface shall be free of rocks, clods, sticks and grass. Mats/blankets shall have good soil contact.
 2. Lay blankets loosely and stake or staple to maintain direct contact with the soil. Do not stretch.
 3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

3

Entrance/Outlet Tire Wash

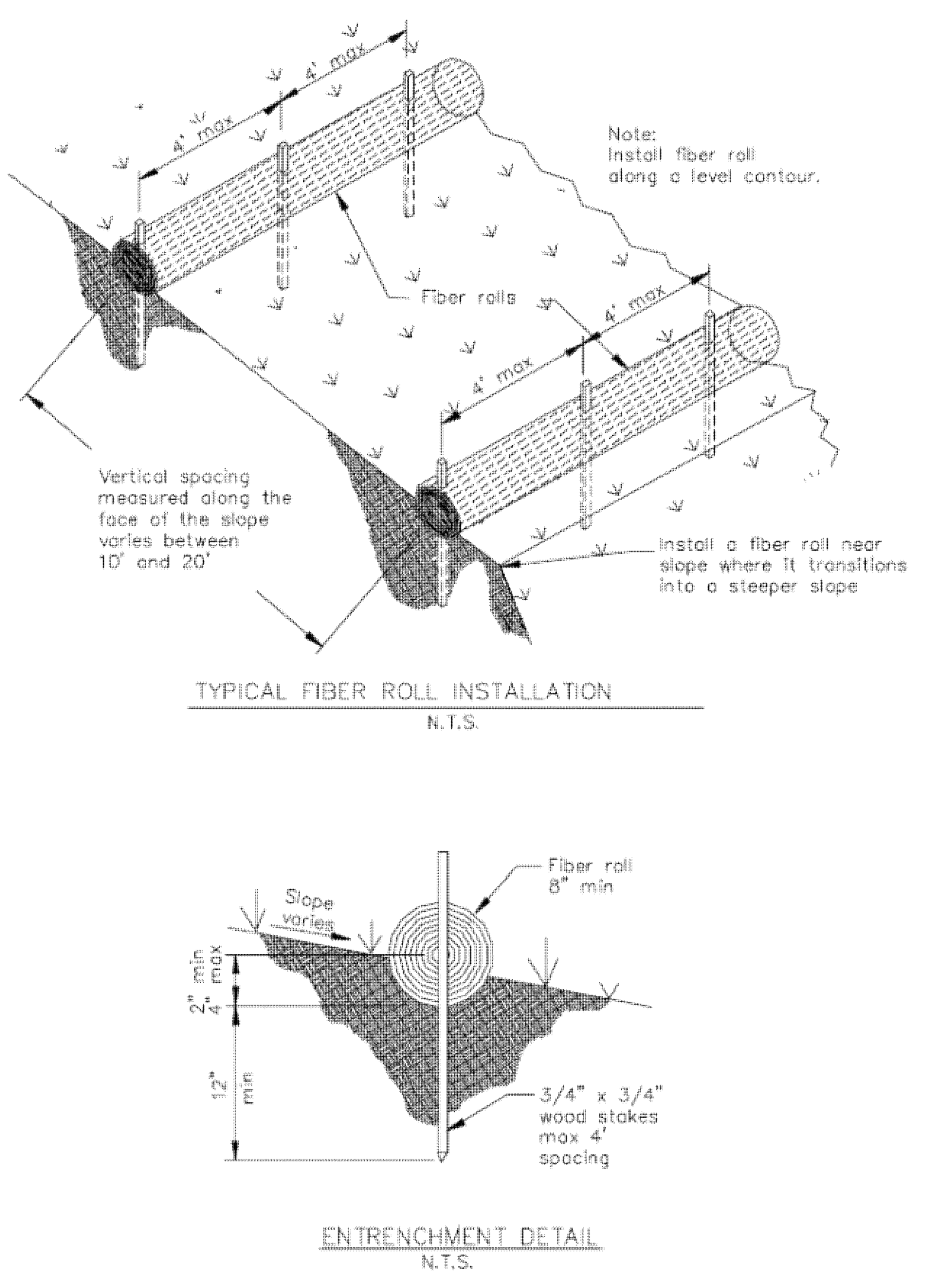
CASQA Detail TC-3



1

Fiber Rolls

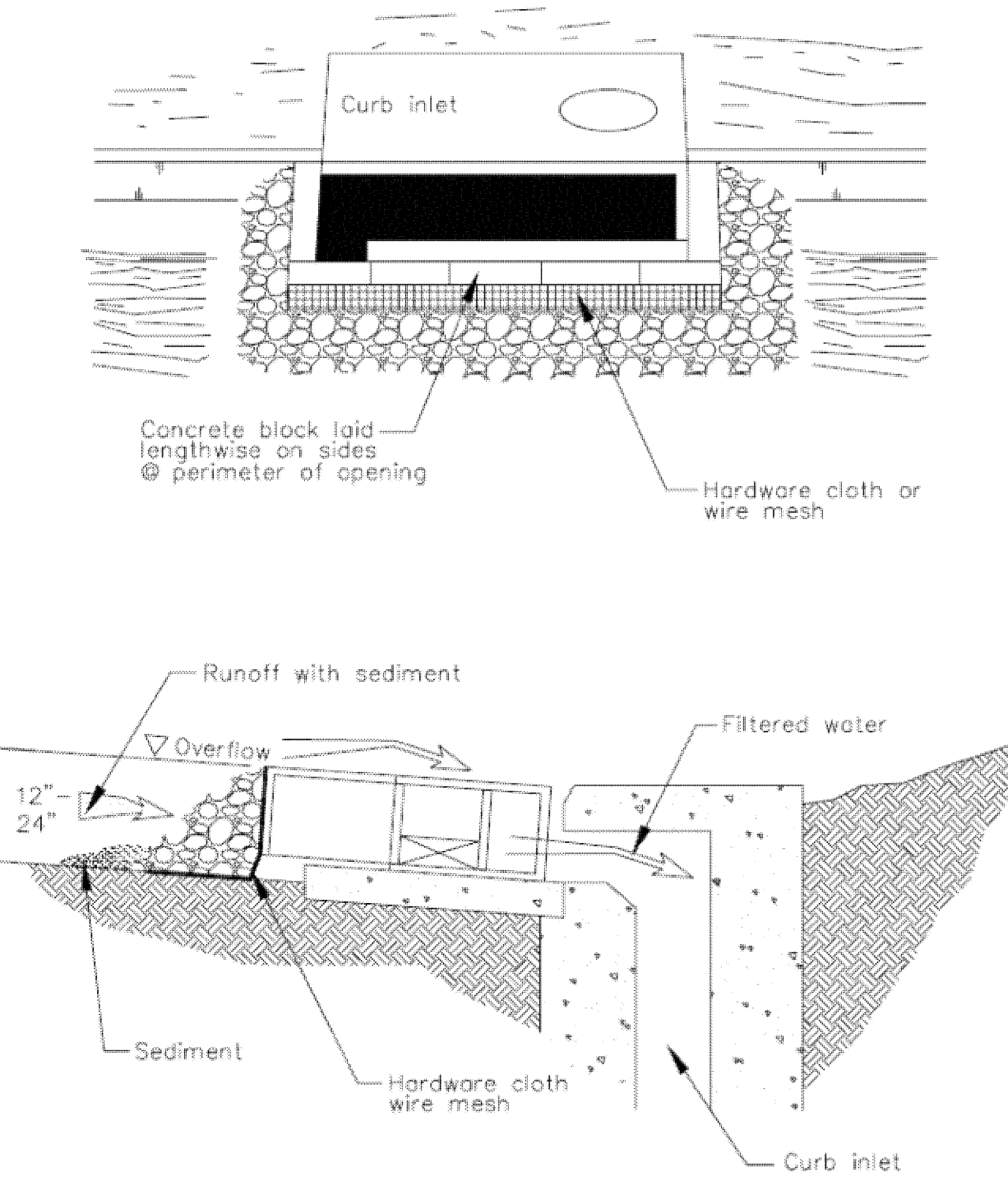
CASQA Detail SE-5



8

Storm Drain Inlet Protection

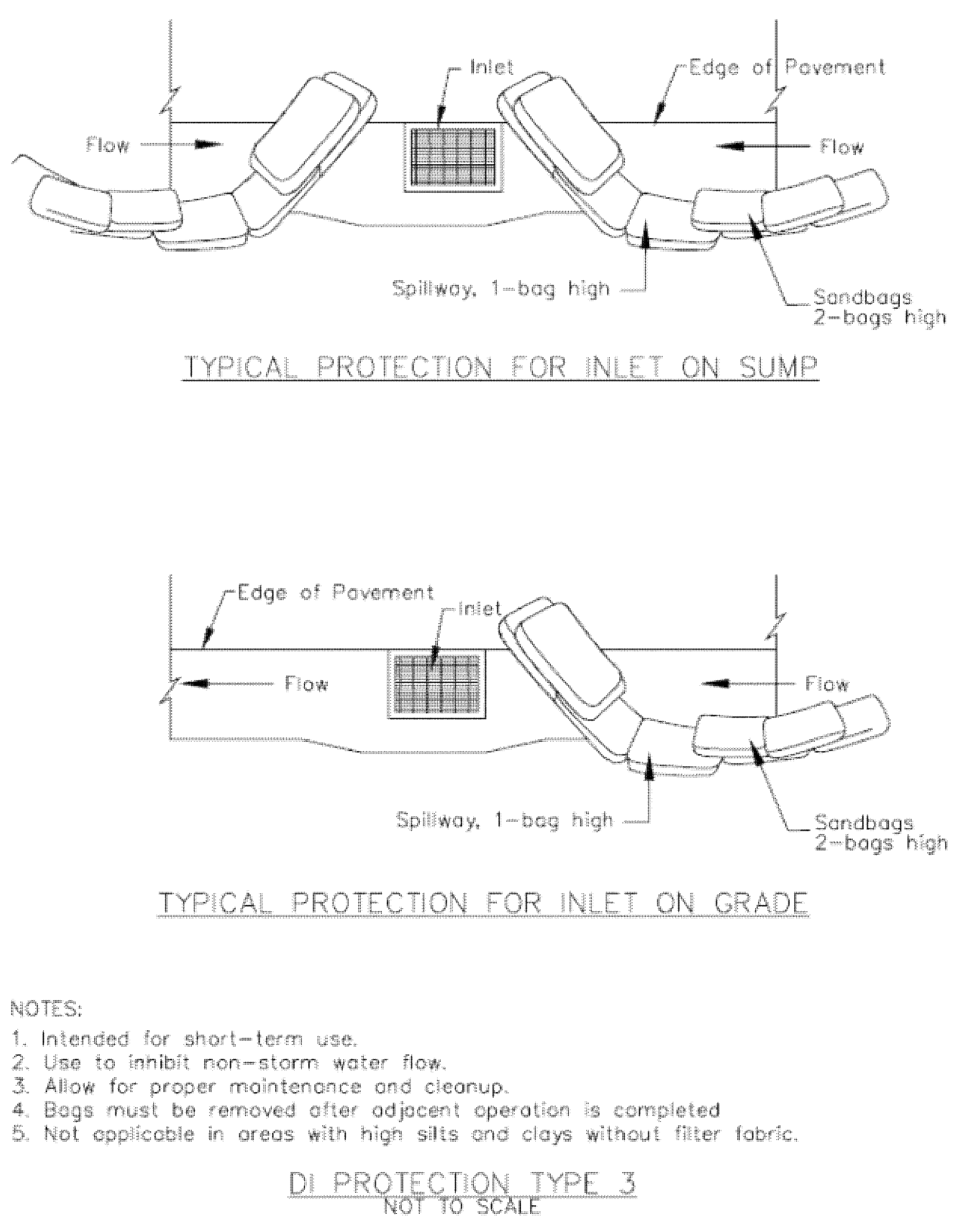
CASQA Detail SE-10



6

Storm Drain Inlet Protection

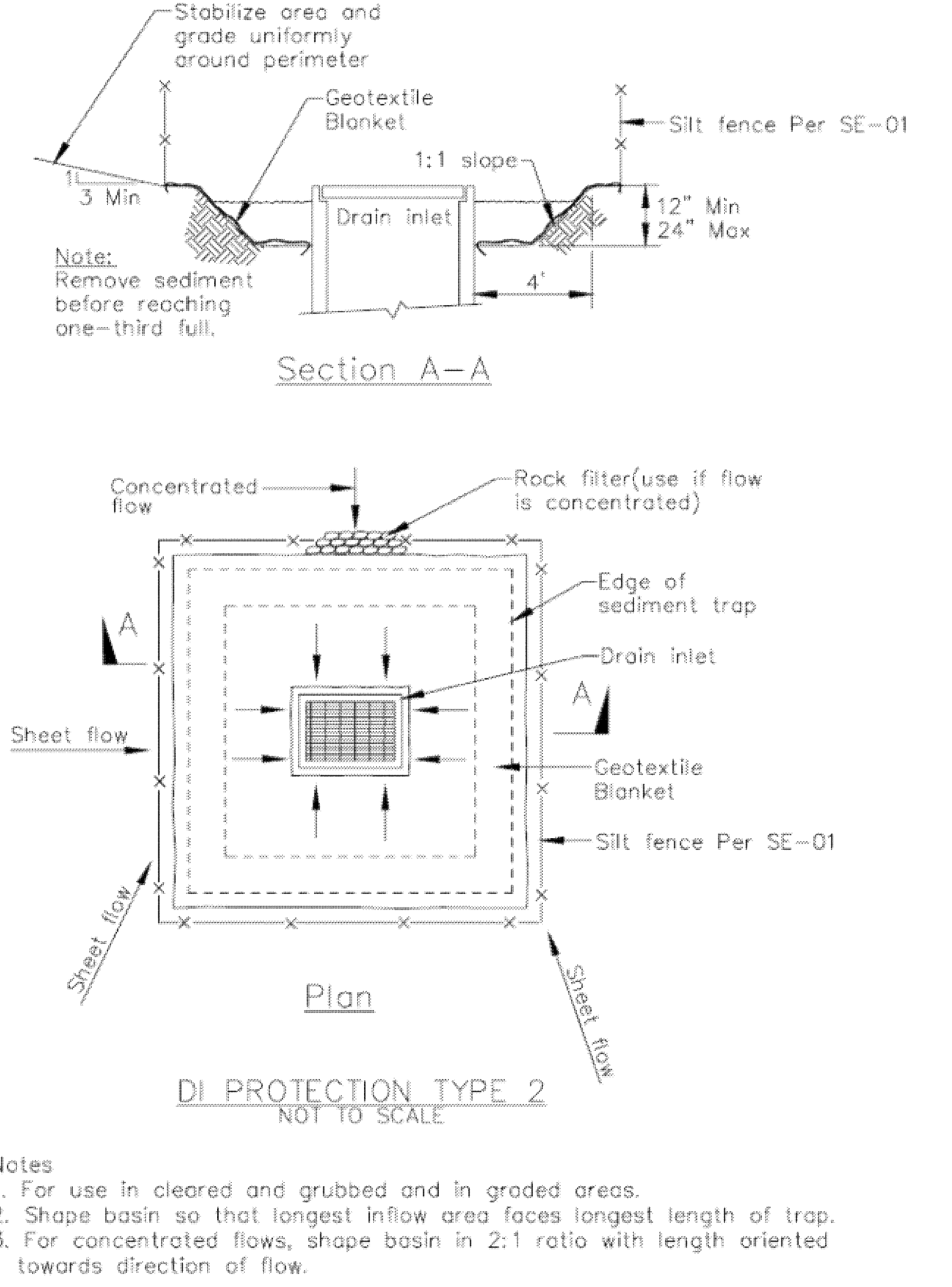
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4

Storm Drain Inlet Protection

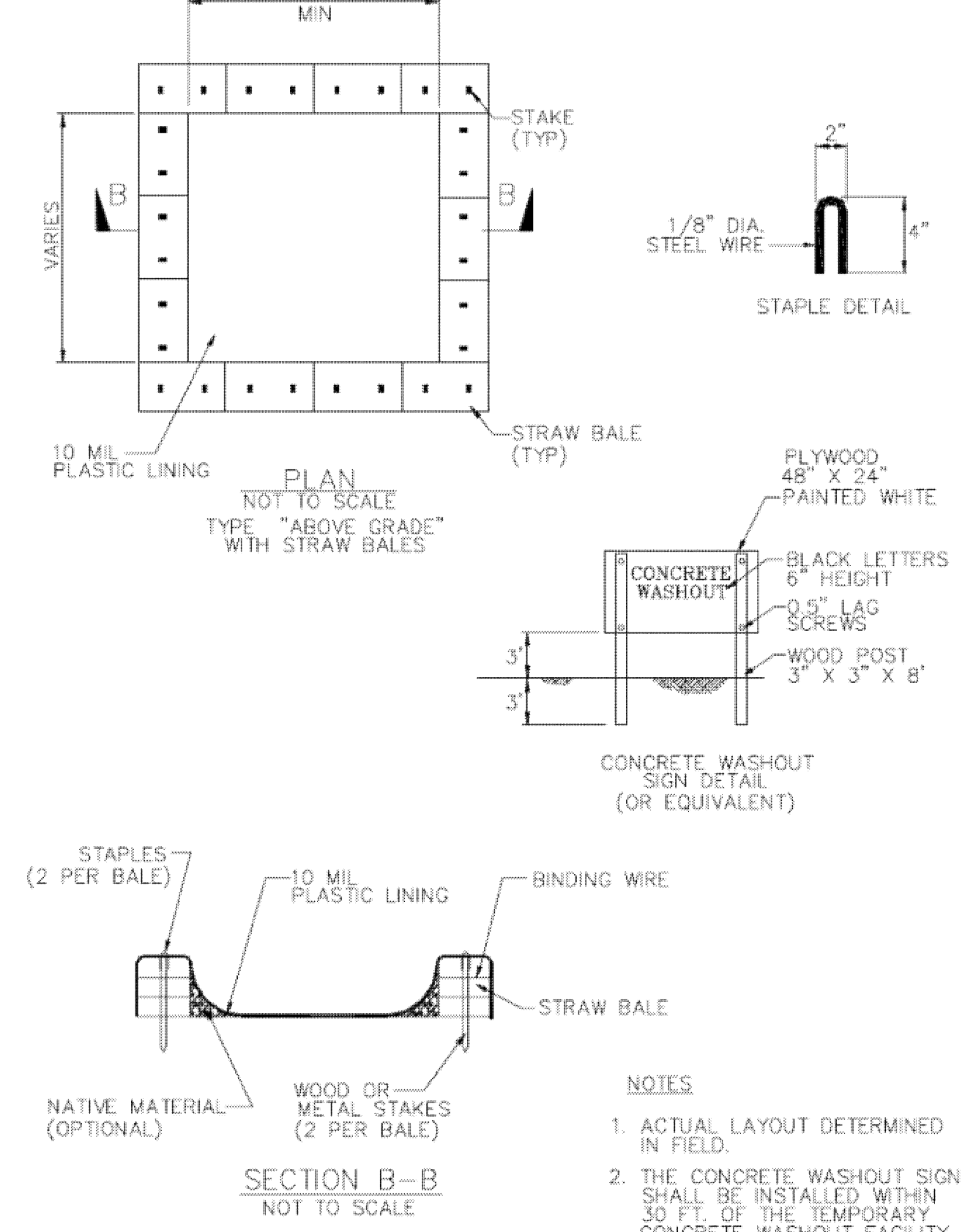
CASQA Detail SE-10



2

Concrete Waste Management

CASQA Detail WM-8



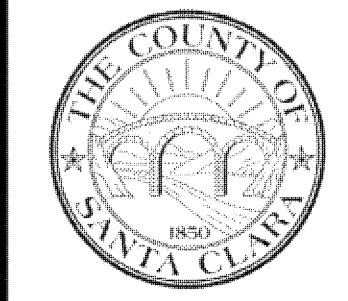
Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

IMPROVEMENT PLANS

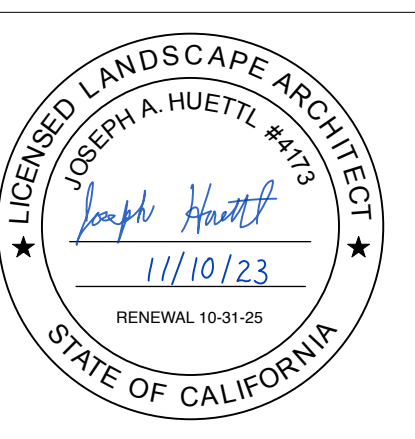
FOR THE
HOME GRADING AND DRAINAGE
ON THE LANDS OF HARDIE
CLAYTON ROAD

A PORTION OF LOT 1, MAP OF THE SUBDIVISION OF THE
CLAYTON AND JACKSON TRACT IN PUEBLO TRACT NO. 1
RECORDED IN BOOK "E" OF MAPS, PAGES 34 AND 35 ON SEPT 11, 1846
SANTA CLARA COUNTY, CALIFORNIA
A.P.N.: 612-40-001

Project Information



Revisions	Date

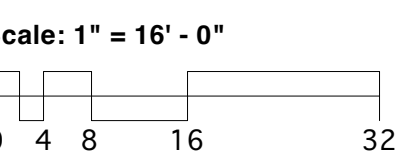


THE HARDIE/ROMERO RESIDENCE
15475 CLAYTON ROAD
SAN JOSE, CA 94587

Date: 11/10/2023
Job number:
Issue date:
Drawn by: eH JH SC

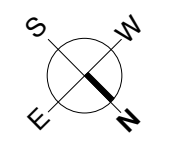
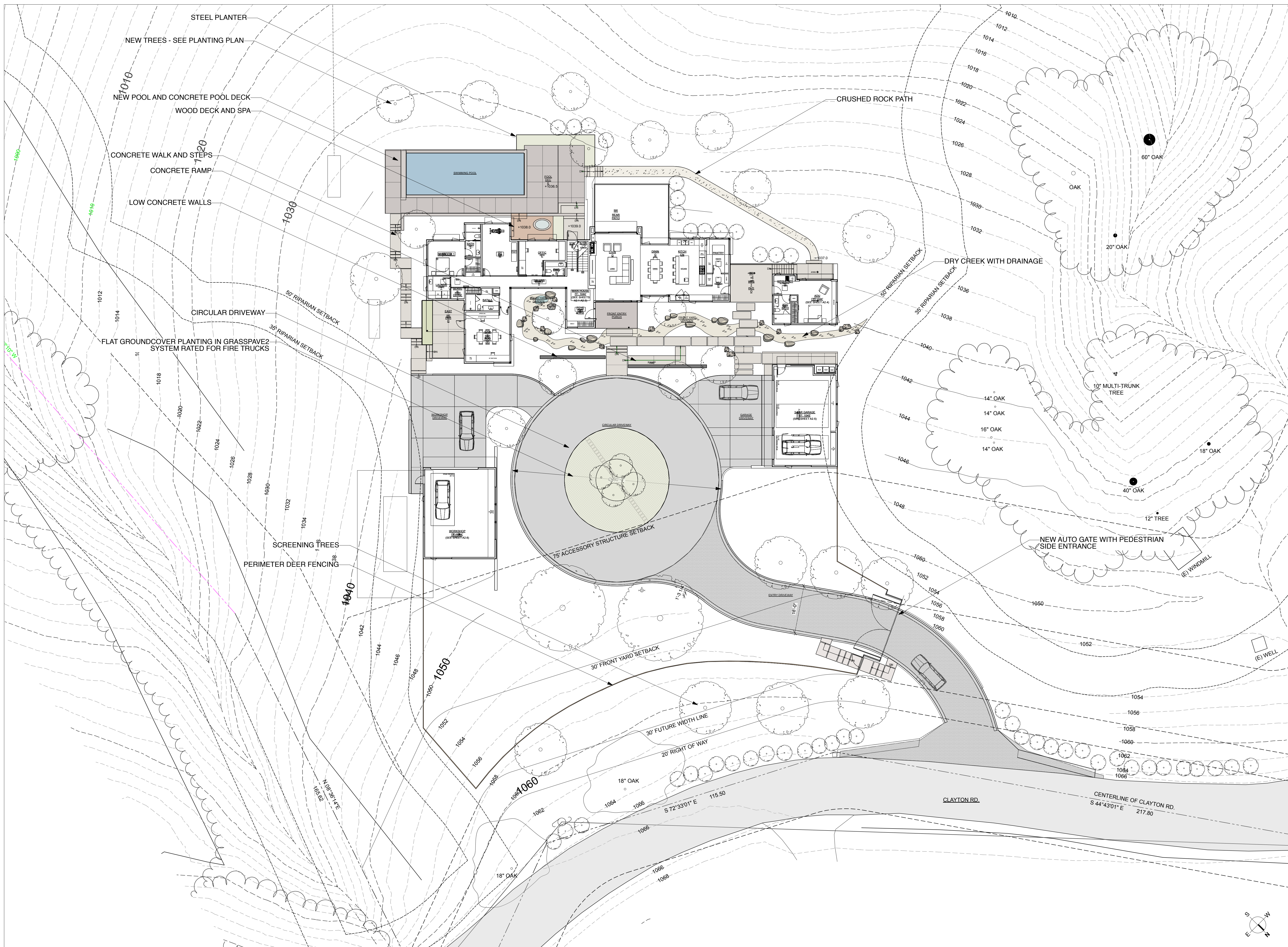
Landscape

SITE PLAN

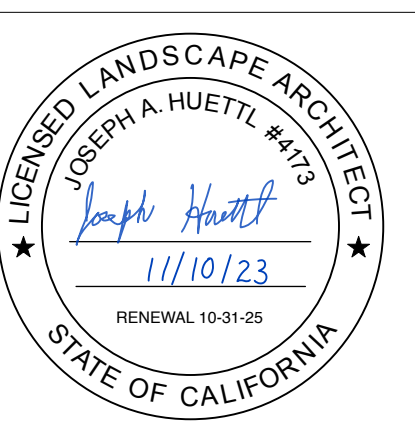


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Revisions	Date

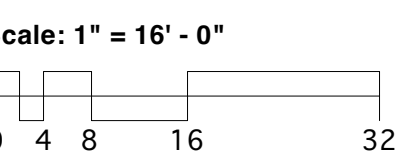


THE HARDIE/ROMERO RESIDENCE
15475 CLAYTON ROAD
SAN JOSE, CA 94587

Date: 11/10/2023
Job number:
Issue date:
Drawn by: eH JH SC

Landscape

PLANTING PLAN



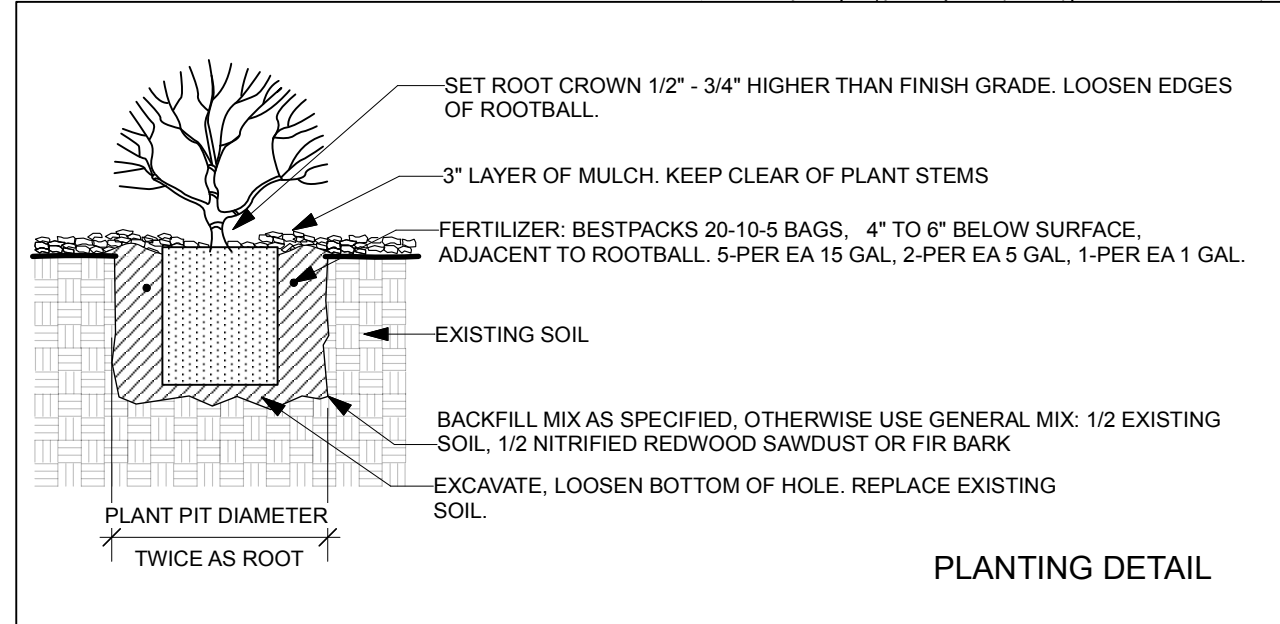
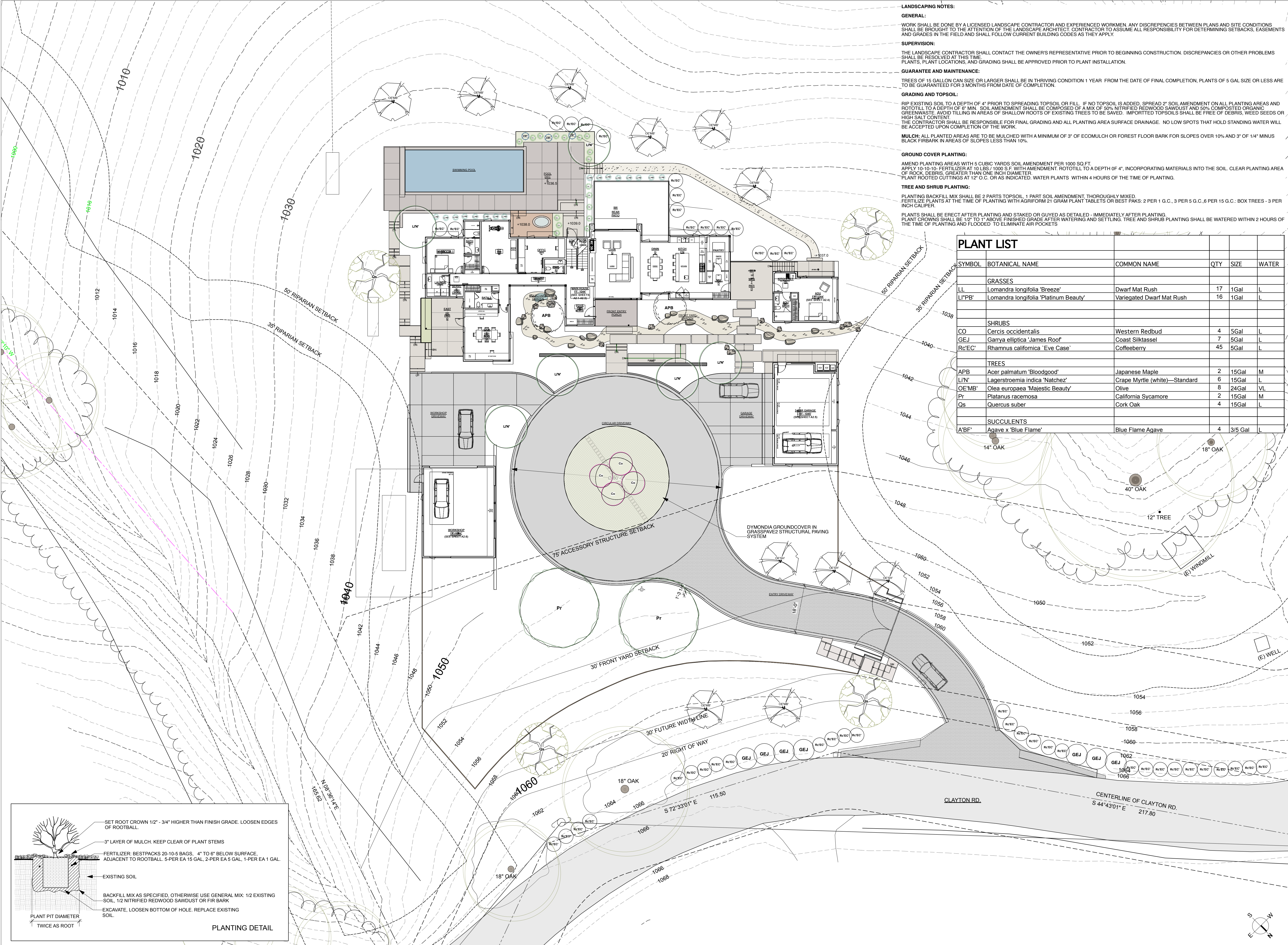
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LANDSCAPING NOTES:
GENERAL:
WORK SHALL BE DONE BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED WORKMEN. ANY DISCREPANCIES BETWEEN PLANS AND SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. CONTRACTOR TO ASSUME ALL RESPONSIBILITY FOR DETERMINING SETBACKS, EASEMENTS AND GRADES IN THE FIELD AND SHALL FOLLOW CURRENT BUILDING CODES AS THEY APPLY.
SUPERVISION:
THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. DISCREPANCIES OR OTHER PROBLEMS SHALL BE RESOLVED AT THIS TIME.
GUARANTEE AND MAINTENANCE:
TREES OF 15 GALLON CAN SIZE OR LARGER SHALL BE IN THRIVING CONDITION 1 YEAR FROM THE DATE OF FINAL COMPLETION. PLANTS OF 5 GAL SIZE OR LESS ARE TO BE GUARANTEED FOR 3 MONTHS FROM DATE OF COMPLETION.
GRADING AND TOPSOIL:
RIP EXISTING SOIL TO A DEPTH OF 4" PRIOR TO SPREADING TOPSOIL OR FILL. IF NO TOPSOIL IS ADDED, SPREAD 2" SOIL AMENDMENT ON ALL PLANTING AREAS AND ROTOTILL TO A DEPTH OF 6" MIN. SOIL AMENDMENT SHALL BE COMPOSED OF A MIX OF 50% NITRIFIED REDWOOD SAWDUST AND 50% COMPOSTED ORGANIC GREENWASTE. AVOID TILLING IN AREAS OF SHALLOW ROOTS OF EXISTING TREES TO BE SAVED. IMPORTED TOPSOILS SHALL BE FREE OF DEBRIS, WEED SEEDS OR HIGH SALT CONTENT.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL GRADING AND ALL PLANTING AREA SURFACE DRAINAGE. NO LOW SPOTS THAT HOLD STANDING WATER WILL BE ACCEPTED UPON COMPLETION OF THE WORK.
MULCH: ALL PLANTED AREAS ARE TO BE MULCHED WITH A MINIMUM OF 3" OF ECOMULCH OR FOREST FLOOR BARK FOR SLOPES OVER 10% AND 3" OF 1/4" MINUS BLACK FIREBARK IN AREAS OF SLOPES LESS THAN 10%.

GROUND COVER PLANTING:
AMEND PLANTING AREAS WITH 5 CUBIC YARDS SOIL AMENDMENT PER 1000 SQ.FT. APPLY 10-10-10 FERTILIZER AT 10 LBS / 1000 S.F. WITH AMENDMENT. ROTOTILL TO A DEPTH OF 4", INCORPORATING MATERIALS INTO THE SOIL. CLEAR PLANTING AREA OF ROCK, DEBRIS, GREATER THAN ONE INCH DIAMETER. PLANT ROOTED CUTTINGS AT 12" O.C. OR AS INDICATED. WATER PLANTS WITHIN 4 HOURS OF THE TIME OF PLANTING.
TREE AND SHRUB PLANTING:
PLANTING BACKFILL MIX SHALL BE 2 PARTS TOPSOIL, 1 PART SOIL AMENDMENT, THOROUGHLY MIXED. FERTILIZE PLANTS AT THE TIME OF PLANTING WITH AGRIFORM 21 GRAM PLANT TABLETS OR BEST PAKS: 2 PER 1 G.C., 3 PER 5 G.C., 6 PER 15 G.C.; BOX TREES - 3 PER INCH CALIPER.
PLANTS SHALL BE ERECT AFTER PLANTING AND STAKED OR GUYED AS DETAILED. IMMEDIATELY AFTER PLANTING. PLANT CROWNS SHALL BE 1/2" TO 1" ABOVE FINISHED GRADE AFTER WATERING AND SETTLING. TREE AND SHRUB PLANTING SHALL BE WATERED WITHIN 2 HOURS OF THE TIME OF PLANTING AND FLOODED TO ELIMINATE AIR POCKETS.

PLANT LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	WATER
GRASSES					
LL	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	17	1Gal	L
L'PB'	Lomandra longifolia 'Platinum Beauty'	Variiegated Dwarf Mat Rush	16	1Gal	L
SHRUBS					
CO	Cercis occidentalis	Western Redbud	4	5Gal	L
GEJ	Garrya elliptica 'James Roof'	Coast Silkassel	7	5Gal	L
Rc'EC'	Rhamnus californica 'Eve Case'	Coffeeberry	45	5Gal	L
TREES					
APB	Acer palmatum 'Bloodgood'	Japanese Maple	2	15Gal	M
L/N'	Lagerstroemia indica 'Natchez'	Crape Myrtle (white)—Standard	6	15Gal	L
OE'MB'	Olea europaea 'Majestic Beauty'	Olive	8	24Gal	VL
Pr	Platanus racemosa	California Sycamore	2	15Gal	M
Qs	Quercus suber	Cork Oak	4	15Gal	L
SUCCULENTS					
A'BF'	Agave x 'Blue Flame'	Blue Flame Agave	4	3/5 Gal	L



LANDS OF HARDIE CONVENTIONAL SEWAGE DISPOSAL SYSTEM

0 CLAYTON ROAD, SAN JOSE, CALIFORNIA
APN: 612-40-001

GENERAL NOTES

1. A NEW 2,000 GALLON SEPTIC TANK IS TO BE INSTALLED WITH RISERS TO BE INSTALLED TO GRADE AND THE TANK IS TO BE WATER-TIGHT TESTED PRIOR TO APPROVAL.
2. TWO DRAIN FIELDS, EACH 100% OF THE TOTAL SIZE REQUIRED, SHALL BE INSTALLED AND INTERCONNECTED WITH AN APPROVED DIVERSION VALVE. THE VALVE MUST BE CAPABLE OF DIRECTING THE SEPTIC TANK EFFLUENT TO ONE DRAIN FIELD AT A TIME.
3. DRAINLINE PIPES SHALL BE OF APPROVED, PERFORATED PIPE, AT LEAST FOUR (4) INCHES IN DIAMETER.
4. THE TIGHTLINE, FROM THE SEPTIC TANK TO THE DIVERSION VALVE MUST BE ABS OR SCHEDULE 40 PVC JOINED WITH GLUE, CEMENT, OR ELASTOMETRIC SEAL, TO BE WATERTIGHT.
5. THE DRAINLINE TRENCH BOTTOM MUST BE LEVEL. THE TRENCHES MUST BE 24 INCHES WIDE AND THE TRENCH DEPTH MUST BE A MINIMUM 4 FEET TO A MAXIMUM OF 8 FEET.
6. A MINIMUM OF 12 INCHES OF CLEAN, WASHED 3/4 TO 2 1/2 INCH DRAINROCK MUST BE PLACED BENEATH THE DRAINPIPE AND FILLED AROUND AND OVER THE PIPE BY AT LEAST TWO (2) INCHES.
7. THE DRAINROCK MUST BE COVERED WITH FILTER FABRIC TO PREVENT CLOGGING THE ROCK WITH EARTH PRIOR TO BACKFILLING THE TRENCH.
8. THE CURRENT DISPERSAL FIELD IS TO BE ABANDONED AND TIGHTLINE TO ABANDONED FIELD TO BE CAPPED.

NOTES TO OWNER, CONTRACTOR, & OTHERS

1. INSTALLATION OF THIS DESIGN WILL REQUIRE A MINIMUM OF ONE SITE REVIEW BY THE ENGINEER DURING CONSTRUCTION. ADDITIONAL REVIEWS MAY BE REQUIRED DEPENDING ON THE ABILITY OF THE CONTRACTOR TO COMPLETE THE SYSTEM IN A TIMELY MANNER AND PER PLAN. ALL FIELD REVIEWS WILL BE BILLED TO THE OWNER.
2. ADDITIONALLY, THE SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH REQUIRES A LETTER OF DESIGN CONFORMANCE ISSUED BY THE ENGINEER ASSESSING DESIGN COMPLIANCE. THIS LETTER IS PREPARED AND SENT UPON COMPLETION OF CONSTRUCTION AND SATISFACTION OF ALL OUTSTANDING INVOICES DUE THE ENGINEER.
3. SUBSURFACE CONDITIONS MAY BE COMPLEX AND MAY DIFFER FROM THOSE INDICATED BY SURFACE FEATURES OR AS ENCOUNTERED AT PERCOLATION TEST HOLE OR PROFILE TRENCH LOCATIONS. THEREFORE, ROCK OR OTHER VARIATIONS IN SUBSURFACE CONDITIONS NOT INDICATED IN REPORTS OR SHOWN ON THIS PLAN COULD BE ENCOUNTERED. ASSOCIATED TERRA CONSULTANTS SHOULD BE NOTIFIED IMMEDIATELY IF ANY ADVERSE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION SO THAT TIMELY ACTION CAN BE TAKEN TO MODIFY THIS PLAN AND/OR THE SYSTEM HEREIN DESIGNED.
4. THIS PLAN AND DESIGN IS BASED ON CURRENT STANDARDS AND TECHNICAL DATA REQUIREMENTS OF THE SANTA CLARA COUNTY PLANNING DEPARTMENT. COMPLIANCE WITH CURRENT COUNTY CODES, STANDARD, AND REQUIREMENTS IS NOT A GUARANTEE OF WARRANTY, EITHER EXPRESSED OR IMPLIED, OF SEPTIC SYSTEM FUNCTION OR PERFORMANCE OF THE SYSTEM.
5. ASSOCIATED TERRA CONSULTANTS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USE OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY ASSOCIATED TERRA CONSULTANTS. IN ADDITION, THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE FUNCTION OF ANY OF THE SYSTEM COMPONENTS MANUFACTURED/DESIGNED BY OTHERS.
6. THE CONSTRUCTION CONTRACTOR AGREES IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL EXEMPT FROM ANY AND ALL LIABILITY IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
7. PRINTS OF THESE PLANS USED IN CONSTRUCTION MUST HAVE A "WET" STAMP OF APPROVAL APPLIED BY THE SANTA CLARA COUNTY PLANNING DEPARTMENT TO INDICATE THAT A PERMIT TO INSTALL THE SEPTIC SYSTEM HAS BEEN GRANTED. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR CONSTRUCTION DONE WITHOUT PERMITS OR THE COUNTY APPROVED PLAN(S).
8. THE SITE EXHIBITS ASSOCIATED WITH THE PRODUCTION OF THESE PLANS DOES NOT REPRESENT A BOUNDARY DETERMINATION OR COMPLETE TOPOGRAPHIC SURVEY OF THE SITE. ONLY MAPPING WITHIN THE IMMEDIATE VICINITY OF THE PROPOSED SYSTEM HAS BEEN VERIFIED BY THIS OFFICE. PROPERTY LINES SHOWN IN THESE EXHIBITS ARE FOR GENERAL REFERENCE ONLY. ANY USE OF THESE PLANS OTHER THAN FOR INSTALLATION OF THE PROPOSED SEPTIC SYSTEM IS A THE RISK OF THE DEVELOPER.
9. SHOULD TREE ROOT ZONE BE IMPACTED, IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONSULT WITH A QUALIFIED ARBORIST TO DETERMINE THE APPROPRIATE COURSE OF ACTION.

PROJECT CONTACT INFORMATION

DESIGNER INFORMATION

ASSOCIATED TERRA
CONSULTANTS, INC.
1725 DELL AVENUE
CAMPBELL, CALIFORNIA 95008
(408) 866-1067

OWNER INFORMATION

TERRY HARDIE
228 APPIAN WAY
UNION CITY, CALIFORNIA 84587
TERRYH@ORCAS.NET

OFFICE@ATERRACON.COM

CONSTRAINTS & DESIGN CRITERIA

THIS DESIGN IS FOR A CONVENTIONAL SYSTEM PROPOSED TO SERVE A FIVE (5) BEDROOM PRIMARY RESIDENCE AND A TWO (2) BEDROOM ACCESSORY DWELLING UNIT AT 0 CLAYTON ROAD, APN: 612-40-001, SANTA CLARA COUNTY, CALIFORNIA.

THE PROPOSED SYSTEM IS DESIGN WITH A WASTEWATER FLOW OF 450 GALLONS PER DAY (GPD) PER COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH GUIDELINES.

1. SOILS PROFILES DID NOT EXHIBIT ANY EVIDENCE OF SEASONALLY HIGH GROUNDWATER CONDITIONS. SEASONALLY HIGH GROUNDWATER IS ESTIMATED TO OCCUR AT GREATER THAN FIVE (8) FEET BELOW GRADE. GROUNDWATER WAS NOT DETECTED.
2. NO SPRINGS OR WATERCOURSES ARE SITUATED WITHIN 50 FEET OF THE PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM (OWTS).
3. NO WELLS ARE SITUATED WITHIN 100 FEET OF THE PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM (OWTS).
4. THIS SITE IS SERVICED BY A PRIVATE WELL.

EROSION AND SEDIMENT CONTROL

1. PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE LATEST EDITION OF THE CBC AND THE SANTA CLARA COUNTY CODE.
2. DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15, EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.
3. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE.
4. THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED ON THE SITE. IF QUESTIONS REGARDING THE COUNTY SPECIFIED BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL CALL ASSOCIATED TERRA CONSULTANTS.
5. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE AND AFTER STORM EVENTS.
6. CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MAY RESULT IN RESPONSE TO FIELD CONDITIONS.
7. ENTRANCES TO SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY R.O.W. SHALL BE DISPOSED OF AS THEY OCCUR.
8. EXPOSED SLOPES SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES. FIBER ROLL SILT BARRIERS AND SILT FENCES SHALL BE KEYED INTO THE SOILS AND INSTALLED ON COUNTERSLOPE.
9. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICABLE AFTER GRADING. GROUND SHALL BE COMPLETELY COVERED.
10. STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS.
11. SOIL STOCKPILES SHALL BE PROPERLY PROTECTED TO MINIMIZE RUNOFF.
12. SOLID WASTE AND CONSTRUCTION MATERIALS SHALL BE PLACED IN DESIGNATED COLLECTION AREAS AND DISPOSED OF AT APPROVED DISPOSAL SITES.
13. ALL UNDERGROUND BOXES REQUIRE INSTALLATION OF GOPHER-RESISTANT BARRIERS.
14. NO FOUNDATION AND/OR DRIVEWAY CUTS AND NO SURFACE OR SUB-SURFACE DRAINS ARE TO BE LOCATED WITHIN 50 FT DOWN SLOPE OR LATERALLY OF THE PRIMARY OR RESERVE/REPAIR AREA OF ANY LEACH FIELD. DIRECT DOWN SPOUTS AWAY FROM LEACHFIELD.

SYSTEM DESIGN CRITERIA

AVERAGE PERCOLATION RATE: 26.53 MPI

APPLICATION RATE: .58 GPD/SQ FT²

EFFECTIVE INFILTRATION AREA: 4 SQ FT

WASTEWATER FLOW

5 BEDROOM PRIMARY RESIDENCE	600
2 BEDROOM ADU	300
TOTAL GALLONS PER DAY:	900

L = Trench length
Q = Wastewater flow
R = Application rate
A = Effective infiltration area

$$L = Q/(R*A)$$

$$L = 900/ (.58*4)$$

$$L = 388 LF$$

Two dispersal fields, primary (A) and secondary (B), of 388 LF and 388 LF; total 776 LF.

SHEET INDEX

SHEET 1	SEPTIC SYSTEM NOTES
SHEET 2	SEPTIC SYSTEM DETAILS
SHEET 3	SEPTIC SYSTEM PLAN
SHEET 4	ARCHITECTURAL PLANS

STAGES TO BE INSPECTED

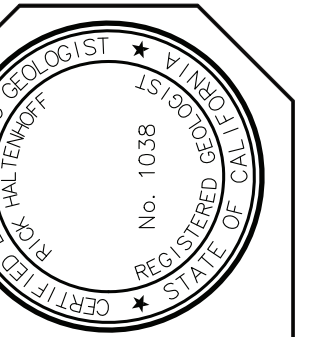
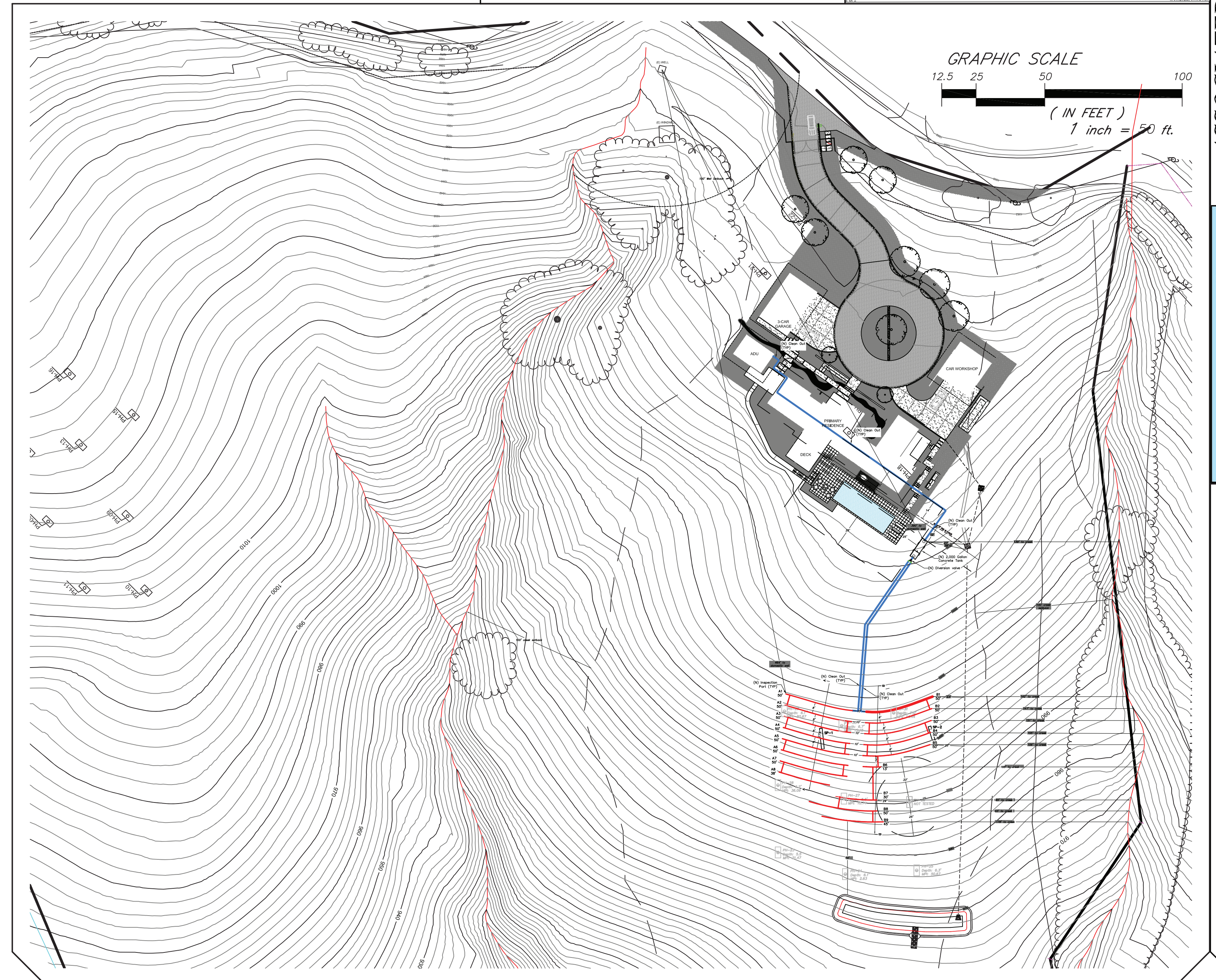
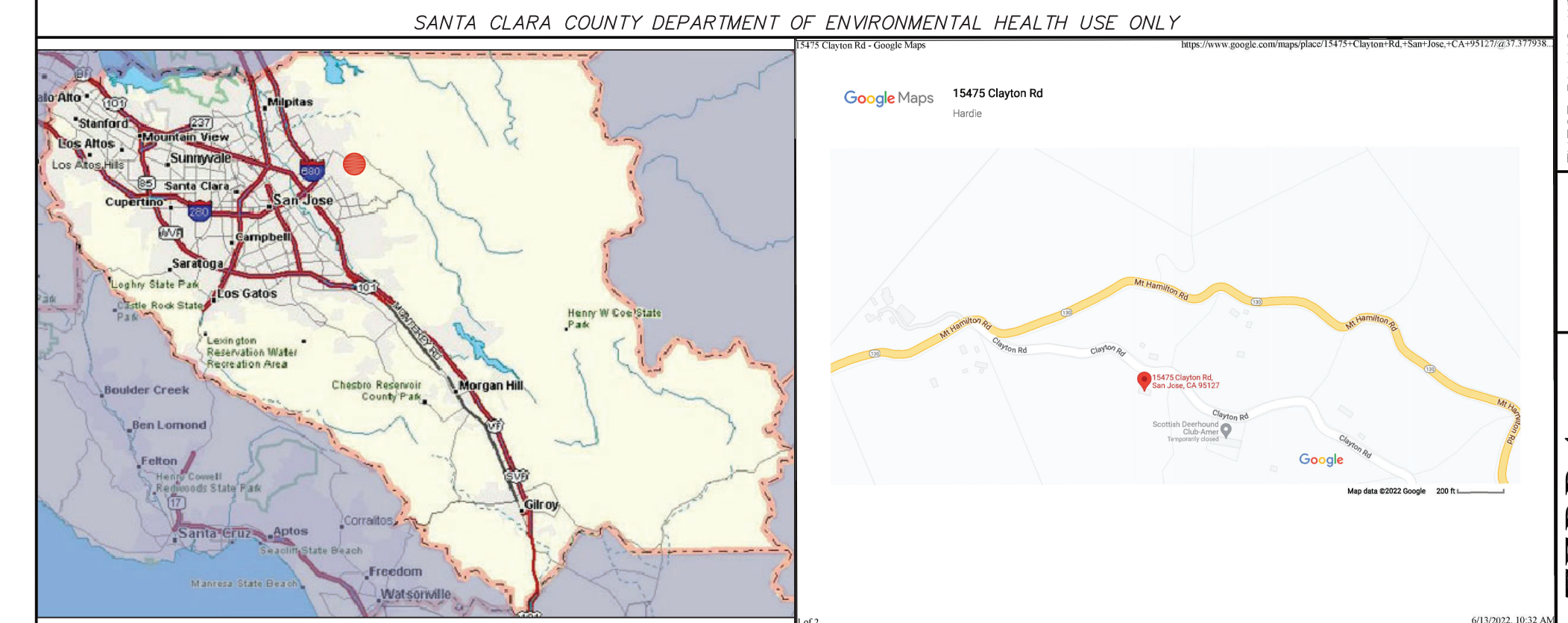
CONTRACTOR IS REQUIRED TO HAVE ENGINEER AND/OR SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH INSPECT THE CONSTRUCTION AT THE FOLLOWING STAGES. FAILURE TO REQUEST THESE INSPECTIONS WILL RESULT IN THE CONTRACTOR HAVING TO UN-EARTH AND RE-DO THE WORK. THE ENGINEER MUST ISSUE AN INSPECTION REPORT TO THE COUNTY PRIOR TO ACCEPTANCE OF THE SYSTEM BY THE COUNTY. THE CONTRACTOR SHALL GIVE 48-HOUR ADVANCE NOTICE TO THE ENGINEER FOR ANY OF THESE INSPECTIONS:

INSPECTIONS BY ENGINEER ONLY

1. INSPECTION OF IMPORTED MATERIALS.
2. CHECKING THE LAYOUT, LINE AND GRADE, STAKES.

INSPECTIONS BY SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH REVIEW STAFF

3. SEPTIC & SUMP TANK WATER TIGHTNESS TEST.
4. FINAL INSPECTION.



THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF TERRY HARDIE IN APRIL, 2022.

DRN: DD
CHK: RH
JOB #: 266162
DATE: 06/15/22
EHW:SR0857759
OFFICE@ATERRACON.COM
RICK HALDENOFF C.E.G. 10338

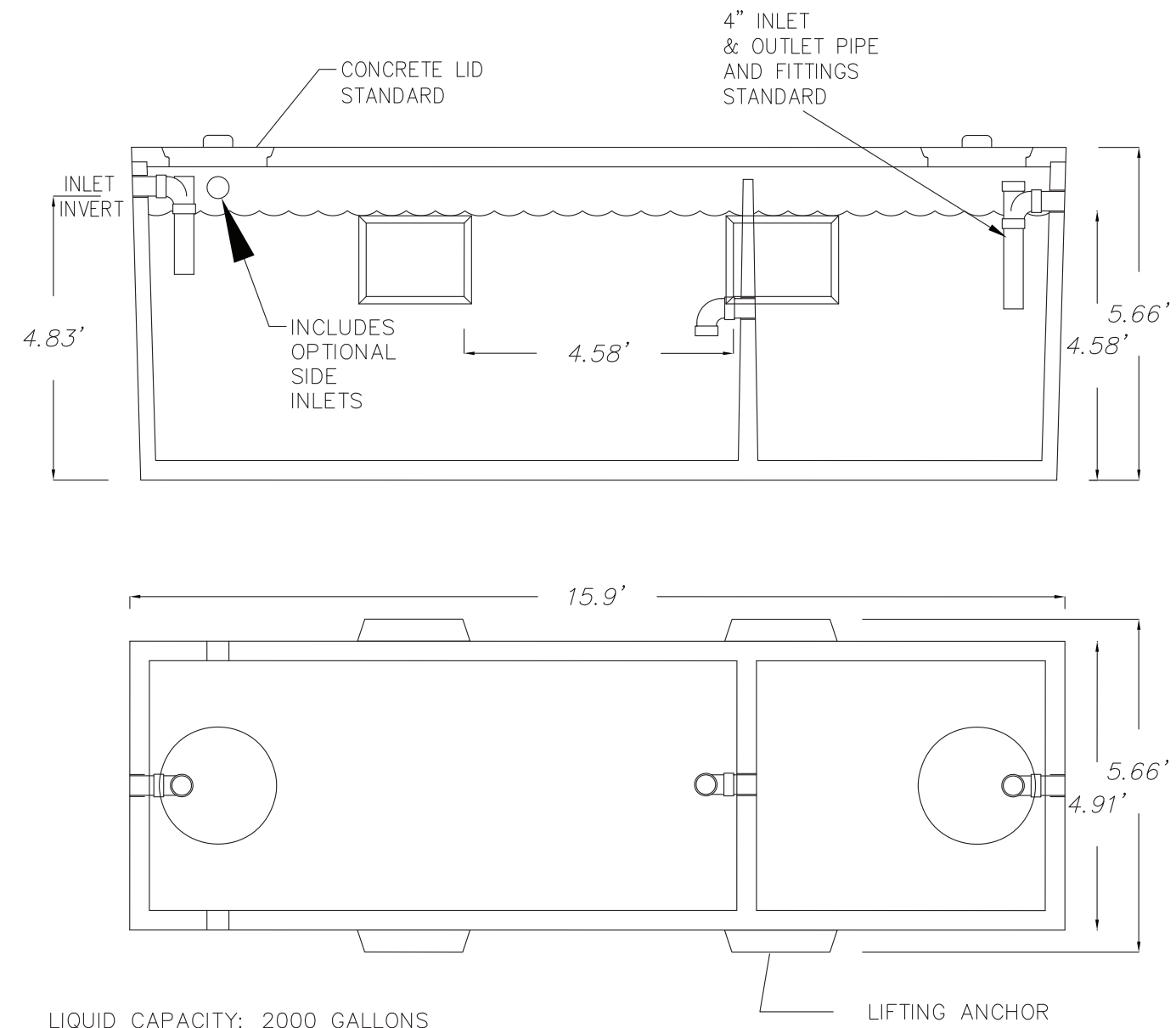
ASSOCIATED TERRA CONSULTANTS, Inc.

Engineering Geology / Soils Engineering / Hydrogeology / Septic Testing and Design
TEL (408) 866-1067
1725 DELL AVENUE
CAMPBELL, CA 95008



LANDS OF HARDIE
SEPTIC SYSTEM NOTES

2000 GALLON
RESIDENTIAL SEPTIC TANK
MODEL JS2000
ACCEPTED BY UPC®



LIQUID CAPACITY: 2000 GALLONS
BOX DESIGN LOAD: NON-TRAFFIC, UP TO 3 FEET
OF SOIL COVER, MAXIMUM 500 PSF.

FOR COMPLETE DESIGN
AND PRODUCT INFORMATION
CONTACT JENSEN PRECAST.

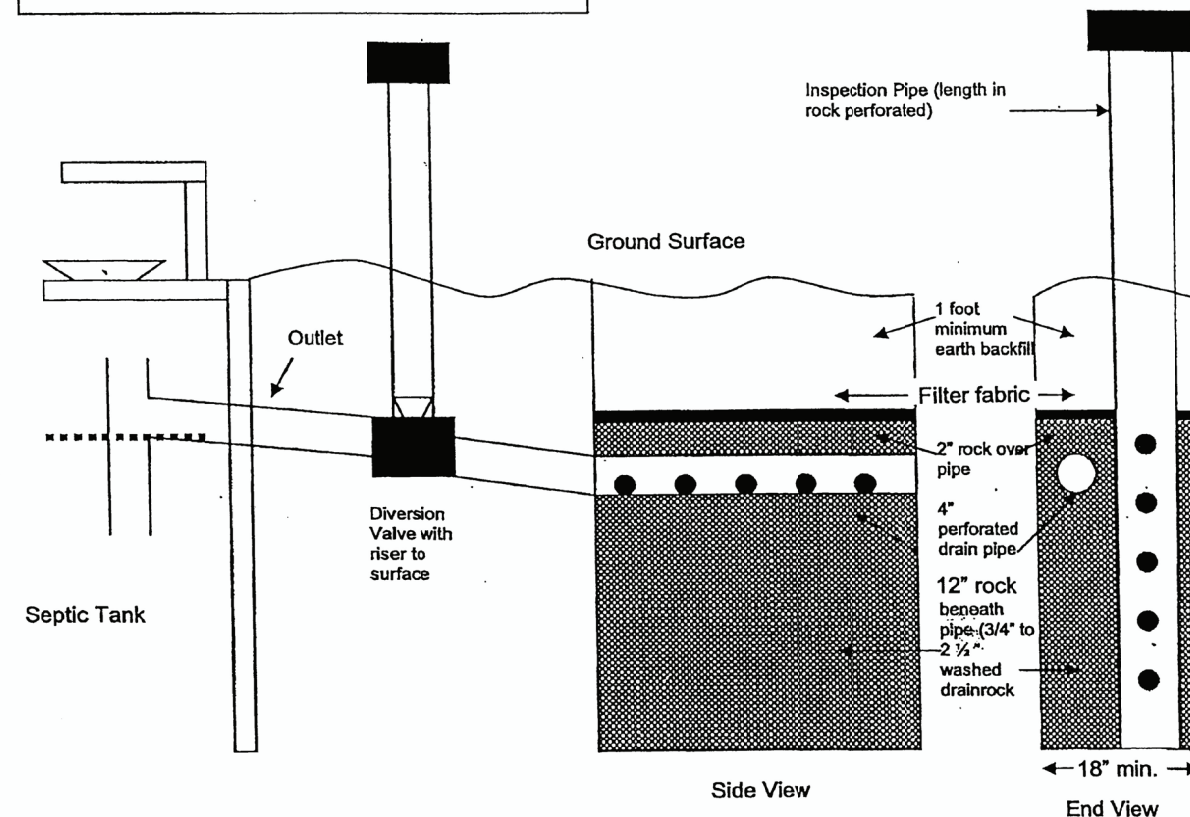
7/13/05
JS2000_B.dwg
© 2004 Jensen Precast



1 SEPTIC TANK

NO SCALE

DRAINLINE DETAIL



Two drainfields, each 100% of the total size required, shall be installed and interconnected with an approved diversion valve. The valve must be capable of directing the septic tank effluent to one drainfield at a time.

Drainline pipes shall be of approved, perforated pipe, at least 4 inches in diameter.

The tightline from the septic tank to the diversion valve must be ABS or schedule 40 PVC joined with glue, cement, or elastomeric seal to be watertight.

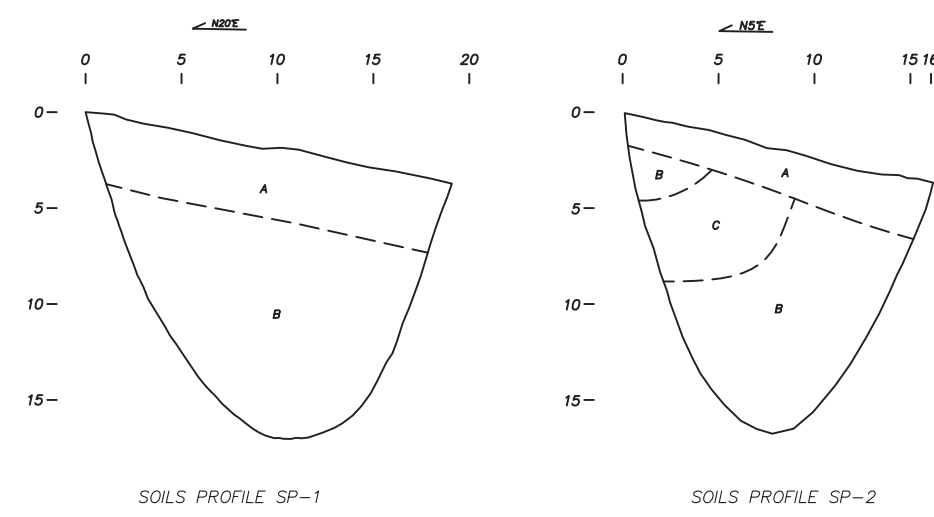
The drainline trench bottom must be level. The trenches must be at least 18 inches wide and 2.5 to 8 feet deep.

At least 12 inches of clean, washed drainrock must be placed beneath the drainpipe and filled around and over the pipe at least 2 inches.

The drainrock must be covered with filter fabric to prevent clogging the rock with earth prior to backfilling.

4 DRAINLINE DETAIL

NO SCALE



EXPLANATION

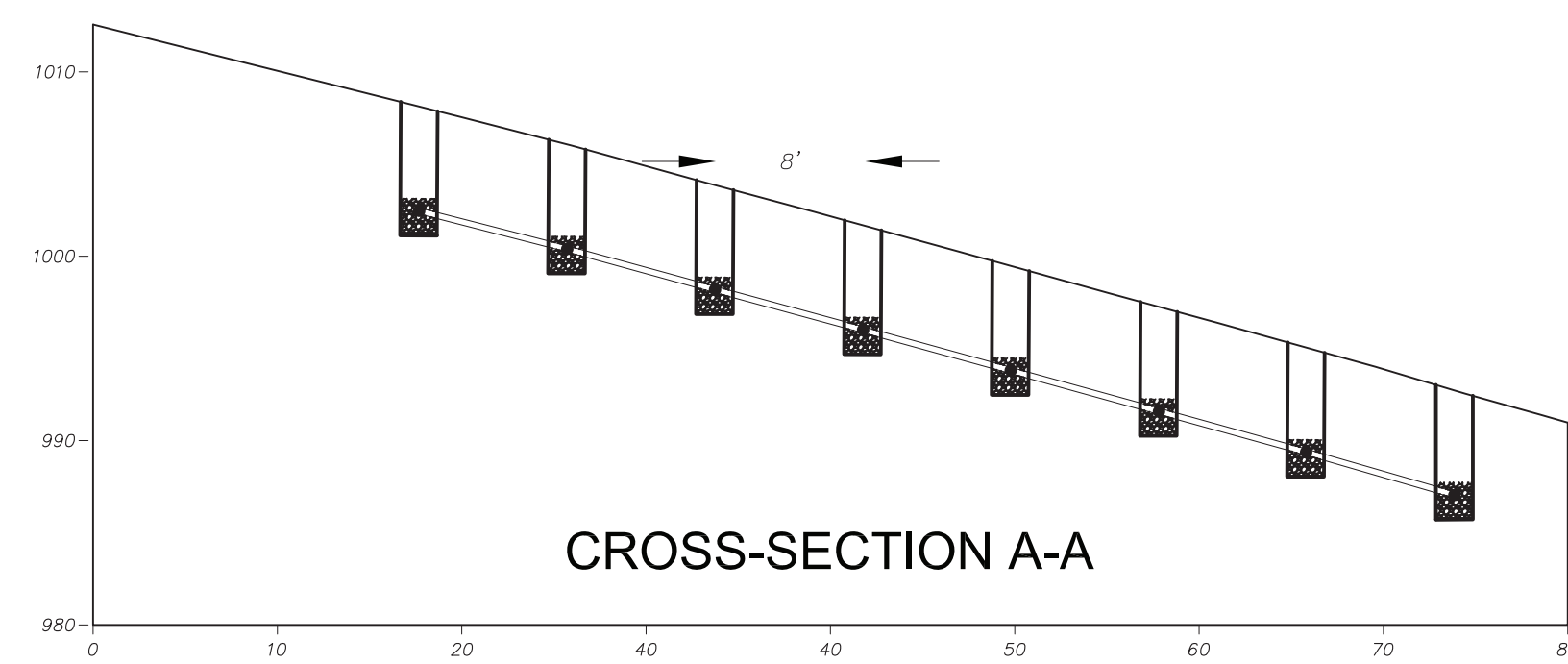
A - CLAY, black to purplish, dry to damp with depth, high to medium plasticity, firm; vertisol and some organics at surface.

B - SANDY SILT, greyish green, damp, low plasticity, firm; some siltstone clasts approximately 2-3 inches with limonite staining, friable and angular.

C - SANDY CLAY, medium brown, damp, high to medium plasticity, firm.

5 SOILS PROFILES

NO SCALE

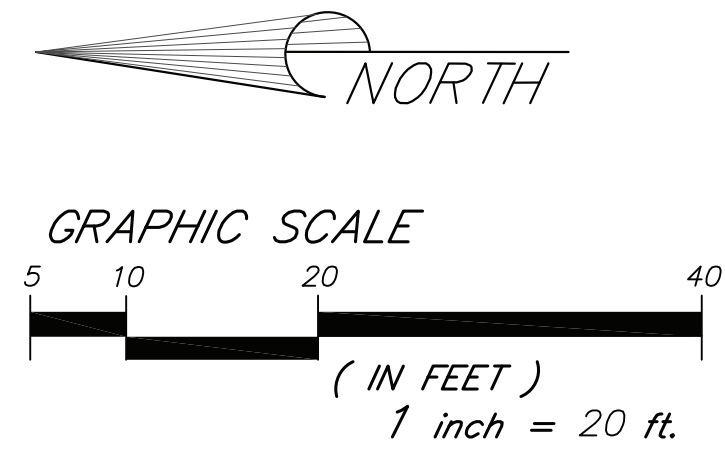
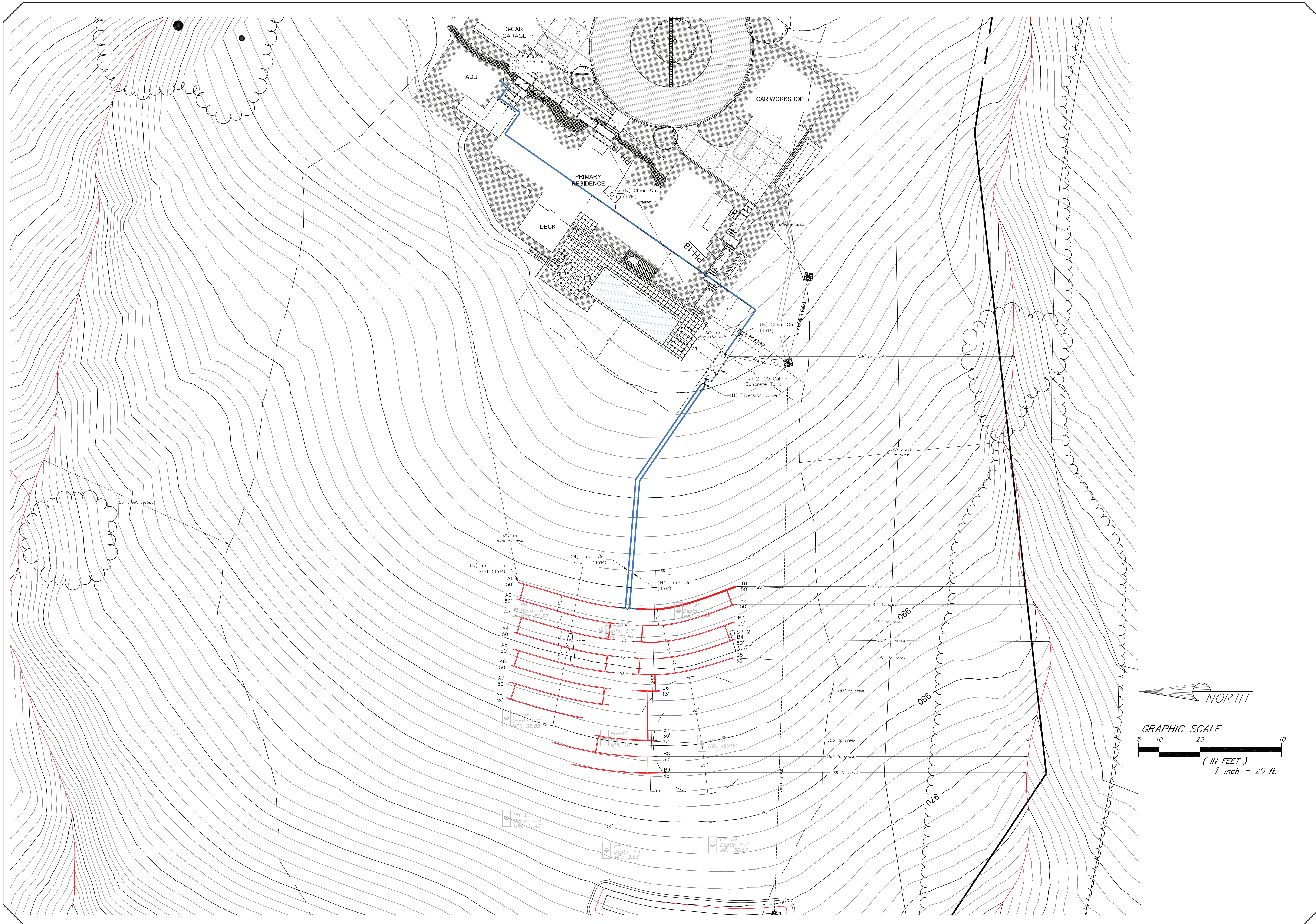


6 CROSS-SECTION A-A AND B-B

NO SCALE

NOT TESTED

Ph	Depth (ft)	Date	Time Start	Time Finish	Water Level Start (ft)	Water Level End (ft)	Elapsed Time (min)	Permeation Rate (gph)	Ph	Depth (ft)	Date	Time Start	Time Finish	Water Level Start (ft)	Water Level End (ft)	Elapsed Time (min)	Permeation Rate (gph)
1	0.00	9/25/20	9:00:00	9:20:00	23.20	23.20	20	0.00	1	0.00	9/25/20	9:00:00	9:20:00	23.20	23.20	20	0.00
2	0.00	9/25/20	9:20:00	9:40:00	23.20	23.20	20	0.00	2	0.00	9/25/20	9:20:00	9:40:00	23.20	23.20	20	0.00
3	0.00	9/25/20	9:40:00	10:00:00	23.20	23.20	20	0.00	3	0.00	9/25/20	9:40:00	10:00:00	23.20	23.20	20	0.00
4	0.00	9/25/20	10:00:00	10:20:00	23.20	23.20	20	0.00	4	0.00	9/25/20	10:00:00	10:20:00	23.20	23.20	20	0.00
5	0.00	9/25/20	10:20:00	10:40:00	23.20	23.20	20	0.00	5	0.00	9/25/20	10:20:00	10:40:00	23.20	23.20	20	0.00
6	0.00	9/25/20	10:40:00	11:00:00	23.20	23.20	20	0.00	6	0.00	9/25/20	10:40:00	11:00:00	23.20	23.20	20	0.00
7	0.00	9/25/20	11:00:00	11:20:00	23.20	23.20	20	0.00	7	0.00	9/25/20	11:00:00	11:20:00	23.20	23.20	20	0.00
8	0.00	9/25/20	11:20:00	11:40:00	23.20	23.20	20	0.00	8	0.00	9/25/20	11:20:00	11:40:00	23.20	23.20	20	0.00
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47	0.00	9/25/20	24:20:00	24:40:00	23.20	23.20	20	0.00	47	0.00	9/25/20	24:20:00	24:40:00	23.20	23.20	20	0.00
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51	0.00	9/25/20	25:40:00	26:00:00	23.20	23.20	20	0.00	51	0.00	9/25/20	25:40:00	26:00:00	23.20	23.20	20	0.00



THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF TERRY HARDIE IN APRIL, 2022.

RICK HALTENHOFF C.E.G. 1038

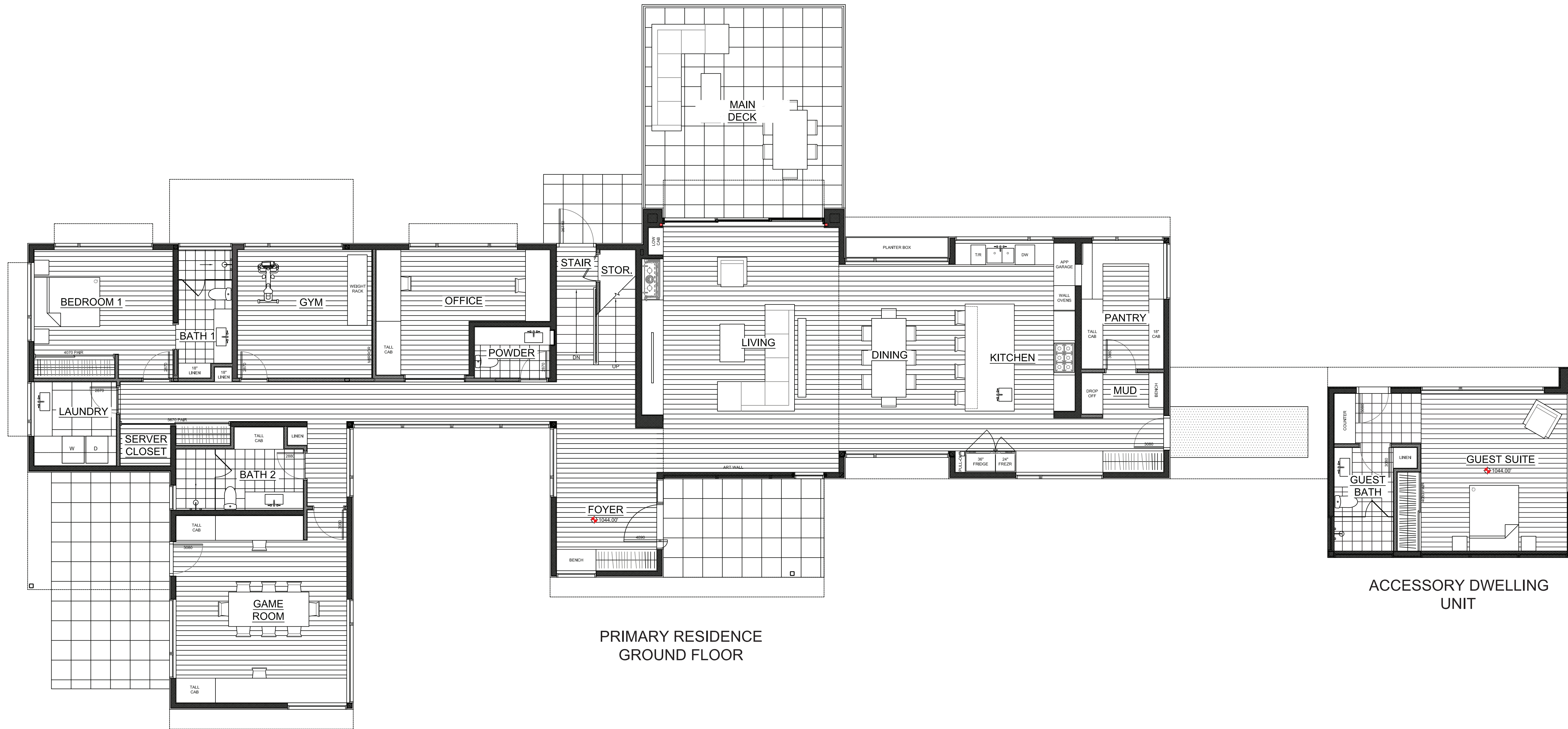
DRN: DD CHK: RH JOB #: 266162 DATE: 06/15/22 EHH:SR0851759 LAST REVISION DATE: 03/29/2023

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 Engineering Geology / Soils Engineering / Hydrogeology / Septic Testing and Design
 1725 DELL AVENUE TEL (409) 966-1067 OFFICE@ATERRACON.COM
 CAMPBELL, CA 95008

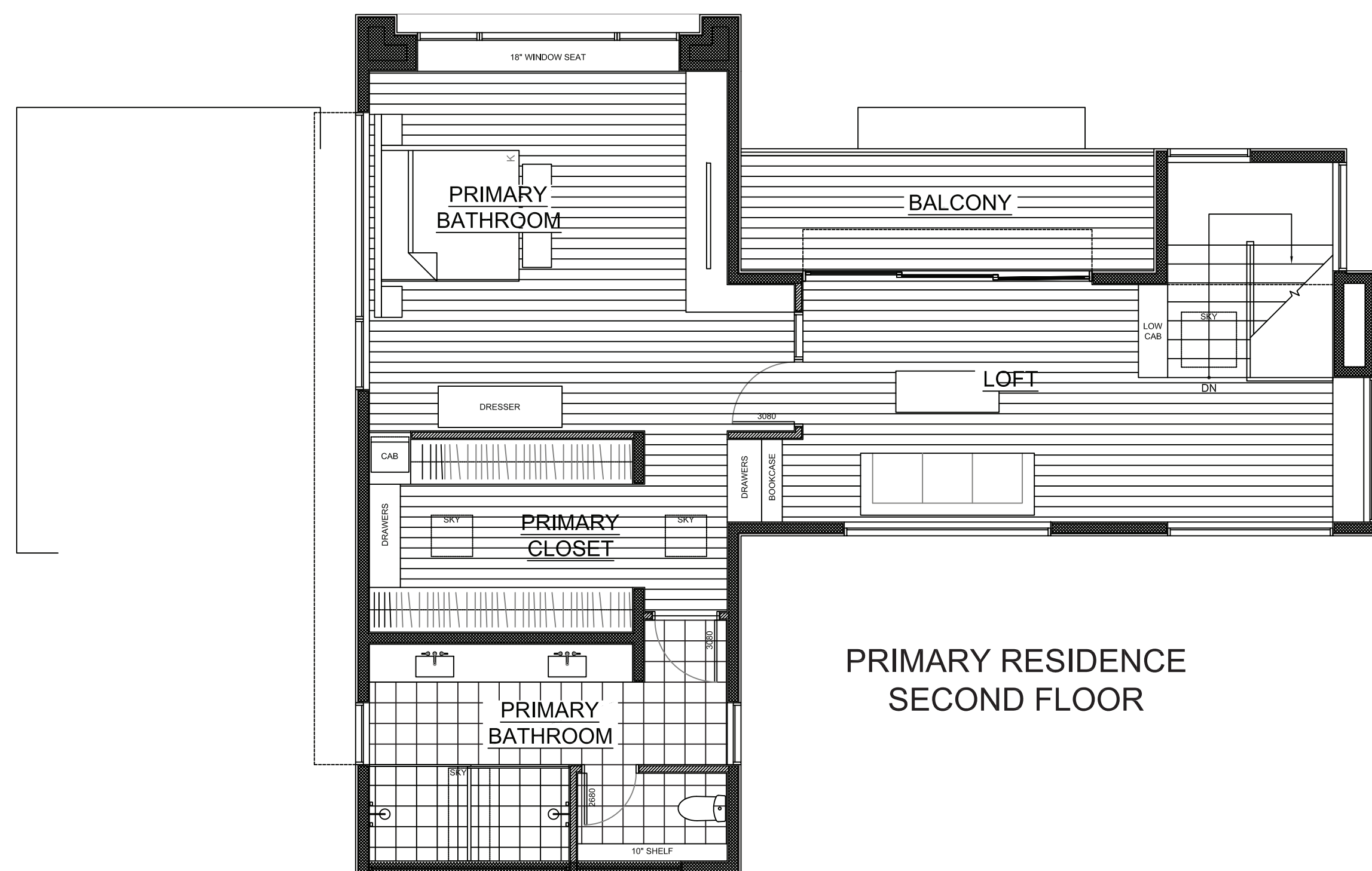
ASSOCIATED TERRA CONSULTANTS, INC.

LANDS OF HARDIE SEPTIC SYSTEM DESIGN
 0 CLAYTON ROAD APN: 612-40-001
 SAN JOSE, CALIFORNIA

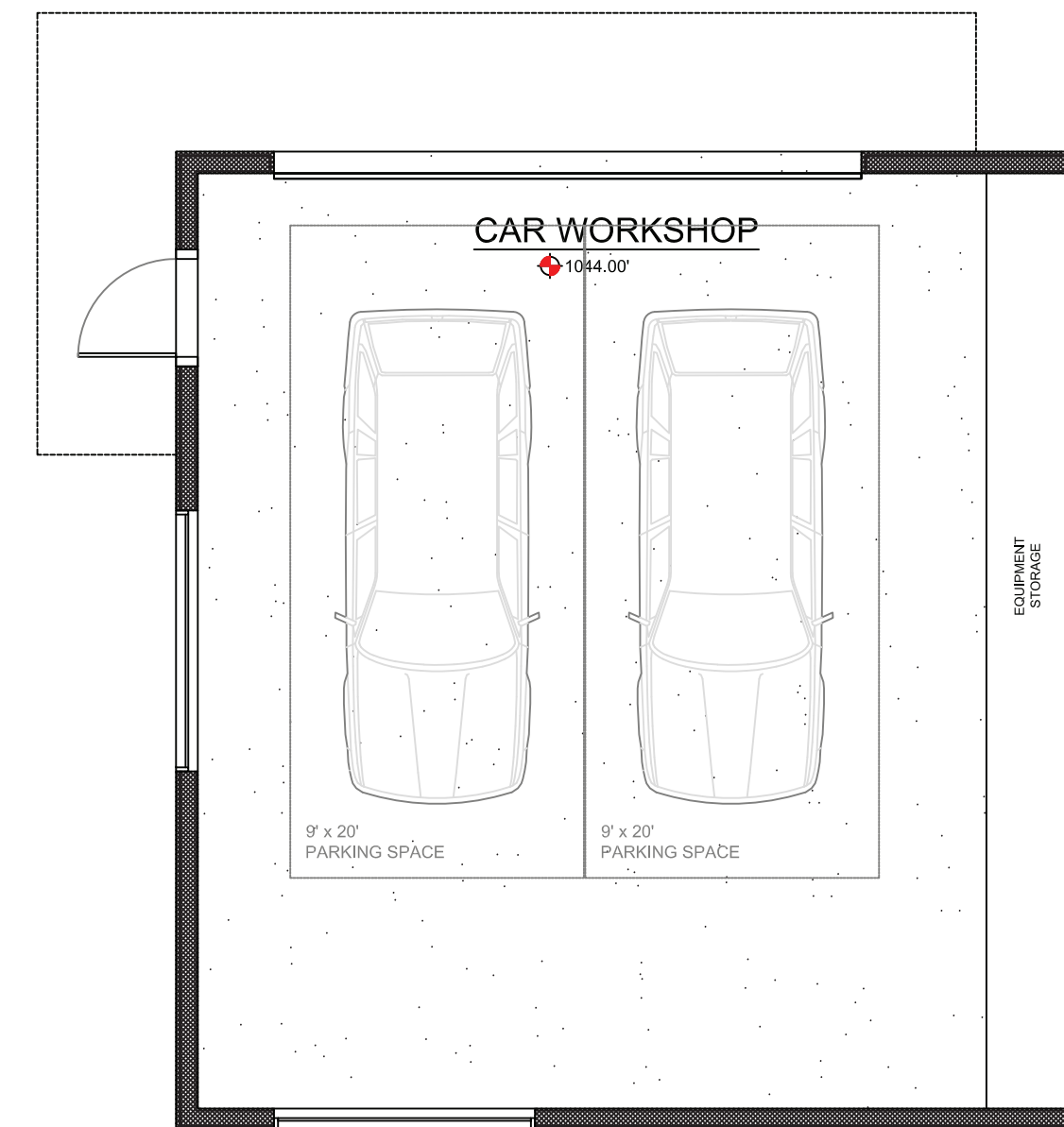
3 OF 4



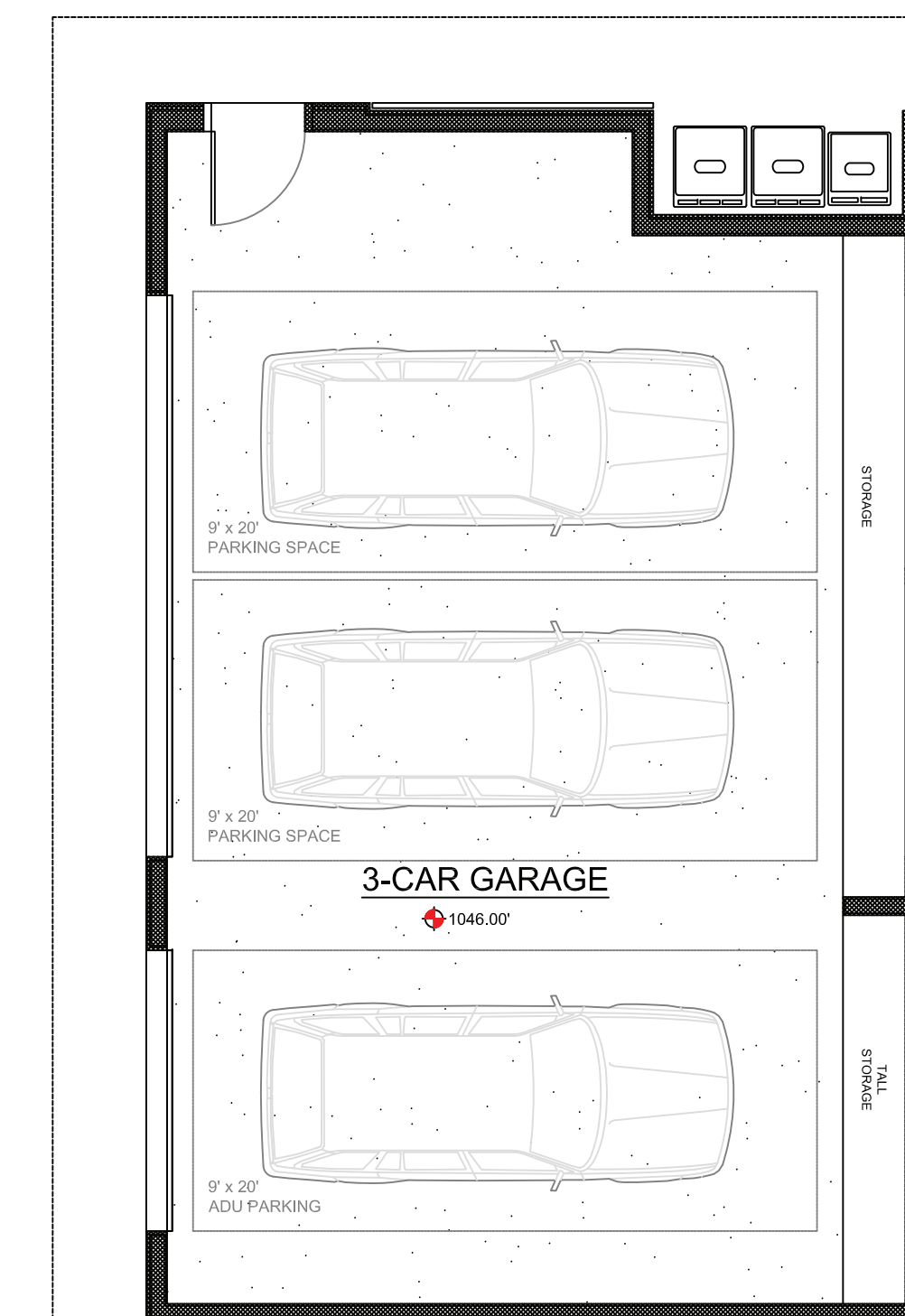
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GROUND FLOOR



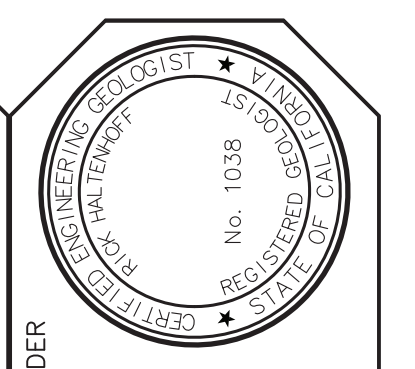
PRIMARY RESIDENCE
SECOND FLOOR



CAR WORKSHOP



3-CAR GARAGE



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Rick Haltenhoff
RICK HALTENHOFF C.E.C. 1038

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**LANDS OF HARDIE
ARCHITECTURAL PLANS**

0 CLAYTON ROAD
SAN JOSE, CALIFORNIA

4 OF 4

DRN: DD
CHK: RH
JOB #: 286162
DATE: 06/15/22

LAST REVISION DATE: 10/26/2023

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