EXH Exhaust EXT Exterior FAR Floor Area Ratio FD Floor Drain Fluorescent FOS Face of Stud GSM Galvanized Sheet Metal GC General Contractor Ground Fault (Circuit) Interrupter Gypsum Wall Board HB Hose Bib HC **Hollow Core** Hardwood HDWD

Downspout

Existing

Electrical

DS

(E)

ELEC

Heating, Ventilating, Air Conditioning **HVAC** INC Incandescent INT Interior MFR Manufacture MAX **Maximum Dimension** MC Medicine Cabinet MECH Mechanical MIR Mirror MTL Metal

Material MT'L MIN Minimum NIC Not In Contract NTS Not To Scale OC On Center OFCI Owner Furnished Contractor Installed OPN'G Opening Over PLAM Plastic Laminate Reflected Ceiling Plan RD Roof Drain SC Solid Core SD **Smoke Detector**

Stainless Steel See Structural Drawings STRUCT Structural **Towel Bar** To Be Determined TBD TEMP Tempered Toilet Paper Dispenser TYP Typical U.O.N. Unless Otherwise Noted VCT Vinyl Composition Tile VIF Verify In Field

Water Closet

Water Heater

Waterproof

Without

Sheet

Specification

SYMBOLS:

Detail Number

Sheet Number

SHT

WC

WH

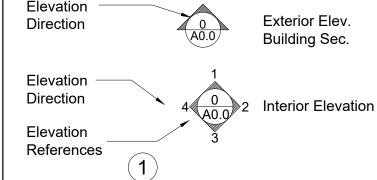
W/O

WP

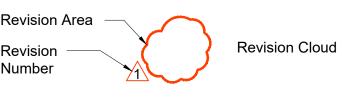
SPEC

Reference Indicator Indicator

Detail Indicator Section (Section) Direction







VICINITY MAP:

PROJECT DESCRIPTION:

around the vicinity of the house.

PROJECT DATA:

Jurisdiction:

Parcel Number:

Occupancy Group:

Construction Type:

Liquefaction Hazard:

Zoning:

Address:

Lot Area:

Flood Zone:

Fire Zone:

Lot Coverage:

Front:

Rear:

Side:

Future Width Line:

Proposed Utility:

Right of Way:

Max Height:

Soils Report:

Accessory Structure:

Setbacks:

F.A.R.:

LOCATION NORTH



Scope of work includes construction of a new, single family residence, on a vacant lot in a modern style. The new residence will be 2-story house and includes 5 bedrooms, 3.5

bathrooms, a detached 3-car garage, a detached workshop, and a detached ADU with 1

0 Clayton Rd, San Jose, CA 95127

Wildlife Urban Interface (W.U.I.), SRA

Septic & Leach Field - DEH Submittal # SR0870174

3,391 s.f.

1,331 s.f.

4,722 s.f.

466 s.f.

979 s.f.

980 s.f.

14,000 s.f.

(Submitted - 9/30/22 & Approved - 01/29/24)

BAAG Engineers (04/10/2023)

Archaeological Report: Archaeological Resource Mgmt. Cultural Evaluation (02/27/23)

Land Cover Verification: Coast Range Biological (11/15/19)

FLOOR AREA CALCULATIONS*:

* see sheet A1.0 for floor area calculation diagrams

Detached 3-Car Garage (Unconditioned) (K)

DEFERRED SUBMITTALS:

report under a separate permit.

3. Swimming Pool

4. Vehicle & Pedestrian Gate

1. Automatic Fire Sprinkler System under a separate permit in accordance

2. Photovoltaic Solar Panel System per the Title 24 Energy Code compliance

with NFPA 13D and 2022 California Fire Code 903.2.

5. Landscape Permit - Required if the result of the total

disturbed area minus the impervious area exceeds 500 square feet.

Detached Workshop (Unconditioned) (L)

Main House - 1st Floor (A-I)

LANDSCAPE AREA TOTAL

MAIN HOUSE TOTAL

Detached ADU (J)

Main House - 2nd Floor (M-P)

bathroom, a new driveway with vehicle gate, and new landscape & screening trees

Santa Clara County

958,320 S.F. / 22 acres

HS-d1

R-3 / U

612-40-001

ARCHITECTURAL

LIST OF DRAWINGS:

Cover Sheet Survey Sheet 1 Survey Sheet 2

A1.0 (N) Site Plan - Entire Property A1.1 (N) Site Plan - Project Area A1.2 (N) Enlarged Site Plan A1.3 (N) Fire Access Diagram

A2.0 (N) Overall 1st Floor Plan A2.1 (N) 1st Floor Plan - Main House A2.2 (N) 2nd Floor Plan - Main House A2.3 (N) Roof Plan - Main House A2.4 (N) Plans & Elevations - ADU A2.5 (N) Plans & Elevations - Garage A2.6 (N) Plans & Elevations - Workshop

A3.1 (N) Exterior Elevations A3.2 (N) Exterior Elevations A3.3 (N) Exterior Elevations A3.4 (N) Exterior Elevations

A4.1 (N) Building Sections A4.2 (N) Building Sections

A9.1 (N) Exterior Colors & Materials

PROJECT DIRECTORY:

Daniel Romero

(510)206-2366

terryh@orcas.net

ODS Architecture

5895 Doyle Street

Emeryville, CA 94608

juliaa@odsarchitecture.com

39675 Cedar Blvd, Ste 295C

Tel. (510) 595-1300

Engineer: Element Structural Engineers

Newark, CA 94560

tfontelera@elementse.com

7651 Eigleberry Street

amanda@hannabrunetti.com

1900 Olympic Blvd., Suite 104

Walnut Creek, CA 94596

huettl@huettldesign.com

(510) 573-1557

Civil Amanda Musy-Verdel

Gilroy, CA 95020

Tel. (408)842-2173

Architect: Huettl Landscape Architecture

(925) 937-6400

228 Appian Way

Union City, CA 94587

romerotozzi@hotmail.com

Owner: Terry Hardie &

Architect: Julia Arria

Structural Thuy Fontelera

Engineer: Hanna-Brunetti

Landscape Joseph A. Huettl

CIVIL

C01 Cover Sheet

C02 Overall Site Plan

C03 Private Driveway - Plan & Profile

C04 Preliminary Grading & Drainage Plan C05 Preliminary Grading & Drainage Plan C06 Preliminary Grading & Drainage Plan C07 Details, Notes & Cross Sections

HARDIE-ROMERO RESIDENCE

0 CLAYTON ROAD, SAN JOSE, CA 95127

(address not yet defined)

C08 Erosion Control Plan C09 Best Management Practices

C10 Best Management Practices

LANDSCAPE

L1.1 Site Plan L4.0 Planting Plan

SEPTIC

S01 Septic System Notes S02 Septic System Details S03 Septic System Plans S04 Architectural Plans

Geotechnical Ebbi Hamidieh

Engineer: BAAG Engineers

Septic Rick Haltenhoff

Surveyor: Kristina D. Comerer

138 Charcot Ave.

(650)852-9133

San Jose, CA 95131

ebbi@baggengineers.com

Designer: Associated Terra Consultants Inc.

Campbell, CA, 95008

2210 Mt. Pleasant Rd

San Jose, CA 95148

496 North Fifth Street

San Jose, CA 95112

armcartier@netscape.net

(408) 295-1373

(408) 274-7994

xlsi@msn.com

Archaeologist: Dr. Robert Cartier

Cross Land Surveying, Inc.

Archaeological Resource Mgmt.

1725 Dell Avenue

rick@aterracon.com

(408) 866-1067

AERIAL VIEW

FRONT ELEVATION



REAR ELEVATION

San Jose, CA 95127 (no mail delivery)

ARCHITECTURE

5895 Doyle Street,

Emeryville, CA 94608

Tel. 510-595-1300

www.odsarchitecture.com

No. C-35747

APN: 612-40-001

Hardie -

Romero

0 Clayton Road

Residence

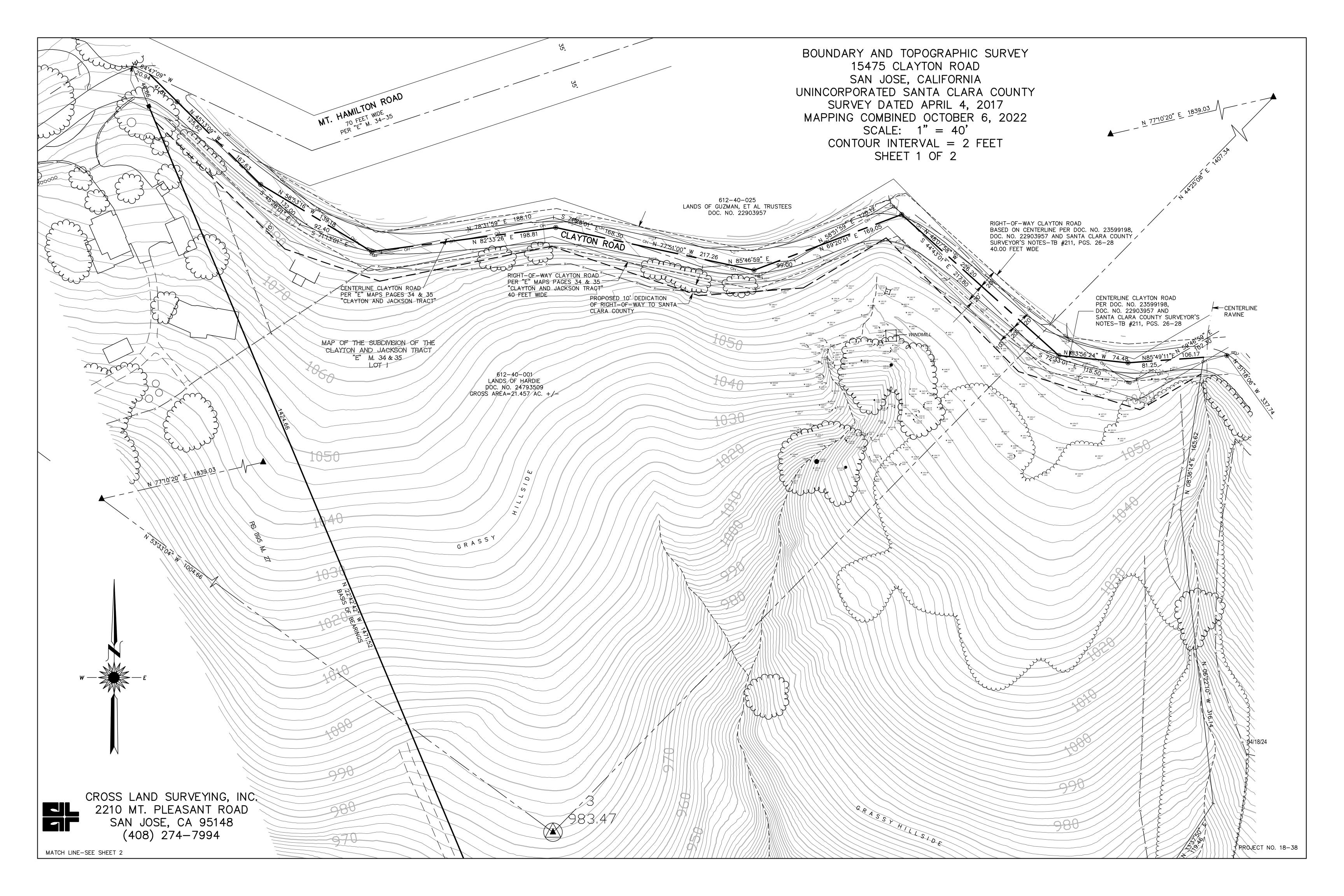
OWNER:

Terry Hardie & Daniel Romero 228 Appian Way Union City, CA 94587 (510) 206-2366

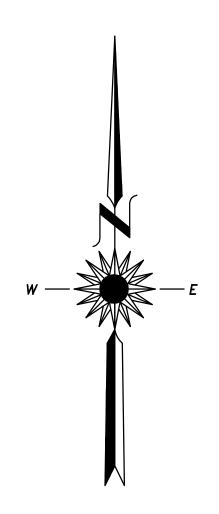
NING SUBMITT

SHEET TITLE: **Cover Sheet**

> Date Issues & Revisions 11/18/22 | Planning Submittal 11/10/23 Planning Resubmittal 04/18/24 | Planning Resubmittal



BOUNDARY AND TOPOGRAPHIC SURVEY
15475 CLAYTON ROAD
SAN JOSE, CALIFORNIA
UNINCORPORATED SANTA CLARA COUNTY
SURVEY DATED APRIL 4, 2017
MAPPING COMBINED OCTOBER 6, 2022
SCALE: 1" = 40'
CONTOUR INTERVAL = 2 FEET
SHEET 2 OF 2



BASIS OF BEARINGS

THE BEARING OF NORTH 22° 42' 42" WEST ALONG THE WESTERLY LINE OF LOT 1, AS SHOWN ON THE RECORD OF SURVEY FILED ON AUGUST 14, 2016 IN BOOK 895 OF MAPS AT PAGE 27, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY AND WAS ESTABLISHED BETWEEN FOUND MONUMENTS.

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF TERRY HARDIE IN OCTOBER 2022.

KRISTINA D. COMERER, PLS 6766

DATE: OCTOBER 7, 2022



TOPOGRAPHIC SURVEY NOTE:

CONTOUR LINES, SPOT ELEVATIONS AND PLANIMETRIC FEATURES PROVIDED BY WOOTTON LAND SURVEYING AND IS BASED ON A COMBINATION OF AERIAL MAPPING AND FIELD SURVEY TECHNIQUES AND ROTATED TO BOUNDARY SURVEY PROVIDED BY CROSS LAND SURVEYING, INC. DATE OF TOPOGRAPHIC SURVEY IS APRIL 4, 2017. UNKNOWN ELEVATION DATUM, ASSUMED TO BE ON GPS COORDINATE SYSTEM; THEREFORE, POSSIBLY NAVD88.

man

MARTINAN

BOUNDARY SURVEY NOTE:

THE CENTERLINE OF CLAYTON ROAD AS DESCRIBED IN THE DEED FOR RAMM AND FOR GUZMAN FIT WITH THE FOUND SANTA CLARA COUNTY SURVEYOR MONUMENTS. THIS ALIGNMENT DOES NOT AGREE WITH THE COURSES SHOWN ON THE MAP OF THE SUBDIVISION OF THE CLAYTON AND JACKSON TRACT, FILED IN BOOK "E" OF MAPS AT PAGES 34 AND 35, SANTA CLARA COUNTY RECORDS SHOWING THE EXTENTS OF CLAYTON ROAD, BEING 40 FEET WIDE. THERE IS NO MENTION IN THE TITLE REPORT FOR THE LANDS OF RAMM OF A SEPARATE AGREEMENT OR DEDICATION FOR THE COUNTY'S ALIGNMENT OF CLAYTON ROAD; THEREFORE, I BELIEVE THE OFFICIAL RIGHT OF WAY FOR CLAYTON ROAD SHOULD FOLLOW THE COURSES AS SHOWN ON SAID MAP OF THE CLAYTON AND JACKSON TRACT; HOWEVER, THAT IS NOT PARALLEL WITH THE DETERMINED BOUNDARY LINE. THE PROPOSED 10' RIGHT-OF-WAY DEDICATION IS PARALLEL WITH THE EXISTING RIGHT-OF-WAY AS SHOWN ON SAID MAP OF THE CLAYTON AND JACKSON TRACT.

FD.

N 86*55*26" W

68.54

BOUNDARY LINE RUNS ALONG

RAYINE-NEEDS TO BE FIELD

LOCATED.

TOPO LEGEND

ABBREVIATIONS

EDGE OF CONCRETE

EDGE OF PAVEMENT

GROUND ELEVATION

GRADE BREAK

POWER POLE

TOP OF BANK

TOE OF SLOPE

WIND TURBINE

DESCRIPTION

FENCELINE

GRADE BREAK

OVERHEAD WIRES

GRASSY HILLSIDE

■ FD. 2" x 4" WOOD POST, DECAYED WITH NAIL, DN. 1.0'

BOUNDARY LEGEND

- FD. I.P. WITH ESCUTCHEON PIN AND TAG "SANTA CLARA COUNTY SURVEYOR", DN. 0.4' IN MON. WELL, WELL DN. 0.5'
- FD. 60D NAIL IN FLIGHT CROSS
- SURVEYED BOUNDARY LINE
- RECORD BOUNDARY LINE-WOULD NEED TO BE SURVEYED

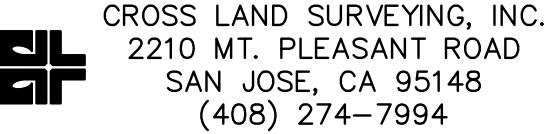
LIVE ØAK WITH SMÆLL

BLAZE 0.5' WIDE BEARING TREE

- CENTERLINE OF CLAYTON ROAD PER DEEDS
- AND SANTA CLARA COUNTY SURVEYOR'S NOTES TRANSIT BOOK #211, PGS. 26-28
- SHOWN ON THE MAP OF CLAYTON AND JACKSON TRACT, BK. "E" MAPS PGS. 34-35

CENTERLINE CLAYTON ROAD PER COURSES

- 40' RIGHT OF WAY PER CENTERLINE IN DEEDS 04/18/24
- 40' WIDE RIGHT OF WAY PER "E" MAPS 34-35
- PROPOSED 10' RIGHT-OF-WAY DEDICATION
- LINE BETWEEN FOUND PHOTO CONTROL POINTS

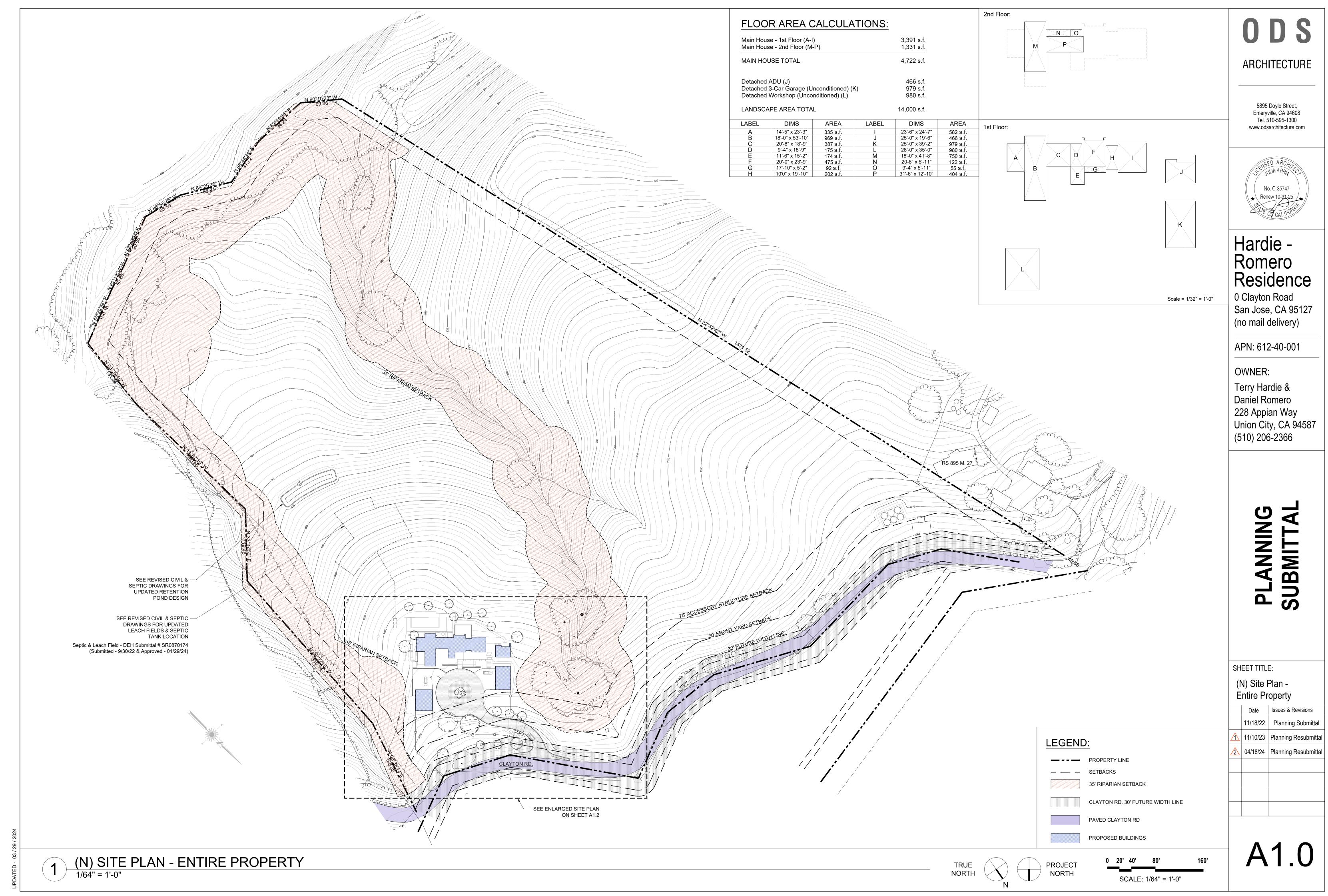


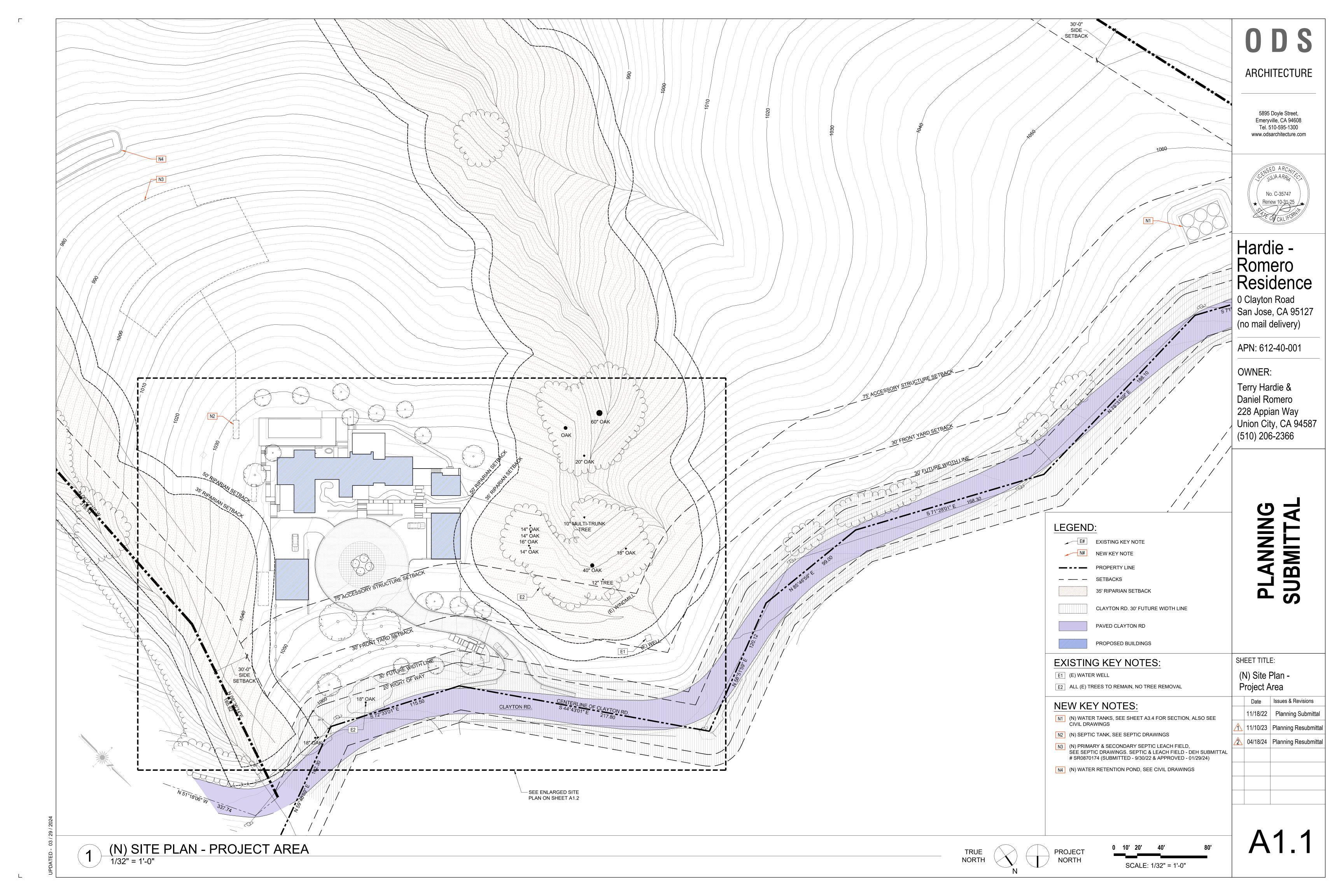
PROJECT NO. 18-38

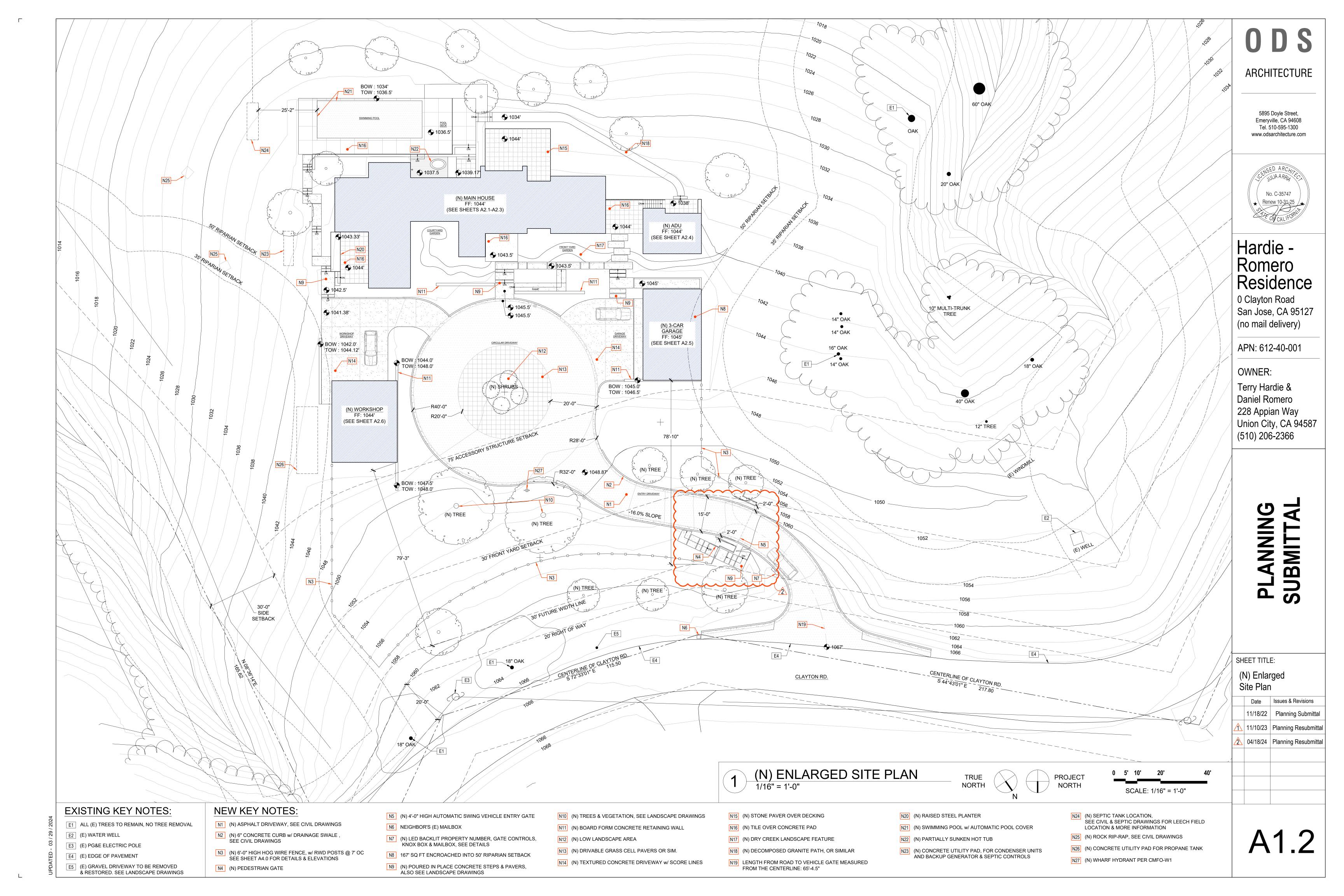
ALONG RAVINE-NEEDS TO

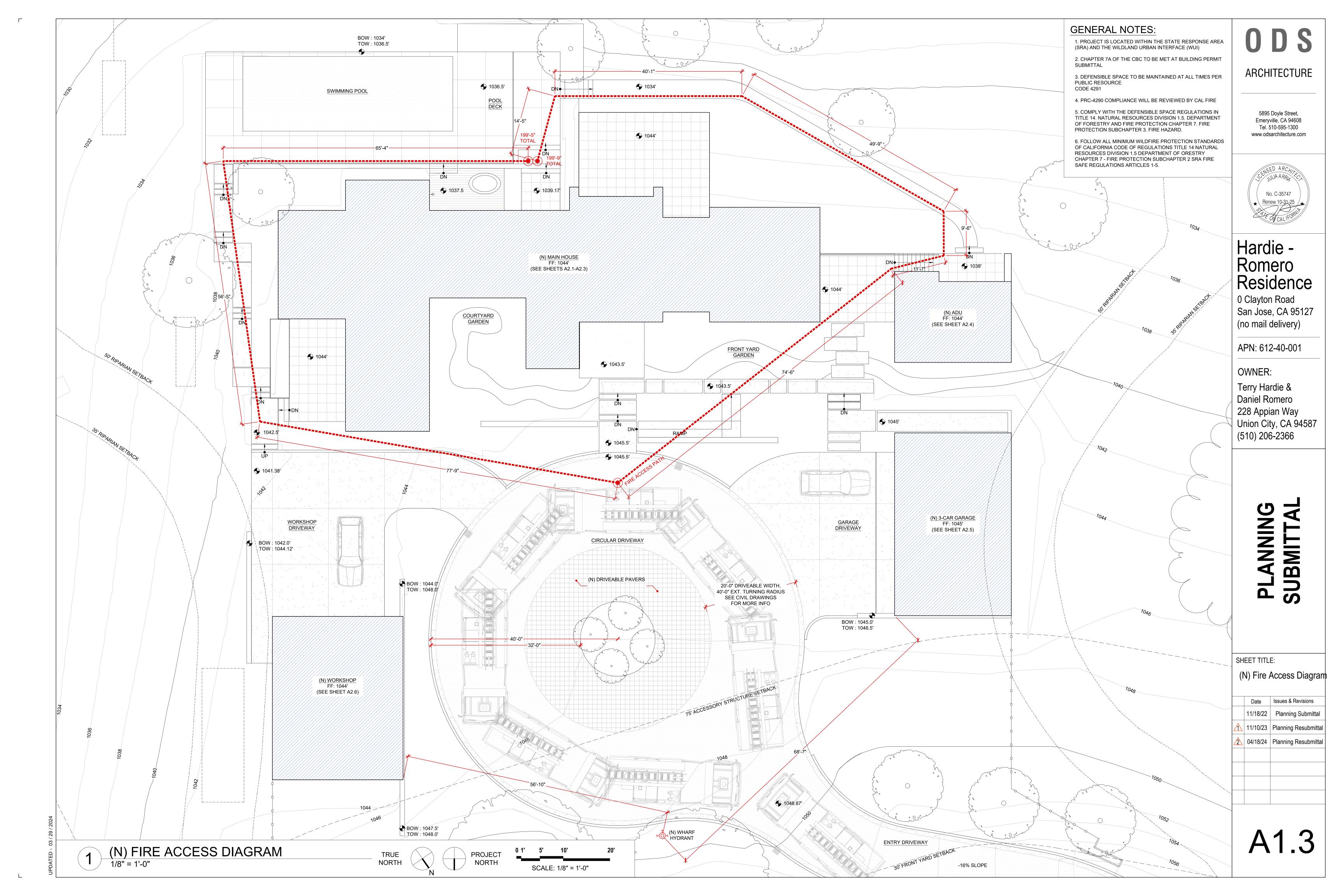
BE FIELD LOCATED.

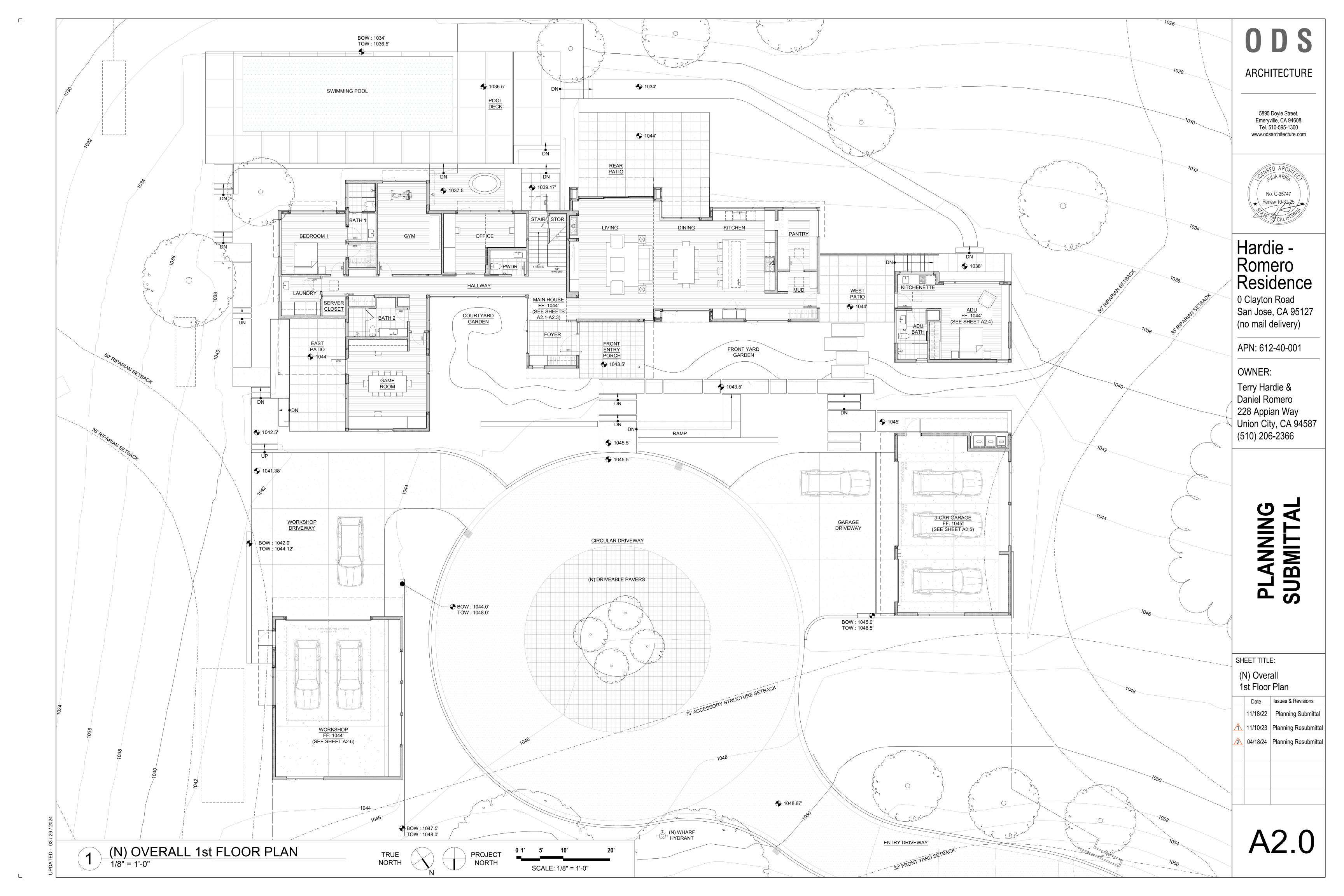
N 1912'18" E

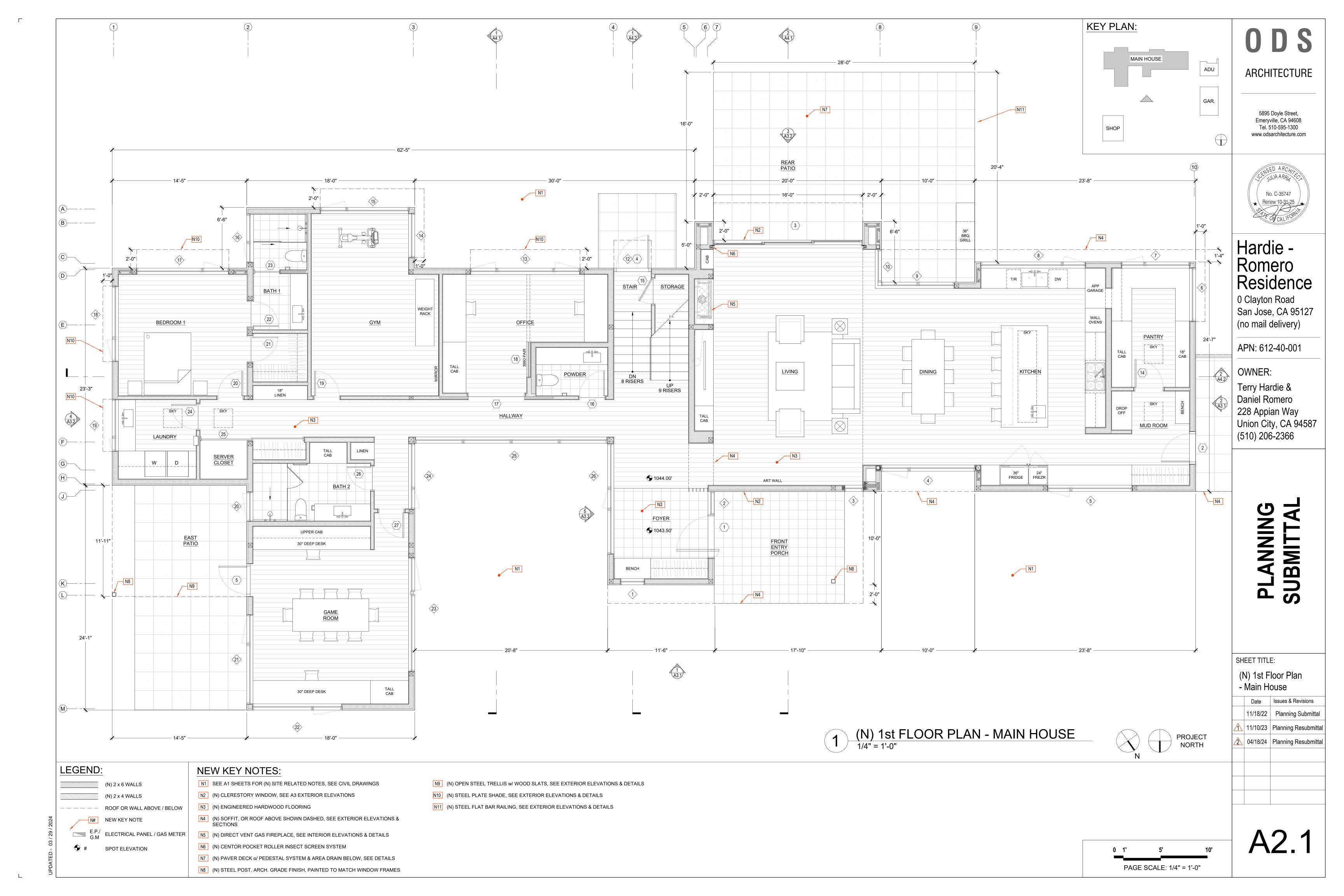


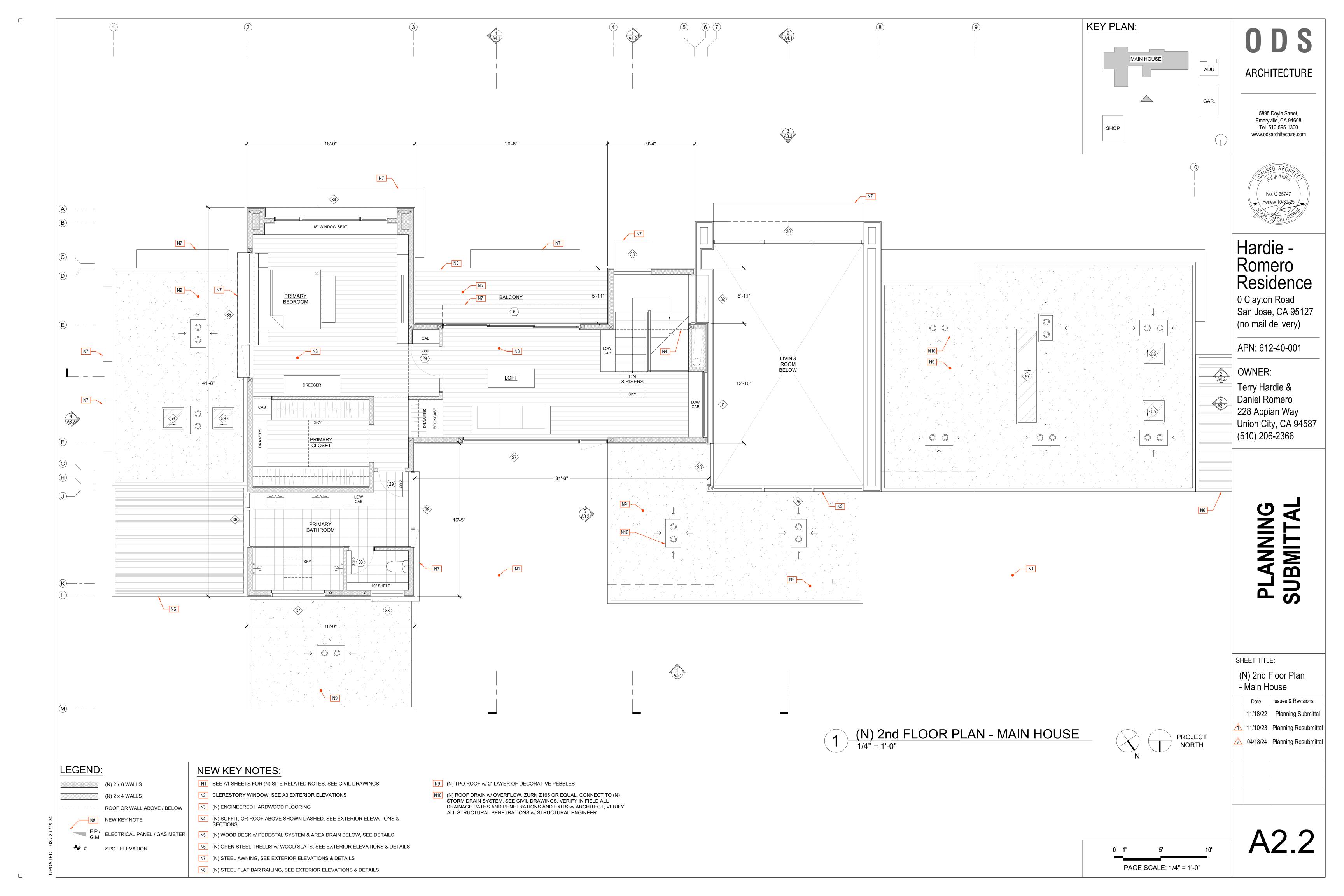


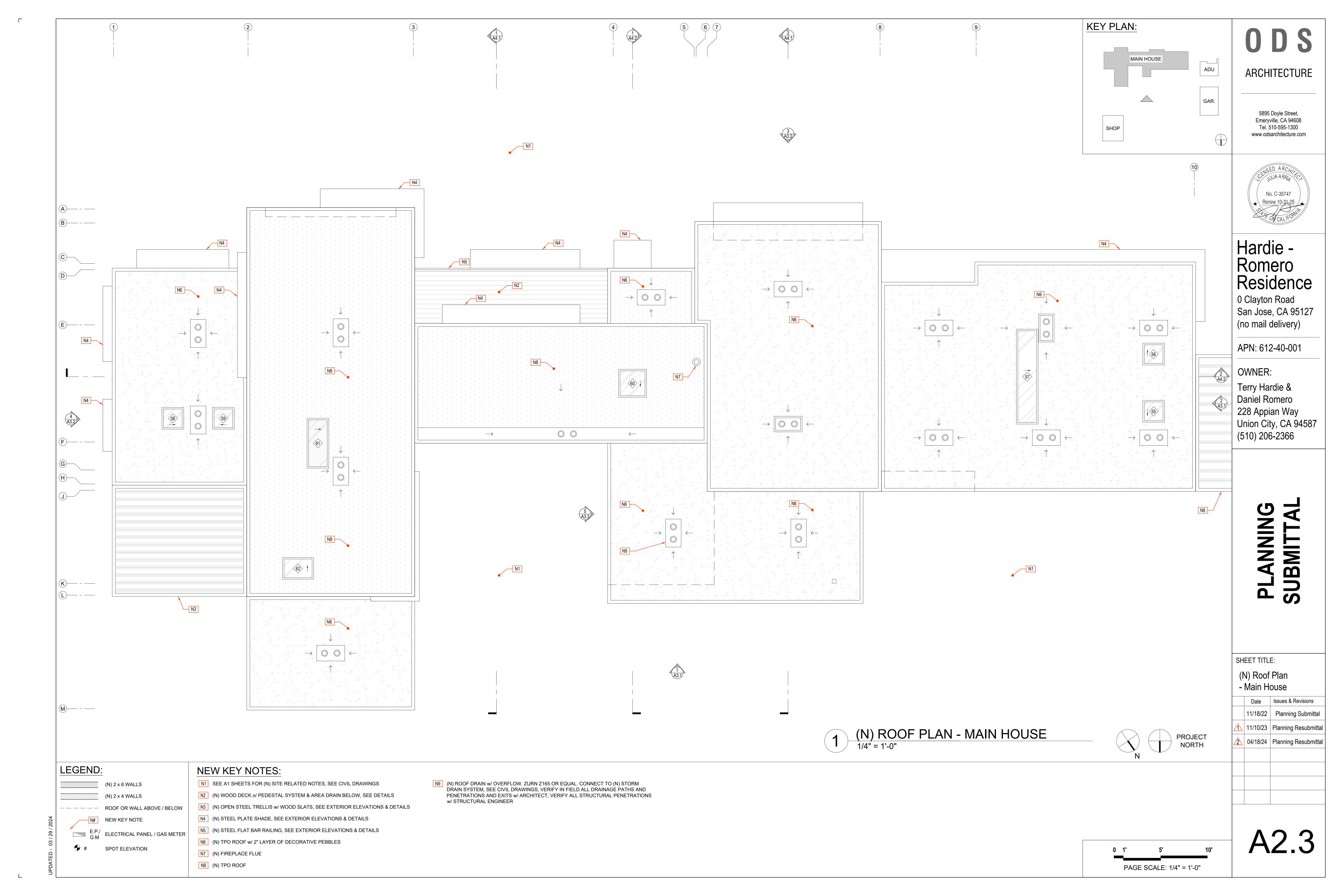


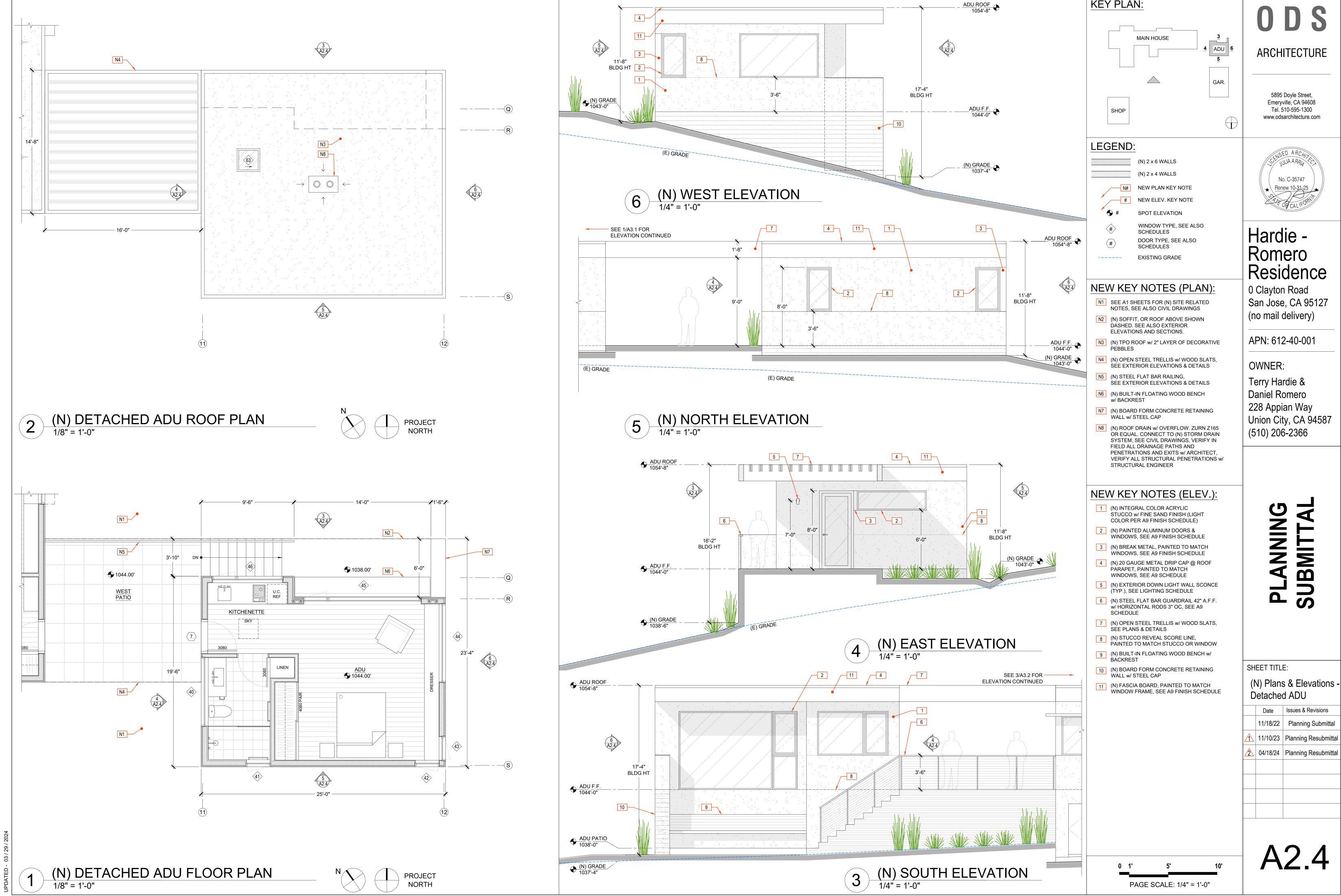




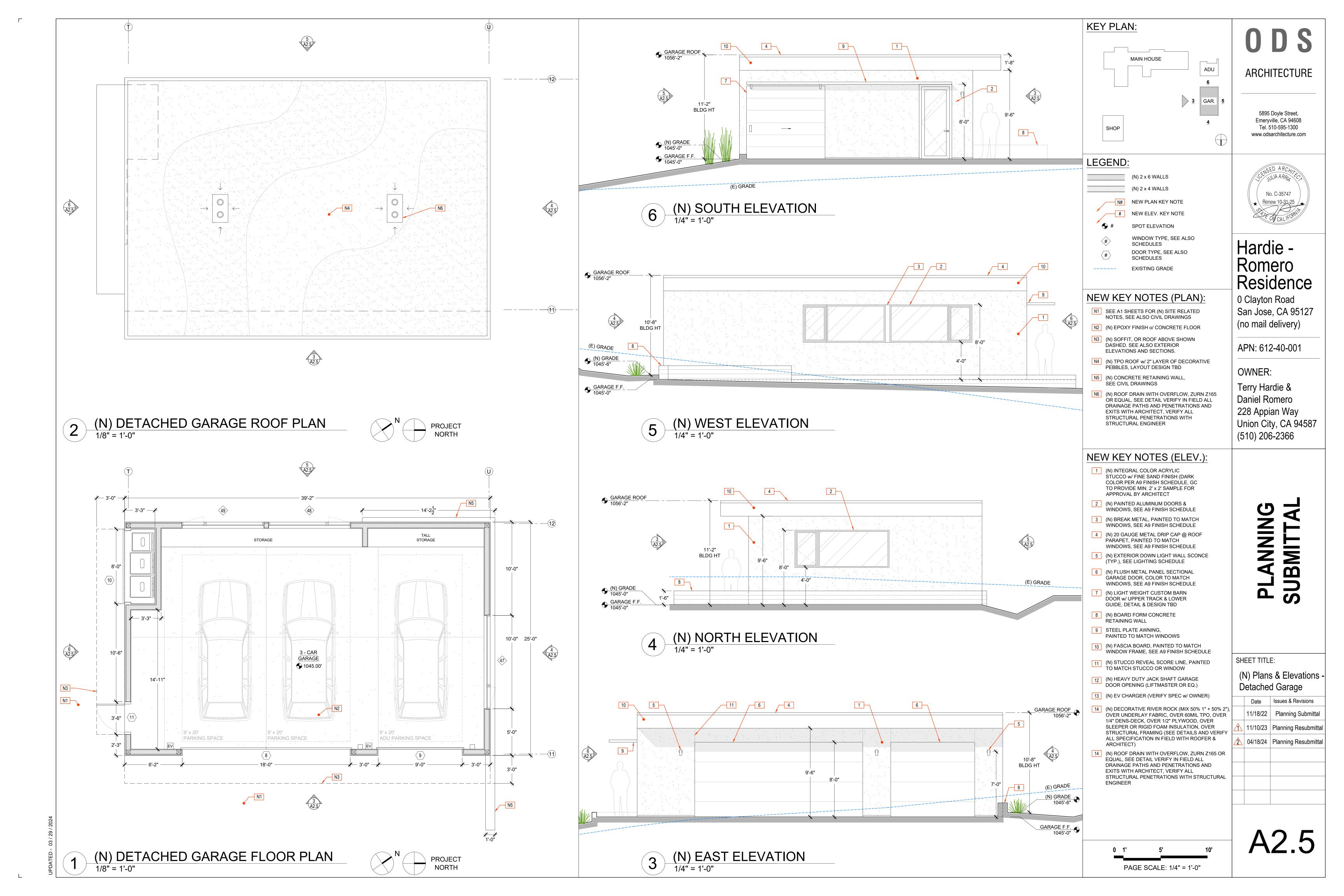


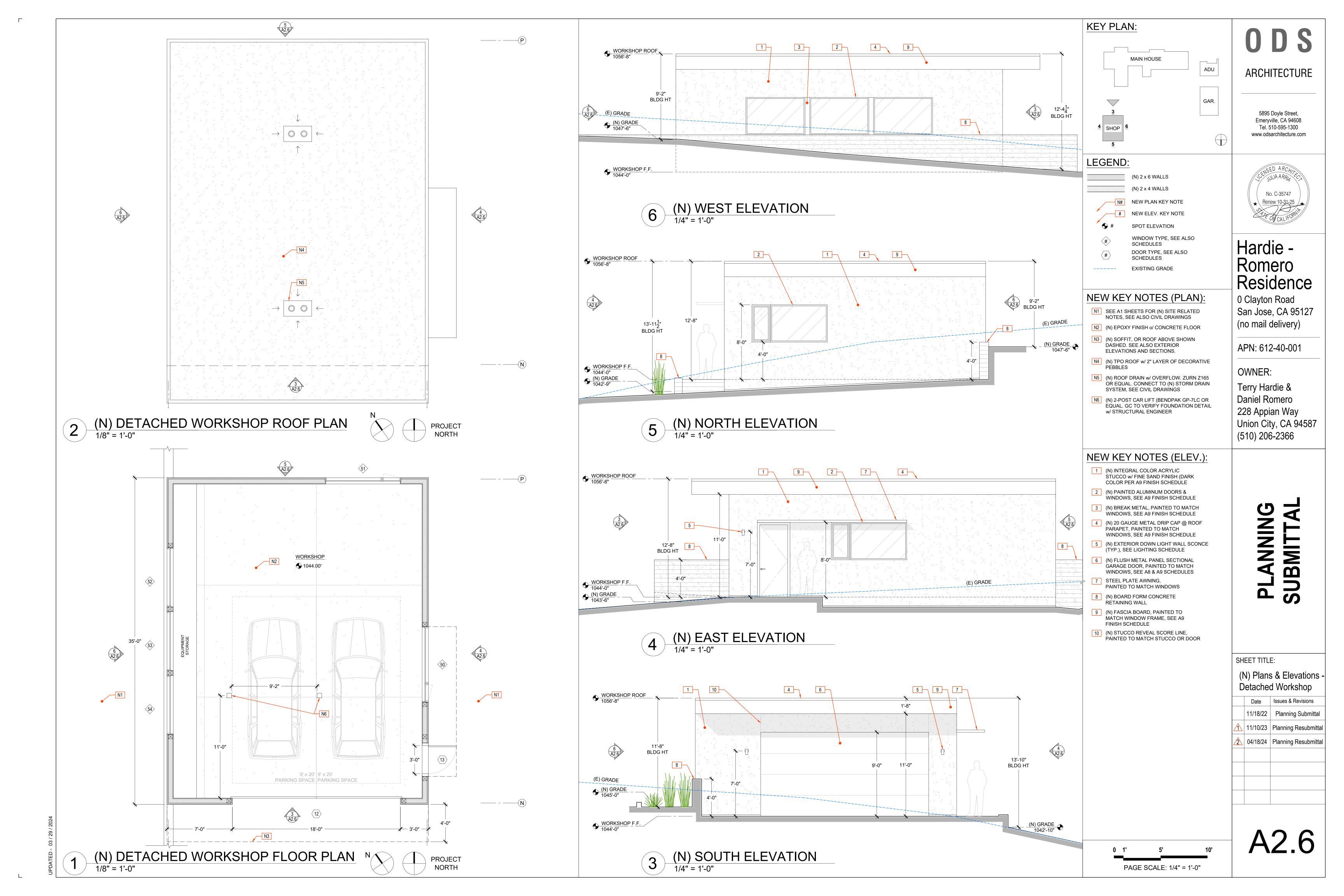


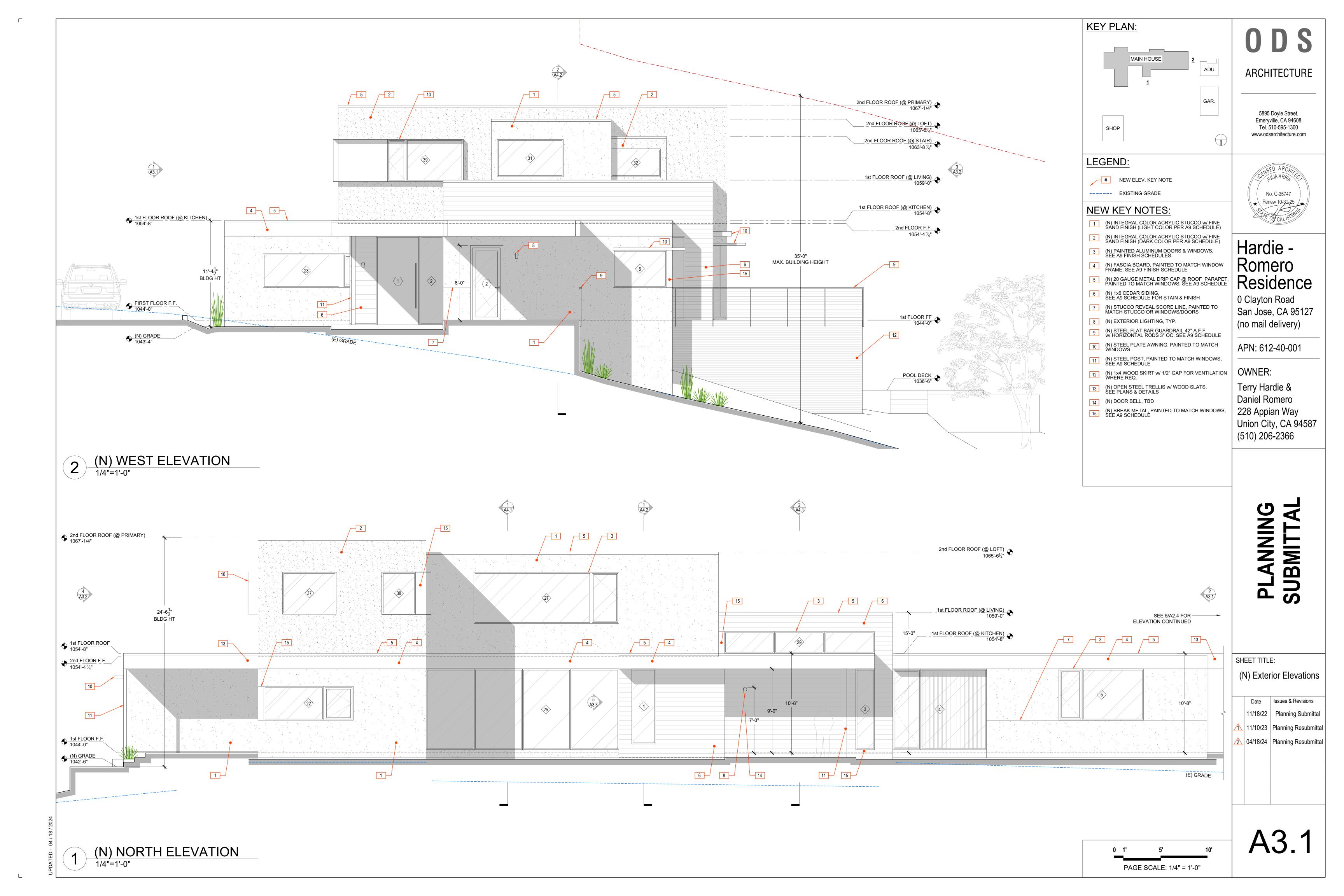


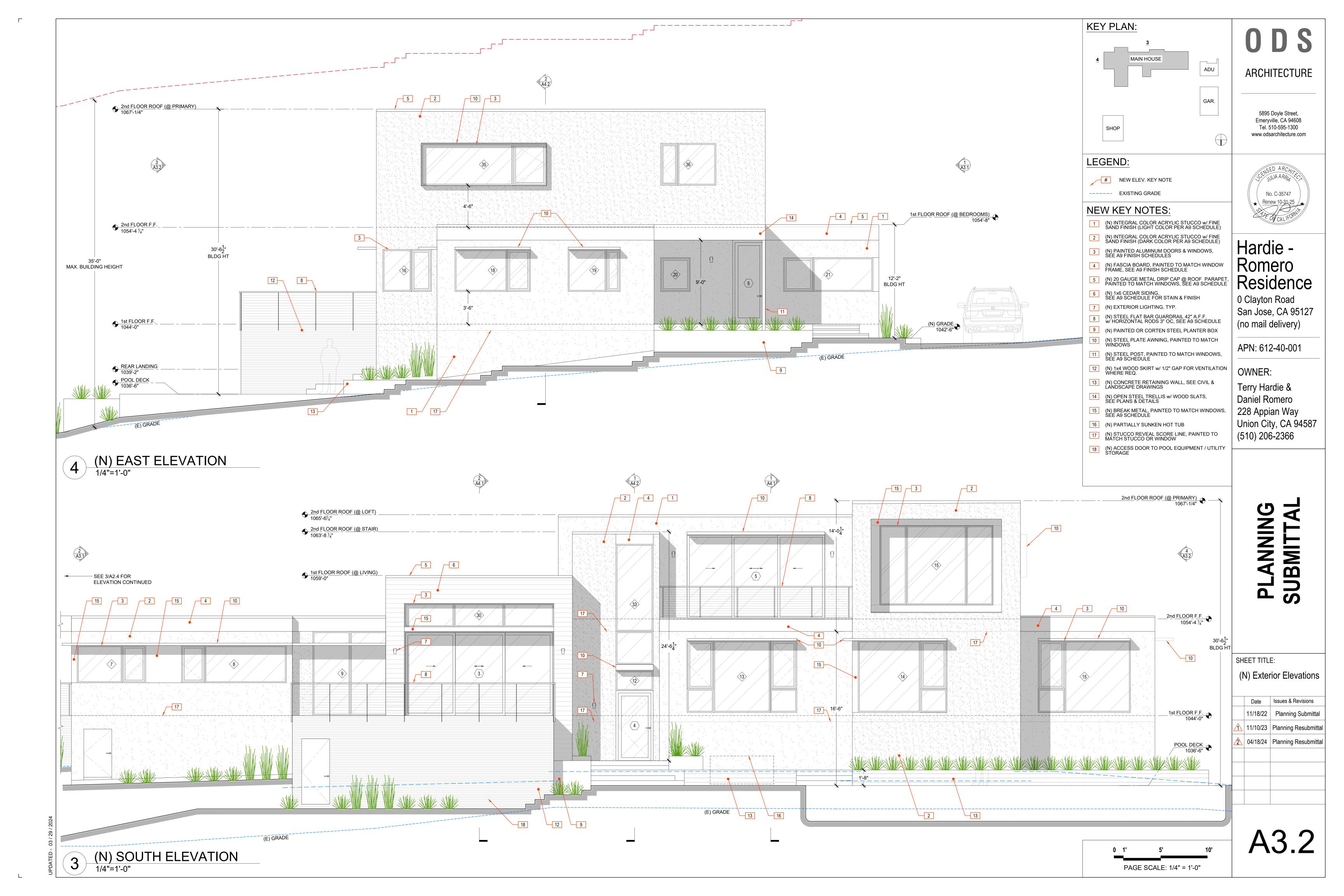


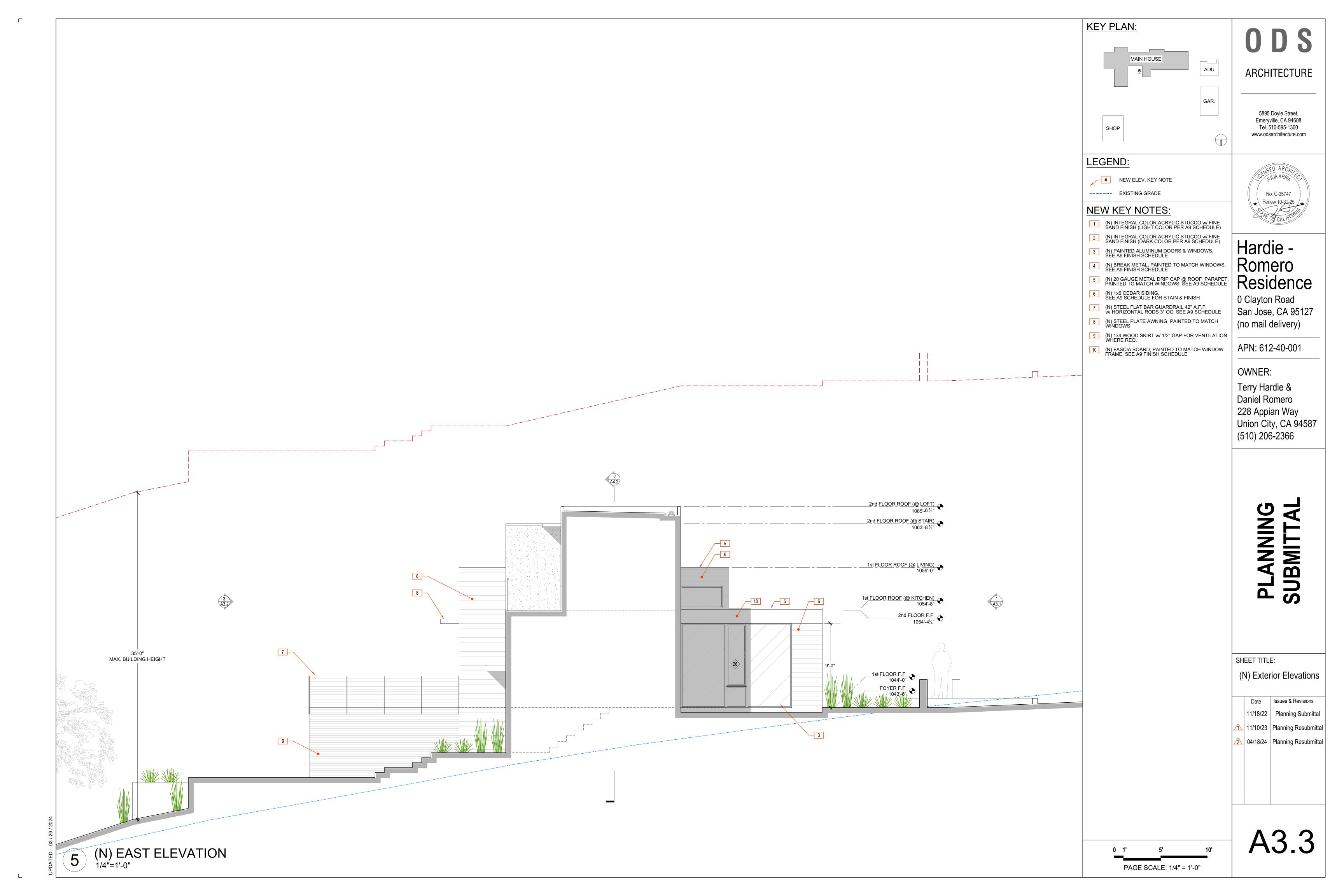
KEY PLAN:

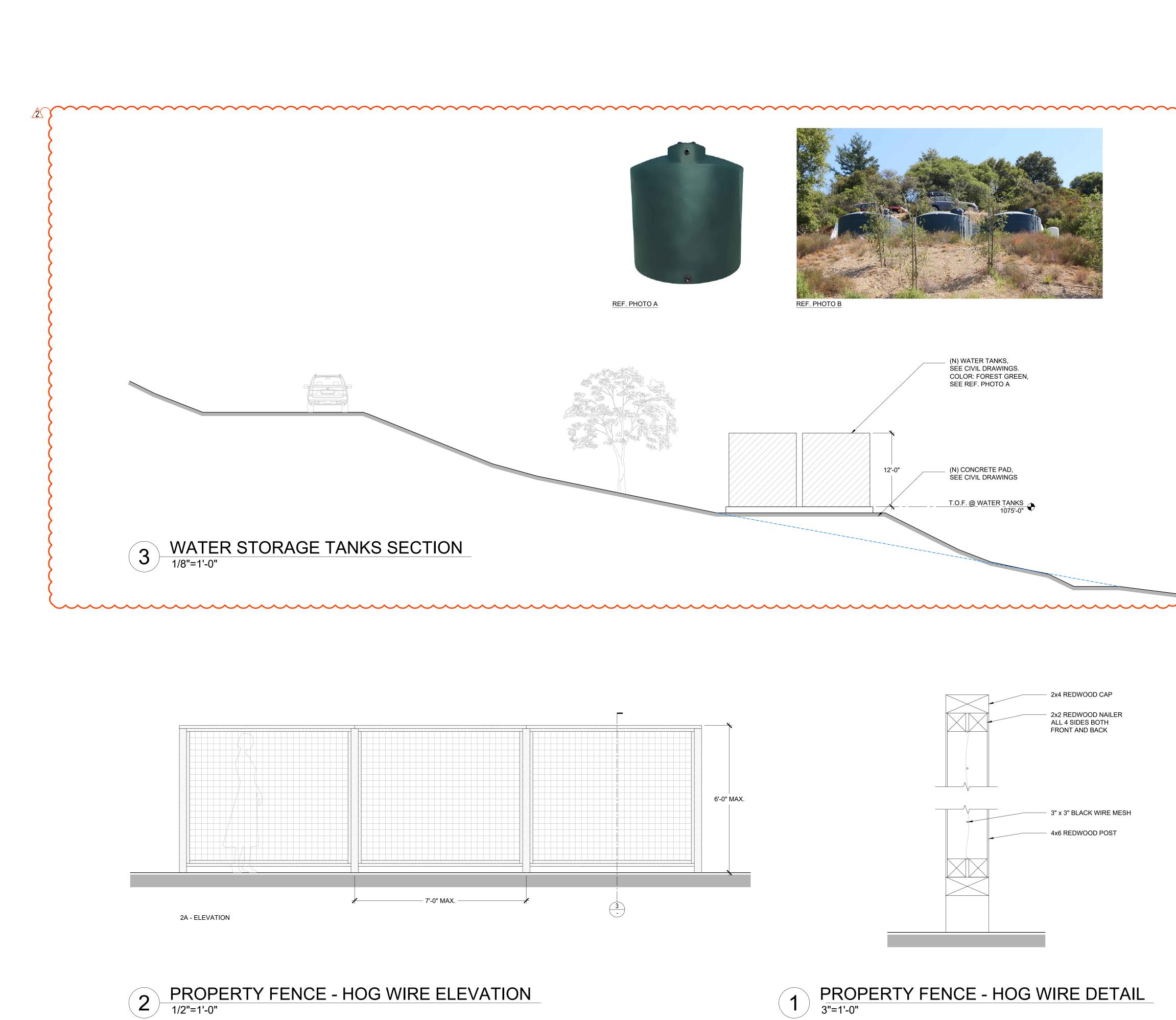








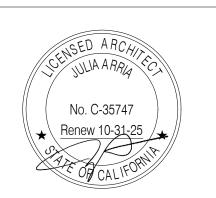




0 D S

ARCHITECTURE

5895 Doyle Street, Emeryville, CA 94608 Tel. 510-595-1300 www.odsarchitecture.com



Hardie -Romero Residence

0 Clayton Road San Jose, CA 95127 (no mail delivery)

APN: 612-40-001

OWNER:

Terry Hardie &
Daniel Romero
228 Appian Way
Union City, CA 94587
(510) 206-2366

PLANNING SUBMITTAL

SHEET TITLE:

(N) Property Fence Elevations & Details

Date Issues & Revisions

11/18/22 Planning Submittal

11/10/23 Planning Resubmittal

2 04/18/24 Planning Resubmittal

A3.4





STEEL GUARDRAIL 8

 $1\frac{1}{2}$ " x $\frac{1}{2}$ " STEEL FLAT BAR TOP RAIL & PICKETS, 5/8" DIA. HORIZONTAL STEEL RODS EQUALLY SPACED, PICKETS TO ALIGN w/ STONE PAVER JOINTS, POWDER COATED TO MATCH WINDOWS AND DOORS



METAL PLANTER BOX 7

3" THICK STEEL PLANTER BOX w/ CONCEALED REINFORCING STRUTS PAINTED TO MATCH DOORS & WINDOWS



SECTIONAL GARAGE DOOR 6

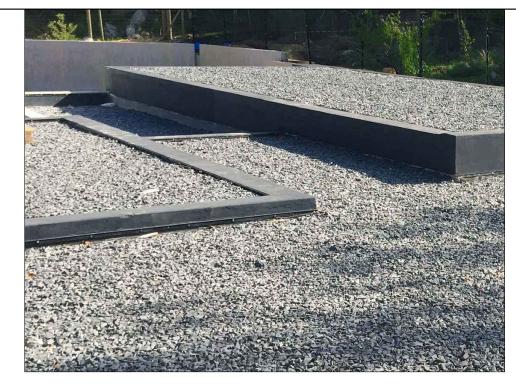
MANUFACTURER: "NORTHWEST DOOR" MODERN TECH SECTIONAL, 24 GA STEEL, SMOOTH FLUSH FACE BOTH SIDES, INSULATED FINISH: PAINTED TO MATCH WINDOWS & DOORS



WINDOWS, DOORS & SKYLIGHTS 5

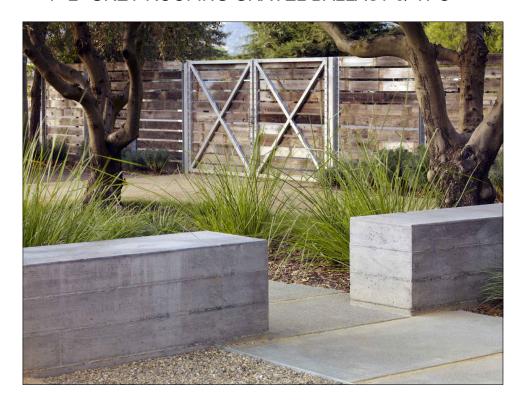
ALUMINUM (THERMALLY BROKEN) FLEETWOOD OR EQ. (DOORS & WINDOWS) VELUX OR EQ. (SKYLIGHTS) COLOR: MEDIUM BRONZE OR SIM. LRV: 3-11

WHERE OCCURS -BREAK METALS (OR PAINTED WOOD), TRIM / FASCIA PAINTED TO MATCH DOORS & WINDOWS



TPO ROOFING w/ RIVER ROCKS 4

MANUFACTURER: "GAF", 60 MIL EVERGUARD TPO FULLY ADHERED ROOFING MEMBRANE COLOR: ENERGY GRAY, LRV: N/A 1"-2" GREY ROOFING GRAVEL BALLAST o/ TPO



BOARDFORM CONCRETE WALL 3

HORIZONTAL 2 x 8 WOOD FORMS w/ MINIMAL RADIUS CORNERS & INTEGRAL COLOR, "DAVIS COLORS" PEWTER 860, LRV: 23.01



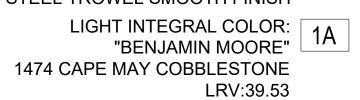
WOOD SIDING 2

1 x 6 HORIZONTAL SHIPLAP RESAWN TIMBER CO. THERMALLY MODIFIED CHARRED WESTERN RED CEDAR, OR EQ. COLOR: "DUNCAN 2.0", LRV: N/A



SMOOTH FINISH STUCCO

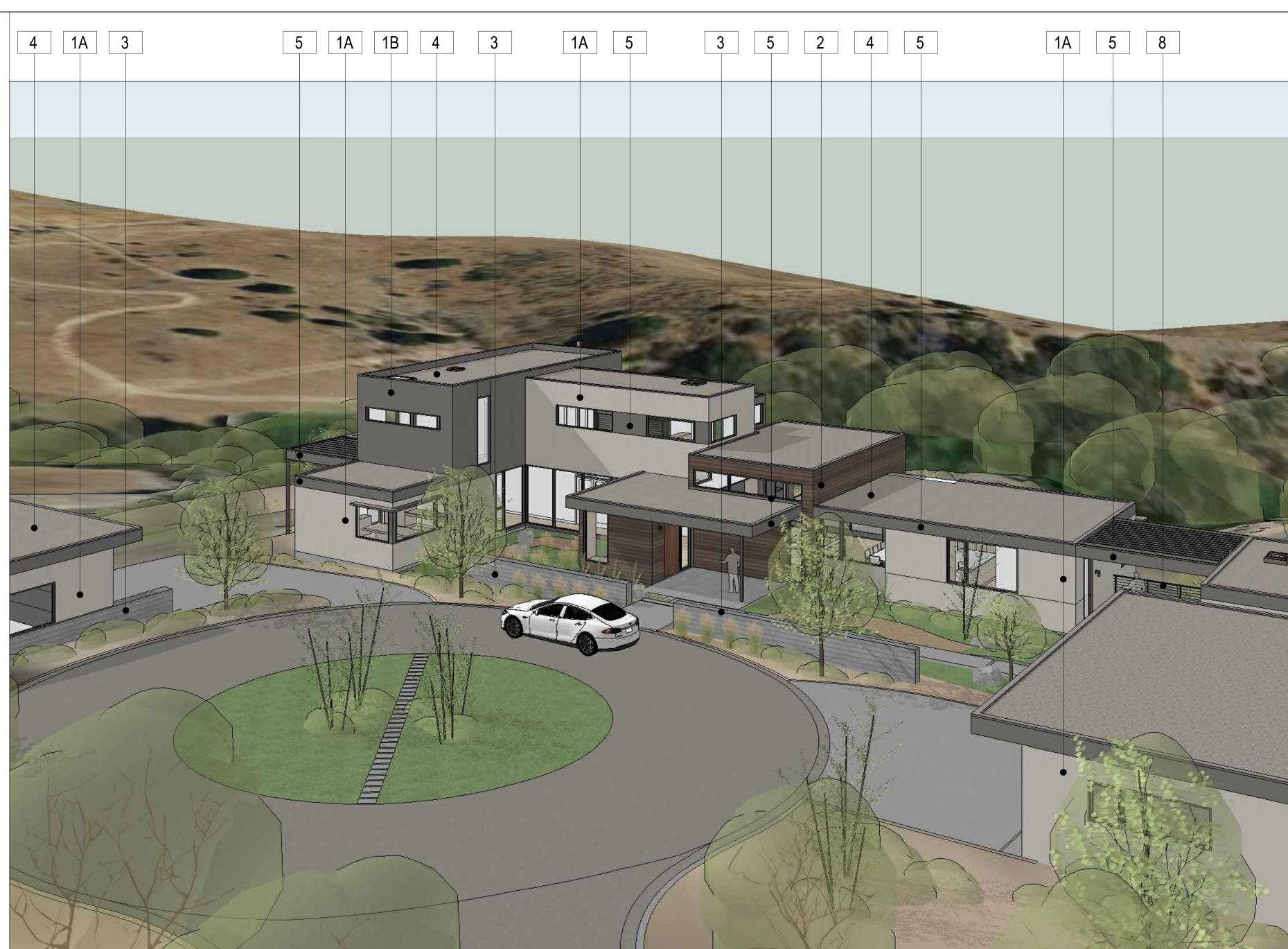
MANUFACTURER: "BMI PRODUCTS" 7/8" THICK, 3-PART STUCCO w/ STEEL TROWEL SMOOTH FINISH



DARK PAINTED COLOR: 1B "BENJAMIN MOORE" HC-166 KENDALL CHARCOAL

LRV:12.96





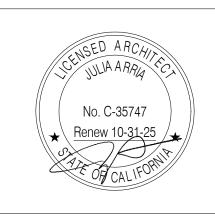
(N) 3D PERSPECTIVE - AERIAL



(N) 3D PERSPECTIVE - REAR ELEVATION (SOUTH)

ARCHITECTURE

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APN: 612-40-001

OWNER:

Terry Hardie & Daniel Romero 228 Appian Way Union City, CA 94587 (510) 206-2366

ANNING **SUBMITTAL** 7

SHEET TITLE:

Exterior Colors & Materials

Date Issues & Revisions

11/18/22 Planning Submittal 11/10/23 | Planning Resubmittal 2 04/18/24 Planning Resubmittal

COUNTY OF SANTA CLARA General Construction

GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY BAGG ENGINEERS; JOB NO. RAMMR-01-01

 GRADING

 GRADING AND DATED NOVEMBER 1, 2018 THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS. 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN
- THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE
- COUNTY'S INSPECTOR DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY
- ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK
- UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.
- IN ACCORDANCE WITH THE CALIFORNIA PROFESSIONAL LAND SURVEYORS' ACT (BUSINESS AND PROFESSIONS CODE) CHAPTER 15 SECTIONS 8771 AND 8725.1, CALIFORNIA PENAL CODE 605, AND CALIFORNIA GOVERNMENT CODE 27581, ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING ROADWAY/STREET MONUMENT, PROPERTY CORNER, OR ANY OTHER PERMANENT SURVEYED MONUMENT AND/OR AS SHOWN ON THIS TENTATIVE MAP SHALL ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE OCUNTY SURVEYOR OFFICE PRIOR TO DISTURBING SAID MONUMENTS. ALL DISTURBED

OR DESTROYED MONUMENTS SHALL BE RESET AND FILED IN COMPLIANCE WITH SECTION

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS: A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
- B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

<u>UTILITY LOCATION, TRENCHING & BACKFILI</u>

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION

ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED

- AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE
- STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE
- 2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- 2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. 3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER
- 4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.

COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.

- 5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- 6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
MAIN HOUSE	50±	199±	±2.8/±5.3
ADU	_	56±	0/±5.4
GARAGE HOUSE	180±	_	±7.8/0
GARAGE SHOP	111±	_	±6/0
DRIVEWAY	664±	883±	±4.8/±10.3
YARD	207±	663±	±5.9/±7.1
POND	235±	42±	±2.9/±1.6
TANK PAD	_	154±	±0/±5.3
SUB-TOTAL	1,447±	1,997±	

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE. 7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK
- 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- 9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%
- 10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING
- 12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
- 13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
- 14. TOTAL DISTURBED AREA FOR THE PROJECT 64,571 SF. 15. WDID NO._TBD_

TO COORDINATE THE WORK IN THE FIELD.

16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

- 1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE 19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
- A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES.
- THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
- FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT
- http://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
- 2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR. 2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE 3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

- 1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
- 2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
- 3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS. 4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE
- CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM. 5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE

SANITARY SEWER

APPLICANT: HARDIE

- 1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS 1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
- 2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD 3. PAVE. APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL
- UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. 4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- 5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED. 6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- 7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR. 8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- 9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
- A. 15 MILES PER HOUR (MPH) SPEED LIMIT B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
- C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAIN HOTLINE OF 1-800-334-6367.
- 10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION
- CAPABLE OF WITHSTANDING WEATHERING. 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- 12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SD8. 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- 14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- 15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE. 16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY

INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.

17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAY:

ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE LIMITED TO THE

- FOLLOWING; A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
- B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO
- THE PUBLIC ROAD RIGHT-OF-WAY. C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- 18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
- EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SITE AND SITUATIONALY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS. FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

- SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES
 - PERMIT CAS000004 / ORDER NO. 2013-0001-DWQ. PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
 - 3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THI OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW. 4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
 - 5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

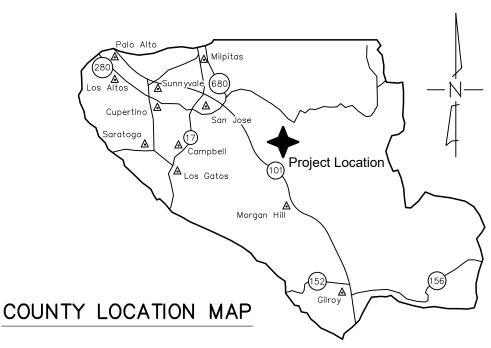
THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (___ WERE) (__ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (^). THERE (___WERE) (___ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE

DATE	SIGNATURE		
NOTE: THIS STATEMENT IS 1	TO BE SIGNED BY THE	PERSON AUTHORIZED B	Y THE COUNTY ENGINEER
PERFORM THE INSPECTION W	VORK. A REPRODUCIBL	E COPYOF THE AS-BUIL	FPLANS MUST BE

GEOTECHNICAL ENGINEER OBSERVATION

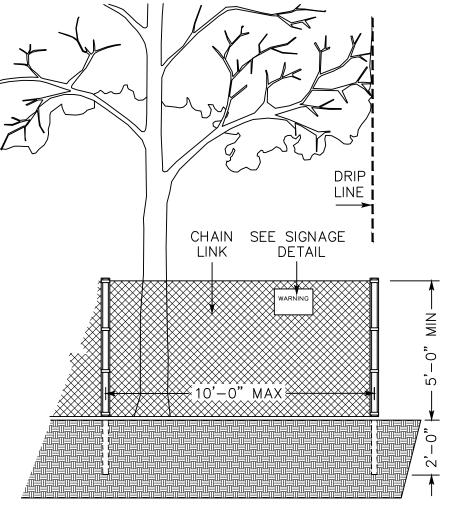
FURNISHED TO THE COUNTY ENGINEER AFTERCONSTRUCTION.

AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



SURVEY MONUMENT PRESERVATION

- THE LANDOWNER/CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
- THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER. AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



EXISTING TREE PROTECTION DETAILS

- 1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
- 2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
- 3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
- 4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL
- 5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

COUNTY OF SANTA CLARA DEPT	. OF ROADS AND AIRPORTS
ISSUED BY:	DATE:
ENCROACHMENT PERMIT NO	

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

ENGINEER'S STATEMENT

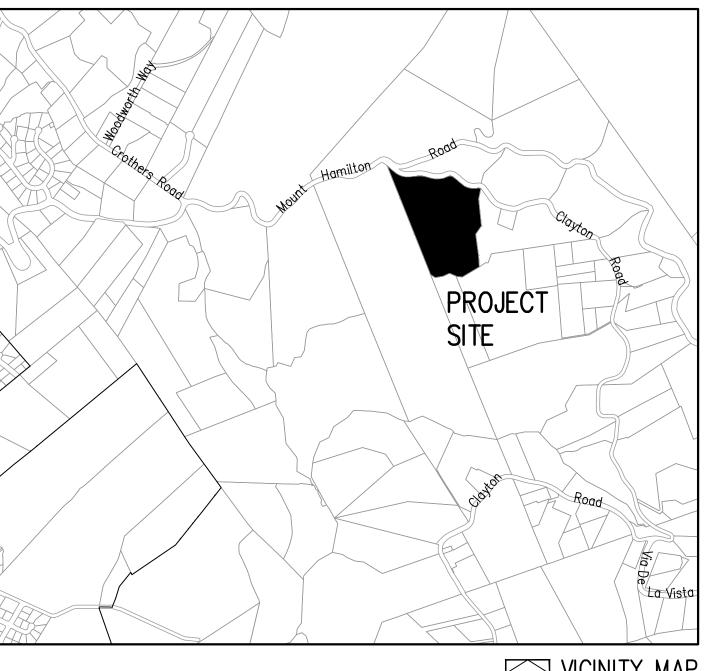
I HEARBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) ROFESS/ON AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO. 11314-18B-18DR R.C.E. NO.

OY MUST 72 ¥ NO. 69278 ₽ CIVIL COUNTY ENGINEER'S NOTE

COUNTY FILE NO .:

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE	
	DARRELL K.H. WONG
	R.C.E. NO. 63958



SCOPE OF WORK

- THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.
- 2. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.
- CONSTRUCT COUNTY APPROVED DRIVEWAY APPROACH
- CLEAR AND GRUB BUILDING PAD AND DRIVEWAY.
- BUILDING PAD AND DRIVEWAY GRADING. CONSTRUCT DRIVEWAY
- FURNISH AND INSTALL WATER TANKS AND PAD FURNISH AND INSTALL WATER LINE AND FIRE HYDRANTS
- JOINT TRENCH TO EXISTING UTILITY POLES 10. INSTALL DOMESTIC WATER LINE; COMMON TRENCH WITH FIRE LINE

APRIL 2024

SEPARATE BUILDING PERMIT:

COUNTY OF SANTA CLARA

LAND DEVELOPMENT ENGINEERING & SURVEYING

PRELIMINARY PLANS

NOT FOR CONSTRUCTION

GRADING/DRAINAGE PERMIT NO.

ISSUED BY: _____ DATE: ____

- SEPTIC TANK AND LEACHFIELD
- 2. CONSTRUCT RETAINING WALL

SHEET INDEX

1	COVER SHEET
2	OVERALL SITE PLAN
3	PRIVATE DRIVEWAY - PLAN & PROFILE
4-6	PRELIMINARY GRADING & DRAINAGE PLAI
7	DETAILS, NOTES & CROSS SECTIONS
8	EROSION CONTROL PLAN

BMP1&2 BEST MANAGEMENT PRACTICES ENGINEER'S NAME: _ HANNA-BRUNETTI

ADDRESS: 7651 EIGLEBERRY STREET, GILROY CA 95020 PHONE NO. _408 842-2173 FAX NO. 408 842-3662

PRELIMINARY

IMPROVEMENT PLANS

FOR THE HOME GRADING AND DRAINAGE ON THE LANDS OF HARDIE **CLAYTON ROAD**

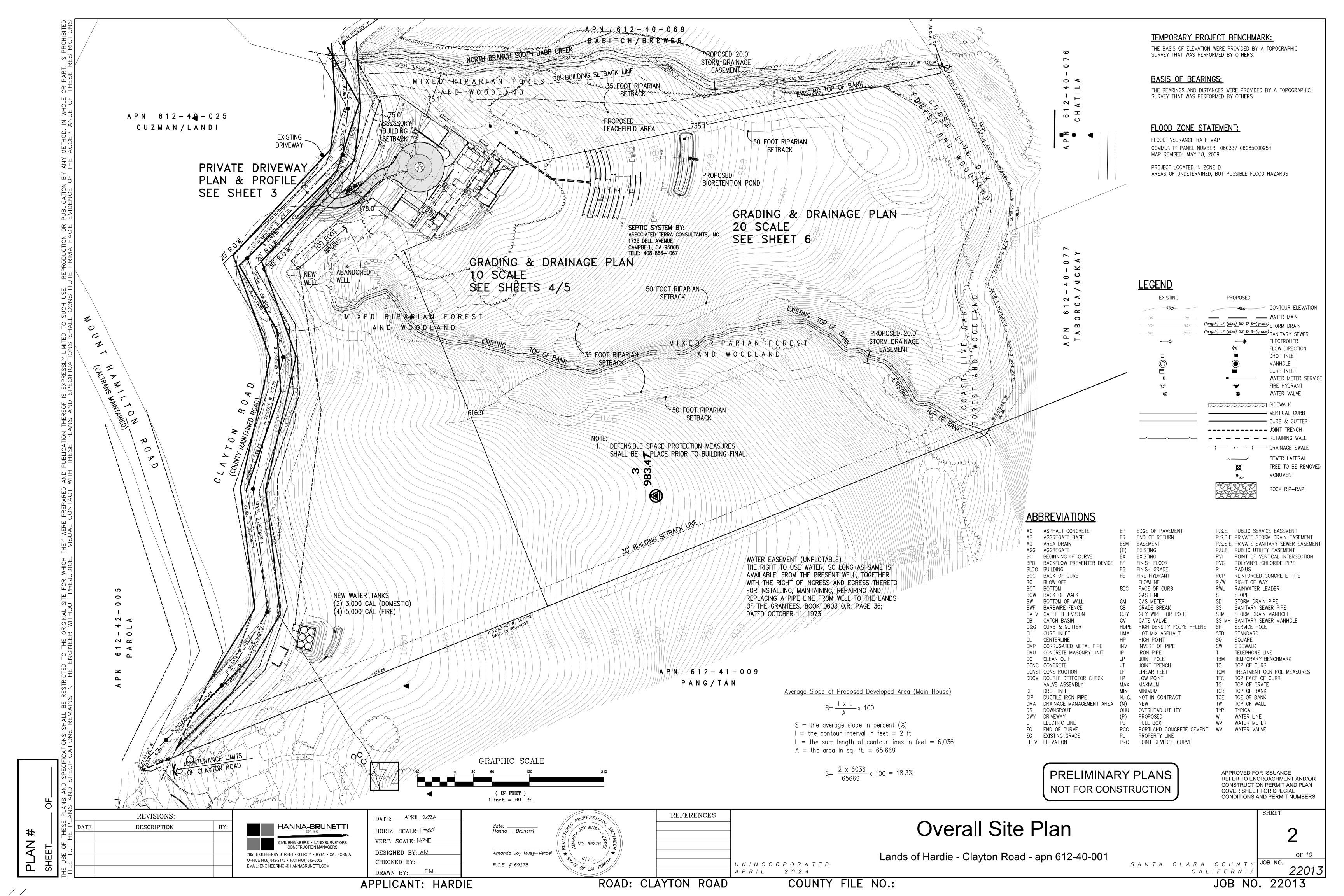
A PORTION OF LOT 1; MAP OF THE SUBDIVISION OF THE CLAYTON AND JACKSON TRACT IN PUEBLO TRACT NO. 1 RECORDED IN BOOK "E" OF MAPS, PAGES 34 AND 35 ON SEPT 11, 1846 SANTA CLARA COUNTY, CALIFORNIA

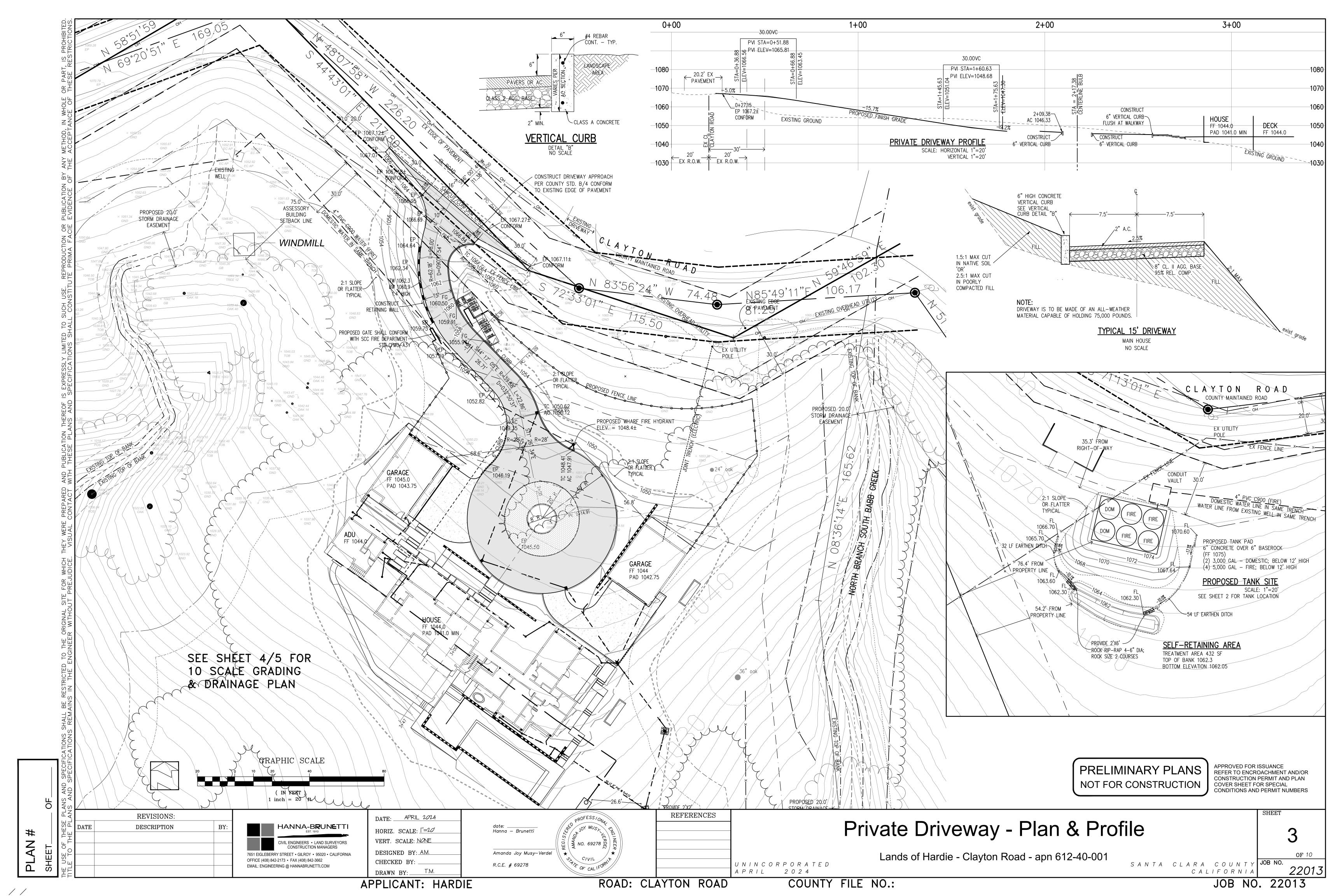
Revision	1	Date	APN	Sheet
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Revision	3	Date		10

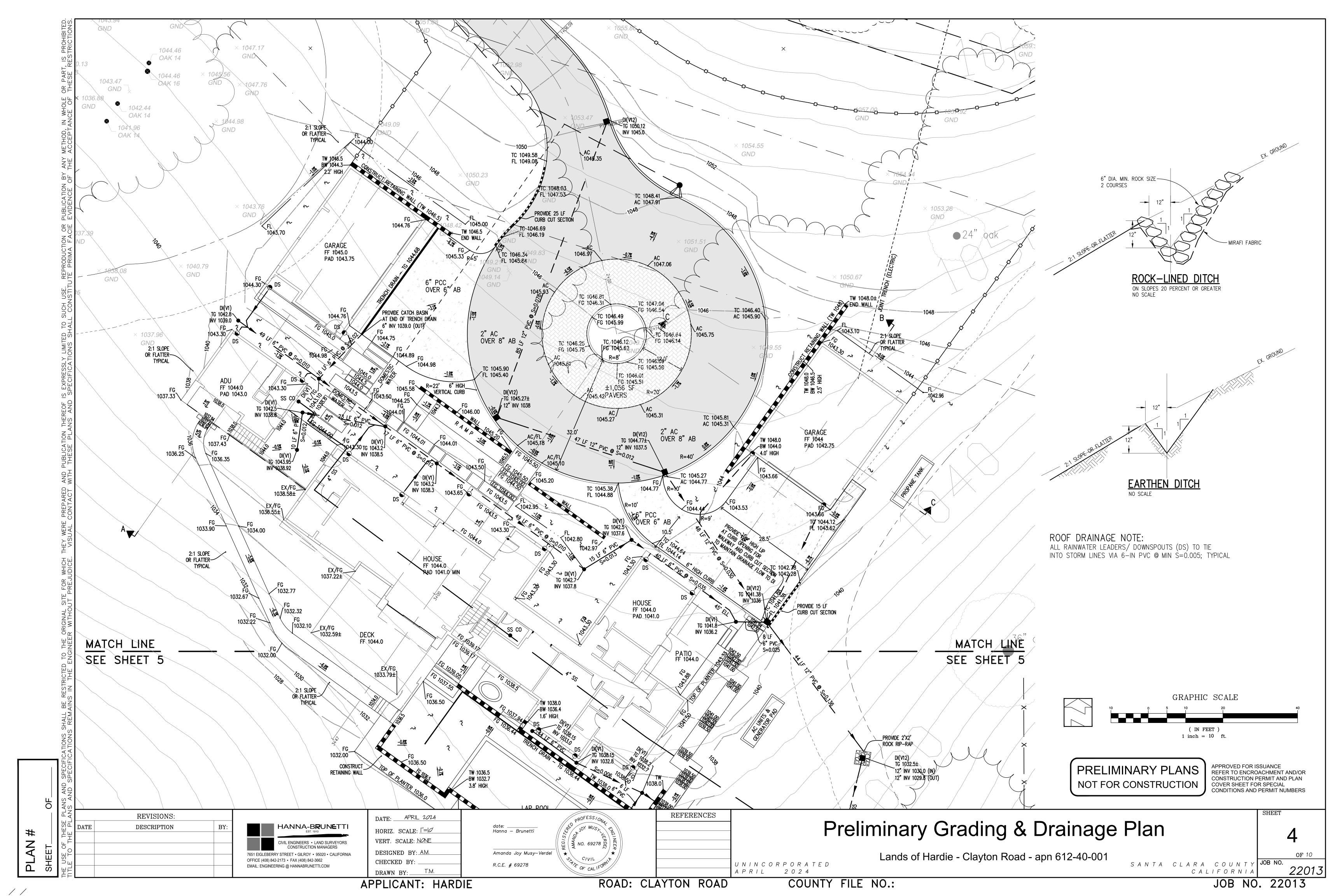
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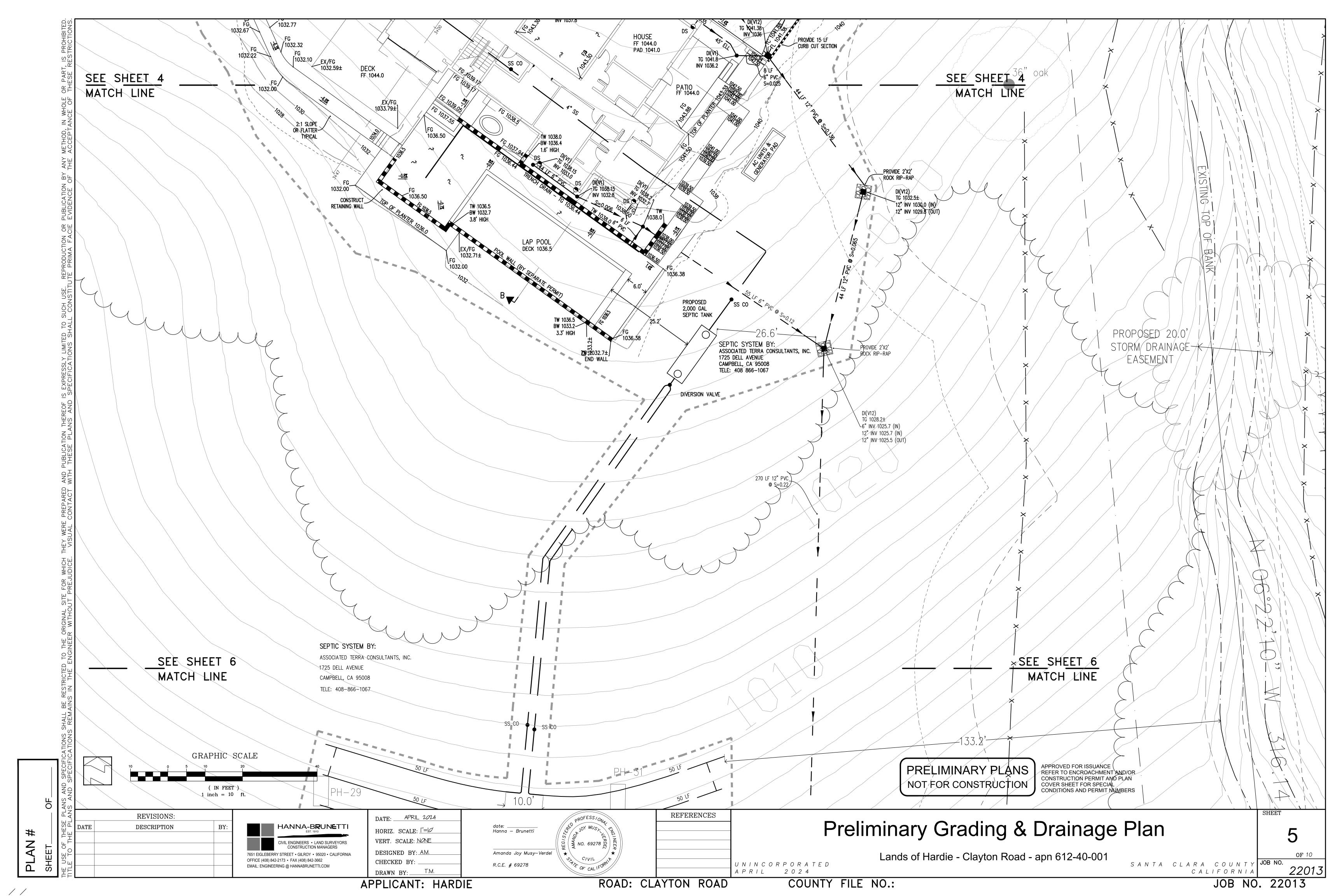
NO SCALE

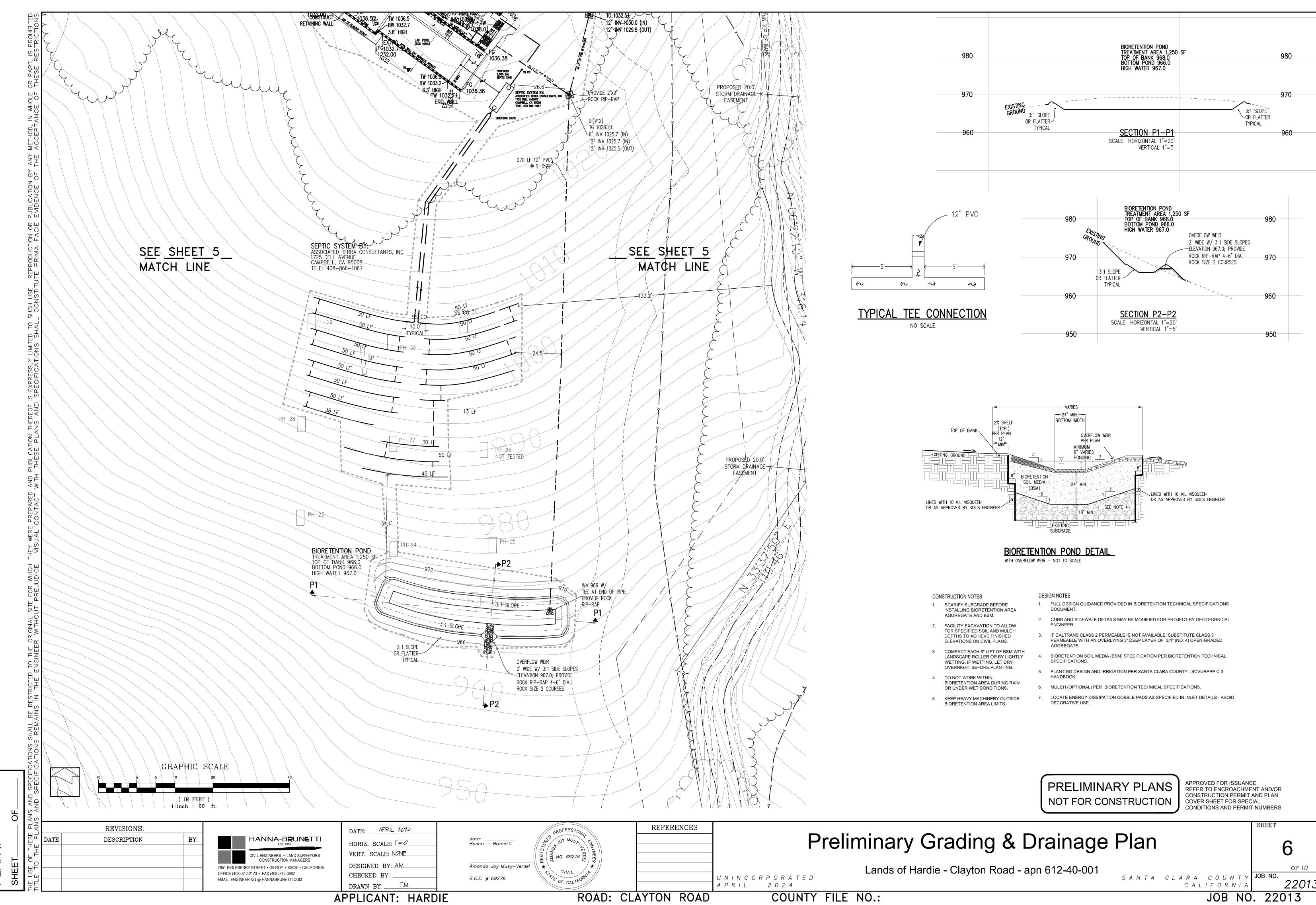
ROAD: CLAYTON ROAD











PROJECT NOTES:

- THE LOCATION OF THE BUILDING PADS AND/OR FOUNDATIONS ARE TO BE ESTABLISHED BY A PERSON AUTHORIZED TO PRACTICE LAND SURVEYING. A LETTER SIGNED AND SEALED BY THAT AUTHORIZED PERSON, STATING THAT HE/SHE HAS LOCATED THE BUILDING CORNERS, AND THEIR LOCATIONS CONFORM TO COUNTY BUILDING SETBACK REQUIREMENTS PER THE APPROVED BUILDING PLANS IS REQUIRED TO BE SUBMITTED TO THE
- 'THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE GROUND WHICH ARE SHOWN TO BE REMOVED. ANY OTHER SUCH TREES ARE NOT TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.'
- 3. NO TREES ARE TO BE REMOVED
- 4. PRIOR TO GRADING COMPLETION AND RELEASE OF BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADED SLOPES AND REDUCE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
- BOTH DRAINFIELDS MUST BE STAKED AND STRUNG PRIOR TO APPROVAL OF THE SEPTIC DESIGN TO VERIFY THAT THE PROPOSED SEPTIC DESIGN WILL ACTUALLY FIT INTO THE PROPOSED LEACHFIELD AREA, AND CONFORM TO ALL REQUIRED SETBACKS.
- 6. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
- 7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
- 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- 9. IN THE EVENT THAT ARCHEOLOGICAL FEATURES SHOULD BE DISCOVERED AT ANY TIME DURING THE GRADING, SCRAPING OR EXCAVATION, ALL WORK SHOULD BE HALTED IN THE VICINITY OF THE FIND AND AN ARCHAEOLOGIST SHOULD BE CONTACTED IMMEDIATELY TO EVALUATE THE DISCOVERED MATERIAL TO ASSESS ITS AREAL EXTENT, CONDITION, AND SCIENTIFIC SIGNIFICANCE. IF THE DISCOVERED MATERIAL IS DEEMED POTENTIALLY SIGNIFICANT, A QUALIFIED ARCHAEOLOGIST SHOULD MONITOR ANY SUBSEQUENT ACTIVITY IN THE PROXIMITY.
- 10. IN THE EVENT THAT HUMAN SKELETAL REMAINS ARE ENCOUNTERED, THE APPLICANT IS REQUIRED BY COUNTY ORDINANCE NO. B6-18 TO IMMEDIATELY NOTIFY THE COUNTY CORONER. UPON DETERMINATION BY THE COUNTY CORONER THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION, PURSUANT TO SUBDIVISION (c) OF SECTION 7050.5 OF THE HEALTH AND SAFETY CODE AND THE COUNTY COORDINATOR OF INDIAN AFFAIRS. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY CHAPTER. IF ARTIFACTS ARE FOUND ON THE SITE A QUALIFIED ARCHAEOLOGIST SHALL BE CONTACTED ALONG WITH THE COUNTY PLANNING OFFICE. NO FURTHER DISTURBANCE OF THE ARTIFACTS MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY PLANNING OFFICE.
- 11. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- 12. UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
- 13. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
- 14. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THIS PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- 15. AN APPROVED RESIDENTIAL FIRE SPRINKLER SYSTEM COMPLYING WITH FIRE MARSHAL STANDARD CFMO-SP6 IS REQUIRED TO BE INSTALLED THROUGHOUT THE STRUCTURE.
- 16. ALL NEW ON-SITE UTILITIES, MAINS AND SERVICES SHALL BE PLACED UNDERGROUND AND EXTENDED TO SERVE THE PROPOSED RESIDENCE.
- 17. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.
- 18. ALL ROOF RUNOFF SHALL BE DIRECTED TO LANDSCAPED OR NATURAL AREAS AWAY FROM BUILDING FOUNDATIONS, TO ALLOW FOR STORM WATER INFILTRATION INTO THE SOIL AND SHEET FLOW.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKER'S DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

CONTRACTOR TO VERIFY:

CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION OF BUILDING PAD, THE STRUCTURAL SECTION OF FOUNDATION TO DETERMINE BUILDING PAD ELEVATION.

SEE SOILS REPORT AND/OR STRUCTURAL PLANS TO DETERMINE THE ELEVATION

OF THE BUILDING FINISH FLOOR AND PAD.

THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES IN THE AREA FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID EXCESS MATERIAL SHALL BE OFF-HAULED. IF LOCATION IS WITHIN THE COUNTY A SEPERATED PERMIT SHALL BE REQUIRED.

> PRELIMINARY PLANS NOT FOR CONSTRUCTION



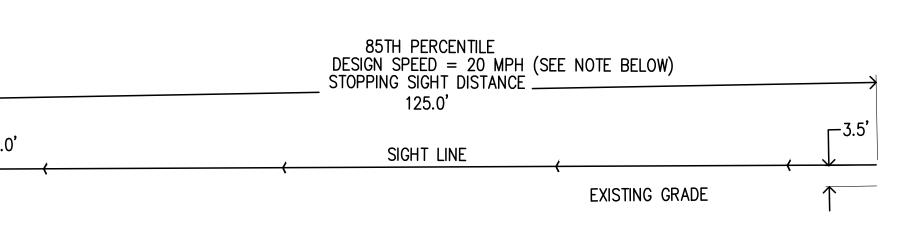
SSD - WESTBOUND NOT TO SCALE



<u>SSD - PLAN VIEW</u>

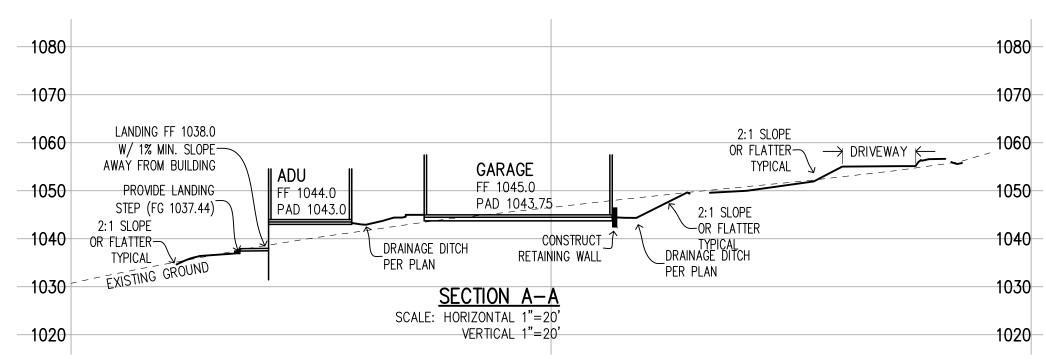


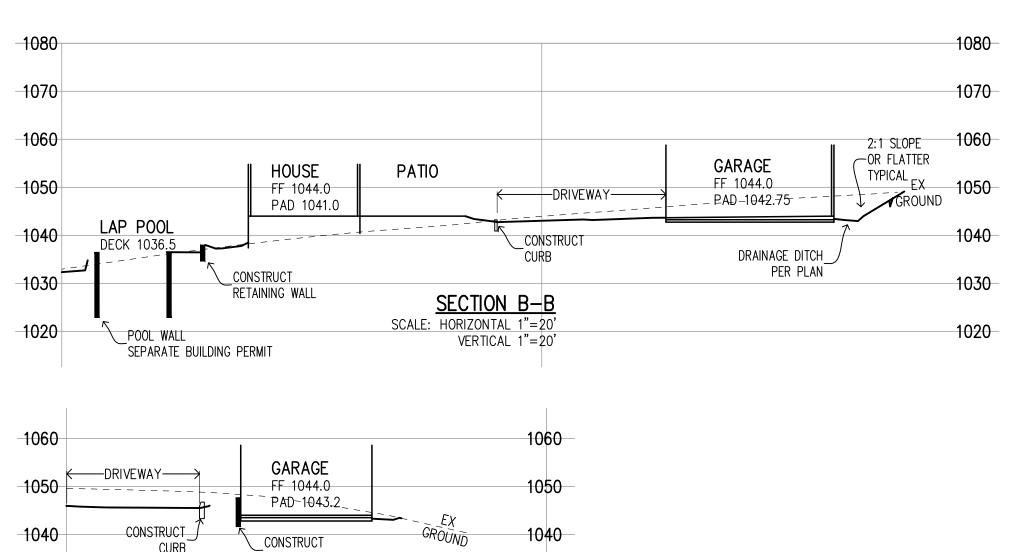
SSD - EASTBOUND NOT TO SCALE

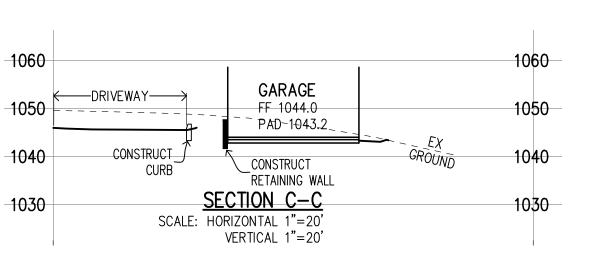


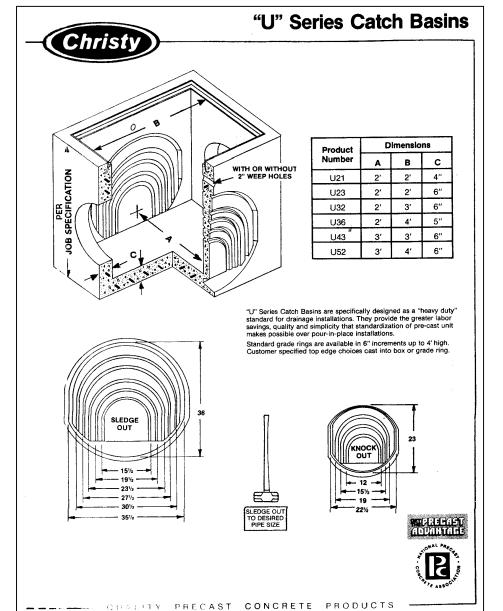
SECTION SIGHT LINE NOT TO SCALE

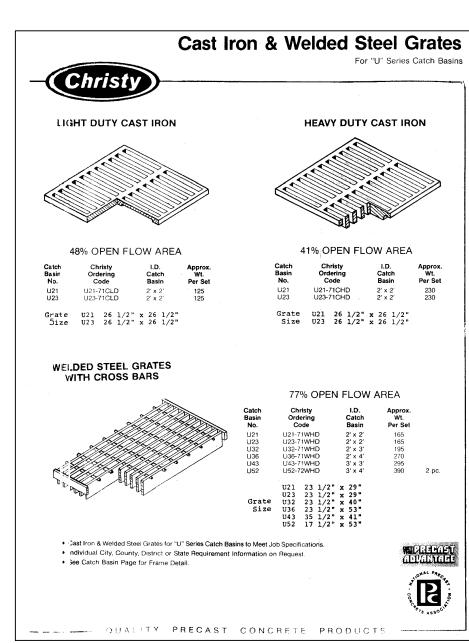
NOTE: THE POSTED SPEED LIMIT FOR CLAYTON ROAD IS 35 MPH; HOWEVER, THE CAUTIONARY SPEED OF 20 MPH FOR THE MEANDERING SEGMENT OF THE ROAD IS USED IN THE ANALYSIS.







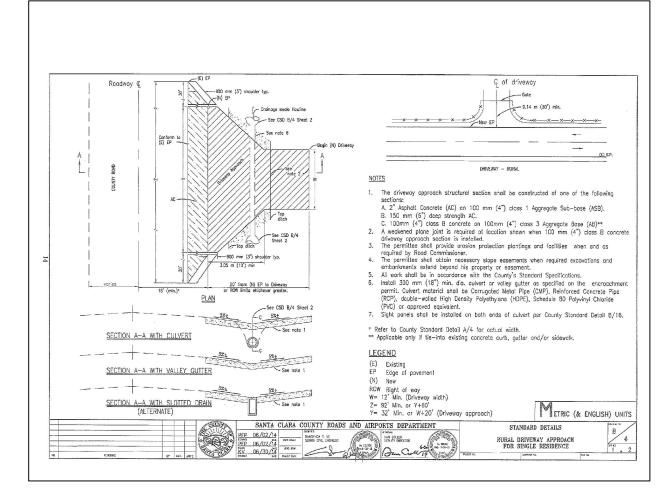


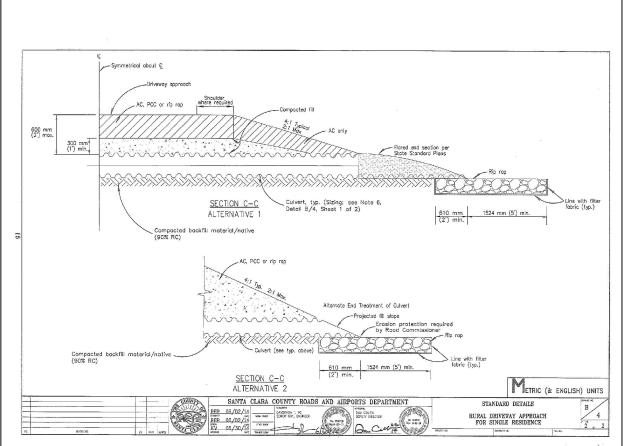


V1 Drain Box 8-5/8" I.D. x 12"

drainage installations or enclosing sewer cleanouts in foot traffic areas. Tapered shoulders prevent settling. Notch accommodates up to approxi-mately 4" O.D. pipe or drain tile. Approximate dimensions shown

• Etched Polyethylene Face • Face Anchored in Concrete





APPROVED FOR ISSUANCE REFER TO ENCROACHMENT AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL **CONDITIONS AND PERMIT NUMBERS**

REVISIONS: DESCRIPTION BY:

HANNA-B**R**UN**E**TTI CIVIL ENGINEERS • LAND SURVEYORS CONSTRUCTION MANAGERS 7651 EIGLEBERRY STREET • GILROY • 95020 • CALIFORNIA OFFICE (408) 842-2173 • FAX (408) 842-3662 EMAIL: ENGINEERING @ HANNABRUNETTI.COM

DATE: FEBRUARY 2014 HORIZ. SCALE: $||^{"}=2O'|$ VERT. SCALE: \(\frac{1''=20'}{}\) DESIGNED BY: A.M. CHECKED BY: DRAWN BY: _____T.M.

Hanna — Brunetti Amanda Joy Musy—Verdel R.C.E. # 69278

REFERENCES FEBRUARY 2024

UNINCORPORATED

Notes, Details & Cross Sections

Lands of Hardie - Clayton Road - apn 612-40-001

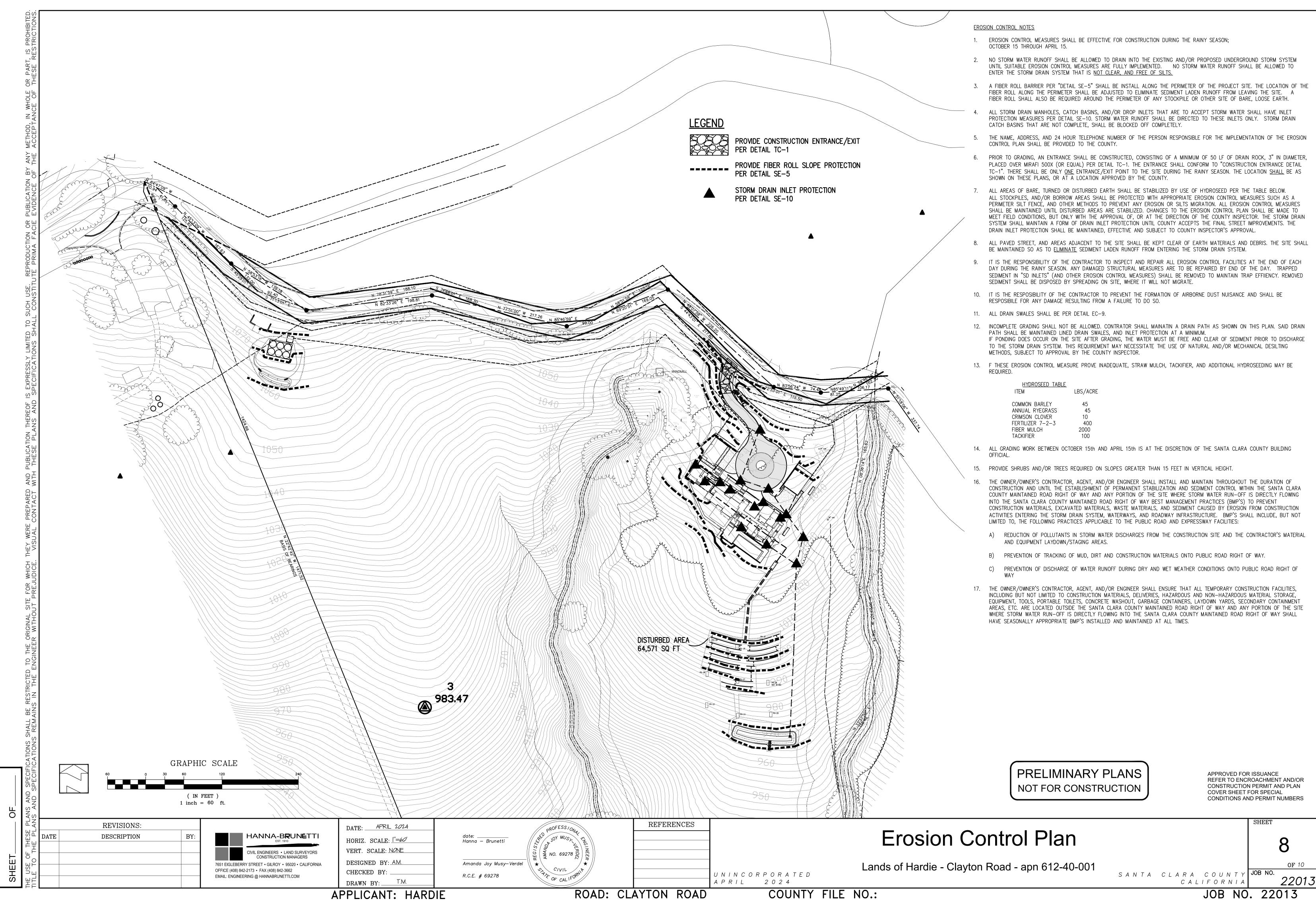
SANTA CLARA COUNTY JOB NO. CALIFORNIA

APPLICANT: HARDIE

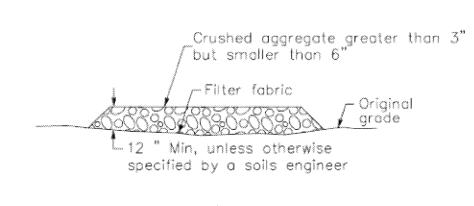
ROAD: CLAYTON ROAD

COUNTY FILE NO .:

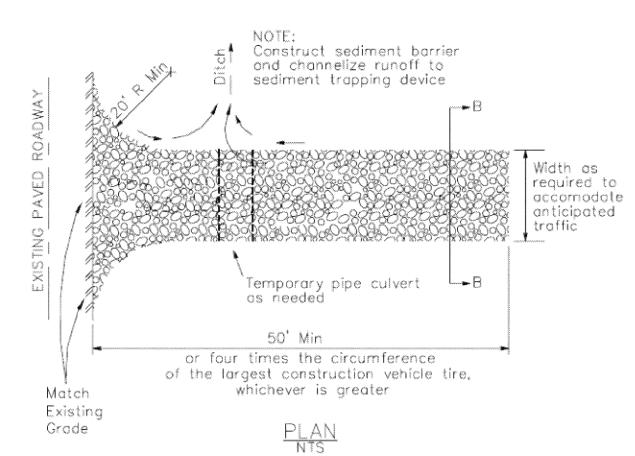
JOB NO. 22013



CASQA Detail TC-1







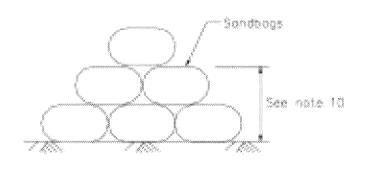
Silt Fence

EFISINES Tamped backfill Nor cour = 500 (See note 1) Since drection Direction of Naw -Optional maintenera opening detail -(See nate 10) --STOKE Cross barrier-PL AN SHI FENCE -End datal

NOTES

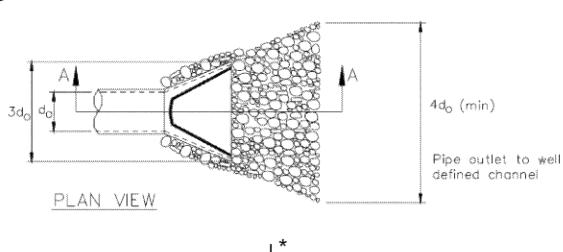
- 1. Construct the length of each reach so that the change in bose elevation along the reach does not exceed 1/3 the height of the linear borrier, in no case shall the reach length exceed 500
- 2. The last B'-Q'' of fence shall be turned up slape.
- 3. Stake dimensions are nominal
- 4. Dimension may very to fit field condition.
- 5. Stakes shall be spoced at B'-0" maximum and shall be positioned on downstream side of fence.
- 6. Stokes to overlop and tence fabric to fold pround each stake one full turn. Secure fabric to stake with 4 staples.
- 7. Stokes shall be driven tightly together to prevent patential flow-through of sediment at joint. The tops of the stakes
- B. For end stake, fence tabric shall be folded around two stakes. one full turn and secured with 4 staples.
- Minimum 4 staples per stake. Dimensions shown are typical.
- 10. Onces borriers shall be a minimum of 1/3 and a maximum of 1/2 the
- 11. Maintenance openings shall be constructed in a manner to ensure sadiment remains behind sit fence.
- 12. Joining sections shall not be placed of sump locations.
- 13. Sandbag rows and layers shall be offset to eliminate gaza.

CROSS BARRIER DETAIL

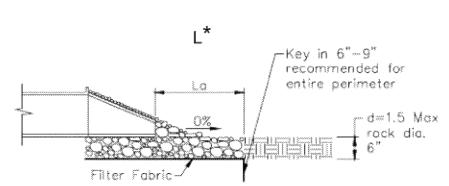


SECTION C-C

Velocity Dissipation Devices



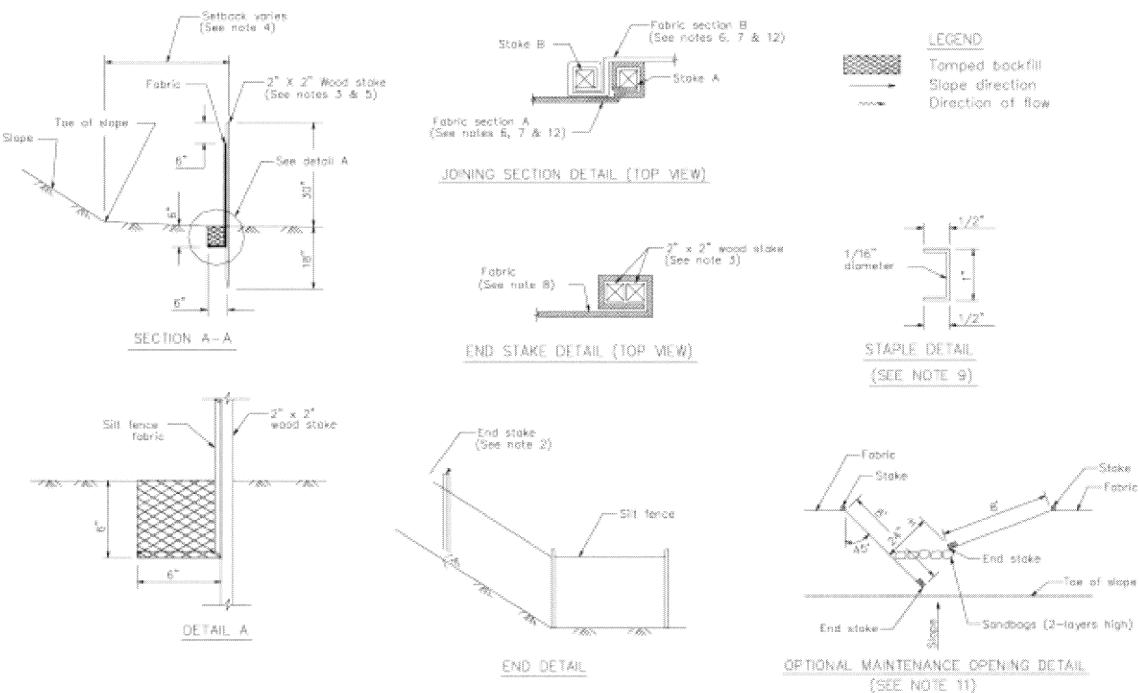
CASQA Detail EC-10



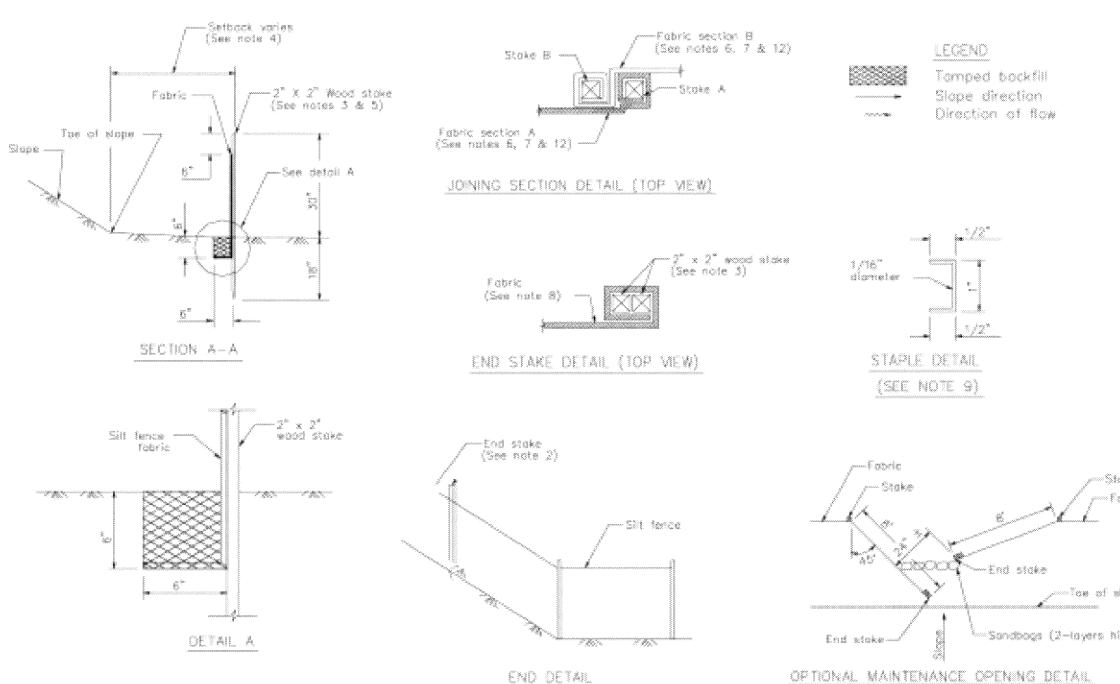
* Length per ABAG Design Standards

SECTION A-A

Silt Fence



CASQA Detail SE-1



CASQA Detail SE-1

STANDARD BEST MANAGEMENT PRACTICE NOTES

- 1. Solid and Demolition Waste Management: Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or
- 2. <u>Hazardous Waste Management</u>: Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- 3. Spill Prevention and Control: Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- 4. <u>Vehicle and Construction Equipment Service and Storage</u>: An area shall be designated for the maintenance, where onsite maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- 5. <u>Material Delivery</u>, <u>Handling and Storage</u>: In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- 6. Handling and Disposal of Concrete and Cement: When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- . Pavement Construction Management: Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- . Contaminated Soil and Water Management: Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or
- 2. Sanitary/Septic Water Management: Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or
- 10. Inspection & Maintenance: Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

1. Sediment Control Management:

<u>Tracking Prevention & Clean Up</u>: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures(tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.

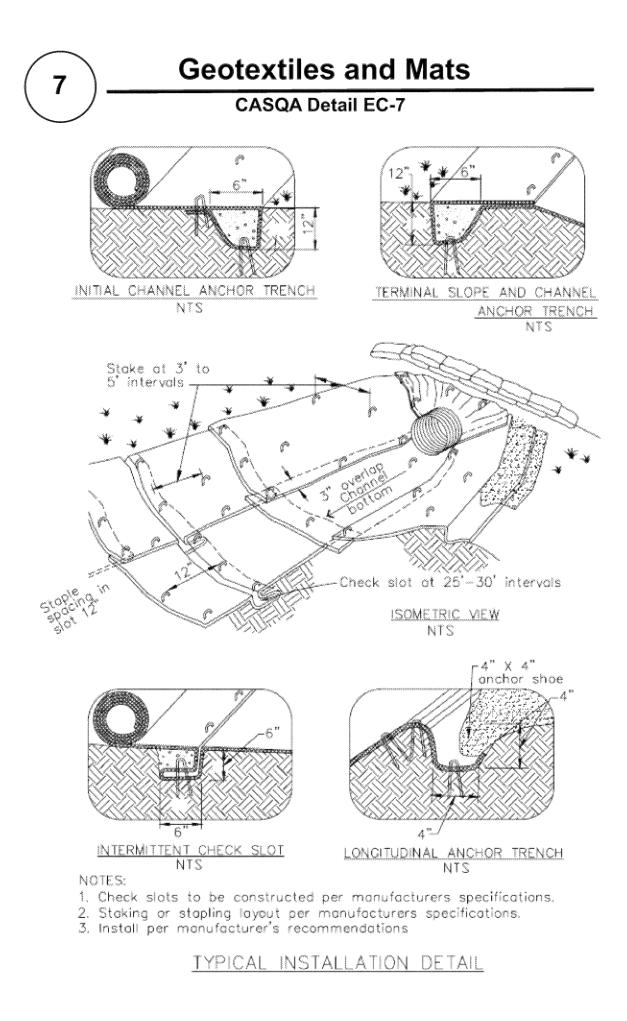
- 2. Erosion Control: During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- 3. <u>Inspection & Maintenance</u>: Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/ or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- 4. Project Completion: Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- 5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- 6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

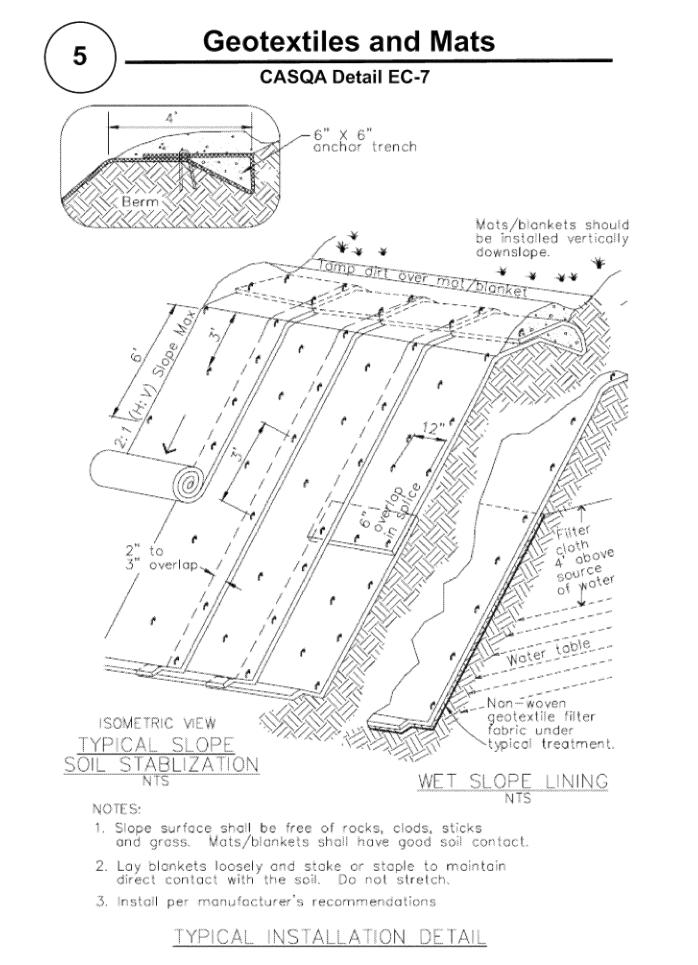
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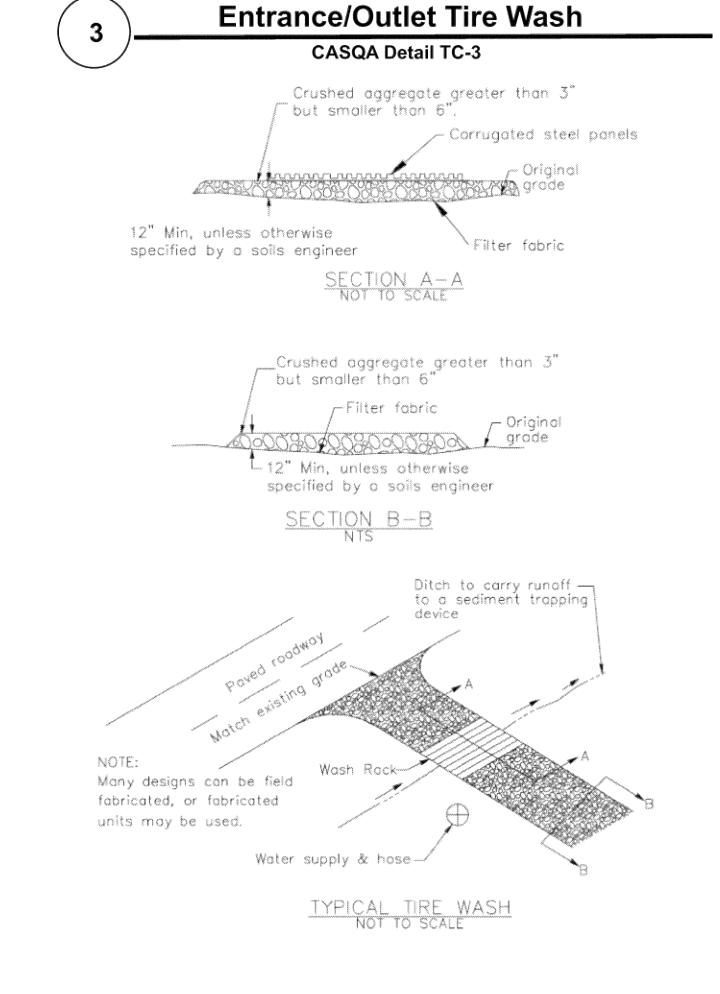
> Information Project

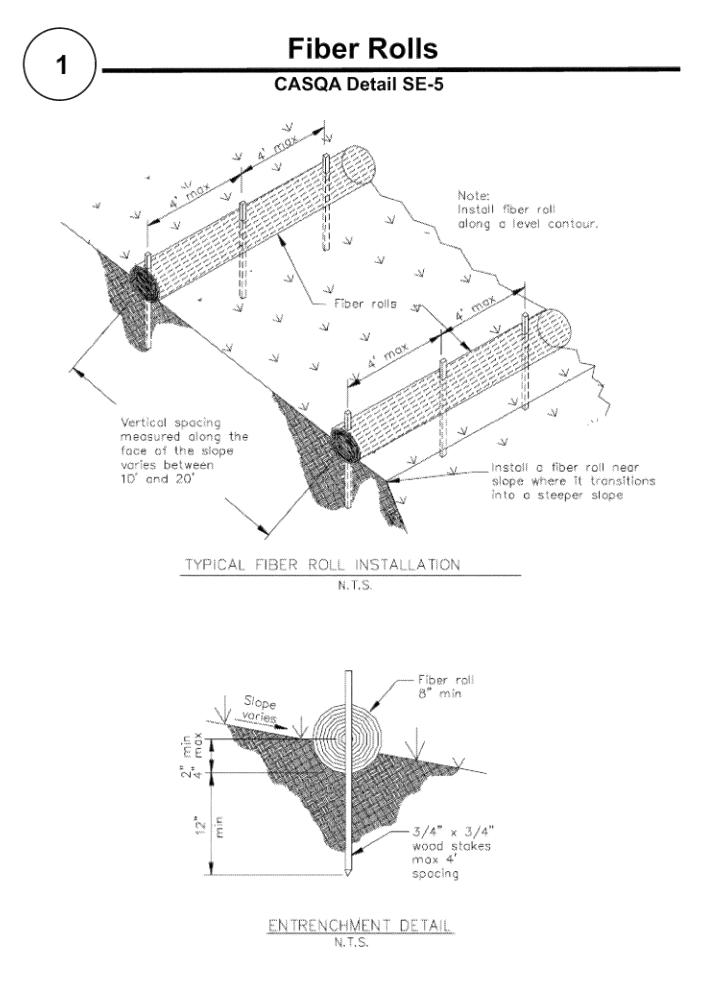
Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

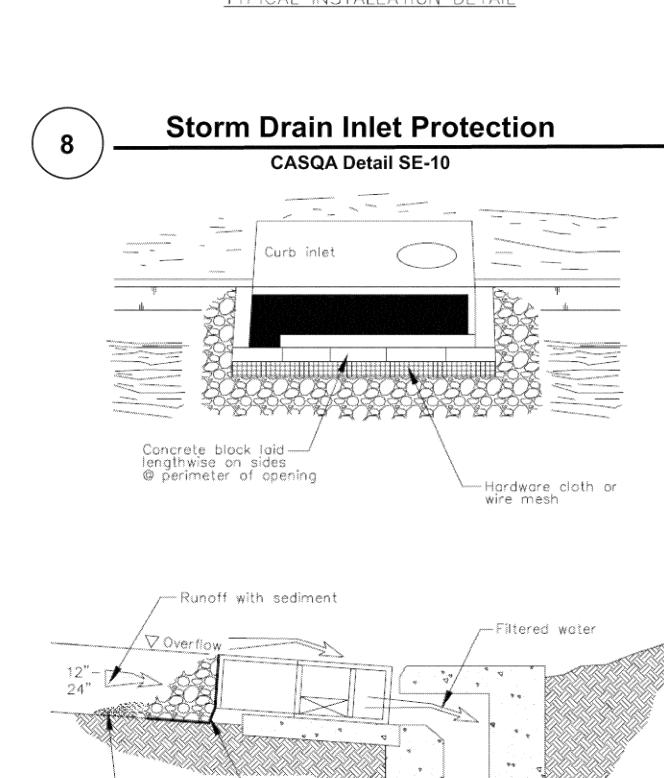
Source for Graphics: California Stormwater BMP Handbook, California











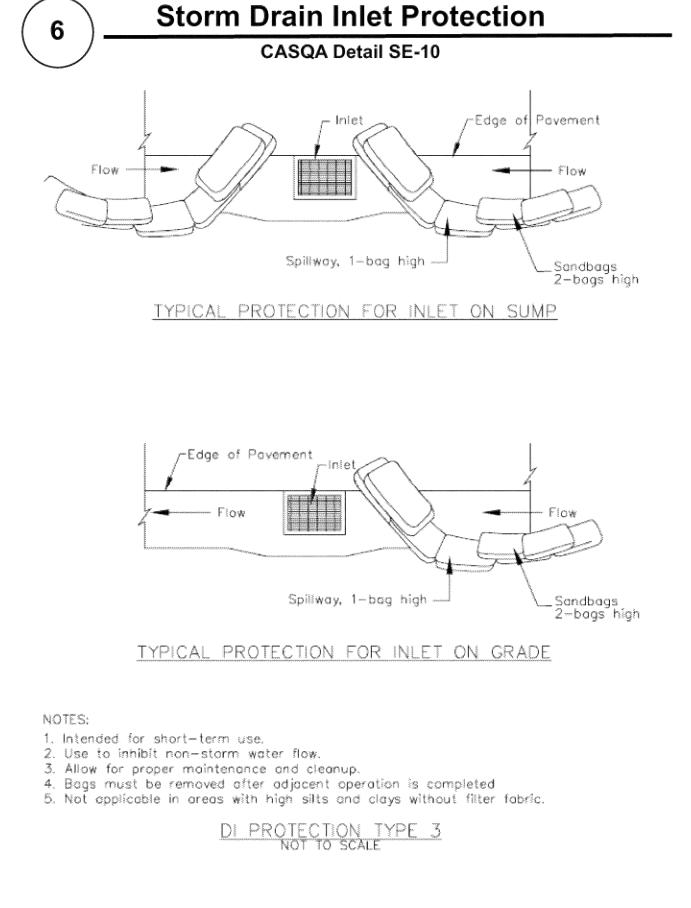
Hordware cloth wire mesh

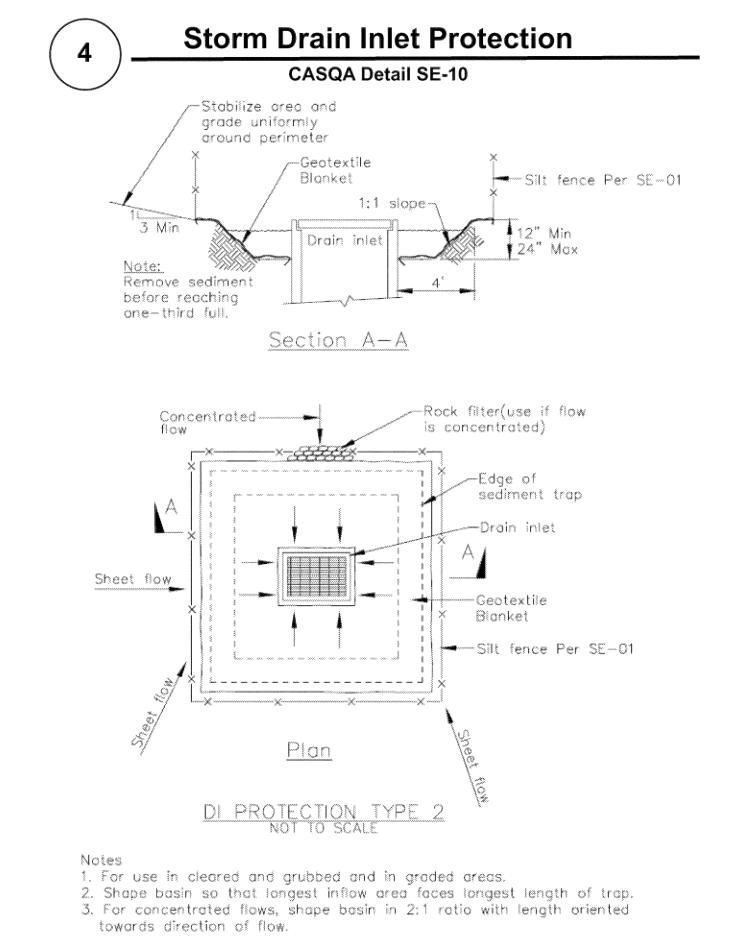
DI PROTECTION - TYPE 4
NOT TO SCALE

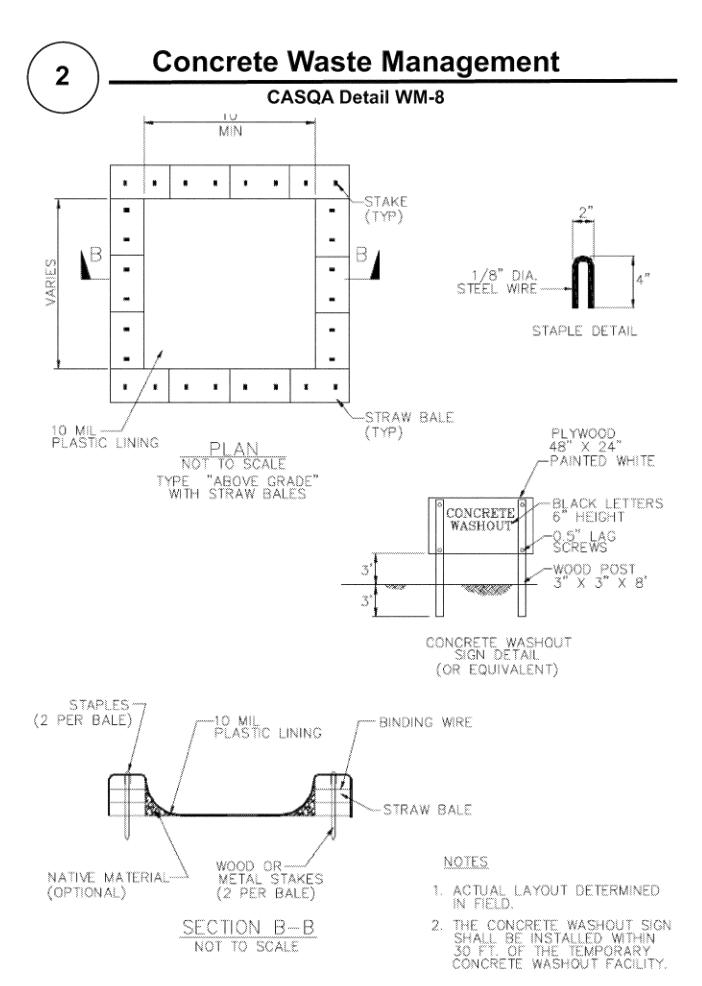
Source for Graphics: California Stormwater BMP Handbook, California

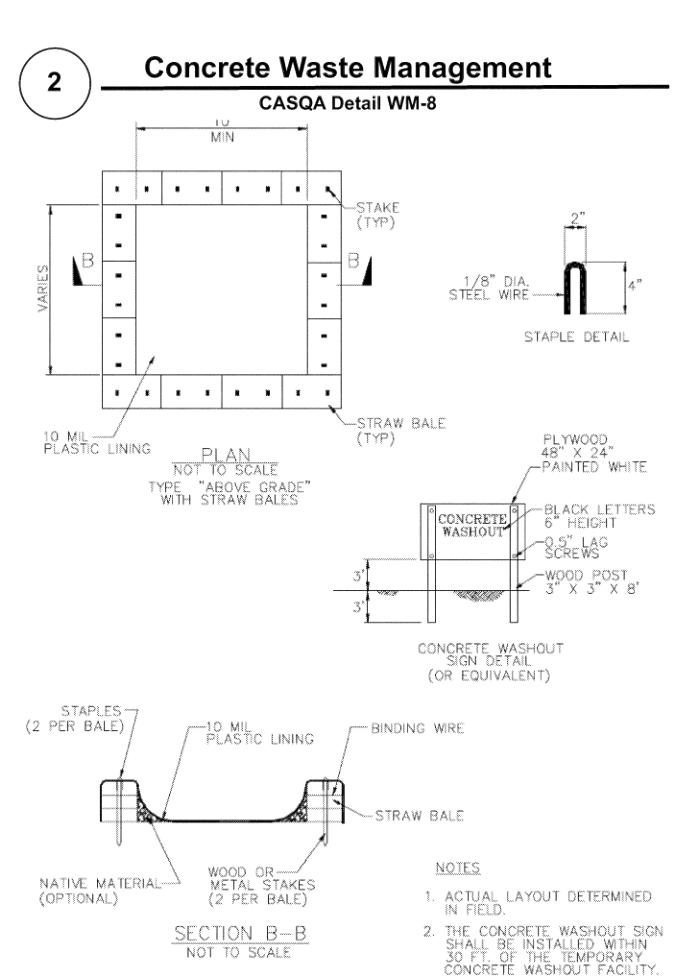
└─ Sediment

Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.









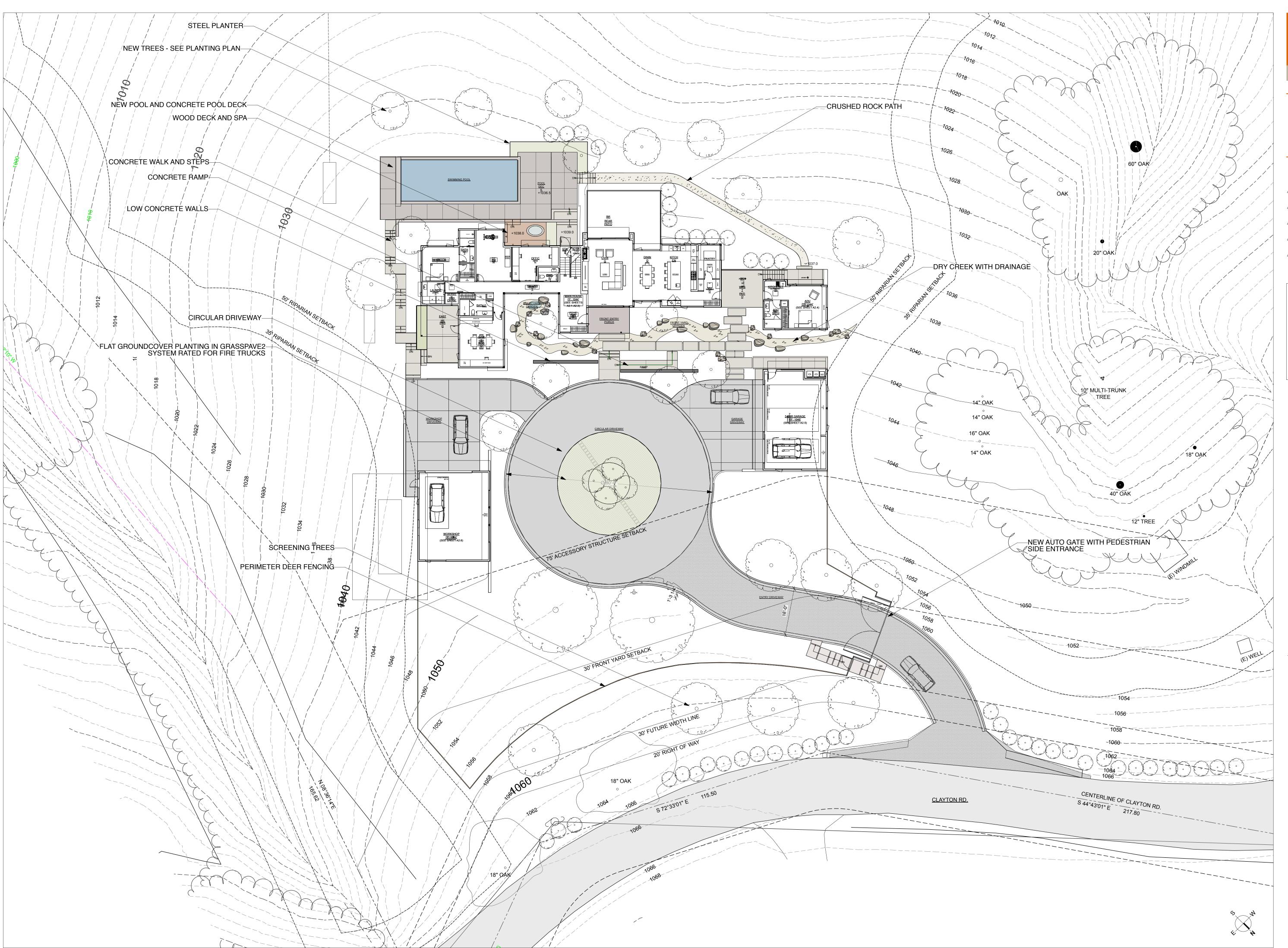
Best Management Practices and Erosion Control Details Sheet 2 County of Santa Clara



IMPROVE

Information

Project BMP-2





1870 Olympic Blvd., Suite 105 Walnut Creek, CA 94596

(T) 925.937.6400 (F) 925.937.6401 www.huettldesign.com

Revisions



HARDIE/ROMERO RESIDENCE

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15475 CLAYTON ROAD SAN JOSE, CA 94587

11/10/2023

ber:

rawn by: cH JH SC

Landscape

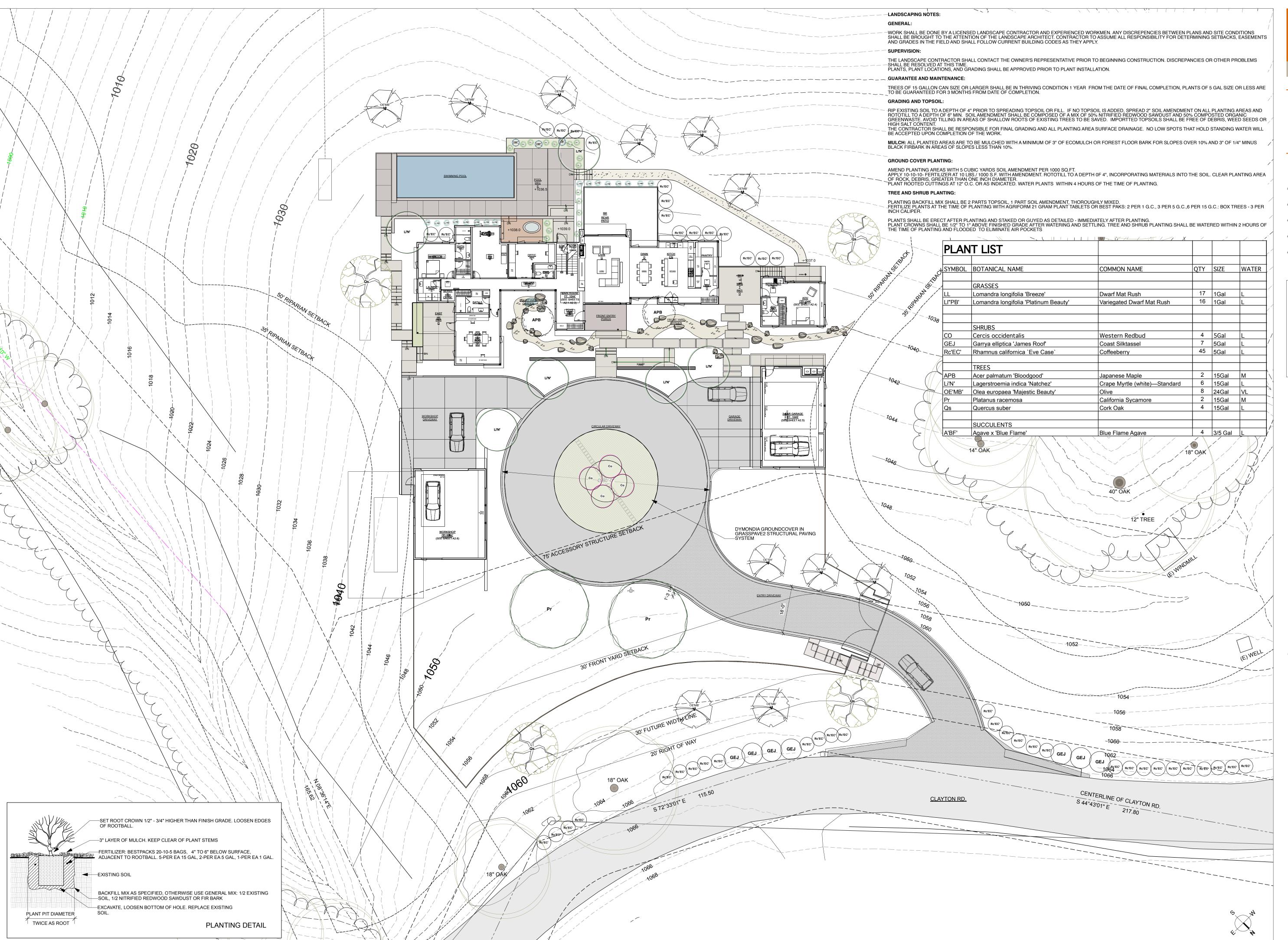
SITE PLAN

Scale: 1" = 16' - 0"

0 4 8 16

Sheet

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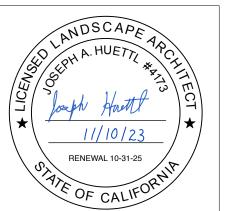


1870 Olympic Blvd., Suite 105 Walnut Creek, CA 94596

(T) 925.937.6400 (F) 925.937.6401

www.huettldesign.com

Revisions



Date

ARDIE/ROMERO RESIDENCE

11/10/2023

er:

Landscape

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PLANTING PLAN

Scale: 1" = 16' - 0"

0 4 8 16

L4.0

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LANDS OF HARDIE

CONVENTIONAL SEWAGE DISPOSAL SYSTEM

0 CLAYTON ROAD, SAN JOSE, CALIIFORNIA

APN: 612-40-001

GENERAL NOTES

- 1. A NEW 2,000 GALLON SEPTIC TANK IS TO BE INSTALLED WITH RISERS TO BE INSTALLED TO GRADE AND THE TANK IS TO BE WATER-TIGHT TESTED PRIOR TO
- 2. TWO DRAIN FIELDS, EACH 100% OF THE TOTAL SIZE REQUIRED, SHALL BE INSTALLED AND INTERCONNECTED WITH AN APPROVED DIVERSION VALVE. THE VALVE MUST BE CAPABLE OF DIRECTING THE SEPTIC TANK EFFLUENT TO ONE DRAIN FIELD AT A TIME.
- 3. DRAINLINE PIPES SHALL BE OF APPROVED, PERFORATED PIPE, AT LEAST FOUR (4) INCHES IN DIAMETER.
- 4. THE TIGHTLINE, FROM THE SEPTIC TANK TO THE DIVERSION VALVE MUST BE ABS OR SCHEDULE 40 PVC JOINED WITH GLUE, CEMEMNT, OR ELASTOMETRIC SEAL, TO BE WATERTIGHT.
- 5. THE DRAINLINE TRENCH BOTTOM MUST BE LEVEL. THE TRENCHES MUST BE 24 INCHES WIDE AND THE TRENCH DEPTH MUST BE A MINIMUM 4 FEET TO A MAXIMUM OF 8 FEET.
- 6. A MINIMUM OF 12 INCHES OF CLEAN. WASHED 3/4 TO 2 1/2 INCH DRAINROCK MUST BE PLACED BENEATH THE DRAINPIPE AND FILLED AROUND AND OVER THE PIPE BY AT LEAST TWO (2) INCHES.
- 7. THE DRAINROCK MUST BE COVERED WITH FILTER FABRIC TO PREVENT CLOGGING THE ROCK WITH EARTH PRIOR TO BACKFILLING THE TRENCH.
- 8. THE CURRENT DISPERSAL FIELD IS TO BE ABANDONED AND TIGHTLINE TO ABANDONED FIELD TO BE CAPPED.

NOTES TO OWNER, CONTRACTOR, & OTHERS

- 1. INSTALLATION OF THIS DESIGN WILL REQUIRE A MINIMUM OF ONE SITE REVIEW BY THE ENGINEER DURING CONSTRUCTION. ADDITIONAL REVIEWS MAY BE REQUIRED DEPENDING ON THE ABILITY OF THE CONTRACTOR TO COMPLETE THE SYSTEM IN A TIMELY MANNER AND PER PLAN. ALL FIELD REVIEWS WILL BE BILLED TO THE OWNER.
- 2. ADDITIONALLY, THE SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH REQUIRES A LETTER OF DESIGN CONFORMANCE ISSUED BY THE ENGINEER ASSESSING DESIGN COMPLIANCE. THIS LETTER IS PREPARED AND SENT UPON COMPLETION OF CONSTRUCTION AND SATISFACTION OF ALL OUTSTANDING INVOICES DUE THE ENGINEER.
- 3. SUBSURFACE CONDITIONS MAY BE COMPLEX AND MAY DIFFER FROM THOSE INDICATED BY SURFACE FEATURES OR AS ENCOUNTERED AT PERCOLATION TEST HOLE OR PROFILE TRENCH LOCATIONS. THEREFORE, ROCK OR OTHER VARIATIONS IN SUBSURFACE CONDITIONS NOT INDICATED IN REPORTS OR SHOWN ON THIS PLAN COULD BE ENCOUNTERED. ASSOCIATED TERRA CONSULTANTS SHOULD BE NOTIFIED IMMEDIATELY IF ANY ADVERSE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION SO THAT TIMELY ACTION CAN BE TAKEN TO MODIFY THIS PLAN AND OR THE SYSTEM HEREIN DESIGNED.
- 4. THIS PLAN AND DESIGN IS BASED ON CURRENT STANDARDS AND TECHNICAL DATA REQUIREMENTS OF THE SANTA CLARA COUNTY PLANNING DEPARTMENT. COMPLIANCE WITH CURRENT COUNTY CODES, STANDARD, AND REQUIREMENTS IS NOT A GUARANTEE OF WARRANTY, EITHER EXPRESSED OR IMPLIED, OF SEPTIC SYSTEM FUNCTION OR PERFORMANCE OF THE SYSTEM.
- 5. ASSOCIATED TERRA CONSULTANTS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USE OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY ASSOCIATED TERRA CONSULTANTS. IN ADDITION, THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE FUNCTION OF ANY OF THE SYSTEM COMPONENTS MANUFACTURED/DESIGNED BY OTHERS.
- 6. THE CONSTRUCTION CONTRACTOR AGREES IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL EXEMPT FROM ANY AND ALL LIABILITY IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- 7. PRINTS OF THESE PLANS USED IN CONSTRUCTION MUST HAVE A "WET" STAMP OF APPROVAL APPLIED BY THE SANTA CLARA COUNTY PLANNING DEPARTMENT TO INDICATE THAT A PERMIT TO INSTALL THE SEPTIC SYSTEM HAS BEEN GRANTED. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR CONSTRUCTION DONE WITHOUT PERMITS OR THE COUNTY APPROVED PLAN(S).
- 8. THE SITE EXHIBITS ASSOCIATED WITH THE PRODUCTION OF THESE PLANS DOES NOT REPRESENT A BOUNDARY DETERMINATION OR COMPLETE TOPOGRAPHIC SURVEY OF THE SITE. ONLY MAPPING WITHIN THE IMMEDIATE VICINITY OF THE PROPOSED SYSTEM HAS BEEN VERIFIED BY THIS OFFICE. PROPERTY LINES SHOWN IN THESE EXHIBITS ARE FOR GENERAL REFERENCE ONLY. ANY USE OF THESE PLANS OTHER THAN FOR INSTALLATION OF THE PROPOSED SEPTIC SYSTEM IS A THE RISK OF THE DEVELOPER.
- 9. SHOULD TREE ROOT ZONE BE IMPACTED, IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONSULT WITH A QUALIFIED ARBORIST TO DETERMINE THE APPROPRIATE COURSE OF ACTION.

PROJECT CONTACT INFORMATION

DESIGNER INFORMATION

OWNER INFORMATION

ASSOCIATED TERRA TERRY HARDIE CONSULTANTS, INC. 228 APPIAN WAY UNION CITY, CALIFORNIA 84587 1725 DELL AVENUE CAMPBELL, CALIFORNIA 95008

TERRYH@ORCAS.NET

OFFICE@ATERRACON.COM

(408) 866-1067

CONSTRAINTS & DESIGN CRITERIA

THIS DESIGN IS FOR A CONVENTIONAL SYSTEM PROPOSED TO SERVE A FIVE (5) BEDROOM PRIMARY RESIDENCE AND A TWO (2) BEDROOM ACCESSORY DWELLING UNIT AT O CLAYTON ROAD, APN: 612-40-001, SANTA CLARA COUNTY, CALIFORNIA.

THE PROPOSED SYSTEM IS DESIGN WITH A WASTEWATER FLOW OF 450 GALLONS PER DAY (GPD) PER COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH GUIDELINES.

- 1. SOILS PROFILES DID NOT EXHIBIT ANY EVIDENCE OF SEASONALLY HIGH GROUNDWATER CONDITIONS. SEASONALLY HIGH GROUNDWATER IS ESTIMATED TO OCCUR AT GREATER THAN FIVE (8) FEET BELOW GRADE. GROUNDWATER WAS NOT DETECTED.
- 2. NO SPRINGS OR WATERCOURSES ARE SITUATED WITHIN 50 FEET OF THE PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM (OWTS).
- 3. NO WELLS ARE SITUATED WITHIN 100 FEET OF THE PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM (OWTS).
- 4. THIS SITE IS SERVICED BY A PRIVATE WELL

EROSION AND SEDIMENT CONTROL

- 1. PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE LATEST EDITION OF THE CBC AND THE SANTA CLARA COUNTY CODE.
- 2. DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15, EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.
- 3. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE.
- 4. THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED ON THE SITE. IF QUESTIONS REGARDING THE COUNTY SPECIFIED BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL CALL ASSOCIATED TERRA CONSULTANTS.
- 5. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE AND AFTER STORM EVENTS.
- 6. CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MAY RESULT IN RESPONSE TO FIELD CONDITIONS.
- ENTRANCES TO SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY R.O.W. SHALL BE DISPOSED OF AS THEY OCCUR.
- 8. EXPOSED SLOPES SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES. FIBER ROLL SILT BARRIERS AND SILT FENCES SHALL BE KEYED INTO THE SOILS AND INSTALLED ON COUNTOUR.
- 9. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICABLE AFTER GRADING. GROUND SHALL BE COMPLETELY COVERED.
- 10. STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS.
- 11. SOIL STOCKPILES SHALL BE PROPERLY PROTECTED TO MINIMIZE RUNOFF.
- 12. SOLID WASTE AND CONSTRUCTION MATERIALS SHALL BE PLACED IN DESIGNATED COLLECTION ARES AND DISPOSED OF AT APPROVED DISPOSAL SITES.
- 13. ALL UNDERGROUND BOXES REQUIRE INSTALLATION OF GOPHER-RESISTANT
- 14. NO FOUNDATION AND/OR DRIVEWAY CUTS AND NO SURFACE OR SUB-SURFACE DRAINS ARE TO BE LOCATED WITHIN 50 FT DOWN SLOPE OR LATERALLY OF THE PRIMARY OR RESERVE/REPAIR AREA OF ANY LEACH FIELD. DIRECT DOWN SPOUTS AWAY FROM LEACHFIELD.

SYSTEM DESIGN CRITERIA

AVERAGE PERCOLATION RATE: 26.53 MPI

APPLICATION RATE: .58 GPD/SQ FT2

EFFECTIVE INFILTRATION AREA: 4 SQ FT

WASTEWATER FLOW 5 BEDROOM PRIMARY RESIDENCE 2 BEDROOM ADU TOTAL GALLONS PER DAY:

L = Trench length Q = Wastewater flowR = Application rate

L = Q/(R*A)

L = 388 LF

Two dispersal fields, primary (A) and secondary (B), of 388 LF

SHEET 3 SEPTIC SYSTEM PLAN SHEET 4 ARCHITECTURAL PLANS

SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH SR No. SR0870174

SEWAGE SYSTEM REVIEW

Up to 5-BR SFR and 2-BR ADU (total design flow 900 GPD)

APPROVAL RECOMMENDED

____ With existing System (Existing No. _____) X Install/modify system per plan (describe below)

Install 2,000 gallon septic tank, d-valve, and 388' + 388' dispersal fields

[Obtain a permit from Environmental Health]

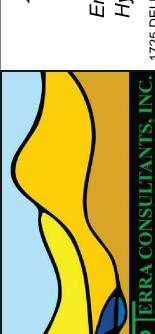
Not A Sewage System Permit. *Plan is void if absent signature*

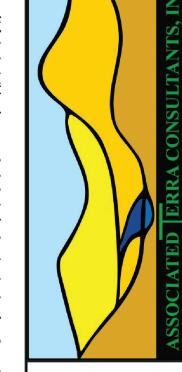
SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH USE ONLY

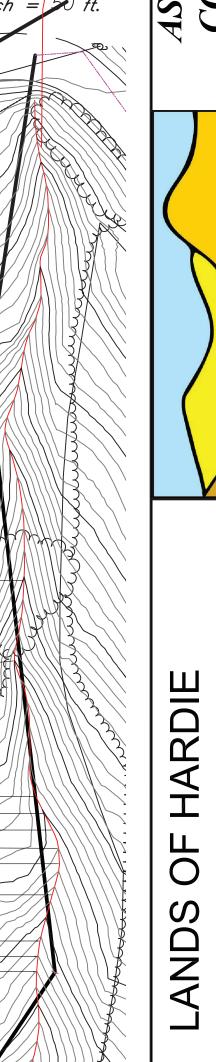




GRAPHIC SCALE







STAGES TO BE INSPECTED

INSPECTIONS BY ENGINEER ONLY

4. FINAL INSPECTION.

INSPECTION OF IMPORTED MATERIALS.

ENVIRONMENTAL HEALTH REVIEW STAFF

CONTRACTOR IS REQUIRED TO HAVE ENGINEER AND/OR SANTA

CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH

INSPECT THE CONSTRUCTION AT THE FOLLOWING STAGES.

FAILURE TO REQUEST THESE INSPECTIONS WILL RESULT IN THE

CONTRACTOR HAVING TO UN-EARTH AND RE-DO THE WORK.

THE ENGINEER MUST ISSUE AN INSPECTION REPORT TO THE

COUNTY PRIOR TO ACCEPTANCE OF THE SYSTEM BY THE

COUNTY. THE CONTRACTOR SHALL GIVE 48-HOUR ADVANCE

INSPECTIONS BY SANTA CLARA COUNTY DEPARTMENT OF

NOTICE TO THE ENGINEER FOR ANY OF THESE INSPECTIONS:

CHECKING THE LAYOUT; LINE AND GRADE, STAKES.

3. SEPTIC & SUMP TANK WATER TIGHTNESS TEST.

600

A = Effective infiltration area

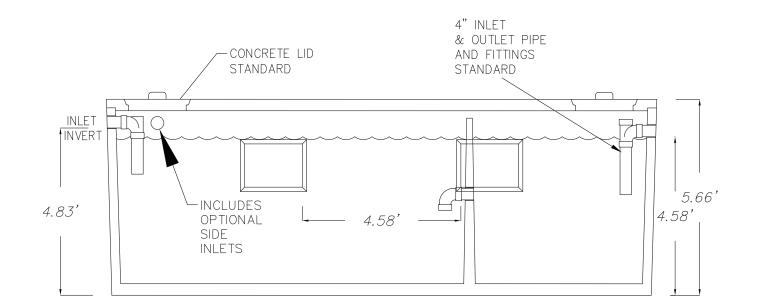
L = 900/(.58*4)

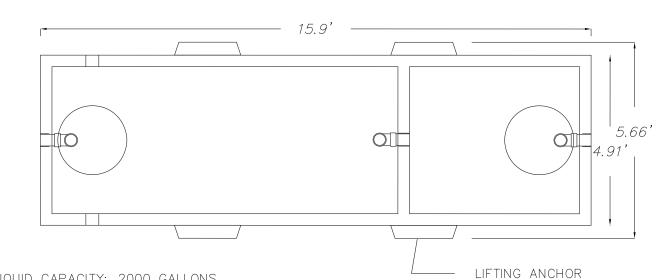
and 388 LF; total 776 LF.

SHEET INDEX

SHEET 1 SEPTIC SYSTEM NOTES SHEET 2 SEPTIC SYSTEM DETAILS

2000 GALLON RESIDENTAL SEPTIC TANK MODEL JS2000 ACCEPTED BY UPC®





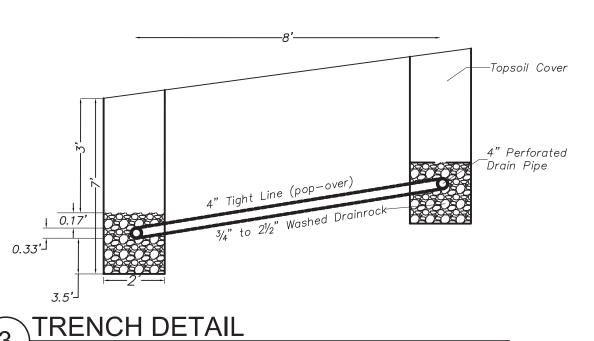
LIQUID CAPACITY: 2000 GALLONS BOX DESIGN LOAD: NON-TRAFFIC, UP TO 3 FEET OF SOIL COVER, MAXIMUM 500 PSF.

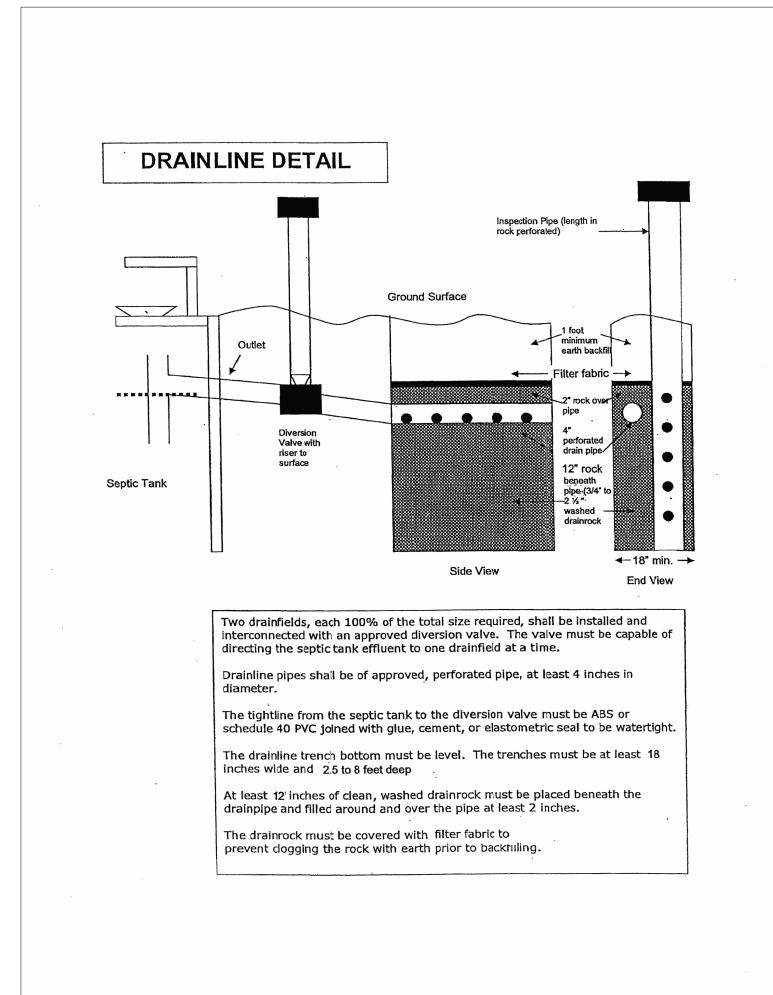
FOR COMPLETE DESIGN AND PRODUCT INFORMATION CONTACT JENSEN PRECAST.

JUU_B.dwg 4 Jensen Precast	
EPTIC TANK	

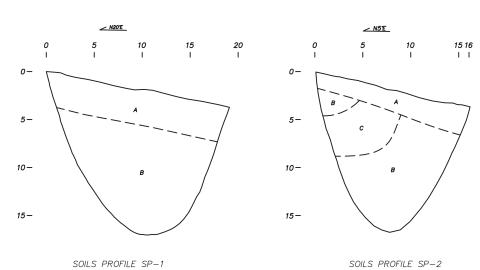
SEPTIC FIELD LAYOUT				
LINE LABEL	LENGTH (FT) FIELD A	LINE LABEL	LENGTH (FT) FIELD B	
A1	50	B1	50	
A2	50	B2	50	
А3	50	В3	50	
A4	50	B4	50	
A5	50	B5	50	
A6	50	В6	13	
A7	50	В7	30	
A8	38	B8	50	
		B9	45	
TOTAL	388	TOTAL	388	
TOTAL	776 FT			

LEACH LINE TABLE



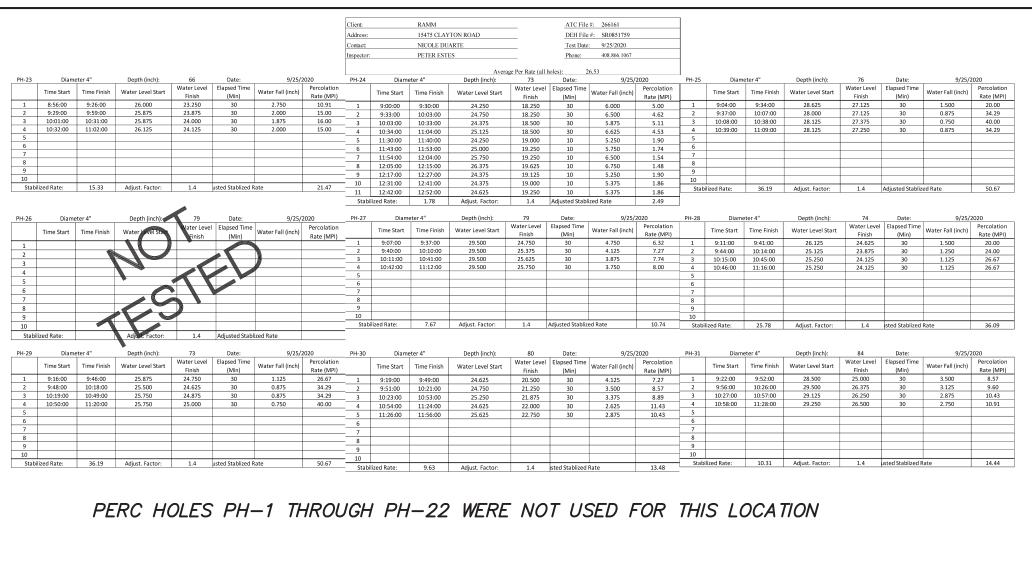


\DRAINLINE DETAIL



medium plasticity, firm; vertisol and some organics at surface.

siltstone clasts approximately 2-3 inches with limonite



PERCOLATION TESTING RESULTS

Subject: VERIFICATION OF VALIDITY OF PERCOLATION TESTING APN: 612-40-001

O Clayton Road, Santa Clara County, California

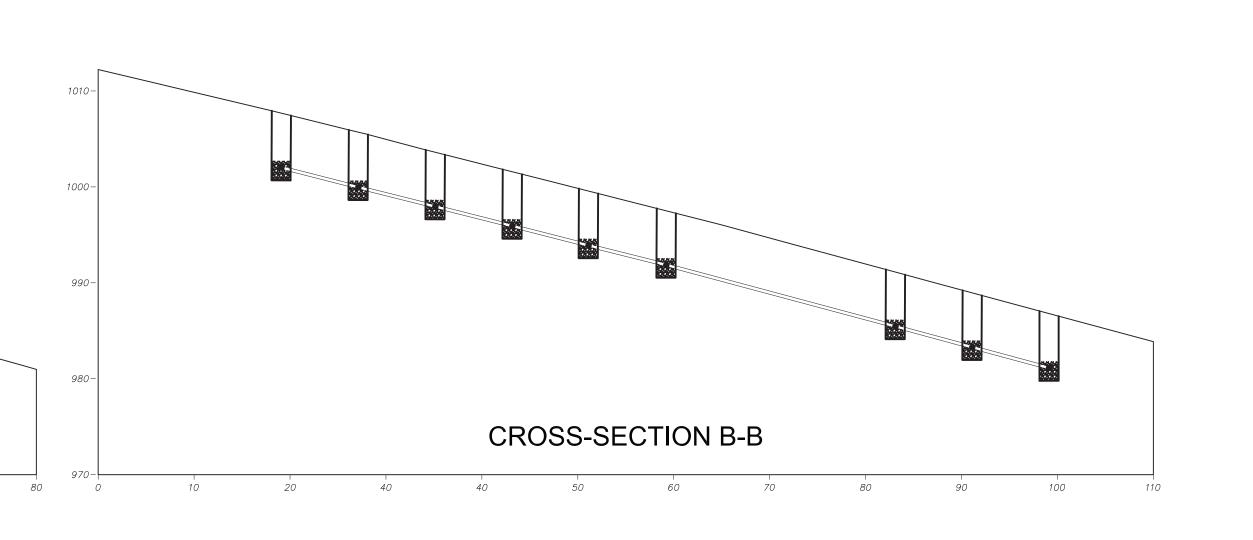
Dear Mr. Hardie:

This letter verifies to the validity of the percolation tests conducted at 0 Clayton Road, San Jose, California, on September 25, 2020. These tests were set up and conducted in accordance with the County standards, including the pre-soak procedure. Associated Terra Consultants, Inc. personnel personally observed the site and conducted all of the testing. Santa Clara County Department of Environmental Health personnel were also on site to observe and verify the percolation testing.

We are pleased to have been of service to you at this time. Please do not hesitate to call us if you have any questions regarding this project, or if we can be of any other service. Thank you.

Very truly yours, ASSOCIATED TERRA CONSULTANTS, Inc.

Nicole H. Duarte Project Engineering Geologist



HARDIE OF LANDS

JETSET PRECAST_®

EXPLANATION

A - CLAY, black to purplish, dry to damp with depth, high to

B — SANDY SILT, greyish green, damp, low plasticity, firm; some staining, griable and angular.

C - SANDY CLAY, medium brown, damp, high to medium plasticity, firm.

SOILS PROFILES

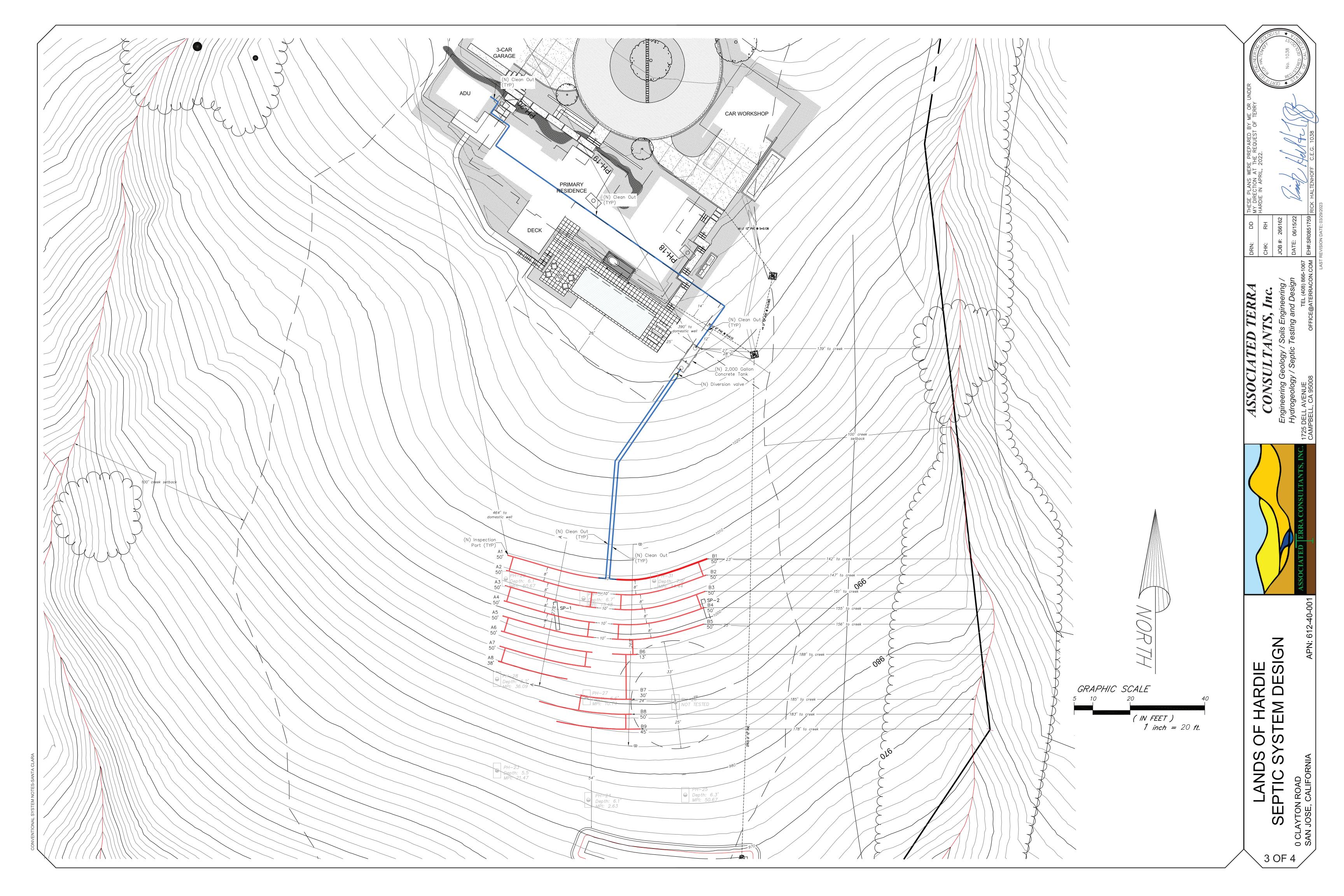
CROSS-SECTION A-A

NO SCALE

CROSS-SECTION A-A AND B-B

NO SCALE

NO SCALE





ASSOCIATED TERRA

CONSULTANTS, Inc.

Engineering Geology / Soils Engineering /
Hydrogeology / Septic Testing and Design

TEL (408) 866

MPBELL, CA 95008
OFFICE@ATERRACON

HARDIE IRAL PLANS

LANDS (ARCHITEC