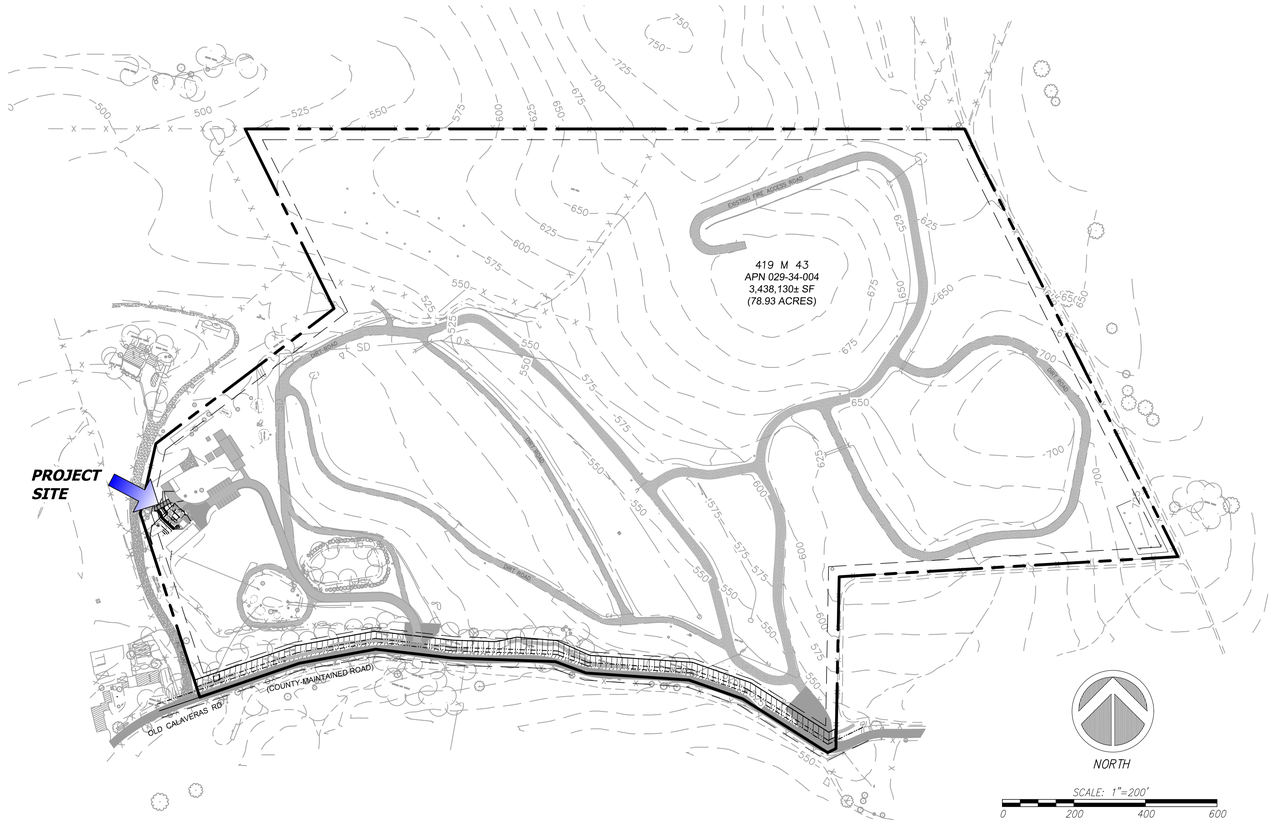
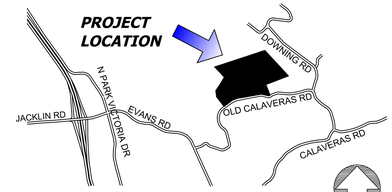
GOKULAM, LLC

SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING

APN: 029-34-004





VICINITY MAP
SCALE: NTS

GENERAL NOTES

NO CHANGE TO THE GRADING PLAN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY THE OWNER OR OWNERS REPRESENTATIVES.

CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS AND INVERTS OF EXISTING UTILITY PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVES OF VARIANCE FROM THOSE SHOWN ON THE PLANS.

UNDERGROUND FACILITIES AND UTILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND IN FIELD. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. PRIOR TO CONSTRUCTION, DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE SAME FROM DAMAGE. PRIOR TO CONSTRUCTION, VERIFY LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AT THE CROSSING POINTS WITH PROPOSED UTILITIES. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVES IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITION HAS BEEN EVALUATED. CONTACT UNDERGROUND SERVICES ALERT (USA) (1-800-227-2600) TWO (2) WEEKS PRIOR TO DIGGING. REPAIR UNDERGROUND UTILITIES DAMAGED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES ASSOCIATED WITH CONTRACTOR'S FAILURE TO EXACTLY LOCATED AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. AND SHALL NOTIFY U.S.A. @ (800) 227-2600 AT LEAST 48-HOURS IN ADVANCE OF EXCAVATION.

IF ANY INDICATIONS OF ARCHEOLOGICAL REMIANS ARE ENCOUNTERED DURING GRADING ACTIVITIES FOR ANY DEVELOPMENT WITHIN THE PROJECT SITE, ALL WORK SHALL BE HALTED WITHIN 200 FOOT RADIUS OF THE FIND. OWNER SHALL RETAIN A QUALIFIED ARCHEOLOGIST RETAINED TO DETERMINE THE NATURE OF THE DISCOVERY AND RECOMMEND APPROPRATE EVALUATION PROCEDURES.

PROJECT DATA

ADDRESS:	2425 OLD CALAVERAS ROAD, MILPITAS, CA 95035
ZONING DESIGNATION:	D2 - HS - HILLSIDE
APN:	029-34-004
LOT SIZE:	78.93 ACRES (3,438,191 SQ. FT.)
BUILDING AREA:	1849 SQ. FT. OF COVERED AREA
	1849 SQ. FT. (BUILDING AREA TOTAL)
	0.054% OF ENTIRE LOT
TYPE OF CONSTRUCTION:	TYPE 1
OCCUPANCY GROUP:	U
SPRINKLERED:	YES

APPLICABLE CODES

ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND THE CODES LISTED BELOW OR THE MOST CURRENT CODES AND ORDANCENCES AT THE TIME OF SUBMITTAL:

2019 CALIFORNIA CODES

1. 2019 CALIFORNIA BUILDING CODE
2. 2019 CALIFORNIAELECTRICAL CODE
3. 2019 CALIFORNIA MECHANICAL CODE
4. 2019 CALIFORNIA PLUMBING CODE
5. 2019 CALIFORNIA GREEN BUILDING CODE
6. 2019 CALIFORNIA ENERGY CODE
7. 2019 CALIFORNIA RESIDENTIAL CODE
8. 2019 CALIFORNIA FIRE CODE

INDEX OF SHEETS

OWNER/DEVELOPER:

GOKULAM LLC.
680 E.CALAVERAS BLVD.
MILIPITAS , CA 95035
PHONE-(408) 833-9743
EMAIL: gokulam@ihf-usa.org

CIVIL ENGINEER:

C2G/CIVIL CONSULTANTS GROUP, INC
4444 SCOTTS VALLEY DRIVE STE. 6
SCOTTS VALLEY, CA 95066
OFFICE: (831) 438-4420

SURVEYOR

ALPHA LAND SURVEYS, INC.
4444 SCOTTS VALLEY DRIVE STE. 7
SCOTTS VALLEY, CA 95066
OFFICE: (831) 438-4453

SEPTIC

LC ENGINEERING
598 E. SANTA CLARA ST. , SUITE #270
SAN JOSE, CA 95112
OFFICE: (510) 236-6114 EXT. 211

CONTRACTOR RESPONSIBILITY

CONTRACTOR AGREES THAT HE SHOULD ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED DURING WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

DISCREPANCIES

IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE DESIGN PROFESSIONAL FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

CONSTRUCTION SURVEYING / STAKING

CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL SURVEYING AND OR STAKING BY A LICENSED SURVEYOR FOR ALL CONSTRUCTION PURPOSES.

ADDITIONAL NOTES

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

- THE STANDARD SPECIFICATIONS AND DETAILS, LATEST EDITION, OF THE COUNTY OF SANTA CLARA SHALL GOVERN UNLESS OTHERWISE SPECIFIED HEREIN.

UNAUTHORIZED CHANGES AND USES

CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THE PLANS

PROJECT EARTHWORK QUANTITIES

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL AND OVER EXCAVATION AND RECOMPACTION, UTILITY TRENCH SPOILS & SOIL EXPANSION AND CONTRACTION FACTORS.

DESCRIPTION	CUT (cu.yds)	FILL (cu.yds)	NET (cu.yds)	MAX CUT (ft) HEIGHT	MAX FILL (ft) HEIGHT
BLDG + 5' PERIMETER	25	120	95(F)	2.5	3
SITE GRADING & DWY	23	155	132(F)	1.5	2
TOTAL	48	275	227(F)		

NET VOLUME = 227 CU.YDS. OF FILL

THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY CUT AND FILL TO ACCOMPLISH FINISH GRADE SHOWN ON THESE PLANS.

USA NORTH 811 Call 811 Before You Dig

REVISIONS	BY

COVER

REGISTERED PROFESSIONAL ENGINEER
TODD R. CREAMER
No. C 64561
Exp. 6/30/23
CIVIL
STATE OF CALIFORNIA

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2425 OLD CALAVERAS ROAD, MILPITAS
APN: 029-34-004

Date:	12/06/2022
Scale:	AS SHOWN
Drawn:	DD
Job:	3007.03b
Sheet:	C0.1
Of	18 Sheets

Drawing: C:\Users\steve\Applications\Local\Temp\AcPublish_15.5\A01 3007.03 - C0.1 - COVER.dwg Layout: C0.1 - COVER Last Saved: Mon, Dec 05, 2022 - 4:23pm Last Plotted: Tue, Dec 06, 2022 - 8:24am By: steve

OVERALL SITE PLAN

S72°50'32"W 2010.34'

3/4 I.P. PER 419M43

3/4 I.P. W/ BRASS CAP MARKED AC21 PER 419M43

N42°33'00"W 962.12'

30' SB

10,000 GALLON DOMESTIC USE (NEW)

PAD=698

209,292 GALLON STEEL TANK FOR FIREFLOW & IRRIGATION(NEW)

FIRE PUMP HOUSE

2" FILL LINE

1 – 6" W

1 – 2" W

PERMANENT FENCE

LEACH FIELD

150'

17'

SEWER FORCE LINE

RECLAMATION BOUNDARY

EXISTING FIRE ACCESS ROAD

EXISTING WELL

100'

150'

S43°29'44"E 560.16'

FM

3/4 I.P. PER 419M43

419 M 43
APN 029-34-004
3,438,130± SF
(78.93 ACRES)

DIRT ROAD

SD

S35°40'00"W 625.00'

EXISTING STORAGE SHED TO REMAIN

FEED STORAGE SHED TO REMAIN

SEWER GRAVITY LINE

3/4 I.P. PER 419M43

CARPORT FOR THE UTILITY VEHICLE TO REMAIN

LIVESTOCK SHELTER TO REMAIN

200.00'

150'

100'

40'

EXISTING WELL

S04°30'00"E 200.00'

STANDARD FIRE HYDRANT

22' WIDE FIRE ACCESS ROAD

ROAD WIDTH TRANSITION AREA

AG SHED TO REMAIN

SEE SHEET C2.1

S35°07'43"E 540.01'

30' SB

24' WIDE FIRE ACCESS ROAD

42"RCP

30"CMP

SUB

FWL

ROW

30' SB

RECLAMATION BOUNDARY

N62°25'00"E 215.99'

N79°26'30"E 214.88'

N74°48'40"E 288.93'

N86°42'20"W 91.42'

N76°44'16"E 288.52'

S87°52'00"E 159.15'

S74°47'20"E 280.99'

ROW CL

N54°03'30"E 294.15'

3/4 I.P. PER 419M43

(COUNTY-MAINTAINED ROAD)

OLD CALAVERAS RD

30' SB

N69°26'38"E 948.83'

3/4 I.P. W/ BRASS CAP MAKRED AC15 PER 419M43

3/4 I.P. W/ BRASS CAP MAKRED AC14 PER 419M43

N16°06'00"W 480.36'

RWD 2X2 W/ NAIL PER 419M43

25.35'

3/4" I.P. W/ BRASS CAP MARKED DWR

RECLAMATION BOUNDARY

N42°45'35"W 1240.18'

DIRT ROAD

PROPOSED EASEMENTS

PUBLIC STORM DRAINAGE EASEMENT

ROW DEDICATION TO THE COUNTY OF SANTA CLARA

PROJECT DATA

IMPERVIOUS AREA		
DESCRIPTION	SQ. FT.	ACRES
ROOF	1706	0.0392
CONC.	2725	0.0626
TOTAL	4431	0.1017

FIRE PROTECTION NOTES

1. ALL DRIVEWAYS AND ACCESS ROADS TO MEET COUNTY STANDARD SD1
2. ALL DRIVEWAYS, ACCESS ROAD AND PARKING LOTS TO BE MADE OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS AND HAVE A MAXIMUM SLOPE OF 16%
3. FIRE HYDRANT SHALL MEET STANDARDS SET IN CFMO–W2
4. WATER TANK SHALL BE SIZED PER NFPA 1142 TO INCLUDE HYDRANT DEMAND
5. ALL STRUCTURES SHALL MEET WILDLAND URBAN INTERFACE (WUI) REQUIREMENTS
6. ALL DEFERRED SUBMITTALS FOR FIRE PROTECTION UNDERGROUND, FIRE HYDRANTS, WATER TANKS & FIRE PUMP.
7. PROPERTY TO MAINTAIN 100 FEET DEFENSIBLE SPACE AT ALL TIMES.
8. STRUCTURES SHALL CONFORM TO WUI BUILDING REQUIREMENTS.
9. **LABEL NFPA 13 FIRE SPRINKLER SYSTEM AS A DEFERRED SUBMITTAL**

ABBREVIATIONS

CENTERLINE	CL	STORM DRAIN	SD
MINIMUM	MIN	SANITARY SEWER CLEAN OUT	CO
MONUMENT	MON	SANITARY SEWER EASEMENT	SSE
MONUMENT WELL	MW	SANITARY SEWER/LATERAL	LAT
NAIL AND SHINER	N/S	STATION	STA
NOT TO SCALE	NTS	SIDEWALK	SW
OVERHEAD	OH	TOP OF BANK	TB
ORIGINAL GROUND	OG	TOP OF CURB	TC
PAVEMENT FINISH GRADE	PVG	TEMPORARY	TEMP
PAD ELEVATION	PAD	TOP OF GRATE	TG
PATHWAY EASEMENT	PWE	TREE PROTECTION FENCE	TPF
PROPERTY LINE	PL	TOP OF WALL	TW
POWER POLE	PP	TYPICAL	TYP
PAVEMENT	P	UTILITY VAULT	UV
POLYVINYL CHLORIDE	PVC	WATER	W
RADIUS	R	WALKWAY	WLK
RETAINING WALL	RW	WATER METER	WM
REMOVE	(R)	WATER VALVE	WV
RIGHT OF WAY	ROW	ONSITE WASTEWATER	OSWW

LEGEND

RECLAMATION LINE		SANITARY SEWER CLEANOUT	SS
RECYCLING CUP BOUNDARY		SANITARY SEWER MANHOLE	SS
PROPERTY LINE		STORM DRAIN MANHOLE	SD
LOT LINE		STORM DRAIN INLET	
EASEMENT LINE		WATER METER	WM
EDGE OF PAVEMENT		ELECTRICAL METER VALVE	EV
UTILITY LINE		FIRE HYDRANT	
ROADSIDE SIGN & SIGN CODE	R1	STREET LIGHT	
FENCE	x x x	POWER POLE	
TREE/SHRUB		PULL BOX	
CONTOUR LINES	530	SECTION NUMBER	1
STANDARD MONUMENT		SHEET NUMBER	C3.1
BENCH MARK			

NORTH

SCALE: 1"=100'

0 100 200 300 400

REVISIONS	BY

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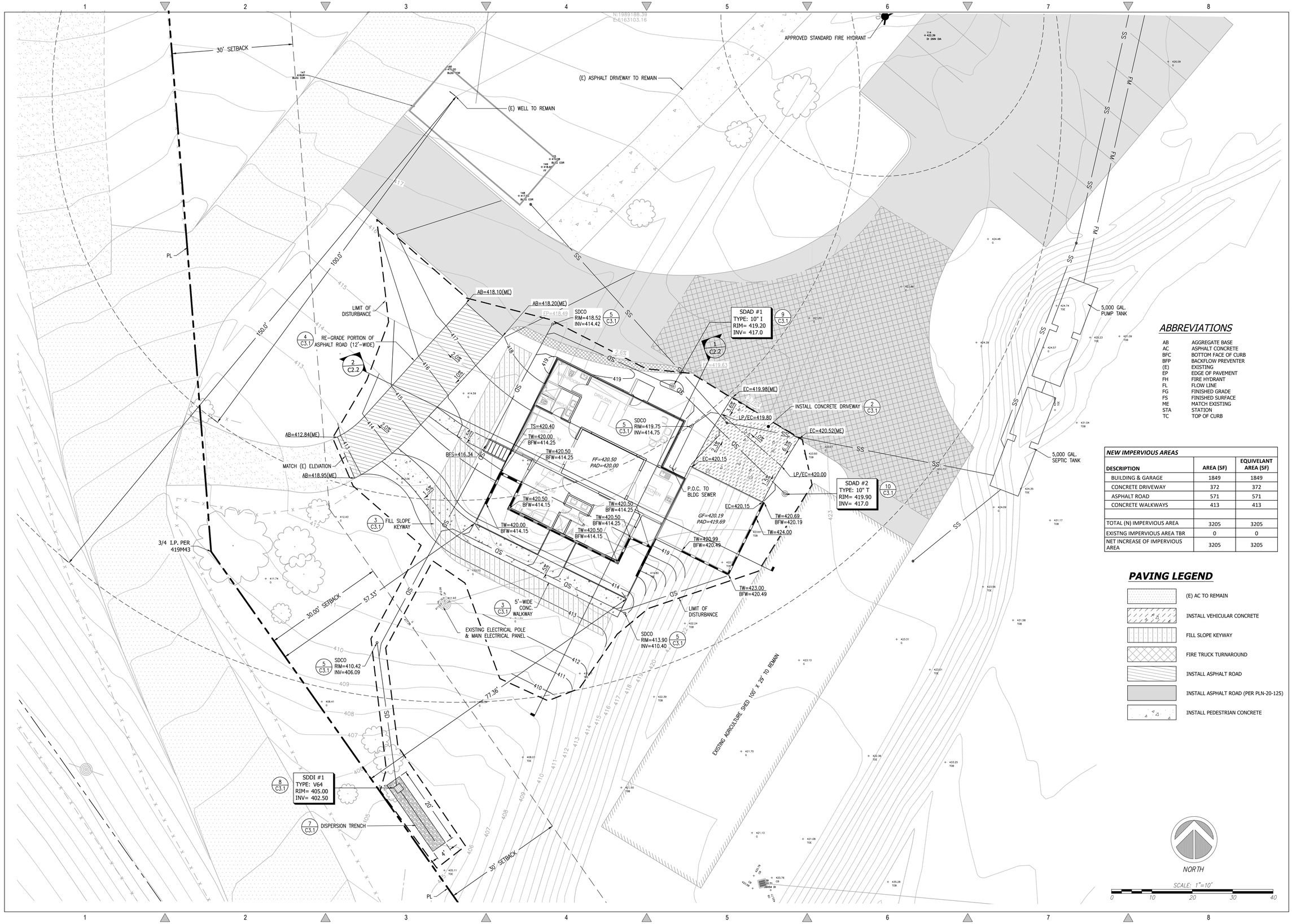

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
BFC	BOTTOM FACE OF CURB
BFP	BACKFLOW PREVENTER
(E)	EXISTING
EP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
FL	FLOW LINE
FG	FINISHED GRADE
FS	FINISHED SURFACE
ME	MATCH EXISTING
STA	STATION
TC	TOP OF CURB

NEW IMPERVIOUS AREAS

DESCRIPTION	AREA (SF)	EQUIVELANT AREA (SF)
BUILDING & GARAGE	1849	1849
CONCRETE DRIVEWAY	372	372
ASPHALT ROAD	571	571
CONCRETE WALKWAYS	413	413
TOTAL (N) IMPERVIOUS AREA	3205	3205
EXISTNG IMPERVIOUS AREA TBR	0	0
NET INCREASE OF IMPERVIOUS AREA	3205	3205

PAVING LEGEND

- (E) AC TO REMAIN
- INSTALL VEHICULAR CONCRETE
- FILL SLOPE KEYWAY
- FIRE TRUCK TURNAROUND
- INSTALL ASPHALT ROAD
- INSTALL ASPHALT ROAD (PER PLN-20-125)
- INSTALL PEDESTRIAN CONCRETE

NORTH

SCALE: 1"=10'

0 10 20 30 40

REVISIONS	BY

GRADING AND DRAINAGE PLAN

REGISTERED PROFESSIONAL ENGINEER
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Of 18 Sheets

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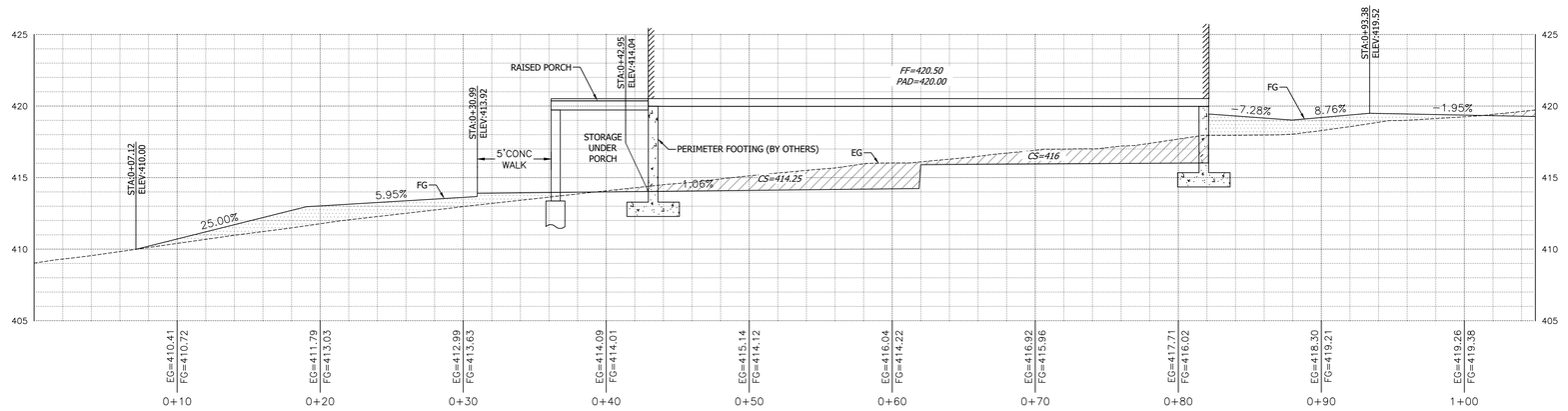

1 BUILDING SECTION

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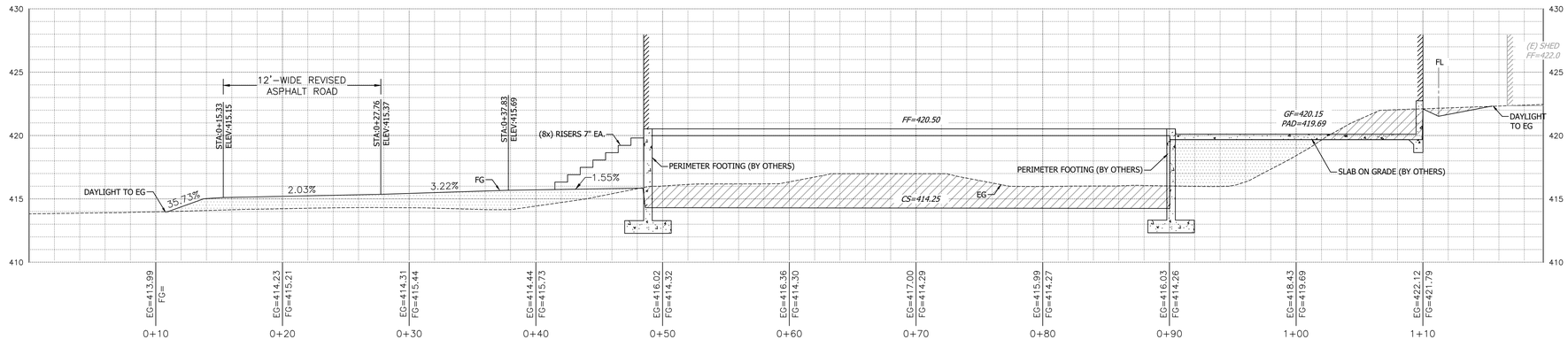

2 BUILDING SECTION

Scale: 1:5

REVISIONS	BY

SECTIONS

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Of	18 Sheets

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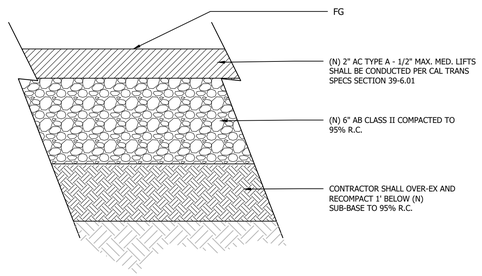

1 ASPHALT PAVEMENT SECTION

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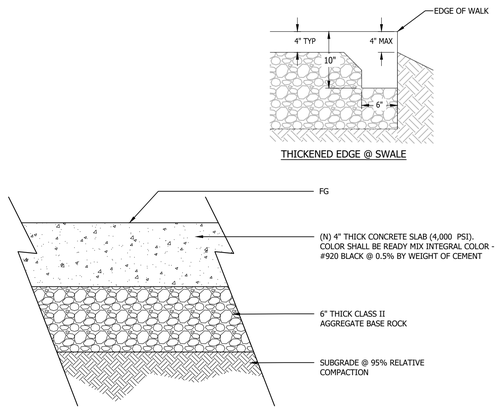

2 CONCRETE DRIVEWAY SECTION

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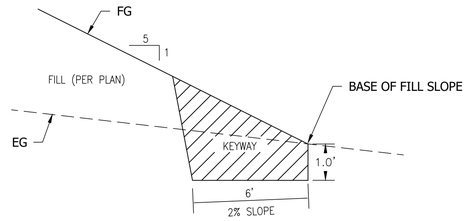
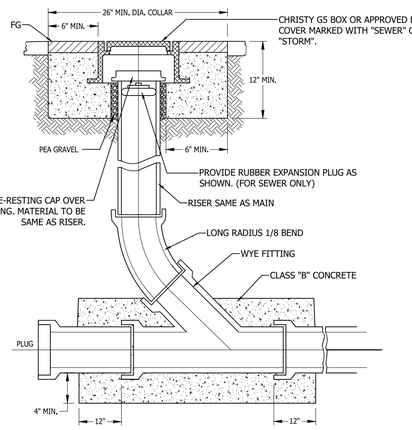


3 KEY & BENCH DETAIL FOR FILL SLOPES

Scale: NTS

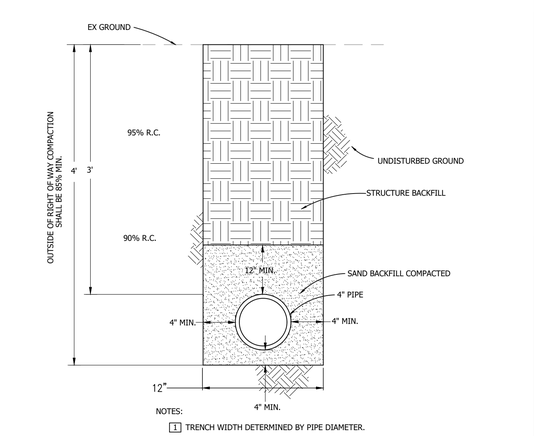
4 NA

Scale: NTS



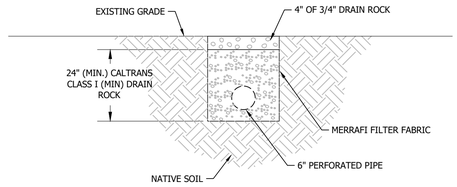
5 STORM/SEWER CLEAN OUT DETAIL

Scale: NTS



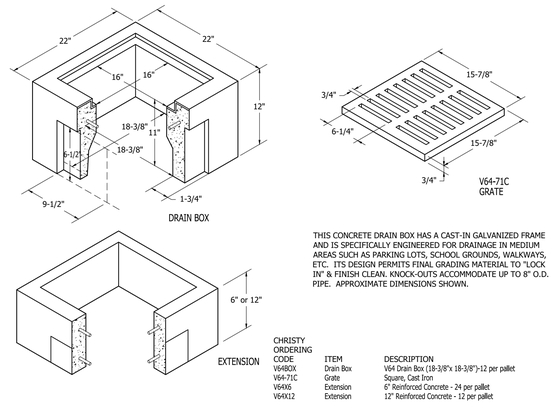
6 TRENCH INSTALLATION DETAIL

Scale: NTS



7 DISPERSION TRENCH DETAIL

Scale: NTS

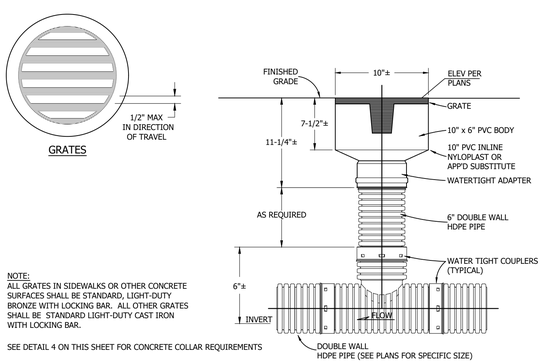


THIS CONCRETE DRAIN BOX HAS A CAST-IN GALVANIZED FRAME AND IS SPECIFICALLY ENGINEERED FOR DRAINAGE IN MEDIUM AREAS SUCH AS PARKING LOTS, SCHOOL GROUNDS, WALKWAYS, ETC. ITS DESIGN PERMITS FINAL GRADING MATERIAL TO "LOCK IN" & FINISH CLEAN. KNOCK-OUTS ACCOMMODATE UP TO 8" O.D. PIPE. APPROXIMATE DIMENSIONS SHOWN.

CHRISTY ORDERING CODE	ITEM	DESCRIPTION
V64BOX	Drain Box	V64 Drain Box (18-3/8"x 18-3/8")-12 per pallet
V64-71C	Grate	Square, Cast Iron
V64X6	Extension	6" Reinforced Concrete - 24 per pallet
V64X12	Extension	12" Reinforced Concrete - 12 per pallet

8 STORM DRAIN INLET (CHRISTY V64)

Scale: NTS

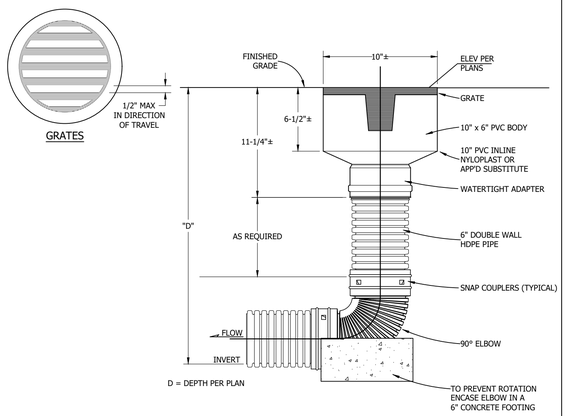


NOTE:
ALL GRATES IN SIDEWALKS OR OTHER CONCRETE SURFACES SHALL BE STANDARD, LIGHT-DUTY BRONZE WITH LOCKING BAR. ALL OTHER GRATES SHALL BE STANDARD LIGHT-DUTY CAST IRON WITH LOCKING BAR.

SEE DETAIL 4 ON THIS SHEET FOR CONCRETE COLLAR REQUIREMENTS

9 10" AREA DRAIN - INLINE

Scale: NTS



10 10" AREA DRAIN - TERMINAL

Scale: NTS

REVISIONS	BY

DETAILS

REGISTERED PROFESSIONAL ENGINEER
TODD R. CREAMER
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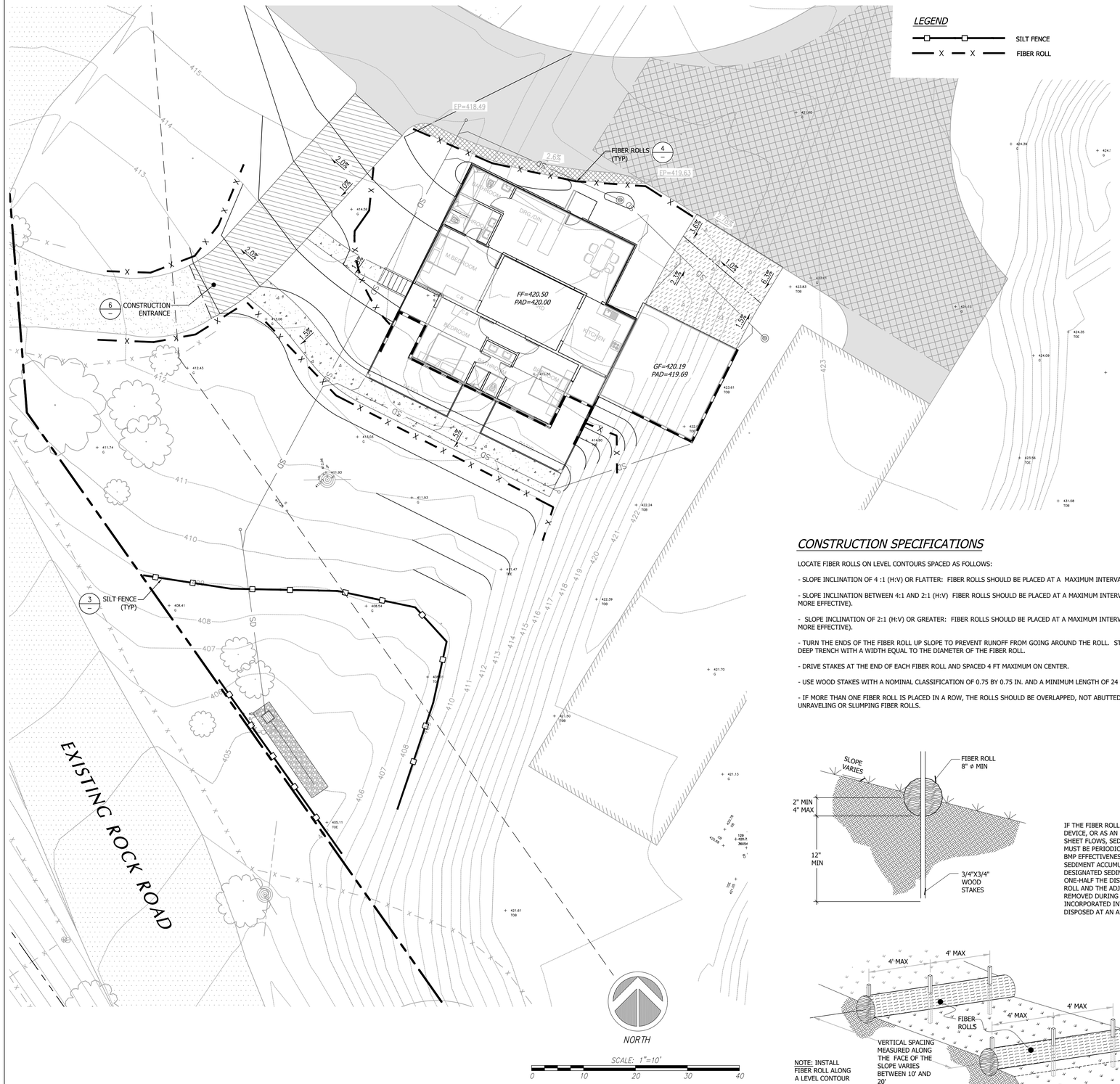
Engineers/Planners
4444 Scotts Valley Drive / Suite 6
Scotts Valley, CA 95066
T (831) 438-4420 F (831) 438-4420

GOKULAM, LLC.
SMALL SCALE PERMANENT
AGRICULTURAL EMPLOYEE HOUSING
2425 OLD CALAVERAS ROAD, MILPITAS
APN: 029-34-004

Date:	12/06/2022
Scale:	AS SHOWN
Drawn:	DD
Job:	3007.03b

Sheet:
C3.1
Of 18 Sheets

Drawing: Z:\Shared\CAD\3007.03 - MF - Alpha\Design\CAD\Sheets\PHASE 2\3007.03 - C3.1 - DETAILS.dwg Layout: C3.1 - DETAILS Last Saved: Mon Dec 05, 2022 - 3:48pm Last Plotted: Tue Dec 06, 2022 - 8:32am By: Dave



NOTE:

1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVED SEDIMENT SHALL BE DEPOSITED AT AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE REPLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

CONSTRUCTION SPECIFICATIONS

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. STORAGE HEIGHT SHALL NEVER EXCEED 18". THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE.

IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET. TURN THE ENDS OF THE FENCE UPHILL.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

THE STANDARD-STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 6 INCHES OF THE FABRIC SHALL EXTEND INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.

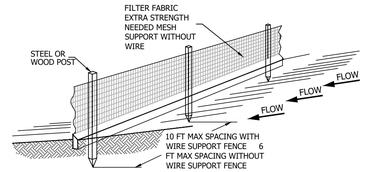
SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.

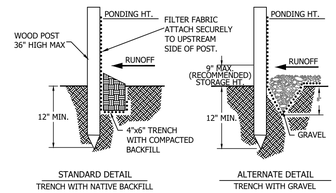
SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED, AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.

INSPECTION AND MAINTENANCE

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EACH SIGNIFICANT STORM (1" IN 24 HR.). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF THE FENCE OR 9 INCHES MAXIMUM.

THE REMOVED SEDIMENT SHALL VEGETATE OR OTHERWISE STABILIZED.





STANDARD DETAIL
TRENCH WITH NATIVE BACKFILL

ALTERNATE DETAIL
TRENCH WITH GRAVEL

3 SILT FENCE

Scale: NTS

CONSTRUCTION SPECIFICATIONS

LOCATE FIBER ROLLS ON LEVEL CONTOURS SPACED AS FOLLOWS:

- SLOPE INCLINATION OF 4 :1 (H:V) OR FLATTER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 20 FT.

- SLOPE INCLINATION BETWEEN 4:1 AND 2:1 (H:V) FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 15 FT. (A CLOSER SPACING IS MORE EFFECTIVE).

- SLOPE INCLINATION OF 2:1 (H:V) OR GREATER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 10 FT. (A CLOSER SPACING IS MORE EFFECTIVE).

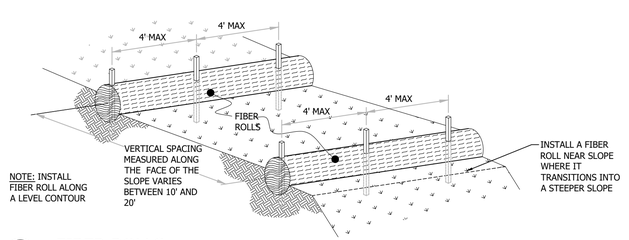
- TURN THE ENDS OF THE FIBER ROLL UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL. STAKE FIBER ROLLS INTO A 2 TO 4 IN. DEEP TRENCH WITH A WIDTH EQUAL TO THE DIAMETER OF THE FIBER ROLL.

- DRIVE STAKES AT THE END OF EACH FIBER ROLL AND SPACED 4 FT MAXIMUM ON CENTER.

- USE WOOD STAKES WITH A NOMINAL CLASSIFICATION OF 0.75 BY 0.75 IN. AND A MINIMUM LENGTH OF 24 IN.

- IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT ABUTTED. REPAIR OR REPLACE SPLIT, TORN, UNRAVELING OR SLUMPING FIBER ROLLS.

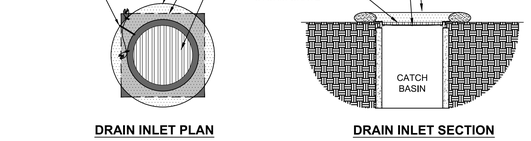
IF THE FIBER ROLL IS USED AS A SEDIMENT CAPTURE DEVICE, OR AS AN EROSION CONTROL DEVICE TO MAINTAIN SHEET FLOWS, SEDIMENT THAT ACCUMULATES IN THE BMP MUST BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DESIGNATED SEDIMENT STORAGE DEPTH, USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GROUND SURFACE. SEDIMENT REMOVED DURING THE MAINTENANCE MAY BE INCORPORATED INTO EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.



NOTE: INSTALL FIBER ROLL ALONG A LEVEL CONTOUR

4 FIBER ROLLS

Scale: NTS



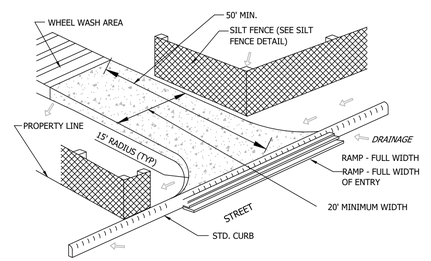
DRAIN INLET PLAN

DRAIN INLET SECTION

NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
4. CONTRACTOR SHALL EXTEND MIRAFI 140N FABRIC 6" BEYOND CATCH BASIN AFTER PLACEMENT OF GRATE
5. CONTRACTOR SHALL REMOVE ALL FILTER FABRIC FROM ALL STORM DRAIN INLETS UPON COMPLETION OF PROJECT

5 FILTREXX® INLET PROTECTION

Scale: NTS



6 ROCKED CONSTRUCTION ENTRANCE

Scale: NTS

REVISIONS	BY

EROSION CONTROL PLAN

REGISTERED PROFESSIONAL ENGINEER
TODD R. CREAMER
No. C 64561
Exp. 6/30/23
CIVIL
STATE OF CALIFORNIA

C2G /CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
4444 Scotts Valley Drive / Suite 6
Scotts Valley, CA 95066
T (831) 438-4420 F (831) 438-4420

GOKULAM, LLC.
SMALL SCALE PERMANENT
AGRICULTURAL EMPLOYEE HOUSING
2425 OLD CALAVERAS ROAD, MILPITAS
APN: 029-34-004

Date:	12/06/2022
Scale:	1" = 10'
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Sheet:
C4.1
Of 18 Sheets

Drawing: Z:\Shared\CAD\3007.03 - Iliff - Alpha\Design\CAD\Sheets\PlnSET 2\3007.03 - C4.1 - EPD.dwg Layout: C4.1 - EPD Last Saved: Wed, Nov 30, 2022 - 7:17am Last Plotted: Tue, Dec 06, 2022 - 8:25am By: Dave

MATCH LINE 1-1 (SEE SHEET C3)

SITE GRADING (SEE SHEET C4)

22' WIDE FIRE ACCESS ROAD

Number	Radius	Length	Line/Chord Direction	Tangent
L6		48.31'	S49°05'49"E	
C15	75.00'	118.91'	N85°29'05"E	76.10'
L7		86.18'	N40°03'58"E	
C14	61.00'	109.32'	S88°35'42"E	76.25'
L15		195.47'	S37°15'22"E	
C9	141.00'	46.18'	S46°38'22"E	23.30'
L12		39.19'	S56°01'21"E	
C10	73.00'	66.92'	S82°17'01"E	36.02'
L13		134.66'	N71°27'19"E	
C11	110.00'	188.14'	S59°32'48"E	126.53'
L14		37.25'	S10°32'55"E	

EX ACCESS ROAD (DOC# 19132897)

OLD CALAVERAS ROAD (COUNTY MAINTAINED ROAD)

22' WIDE FIRE ACCESS ROAD

EX ROAD TO REMAIN

AG SHED 100' x 29'
FF = 422.0
PAD = 421.0

FIRE TRUCK TURNAROUND

ROAD & PARKING

DETENTION POND

BIORETENTION AREA
(SEE DETAIL ON SHEET C5)

6" PVC, 309.1', S=1.16%

6" PVC, 111.9', S=7.15%

6" PVC 25.0', S=1.00%

CONC SWALE

LIMIT OF GRADING

TO DETENTION POND

EX SD PIPE

EX FENCE

EX BLDG

EX CULVERT

BASE ROCK PAVEMENT

BARD WIRE FENCE

GROUND NOT VISIBLE

DENSE TREES

SCATTERED BRUSH

GRAPHIC SCALE
0 15 30 60
(IN FEET)
1 inch = 30 ft.

APPLICANT : .

ROAD NAME : OLD CALAVERAS ROAD

FILE NO : .

NO.	REVISIONS	DATE	APP'D

PT DESIGNED 10/25/21 DATE
PT DRAWN 10/25/21 DATE
1" = 30' SCALE
NL CHECKED 10/25/21 DATE

LC ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

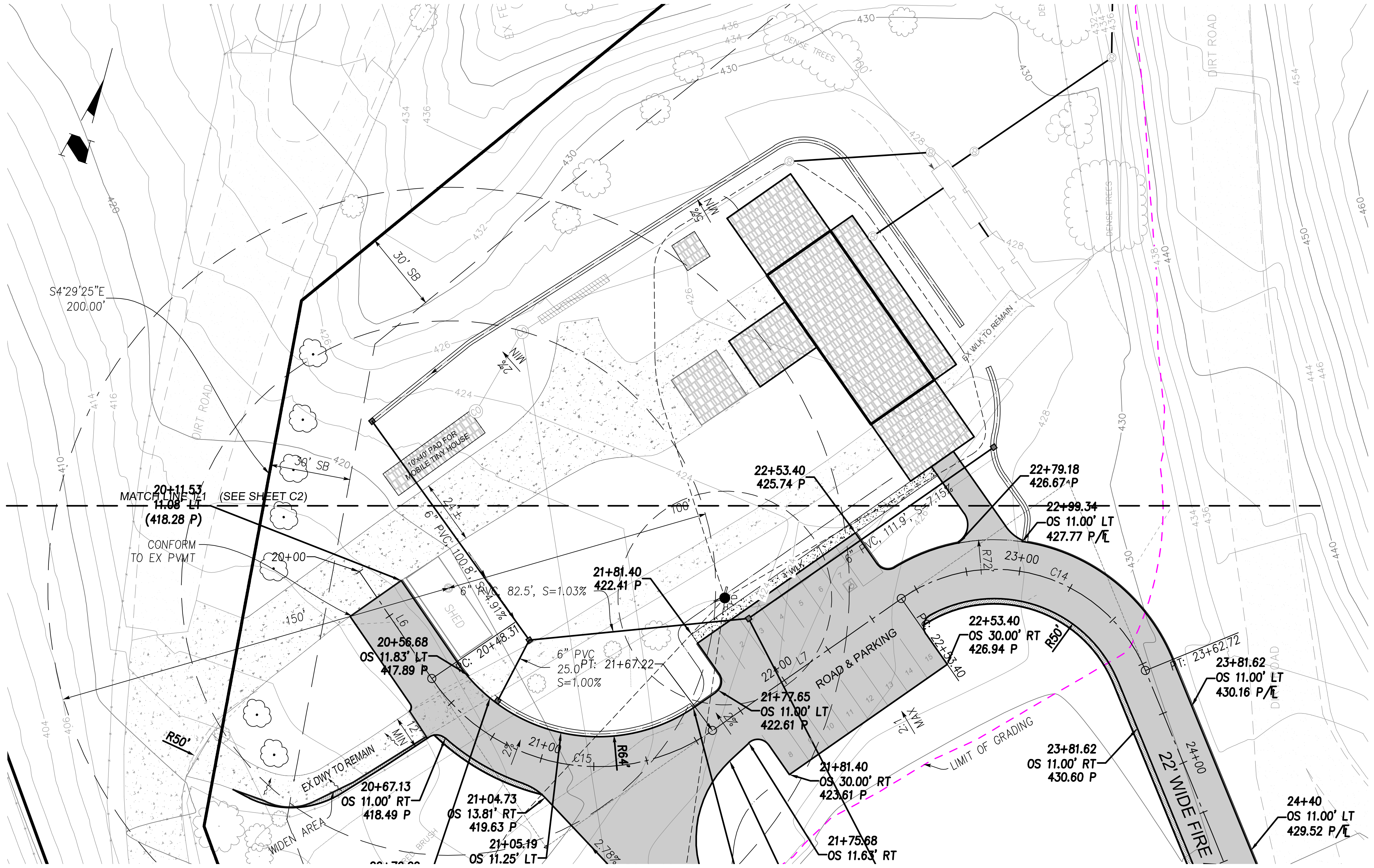
ACCESS ROAD PLAN
LANDS OF
2425 OLD CALAVERAS ROAD
APN 029-34-004

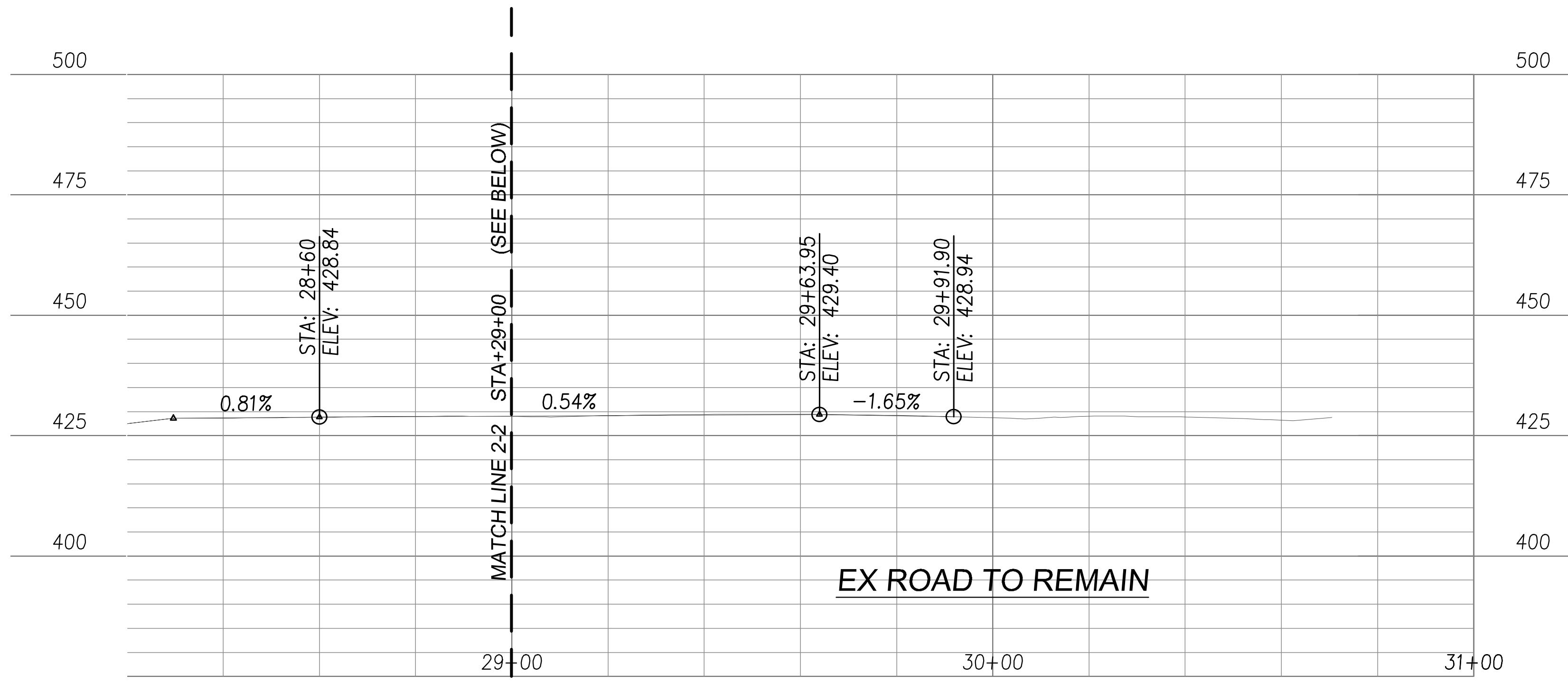
Milpitas California

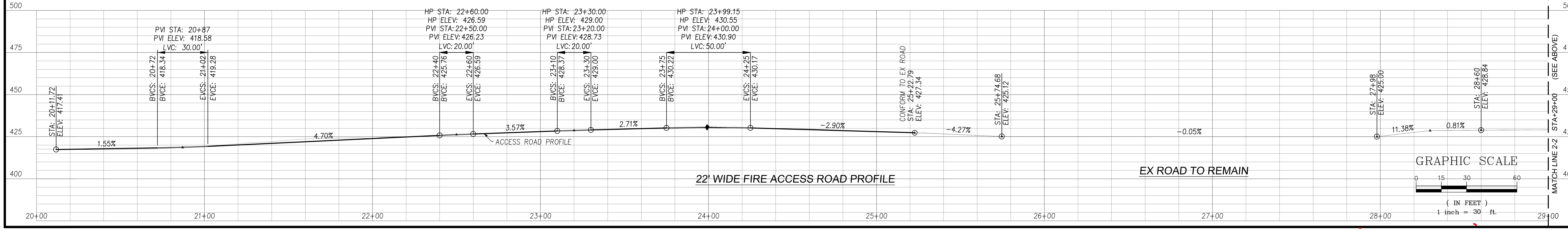
PROJECT NO.
CONTRACT NO.
FILE NO.

DRAWING NO. C2

SHT NO. 14 OF 18







NO.	REVISIONS	APP'D	DATE	BY

PT
DESIGNED 10/25/21 DATE
PT
DRAWN 10/25/21 DATE
1" = 30'
SCALE
NL
CHECKED 10/25/21 DATE

LE ENGINEERING

598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

ACCESS ROAD PROFILES & SECTIONS
LANDS OF
2425 OLD CALAVERAS ROAD
APN 029-34-004

Milpitas California

PROJECT NO.

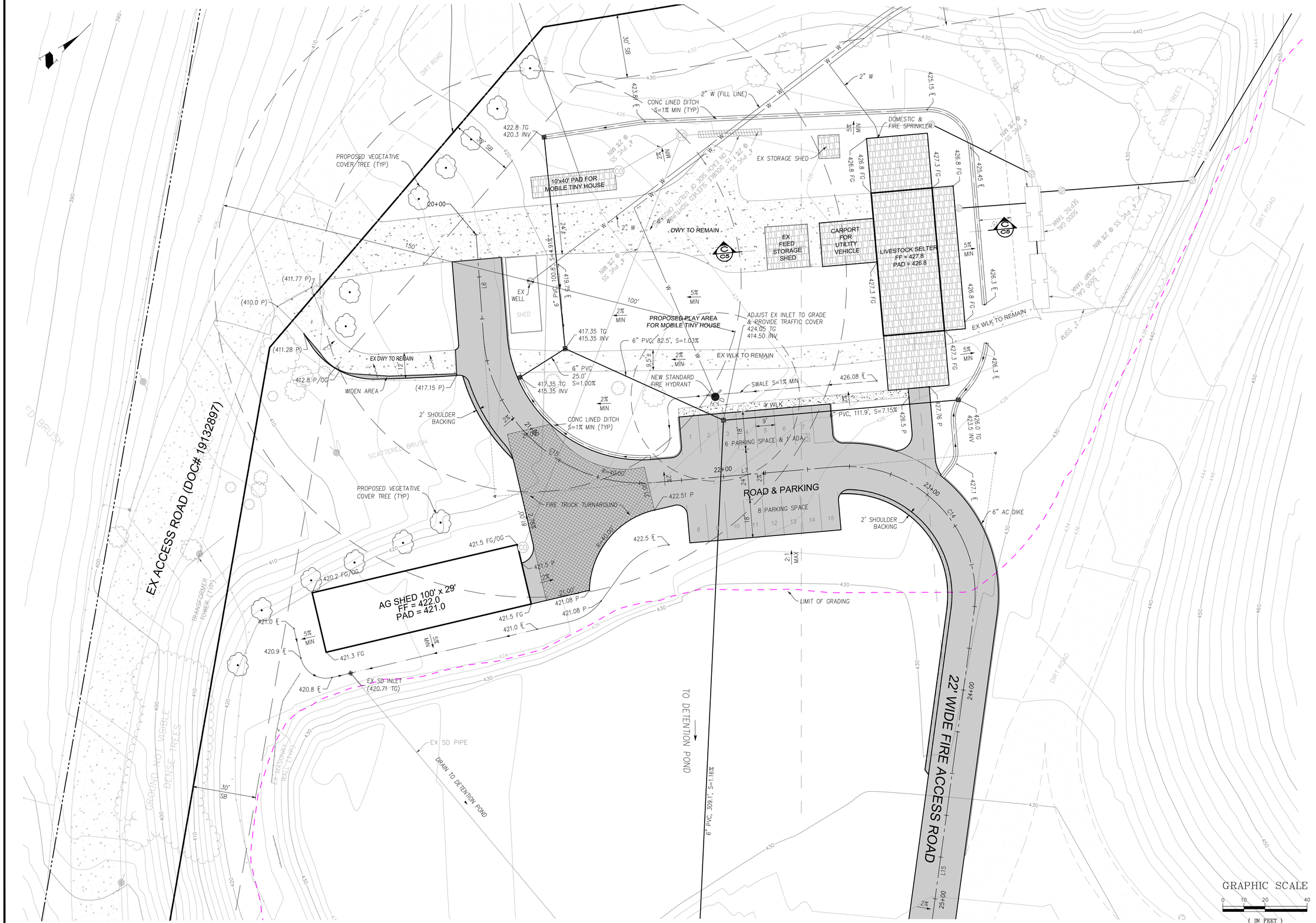
CONTRACT NO.

DRAWING NO. C3

SHT NO. 15 OF 18

FILE NO.

APPLICANT : .   ROAD NAME : OLD CALAVERAS ROAD   FILE NO : .



NOTE: STRUCTURE WILL HAVE NFPA 13 FIRE SPRINKLERS. DEFERRED SUBMITTAL.

APPLICANT : .

ROAD NAME : OLD CALAVERAS ROAD

FILE NO : .

NO.	REVISIONS	DATE	APP'D	BY

PT	10/25/21	DATE
DESIGNED		
PT	10/25/21	DATE
DRAWN		
1" = 20'		
SCALE		
NL	10/25/21	DATE
CHECKED		

LT ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

DRIVEWAY, PARKING & SITE GRADING & DRAINAGE PLAN
LANDS OF
2425 OLD CALAVERAS ROAD
APN 029-34-004

Milpitas, California

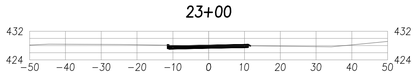
PROJECT NO.

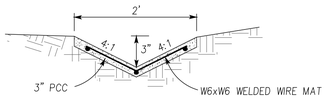
CONTRACT NO.

DRAWING NO. C4

SHT NO. 16 OF 18

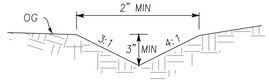
FILE NO.





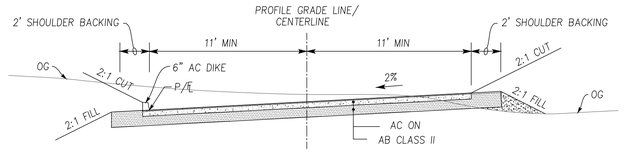
CONC LINED DITCH TYPICAL SECTION

NTS



SWALE TYPICAL SECTION

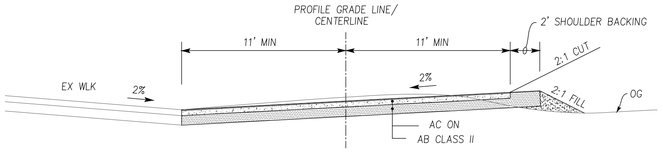
NTS



ACCESS ROAD TYPICAL SECTION

NTS

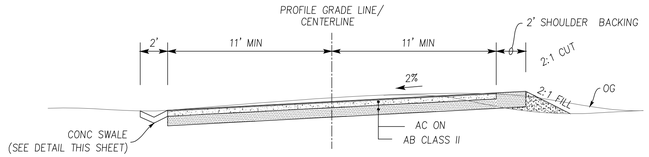
FROM 20+11.53 TO 20+56.68
FROM 21+65.99 TO 21+81.40
FROM 22+53.40 TO 22+79.18
FROM 22+99.34 TO 24+77.57



ACCESS ROAD TYPICAL SECTION

NTS

FROM 20+56.68 TO 20+70.09



ACCESS ROAD TYPICAL SECTION

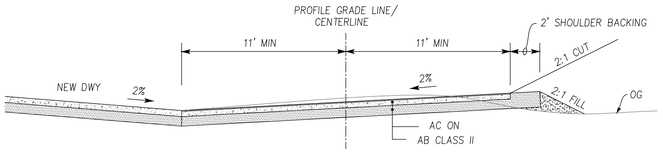
NTS

FROM 20+70.09 TO 21+65.99

ACCESS ROAD TYPICAL SECTION

NTS

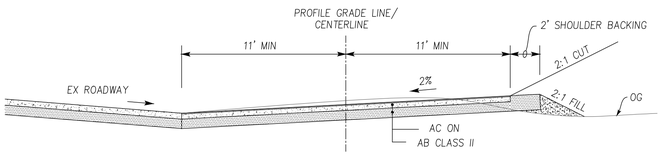
FROM 20+56.68 TO 20+70.09
FROM 21+81.40 TO 22+53.40
FROM 22+78.18 TO 22+99.34



ACCESS ROAD TYPICAL SECTION

NTS

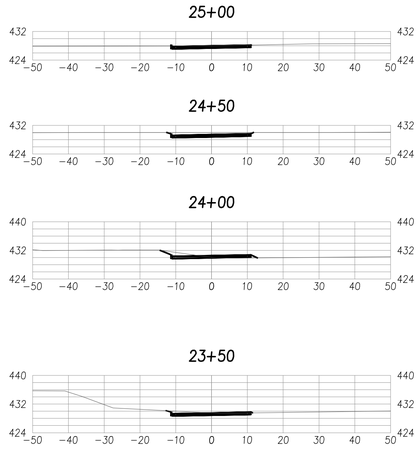
FROM 22+78.18 TO 22+99.34



ACCESS ROAD TYPICAL SECTION

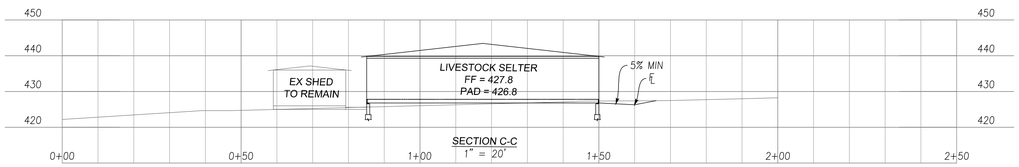
NTS

FROM 24+77.57 TO 25+22.79



ACCESS ROAD SECTIONS

1" = 20'



SECTION C-C

1" = 20'

TOTAL VOLUME TABLE FOR NEW ACCESS ROAD & PARKING AREA						
Station	Fill Area	Cut Area	Fill Volume	Cut Volume	Cumulative Fill Vol	Cumulative Cut Vol
20+50	24.03	1.86	0.00	0.00	0.00	0.00
21+00	3.23	8.48	27.83	8.53	27.83	8.53
21+50	0.00	35.03	3.30	40.62	31.14	49.15
22+00	0.56	38.10	0.45	69.86	31.59	119.01
22+50	34.75	2.21	32.70	37.32	64.28	156.33
23+00	2.45	1.51	44.55	2.85	108.83	159.17
23+50	1.80	4.75	3.51	6.56	112.34	165.73
24+00	10.34	6.86	10.96	11.15	123.31	176.88
24+50	0.00	12.81	9.57	18.21	132.88	195.09
25+00	0.52	0.84	0.49	12.64	133.36	207.73

NOTES:

1. THICKNESS OF AC & BASE SECTION SHALL BE DETERMINED BY GEOTECHNICAL ENGINEER.
2. ALL DRIVEWAYS, ACCESS ROAD, AND PARKING LOTS TO BE MADE OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS.

GRAPHIC SCALE

0 10 20 40

(IN FEET)

1 inch = 20 ft.

APPLICANT : .

ROAD NAME : OLD CALAVERAS ROAD

FILE NO : .

NO.	REVISIONS	DATE	APP'D	BY

PT	10/25/21	DATE
DESIGNED		
PT	10/25/21	DATE
DRAWN		
1" = 20' (OTHERWISE NOTED)		
SCALE		
NL	10/25/21	DATE
CHECKED		

ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

22' WIDE FIRE ACCESS ROAD SECTIONS
LANDS OF
2425 OLD CALAVERAS ROAD
APN 029-34-004

Milpitas California

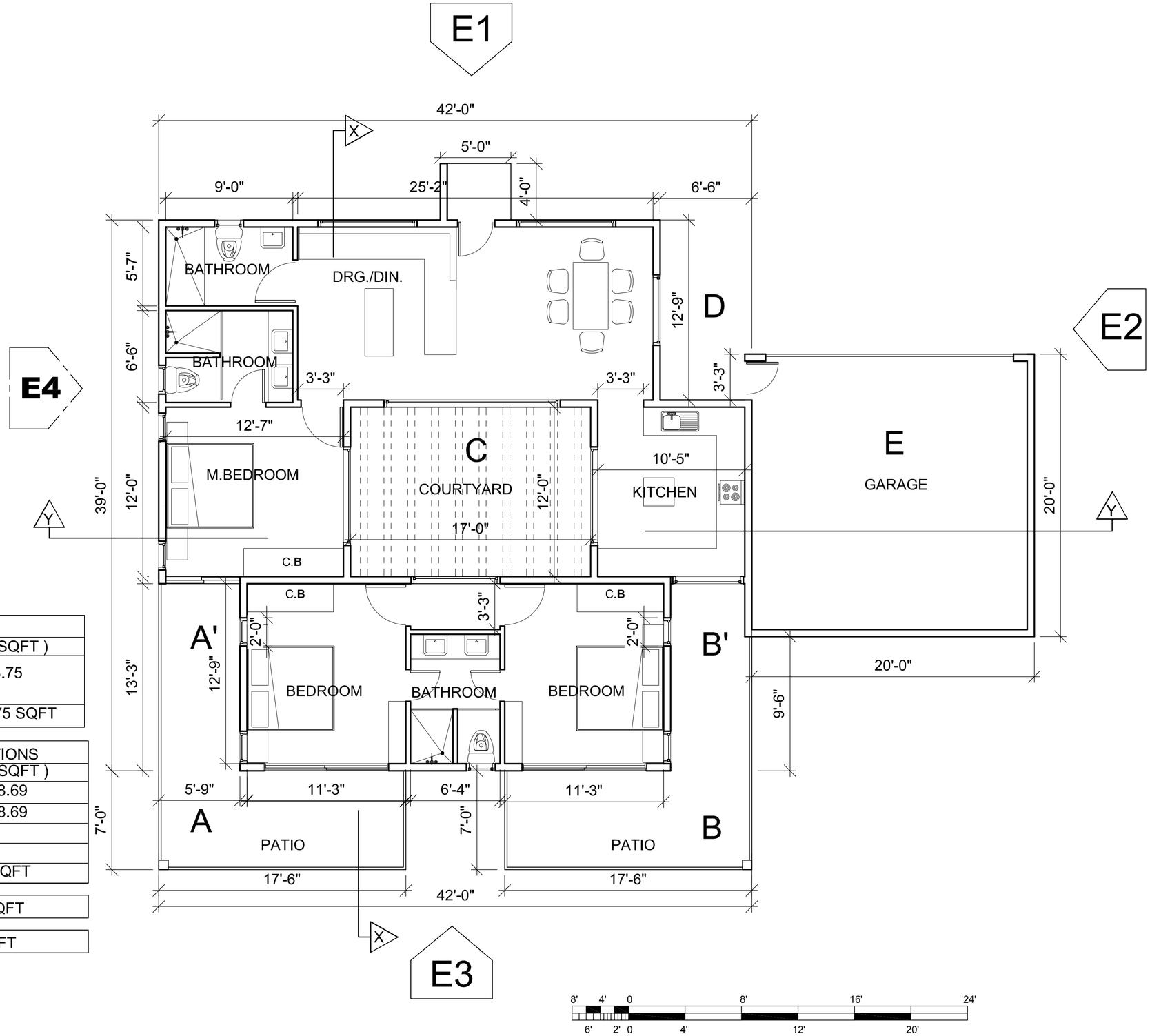
PROJECT NO.

CONTRACT NO.

DRAWING NO. C5

SHT NO. 17 OF 18

FILE NO.



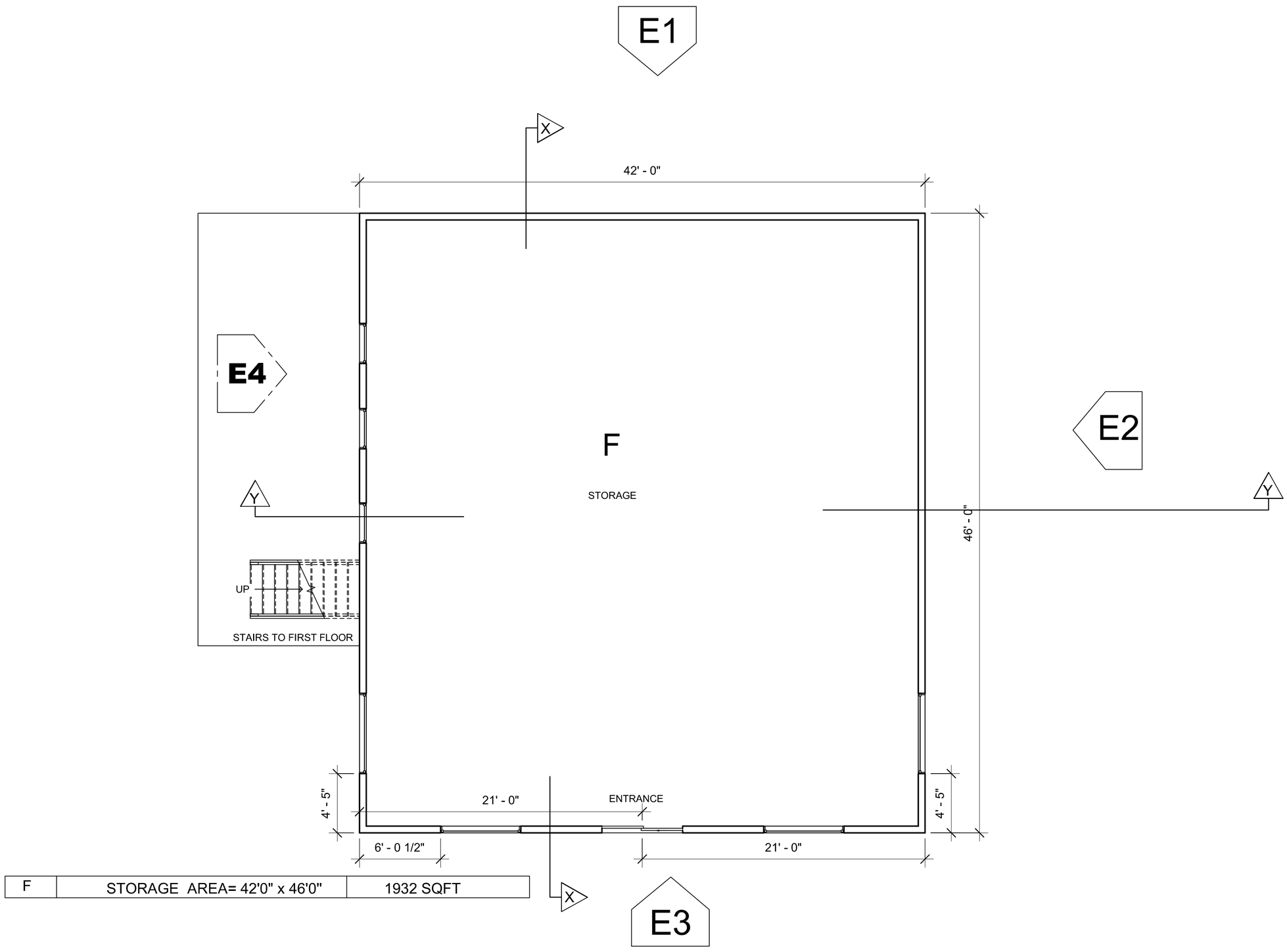
COVERED AREA CALCULATIONS		
ID	SIZE	Area (SQFT)
EMP UNIT	42'0" x 39'0" - AREA (A'+B'+C+D) =(42x39)-(76.19+76.19+204+82.88)	1198.75
TOTAL UNIT AREA AGRI UNIT =		1198.75 SQFT

COVERED & PARTIALLY ENCLOSED AREA CALCULATIONS		
ID	size	Area (SQFT)
AA'	(5'9" x 13'3") +(7'x17'6")	198.69
BB'	(5'9" x 13'3") +(7'x17'6")	198.69
	TOTAL	397.38 SQFT

E	GARAGE AREA= 20'0" x 20'0"	400 SQFT

F	STORAGE AREA= 42'0" x 46'0"	1932 SQFT

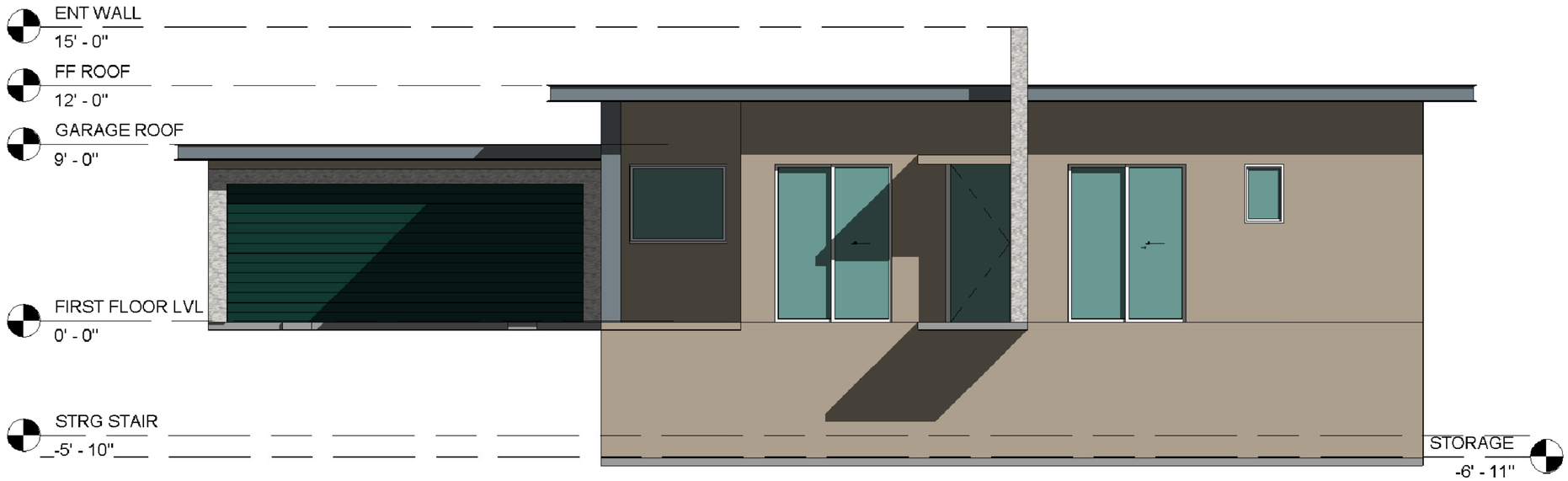
GOKULAM 2425 Old Calaveras Road, MILPITAS,CA 95035	AJAY GOYAL 748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337	DRAWN BY : NEHA	DATE: 07-02- 2021 SCALE: 1:100	LOCATION: APN 029-34-004	SUBJECT: **GOKULAM Small Scale Permanenet EMPLOYEE HOUSE** FLOOR PLAN , AREA CALCULATION	DRAWING NO. : A 01



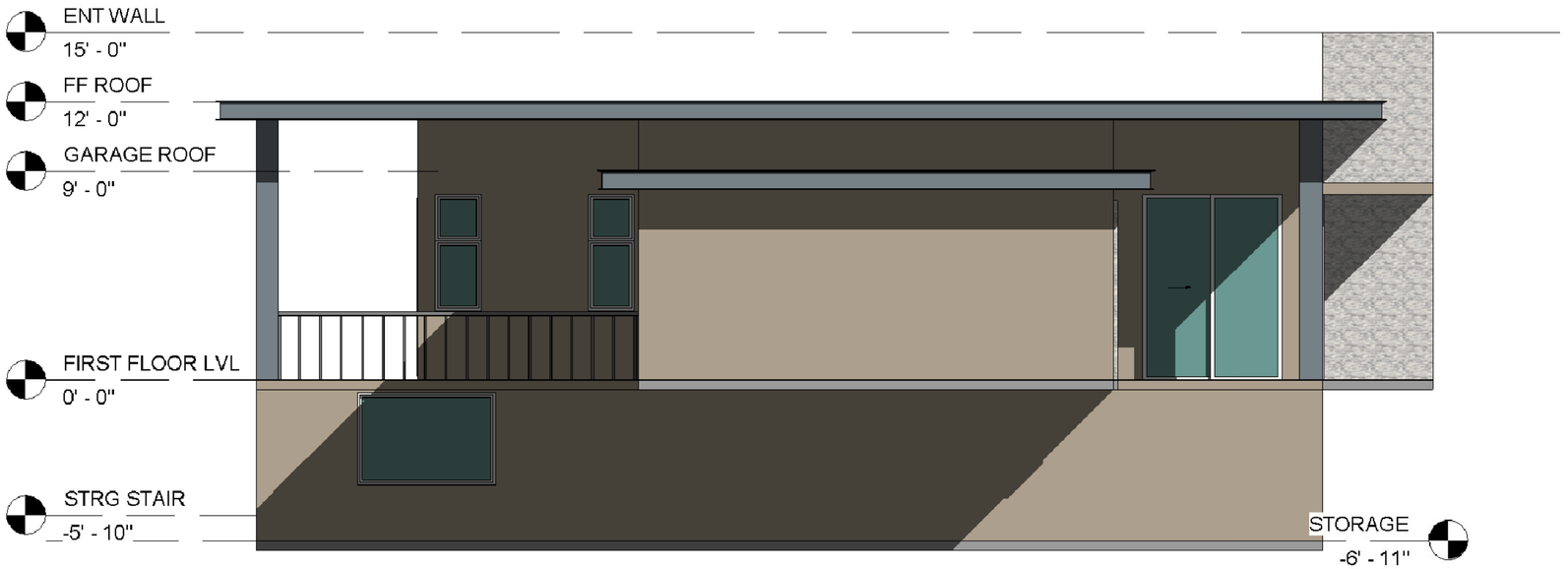
F	STORAGE AREA= 42'0" x 46'0"	1932 SQFT

8' 4' 0 8' 16' 24'
6' 2' 0 4' 12' 20'

GOKULAM 2425 Old Calaveras Road, MILPITAS,CA 95035	AJAY GOYAL 748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337	DRAWN BY : NEHA	DATE: 07-02- 2021 SCALE: 1:100	LOCATION: APN 029-34-004	SUBJECT: **GOKULAM Small Scale Permanenet EMPLOYEE HOUSE** STORAGE FLOOR PLAN	DRAWING NO. : A 02

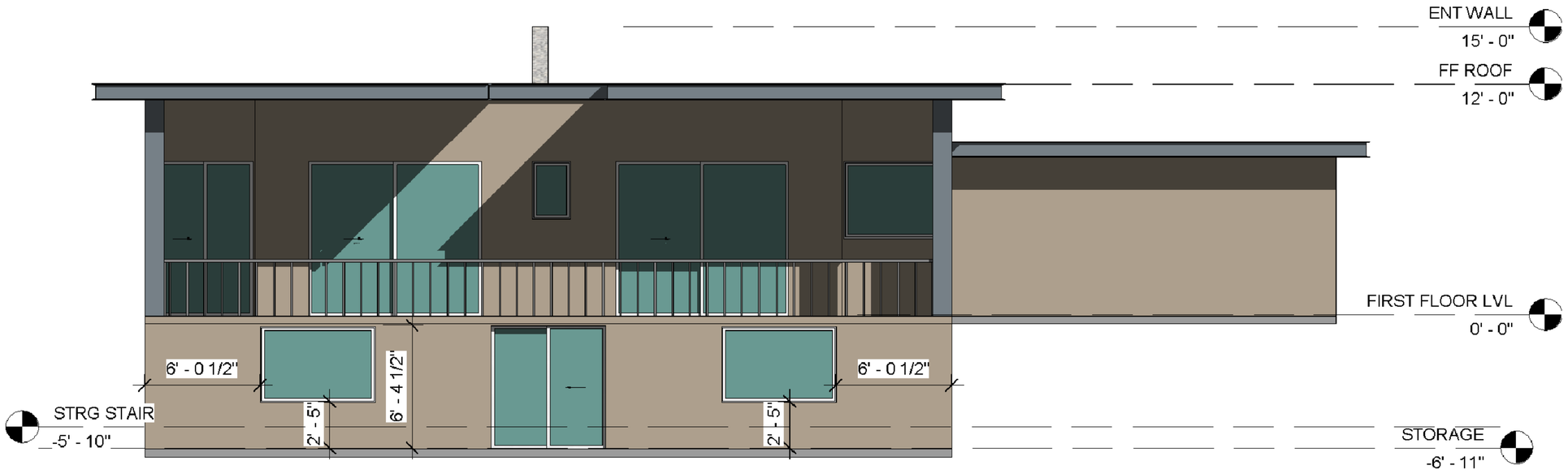


ELEVATION : E1



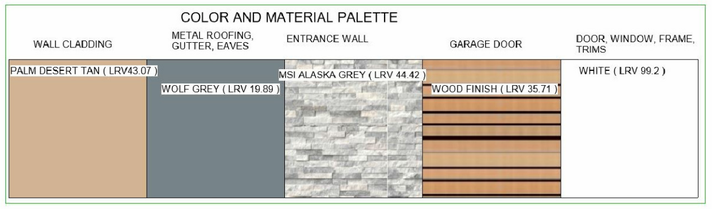
ELEVATION : E2

GOKULAM 2425 Old Calaveras Road, MILPITAS,CA 95035	AJAY GOYAL 748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337	DRAWN BY : NEHA	DATE: 07-02- 2021 SCALE: 1:50	LOCATION: APN 029-34-004	SUBJECT: **GOKULAM Small Scale Permanenet EMPLOYEE HOUSE** ELEVATIONS 1 AND 2	DRAWING NO. : A03

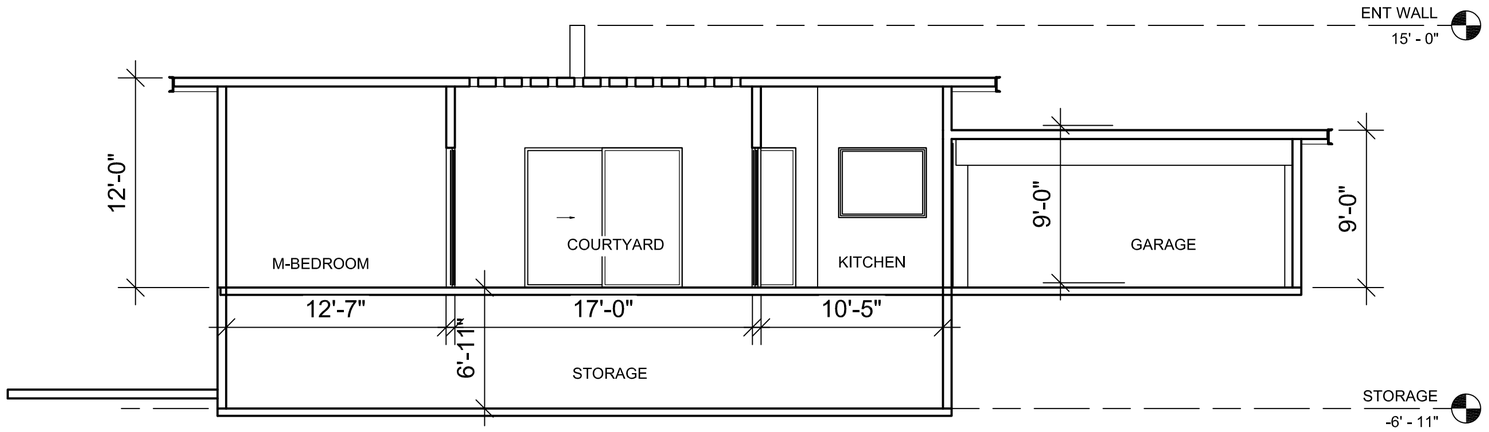


ELEVATION : E3

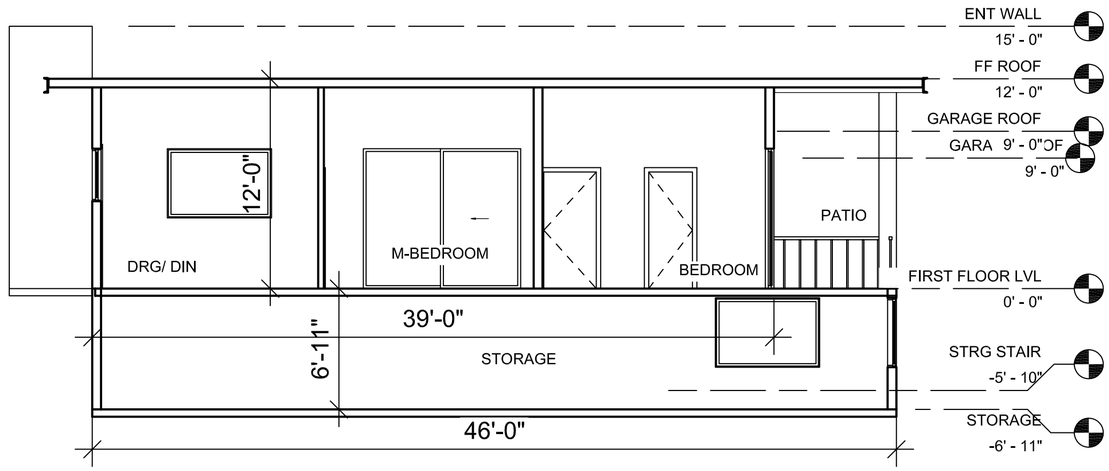
ELEVATION : E4



GOKULAM 2425 Old Calaveras Road, MILPITAS,CA 95035	AJAY GOYAL 748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337	DRAWN BY : NEHA	DATE: 07-02- 2021 SCALE: 1:50	LOCATION: APN 029-34-004	SUBJECT: **GOKULAM Small Scale Permanenet EMPLOYEE HOUSE** ELEVATIONS 3 AND 4	DRAWING NO. : A04



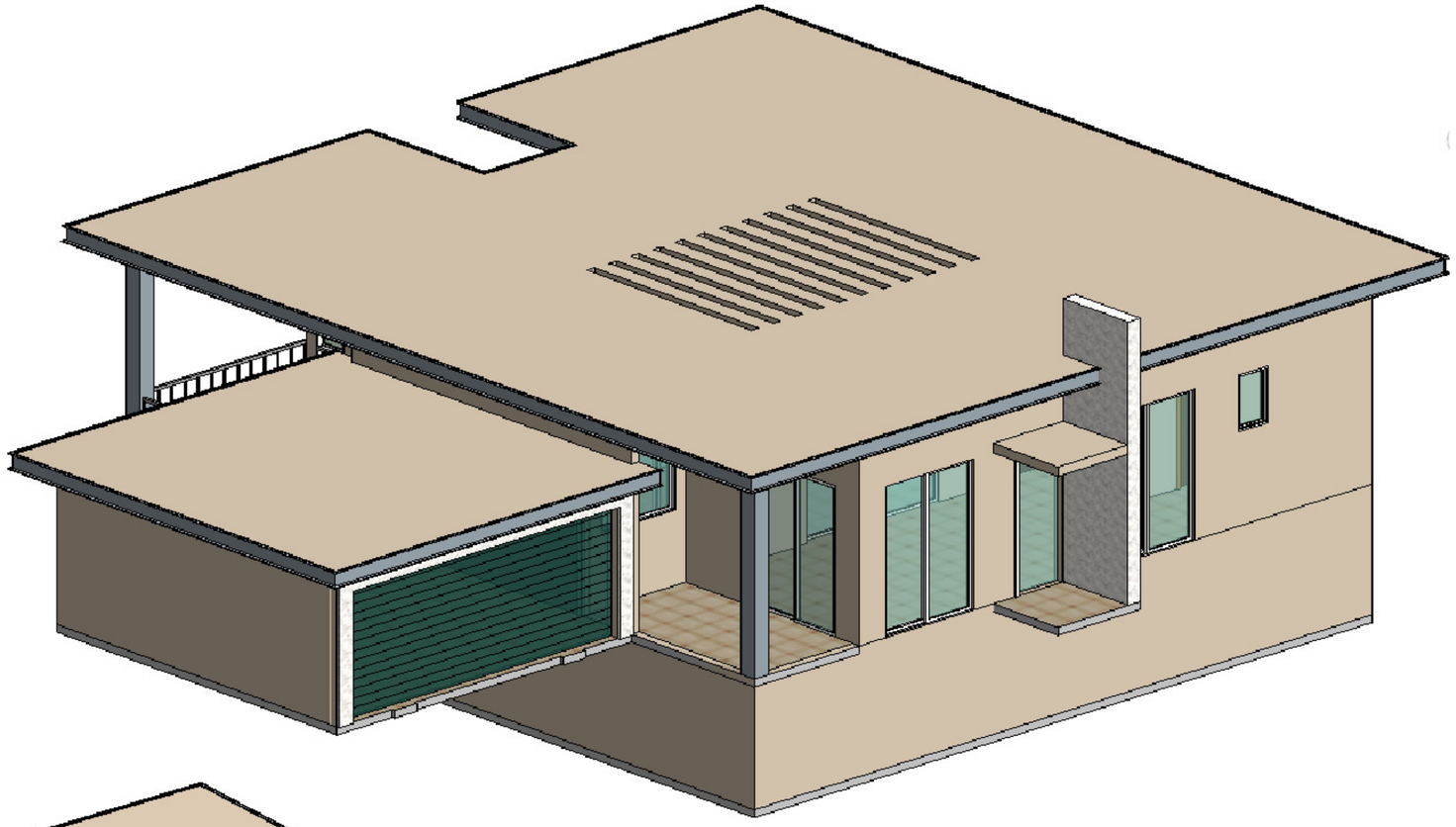
SECTION : Y-Y

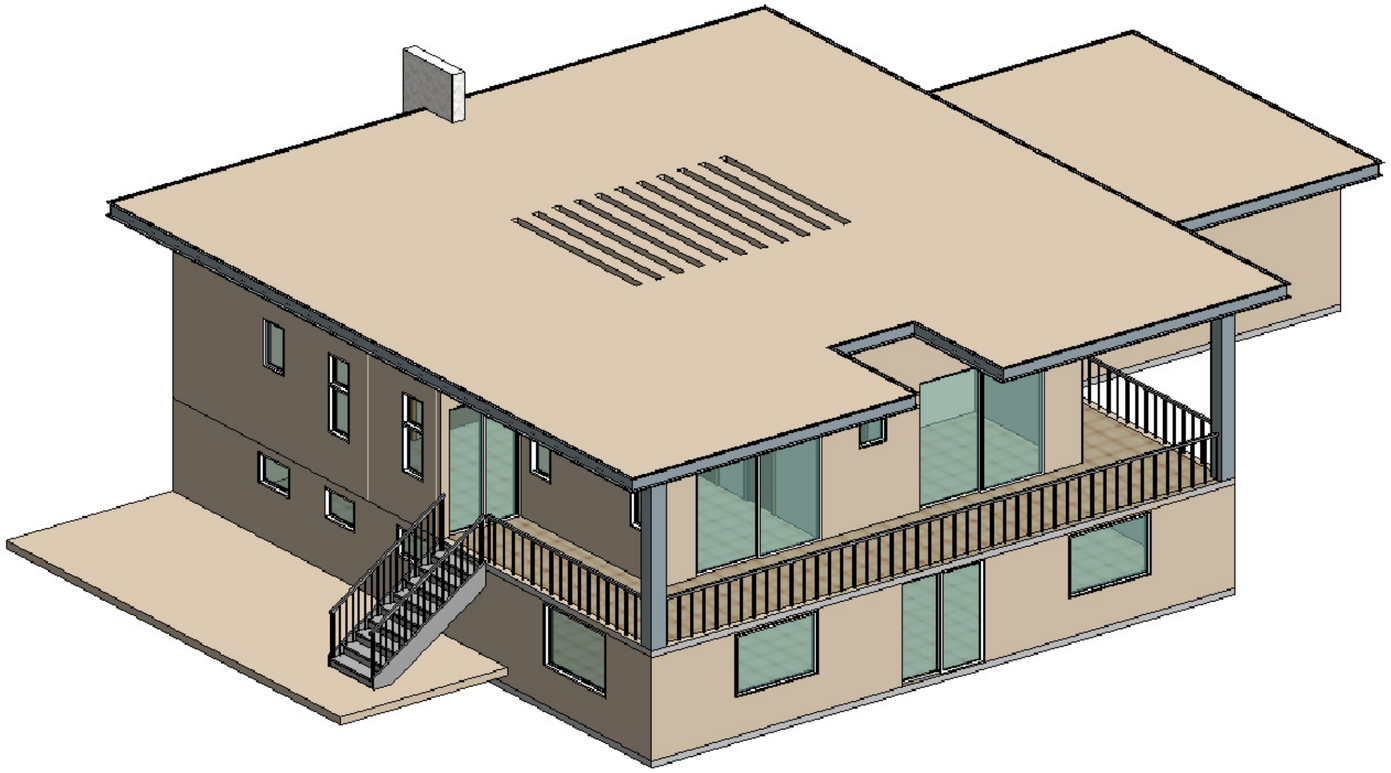


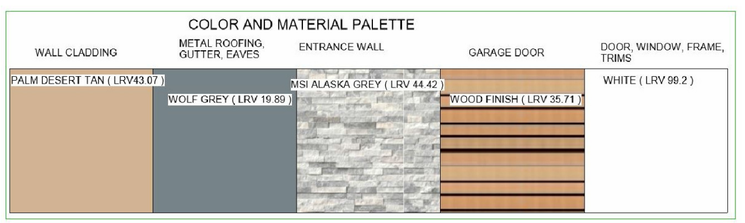
SECTION : X-X

8' 4' 0 8' 16' 24'
6' 2' 0 4' 12' 20'

GOKULAM 2425 Old Calaveras Road, MILPITAS,CA 95035	AJAY GOYAL 748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337	DRAWN BY : NEHA	DATE: 07-02- 2021 SCALE: 1:50	LOCATION: APN 029-34-004	SUBJECT: **GOKULAM Small Scale Permanenet EMPLOYEE HOUSE** SECTIONS	DRAWING NO. : A05







GOKULAM 2425 Old Calaveras Road, MILPITAS,CA 95035	AJAY GOYAL 748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337	DRAWN BY : NEHA	DATE: 07-02- 2021 SCALE: 1:100, 1:200	LOCATION: APN 029-34-004	SUBJECT: **GOKULAM Small Scale Permanenet EMPLOYEE HOUSE** VIEWS	DRAWING NO. : A06

SEPTIC SYSTEM CONSTRUCTION NOTES

A. PROJECT REQUIREMENTS

1. SYSTEM TO SERVE 13 EMPLOYEES/CUSTOMERS/VOLUNTEERS, A FUTURE 6 BEDROOM HOUSE, A FUTURE 3 BEDROOM ACCESSORY DWELLING UNIT (ADU), A FUTURE 2 BEDROOM JUNIOR ADU, AND A 3 BEDROOM SMALL SCALE PERMANENT AGRICULTURAL HOUSING. INSTALLATION OF SYSTEM TO CONFORM TO SANTA CLARA COUNTY SEWAGE DISPOSAL ORDINANCE. CALL SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH 24 HOURS MIN. PRIOR TO START OF WORK AT (408)–918–3400.
2. SEWAGE DISPOSAL SYSTEM CONSISTS OF A 5,000 GALLON SEPTIC TANK WITH 5,000 GALLON PUMP TANK, WATERTIGHT ACCESS RISERS TO GRADE; A BULL–RUN DIVERSION VALVE; AND TWO 486 LF X 486 LF DISPERSAL FIELD OF 24" WIDE BY 12" DEEP DRAINROCK BED WITH INSPECTION RISERS TO GRADE. THE DISPERSAL FIELDS SHALL BE INTERCONNECTED WITH A DIVERSION VALVE. THE VALVE MUST BE CAPABLE OF DIRECTING THE SEPTIC TANK EFFLUENT TO ONE DISPERSAL FIELD AT A TIME.
3. GROUND SLOPE OF DISPERSAL FIELD #1 & DISPERSAL FIELD #2 IS APPROXIMATELY 24.5%. DISPERSAL FIELDS SHALL BE INSTALLED LEVEL AND ON CONTOURS AS SHOWN ON PLAN. EXCESS SOIL FROM LEACHFIELD CONSTRUCTION SHALL BE SPREAD ON SITE AT A DEPTH OF 3' MAX OR BE REMOVED OFF–SITE.
4. THE DIVERSION VALVE SHALL BE OPERATED ANNUALLY TO ROTATE THE USE OF DISPERSAL FIELDS TO EXTEND THE LIFE OF THE SEPTIC SYSTEM.
5. MARK CAPS OF ALL BULL RUN VALVES (DV) AND RISERS (R) WITH A PERMANENT MARKER OR LABEL.
6. SWIMMING POOLS OR SPAS MUST NOT BE DRAINED OR BACKWASHED INTO THE SEPTIC SYSTEM.
7. AVOID PLANTING TREES IN DISPERSAL FIELD OR CLOSE TO SEPTIC TANK.
8. GARBAGE DISPOSAL IS NOT RECOMMENDED. IF THEY ARE INSTALLED, THEY SHOULD BE USED SPARINGLY OR NOT AT ALL.
9. THE SOLIDS THAT ACCUMULATE IN THE SEPTIC TANK SHOULD BE REMOVED BY PUMPING EVERY 3–5 YEARS TO PREVENT SOLIDS FROM ENTERING AND CLOGGING THE DISPERSAL FIELD.
10. ALL WORK TO BE PERFORMED BY AN APPROPRIATELY LICENSED CONTRACTOR.
11. PRIOR TO STARTING CONSTRUCTION, CONTRACTOR SHALL CONTACT USA AT 1–800–227–2600 TO LOCATE ALL UNDERGROUND UTILITIES.

ACROSS ALL THE ACTIVITIES CURRENTLY PLANNED ON THE LAND –REARING LIVESTOCK, PRODUCTION AND SALE OF COMPOST, BALES OF ORCHARD GRASS AND CSA BOXES AND RESIDENCES, THE TOTAL NUMBER OF PEOPLE INCLUDING RESIDENTS, EMPLOYEES AND VISITORS WILL NOT EXCEED MORE THAN 25 PEOPLE IN A 60 DAY PERIOD ANNUALLY. PLEASE SEE THE TABLE BELOW FOR A SUMMARY.

OUR APPLICATION AND OWTS DESIGN INCLUDES A 3 BEDROOM SMALL SCALE PERMANENT AGRICULTURAL HOUSING WHOSE RESIDENTS ARE ALSO SHOWN IN THE TABLE BELOW AS RESIDENT EMPLOYEES. THE LIVESTOCK SHELTER AND AGRICULTURAL SHED BOTH INCLUDE A UNISEX BATHROOM THAT WILL CATER TO THE DEMAND MENTIONED BELOW. FOR OUR CSA PROGRAM, ABOUT 2/3RD'S OF THE 90 FAMILIES ARE OUR REGULAR CONGREGATION WHO WILL PICK IT UP FROM OUR TEMPLE WHICH IS ABOUT 1.5 MILES AWAY LOCATED AT 680 E. CALAVERAS BLVD, MILPITAS, CA. CUSTOMER/VOLUNTEER VISITS TO 2425 OLD CALAVERAS RD SITE FOR ALL OUR OPERATIONS WILL BE BY APPOINTMENT ONLY AND WE WILL BE USING THIS APPOINTMENT SYSTEM TO ENSURE THAT THE DAILY LIMITS PROPOSED BELOW ARE ADHERED TO.

OUR OWTS DESIGN ANTICIPATES A FUTURE PRIMARY RESIDENCE WITH 6 BEDROOMS, A FUTURE ADU WITH 3 BEDROOMS, A JADU WITH TWO BEDROOMS, THUS WE HAVE TWO TABLES FOR PROPOSED CURRENT USE AND ONE FOR FUTURE USE WHERE WE HAVE ADDED A COLUMN TO SHOW FUTURE RESIDENTS FOR THESE UNITS.

PROPOSED CURRENT USE/OCCUPANCY:

Day	Time	Resident Employees of Agricultural Housing	Other Employees	Volunteers /Customers	Total People
Monday to Friday	5am to 1pm	3	2	8	13
	4pm to 9pm	3	2	8	13
Saturday	5am to 1pm	3	2	8	13
	2pm to 9pm	3	2	8	13
Sunday	5am to 1pm	3	2	8	13
	2pm to 9pm	3	2	8	13

FUTURE USE/OCCUPANCY:

Day	Time	Future Residents Primary/ ADU/JADU	Resident Employees Agricultural Housing	Other Employees	Volunteers /Customers	Total People
Monday to Friday	5am to 1pm	11	3	2	8	24
	4pm to 9pm	11	3	2	8	24
Saturday	5am to 1pm	11	3	2	8	24
	2pm to 9pm	11	3	2	8	24
Sunday	5am to 1pm	11	3	2	8	24
	2pm to 9pm	11	3	2	8	24

B. SEPTIC TANK REQUIREMENTS

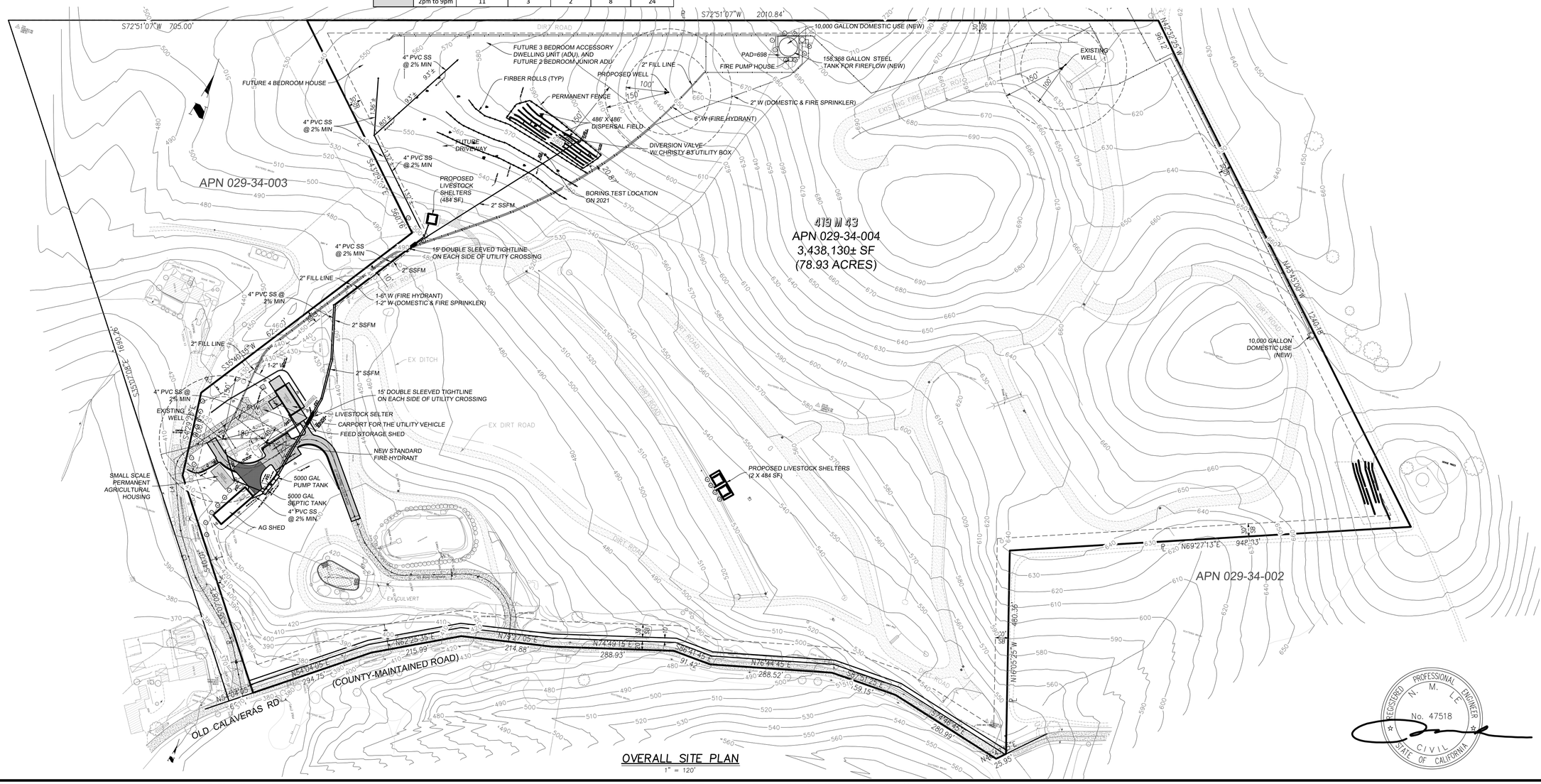
1. MINIMUM CAPACITY. SEPTIC TANKS MUST HAVE A MINIMUM CAPACITY OF FIVE THOUSAND (5,000) GALLONS OR TWICE THE PEAK DAILY WASTEWATER FLOW FOR THE FACILITY SERVED, WHICHEVER IS GREATER. MINIMUM SEPTIC TANK CAPACITY FOR ASSISTED CARE FACILITIES SHALL BE EQUAL TO THREE TIMES THE PEAK DAILY WASTEWATER FLOW.
2. TWO COMPARTMENTS. SEPTIC TANKS MUST BE OF TWO–COMPARTMENT CONSTRUCTION, WITH THE FIRST COMPARTMENT EQUAL TO TWO–THIRDS THE TOTAL TANK VOLUME. THE COMPARTMENTS MUST BE SEPARATED BY A BAFFLE OR EQUIVALENT ARRANGEMENT.
3. MATERIALS. SEPTIC TANKS MUST BE WATERTIGHT, PROPERLY VENTED AND CONSTRUCTED OF REINFORCED CONCRETE, HEAVYWEIGHT REINFORCED CONCRETE BLOCKS, FIBERGLASS OR OTHER DURABLE, NON–CORROSIBLE MATERIALS AS APPROVED BY THE DIRECTOR. SEPTIC TANKS SHALL BE DESIGNED TO WITHSTAND ANY ANTICIPATED WEIGHT PLACED ABOVE IT. ALL SEPTIC TANKS SHALL BE LISTED AND APPROVED BY IAPMO OR AN ANSI ACCREDITED TESTING ORGANIZATION. EXCEPTION TO THIS REQUIREMENT MAY BE GRANTED WHERE STRUCTURAL DESIGN CALCULATIONS FOR THE SEPTIC TANK ARE PROVIDED BY A CALIFORNIA REGISTERED CIVIL ENGINEER.
4. ACCESS OPENINGS. ACCESS TO EACH SEPTIC TANK COMPARTMENT MUST BE PROVIDED BY A MANHOLE OPENING AT LEAST TWENTY INCHES IN DIAMETER.
5. ACCESS RISERS. A RISER MUST EXTEND FROM EACH MANHOLE OPENING TO OR ABOVE THE SURFACE OF THE GROUND. THE RISER MUST BE OF A SIZE LARGER THAN THE MANHOLE OPENING, BE BOTH GAS– AND WATER–TIGHT, BE CONSTRUCTED OF DURABLE MATERIAL AND EQUIPPED WITH A SECURE COVER.
6. EFFLUENT FILTER. THE OUTLET OF THE SEPTIC TANK SHALL BE FITTED WITH AN EFFLUENT FILTER CAPABLE OF SCREENING SOLIDS IN EXCESS THREE–SIXTEENTHS (3/16) OF AN INCH IN DIAMETER AND CONFORMING TO NSF/ANSI STANDARD 46 OR AS OTHERWISE APPROVED BY THE DIRECTOR.
7. TANK CONNECTIONS. ALL CONNECTIONS FROM BUILDING TO SEPTIC TANK MUST CONFORM TO CONSTRUCTION STANDARDS AS REQUIRED BY THE COUNTY BUILDING OFFICIAL.
8. WATER–TIGHTNESS TESTING. ALL NEW SEPTIC TANK INSTALLATIONS AND MODIFICATIONS TO EXISTING SEPTIC TANKS SHALL UNDERGO WATER–TIGHTNESS TESTING AS FOLLOWS:
   A) NEW TANKS. FOR NEW TANK INSTALLATIONS, THE TESTING SHALL BE DONE WITH THE RISERS IN PLACE AND THE INLET AND OUTLET PIPES PLUGGED. THE TANK SHALL BE FILLED WITH WATER TO A LEVEL EXTENDING A MINIMUM OF TWO (2) INCHES INTO THE RISERS, AND MONITORED FOR A 1– HOUR PERIOD, WITH NO MEASURABLE DROP IN THE WATER LEVEL.
   B) EXISTING TANKS. FOR EXISTING TANKS, THE TANK SHALL BE FILLED WITH WATER TO A LEVEL EVEN WITH THE INVERT OF THE OUTLET PIPE, AND MONITORED FOR A 1–HOUR PERIOD, WITH NO MEASURABLE DROP IN WATER LEVEL. HOWEVER, IN CASES WHERE THERE THE GROUNDWATER LEVEL IS KNOWN OR ESTIMATED TO RISE ABOVE THE LEVEL OF THE OUTLET PIPE DURING ANY TIME OF THE YEAR, THE WATER–TIGHTNESS TEST SHALL BE CONDUCTED FOLLOWING THE PROCEDURE FOR NEW TANK INSTALLATIONS; I.E., BY FILLING THE TANK WITH WATER INTO THE RISERS.

C. PIPE REQUIREMENTS

1. SOLID PIPE. JOINTS AND CONNECTIONS. SOLID (NON–PERFORATED) PIPE FOR OWTS MUST CONFORM TO THE STANDARDS OF THE MOST RECENT EDITION OF THE UNIFORM PLUMBING CODE, WHICH IS ADOPTED BY REFERENCE INTO THE COUNTY'S BUILDING ORDINANCES. PIPE DIAMETER MUST BE FOUR INCHES. ALL SOLID PIPE JOINTS AND CONNECTIONS MUST BE GLUED, CEMENTED OR MADE WITH AN ELASTOMERIC SEAL SO AS TO BE WATERTIGHT.
2. TIGHTLINES UNDER RESIDENTIAL DRIVEWAY. TIGHTLINES IN RESIDENTIAL TRAFFIC AREAS MUST BE INSTALLED WITH SCHEDULE 40 PVC. AN ALTERNATIVE IS TO SLEEVE (I.E., DOUBLE PIPE) THE THIN WALL TIGHTLINE PIPE WITHIN AN OUTER PIPE CONSISTING OF SCHEDULE 40 PVC, ABS OR SUITABLE ALTERNATIVE AND RATED BY THE UNIFORM PLUMBING CODE.
3. DISTRIBUTION PIPE. PERFORATED PIPE FOR CONVENTIONAL OWTS DISPERSAL SYSTEMS MUST CONFORM TO THE MOST RECENT EDITION OF THE UNIFORM PLUMBING CODE, WHICH IS ADOPTED BY REFERENCE INTO THE COUNTY'S BUILDING ORDINANCES. THE PIPE DIAMETER MUST BE FOUR INCHES.

D. DISPERSAL SYSTEM REQUIREMENTS

1. TRENCH CONSTRUCTION.
   A) TRENCHES MUST BE PLACED IN UNDISTURBED EARTH, IN AN ACCESSIBLE AREA, AND SHALL NOT BE COVERED BY PAVING OR OTHER IMPERMEABLE OR COMPACTED SURFACE. NATURAL TOPOGRAPHY SHALL NOT BE GRADED TO MODIFY SLOPE.
   B) THE BOTTOM OF A TRENCH MUST BE LEVEL. WITH A VARIATION OF NO MORE THAN 2 INCHES PER 100 LINEAL FEET OF TRENCH; TRENCHES SHALL BE ALIGNED PARALLEL TO THE GROUND SURFACE CONTOURS TO THE GREATEST EXTENT PRACTICABLE.
   C) ADJACENT TRENCHES ON SLOPES MUST BE CONNECTED WITH A WATERTIGHT OVERFLOW LINE ("RELIEF LINE") IN A MANNER THAT ALLOWS EACH TRENCH TO BE FILLED WITH SEWAGE EFFLUENT TO THE DEPTH OF THE ROCK BEFORE THE SEWAGE FLOWS TO THE NEXT LOWER TRENCH. ALTERNATIVELY, A DISTRIBUTION BOX (D–BOX) MAY BE USED TO EQUALLY DIVIDE THE FLOW AMONGST THE TRENCHES, PROVIDED THE PROPOSED D–BOX IS OF A DESIGN APPROVED AND LISTED BY THE DEH PER PART 3.1.E (MATERIALS AND EQUIPMENT) OF THIS MANUAL. FOR SYSTEMS LOCATED ON SITES HAVING SLOPES OF LESS THAN 5%, A "GRID" DESIGN MAY BE USED IN ACCORDANCE WITH GUIDELINES PROVIDED UNDER AT THE END OF THIS SECTION (E.3.F).
   D) TRENCHES MUST NOT BE EXCAVATED WHEN THE SOIL IS SO WET THAT SMEARING OR COMPACTION OCCURS.
   E) IN CLAY SOILS WHEN GLAZING OCCURS, THE TRENCH SURFACES MUST BE SCARIFIED TO THE DEPTH OF THE GLAZING AND THE LOOSE MATERIAL REMOVED.
   F) ROCK MATERIAL IN THE TRENCH MUST BE WASHED AND FREE OF FINES, AND MUST BE COVERED WITH AN APPROVED FILTER FABRIC SILT BARRIER (GEOTEXTILE) PRIOR TO BACKFILLING WITH NATURAL EARTH.
   G) A CAPPED INSPECTION RISER SHALL BE INSTALLED WITHIN EACH TRENCH TO PROVIDE A MEANS OF OBSERVING THE EFFLUENT LEVEL IN THE TRENCH.
   H) EROSION CONTROL MEASURES SHALL BE IMPLEMENTED FOLLOWING INSTALLATION PER REQUIREMENTS OF SECTION B11–83(C) FOR ANY CONVENTIONAL DISPERSAL SYSTEM WHERE: (1) GROUND SLOPE EXCEEDS 20%; (2) ABOVE–GRADE COVER FILL IS ADDED; (3) DESIGN FLOW EXCEEDS 1,000 GPD; OR (4) A GRADING AND/OR DRAINAGE PERMIT IS REQUIRED FOR PROJECT SITE DEVELOPMENT PER DIVISION C12, CHAPTER III OF THE COUNTY CODE. THE PLAN SUBMITTAL FOR THE OWTS SHALL INCLUDE AN EROSION CONTROL PLAN IN ACCORDANCE WITH REQUIREMENTS OF ORDINANCE SECTION B11–83(C).



OVERALL SITE PLAN
1" = 120'

APPLICANT : .

ROAD NAME : OLD CALAVERAS ROAD

FILE NO : .

NO.	REVISIONS	APP'D	DATE	BY

CT DESIGNED 12/09/22 DATE
CT DRAWN 12/09/22 DATE
AS NOTED SCALE
NL CHECKED 12/09/22 DATE

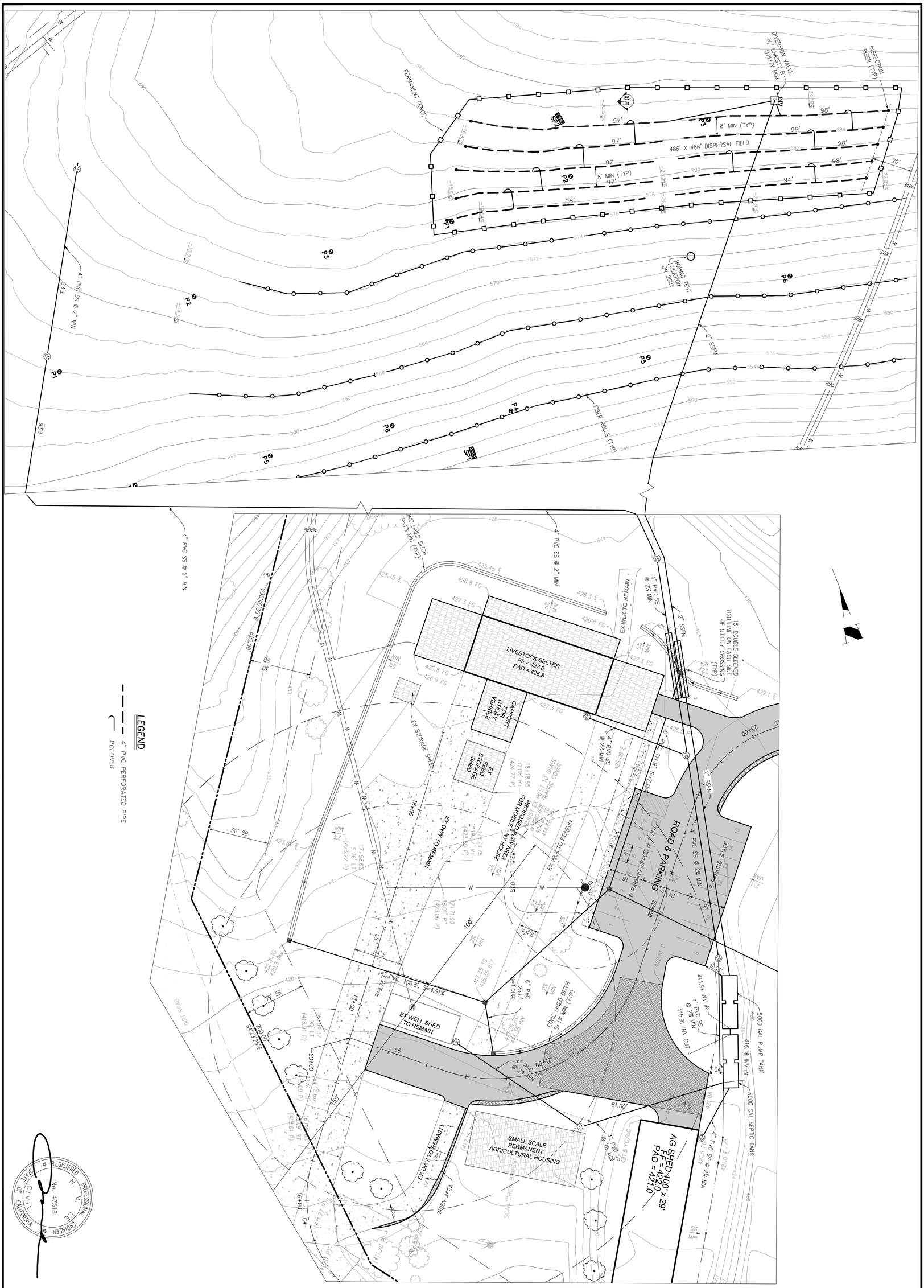
ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187

SEPTIC SYSTEM PLAN
LANDS OF GOKULAM LLC
2425 OLD CALAVERAS ROAD
APN 029-34-004

California | PROJECT NO.
Milpitas | CONTRACT NO.

REGISTERED PROFESSIONAL ENGINEER N. M. L. No. 47518 CIVIL STATE OF CALIFORNIA

DRAWING NO. SS1
SHT NO. 1 OF 3
FILE NO.



APPLICANT : .

ROAD NAME : OLD CALAVERAS ROAD

FILE NO : .

REGISTERED PROFESSIONAL ENGINEER
No. 47518
C. V. VIJ
STATE OF CALIFORNIA

DRAWING NO. SS2	SEPTIC SYSTEM PLAN LANDS OF GOKULAM LLC 2425 OLD CALAVERAS ROAD APN 029-34-004	LE ENGINEERING 598 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 806-7187
SHT NO. 2 OF 3	Milpitas California	
FILE NO.	CONTRACT NO. PROJECT NO.	

CT	12/09/22					
DESIGNED	DATE					
CT	12/09/22					
DRAWN	DATE					
1" = 20'						
SCALE						
NL	12/09/22					
CHECKED	DATE	BY	DATE	APP'D	REVISIONS	NO.

County of Santa Clara– Department of Environmental Health
SOIL PERCOLATION TEST RECORDED MEASUREMENTS

APN 029-34-004

OWNER/APPLICANT: GOKULAM LLC | SR #: 353368 | PLN FILE #:
LOCATION: 2425 Old Calaveras Rd | REHS: PETER ESTES
CONTACT PERSON: NINH LE (408)806-7187 | PHONE: 408 806-7187 | DATE: 3/6/20

HOLE #1 (Weed S. hillside pasture) DEPTH 5'

TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
8:13	8:43	29.75	29.33	30	0.75	0.75
9:40	10:14	29.25	28.5	30	9.75	0.32
10:15	10:45	29.75	29.625	30	0.75	0.32
10:46	11:16	29.875	29.625	30	0.75	0.25

Av = 6.32 mpi

HOLE #2 DEPTH 5'

TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
9:16	9:46	10:16	10:15	30	Bottom	
9:46	10:16	10:15	10:14.5	30	Bottom	
10:17	10:47	10:14.5	11.5	30	3	0.75
10:48	10:98	10:98	11.625	30	2.625	0.69
11:00	11:30	14.5	11.625	30	2.925	0.48
11:31	11:31	14.5	11.625	30	2.925	0.48
11:32	11:31	14.5	11.625	30	2.925	0.48
11:35	11:45	14.5	11.625	30	2.925	0.48

Av = 3.43 mpi

HOLE #3 DEPTH 5'

TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
9:21	9:51	10.5		Bottom		
9:51	10:21	10.5		Bottom		
10:22	10:52	10.5	10.375	30	1.75	0.67
10:51	11:01	10.5	10.375	10	2.625	2.76
11:52	11:12	10.5	10.375	10	2.625	2.76
11:13	11:23	10.5	10.375	10	2.625	2.76
11:24	11:34	10.5	10.375	10	2.625	2.76
11:35	11:45	10.5	10.375	10	2.625	2.76

Av = 2.76 mpi

HOLE #4 DEPTH 5'

TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
9:24	9:54	42		Bottom		
9:54	10:24	41.5		Bottom		
10:25	10:55	42	39	30	3	3.33
11:50	12:00	41.5	37.625	10	3.375	2.96
12:15	12:45	42	39	10	3	2.73
12:18	12:27	42	39.63	10	2.25	2.63
12:28	12:39	42.25	39.5	10	2.75	2.63
12:40	12:50	42	39.25	10	2.75	2.63

Av = 3.65 mpi

HOLE #5 DEPTH 5'

TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
9:28	9:58	104		Bottom		
9:59	10:29	104		Bottom		
10:30	10:40	104	101.875	10	2.125	6.70
11:51	12:01	104.125	101.875	10	2.25	6.84
12:02	12:12	104	102	10	2	5
12:13	12:23	104	102	10	2	5
12:24	12:34	104	102	10	2	5
12:34	12:44	104	102	10	2	5

Av = 5 mpi

HOLE #6 DEPTH 5'

TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
9:31	10:01	103.75		Bottom		
10:01	10:31	103.75		Bottom		
10:32	10:42	103.75	103.5	10	3	3.33
11:33	11:03	103.75	103.625	10	1.5	1.71
12:04	12:14	103.75	103.75	10	3	3.33
12:15	12:25	103.75	103.75	10	3	3.33
12:26	12:36	103.75	103.75	10	3	3.33
12:37	12:47	103.75	103.75	10	3	3.33

Av = 3.33 mpi

HOLE	1	2	3	4	5	6
Stabilized MPI R	6.32	5.48	2.76	5.63	5	3.32
Adjusted Stabilized MPI R=R x 1.4	8.85	6.87	3.86	5.08	7.0	4.66
Average Adjusted Stabilized MPI $R_3=(\Sigma R_1)/\#$ Holes	13.86					
# Bedrooms: FOR OFFICE USE ONLY	Tank Size (Gal)		Leach line (Ft)			

MPI.doc (Rev.3/14)

County of Santa Clara– Department of Environmental Health
SOIL PERCOLATION TEST RECORDED MEASUREMENTS

APN 029-34-004

OWNER/APPLICANT: GOKULAM LLC | SR #: 353368 | PLN FILE #:
LOCATION: 2425 Old Calaveras Rd | REHS: PETER ESTES
CONTACT PERSON: NINH LE | PHONE: 408 806-7187 | DATE: 3/6/20

HOLE #1 (East S. hillside pasture) DEPTH 5'

TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
11:54	11:24	92		Bottom		
11:27	11:57	92		30	Bottom	
11:58	2:28	92	86	30	6	1.67
12:29	2:59	92	86.375	30	5.625	1.56
2:34	2:49	92	86.375	10	5.625	1.85
2:50	3:00	92	86.75	10	5.25	1.90
3:01	3:11	92	86.75	10	5.25	1.90
3:12	3:22	92	86.875	10	5.125	1.85

Av = 1.92 mpi

HOLE #2 DEPTH 5'

TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
12:54	1:24	30.5		30	Bottom	
1:24	1:54	30.5		30	Bottom	
2:00	2:30	30.5		30	Bottom	
2:30	2:35	30.5	26.375	5	16.625	1.02
2:35	2:40	30.5	26.5	5	4	1.25
2:41	2:46	30.5	26.5	5	4	1.25
2:47	2:52	30.5	26.5	5	4	1.25
2:53	2:58	30.5		5		

Av = 1.28 mpi

HOLE #3 DEPTH 5'

TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
1:02	1:32	29.5		30	Bottom	
1:34	2:04	29.5		30	Bottom	
2:06	2:16	29.5		10	Bottom	
2:32	2:42	29.5		10	Bottom	
2:49	3:03	29.5	26	5	3.5	1.43
3:04	3:08	29.5	26	5	3.5	1.43
3:10	3:15	29.5	25.25	5	4.25	1.6
3:16	3:21	29.5	25.875	5	3.625	1.38
3:25	3:30	29.5	26	5	3.5	1.43
3:32	3:37	29.5	26.5	5	3	1.67
3:39	3:44	29.5	26.5	5	3	1.67
3:45	3:50	29.5	26.5	5	3	1.67

Av = 1.67 mpi

HOLE #4 DEPTH 5'

TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
1:06	1:36	30.25	24.875	30	5.375	5.58
1:37	2:07	30.25	26.375	30	3.875	4.04
2:10	2:40	30.25	26.625	30	3.625	3.77
2:44	3:14	30.25	26.875	30	3.375	3.04
3:15	3:45	30.25	26.875	30	3.375	3.04

Av = 7.74 mpi

HOLE #5 DEPTH 5'

TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
1:09	1:39	91.5		30	Bottom	
1:40	2:10	91.5		30	Bottom	
2:12	2:22	91.5		10	Bottom	
2:24	2:51	91.5	85.5	5	6	1.85
2:52	3:02	91.5	87	5	4.5	1.11
3:04	3:09	91.5	87.13	5	4.35	1.17
3:10	3:15	91.5	87.25	5	4.25	1.17

Av = 1.15 mpi

HOLE #6 DEPTH 5'

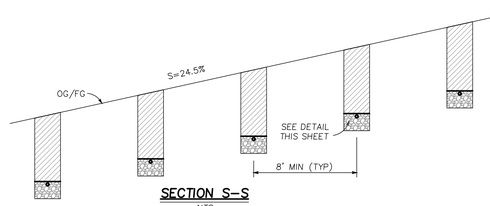
TIME START	TIME FINISH	WATER LEVEL START	WATER LEVEL FINISH	Δ MIN	Δ INCH	MPI
1:11	1:41	91		30	Bottom	
1:42	2:11	91		30	Bottom	
2:15	2:25	91	88.5	10	2.5	4
2:26	2:56	91	89.75	5	1.25	2.16
3:00	3:05	91	89.75	5	1.25	3.07
3:06	3:11	91	89.5	5	1.5	3.33

Av = 3.09 mpi

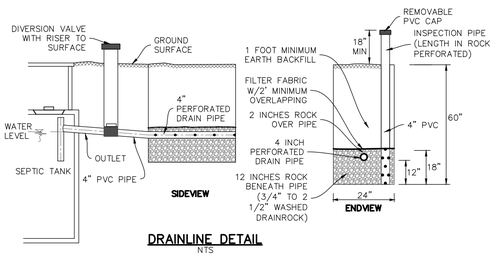
HOLE	1	2	3	4	5	6
Stabilized MPI R	1.92	1.28	1.62	7.74	1.15	3.09
Adjusted Stabilized MPI R=R x 1.4	2.69	1.79	2.34	10.84	1.61	4.33
Average Adjusted Stabilized MPI $R_3=(\Sigma R_1)/\#$ Holes	4.83					
# Bedrooms: FOR OFFICE USE ONLY	Tank Size (Gal)		Leach line (Ft)			

MPI.doc (Rev.3/14)

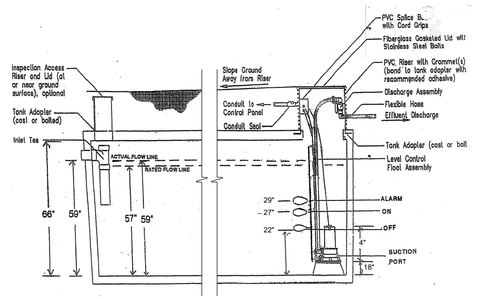
AVERAGE ADJUSTED STABILIZED MPI = 4.83 MPI

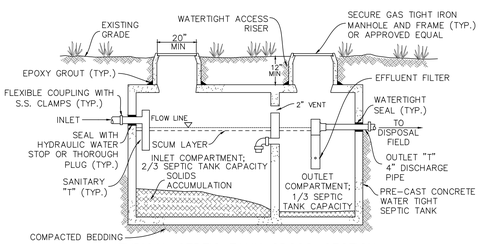


SECTION S–S
NTS



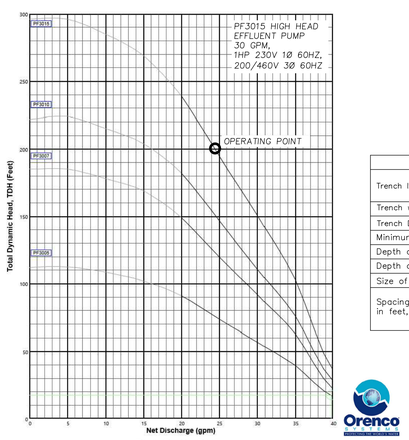
DRAINLINE DETAIL
NTS





TYPICAL SEPTIC TANK CROSS–SECTION
5000 GALLON SEPTIC TANK – DON CHAPIN MODEL IPS5000 OR EQUAL
NTS

CONCRETE TANKS MUST BE USED WHERE POSSIBLE. ALTERNATIVE MATERIALS ARE APPROVED ON A SITE SPECIFIC BASIS. THE DEPARTMENT OF ENVIRONMENTAL HEALTH MAINTAINS A LIST OF APPROVED SEPTIC TANKS.



PUMP CURVE

Orenco

SOIL PROFILE RESULTS
CONVENTIONAL SYSTEMS

SR #: 453368 | DATE OF INSPECTION: 2/13/2020
APN #: 029-34-004 | OWNER:
APPLICANT: Gokulam
SITE ADDRESS: 2425 Old Calaveras Rd Milpitas
CONDUCTED BY: Michelle / Mark Hawkins | CHECKED BY: Peter Estes

HOLE #: 5P1

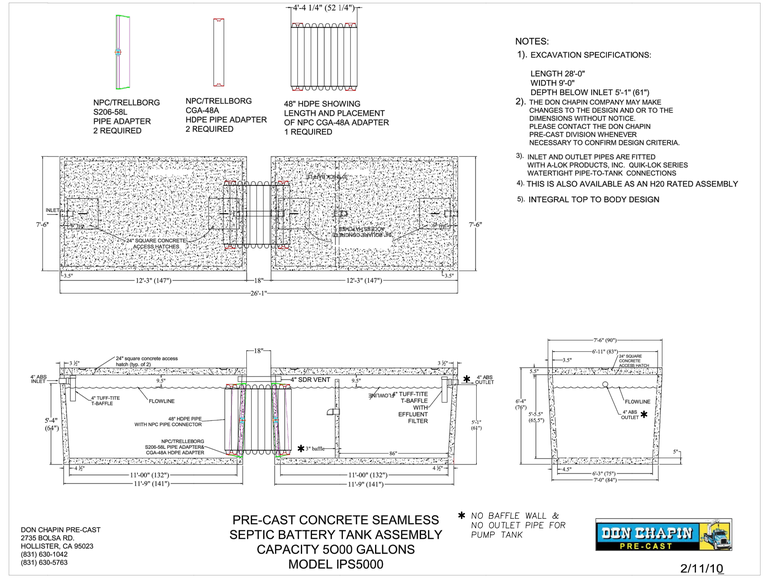
Black clay loam, dry, no rocks
light brown sandy, gravel small rocks, dry
end of dig - refusal No groundwater observed

HOLE #: 5P2

same
rockier
end of dig No groundwater observed

COMMENTS:

Rev. 3/3/14



NOTES:
1). EXCAVATION SPECIFICATIONS:
LENGTH 28'-0"
WIDTH 9'-0"
DEPTH BELOW INLET 5'-1" (61")
2). THE DON CHAPIN COMPANY MAY MAKE CHANGES TO THE DESIGN AND OR TO THE DIMENSIONS WITHOUT NOTICE. PLEASE CONTACT THE DON CHAPIN PRE-CAST DIVISION WHENEVER NECESSARY TO CONFIRM DESIGN CRITERIA.
3). INLET AND OUTLET PIPES ARE FITTED WITH A-LOK PRODUCTS, INC. QUIK-LOK SERIES WATERTIGHT PIPE-TO-TANK CONNECTIONS.
4). THIS IS ALSO AVAILABLE AS AN H20 RATED ASSEMBLY
5). INTEGRAL TOP TO BODY DESIGN

DON CHAPIN PRE-CAST
2735 BOLSA RD.
HOLLISTER, CA 95023
(831) 630-1042
(831) 630-5763

PRE-CAST CONCRETE SEAMLESS
SEPTIC BATTERY TANK ASSEMBLY
CAPACITY 5O00 GALLONS
MODEL IPS5000

* NO BAFFLE WALL & NO OUTLET PIPE FOR PUMP TANK

DON CHAPIN PRE-CAST

2/11/10

5000 GALLON SEPTIC TANK – DON CHAPIN MODEL IPS5000 OR EQUAL
NTS

PUMP SYSTEM WORKSHEET

Applicant NINH LE / LC ENGINEERING Date 10/18/22
Owner File No.
Site Address 2425 OLD CALAVERAS ROAD City Milpitas APN 029-34-004

Elevation of high drain field (ft) 587.77
Elevation of pump off (ft) 411.82
Total lift (Ft Head) 175.95 (A)

TIGHT LINE
Diameter of tight line (inches) 2"
Length of tight line from pump to upper drain field (ft) 1129' (B)

FITTINGS

No. of Fittings		Pipe Length Equivalent (ft) See Chart		Total Pipe Equivalent (ft)
2 90 Degrees Standard Elbow	X	6	=	12
45 Degrees Standard Elbow	X		=	
90 Long Radius Elbow	X		=	
1 gate valve (fully open)	X	2	=	2
1 check valve (conventional swing)	X	1.5	=	1.5
		TOTAL	=	15.5' (C)

Total Length of Pipe = B + C = 1144.50 (D)

CALCULATIONS:
Friction Loss in Pipes:
(B/100 ft) x 1.62 (friction loss per chart) = 18.29 (E) Head in Feet

Required Pump Size:
175.95' (A) + 18.29' (E) = 194.24' (F) Total Pumping Head in Feet

Pump Size:
(F) versus GPM=Pump Size (refer to pump curve)

Pump Model: (Attach Pump Curve)
24.40 GPM at 200.00 (ft of head: from pump curve) Manufacturer/Model ORENCO/PF3015

Required Capacity in Gallons

Dosing Volume	475.77
Storage Capacity ($1\frac{1}{2}$ days)	3825
Pump Displacement	5
Volume from tank bottom to pump base/off level	1979.41
Total tank capacity	6394.57

Pump Tank Information
Manufacturer Don Chapin Pre-cast Model: IPS5000 Size 98.37 Gallon per inch

TABLE 3–4. CONVENTIONAL OWTS DISPERSAL TRENCH DESIGN

PARAMETER	REQUIREMENT
Trench length	Determined based on design flow and percolation rate; see below Recommended maximum of 100' per trench
Trench width	18 inches minimum; 36 inches maximum
Trench Depth	2.5 feet minimum; 8 feet maximum
Minimum cover over rock, in inches*	12 inches
Depth of rock under pipe (minimum)*	12 inches
Depth of rock over pipe (minimum)*	2 inches
Size of rock *	¾ to 2½ inches
Spacing of trenches, center to center, in feet, minimum	2 times the depth of rock below pipe; 6 feet minimum, plus 1–foot additional spacing for every 5% increase in dispersal area ground slope above 20%

*TABLE 1. STANDARD WASTEWATER APPLICATION RATES–SEPTIC TANK EFFLUENT

Percolation Rate (MPI)	Application Rate (gdp/ft²)
1 TO 5	1.20
6	1.12

*TABLE 3–1 WASTEWATER DESIGN FLOWS FOR SINGLE FAMILY RESIDENCES AND SECOND UNITS

No. of Bedrooms	Design Flow (gal/day)
1	150
2	300
3	450
4	525
5	600
6	675
>6	+75 per bedroom

*COUNTY OF SANTA CLARA – DEH ONSITE SYSTEM MANUAL – MAY 2014

5000-gallon Pinnacle Tank (volume to the bottom of the tank lid)

Height (inches)	Volume in Gallons (ignore baffles)	
0	0.00	
1	86.00	
2	172.37	
3	259.11	
4	346.23	
5	433.73	
6	521.61	
7	609.86	
8	698.50	
9	787.51	
10	876.90	1979.41 Gallons
11	966.67	
12	1056.82	
13	1147.36	
14	1238.27	
15	1329.57	
16	1421.25	
17	1513.31	
18	1605.76	
19	1698.59	
20	1791.81	
21	1885.42	
22	1979.41	PUMP OFF
23	2073.79	
24	2168.55	475.77 Gallons
25	2263.70	
26	2359.25	
27	2455.18	PUMP ON
28	2551.50	
29	2648.21	
30	2745.31	
31	2842.80	
32	2940.69	
33	3038.97	
34	3137.64	
35	3236.71	
36	3336.17	
37	3436.02	
38	3536.27	
39	3636.92	
40	3737.96	
41	3839.40	
42	3941.24	
43	4043.47	
44	4146.11	
45	4249.14	
46	4352.57	3939.40 Gallons
47	4456.41	
48	4560.64	
49	4665.28	
50	4770.32	
51	4875.76	
52	4981.61	
53	5087.86	
54	5194.51	
55	5301.57	
56	5409.04	
57	5516.91	
58	5625.19	
59	5733.87	
60	5842.97	
61	5952.47	
62	6062.38	
63	6172.70	
64	6283.43	
65	6394.57	

DISPERSAL TRENCH LENGTH CALCULATIONS

REFERENCE
SANTA CLARA COUNTY ONSITE SYSTEM MANUAL (OSM), MAY 2014
WASTEWATER DESIGN FLOW (WWDF)

FROM TABLE 3–2 OSM
FACTORIES AND INDUSTRIAL BUILDINGS (TOILET WASTES ONLY)
WITH SHOWERS (PER EMPLOYEE) = 35 GAL/DAY
EMPLOYEES/CUSTOMERS/VOLUNTEERS = 13
WWDF = 455 GAL/DAY

FUTURE JUNIOR ACCESSORY DWELLING UNIT NO. BEDROOM = 2
FROM TABLE 3–1 OSM
2 BEDROOM HOUSE = 300 GAL/DAY
WWDF = 300 GAL/DAY

FUTURE ACCESSORY DWELLING UNIT NO. BEDROOM = 3
FROM TABLE 3–1 OSM
3 BEDROOM HOUSE = 450 GAL/DAY
WWDF = 450 GAL/DAY

FUTURE HOUSE NO. BEDROOM = 6
FROM TABLE 3–1 OSM
6 BEDROOM HOUSE = 675 GAL/DAY
WWDF = 675 GAL/DAY

SMALL SCALE PERMANENT AGRICULTURAL HOUSING NO. BEDROOM = 3
FROM TABLE 3–1 OSM
3 BEDROOM HOUSE = 450 GAL/DAY
WWDF = 450 GAL/DAY

TOTAL WWDF = 2330 GAL/DAY

STANDARD WASTEWATER APPLICATION RATES (SWAR)
AVERAGE ADJUSTED PERCOLATION RATE = 4.83 MPI
FROM TABLE 1 OSM WITH 5 MPI:
SWAR = 1.20

TRENCH LENGTH CALCULATIONS
$L = \frac{Q}{RA}$
L = TRENCH LENGTH;
Q = DESIGN WASTEWATER FLOW (GPD)
R = SWAR (GPD/SF)
A = TOTAL INFILTRATIVE AREA PER LINEAL FOOT OF TRENCH (SF)

USE INFILTRATIVE SURFACE OF 4 SF
$L = \frac{2330}{(1.20)4} = 485.42'$; USE 486'

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	APP'D	DATE	BY
			12/09/22	CT
			12/09/22	CT
				AS NOTED
			12/09/22	NL

DESIGNED CT
DRAWN CT
SCALE AS NOTED
CHECKED NL

LE ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187

SEPTIC SYSTEM PLAN
LANDS OF GOKULAM LLC
2425 OLD CALAVERAS ROAD
APN 029-34-004
Milpitas California

PROJECT NO.
CONTRACT NO.
DRAWING NO. SS3
SHT NO. 3 OF 3
FILE NO.

APPLICANT : . ROAD NAME : OLD CALAVERAS ROAD FILE NO : .

ATTACHMENT A: PROJECT DETAILS

PROJECT DATA

1.	SITE ADDRESS:	2425 OLD CALAVERAS ROAD, MILPITAS, CA 95035
2.	APN:	029-34-004
3.	LOT SIZE:	78.93 ACRES
4.	ZONING:	HS-d2 (100%)
5.	NEW IMPERVIOUS SURFACES:	
	(N) STRUCTURAL:	9,456 SF
	(N) ACCESS ROAD:	15,914 SF
	(N) WALKWAY:	438 SF
	TOTAL (N) IMPERVIOUS AREA:	25,808 SF
6.	EXISTING IMPERVIOUS SURFACES:	
	(E) STRUCTURAL TO REMAIN:	920 SF
	(E) DRIVEWAY TO REMAIN:	19,286 SF
	(E) WALKWAY TO REMAIN:	2,090 SF
	TOTAL IMPERVIOUS AREA:	**48,104 SF**

GRAPHIC SCALE
0 50 100 200
(IN FEET)
1 inch = 100 ft.

APN 029-34-003

419 M 43
APN 029-34-004
3,438,130± SF
(78.93 ACRES)

APN 029-34-002

S72°51'07"W 705.00'
S72°51'07"W 2010.84'
N43°25'00"W 1240.18'
S43°29'00"E 460.16'
S35°40'35"W 625.00'
S4°29'25"E 200.00'
S35°07'55"E 380.45'
N69°27'13"E 948.83'
N16°05'25"W 480.36'

PERMANENT DEVELOPMENT AREA = 14,521 SF
128,427 GALLON DUAL PURPOSE STEEL TANK FOR FIREFLOW & DOMESTIC USE (NEW)
FIRE PUMP
2" FILL LINE
1-2" W
1-6" W
TEMPORARY DISTURBANCE AREA = 21,371 SF
LEACHFIELD AREA
10' (TYP)
PERMANENT DEVELOPMENT AREA = 14,300 SF
LIVESTOCK SELTER 484 SF (NO APPROVAL REQUIRED)
TEMPORARY DISTURBANCE AREA = 15,670 SF
RECLAMATION BOUNDARY
EXISTING FIRE ACCESS ROAD
1-6" W (FIRE HYDRANT)
1-2" W (DOMESTIC & FIRE SPRINKLER)
TEMPORARY DISTURBANCE AREA = 21,171 SF
PROPOSED LIGHT POLE
EX STORAGE SHED
PATH TRAVEL L=215'±
EX DITCH
CARPORT FOR THE UTILITY VEHICLE (SEE SHEET C4)
LIVESTOCK SELTER (SEE SHEET C4)
FEED STORAGE SHED (SEE SHEET C4)
PATH TRAVEL L=222'±
SITE GRADING (SEE SHEET C4)
22' WIDE FIRE ACCESS ROAD (SEE SHEET C3)
PERMANENT DEVELOPMENT AREA = 137,667 SF
22' WIDE FIRE ACCESS ROAD (SEE SHEET C3)
PATH TRAVEL L=250'±
PATH TRAVEL L=262'±
AG SHED 100' x 29'
RECYCLING CUP BOUNDARY
EX ROAD TO REMAIN
EX CULVERT
EXISTING ACCESS ROAD (SEE SHEET C2)
BARD WIRE FENCE
RECLAMATION BOUNDARY
2" W (FILL LINE)
NEW STANDARD FIRE HYDRANT
EXISTING ELEC POLE & MAIN ELECTRIC PANEL
SMALL SCALE PERMANENT AGRICULTURAL
EX DIRT ROAD
EX BRIDGE (TYP)
PERMANENT DEVELOPMENT AREA = 18,679 SF
LIVESTOCK SELTER 484 SF (NO APPROVAL REQUIRED)
OLD CALAVERAS ROAD
(COUNTY MAINTAINED ROAD)
N3°04'05"E 60.01'
N3°04'05"E 294.75'
N62°22'55"E 215.99'
N79°27'05"E 214.88'
N74°49'15"E 288.93'
S66°41'45"E 91.42'
N76°44'45"E 288.52'
S87°51'25"E 139.15'
S72°16'45"E 280.99'
N8°44'47"E 25.95'
30' SB
BARD WIRE FENCE

STUDY AREA (APPROX. 79 ACRES)

SCVHP LAND COVER TYPE

- BARREN (63.77 ACRES)
- COASTAL AND VALLEY FRESHWATER MARSH (0.05 ACRE)
- GRAIN, ROW-CROP, HAY AND PASTURE, DISKED / SHORT-TERM FALLOWED (12.30 ACRES)
- MIXED RIPARIAN FOREST AND WOODLAND (1.40 ACRES)
- POND (0.47 ACRE)

LEGEND

- TEMPORARY DISTURBANCE AREA
- PERMANENT DEVELOPMENT AREA

NO.	REVISIONS	APP'D	DATE	BY

PT DESIGNED 12/08/20 DATE
CT DRAWN 12/09/20 DATE
1" = 100' SCALE
NL CHECKED 12/08/20 DATE

LT ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

TEMPORARY AND PERMANENT LANDCOVER
LANDS OF
2425 OLD CALAVERAS ROAD
APN 029-34-004
Milpitas California

DRAWING NO. H1
SHT NO. 18 OF 18
FILE NO.
CONTRACT NO.
PROJECT NO.

APPLICANT : .
ROAD NAME : OLD CALAVERAS ROAD
FILE NO : .