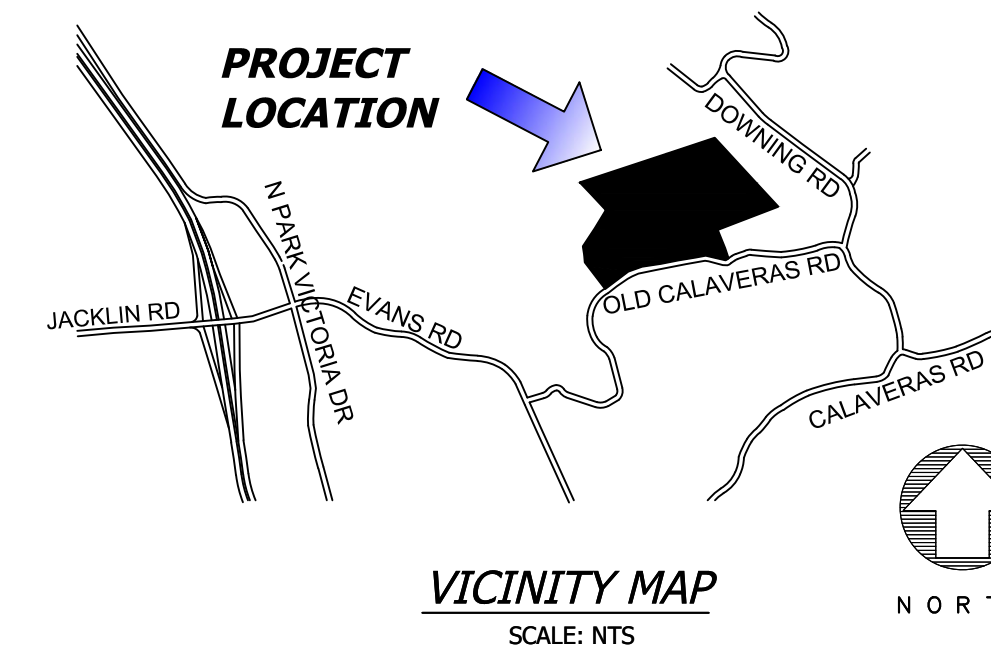
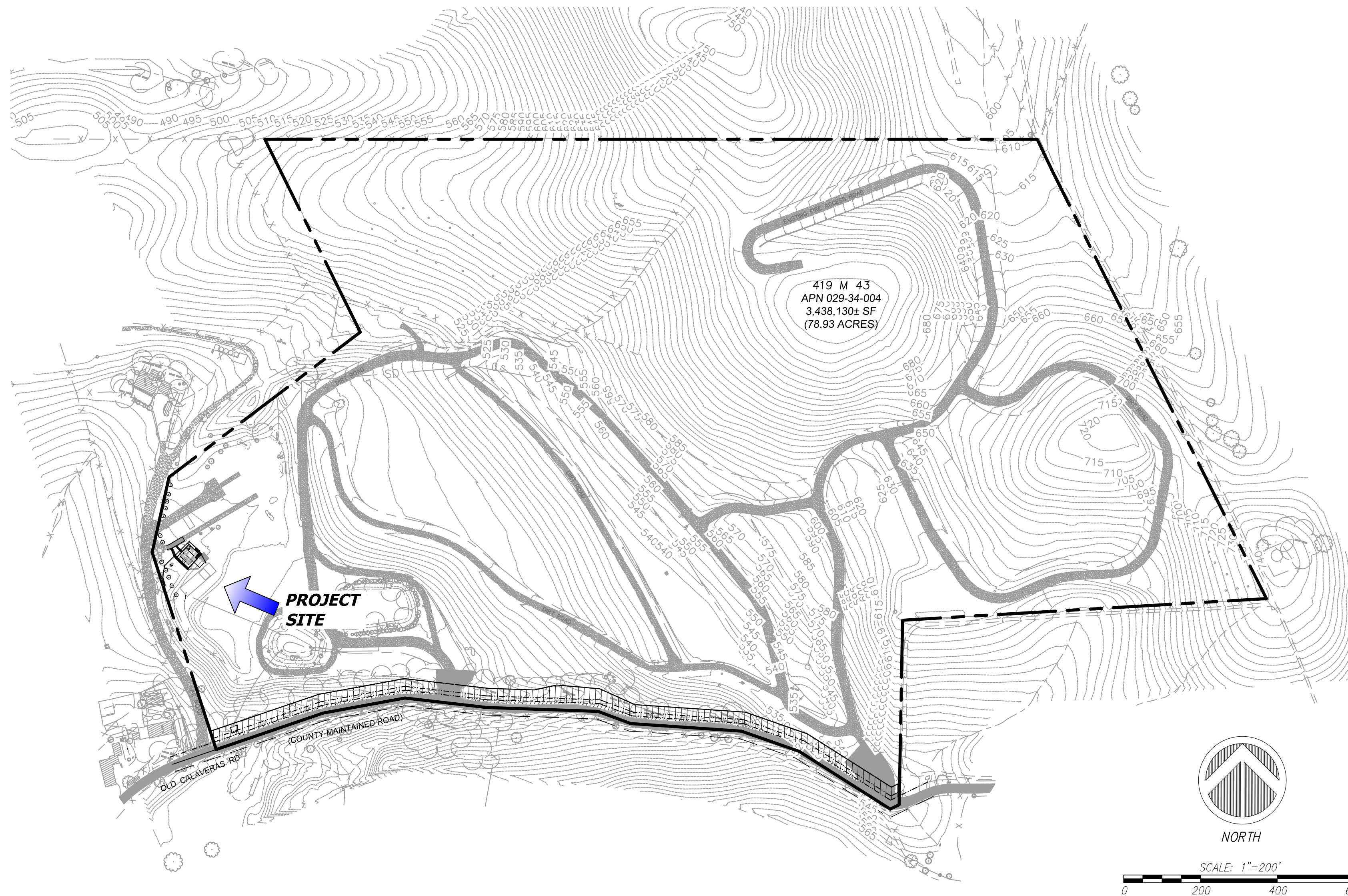


# GOKULAM, LLC

## SMALL SCALE PERMANENT EMPLOYEE HOUSING

### APN: 029-34-004



#### INDEX OF SHEETS

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C1.1 - OVERALL PLAN	A02 - ELEVATIONS
C2.1 - GRADING & DRAINAGE PLAN	A03 - SECTIONS
C2.2 - SECTIONS	A04 - VIEWS
C3.1 - CONSTRUCTION DETAILS	<b>SEPTIC SYSTEM PLANS:</b>
C4.1 - EROSION CONTROL PLAN	SS1 - SEPTIC SYSTEM SITE PLAN
<b>APPROVED ACCESS ROAD PLANS (PLN20-125):</b>	SS2 - SEPTIC SYSTEM DETAILS
C5.1 - GRADING & DRAINAGE PLAN	SS3 - SEPTIC SYSTEM CALCULATIONS
C6.1 - PROFILES & SECTIONS	<b>HABITAT PLANS:</b>
	H1 - TEMPORARY & PERMANENT LAND COVER

#### APPLICABLE CODES

ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND THE CODES LISTED BELOW OR THE MOST CURRENT CODES AND ORDINANCES AT THE TIME OF SUBMITTAL:

#### 2022 CALIFORNIA CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA GREEN BUILDING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA FIRE CODE

#### PROJECT DATA

ADDRESS:	2425 OLD CALAVERAS ROAD, MILPITAS, CA 95035
ZONING DESIGNATION:	D2 - HS - HILLSIDE
APN:	029-34-004
LOT SIZE:	78.93 ACRES (3,438,191 SQ. FT.)
BUILDING AREA:	2249 SQ. FT. OF COVERED AREA
	2249 SQ. FT. (BUILDING AREA TOTAL)
	0.00065% OF ENTIRE LOT
TYPE OF CONSTRUCTION:	TYPE 1
OCCUPANCY GROUP:	U
SPRINKLERED:	YES
PROJECT DEMOLITION:	EXISTING BUILDING 1,2,3,4, 6 & 7 TO BE DEMOLISHED (VIOLATION VIO19-00082)
	EXISTING BUILDING 5 TO BE REGULARIZED. DEMOLITION AND REGULARIZATION TO OCCUR UNDER DEV22-3196, DEV22-3201, DEV22-3202, DEV22-3206, DEV22-3207 & DEV23-01115)

#### TREE DEMOLITION NOTE

NO EXISTING TREES ARE MARKED FOR DEMOLITION UNDER THIS APPLICATION

**CIVIL ENGINEER:**  
C2G/CIVIL CONSULTANTS GROUP, INC.  
4444 SCOTTS VALLEY DRIVE STE. 6  
SCOTTS VALLEY, CA 95066  
OFFICE: (831) 438-4420

**OWNER/DEVELOPER:**  
GOKULAM LLC,  
680 E. CALAVERAS BLVD.  
MILPITAS, CA 95035  
PHONE: (408) 833-9743  
EMAIL: gokulam@ihf-usa.org

**SEPTIC**  
LC ENGINEERING  
598 E. SANTA CLARA ST., SUITE #270  
SAN JOSE, CA 95112  
OFFICE: (510) 236-6114 EXT. 211

**SURVEYOR**  
ALPHA LAND SURVEYS, INC.  
4444 SCOTTS VALLEY DRIVE STE. 7  
SCOTTS VALLEY, CA 95066  
OFFICE: (831) 438-4453

#### PROJECT EARTHWORK QUANTITIES

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL AND OVER EXCAVATION AND RECONSTRUCTION, UTILITY TRENCH SPILLS & SOIL EXPANSION AND CONTRACTION FACTORS.

DESCRIPTION	CUT (cu.yds)	FILL (cu.yds)	NET (cu.yds)	MAX CUT (ft) HEIGHT	MAX FILL (ft) HEIGHT
BLDG + 5' PERIMETER	155	50	105(C)	2.5	3
SITE GRADING & DWY	23	165	132(F)	1.5	2
TOTAL	178	216	37(F)		

#### NET VOLUME = 26 CU.YDS. OF FILL

THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY CUT AND FILL TO ACCOMPLISH FINISH GRADE SHOWN ON THESE PLANS.

#### PROJECT DESCRIPTION

PROJECT DESCRIPTION FOR SPECIAL PERMIT AND DESIGN REVIEW APPLICATION FOR SMALL SCALE PERMANENT AGRICULTURAL HOUSING (1199 SQFT) FOR APN: 029-34-004 LOCATED AT 2425, OLD CALAVERAS ROAD, MILPITAS, CA 95035.

THIS SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING IS PART OF THE OVERALL PROJECT TO BUILD FACILITIES FOR OUR COMMERCIAL AGRICULTURAL OPERATIONS OF GOKULAM LLC ON THE PROPERTY. AS PART OF PLANNING APPLICATION PLN20-125 WE HAVE RECEIVED GRADING APPROVAL AND DESIGN REVIEW ADMINISTRATIVE APPROVAL FOR THE INFRASTRUCTURES REQUIRED FOR OUR OPERATIONS. THAT APPLICATION ALSO INCLUDED THE APPROVAL FOR A TINY MOBILE HOME TO SERVE AS THE RESIDENCE FOR OUR AGRICULTURAL EMPLOYEES WORKING IN OUR PROPERTY. AFTER A FURTHER DISCUSSION WITH PLANNING MANAGER MICHAEL MEEHAN AND OUR PROJECT PLANNER ROB SALISBURY, WE CAME TO THE CONCLUSION THAT SINCE OUR AGRICULTURAL HOUSING WAS OF THAT PERMANENT NATURE, WE WOULD SUBSTITUTE OUR APPLICATION FOR A TINY MOBILE HOME WITH A SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING. THIS APPLICATION IS MEANT TO GET ENTITLEMENT FOR A 1199 SQFT SMALL SCALE PERMANENT AGRICULTURAL HOUSE TO SERVE THIS NEED. WE ARE MAKING USE OF THE TOPOGRAPHY OF THE BUILDING SITE AND THE 1849 SQ. FT. CRAWL SPACE CREATED UNDERNEATH THIS BUILDING AS A STORAGE AREA FOR OUR AGRICULTURAL OPERATIONS. THE HEIGHT OF THIS STORAGE AREA IS 6'11" AND THIS WILL NOT BE COUNTED TOWARDS THE GROSS FLOOR AREA OF THE BUILDING. IN ADDITION WE ARE PROPOSING AN ATTACHED GARAGE OF 400 SQ. FT. THE SCOPE OF THE PROJECT ALREADY APPROVED UNDER PLN20-125 IS AS FOLLOWS:

- 1 NO. OF PREMANUFACTURED METAL AG SHED 1450 SQ.FT.
- 1 NO. OF PREMANUFACTURED METAL LIVESTOCK SHED 1972SQFT
- 1 NO. OF TINY MOBILE HOME (3 BEDROOM)
- ONE 202,290 GALLON STEEL TANK FOR FIRE SUPPRESSION AND IRRIGATION
- 1 NO. OF PREMANUFACTURED METAL FEED SHED 500 SQ.FT.

#### GENERAL NOTES

NO CHANGE TO THE GRADING PLAN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY THE OWNER OR OWNERS REPRESENTATIVES.

CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS AND INVERTS OF EXISTING UTILITY PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVES OF VARIANCE FROM THOSE SHOWN ON THE PLANS.

UNDERGROUND FACILITIES AND UTILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND IN FIELD. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. PRIOR TO CONSTRUCTION, DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE SAME FROM DAMAGE. PRIOR TO CONSTRUCTION, VERIFY LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AT THE CROSSING POINTS WITH PROPOSED UTILITIES. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVES IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITION HAS BEEN EVALUATED. CONTACT UNDERGROUND SERVICES ALERT (USA) (1-800-227-2600) TWO (2) WEEKS PRIOR TO DIGGING. REPAIR UNDERGROUND UTILITIES DAMAGED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES ASSOCIATED WITH CONTRACTOR'S FAILURE TO EXACTLY LOCATED AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH THE

APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. AND SHALL NOTIFY U.S.A. @ (800) 227-2600 AT LEAST 48-HOURS IN ADVANCE OF EXCAVATION.

IF ANY INDICATIONS OF ARCHEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING ACTIVITIES FOR ANY DEVELOPMENT WITHIN THE PROJECT SITE, ALL WORK SHALL BE HALTED WITHIN 200 FOOT RADIUS OF THE FIND. OWNER SHALL RETAIN A QUALIFIED ARCHEOLOGIST RETAINED TO DETERMINE THE NATURE OF THE DISCOVERY AND RECOMMEND APPROPRIATE EVALUATION PROCEDURES.

#### ADDITIONAL NOTES

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

- THE STANDARD SPECIFICATIONS AND DETAILS, LATEST EDITION, OF THE COUNTY OF SANTA CLARA SHALL GOVERN UNLESS OTHERWISE SPECIFIED HEREIN.

#### UNAUTHORIZED CHANGES AND USES

**CAUTION:** THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THE PLANS

#### CONTRACTOR RESPONSIBILITY

CONTRACTOR AGREES THAT HE SHOULD ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED DURING WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

#### DISCREPANCIES

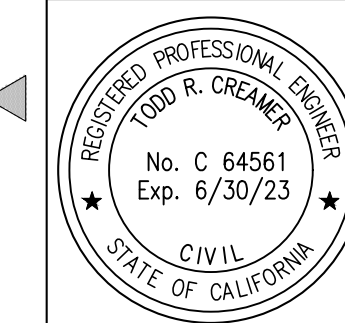
IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE DESIGN PROFESSIONAL FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

#### CONSTRUCTION SURVEYING / STAKING

CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL SURVEYING AND OR STAKING BY A LICENSED SURVEYOR FOR ALL CONSTRUCTION PURPOSES.

REVISIONS	BY
RESPONSE TO SCC COMMENTS 05.09.23	DD

COVER

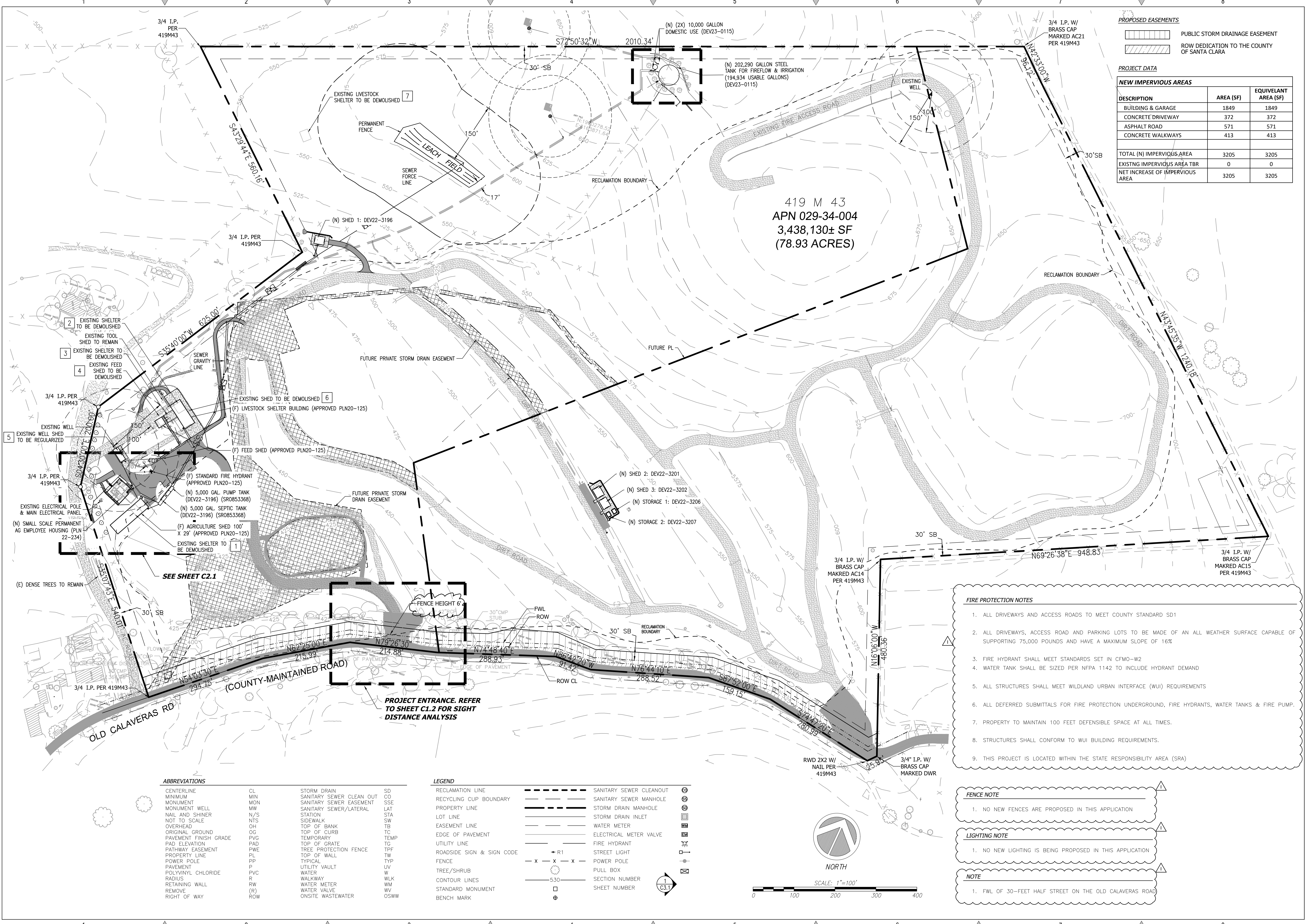


**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 4444 SCOTTS VALLEY DRIVE  
 SCOTTS VALLEY, CA 95066  
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 License: 001 - 001678

**GOKULAM, LLC.**  
 SMALL SCALE PERMANENT  
 AGRICULTURAL EMPLOYEE HOUSING  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 APN: 029-34-004  
 License: 001 - 001678

Date:	12/06/2022
Scale:	AS SHOWN
Drawn:	DD
Job:	3007.03b
Sheet:	C0.1
	of 16 Sheets





**PROPOSED EASEMENTS**

- PUBLIC STORM DRAINAGE EASEMENT
- ROW DEDICATION TO THE COUNTY OF SANTA CLARA

**PROJECT DATA**

NEW IMPERVIOUS AREAS		
DESCRIPTION	AREA (SF)	EQUIVALENT AREA (SF)
BUILDING & GARAGE	1849	1849
CONCRETE DRIVEWAY	372	372
ASPHALT ROAD	571	571
CONCRETE WALKWAYS	413	413
TOTAL (N) IMPERVIOUS AREA	3205	3205
EXISTING IMPERVIOUS AREA TBR	0	0
NET INCREASE OF IMPERVIOUS AREA	3205	3205

419 M 43  
 APN 029-34-004  
 3,438,130± SF  
 (78.93 ACRES)

- FIRE PROTECTION NOTES**
- ALL DRIVEWAYS AND ACCESS ROADS TO MEET COUNTY STANDARD SD1
  - ALL DRIVEWAYS, ACCESS ROAD AND PARKING LOTS TO BE MADE OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS AND HAVE A MAXIMUM SLOPE OF 16%
  - FIRE HYDRANT SHALL MEET STANDARDS SET IN CFMO-W2
  - WATER TANK SHALL BE SIZED PER NFPA 1142 TO INCLUDE HYDRANT DEMAND
  - ALL STRUCTURES SHALL MEET WILDLAND URBAN INTERFACE (WUI) REQUIREMENTS
  - ALL DEFERRED SUBMITTALS FOR FIRE PROTECTION UNDERGROUND, FIRE HYDRANTS, WATER TANKS & FIRE PUMP.
  - PROPERTY TO MAINTAIN 100 FEET DEFENSIBLE SPACE AT ALL TIMES.
  - STRUCTURES SHALL CONFORM TO WUI BUILDING REQUIREMENTS.
  - THIS PROJECT IS LOCATED WITHIN THE STATE RESPONSIBILITY AREA (SRA)

**FENCE NOTE**

- NO NEW FENCES ARE PROPOSED IN THIS APPLICATION

**LIGHTING NOTE**

- NO NEW LIGHTING IS BEING PROPOSED IN THIS APPLICATION

**NOTE**

- FWL OF 30- FEET HALF STREET ON THE OLD CALAVERAS ROAD

**ABBREVIATIONS**

CENTERLINE	CL	STORM DRAIN	SD
MINIMUM	MIN	SANITARY SEWER CLEAN OUT	CO
MONUMENT	MON	SANITARY SEWER EASEMENT	SSE
NAIL AND SHINER	MW	PROPERTY LINE	LAT
NOT TO SCALE	N/S	STATION	STA
OVERHEAD	NTS	SIDEWALK	SW
ORIGINAL GROUND	OH	TOP OF BANK	TB
PAVEMENT FINISH GRADE	OG	TOP OF CURB	TC
PAD ELEVATION	PVG	TEMPORARY	TEMP
PATHWAY EASEMENT	PAD	TOP OF GRATE	TG
PROPERTY LINE	PWE	TREE PROTECTION FENCE	TPF
POWER POLE	PL	TOP OF WALL	TW
PAVEMENT	PP	TYPICAL	TYP
POLYVINYL CHLORIDE	P	UTILITY VAULT	UV
RADIUS	PVC	WATER	W
RETAINING WALL	RW	WALKWAY	WLK
REMOVE	(R)	WATER METER	WM
RIGHT OF WAY	ROW	WATER VALVE	WV
		ONSITE WASTEWATER	OSWW

**LEGEND**

RECLAMATION LINE	--- --	SANITARY SEWER CLEANOUT	
RECYCLING CUP BOUNDARY	--- --	SANITARY SEWER MANHOLE	
PROPERTY LINE	--- --	STORM DRAIN MANHOLE	
LOT LINE	--- --	STORM DRAIN INLET	
EASEMENT LINE	--- --	WATER METER	
EDGE OF PAVEMENT	--- --	ELECTRICAL METER VALVE	
UTILITY LINE	--- --	FIRE HYDRANT	
ROADSIDE SIGN & SIGN CODE	--- --	STREET LIGHT	
FENCE	--- --	PULL BOX	
WATER	--- --	SECTION NUMBER	
CONTOUR LINES	--- --	SHEET NUMBER	
BENCH MARK	--- --		

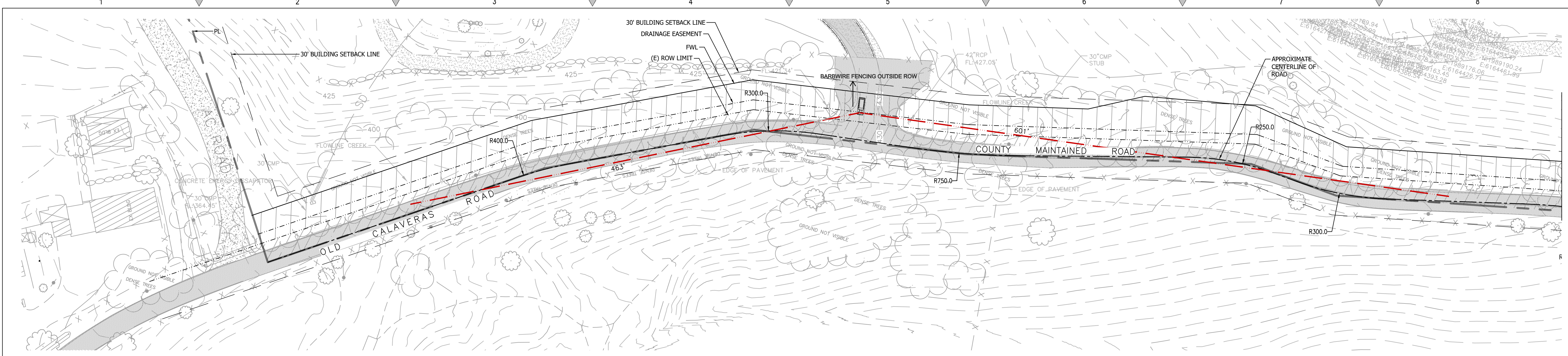
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RESPONSE TO SCC COMMENTS 05.09.23	DD

**OVERALL SITE PLAN**

**GOKULAM, LLC.**  
 SMALL SCALE PERMANENT  
 AGRICULTURAL EMPLOYEE HOUSING  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 APN: 029-34-004

**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 4400 Scotts Valley Road, Suite 6  
 Scotts Valley, CA 95066  
 T (831) 438-4420 F (831) 438-4420

Date: 12/06/2022  
 Scale: 1" = 100'  
 Drawn: DD  
 Job: 3007.03b  
 Sheet: C1.1  
 of 16 Sheets



1 ENTRANCE- SITE DISTANCE ANALYSIS

Scale: 1"=50'



WEST BOUND



EAST BOUND

**Decision Sight Distance**

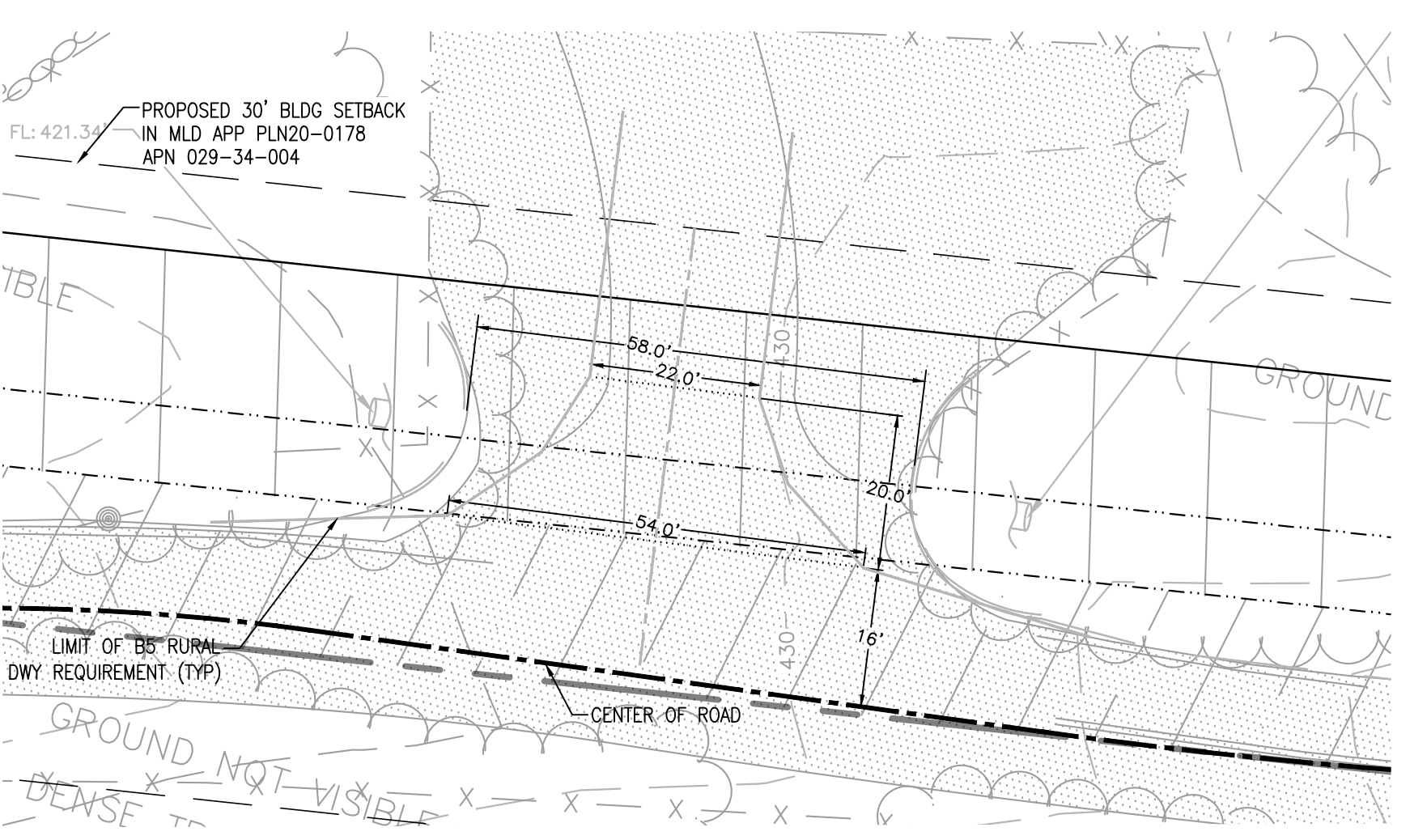
Design Speed (mph)	Decision Sight Distance (ft)
30	450
35	525
40	600
45	675
50	750
55	865
60	990
65	1,050
70	1,105
75	1,180
80	1,260

**NOTES**

- EXISTING SPEED LIMIT ON OLD CALAVERAS ROAD IS 30 MPH WHICH IS THE SPEED USED TO DETERMINE THE STOPPING SIGHT DISTANCE

2 ENTRANCE #1 - IMAGES

Scale: NTS

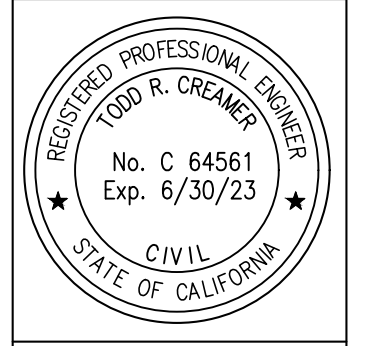


3 EXISTING DRIVEWAY CONFORMANCE TO B4 CITY STANDARD

Scale: 1"=20'

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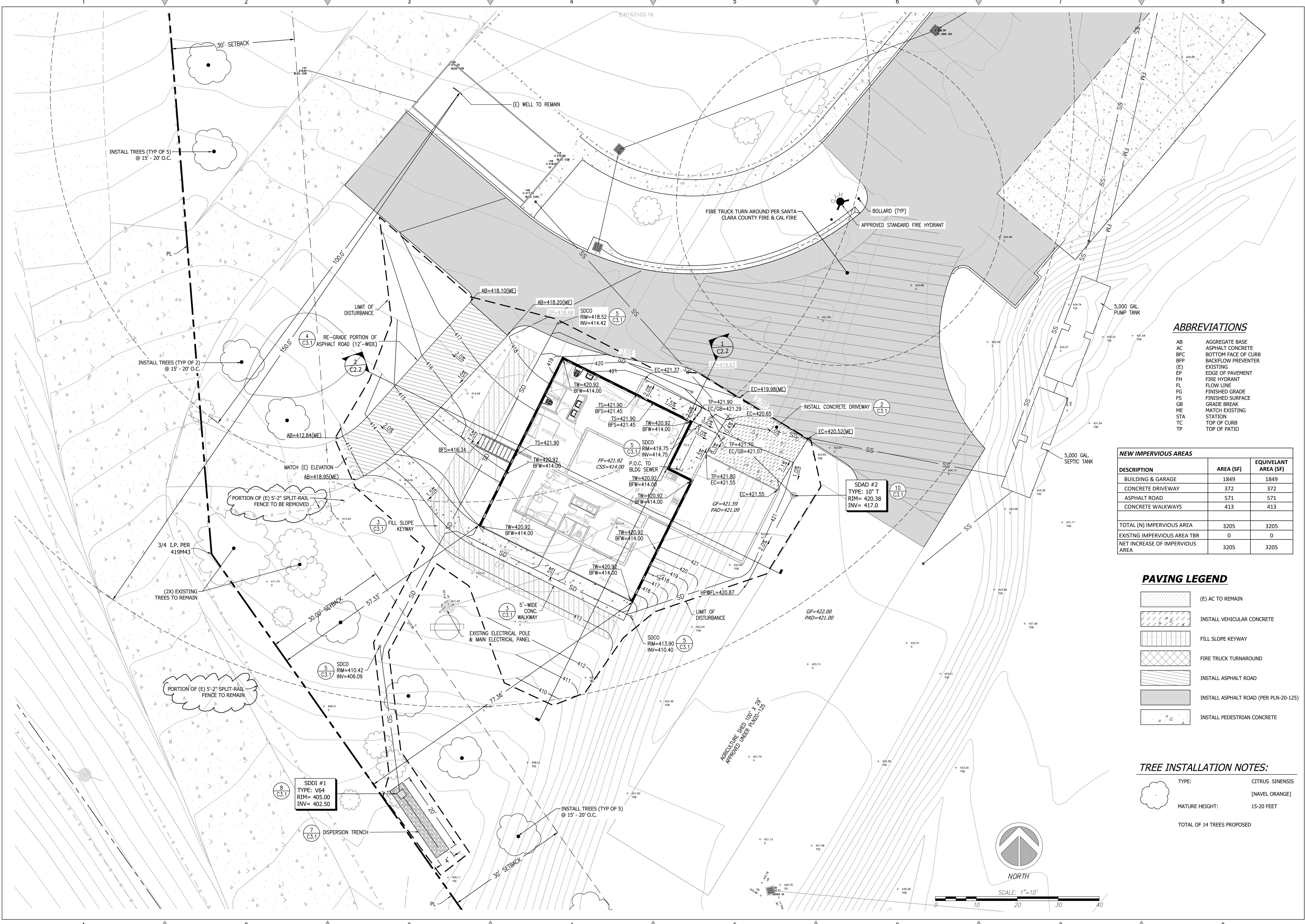
**SITE DISTANCE ANALYSIS**



**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 44000 Old Calaveras Road / Suite 6  
 San Jose, CA 95065  
 T (831) 438-4420 F (831) 438-4420

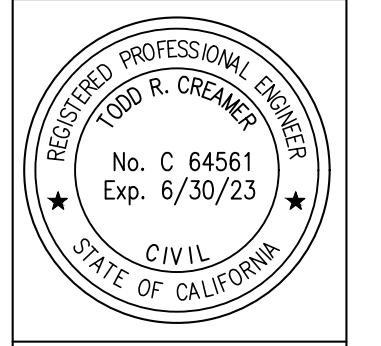
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Scale:	1" = 50'
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Job:	3007.03b
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Of 16 Sheets	



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# GRADING AND DRAINAGE PLAN



**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 44000 Old Calaveras Road, Suite 6  
 Milpitas, CA 95065  
 T (831) 438-4420 F (831) 438-4420

**GOKULAM, LLC.**  
 SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 APN: 029-34-004

Date: 12/06/2022  
 Scale: 1" = 10'  
 Drawn: DD  
 Job: 3007.03b  
 Sheet: **C2.1**  
 of 16 Sheets

### ABBREVIATIONS

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- BFC BOTTOM FACE OF CURB
- BFP BACKFLOW PREVENTER
- (E) EXISTING
- EP EDGE OF PAVEMENT
- FH FIRE HYDRANT
- FL FLOW LINE
- FG FINISHED GRADE
- FS FINISHED SURFACE
- GB GRADE BREAK
- ME MATCH EXISTING
- STA STATION
- TC TOP OF CURB
- TP TOP OF PATIO

### NEW IMPERVIOUS AREAS

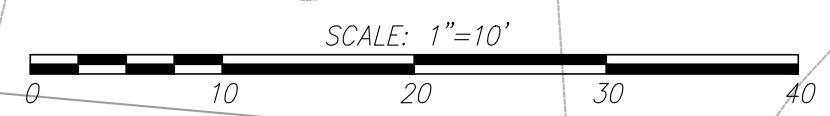
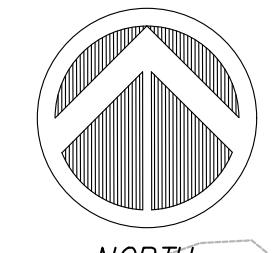
DESCRIPTION	AREA (SF)	EQUIVALENT AREA (SF)
BUILDING & GARAGE	1849	1849
CONCRETE DRIVEWAY	372	372
ASPHALT ROAD	571	571
CONCRETE WALKWAYS	413	413
<b>TOTAL (N) IMPERVIOUS AREA</b>	<b>3205</b>	<b>3205</b>
EXISTING IMPERVIOUS AREA TBR	0	0
<b>NET INCREASE OF IMPERVIOUS AREA</b>	<b>3205</b>	<b>3205</b>

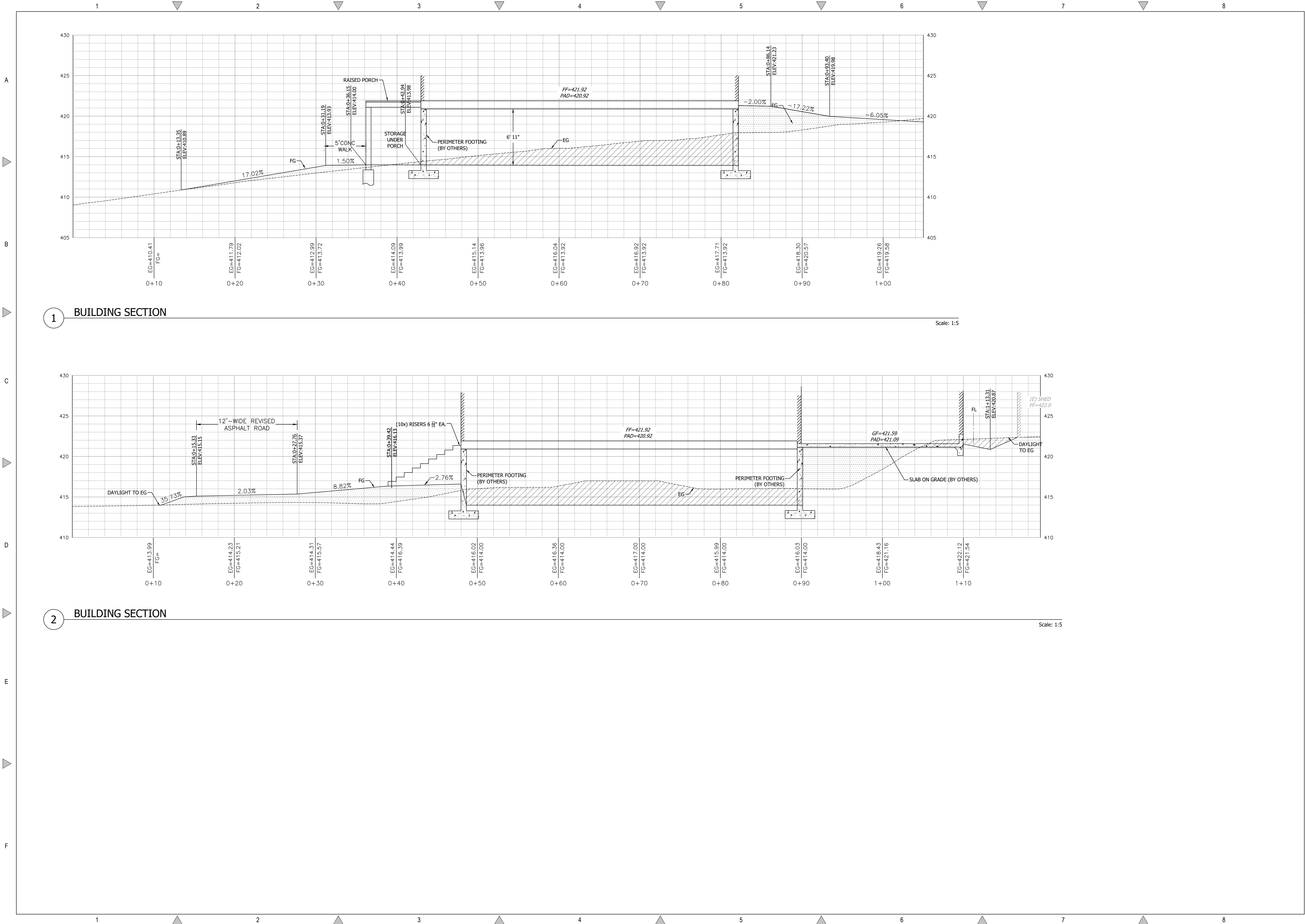
### PAVING LEGEND

- (E) AC TO REMAIN
- INSTALL VEHICULAR CONCRETE
- FILL SLOPE KEYWAY
- FIRE TRUCK TURNAROUND
- INSTALL ASPHALT ROAD
- INSTALL ASPHALT ROAD (PER PLN-20-125)
- INSTALL PEDESTRIAN CONCRETE

### TREE INSTALLATION NOTES:

- TYPE: CITRUS ORANGE
- (NAVEL ORANGE)
- MATURE HEIGHT: 15-20 FEET
- TOTAL OF 14 TREES PROPOSED





1 BUILDING SECTION

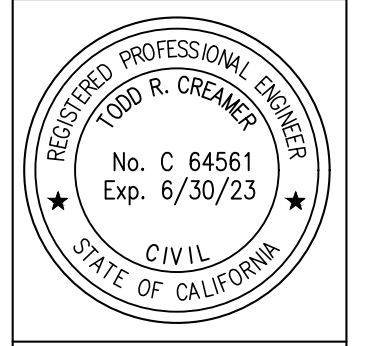
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2 BUILDING SECTION

Scale: 1:5

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SECTIONS

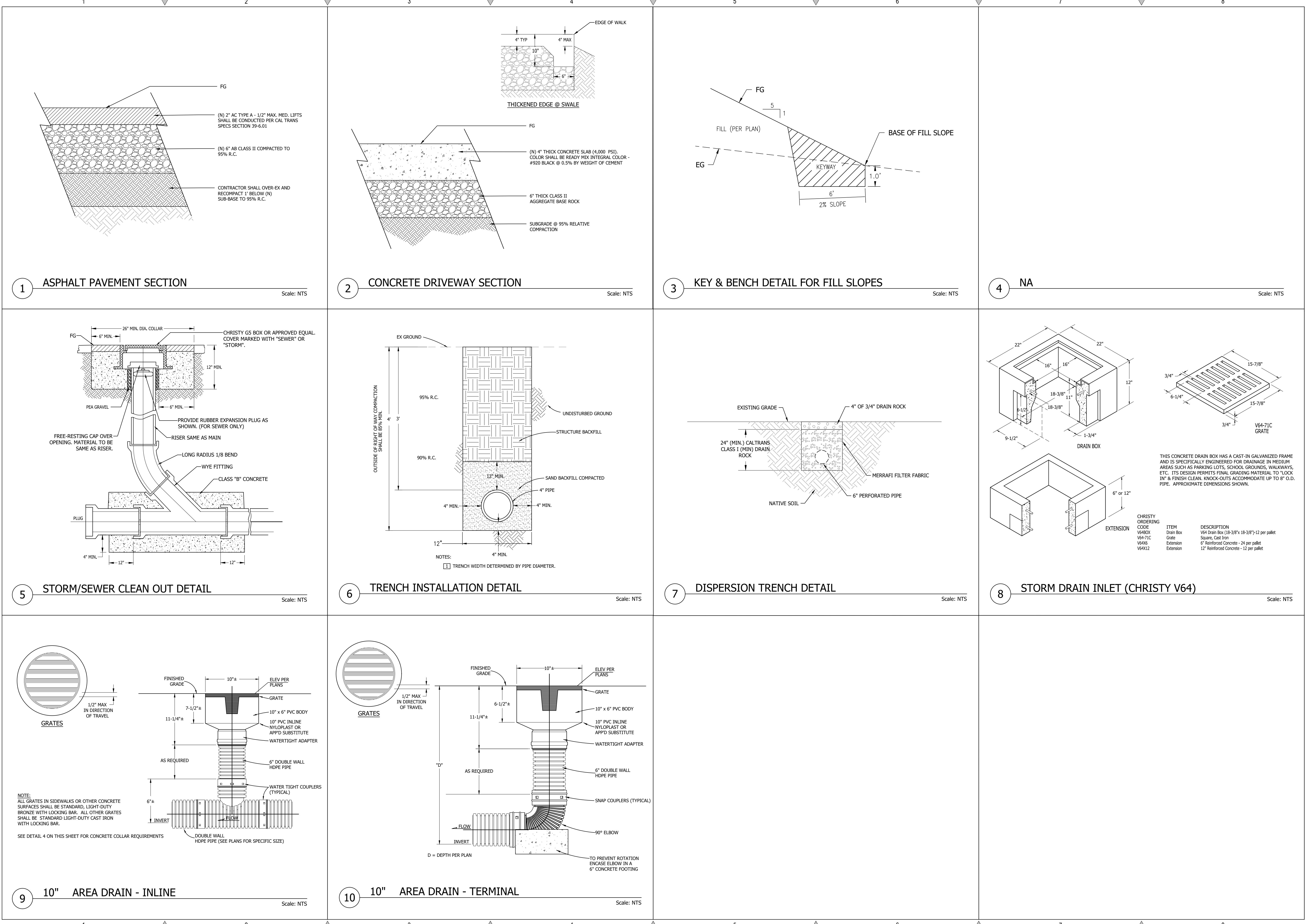


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Scale:	VARIES
Drawn:	DD
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Drawing: Z:\Shared\CAD\3007.03 - MF - Alpha\dwg\CAD\Sheet\Phase 2\3007.03 - C2.2 - SC0706S.rvt Layout: C2.2 - 000 Last Saved: Mon May 01, 2023 - 11:42pm Last Plotted: Wed May 10, 2023 - 9:42am By: zow

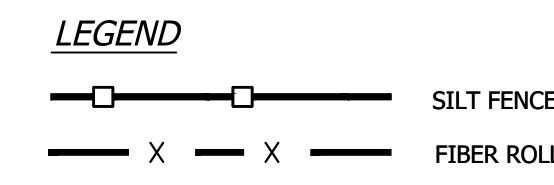
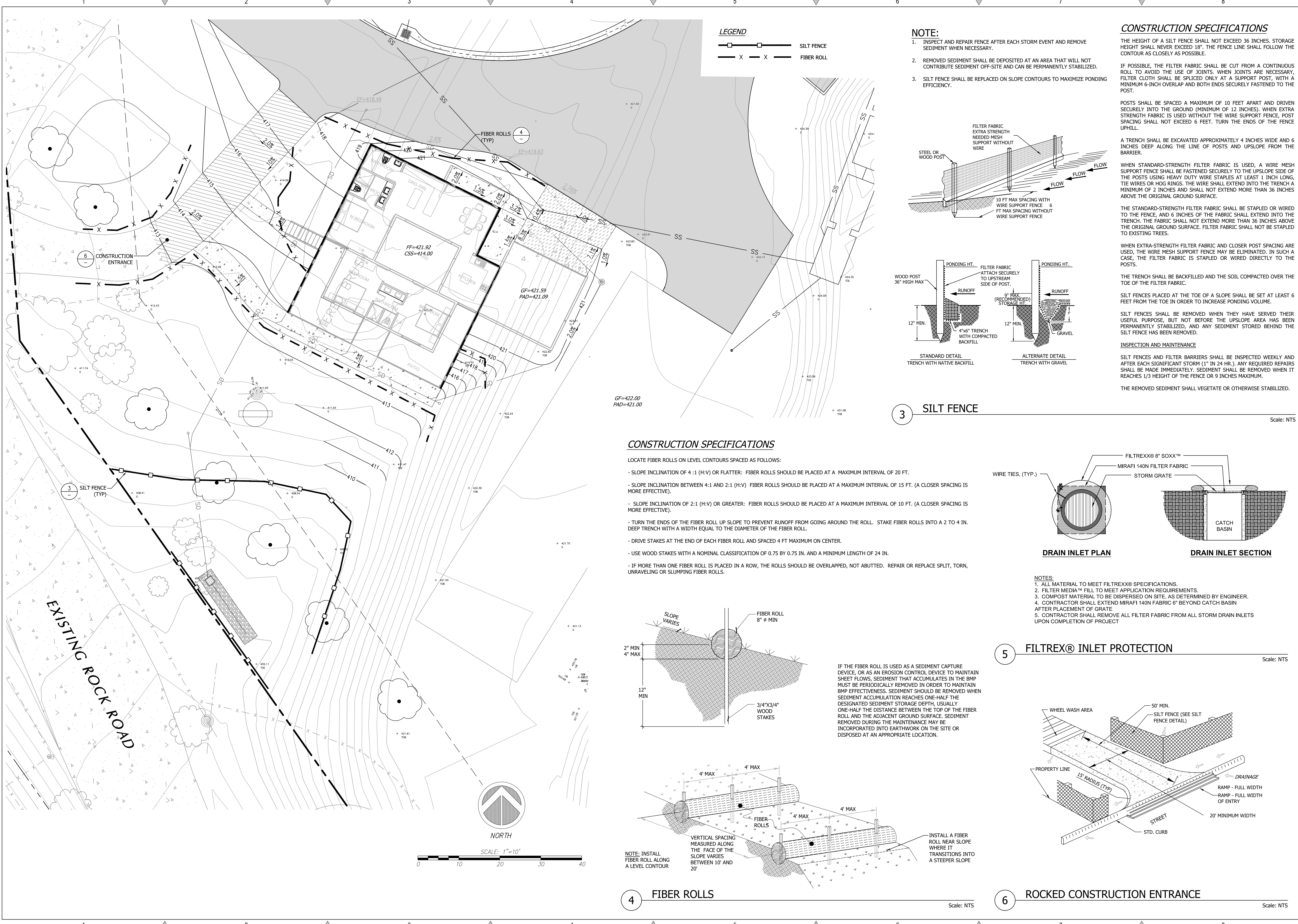


REVISIONS	BY
RESPONSE TO SCC COMMENTS 05.09.23	DD

DETAILS

**GOKULAM, LLC.**  
**SMALL SCALE PERMANENT**  
**AGRICULTURAL EMPLOYEE HOUSING**  
**2425 OLD CALAVERAS ROAD, MILPITAS**  
**APN: 029-34-004**

Date: 12/06/2022  
 Scale: AS SHOWN  
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**NOTE:**

- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
- REMOVED SEDIMENT SHALL BE DEPOSITED AT AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCE SHALL BE REPLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

**CONSTRUCTION SPECIFICATIONS**

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. STORAGE HEIGHT SHALL NEVER EXCEED 18". THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE.

IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET. TURN THE ENDS OF THE FENCE UPHILL.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.

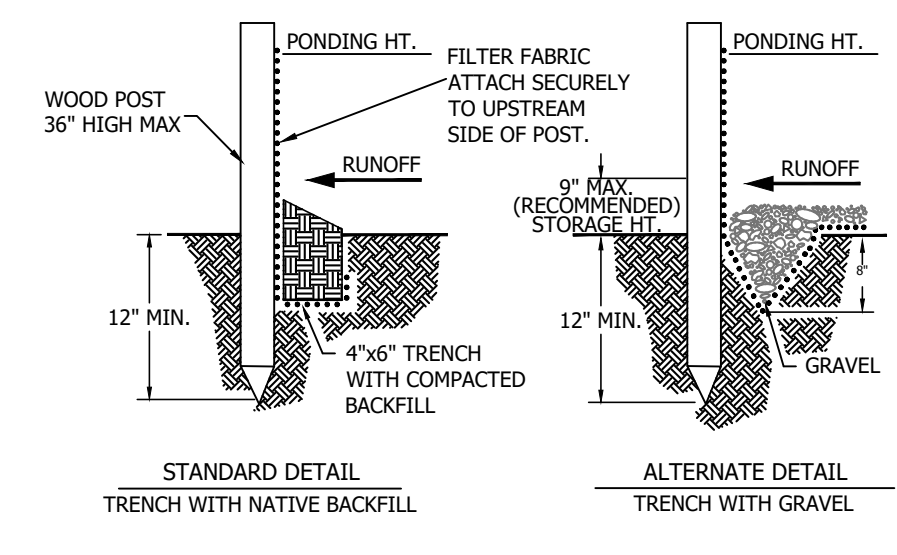
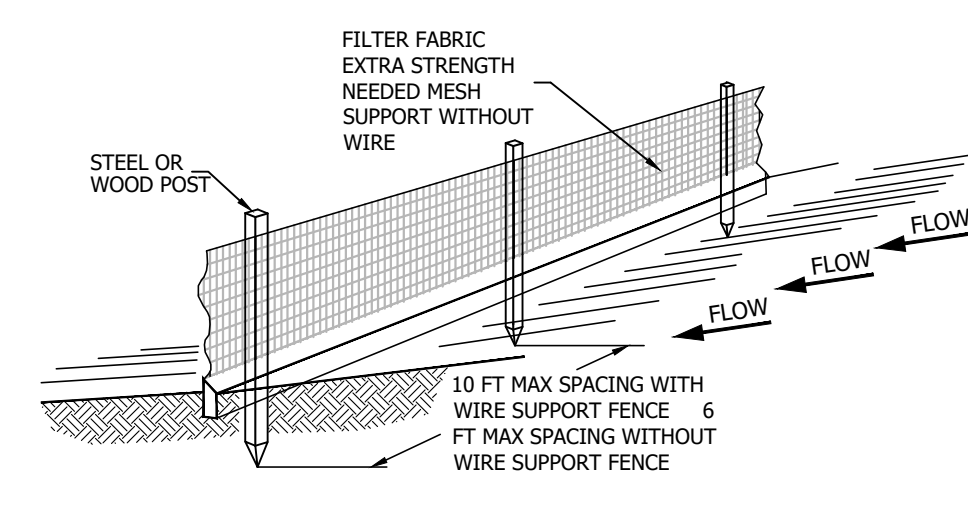
SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED, AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.

**INSPECTION AND MAINTENANCE**

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EACH SIGNIFICANT STORM (1" IN 24 HR.). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF THE FENCE OR 9 INCHES MAXIMUM.

THE REMOVED SEDIMENT SHALL VEGETATE OR OTHERWISE STABILIZED.

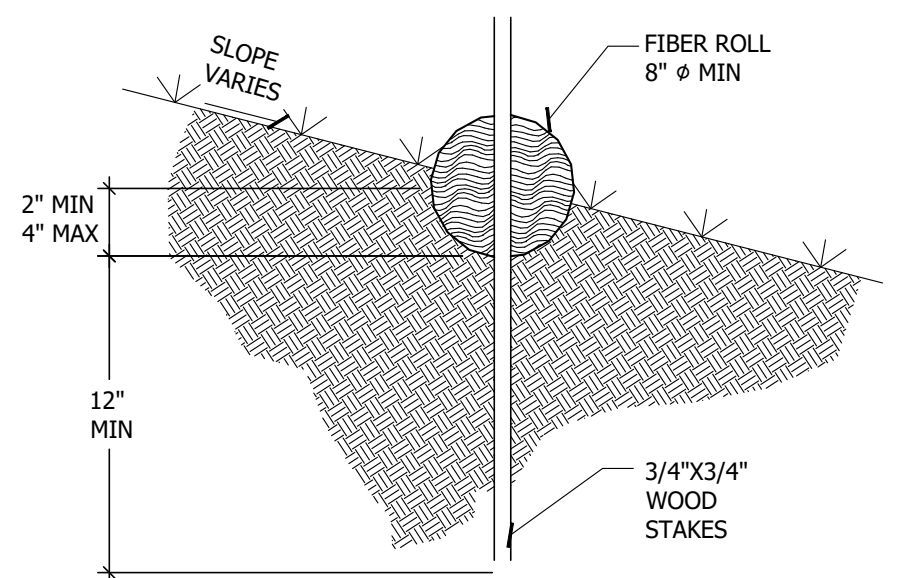


**3 SILT FENCE** Scale: NTS

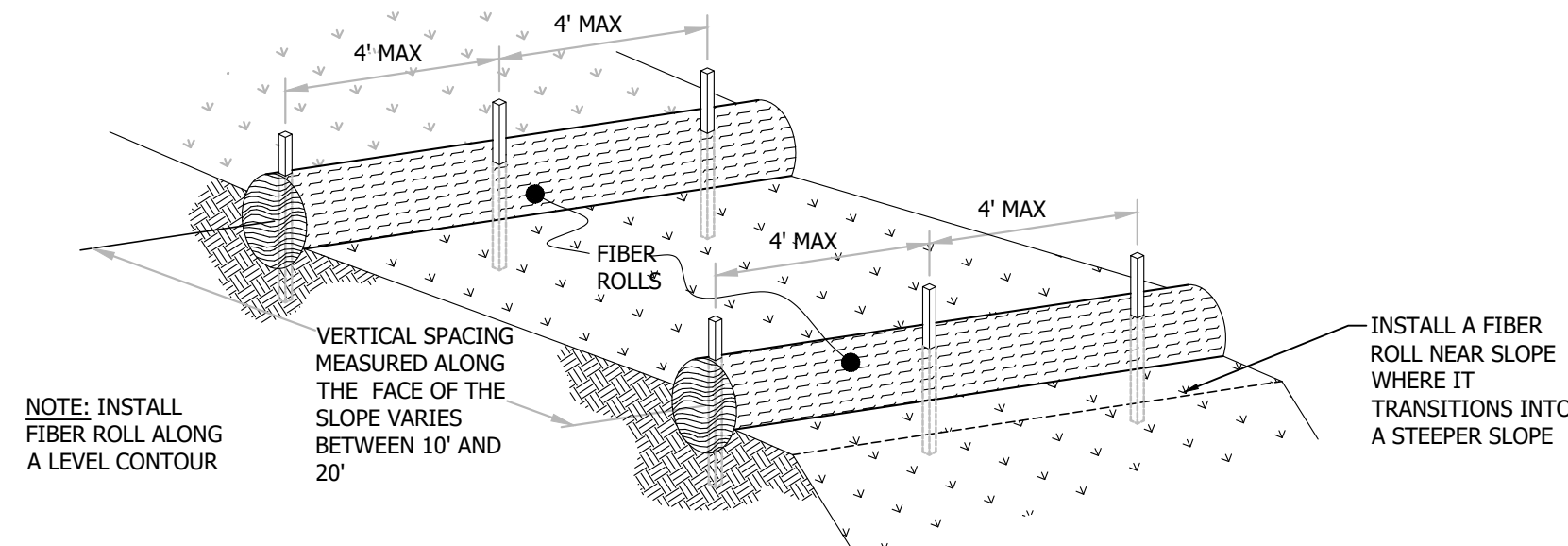
**CONSTRUCTION SPECIFICATIONS**

LOCATE FIBER ROLLS ON LEVEL CONTOURS SPACED AS FOLLOWS:

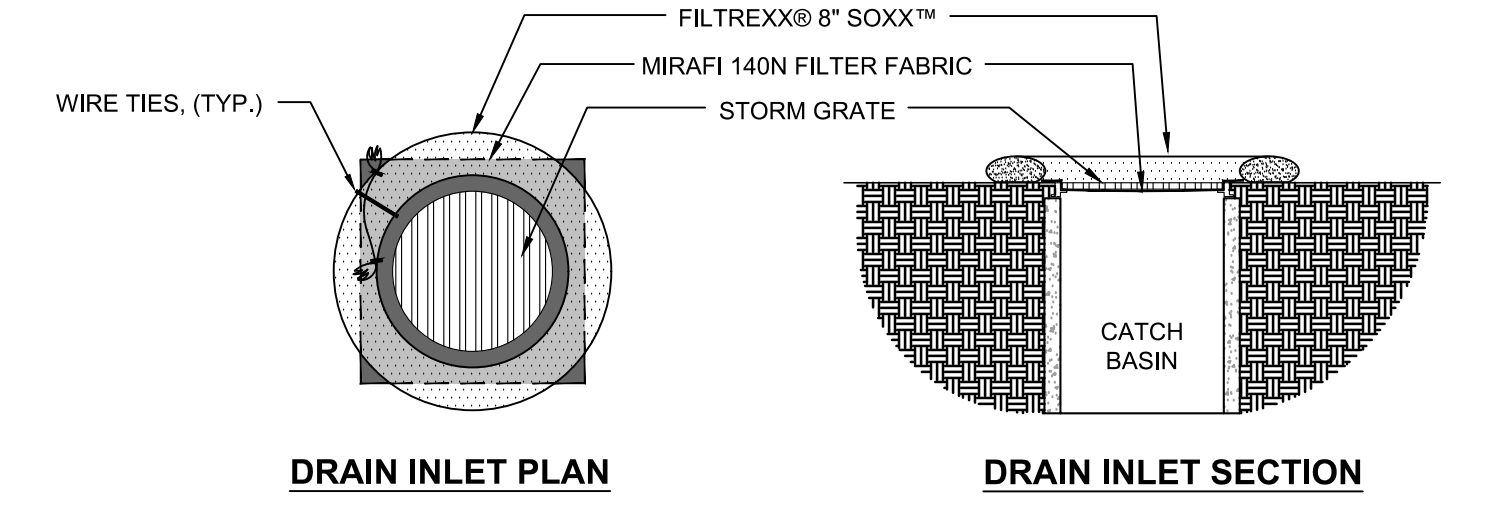
- SLOPE INCLINATION OF 4:1 (H:V) OR FLATTER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 20 FT.
- SLOPE INCLINATION BETWEEN 4:1 AND 2:1 (H:V): FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 15 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
- SLOPE INCLINATION OF 2:1 (H:V) OR GREATER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 10 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
- TURN THE ENDS OF THE FIBER ROLL UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL. STAKE FIBER ROLLS INTO A 2 TO 4 IN. DEEP TRENCH WITH A WIDTH EQUAL TO THE DIAMETER OF THE FIBER ROLL.
- DRIVE STAKES AT THE END OF EACH FIBER ROLL AND SPACED 4 FT MAXIMUM ON CENTER.
- USE WOOD STAKES WITH A NOMINAL CLASSIFICATION OF 0.75 BY 0.75 IN. AND A MINIMUM LENGTH OF 24 IN.
- IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT ABUTTED. REPAIR OR REPLACE SPLIT, TORN, UNRAVELING OR SLUMPING FIBER ROLLS.



IF THE FIBER ROLL IS USED AS A SEDIMENT CAPTURE DEVICE, OR AS AN EROSION CONTROL DEVICE TO MAINTAIN SHEET FLOWS, SEDIMENT THAT ACCUMULATES IN THE BMP MUST BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DESIGNATED SEDIMENT STORAGE DEPTH. USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GROUND SURFACE. SEDIMENT REMOVED DURING THE MAINTENANCE MAY BE INCORPORATED INTO EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.



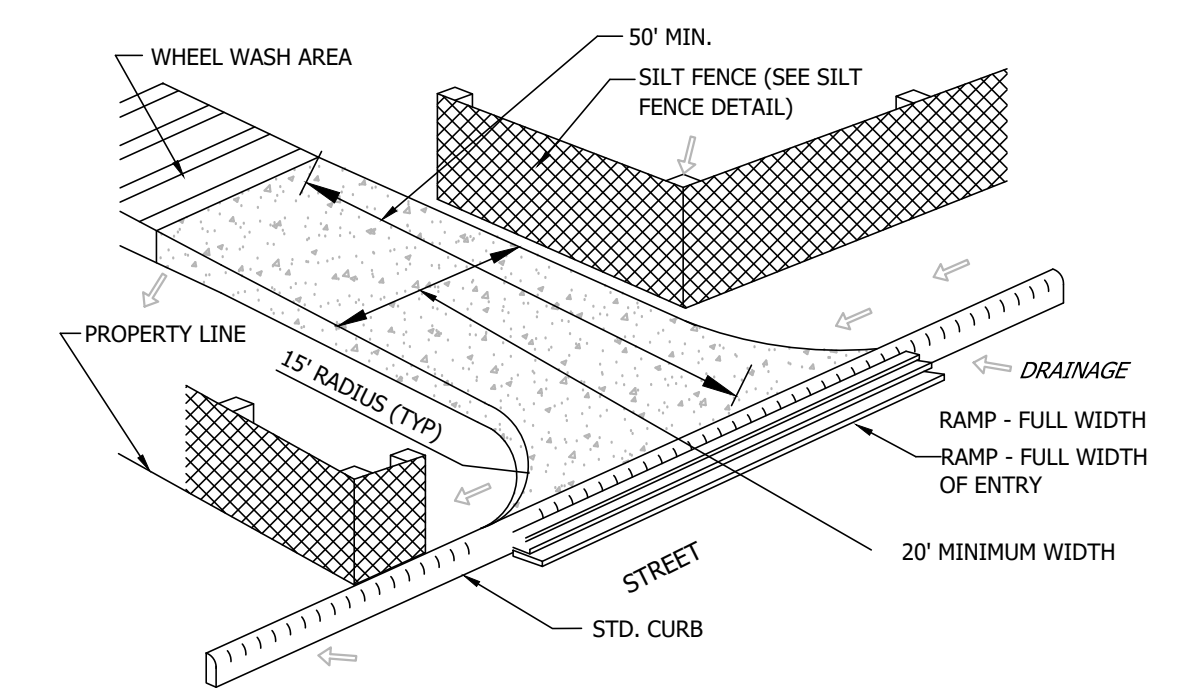
**4 FIBER ROLLS** Scale: NTS



**NOTES:**

- ALL MATERIAL TO MEET FILTRERX® SPECIFICATIONS.
- FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
- COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
- CONTRACTOR SHALL EXTEND MIRAFI 140N FABRIC 6" BEYOND CATCH BASIN AFTER PLACEMENT OF GRATE.
- CONTRACTOR SHALL REMOVE ALL FILTER FABRIC FROM ALL STORM DRAIN INLETS UPON COMPLETION OF PROJECT.

**5 FILTRERX® INLET PROTECTION** Scale: NTS



**6 ROCKED CONSTRUCTION ENTRANCE** Scale: NTS

REVISIONS	BY
RESPONSE TO SCC COMMENTS 05.09.23	DD

**EROSION CONTROL PLAN**

REGISTERED PROFESSIONAL ENGINEER  
TODD R. CREAGER  
No. C 64561  
Exp. 6/30/23  
CIVIL  
STATE OF CALIFORNIA

**C2G CIVIL CONSULTANTS GROUP, INC.**  
Engineers/Planners  
44000  
Scotts Valley, CA 95066  
T (831) 438-4420 F (831) 438-4420

**GOKULAM, LLC.**  
SMALL SCALE PERMANENT  
AGRICULTURAL EMPLOYEE HOUSING  
2425 OLD CALAVERAS ROAD, MILPITAS  
APN: 029-34-004

Date: 12/06/2022  
Scale: 1" = 10'  
Drawn: DD  
Job: 3007.03b  
Sheet:  
**C4.1**  
of 16 Sheets



**ABBREVIATIONS**

AB	AGGREGATE BASE	FL	FLOWLINE	SDDI	STORM DRAIN DROP
AC	ASPHALT CONCRETE	G	GROUND	INLET	STORM DRAIN INLET
B/	BOTTOM OF ...	HP	HIGH POINT	SDMH	STORM DRAIN MANHOLE
BLDG	BUILDING	INV	INVERT ELEVATION	T/	TOP OF ...
BS	BOTTOM OF STAIR	LP	LOW POINT	TG	TOP OF GRATE
BW	BACK OF WALK	NG	NATURAL GROUND	TS	TOP OF STAIR
CONC	CONCRETE	P.O.T.	PATH OF TRAVEL	TW	TOP OF WALL
DWY	DRIVEWAY	PL	PROPERTY LINE	UG	UNDERGROUND
EC	EDGE OF CONCRETE	PVR	PERVIOUS PAVEMENT	W/	WITH
EP	EDGE OF PAVEMENT	SD	STORM DRAIN		
EL	ELEVATION	SDAD	STORM DRAIN AREA DRAIN		
FF	FINISH FLOOR				

**LEGEND**

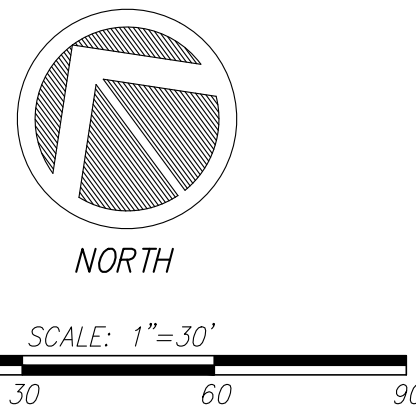
●	STORM DRAIN AREA DRAIN
○	STORM DRAIN DROP INLET
⊕	POINT OF CONNECTION
○	STORM DRAIN CLEAN OUT

**STORM DRAIN NOTES:**

- P.O.C. TO (E) SDDI. CONTRACTOR SHALL VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
- P.O.C. TO (E) INLET. INV =
- 

**STORM DRAIN PIPE DATA:**

- 45 LF OF 4" PERF PIPE @ 0.0% SLOPE
- 7 LF OF 6" HDPE PIPE @ 1.0% SLOPE
- 30 LF OF 6" HDPE PIPE @ 1.0% SLOPE
- 38 LF OF 6" HDPE PIPE @ 1.0% SLOPE



**REVISIONS**

NO.	BY	DATE	DESCRIPTION
1	DD	05/09/23	RESPONSE TO SCC COMMENTS

**GRADING AND DRAINAGE**

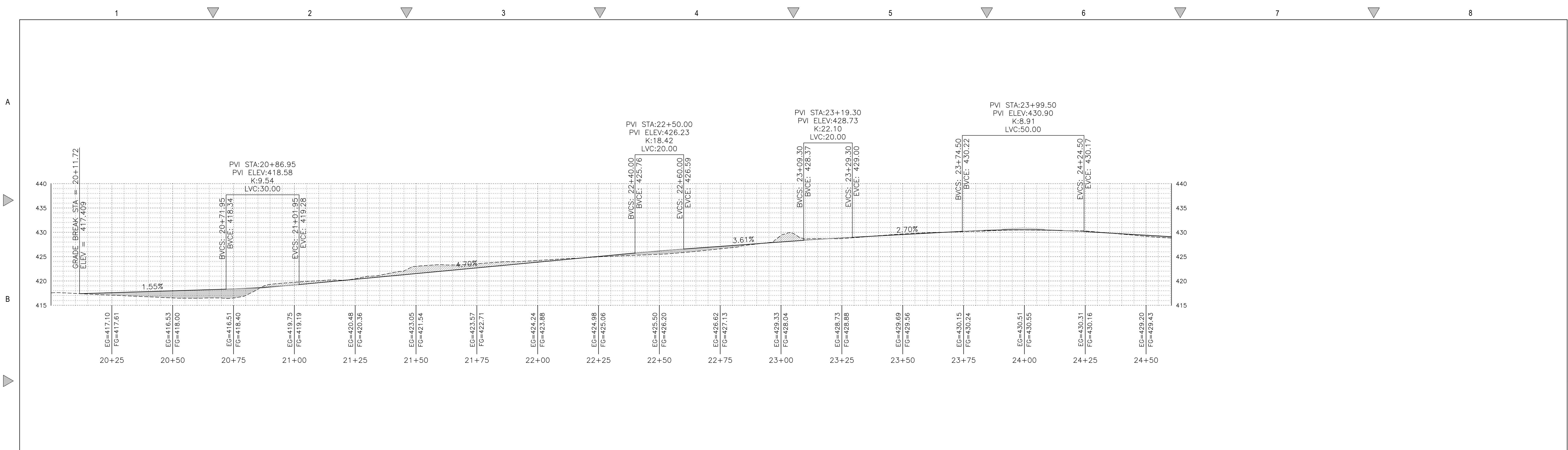


**GOKULAM, LLC.**  
**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 4400 Old Calaveras Road, Milpitas, CA 95066  
 T (831) 438-4420 F (831) 438-4420

**LIVESTOCK SHELTER**  
**ACCESS ROAD AND PARKING**  
**2425 OLD CALAVERAS ROAD, MILPITAS**  
**APN: 029-34-004**

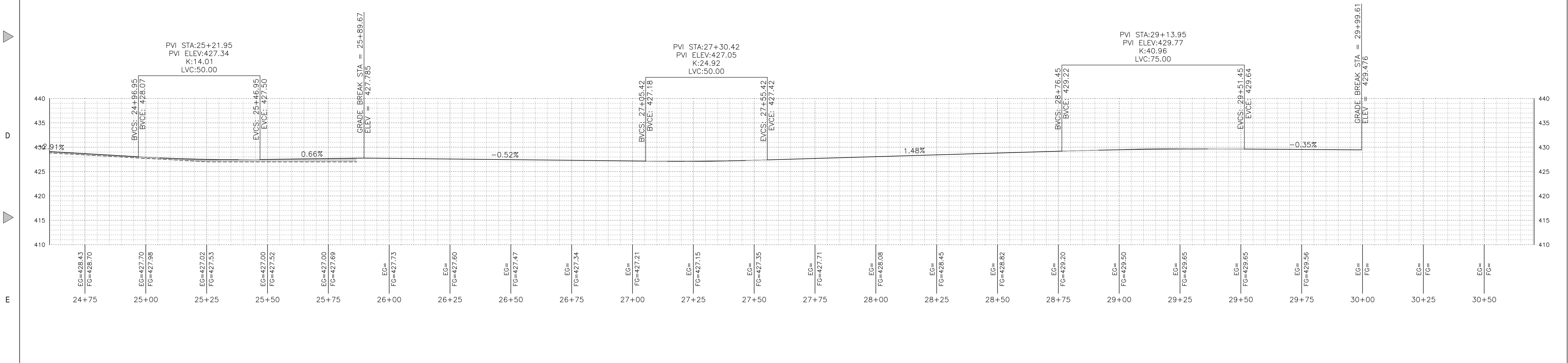
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 Sheet: C5.1  
 Of: 5 Sheets





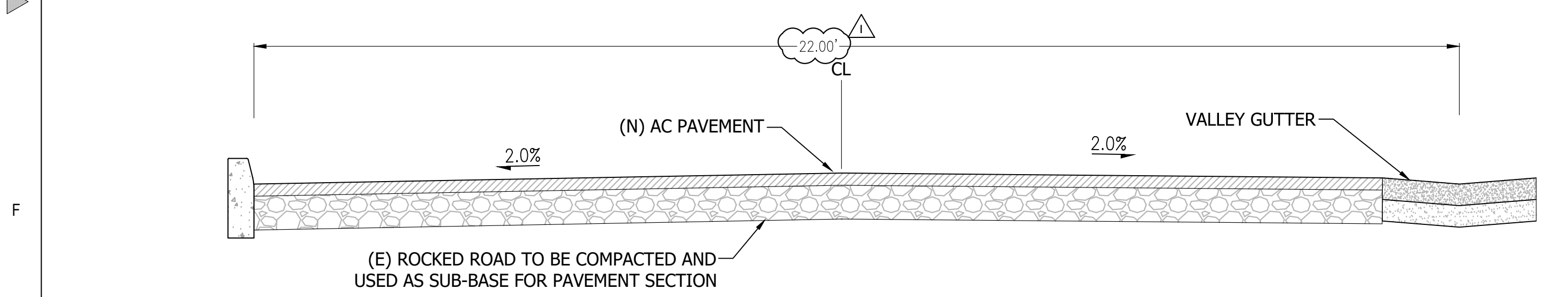
1 FIRE ROAD ACCESS - PROFILE (STA. 20+00.00 TO 24+60.45)

Scale: 1:20 HORIZ. & 1:10 VERT.



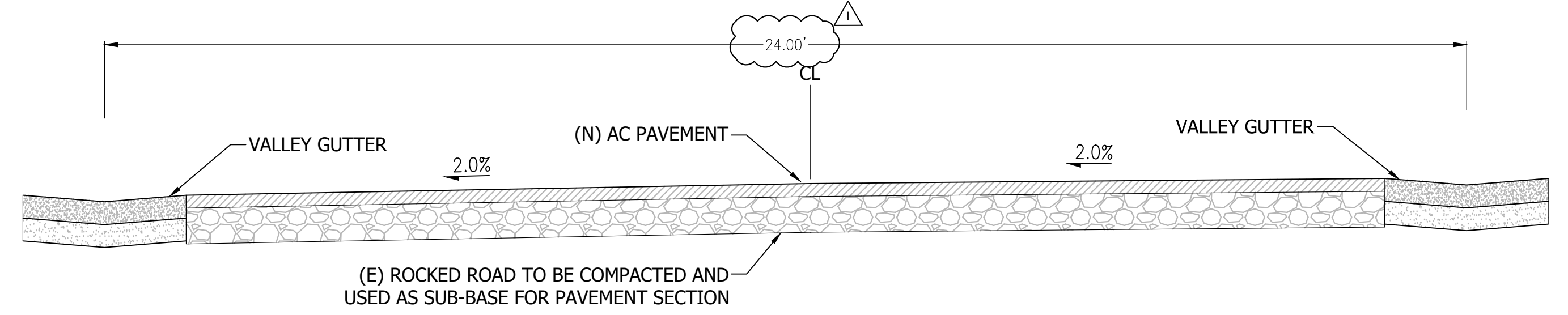
2 "A" FIRE ROAD ACCESS - PROFILE (STA. 24+60.45 TO 30+70.52)

Scale: 1:20 HORIZ. & 1:10 VERT.



3 22'-WIDE ACCESS ROAD SECTION

Scale: 1":2'



4 22'-WIDE ACCESS ROAD SECTION

Scale: 1":2'

REVISIONS	BY
RESPONSE TO SCC COMMENTS 05.09.23	DD

FIRE ROAD ACCESS  
PROFILE &  
SECTION SHEET



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**GOKULAM, LLC.**  
LIVESTOCK SHELTER  
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2425 OLD CALAVERAS ROAD, MILPITAS  
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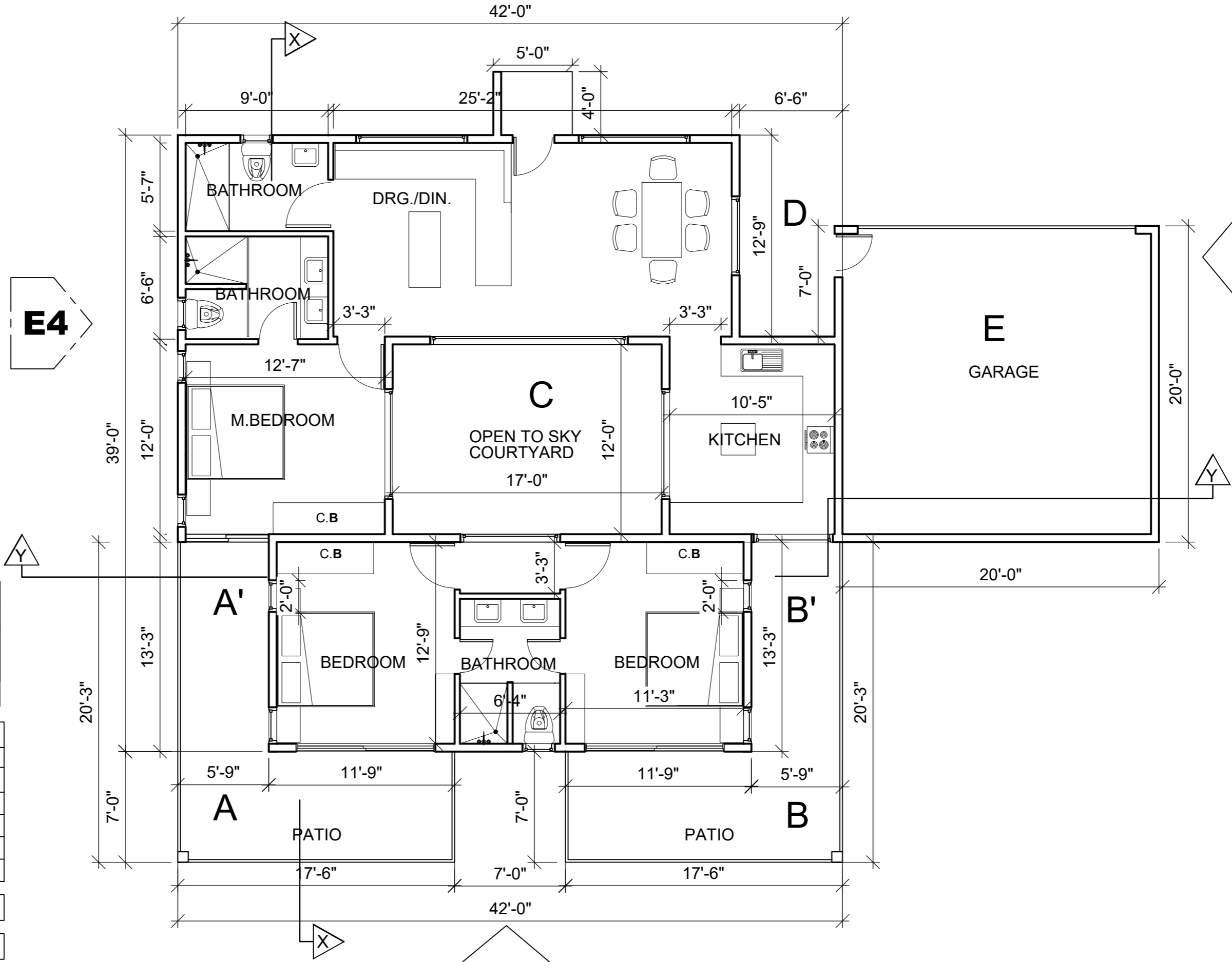
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Of	Sheets

E1

E2

E4

E3



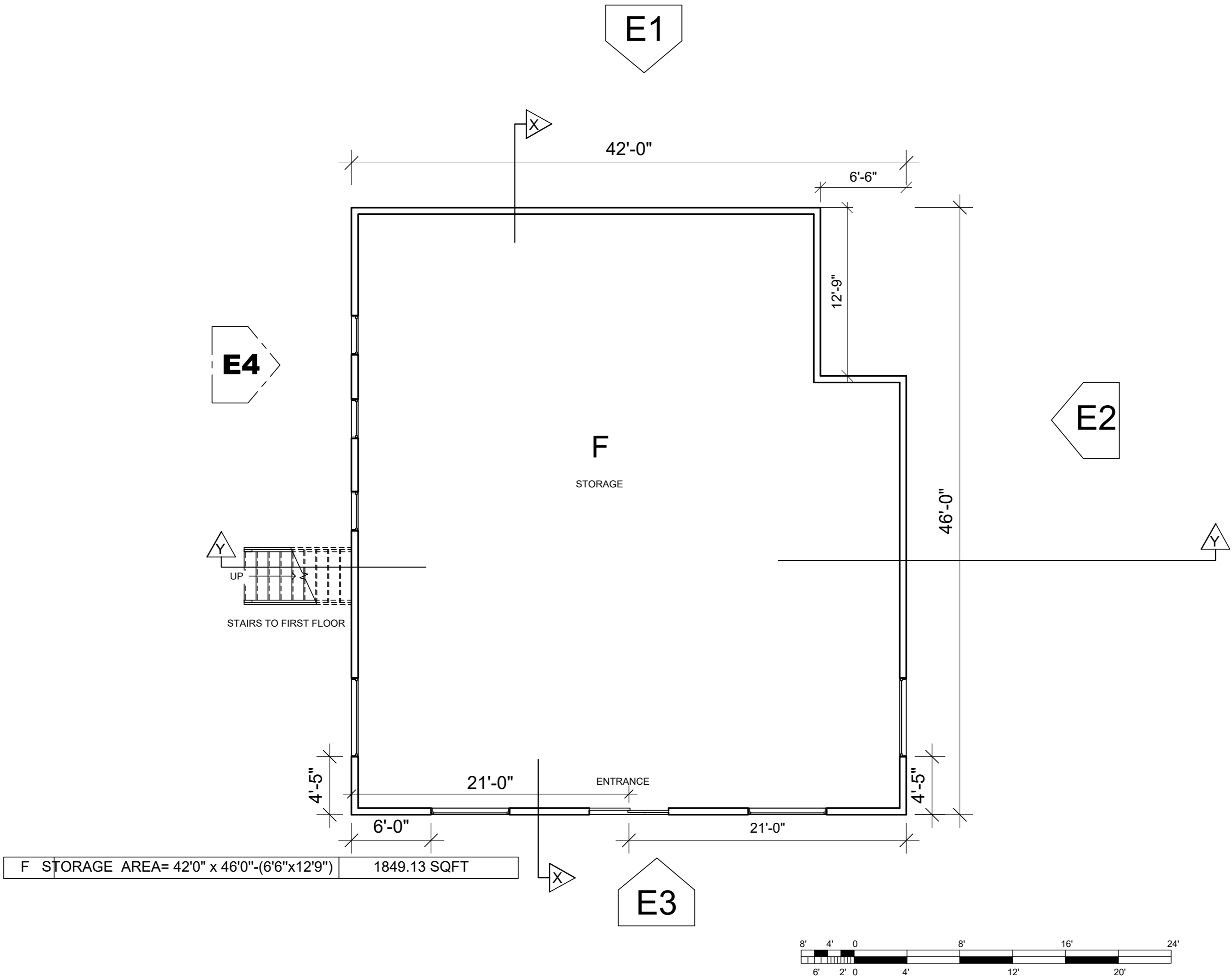
COVERED AREA CALCULATIONS		
ID	SIZE	Area ( SQFT )
EMP UNIT	42'0" x 39'0" - AREA ( A'+B'+C+D ) =(42x39)-(76.19+76.19+204+82.88)	1198.75
TOTAL UNIT AREA AGRI UNIT =		1198.75 SQFT

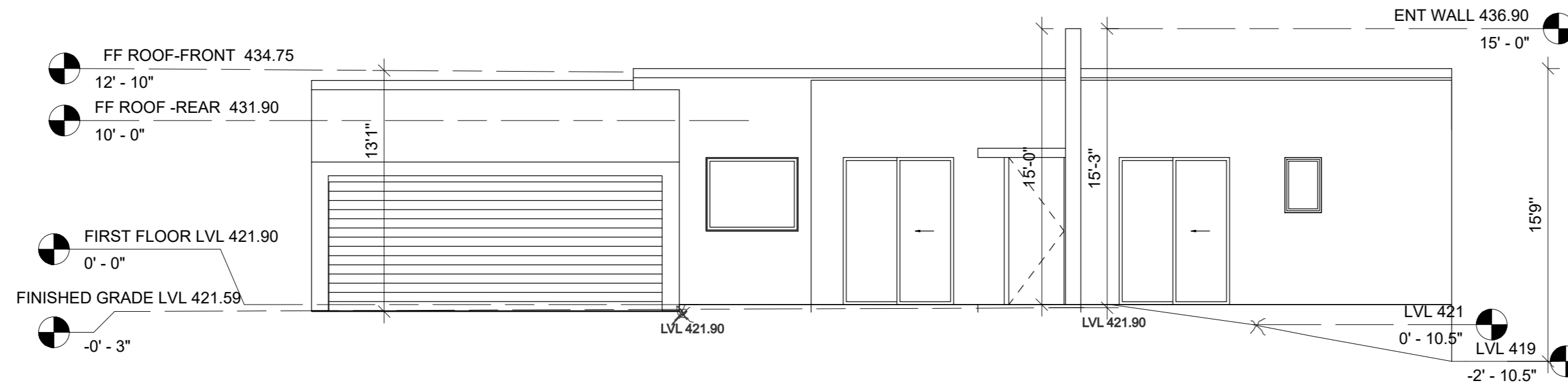
COVERED & PARTIALLY ENCLOSED AREA CALCULATIONS		
ID	size	Area ( SQFT )
AA'	(5'9" x 13'3" ) +(7'x17'6")	198.69
BB'	(5'9" x 13'3" ) +(7'x17'6")	198.69
TOTAL		397.38 SQFT

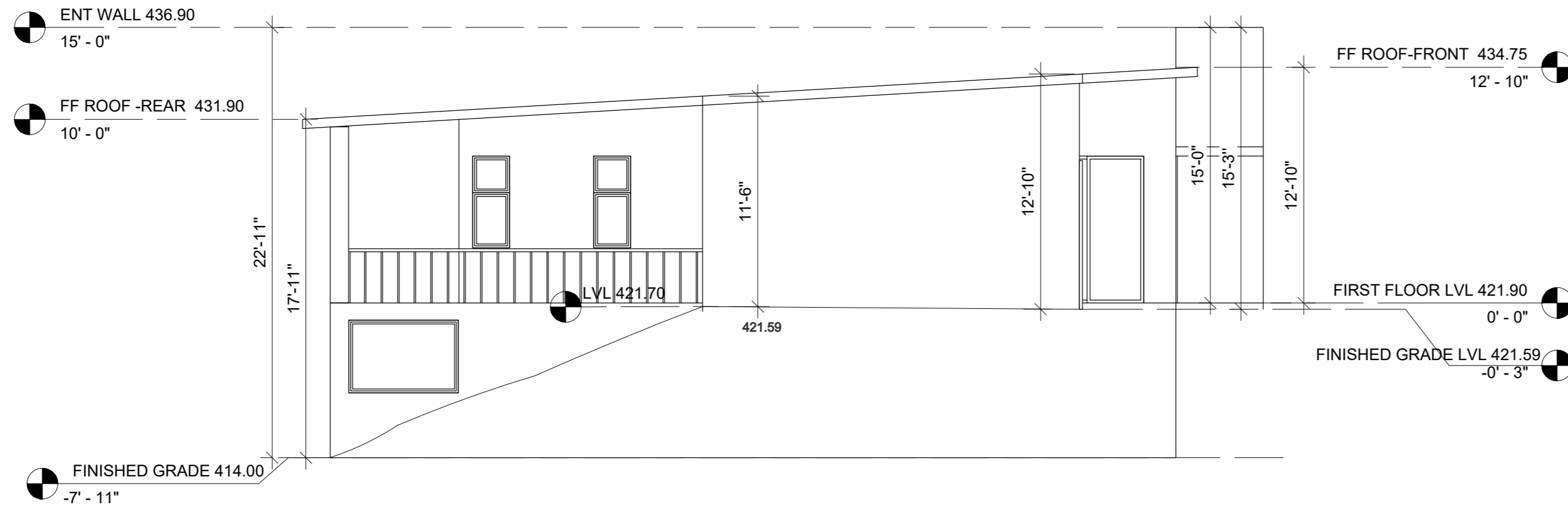
E	GARAGE AREA= 20'0" x 20'0"	400 SQFT
F	STORAGE AREA= 42'0" x 46'0"-(6'6"x12'9")	1849.13 SQFT



F STORAGE AREA= 42'0" x 46'0"-(6'6"x12'9") 1849.13 SQFT



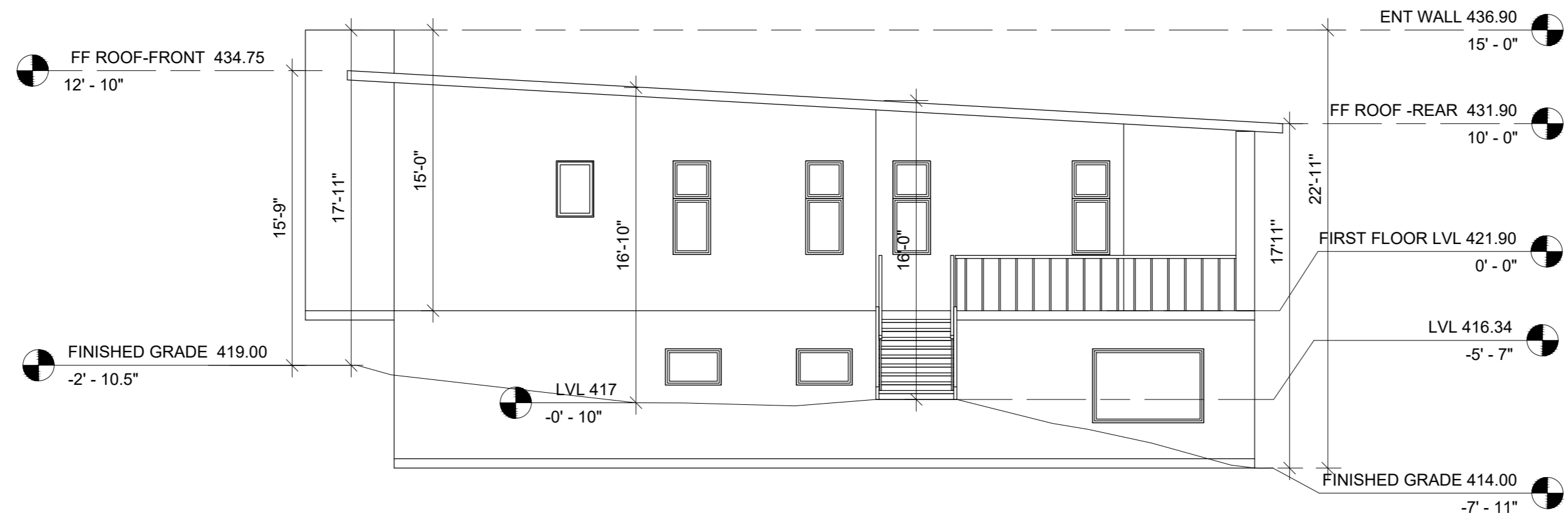
ELEVATION E1



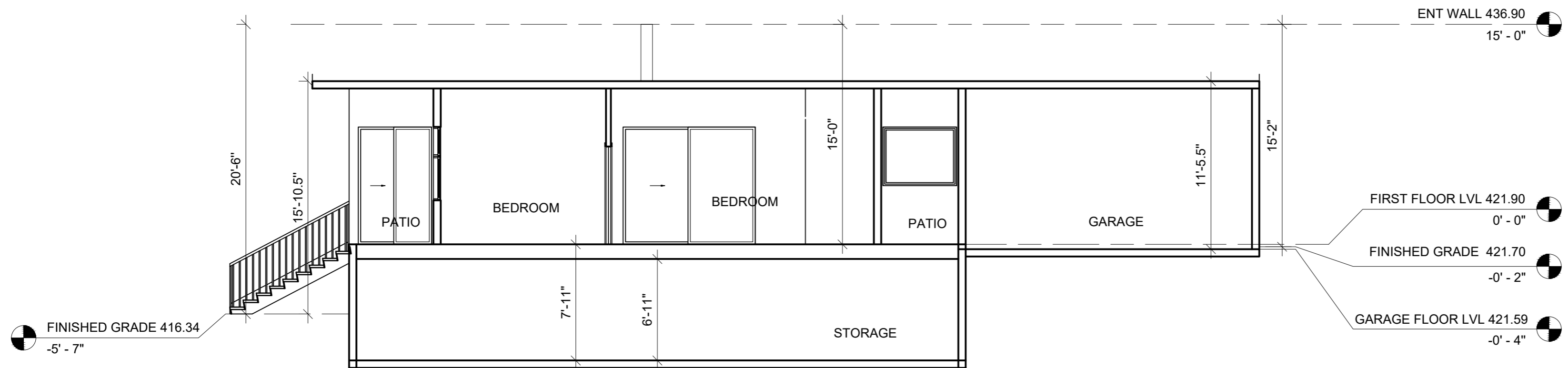
ELEVATION E2



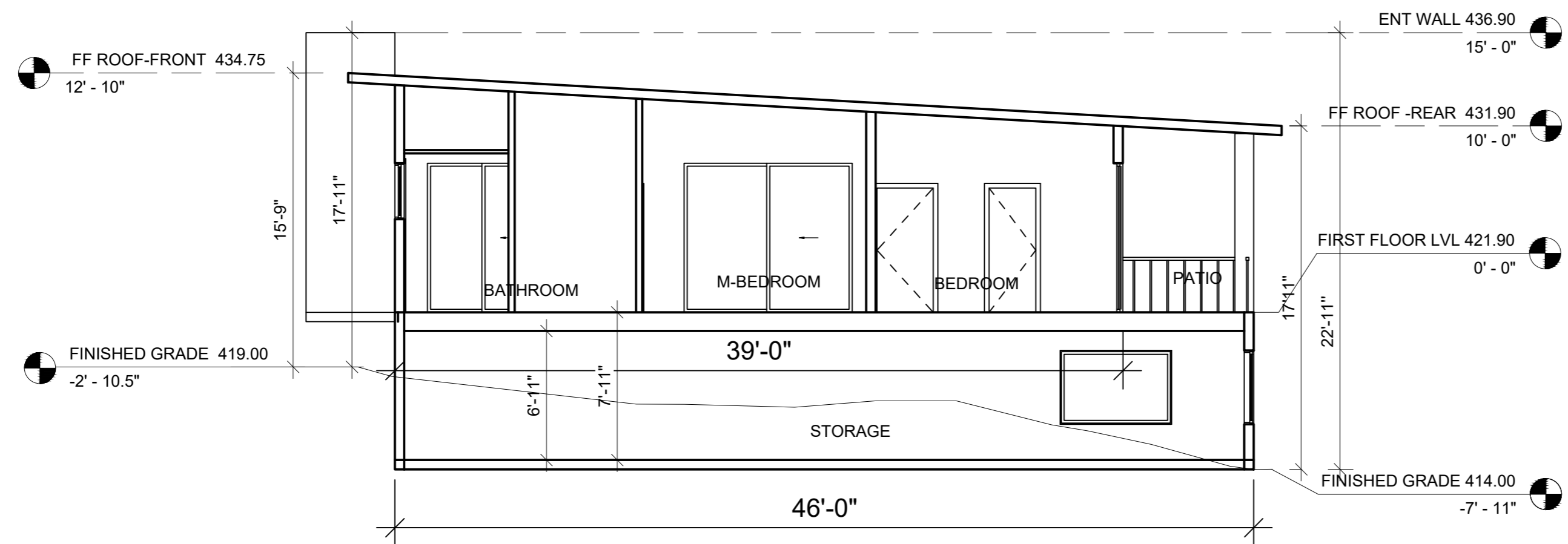
ELEVATION E3



ELEVATION E4



**SECTION : Y-Y**



**SECTION : X-X**





COLOR AND MATERIAL PALETTE			
WALL CLADDING	ENTRANCE WALL	GARAGE DOOR	DOOR, WINDOW, FRAME, TRIMS
PALM DESERT TAN ( LRV43.07 )	WOLF GREY ( LRV 19.89 )	MSI ALASKA GREY ( LRV 44.42 )	WHITE ( LRV 99.2 )
	ROOF FASCIA & EXTERIOR COLUMNS	WOOD FINISH ( LRV 35.71 )	

GOKULAM  
2425 Old Calaveras Road, MILPITAS, CA 95035

AJAY GOYAL  
748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337

DRAWN BY :  
NEHA

DATE: 05/10/2023  
SCALE: NTS

LOCATION:  
APN 029-34-004

SUBJECT:  
**GOKULAM Small Scale Permanenet EMPLOYEE HOUSE VIEWS**

DRAWING NO. :  
A06

**SEPTIC SYSTEM CONSTRUCTION NOTES**

**A. PROJECT REQUIREMENTS**

- SYSTEM TO SERVE 13 EMPLOYEES/CUSTOMERS/VOLUNTEERS, A FUTURE 6 BEDROOM HOUSE, A FUTURE 3 BEDROOM ACCESSORY DWELLING UNIT (ADU), A FUTURE 2 BEDROOM JUNIOR ADU, AND A 3 BEDROOM SMALL SCALE PERMANENT AGRICULTURAL HOUSING. INSTALLATION OF SYSTEM TO CONFORM TO SANTA CLARA COUNTY SEWAGE DISPOSAL ORDINANCE. CALL SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH 24 HOURS MIN. PRIOR TO START OF WORK AT (408)-918-3400.
- SEWAGE DISPOSAL SYSTEM CONSISTS OF A 5,000 GALLON SEPTIC TANK WITH 5,000 GALLON PUMP TANK, WATER TIGHT ACCESS RISERS TO GRADE, A BULL-RUN DIVERSION VALVE, AND TWO 48" LF X 48" LF DISPERSAL FIELDS OF 24" WIDE BY 12" DEEP DRAINROCK BED WITH INSPECTION RISERS TO GRADE. THE DISPERSAL FIELDS SHALL BE INTERCONNECTED WITH A DIVERSION VALVE. THE VALVE MUST BE CAPABLE OF DIRECTING THE SEPTIC TANK EFFLUENT TO ONE DISPERSAL FIELD AT A TIME.
- GROUND SLOPE OF DISPERSAL FIELD #1 & DISPERSAL FIELD #2 IS APPROXIMATELY 24.5%. DISPERSAL FIELDS SHALL BE INSTALLED LEVEL AND ON CONTOURS AS SHOWN ON PLAN. EXCESS SOIL FROM LEACHFIELD CONSTRUCTION SHALL BE SPREAD ON SITE AT A DEPTH OF 3" MAX OR BE REMOVED OFF-SITE.
- THE DIVERSION VALVE SHALL BE OPERATED ANNUALLY TO ROTATE THE USE OF DISPERSAL FIELDS TO EXTEND THE LIFE OF THE SEPTIC SYSTEM.
- MARK CAPS OF ALL BULL RUN VALVES (DV) AND RISERS (R) WITH A PERMANENT MARKER OR LABEL.
- SWIMMING POOLS OR SPAS MUST NOT BE DRAINED OR BACKWASHED INTO THE SEPTIC SYSTEM.
- AVOID PLANTING TREES IN DISPERSAL FIELD OR CLOSE TO SEPTIC TANK.
- GARBAGE DISPOSAL IS NOT RECOMMENDED. IF THEY ARE INSTALLED, THEY SHOULD BE USED SPARINGLY OR NOT AT ALL.
- THE SOLIDS THAT ACCUMULATE IN THE SEPTIC TANK SHOULD BE REMOVED BY PUMPING EVERY 3-5 YEARS TO PREVENT SOLIDS FROM ENTERING AND CLOGGING THE DISPERSAL FIELD.
- ALL WORK TO BE PERFORMED BY AN APPROPRIATELY LICENSED CONTRACTOR.
- PRIOR TO STARTING CONSTRUCTION, CONTRACTOR SHALL CONTACT USA AT 1-800-227-2600 TO LOCATE ALL UNDERGROUND UTILITIES.

ACROSS ALL THE ACTIVITIES CURRENTLY PLANNED ON THE LAND - REARING LIVESTOCK, PRODUCTION AND SALE OF COMPOST, RALES OF ORCHARD GRASS AND CSA BOXES AND RESIDENCES, THE TOTAL NUMBER OF PEOPLE INCLUDING RESIDENTS, EMPLOYEES AND VISITORS WILL NOT EXCEED MORE THAN 25 PEOPLE IN A 60 DAY PERIOD ANNUALLY. PLEASE SEE THE TABLE BELOW FOR A SUMMARY.

OUR APPLICATION AND OWS DESIGN INCLUDES A 3 BEDROOM SMALL SCALE PERMANENT AGRICULTURAL HOUSING WHOSE RESIDENTS ARE ALSO SHOWN IN THE TABLE BELOW AS RESIDENT EMPLOYEES. THE LIVESTOCK SHELTER AND AGRICULTURAL SHED BOTH INCLUDE A UNISEX BATHROOM THAT WILL CATER TO THE DEMAND MENTIONED BELOW. FOR OUR CSA PROGRAM, ABOUT 2,500'S OF THE 90 FAMILIES ARE OUR REGULAR CONGREGATION WHO WILL PICK IT UP FROM OUR TEMPLE WHICH IS ABOUT 1.5 MILES AWAY LOCATED AT 680 E. CALAVERAS BLVD, MILPITAS, CA. CUSTOMER/VOLUNTEER VISITS TO 2425 OLD CALAVERAS RD SITE FOR ALL OUR OPERATIONS WILL BE BY APPOINTMENT ONLY AND WE WILL BE USING THIS APPOINTMENT SYSTEM TO ENSURE THAT THE DAILY LIMITS PROPOSED BELOW ARE ADHERED TO.

OUR OWS DESIGN ANTICIPATES A FUTURE PRIMARY RESIDENCE WITH 6 BEDROOMS, A FUTURE ADU WITH 3 BEDROOMS, A JADU WITH TWO BEDROOMS. THUS WE HAVE TWO TABLES FOR PROPOSED CURRENT USE AND ONE FOR FUTURE USE WHERE WE HAVE ADDED A COLUMN TO SHOW FUTURE RESIDENTS FOR THESE UNITS.

**PROPOSED CURRENT USE/OCCUPANCY:**

Day	Time	Resident Employees of Agricultural Housing	Other Employees	Volunteers /Customers	Total People
Monday to Friday	5am to 1pm	3	2	8	13
	4pm to 9pm	3	2	8	13
Saturday	5am to 1pm	3	2	8	13
	2pm to 9pm	3	2	8	13
Sunday	5am to 1pm	3	2	8	13
	2pm to 9pm	3	2	8	13

**FUTURE USE/OCCUPANCY:**

Day	Time	Future Residents Primary/ ADU/JADU	Resident Employees Agricultural Housing	Other Employees	Volunteers /Customers	Total People
Monday to Friday	5am to 1pm	11	3	2	8	24
	4pm to 9pm	11	3	2	8	24
Saturday	5am to 1pm	11	3	2	8	24
	2pm to 9pm	11	3	2	8	24
Sunday	5am to 1pm	11	3	2	8	24
	2pm to 9pm	11	3	2	8	24

**B. SEPTIC TANK REQUIREMENTS**

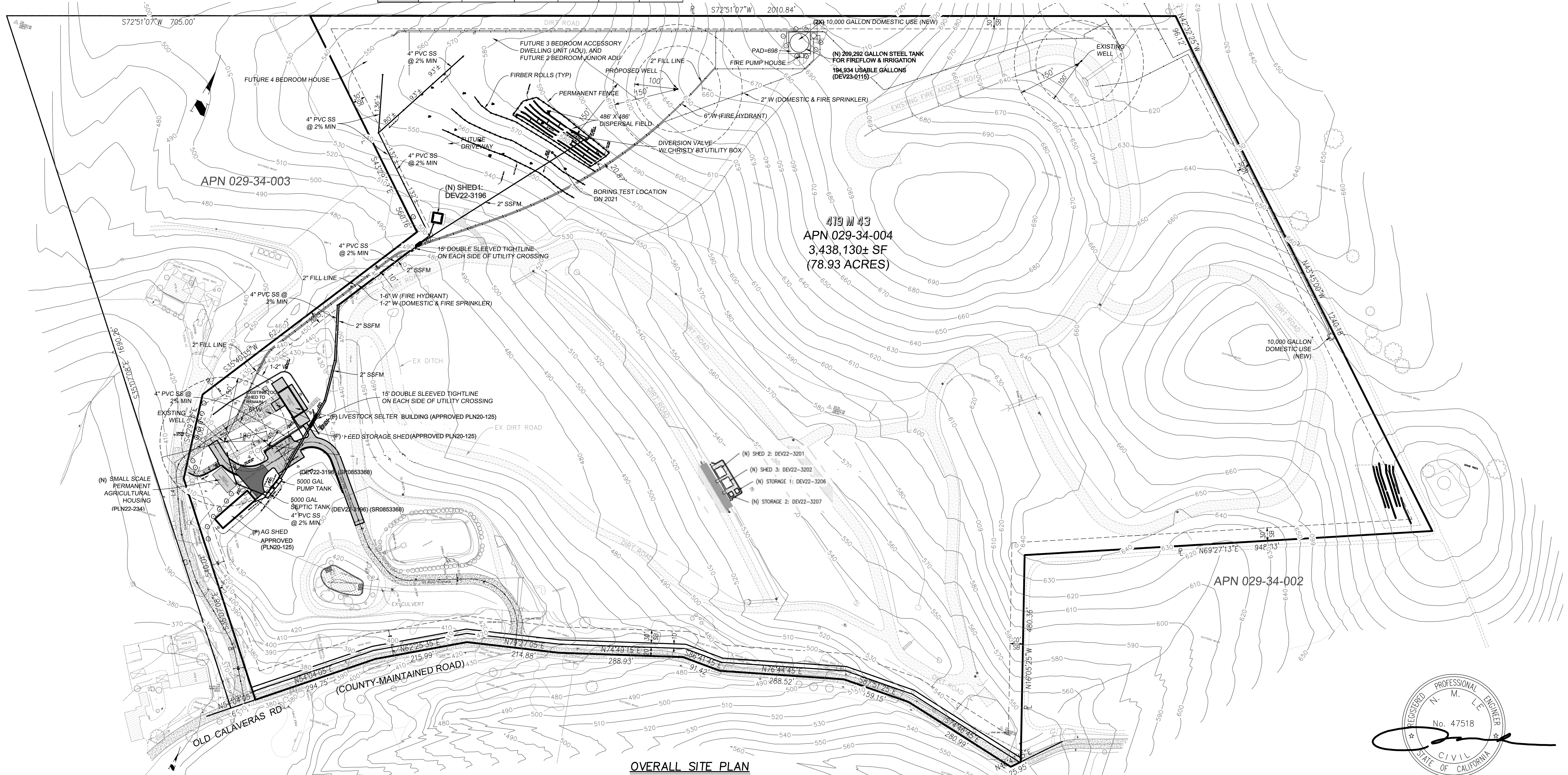
- MINIMUM CAPACITY. SEPTIC TANKS MUST HAVE A MINIMUM CAPACITY OF FIVE THOUSAND (5,000) GALLONS OR TWICE THE PEAK DAILY WASTEWATER FLOW FOR THE FACILITY SERVED, WHICHEVER IS GREATER. MINIMUM SEPTIC TANK CAPACITY FOR ASSISTED CARE FACILITIES SHALL BE EQUAL TO THREE TIMES THE PEAK DAILY WASTEWATER FLOW.
- TWO COMPARTMENTS. SEPTIC TANKS MUST BE OF TWO-COMPARTMENT CONSTRUCTION, WITH THE FIRST COMPARTMENT EQUAL TO TWO-THIRDS THE TOTAL TANK VOLUME. THE COMPARTMENTS MUST BE SEPARATED BY A Baffle OR EQUIVALENT ARRANGEMENT.
- MATERIALS. SEPTIC TANKS MUST BE WATER TIGHT, PROPERLY VENTED AND CONSTRUCTED OF REINFORCED CONCRETE, HEAVYWEIGHT REINFORCED CONCRETE BLOCKS, FIBERGLASS OR OTHER DURABLE, NON-CORRODIBLE MATERIALS AS APPROVED BY THE DIRECTOR. SEPTIC TANKS SHALL BE DESIGNED TO WITHSTAND ANY ANTICIPATED WEIGHT PLACED ABOVE IT. ALL SEPTIC TANKS SHALL BE LISTED AND APPROVED BY IARMO OR AN ANSI ACCREDITED TESTING ORGANIZATION; EXCEPTION TO THIS REQUIREMENT MAY BE GRANTED WHERE STRUCTURAL DESIGN CALCULATIONS FOR THE SEPTIC TANK ARE PROVIDED BY A CALIFORNIA REGISTERED CIVIL ENGINEER.
- ACCESS OPENINGS. ACCESS TO EACH SEPTIC TANK COMPARTMENT MUST BE PROVIDED BY A MANHOLE OPENING AT LEAST TWENTY INCHES IN DIAMETER.
- ACCESS RISERS. A RISER MUST EXTEND FROM EACH MANHOLE OPENING TO OR ABOVE THE SURFACE OF THE GROUND. THE RISER MUST BE OF A SIZE LARGER THAN THE MANHOLE OPENING, BE BOTH GAS- AND WATER-TIGHT, BE CONSTRUCTED OF DURABLE MATERIAL AND EQUIPPED WITH A SECURE COVER.
- EFFLUENT FILTER. THE OUTLET OF THE SEPTIC TANK SHALL BE FITTED WITH AN EFFLUENT FILTER CAPABLE OF SCREENING SOLIDS IN EXCESS THREE-SIXTEENTHS (3/16) OF AN INCH IN DIAMETER AND CONFORMING TO NSF/ANSI STANDARD 46 OR AS OTHERWISE APPROVED BY THE DIRECTOR.
- TANK CONNECTIONS. ALL CONNECTIONS FROM BUILDING TO SEPTIC TANK MUST CONFORM TO CONSTRUCTION STANDARDS AS REQUIRED BY THE COUNTY BUILDING OFFICIAL.
- WATER-TIGHTNESS TESTING. ALL NEW SEPTIC TANK INSTALLATIONS AND MODIFICATIONS TO EXISTING SEPTIC TANKS SHALL UNDERGO WATER-TIGHTNESS TESTING AS FOLLOWS:
  - NEW TANKS. FOR NEW TANK INSTALLATIONS, THE TESTING SHALL BE DONE WITH THE RISERS IN PLACE AND THE INLET AND OUTLET PIPES PLUGGED. THE TANK SHALL BE FILLED WITH WATER TO A LEVEL EXTENDING A MINIMUM OF TWO (2) INCHES INTO THE RISERS, AND MONITORED FOR A 1-HOUR PERIOD, WITH NO MEASURABLE DROP IN THE WATER LEVEL.
  - EXISTING TANKS. FOR EXISTING TANKS, THE TANK SHALL BE FILLED WITH WATER TO A LEVEL EVEN WITH THE INVERT OF THE OUTLET PIPE, AND MONITORED FOR A 1-HOUR PERIOD, WITH NO MEASURABLE DROP IN WATER LEVEL. HOWEVER, IN CASES WHERE THERE THE GROUNDWATER LEVEL IS KNOWN OR ESTIMATED TO RISE ABOVE THE LEVEL OF THE OUTLET PIPE DURING ANY TIME OF THE YEAR, THE WATER-TIGHTNESS TEST SHALL BE CONDUCTED FOLLOWING THE PROCEDURE FOR NEW TANK INSTALLATIONS, I.E., BY FILLING THE TANK WITH WATER INTO THE RISERS.

**C. PIPE REQUIREMENTS**

- SOLID PIPE, JOINTS AND CONNECTIONS. SOLID (NON-PERFORATED) PIPE FOR OWS MUST CONFORM TO THE STANDARDS OF THE MOST RECENT EDITION OF THE UNIFORM PLUMBING CODE, WHICH IS ADOPTED BY REFERENCE INTO THE COUNTY'S BUILDING ORDINANCES. PIPE DIAMETER MUST BE FOUR INCHES. ALL SOLID PIPE JOINTS AND CONNECTIONS MUST BE GLUED, CEMENTED OR MADE WITH AN ELASTOMERIC SEAL SO AS TO BE WATER TIGHT.
- TIGHTLINES UNDER RESIDENTIAL DRIVEWAY. TIGHTLINES IN RESIDENTIAL TRAFFIC AREAS MUST BE INSTALLED WITH SCHEDULE 40 PVC. AN ALTERNATIVE IS TO SLEEVE (I.E., DOUBLE PIPE) THE THIN WALL TIGHTLINE PIPE WITHIN AN OUTER PIPE CONSISTING OF SCHEDULE 40 PVC, ABS OR SUITABLE ALTERNATIVE AND RATED BY THE UNIFORM PLUMBING CODE.
- DISTRIBUTION PIPE. PERFORATED PIPE FOR CONVENTIONAL OWS DISPERSAL SYSTEMS MUST CONFORM TO THE MOST RECENT EDITION OF THE UNIFORM PLUMBING CODE, WHICH IS ADOPTED BY REFERENCE INTO THE COUNTY'S BUILDING ORDINANCES. THE PIPE DIAMETER MUST BE FOUR INCHES.

**D. DISPERSAL SYSTEM REQUIREMENTS**

- TRENCH CONSTRUCTION.
  - TRENCHES MUST BE PLACED IN UNDISTURBED EARTH, IN AN ACCESSIBLE AREA, AND SHALL NOT BE COVERED BY PAVING OR OTHER IMPERMEABLE OR COMPACTED SURFACE. NATURAL TOPOGRAPHY SHALL NOT BE GRADED TO MODIFY SLOPE.
  - THE BOTTOM OF A TRENCH MUST BE LEVEL, WITH A VARIATION OF NO MORE THAN 2 INCHES PER 100 LINEAL FEET OF TRENCH; TRENCHES SHALL BE ALIGNED PARALLEL TO THE GROUND SURFACE CONTOURS TO THE GREATEST EXTENT PRACTICABLE.
  - ADJACENT TRENCHES ON SLOPES MUST BE CONNECTED WITH A WATER TIGHT OVERFLOW LINE ("RELIEF LINE") IN A MANNER THAT ALLOWS EACH TRENCH TO BE FILLED WITH SEWAGE EFFLUENT TO THE DEPTH OF THE ROCK BEFORE THE SEWAGE FLOWS TO THE NEXT LOWER TRENCH. ALTERNATIVELY, A DISTRIBUTION BOX (D-BOX) MAY BE USED TO EQUALLY DIVIDE THE FLOW AMONGST THE TRENCHES, PROVIDED THE PROPOSED D-BOX IS OF A DESIGN APPROVED AND LISTED BY THE DEH PER PART 3.1.E (MATERIALS AND EQUIPMENT) OF THIS MANUAL. FOR SITES LOCATED ON SITES HAVING SLOPES OF LESS THAN 5%, A "GRID" DESIGN MAY BE USED IN ACCORDANCE WITH GUIDELINES PROVIDED UNDER AT THE END OF THIS SECTION (E.3.F).
  - TRENCHES MUST NOT BE EXCAVATED WHEN THE SOIL IS SO WET THAT SMEARING OR COMPACTION OCCURS.
  - IN CLAY SOILS WHEN GLAZING OCCURS, THE TRENCH SURFACES MUST BE SCARIFIED TO THE DEPTH OF THE GLAZING AND THE LOOSE MATERIAL REMOVED.
  - ROCK MATERIAL IN THE TRENCH MUST BE WASHED AND FREE OF FINES, AND MUST BE COVERED WITH AN APPROVED FILTER FABRIC SILT BARRIER (GEOTEXTILE) PRIOR TO BACKFILLING WITH NATURAL EARTH.
  - A CAPPED INSPECTION RISER SHALL BE INSTALLED WITHIN EACH TRENCH TO PROVIDE A MEANS OF OBSERVING THE EFFLUENT LEVEL IN THE TRENCH.
  - EROSION CONTROL MEASURES SHALL BE IMPLEMENTED FOLLOWING INSTALLATION PER REQUIREMENTS OF SECTION B11-83(C) FOR ANY CONVENTIONAL DISPERSAL SYSTEM WHERE: (1) GROUND SLOPE EXCEEDS 20%; (2) ABOVE-GRADE COVER FILL IS ADDED; (3) DESIGN FLOW EXCEEDS 1,000 GPD; OR (4) A GRADING AND/OR DRAINAGE PERMIT IS REQUIRED FOR PROJECT SITE DEVELOPMENT PER DIVISION 012, CHAPTER III OF THE COUNTY CODE. THE PLAN SUBMITTAL FOR THE OWS SHALL INCLUDE AN EROSION CONTROL PLAN IN ACCORDANCE WITH REQUIREMENTS OF ORDINANCE SECTION B11-83(C).



**OVERALL SITE PLAN**  
1" = 120'

APPLICANT :

ROAD NAME : OLD CALAVERAS ROAD

FILE NO :

<p><b>ENGINEERING</b></p> <p>598 E Santa Clara St. #270 San Jose, CA 95112 Phone: (408) 806-7187</p>	<p>DESIGNED: 12/09/22</p> <p>DATE: 12/09/22</p>	<p>DATE: 12/09/22</p>	<p>NO.</p>	
	<p>DRAWN: [Signature]</p> <p>AS NOTED: [Signature]</p> <p>SCALE: [Signature]</p> <p>CHECKED: [Signature]</p>	<p>DATE: 12/09/22</p>	<p>REVISIONS</p>	<p>BY: [Signature]</p> <p>DATE: 12/09/22</p>
	<p>PROJECT NO. 029-34-004</p> <p>CONTRACT NO.</p> <p>Milpitas</p>	<p>1 OF 3</p>	<p>DATE: 12/09/22</p>	<p>FILE NO.</p>

DRAWING NO. **SS1**

SHT NO. 1





County of Santa Clara - Department of Environmental Health  
SOIL PERCOLATION TEST RECORDED MEASUREMENTS

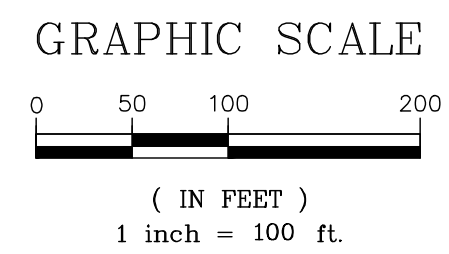
APN 029-34-004  
OWNER/APPLICANT: GOKULAM LLC  
LOCATION: 2425 OLD CALAVERAS RD  
CONTACT PERSON: MARY C. GOKULAM  
SR#: 85368  
REHS: PETER EKES  
PHONE: 408-206-7812  
DATE: 3/6/10  
SITING: West of little portion (Site 5)

HOLE #	DEPTH #	TIME	WATER LEVEL	AMIN	AINCH	AMPI
1	1	1:10	10.5	10.5	10.5	10.5
1	2	1:15	10.5	10.5	10.5	10.5
1	3	1:20	10.5	10.5	10.5	10.5
1	4	1:25	10.5	10.5	10.5	10.5
1	5	1:30	10.5	10.5	10.5	10.5
1	6	1:35	10.5	10.5	10.5	10.5
1	7	1:40	10.5	10.5	10.5	10.5
1	8	1:45	10.5	10.5	10.5	10.5
1	9	1:50	10.5	10.5	10.5	10.5
1	10	1:55	10.5	10.5	10.5	10.5
1	11	2:00	10.5	10.5	10.5	10.5
1	12	2:05	10.5	10.5	10.5	10.5
1	13	2:10	10.5	10.5	10.5	10.5
1	14	2:15	10.5	10.5	10.5	10.5
1	15	2:20	10.5	10.5	10.5	10.5
1	16	2:25	10.5	10.5	10.5	10.5
1	17	2:30	10.5	10.5	10.5	10.5
1	18	2:35	10.5	10.5	10.5	10.5
1	19	2:40	10.5	10.5	10.5	10.5
1	20	2:45	10.5	10.5	10.5	10.5
1	21	2:50	10.5	10.5	10.5	10.5
1	22	2:55	10.5	10.5	10.5	10.5
1	23	3:00	10.5	10.5	10.5	10.5
1	24	3:05	10.5	10.5	10.5	10.5
1	25	3:10	10.5	10.5	10.5	10.5
1	26	3:15	10.5	10.5	10.5	10.5
1	27	3:20	10.5	10.5	10.5	10.5
1	28	3:25	10.5	10.5	10.5	10.5
1	29	3:30	10.5	10.5	10.5	10.5
1	30	3:35	10.5	10.5	10.5	10.5
1	31	3:40	10.5	10.5	10.5	10.5
1	32	3:45	10.5	10.5	10.5	10.5
1	33	3:50	10.5	10.5	10.5	10.5
1	34	3:55	10.5	10.5	10.5	10.5
1	35	4:00	10.5	10.5	10.5	10.5
1	36	4:05	10.5	10.5	10.5	10.5
1	37	4:10	10.5	10.5	10.5	10.5
1	38	4:15	10.5	10.5	10.5	10.5
1	39	4:20	10.5	10.5	10.5	10.5
1	40	4:25	10.5	10.5	10.5	10.5
1	41	4:30	10.5	10.5	10.5	10.5
1	42	4:35	10.5	10.5	10.5	10.5
1	43	4:40	10.5	10.5	10.5	10.5
1	44	4:45	10.5	10.5	10.5	10.5
1	45	4:50	10.5	10.5	10.5	10.5
1	46	4:55	10.5	10.5	10.5	10.5
1	47	5:00	10.5	10.5	10.5	10.5
1	48	5:05	10.5	10.5	10.5	10.5
1	49	5:10	10.5	10.5	10.5	10.5
1	50	5:15	10.5	10.5	10.5	10.5
1	51	5:20	10.5	10.5	10.5	10.5
1	52	5:25	10.5	10.5	10.5	10.5
1	53	5:30	10.5	10.5	10.5	10.5
1	54	5:35	10.5	10.5	10.5	10.5
1	55	5:40	10.5	10.5	10.5	10.5
1	56	5:45	10.5	10.5	10.5	10.5
1	57	5:50	10.5	10.5	10.5	10.5
1	58	5:55	10.5	10.5	10.5	10.5
1	59	6:00	10.5	10.5	10.5	10.5
1	60	6:05	10.5	10.5	10.5	10.5
1	61	6:10	10.5	10.5	10.5	10.5
1	62	6:15	10.5	10.5	10.5	10.5
1	63	6:20	10.5	10.5	10.5	10.5
1	64	6:25	10.5	10.5	10.5	10.5
1	65	6:30	10.5	10.5	10.5	10.5
1	66	6:35	10.5	10.5	10.5	10.5
1	67	6:40	10.5	10.5	10.5	10.5
1	68	6:45	10.5	10.5	10.5	10.5
1	69	6:50	10.5	10.5	10.5	10.5
1	70	6:55	10.5	10.5	10.5	10.5
1	71	7:00	10.5	10.5	10.5	10.5
1	72	7:05	10.5	10.5	10.5	10.5
1	73	7:10	10.5	10.5	10.5	10.5
1	74	7:15	10.5	10.5	10.5	10.5
1	75	7:20	10.5	10.5	10.5	10.5
1	76	7:25	10.5	10.5	10.5	10.5
1	77	7:30	10.5	10.5	10.5	10.5
1	78	7:35	10.5	10.5	10.5	10.5
1	79	7:40	10.5	10.5	10.5	10.5
1	80	7:45	10.5	10.5	10.5	10.5
1	81	7:50	10.5	10.5	10.5	10.5
1	82	7:55	10.5	10.5	10.5	10.5
1	83	8:00	10.5	10.5	10.5	10.5
1	84	8:05	10.5	10.5	10.5	10.5
1	85	8:10	10.5	10.5	10.5	10.5
1	86	8:15	10.5	10.5	10.5	10.5
1	87	8:20	10.5	10.5	10.5	10.5
1	88	8:25	10.5	10.5	10.5	10.5
1	89	8:30	10.5	10.5	10.5	10.5
1	90	8:35	10.5	10.5	10.5	10.5
1	91	8:40	10.5	10.5	10.5	10.5
1	92	8:45	10.5	10.5	10.5	10.5
1	93	8:50	10.5	10.5	10.5	10.5
1	94	8:55	10.5	10.5	10.5	10.5
1	95	9:00	10.5	10.5	10.5	10.5
1	96	9:05	10.5	10.5	10.5	10.5
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1	98	9:15	10.5	10.5	10.5	10.5
1	99	9:20	10.5	10.5	10.5	10.5
1	100	9:25	10.5	10.5	10.5	10.5
1	101	9:30	10.5	10.5	10.5	10.5
1	102	9:35	10.5	10.5	10.5	10.5
1	103	9:40	10.5	10.5	10.5	10.5
1	104	9:45	10.5	10.5	10.5	10.5
1	105	9:50	10.5	10.5	10.5	10.5
1	106	9:55	10.5	10.5	10.5	10.5
1	107	10:00	10.5	10.5	10.5	10.5
1	108	10:05	10.5	10.5	10.5	10.5
1	109	10:10	10.5	10.5	10.5	10.5
1	110	10:15	10.5	10.5	10.5	10.5
1	111	10:20	10.5	10.5	10.5	10.5
1	112	10:25	10.5	10.5	10.5	10.5
1	113	10:30	10.5	10.5	10.5	10.5
1	114	10:35	10.5	10.5	10.5	10.5
1	115	10:40	10.5	10.5	10.5	10.5
1	116	10:45	10.5	10.5	10.5	10.5
1	117	10:50	10.5	10.5	10.5	10.5
1	118	10:55	10.5	10.5	10.5	10.5
1	119	11:00	10.5	10.5	10.5	10.5
1	120	11:05	10.5	10.5	10.5	10.5
1	121	11:10	10.5	10.5	10.5	10.5
1	122	11:15	10.5	10.5	10.5	10.5
1	123	11:20	10.5	10.5	10.5	10.5
1	124	11:25	10.5	10.5	10.5	10.5
1	125	11:30	10.5	10.5	10.5	10.5
1	126	11:35	10.5	10.5	10.5	10.5
1	127	11:40	10.5	10.5	10.5	10.5
1	128	11:45	10.5	10.5	10.5	10.5
1	129	11:50	10.5	10.5	10.5	10.5
1	130	11:55	10.5	10.5	10.5	10.5
1	131	12:00	10.5	10.5	10.5	10.5
1	132	12:05	10.5	10.5	10.5	10.5
1	133	12:10	10.5	10.5	10.5	10.5
1	134	12:15	10.5	10.5	10.5	10.5
1	135	12:20	10.5	10.5	10.5	10.5
1	136	12:25	10.5	10.5	10.5	10.5
1	137	12:30	10.5	10.5	10.5	10.5
1	138	12:35	10.5	10.5	10.5	10.5
1	139	12:40	10.5	10.5	10.5	10.5
1	140	12:45	10.5	10.5	10.5	10.5
1	141	12:50	10.5	10.5	10.5	10.5
1	142	12:55	10.5	10.5	10.5	10.5
1	143	1:00	10.5	10.5	10.5	10.5
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1	145	1:10	10.5	10.5	10.5	10.5
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1	147	1:20	10.5	10.5	10.5	10.5
1	148	1:25	10.5	10.5	10.5	10.5
1	149	1:30	10.5	10.5	10.5	10.5
1	150	1:35	10.5	10.5	10.5	10.5
1	151	1:40	10.5	10.5	10.5	10.5
1	152	1:45	10.5	10.5	10.5	10.5
1	153	1:50	10.5	10.5	10.5	10.5
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1	160	2:25	10.5	10.5	10.5	10.5
1	161	2:30	10.5	10.5	10.5	10.5
1	162	2:35	10.5	10.5	10.5	10.5
1	163	2:40	10.5	10.5	10.5	10.5
1	164	2:45	10.5	10.5	10.5	10.5
1	165	2:50	10.5	10.5	10.5	10.5
1	166	2:55	10.5	10.5	10.5	10.5
1	167	3:00	10.5	10.5	10.5	10.5
1	168	3:05	10.5	10.5	10.5	10.5
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1	170	3:15	10.5	10.5	10.5	10.5
1	171	3:20	10.5	10.5	10.5	10.5
1	172	3:25	10.5	10.5	10.5	10.5
1	173	3:30	10.5	10.5	10.5	10.5
1	174	3:35	10.5	10.5	10.5	10.5
1	175	3:40	10.5	10.5	10.5	10.5
1	176	3:45	10.5	10.5	10.5	10.5
1	177	3:50	10.5	10.5	10.5	10.5
1	178	3:55	10.5	10.5	10.5	10.5
1	179	4:00	10.5	10.5	10.5	10.5
1	180	4:05	10.5	10.5	10.5	10.5
1	181	4:10	10.5	10.5	10.5	10.5
1	182	4:15	10.5	10.5	10.5	10.5
1	183	4:20	10.5	10.5	10.5	10.5
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1	185	4:30	10.5	10.5	10.5	10.5
1	186	4:35	10.5	10.5	10.5	10.5
1	187	4:40	10.5	10.5	10.5	10.5
1	188	4:45	10.5	10.5	10.5	10.5
1	189	4:50	10.5	10.5	10.5	10.5
1	190	4:55	10.5	10.5	10.5	10.5
1	191	5:00	10.5	10		

# ATTACHMENT A: PROJECT DETAILS

## PROJECT DATA

1. SITE ADDRESS:	2425 OLD CALAVERAS ROAD, MILPITAS, CA 95035
2. APN:	029-34-004
3. LOT SIZE:	78.93 ACRES
4. ZONING:	HS-d2 (100%)
5. NEW IMPERVIOUS SURFACES:	
(N) STRUCTURAL:	9,456 SF
(N) ACCESS ROAD:	15,914 SF
(N) WALKWAY:	438 SF
TOTAL (N) IMPERVIOUS AREA:	25,808 SF
6. EXISTING IMPERVIOUS SURFACES:	
(E) STRUCTURAL TO REMAIN:	920 SF
(E) DRIVEWAY TO REMAIN:	19,286 SF
(E) WALKWAY TO REMAIN:	2,090 SF
TOTAL IMPERVIOUS AREA:	48,104 SF



APN 029-34-003

419 M 43  
APN 029-34-004  
3,438,130± SF  
(78.93 ACRES)

APN 029-34-002

OLD CALAVERAS ROAD  
(COUNTY MAINTAINED ROAD)

	STUDY AREA (APPROX. 79 ACRES)
<b>SCVHP LAND COVER TYPE</b>	
	BARREN (63.77 ACRES)
	COASTAL AND VALLEY FRESHWATER MARSH (0.05 ACRE)
	GRAIN, ROW-CROP, HAY AND PASTURE, DISKED / SHORT-TERM FALLOWED (12.30 ACRES)
	MIXED RIPARIAN FOREST AND WOODLAND (1.40 ACRES)
	POND (0.47 ACRE)

## LEGEND

	TEMPORARY DISTURBANCE AREA
	PERMANENT DEVELOPMENT AREA

<b>ENGINEERING</b> 598 E Santa Clara St. #270 San Jose, CA 95112 Phone: (408) 606-7187 Fax: (408) 583-4006	DESIGNED	12/08/20	DATE
	CT	12/08/20	DATE
	DRAWN		DATE
	SCALE	1" = 100'	SCALE
TEMPERARY AND PERMANENT LANDCOVER LANDS OF 2425 OLD CALAVERAS ROAD APN 029-34-004 California	CHECKED	12/08/20	DATE
	BY		DATE
	APP'D		DATE
	REVISIONS		NO.
DRAWING NO. <b>E1</b> SHEET NO. <b>18</b> OF <b>18</b> FILE NO.	PROJECT NO.		
	CONTRACT NO.		

APPLICANT :

ROAD NAME : OLD CALAVERAS ROAD

FILE NO :