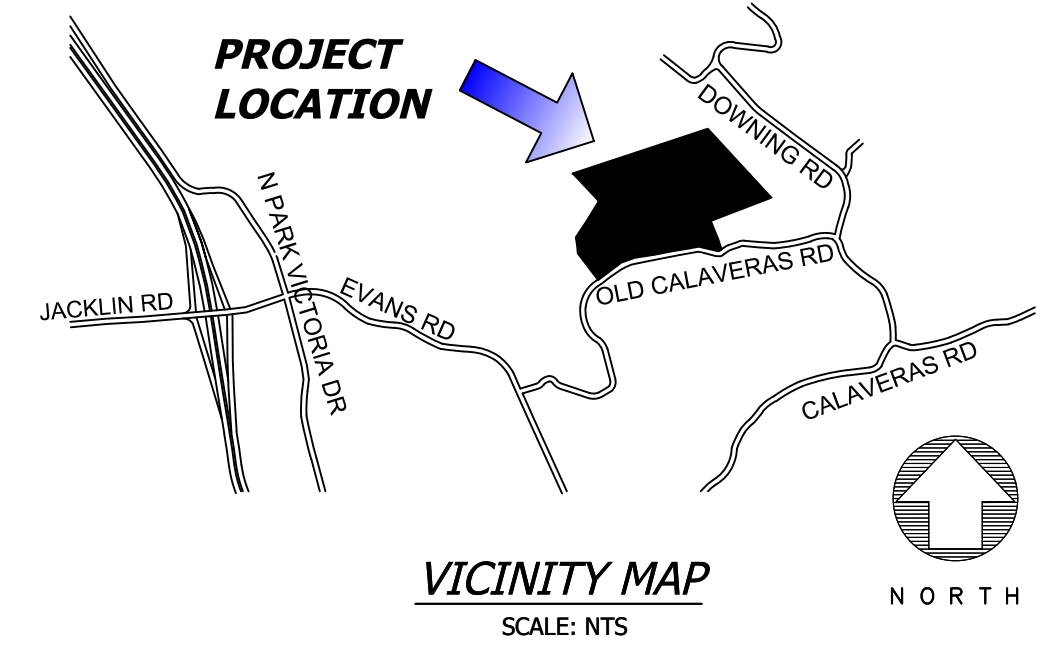
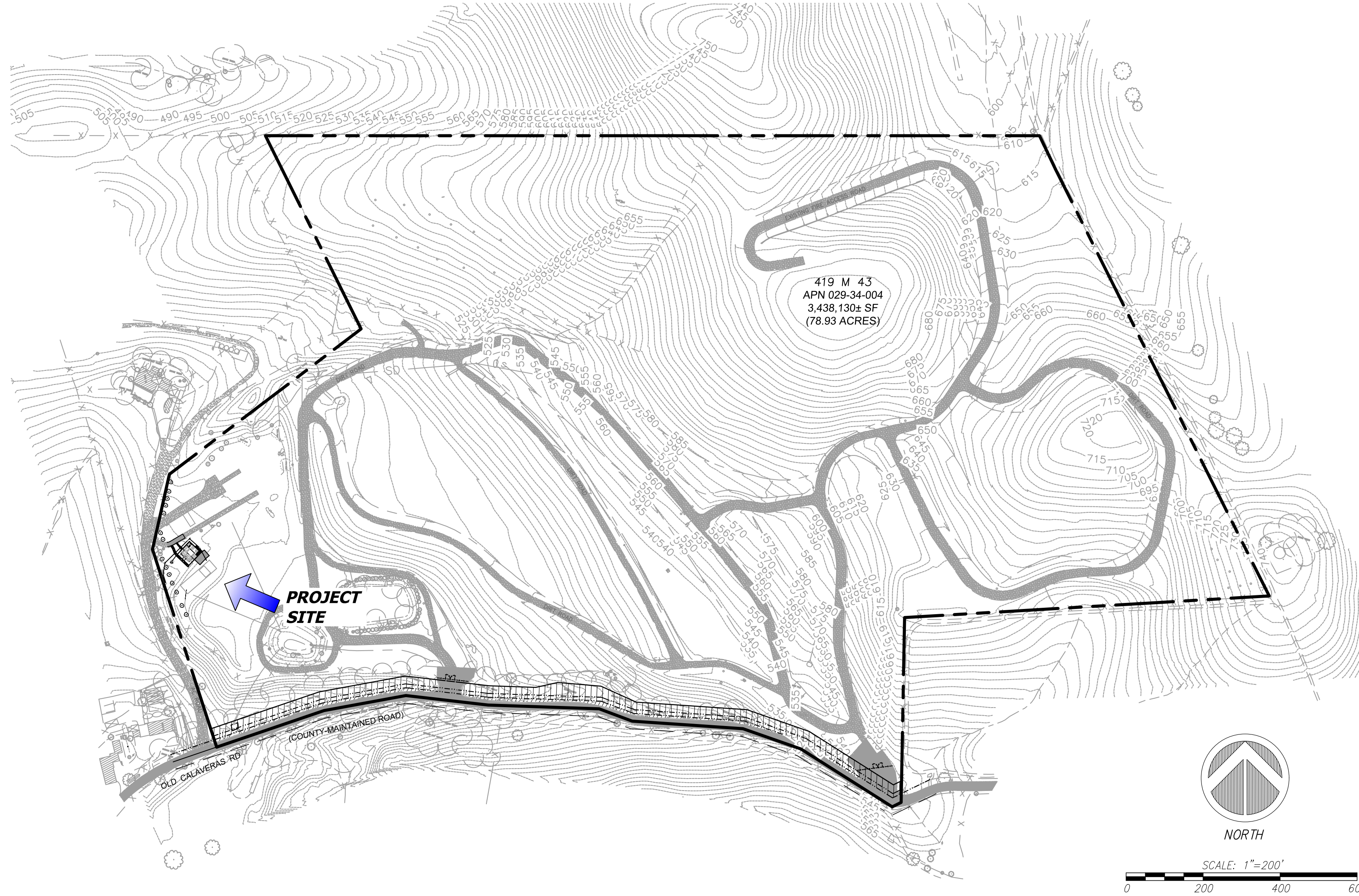


# GOKULAM, LLC

## SPECIAL PERMIT (PLN22-234)

### SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING

#### APN: 029-34-004



**CIVIL ENGINEER:**  
C2G/CIVIL CONSULTANTS GROUP, INC.  
4444 SCOTTS VALLEY DRIVE STE. 6  
SCOTTS VALLEY, CA 95066  
OFFICE: (831) 438-4420

**OWNER/DEVELOPER:**  
GOKULAM LLC,  
680 E. CALAVERAS BLVD.  
MILPITAS, CA 95035  
PHONE: (408) 833-9743  
EMAIL: gokulam@ihf-usa.org

**SEPTIC**  
LC ENGINEERING  
598 E. SANTA CLARA ST., SUITE #270  
SAN JOSE, CA 95112  
OFFICE: (510) 236-6114 EXT. 211

**SURVEYOR**  
ALPHA LAND SURVEYS, INC.  
4444 SCOTTS VALLEY DRIVE STE. 7  
SCOTTS VALLEY, CA 95066  
OFFICE: (831) 438-4453

#### PROJECT EARTHWORK QUANTITIES

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL AND OVER EXCAVATION AND RECONSTRUCTION, UTILITY TRENCH SPOILS & SOIL EXPANSION AND CONTRACTION FACTORS.

DESCRIPTION	CUT (cu.yds)	FILL (cu.yds)	NET (cu.yds)	MAX CUT (ft) HEIGHT	MAX FILL (ft) HEIGHT	IMPERVIOUS AREA (sq.ft)
BLDG + 5' PERIMETER	155	50	105(C)	2.5	3	3205
SITE GRADING & DWY	23	165	142(F)	1.5	2	
TOTAL	178	215	37(F)			

#### NET VOLUME = 37 CU.YDS. OF FILL

THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY CUT AND FILL TO ACCOMPLISH FINISH GRADE SHOWN ON THESE PLANS.

#### INDEX OF SHEETS

<b>CIVIL PLANS:</b>	<b>ARCHITECTURAL PLANS:</b>
C0.1 - COVER SHEET	A01 - FLOOR PLAN & AREA CALCULATION
C0.2 - GRADING PERMITS PROCESS OVERVIEW	A02 - STORAGE FLOOR PLAN
C1.1 - OVERALL PLAN	A03 - ELEVATIONS BW1
C1.2 - SIGHT DISTANCE ANALYSIS	A04 - ELEVATIONS BW2
C1.3 - SIGHT DISTANCE ANALYSIS	A05 - SECTIONS
C2.1 - GRADING & DRAINAGE PLAN	A06 - VIEWS
C2.2 - SECTIONS	
C3.1 - CONSTRUCTION DETAILS	<b>APPROVED SEPTIC SYSTEM PLANS:</b>
C4.1 - EROSION CONTROL PLAN	SS1 - SEPTIC SYSTEM SITE PLAN
C5.1 - GRADING AND DRAINAGE - FIRE ROAD	SS2 - SEPTIC SYSTEM DETAILS
C6.1 - FIRE ROAD ACCESS PROFILE & SECTION	SS3 - SEPTIC SYSTEM CALCULATIONS
	<b>HABITAT PLANS:</b>
	H1 - TEMPORARY & PERMANENT LAND COVER

#### APPLICABLE CODES

ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND THE CODES LISTED BELOW OR THE MOST CURRENT CODES AND ORDINANCES AT THE TIME OF SUBMITTAL:

- 2022 CALIFORNIA CODES
- 2022 CALIFORNIA BUILDING CODE
  - 2022 CALIFORNIA ELECTRICAL CODE
  - 2022 CALIFORNIA MECHANICAL CODE
  - 2022 CALIFORNIA PLUMBING CODE
  - 2022 CALIFORNIA GREEN BUILDING CODE
  - 2022 CALIFORNIA ENERGY CODE
  - 2022 CALIFORNIA RESIDENTIAL CODE
  - 2022 CALIFORNIA FIRE CODE

#### PROJECT DESCRIPTION

PROJECT DESCRIPTION FOR SPECIAL PERMIT AND DESIGN REVIEW APPLICATION FOR SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING (1,199 SQFT) FOR APN: 029-34-004 LOCATED AT 2425, OLD CALAVERAS ROAD, MILPITAS, CA 95035.

THIS SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING IS PART OF THE OVERALL PROJECT TO BUILD FACILITIES FOR OUR COMMERCIAL AGRICULTURAL OPERATIONS OF GOKULAM LLC ON THE PROPERTY. AS PART OF PLANNING APPLICATION PLN20-125 WE HAVE RECEIVED GRADING APPROVAL AND DESIGN REVIEW ADMINISTRATIVE APPROVAL FOR THE INFRASTRUCTURES REQUIRED FOR OUR OPERATIONS. THAT APPLICATION ALSO INCLUDED THE APPROVAL FOR A TINY MOBILE HOME TO SERVE AS THE RESIDENCE FOR OUR AGRICULTURAL EMPLOYEES WORKING IN OUR PROPERTY. AFTER A FURTHER DISCUSSION WITH PLANNING MANAGER MICHAEL MEEHAN AND OUR PROJECT PLANNER ROB SALISBURY, WE CAME TO THE CONCLUSION THAT SINCE OUR AGRICULTURAL HOUSING WAS OF PERMANENT NATURE, WE WOULD SUBSTITUTE OUR APPLICATION FOR A TINY MOBILE HOME WITH A SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING. THIS APPLICATION IS MEANT TO GET ENTITLEMENT FOR A 1,199 SQFT SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING TO SERVE THIS NEED. WE ARE MAKING USE OF THE TOPOGRAPHY OF THE BUILDING SITE AND THE 1849 SQ.FT CRAWL SPACE CREATED UNDERNEATH THIS BUILDING AS A STORAGE AREA FOR OUR AGRICULTURAL OPERATIONS. THE HEIGHT OF THIS STORAGE AREA IS 6'11" AND THIS WILL NOT BE COUNTED TOWARDS THE GROSS FLOOR AREA OF THE BUILDING.

THE SCOPE OF THE PROJECT ALREADY APPROVED UNDER PLN20-125 IS AS FOLLOWS:

- DEV23-2302: 1 PREMANUFACTURED METAL LIVESTOCK SHED (19725SQFT)
- DEV23-2307: 1 PREMANUFACTURED METAL AG SHED (14505QFT)
- DEV23-2308: 1 FEED STORAGE SHED (5005QFT)
- DEV23-2309: 1 WELL SHED (REGULARIZE)
- DEV23-2310: 1 CARPORT
- DEV23-0115: ONE 202,290-GALLON STEEL TANK FOR FIRE SUPPRESSION AND IRRIGATION
- DEV22-3196: SHED 1 PREMANUFACTURED METAL LIVESTOCK SHED (5005QFT)
- DEV22-3202: SHED 2 PREMANUFACTURED METAL LIVESTOCK SHED (5005QFT)
- DEV22-3202: SHED 3 PREMANUFACTURED METAL LIVESTOCK SHEDS (5005QFT)
- DEV22-3206: STORAGE SHED 1 (1205QFT)
- DEV22-3207: STORAGE SHED 1 (1205QFT)

SPECIAL NOTE: AS PER THE DISCUSSION WITH THE ROB SALISBURY, PLANNER PARYA SEIF AND LDC ON 11/20/2023 FOLLOWED BY EMAIL SENT BY PARYA ON 11/30/2023 THE GRADING APPROVAL FOR EARTHWORK ASSOCIATED WITH THE SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING WILL BE APPROVED UNDER PLN20-125MOD1 WHICH IS ALSO BEING PROCESSED SIMULTANEOUSLY.

#### GENERAL NOTES

NO CHANGE TO THE GRADING PLAN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY THE OWNER OR OWNERS REPRESENTATIVES.

CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS AND INVERTS OF EXISTING UTILITY PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVES OF VARIANCE FROM THOSE SHOWN ON THE PLANS.

UNDERGROUND FACILITIES AND UTILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND IN FIELD. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. PRIOR TO CONSTRUCTION, DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE SAME FROM DAMAGE. PRIOR TO CONSTRUCTION, VERIFY LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AT THE CROSSING POINTS WITH PROPOSED UTILITIES. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVES IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITION HAS BEEN EVALUATED. CONTACT UNDERGROUND SERVICES ALERT (USA) (1-800-227-2600) TWO (2) WEEKS PRIOR TO DIGGING. REPAIR UNDERGROUND UTILITIES DAMAGED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES ASSOCIATED WITH CONTRACTOR'S FAILURE TO EXACTLY LOCATED AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. AND SHALL NOTIFY U.S.A. @ (800) 227-2600 AT LEAST 48-HOURS IN ADVANCE OF EXCAVATION.

IF ANY INDICATIONS OF ARCHEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING ACTIVITIES FOR ANY DEVELOPMENT WITHIN THE PROJECT SITE, ALL WORK SHALL BE HALTED WITHIN 200 FOOT RADIUS OF THE FIND. OWNER SHALL RETAIN A QUALIFIED ARCHEOLOGIST RETAINED TO DETERMINE THE NATURE OF THE DISCOVERY AND RECOMMEND APPROPRIATE EVALUATION PROCEDURES.

#### ADDITIONAL NOTES

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

- THE STANDARD SPECIFICATIONS AND DETAILS, LATEST EDITION, OF THE COUNTY OF SANTA CLARA SHALL GOVERN UNLESS OTHERWISE SPECIFIED HEREIN.

- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND. NEW ELECTRICAL SERVICE SHALL BE INSTALLED UNDERGROUND.

#### UNAUTHORIZED CHANGES AND USES

**CAUTION:** THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THE PLANS

#### CONTRACTOR RESPONSIBILITY

CONTRACTOR AGREES THAT HE SHOULD ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED DURING WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

#### DISCREPANCIES

IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE DESIGN PROFESSIONAL FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

#### CONSTRUCTION SURVEYING / STAKING

CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL SURVEYING AND OR STAKING BY A LICENSED SURVEYOR FOR ALL CONSTRUCTION PURPOSES.

#### PROJECT DATA

ADDRESS:	2425 OLD CALAVERAS ROAD, MILPITAS, CA 95035
ZONING DESIGNATION:	D2 - HS - HILLSIDE
APN:	029-34-004
LOT SIZE:	78.93 ACRES (3,438,191 SQ. FT.)
BUILDING AREA:	2249 SQ. FT. OF COVERED AREA
	2249 SQ. FT. (BUILDING AREA TOTAL)
	0.00065% OF ENTIRE LOT
TYPE OF CONSTRUCTION:	TYPE 1
OCCUPANCY GROUP:	R3
SPRINKLERED:	YES
PROJECT DEMOLITION:	EXISTING BUILDING 1, 2, 3, 4, 6 & 7 TO BE DEMOLISHED (VIOLATION VIO19-00082)
	EXISTING BUILDING 5 TO BE REGULARIZED. DEMOLITION AND REGULARIZATION TO OCCUR UNDER DEV22-3196, DEV22-3201, DEV22-3202, DEV22-3206, DEV22-3207 & DEV23-0115)

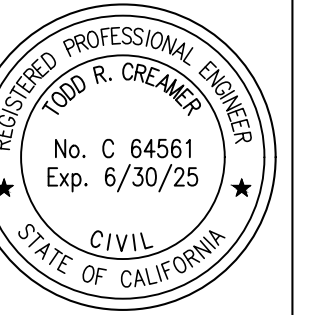
#### TREE DEMOLITION NOTE

NO EXISTING TREES ARE MARKED FOR DEMOLITION UNDER THIS APPLICATION



REVISIONS	BY
RESPONSE TO SCC COMMENTS 05.09.23	DD

COVER



**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 4444 SCOTTS VALLEY DRIVE  
 SCOTTS VALLEY, CA 95066  
 T (831) 438-4420 F (831) 438-4420  
 By: ERS/Smg/ny

**GOKULAM, LLC.**  
 SMALL SCALE PERMANENT  
 AGRICULTURAL EMPLOYEE HOUSING  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 PLN22-234 | APN: 029-34-004  
 Layout: C01 - COVER  
 Last Saved: Wed Jan 24, 2024 - 4:32pm  
 Last Printed: Wed Jan 24, 2024 - 4:32pm

Date:	10/13/2023
Scale:	AS SHOWN
Drawn:	DD
Job:	3007.03b
Sheet:	
<b>C0.1</b>	
of 16 Sheets	



CITY OF MILPITAS

APN 029-35-005  
LANDS OF PANGAN  
TOTAL ACRES: 39.16

APN 029-35-007  
LANDS OF BARSAMA

APN 029-34-002  
S.C.C. ED LEVIN PARK

419-M-43  
PARCEL 1  
14.064 ACRES  
APN 029-34-003  
LANDS OF VIEIRA

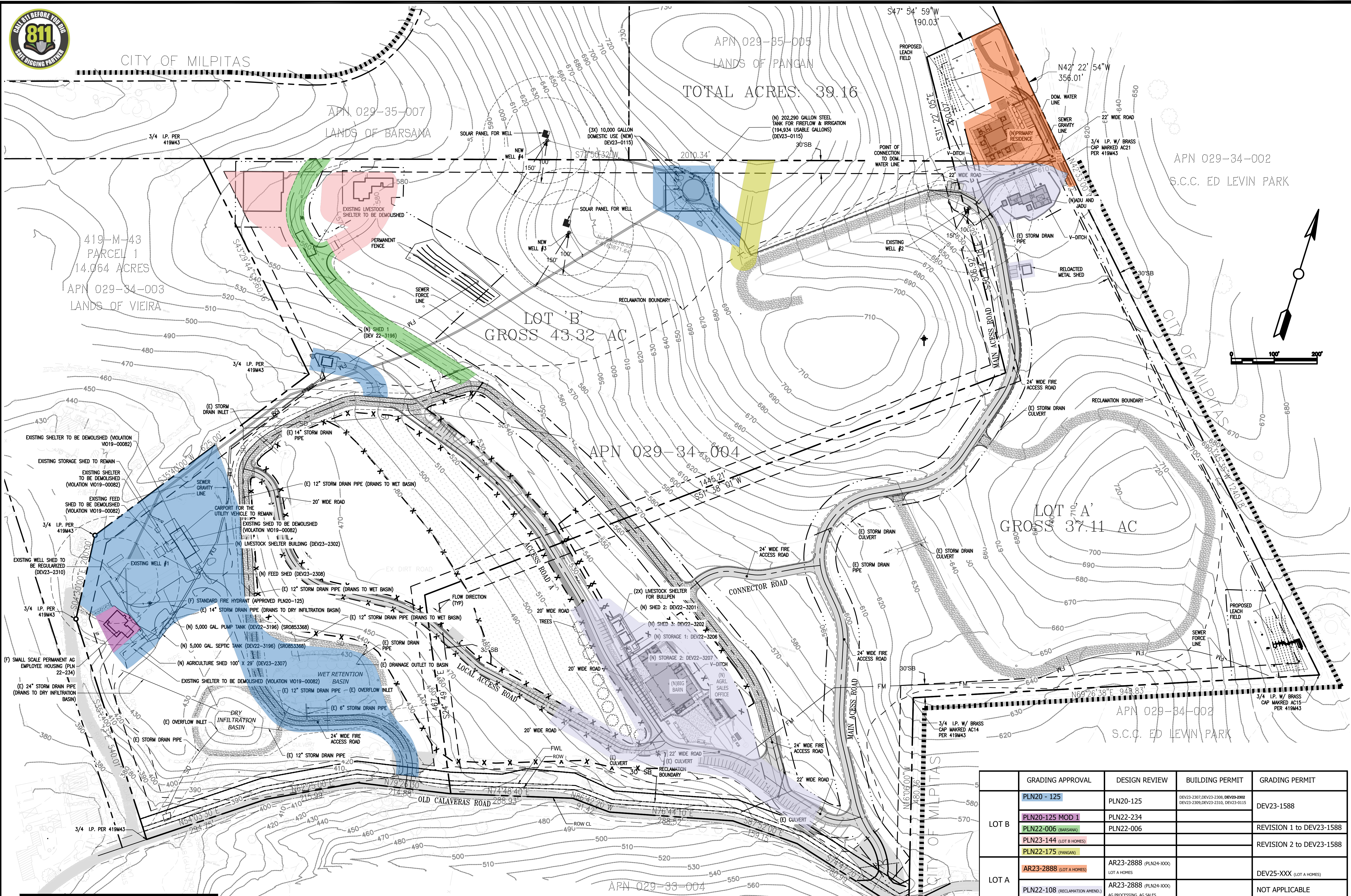
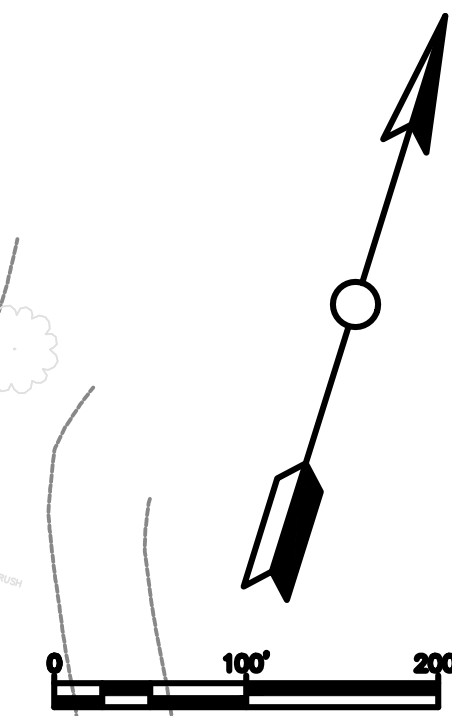
LOT 'B'  
GROSS 43.32 AC

APN 029-34-004

LOT 'A'  
GROSS 37.11 AC

APN 029-34-002  
S.C.C. ED LEVIN PARK

APN 029-33-004  
LANDS OF ENTERPRISE REIS LLC



**PRELIMINARY**

	GRADING APPROVAL	DESIGN REVIEW	BUILDING PERMIT	GRADING PERMIT
LOT B	PLN20-125	PLN20-125	DEV23-2307, DEV23-2308, DEV23-2302 DEV23-2309, DEV23-2310, DEV23-3115	DEV23-1588
	PLN22-006 (BARSAMA)	PLN22-234		REVISION 1 to DEV23-1588
	PLN23-144 (LOT B HOMES)	PLN22-006		REVISION 2 to DEV23-1588
	PLN22-175 (PANGAN)			
LOT A	AR23-2888 (LOT A HOMES)	AR23-2888 (PLN24-XXXX) LOT A HOMES		DEV25-XXX (LOT A HOMES)
	PLN22-108 (RECLAMATION AMEND.)	AR23-2888 (PLN24-XXXX) AG PROCESSING, AG SALES		NOT APPLICABLE

**NAVIS**  
design | build | manage  
info@navisdbm.com

12/21/2023  
DATE: SB  
DRAWN BY: SB  
CHECKED BY: SB

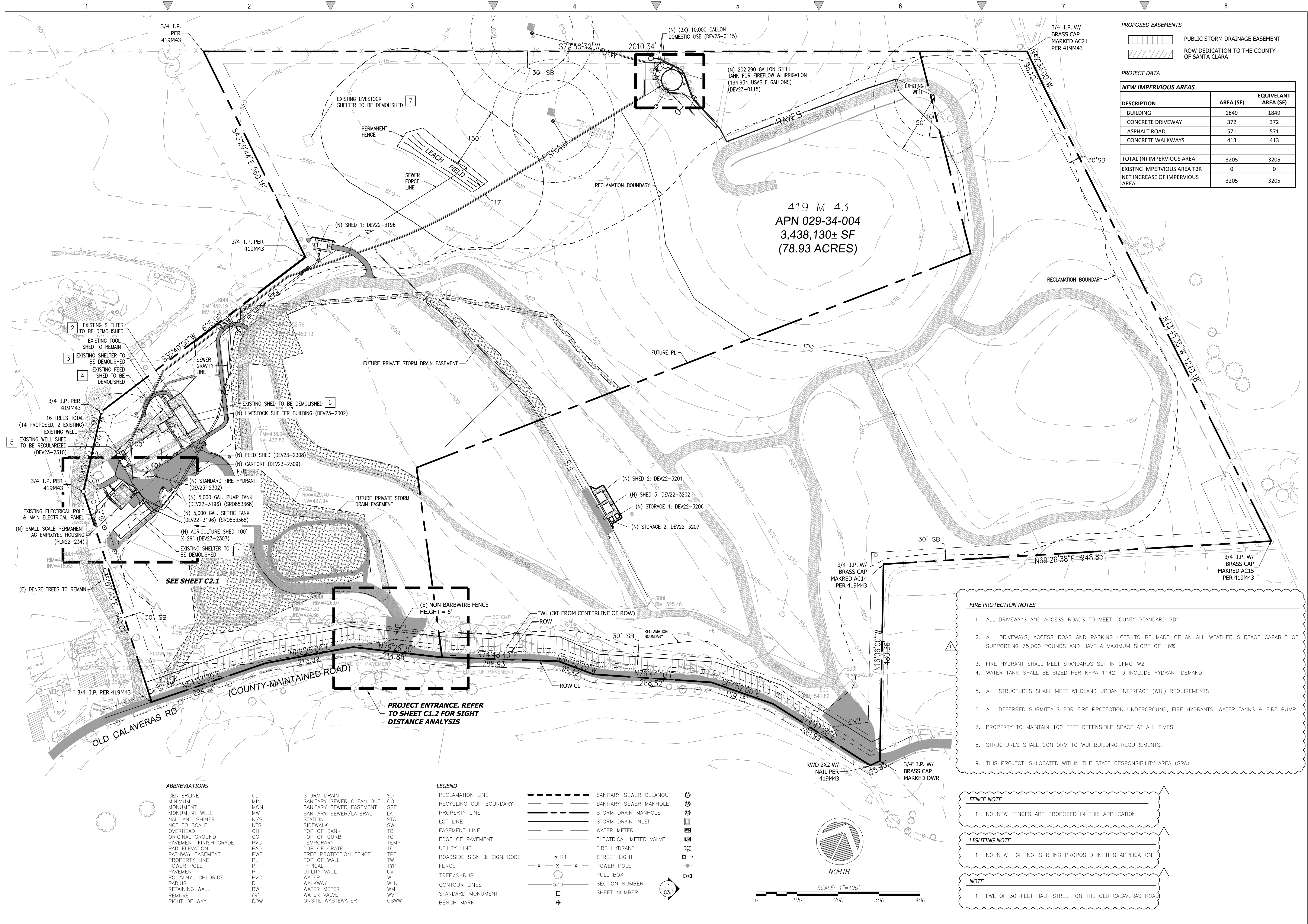
REGISTERED PROFESSIONAL ENGINEER  
SHARFARAZ KHAN  
No. 82481  
SANTA CLARA COUNTY  
STATE OF CALIFORNIA

GOKULAM LOT A - GRADING & IMPROVEMENT PLANS 12/21/2023

**C0.5**  
OF **66**

GOKULAM LOT A - GRADING & IMPROVEMENT PLANS 12/21/2023

GOKULAM LOT A - GRADING & IMPROVEMENT PLANS  
GRADING PERMITS PROCESS  
OVERVIEW  
COUNTY OF SANTA CLARA  
CALIFORNIA



**PROPOSED EASEMENTS**

- PUBLIC STORM DRAINAGE EASEMENT
- ROW DEDICATION TO THE COUNTY OF SANTA CLARA

**PROJECT DATA**

NEW IMPERVIOUS AREAS		
DESCRIPTION	AREA (SF)	EQUIVALENT AREA (SF)
BUILDING	1849	1849
CONCRETE DRIVEWAY	372	372
ASPHALT ROAD	571	571
CONCRETE WALKWAYS	413	413
TOTAL (N) IMPERVIOUS AREA	3205	3205
EXISTING IMPERVIOUS AREA TBR	0	0
NET INCREASE OF IMPERVIOUS AREA	3205	3205

419 M 43  
 APN 029-34-004  
 3,438,130± SF  
 (78.93 ACRES)

- FIRE PROTECTION NOTES**
- ALL DRIVEWAYS AND ACCESS ROADS TO MEET COUNTY STANDARD SD1
  - ALL DRIVEWAYS, ACCESS ROAD AND PARKING LOTS TO BE MADE OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS AND HAVE A MAXIMUM SLOPE OF 16%
  - FIRE HYDRANT SHALL MEET STANDARDS SET IN CFMO-W2
  - WATER TANK SHALL BE SIZED PER NFPA 1142 TO INCLUDE HYDRANT DEMAND
  - ALL STRUCTURES SHALL MEET WILDLAND URBAN INTERFACE (WUI) REQUIREMENTS
  - ALL DEFERRED SUBMITTALS FOR FIRE PROTECTION UNDERGROUND, FIRE HYDRANTS, WATER TANKS & FIRE PUMP.
  - PROPERTY TO MAINTAIN 100 FEET DEFENSIBLE SPACE AT ALL TIMES.
  - STRUCTURES SHALL CONFORM TO WUI BUILDING REQUIREMENTS.
  - THIS PROJECT IS LOCATED WITHIN THE STATE RESPONSIBILITY AREA (SRA)

**FENCE NOTE**

- NO NEW FENCES ARE PROPOSED IN THIS APPLICATION

**LIGHTING NOTE**

- NO NEW LIGHTING IS BEING PROPOSED IN THIS APPLICATION

**NOTE**

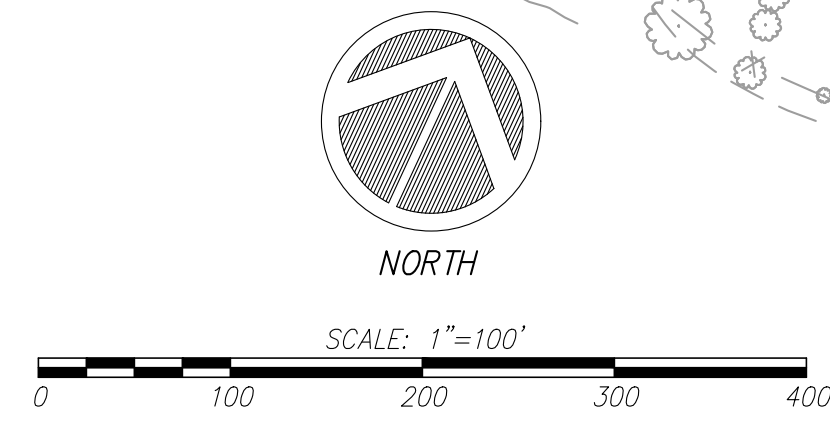
- FWL OF 30- FEET HALF STREET ON THE OLD CALAVERAS ROAD

**ABBREVIATIONS**

CENTERLINE	CL	STORM DRAIN	SD
MINIMUM	MIN	SANITARY SEWER CLEAN OUT	CO
MONUMENT	MON	SANITARY SEWER EASEMENT	SSE
NAIL AND SHINER	MW	SANITARY SEWER/LATERAL	LAT
NOT TO SCALE	N/S	STATION	STA
OVERHEAD	NTS	SIDEWALK	SW
ORIGINAL GROUND	OH	TOP OF BANK	TB
PAVEMENT FINISH GRADE	OG	TOP OF CURB	TC
PAD ELEVATION	PVG	TEMPORARY	TEMP
PATHWAY EASEMENT	PAD	TOP OF GRATE	TG
PROPERTY LINE	PWE	TREE PROTECTION FENCE	TPF
POWER POLE	PL	TOP OF WALL	TW
PAVEMENT	PP	TYPICAL	TYP
POLYVINYL CHLORIDE	P	UTILITY VAULT	UV
RADIUS	PVC	WATER	W
RETAINING WALL	RW	WALKWAY	WLK
REMOVE	(R)	WATER METER	WM
RIGHT OF WAY	ROW	WATER VALVE	WV
		ON-SITE WASTEWATER	OSWW

**LEGEND**

RECLAMATION LINE	--- --	SANITARY SEWER CLEANOUT	
RECYCLING CUP BOUNDARY	--- --	SANITARY SEWER MANHOLE	
PROPERTY LINE	--- --	STORM DRAIN MANHOLE	
LOT LINE	--- --	STORM DRAIN INLET	
EASEMENT LINE	--- --	WATER METER	
EDGE OF PAVEMENT	--- --	ELECTRICAL METER VALVE	
UTILITY LINE	--- --	FIRE HYDRANT	
ROADSIDE SIGN & SIGN CODE	--- --	STREET LIGHT	
FENCE	--- --	PULL BOX	
TREE/SHRUB	--- --	SECTION NUMBER	
CONTOUR LINES	--- --	SHEET NUMBER	
BENCH MARK	--- --		



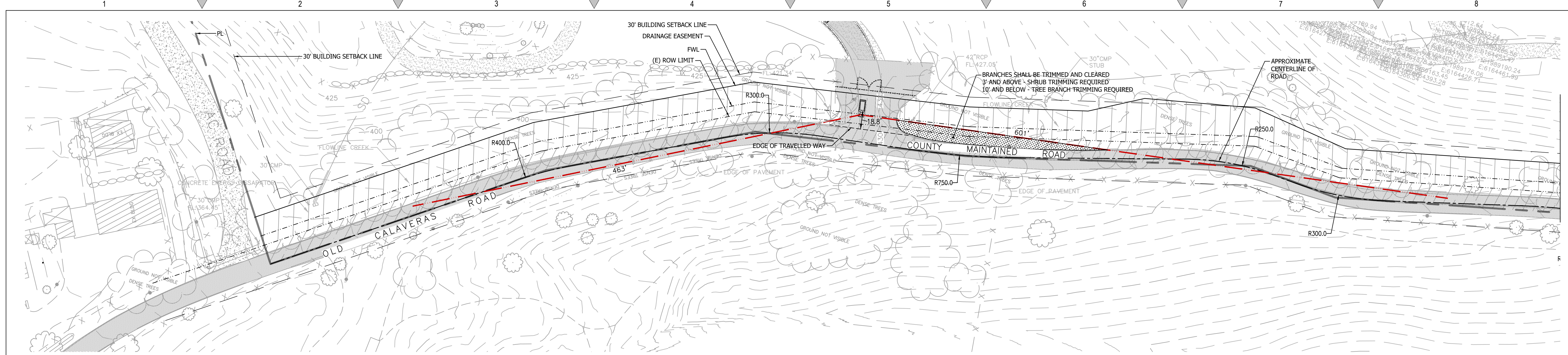
REVISIONS	BY
RESPONSE TO SCC COMMENTS 05.09.23	DD

**OVERALL SITE PLAN**

**GOKULAM, LLC.**  
 SMALL SCALE PERMANENT  
 AGRICULTURAL EMPLOYEE HOUSING  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 PLN22-234 | APN: 029-34-004

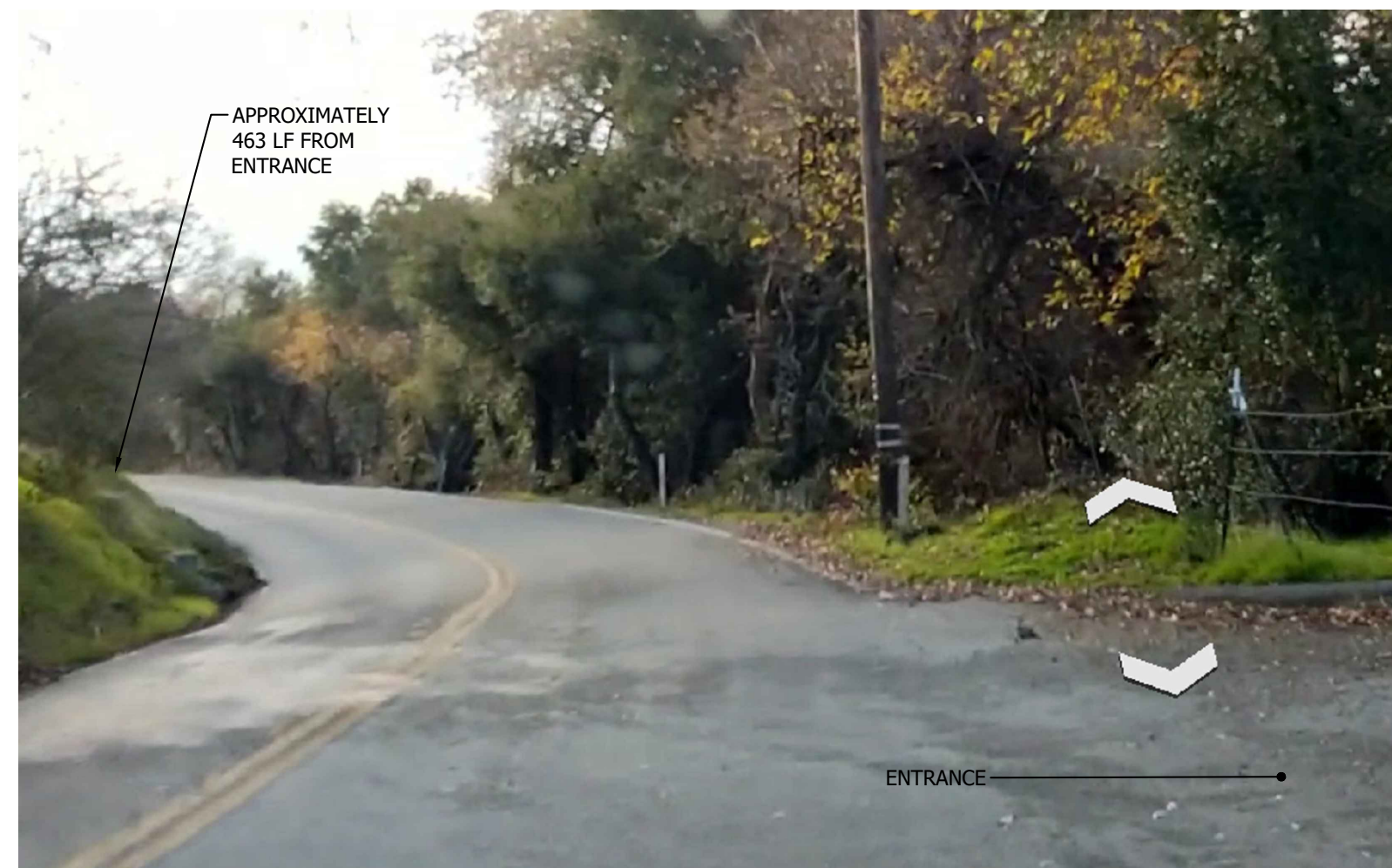
**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Registered Professional Engineer  
 Todd R. Creamer  
 No. C 64561  
 Exp. 6/30/25  
 CIVIL  
 State of California  
 Engineers/Planners  
 4400 Elgin Road, Suite 6  
 Santa Clara, CA 95056  
 T (831) 438-4420 F (831) 438-4420

Date: 10/13/2023  
 Scale: 1" = 100'  
 Drawn: DD  
 Job: 3007.03b  
 Sheet: C1.1  
 of 16 Sheets



1 ENTRANCE - SIGHT DISTANCE ANALYSIS

Scale: 1"=50'



WEST BOUND



EAST BOUND

CALTRANS SIGHT DISTANCE STANDARDS

NOTES

- EXISTING SPEED LIMIT ON OLD CALAVERAS ROAD IS 30 MPH WHICH IS THE SPEED USED TO DETERMINE THE STOPPING SIGHT DISTANCE

Table 201.1

Sight Distance Standards

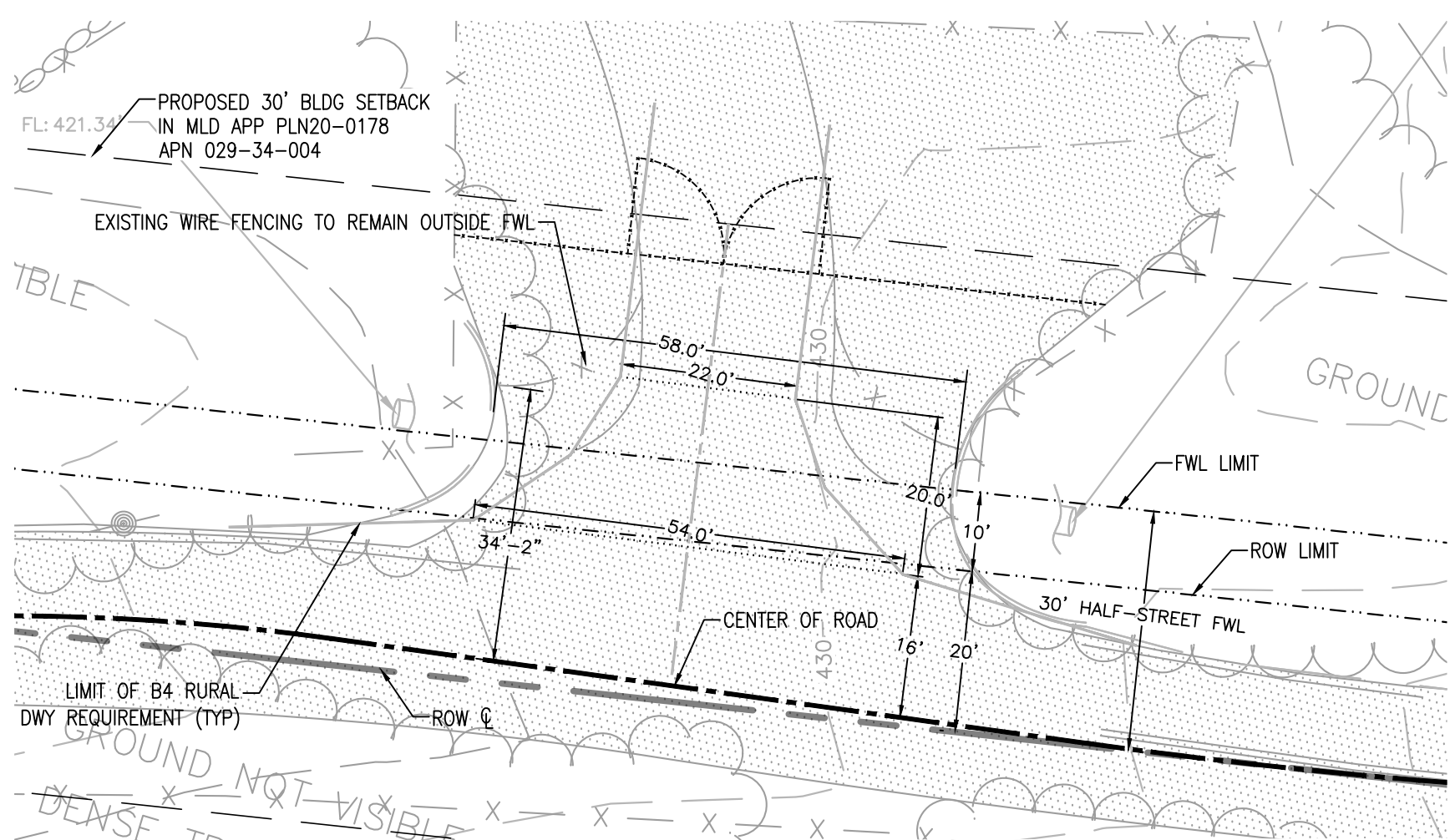
Design Speed (mph)	Stopping (ft)	Passing (ft)
10	50	---
15	100	---
20	125	800
25	150	950
30	200	1,100
35	250	1,300
40	300	1,500
45	360	1,650
50	430	1,800
55	500	1,950
60	580	2,100
65	660	2,300

Decision Sight Distance

Design Speed (mph)	Decision Sight Distance (ft)
30	450
35	525
40	600
45	675
50	750
55	865
60	990
65	1,050
70	1,105
75	1,180
80	1,260

Scale: NTS

2 ENTRANCE #1 - IMAGES



3 EXISTING DRIVEWAY CONFORMANCE TO B4 COUNTY STANDARD

Scale: 1"=20'

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RESPONSE TO SCC COMMENTS 05.09.23	DD

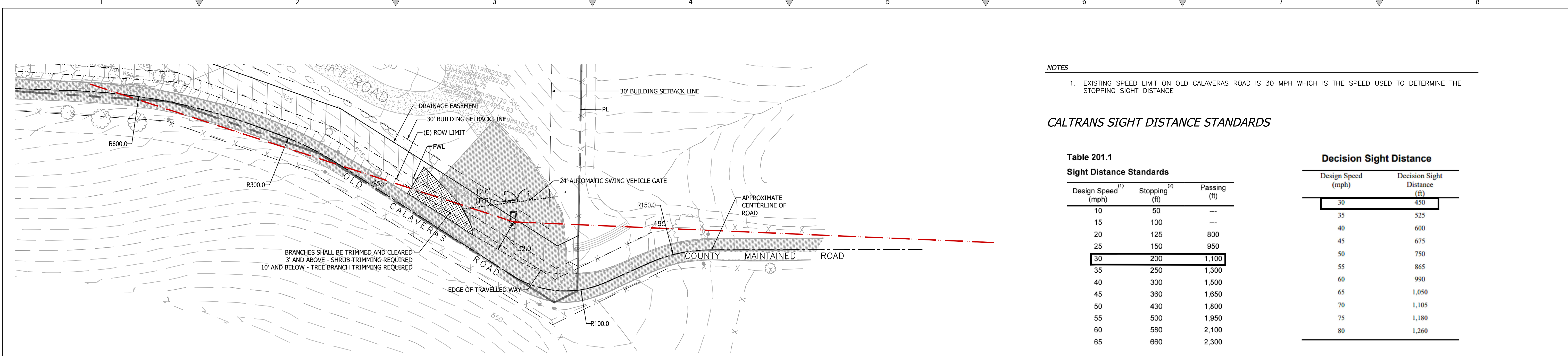
SIGHT DISTANCE ANALYSIS



**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 44000  
 Scotts Valley, CA 95066  
 T (831) 438-4420 F (831) 438-4420

**GOKULAM, LLC.**  
 SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 PLN22-234 | APN: 029-34-004

Date:	10/13/2023
Scale:	1" = 50'
Drawn:	DD
Job:	3007.03b
Sheet:	C1.2
Of 16 Sheets	



1 ENTRANCE - SITE DISTANCE ANALYSIS

Scale: 1"=50'



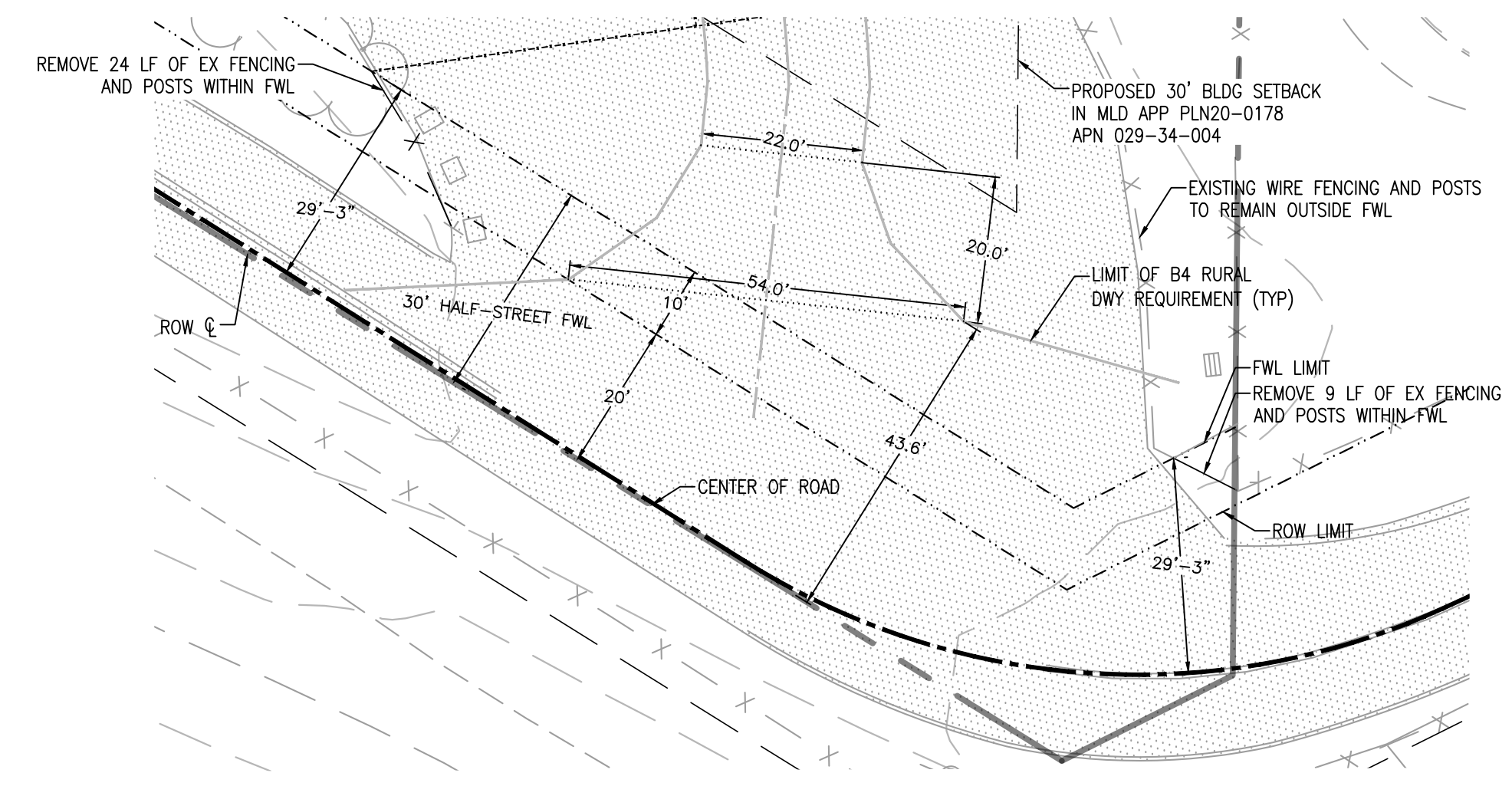
EAST BOUND



WEST BOUND

2 ENTRANCE #2 - IMAGES

Scale: NTS



3 EXISTING DRIVEWAY CONFORMANCE TO B4 COUNTY STANDARD

Scale: 1"=20'

REVISIONS	BY
RESPONSE TO SCC COMMENTS 05.09.23	DD

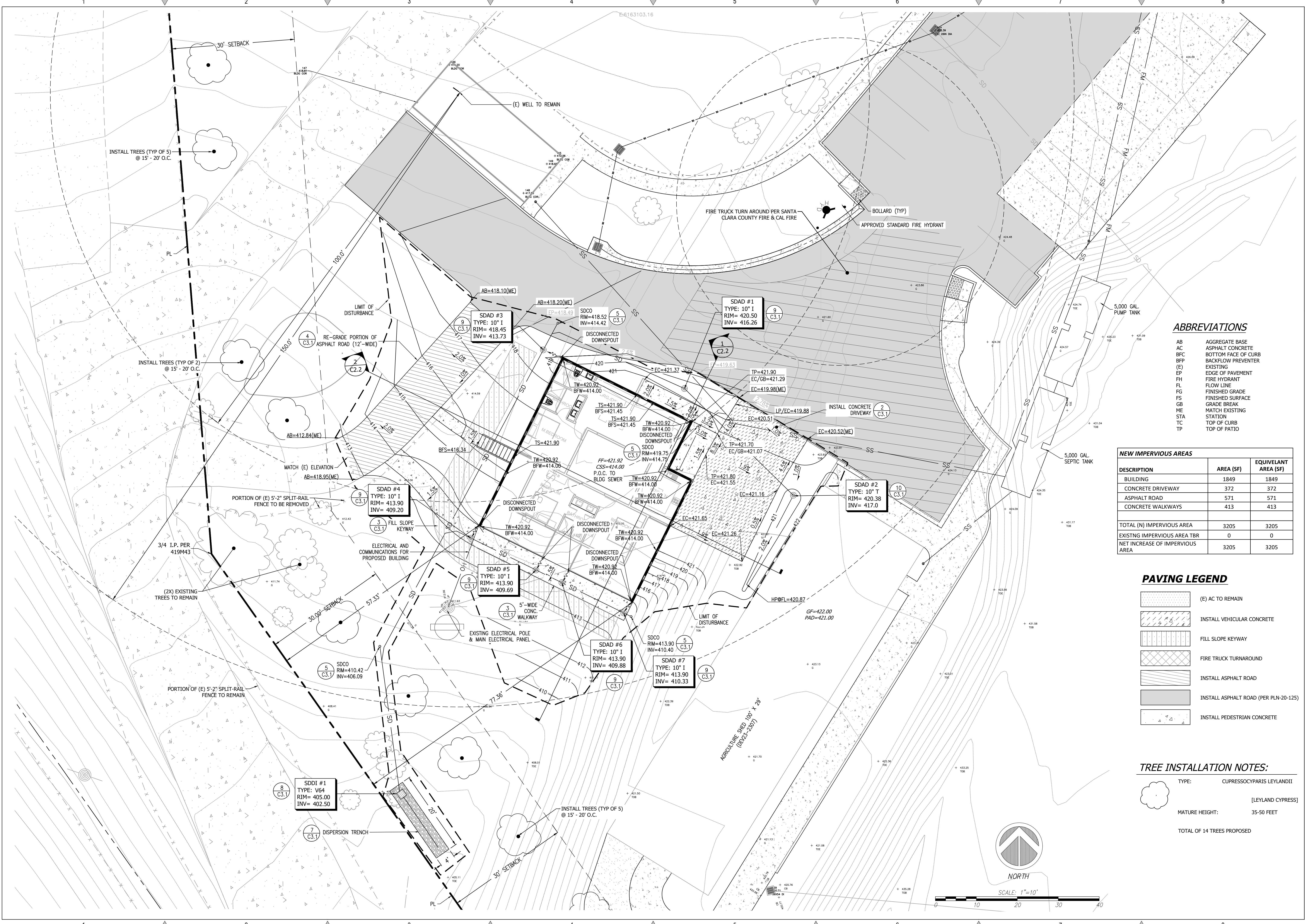
SIGHT DISTANCE ANALYSIS



**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 4400 Scotts Valley Road, Suite 6  
 Scotts Valley, CA 95066  
 T (831) 438-4420 F (831) 438-4420

**GOKULAM, LLC.**  
 SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 PLN22-234 | APN: 029-34-004

Date: 10/13/2023  
 Scale: 1" = 50'  
 Drawn: DD  
 Job: 3007.03b  
 Sheet: **C1.3**  
 of 16 Sheets



REVISIONS	BY
RESPONSE TO SCC COMMENTS 05.09.23	DD

# GRADING AND DRAINAGE PLAN



**GOKULAM, L.L.C.**  
**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 4400 Old Calaveras Road, Milpitas  
 Santa Clara County, CA 95065  
 T (831) 438-4420 F (831) 438-4420

**SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING**  
**2425 OLD CALAVERAS ROAD, MILPITAS**  
**PLN22-234 | APN: 029-34-004**

Date: 10/13/2023  
 Scale: 1" = 10'  
 Drawn: DD  
 Job: 3007.03b  
 Sheet: **C2.1**  
 of 16 Sheets

### ABBREVIATIONS

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- BFC BOTTOM FACE OF CURB
- BFP BACKFLOW PREVENTER
- (E) EXISTING
- EP EDGE OF PAVEMENT
- FH FIRE HYDRANT
- FL FLOW LINE
- FG FINISHED GRADE
- FS FINISHED SURFACE
- GB GRADE BREAK
- ME MATCH EXISTING
- STA STATION
- TC TOP OF CURB
- TP TOP OF PATIO

### NEW IMPERVIOUS AREAS

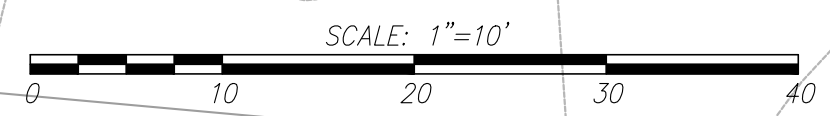
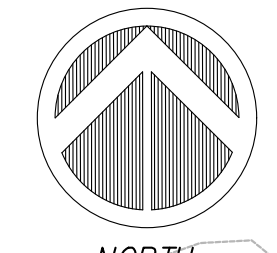
DESCRIPTION	AREA (SF)	EQUIVALENT AREA (SF)
BUILDING	1849	1849
CONCRETE DRIVEWAY	372	372
ASPHALT ROAD	571	571
CONCRETE WALKWAYS	413	413
<b>TOTAL (N) IMPERVIOUS AREA</b>	<b>3205</b>	<b>3205</b>
EXISTING IMPERVIOUS AREA TBR	0	0
<b>NET INCREASE OF IMPERVIOUS AREA</b>	<b>3205</b>	<b>3205</b>

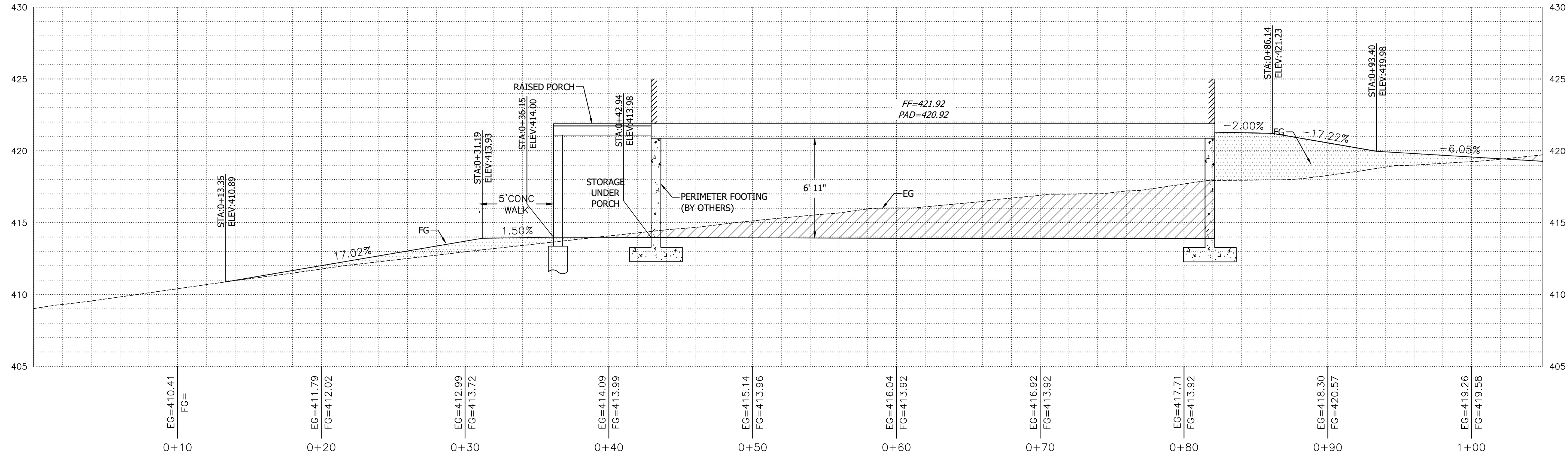
### PAVING LEGEND

- (E) AC TO REMAIN
- INSTALL VEHICULAR CONCRETE
- FILL SLOPE KEYWAY
- FIRE TRUCK TURNAROUND
- INSTALL ASPHALT ROAD
- INSTALL ASPHALT ROAD (PER PLN-20-125)
- INSTALL PEDESTRIAN CONCRETE

### TREE INSTALLATION NOTES:

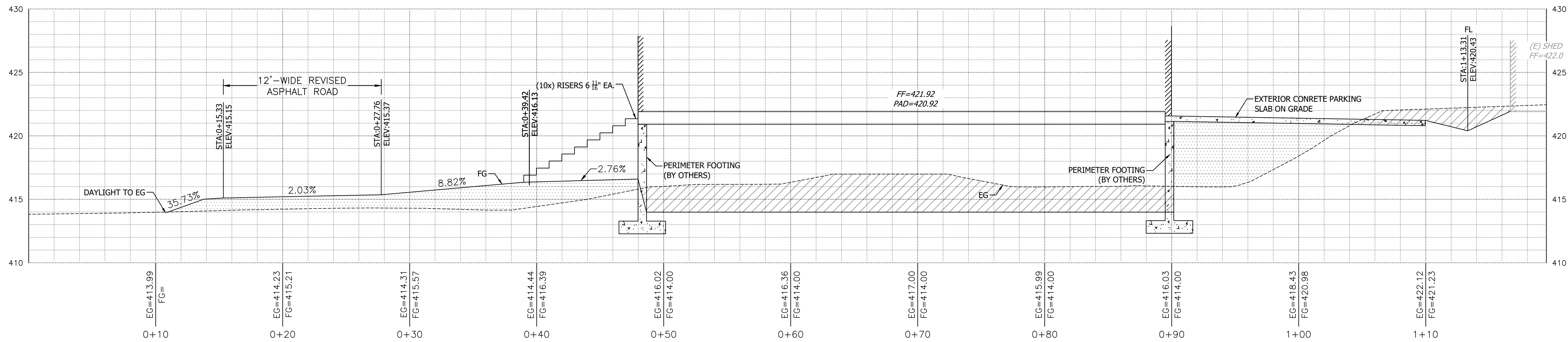
- TYPE: CUPRESSOCYPARIS LEYLANDII [LEYLAND CYPRESS]
- MATURE HEIGHT: 35-50 FEET
- TOTAL OF 14 TREES PROPOSED





1 BUILDING SECTION

Scale: 1:5



2 BUILDING SECTION

Scale: 1:5

REVISIONS	BY
RESPONSE TO SCC COMMENTS 05.09.23	DD

# SECTIONS

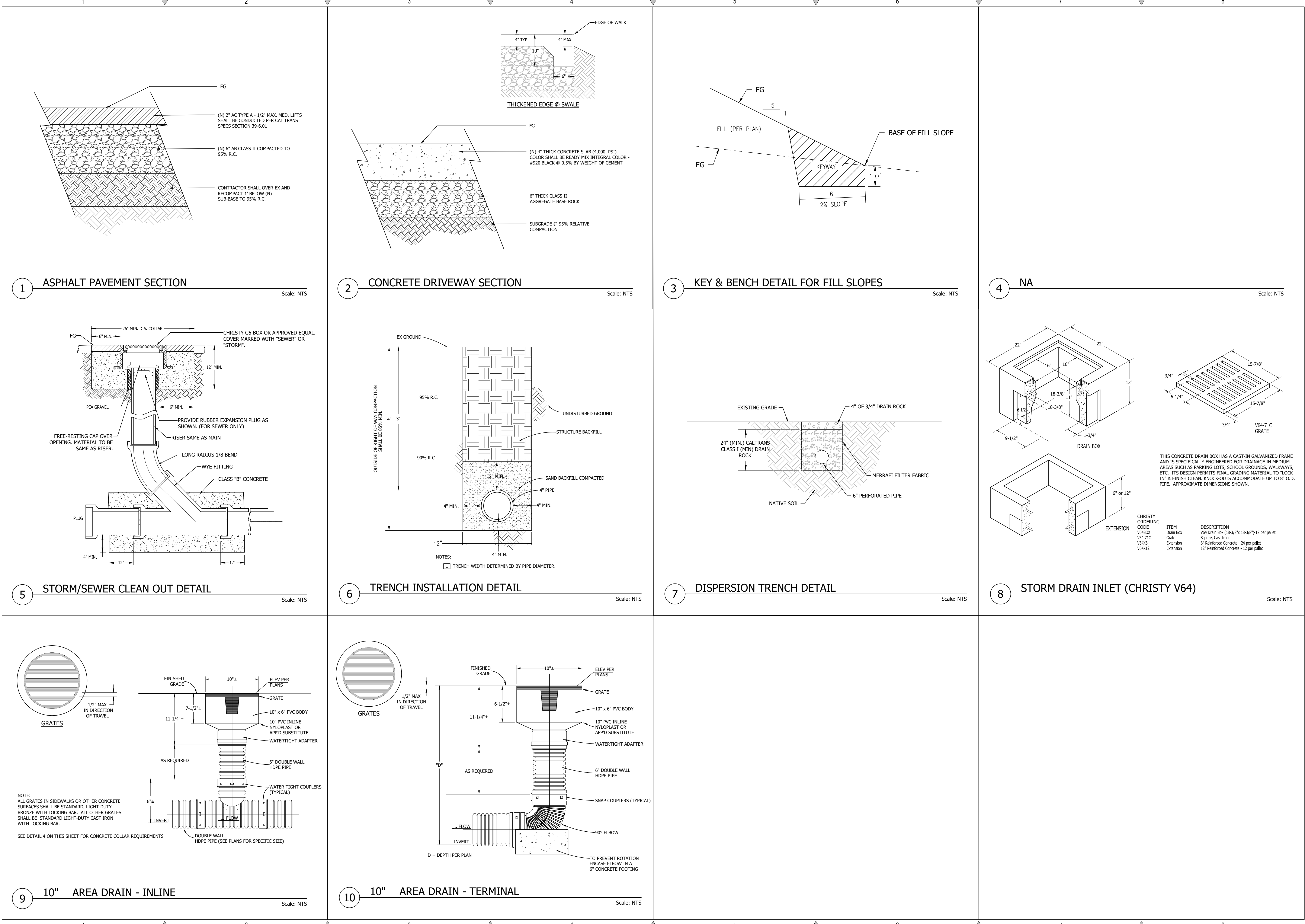


**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 4400 Scotts Valley Road, Suite 6  
 Scotts Valley, CA 95066  
 T (831) 438-4420 F (831) 438-4420  
By: ERS/Singhal

**GOKULAM, LLC.**  
 SMALL SCALE PERMANENT  
 AGRICULTURAL EMPLOYEE HOUSING  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 PLN22-234 | APN: 029-34-004

Date:	10/13/2023
Scale:	VARIES
Drawn:	DD
Job:	3007.03b
Sheet:	C2.2
Of 16 Sheets	

Drawing: Z:\Shared\CAD\3007.03 - MF - Alpha\dwg\CAD\Sheet\Phase 2\3007.03 - C2.2 - SC0706S.dwg Layout: C2.2 - 000 Last Saved: Wed Nov 22, 2023 1:59pm Last Plotted: Wed Jan 24, 2024 4:33pm By: ERS/Singhal



REVISIONS	BY
RESPONSE TO SCC COMMENTS 05.09.23	DD

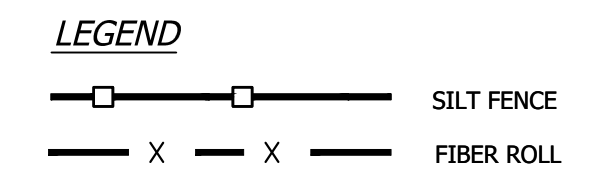
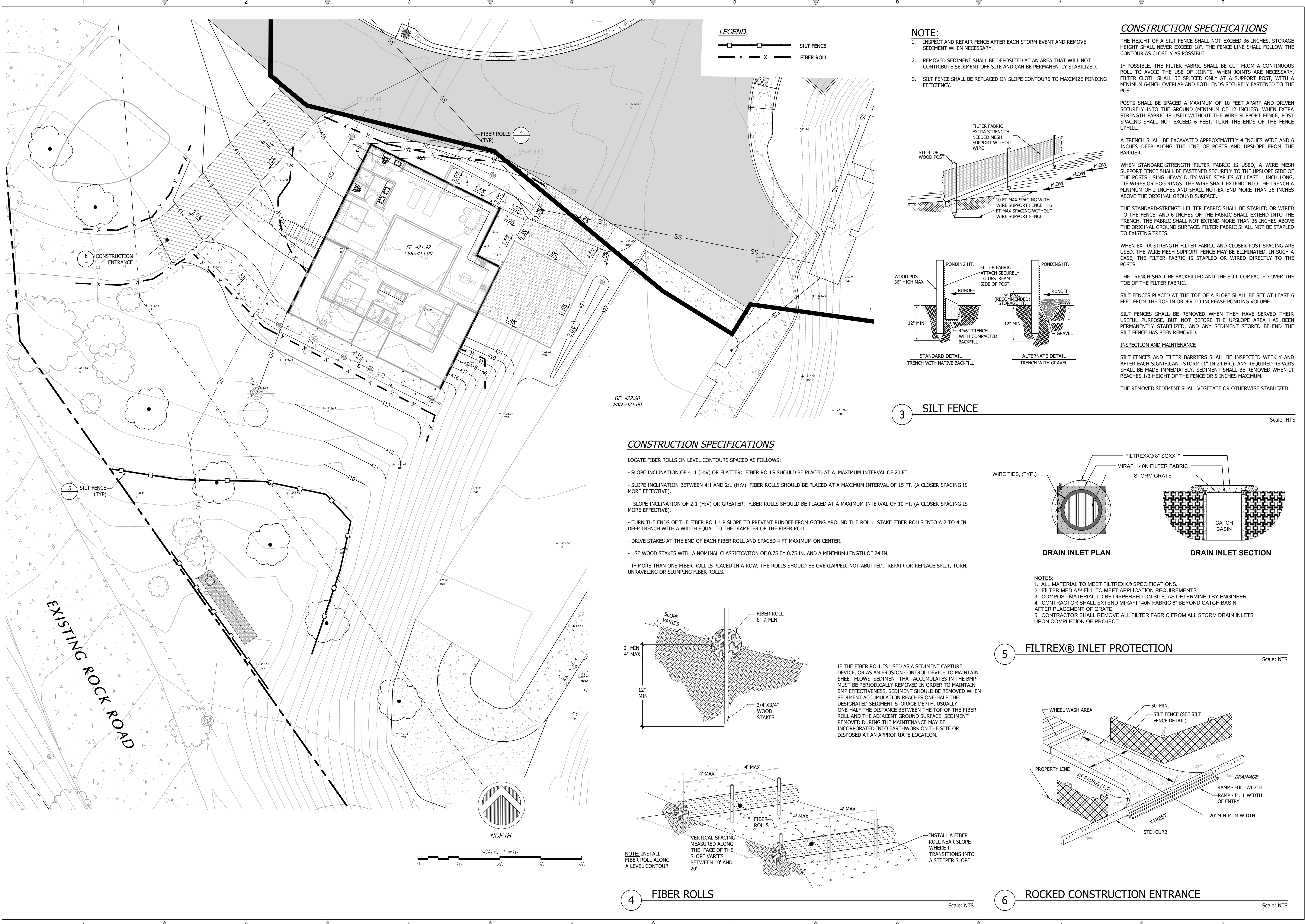
**DETAILS**

**GOKULAM, LLC.**  
SMALL SCALE PERMANENT AGRICULTURAL EMPLOYEE HOUSING  
2425 OLD CALAVERAS ROAD, MILPITAS  
PLN22-234 | APN: 029-34-004

Engineers/Planners  
44000  
Scottdale Valley, CA 95066  
T (831) 438-4420 F (831) 438-4420

Date:	10/13/2023
Scale:	AS SHOWN
Drawn:	DD
Job:	3007.03b
Sheet:	C3.1
Of 16 Sheets	





**NOTE:**

- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
- REMOVED SEDIMENT SHALL BE DEPOSITED AT AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCE SHALL BE REPLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

**CONSTRUCTION SPECIFICATIONS**

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. STORAGE HEIGHT SHALL NEVER EXCEED 18". THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE.

IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET. TURN THE ENDS OF THE FENCE UPHILL.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.

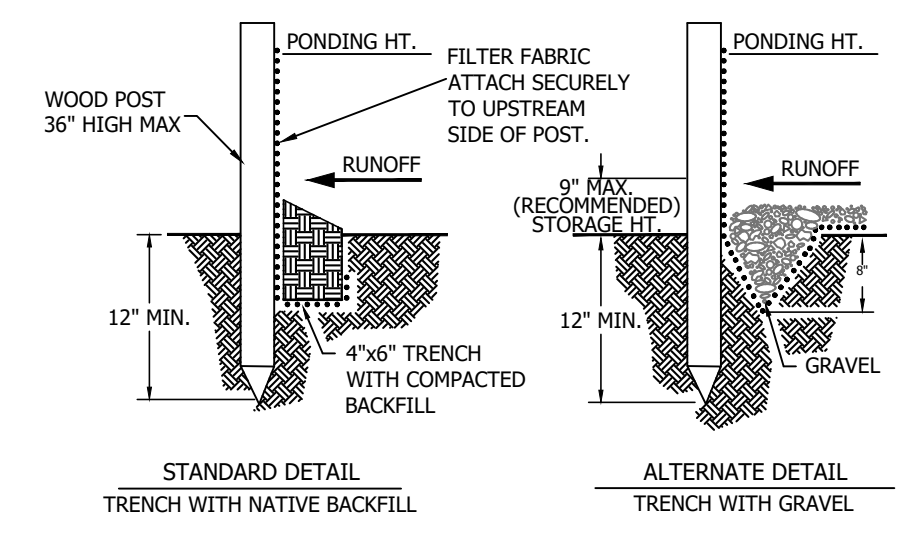
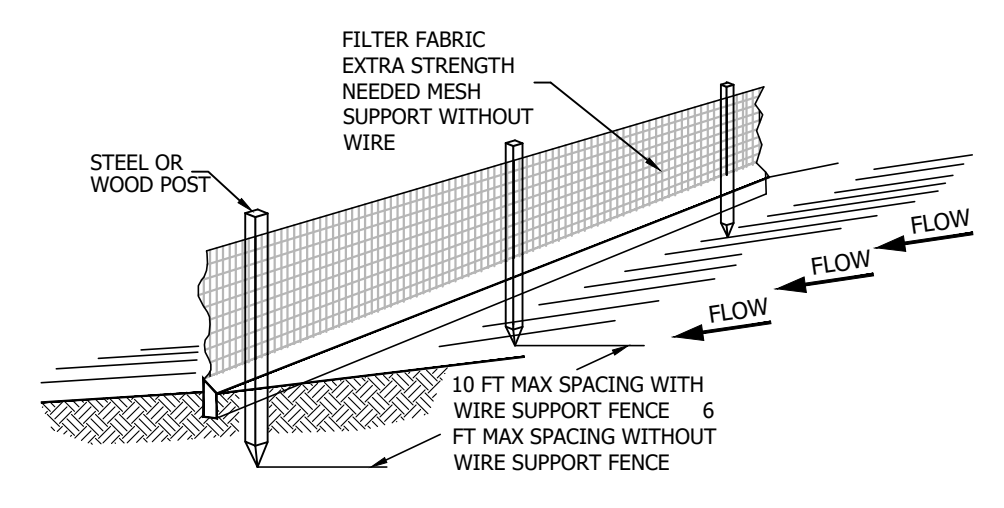
SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED, AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.

**INSPECTION AND MAINTENANCE**

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EACH SIGNIFICANT STORM (1" IN 24 HR.). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF THE FENCE OR 9 INCHES MAXIMUM.

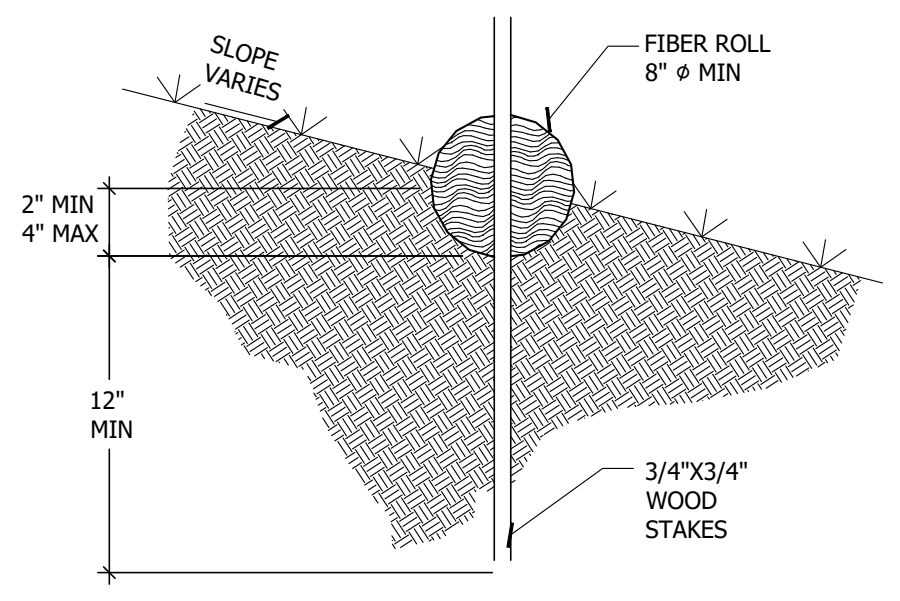
THE REMOVED SEDIMENT SHALL VEGETATE OR OTHERWISE STABILIZED.



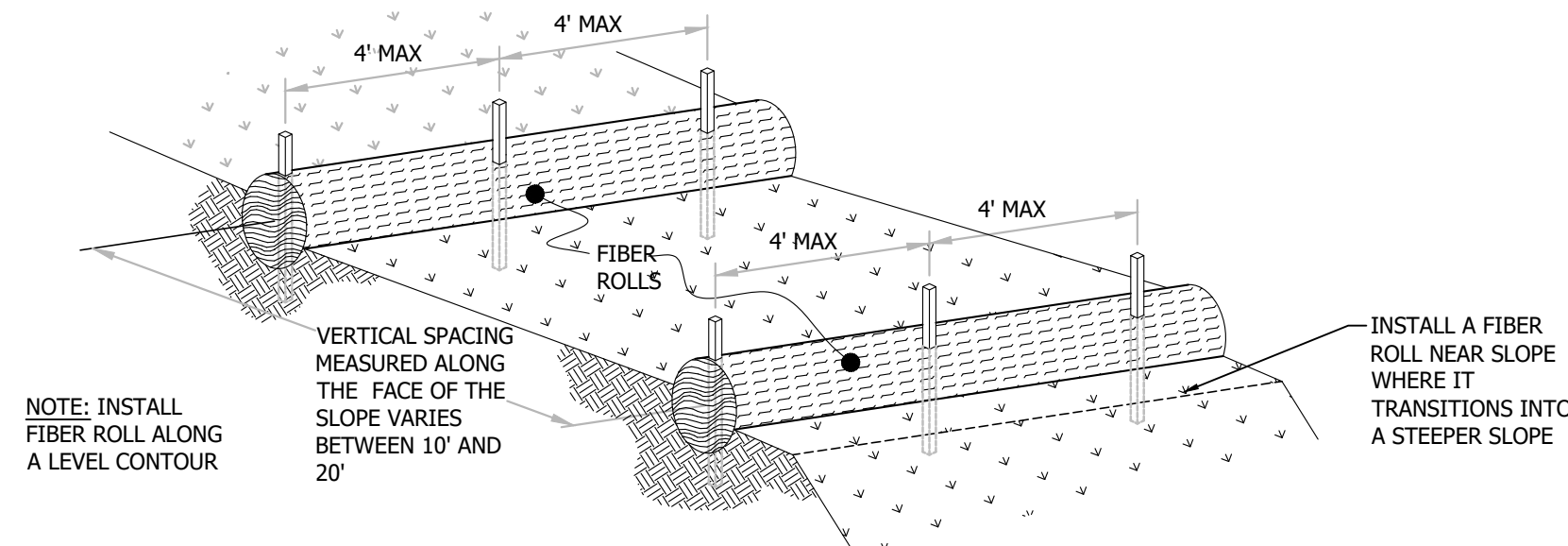
**3 SILT FENCE** Scale: NTS

**CONSTRUCTION SPECIFICATIONS**

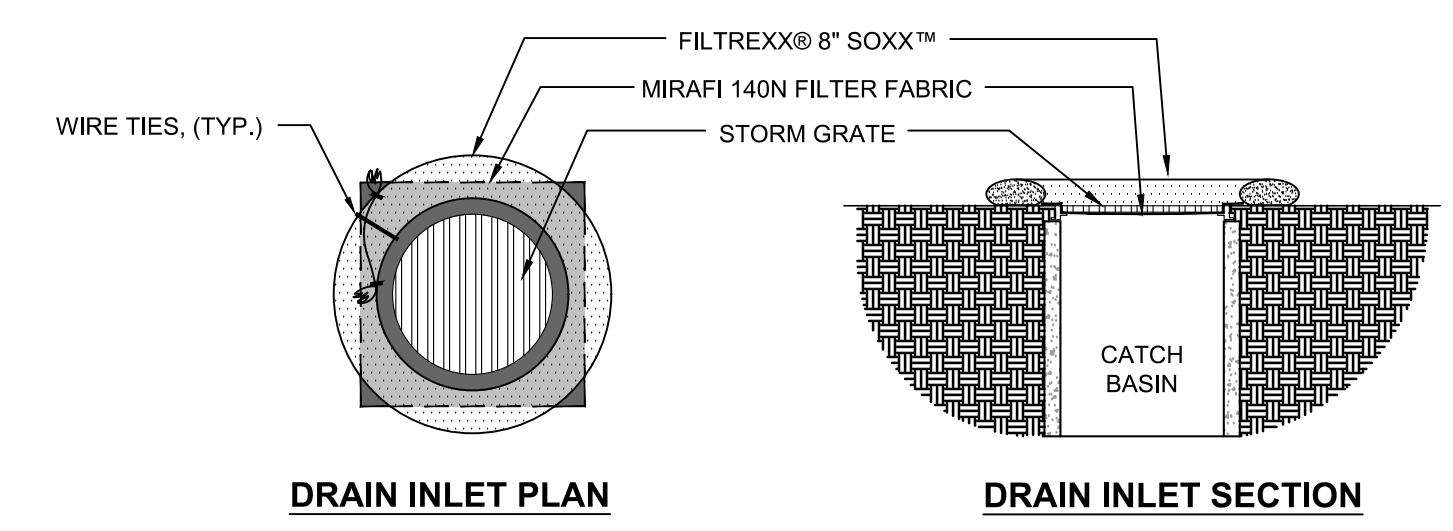
- LOCATE FIBER ROLLS ON LEVEL CONTOURS SPACED AS FOLLOWS:
- SLOPE INCLINATION OF 4:1 (H:V) OR FLATTER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 20 FT.
  - SLOPE INCLINATION BETWEEN 4:1 AND 2:1 (H:V): FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 15 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
  - SLOPE INCLINATION OF 2:1 (H:V) OR GREATER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 10 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
  - TURN THE ENDS OF THE FIBER ROLL UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL. STAKE FIBER ROLLS INTO A 2 TO 4 IN. DEEP TRENCH WITH A WIDTH EQUAL TO THE DIAMETER OF THE FIBER ROLL.
  - DRIVE STAKES AT THE END OF EACH FIBER ROLL AND SPACED 4 FT MAXIMUM ON CENTER.
  - USE WOOD STAKES WITH A NOMINAL CLASSIFICATION OF 0.75 BY 0.75 IN. AND A MINIMUM LENGTH OF 24 IN.
  - IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT ABUTTED. REPAIR OR REPLACE SPLIT, TORN, UNRAVELING OR SLUMPING FIBER ROLLS.



IF THE FIBER ROLL IS USED AS A SEDIMENT CAPTURE DEVICE, OR AS AN EROSION CONTROL DEVICE TO MAINTAIN SHEET FLOWS, SEDIMENT THAT ACCUMULATES IN THE BMP MUST BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DESIGNATED SEDIMENT STORAGE DEPTH. USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GROUND SURFACE. SEDIMENT REMOVED DURING THE MAINTENANCE MAY BE INCORPORATED INTO EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.



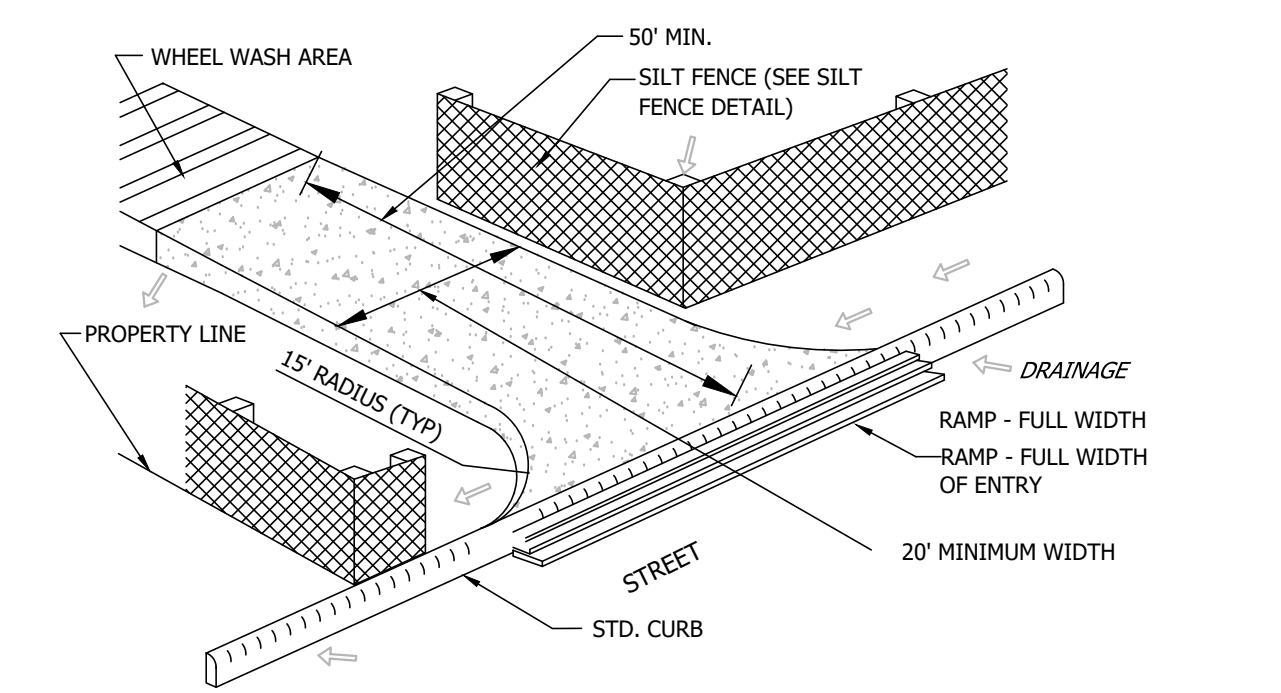
**4 FIBER ROLLS** Scale: NTS



**NOTES:**

- ALL MATERIAL TO MEET FILTREX® SPECIFICATIONS.
- FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
- COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
- CONTRACTOR SHALL EXTEND MIRAFI 140N FABRIC 6" BEYOND CATCH BASIN AFTER PLACEMENT OF GRATE.
- CONTRACTOR SHALL REMOVE ALL FILTER FABRIC FROM ALL STORM DRAIN INLETS UPON COMPLETION OF PROJECT.

**5 FILTREX® INLET PROTECTION** Scale: NTS



**6 ROCKED CONSTRUCTION ENTRANCE** Scale: NTS

REVISIONS	BY
RESPONSE TO SCC	DD
COMMENTS 05.09.23	

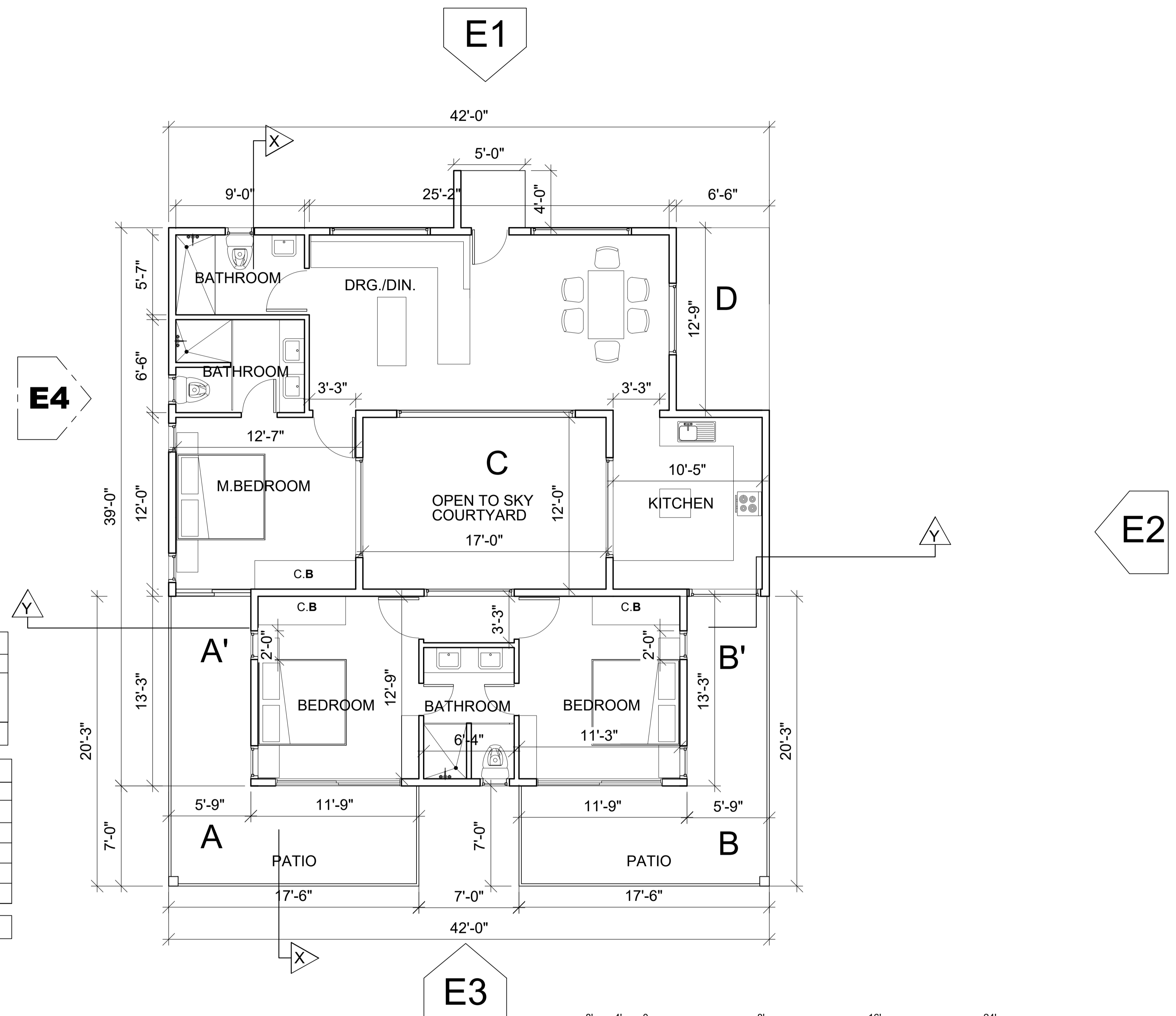
**EROSION CONTROL PLAN**



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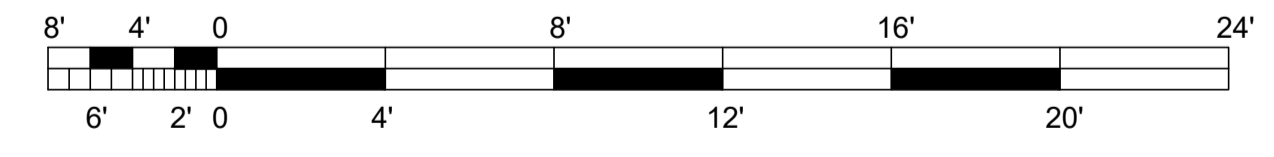
COVERED AREA CALCULATIONS		
ID	SIZE	Area ( SQFT )
EMP UNIT	42'0" x 39'0" - AREA ( A'+B'+C+D ) =(42x39)-(76.19+76.19+204+82.88)	1198.75
TOTAL UNIT AREA AGRI UNIT =		1198.75 SQFT

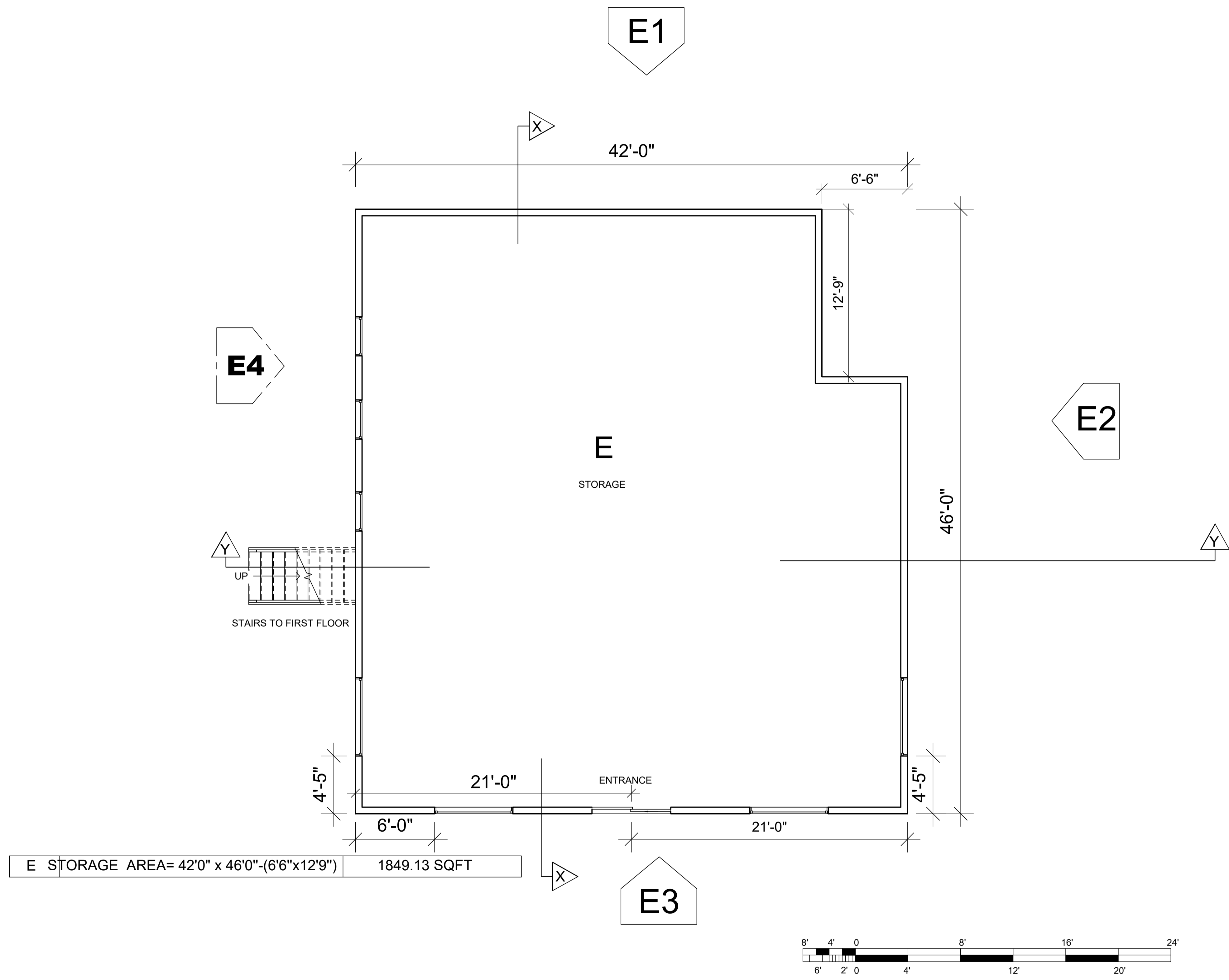
  

COVERED & PARTIALLY ENCLOSED AREA CALCULATIONS		
ID	size	Area ( SQFT )
AA'	(5'9" x 13'3" ) +(7'x17'6")	198.69
BB'	(5'9" x 13'3" ) +(7'x17'6")	198.69
TOTAL		397.38 SQFT

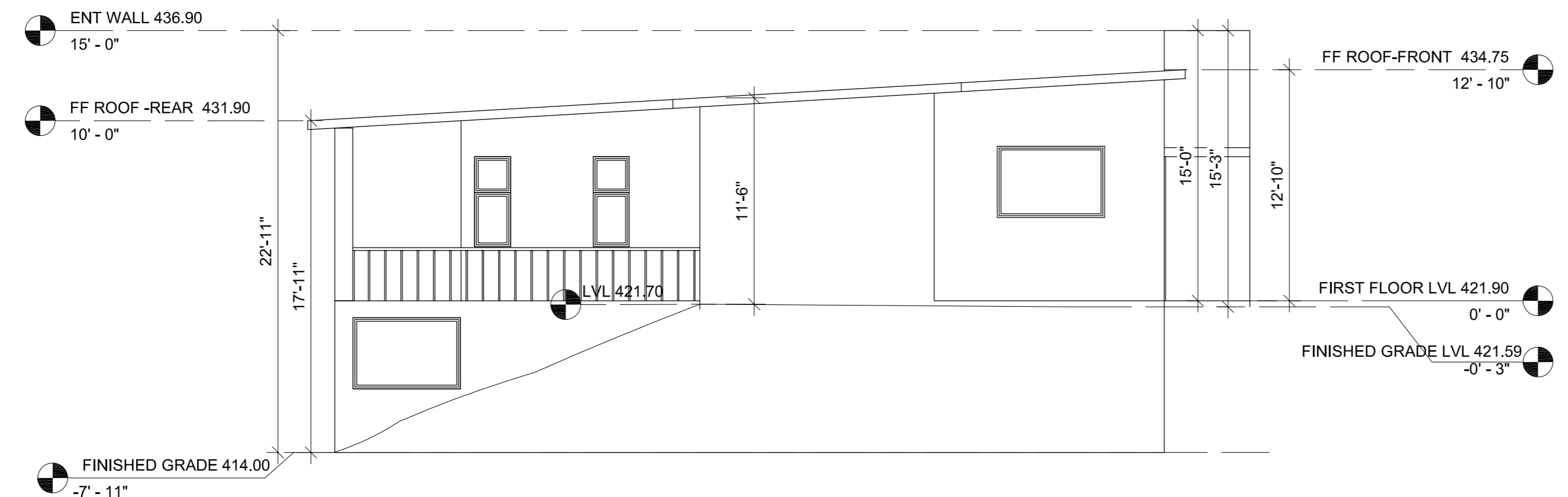
E	STORAGE AREA= 42'0" x 46'0"-(6'6"x12'9")	1849.13 SQFT
---	--	--------------







ELEVATION E1



ELEVATION E2

GOKULAM  
2425 Old Calaveras Road, MILPITAS, CA 95035

AJAY GOYAL  
748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337

DRAWN BY :  
NEHA

DATE: 11-22- 2023  
SCALE: 1"= 4'0"

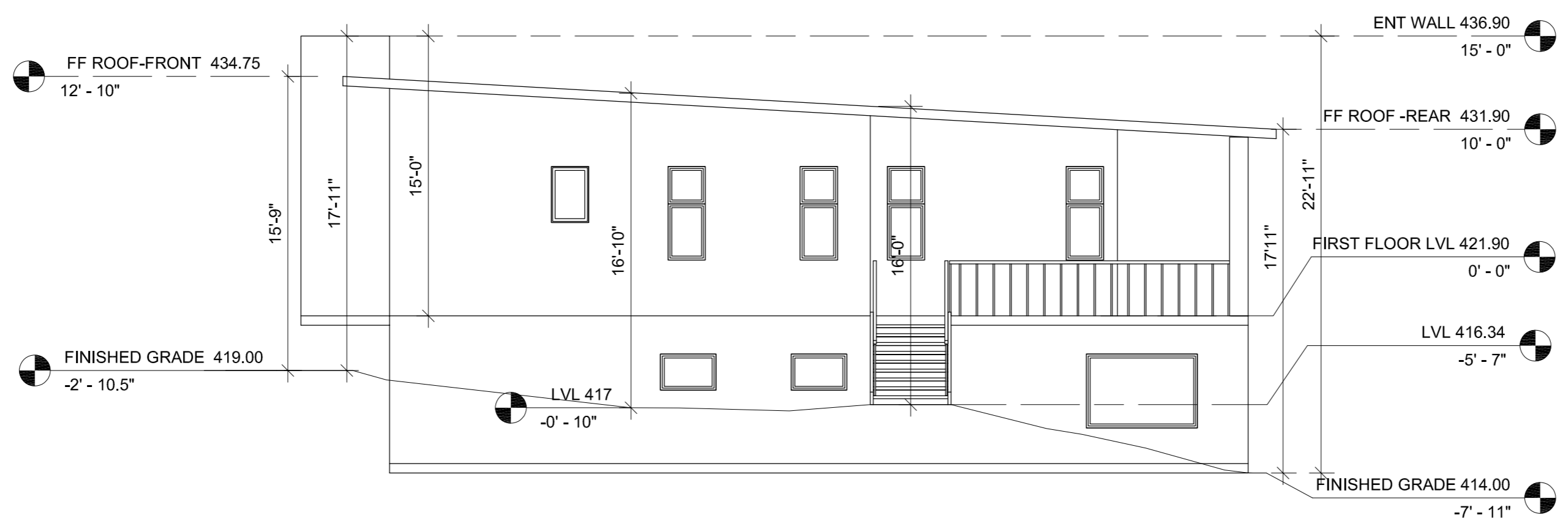
LOCATION:  
APN 029-34-004

SUBJECT:  
**GOKULAM Small Scale Permanenet EMPLOYEE HOUSE**  
ELEVATIONS BW 1

DRAWING NO. :  
A 03



ELEVATION E3



ELEVATION E4

GOKULAM  
2425 Old Calaveras Road, MILPITAS, CA 95035

AJAY GOYAL  
748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337

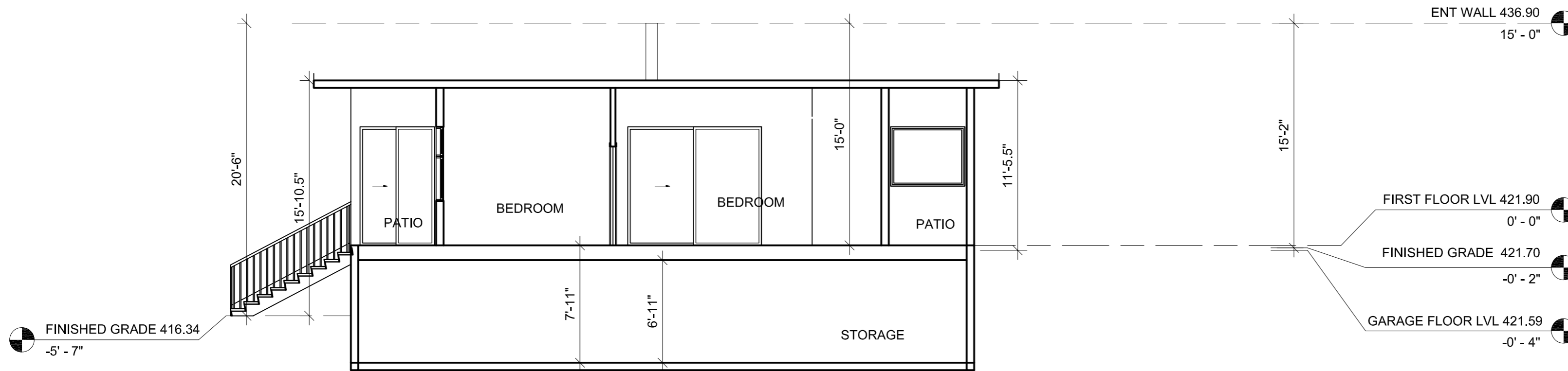
DRAWN BY :  
NEHA

DATE: 11-22- 2023  
SCALE: 1"= 4'0"

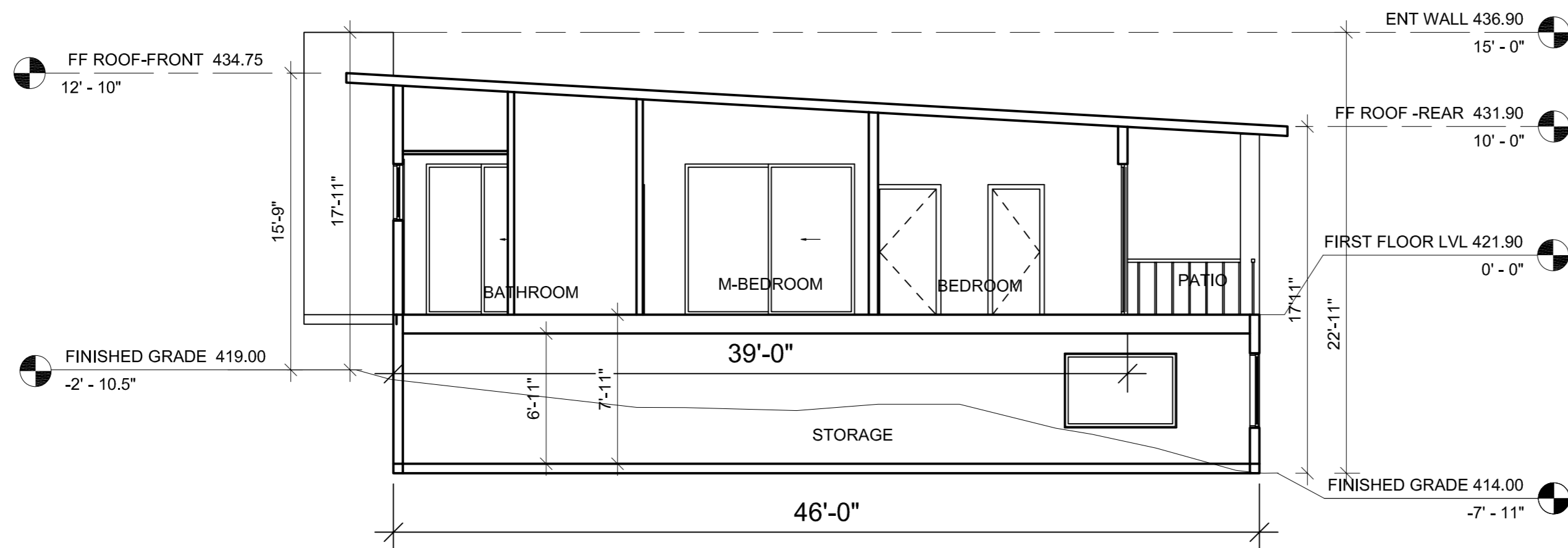
LOCATION:  
APN 029-34-004

SUBJECT:  
**GOKULAM Small Scale Permanenet EMPLOYEE HOUSE**  
ELEVATIONS BW 2

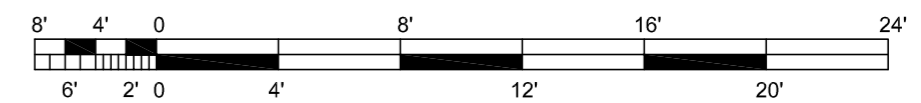
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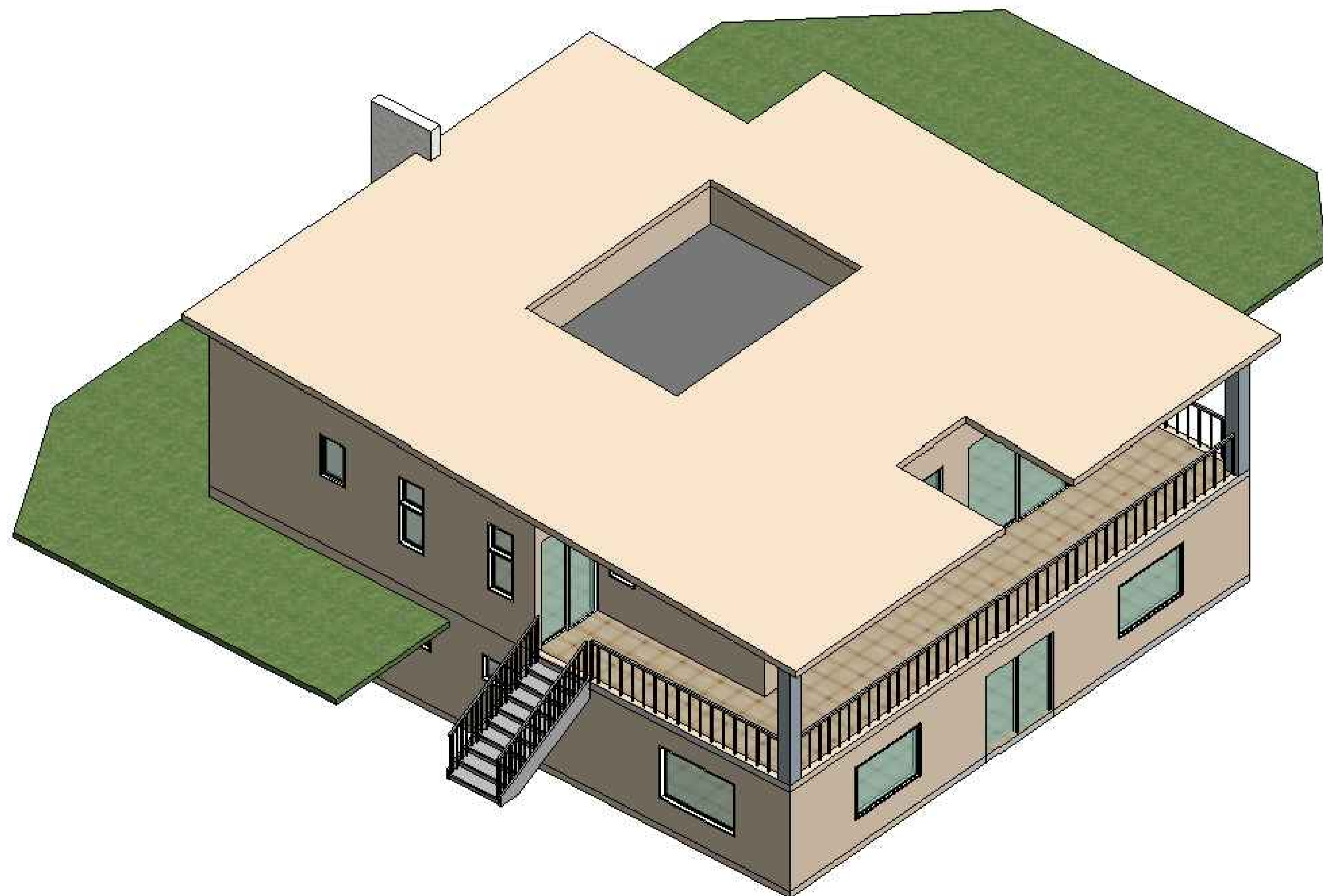
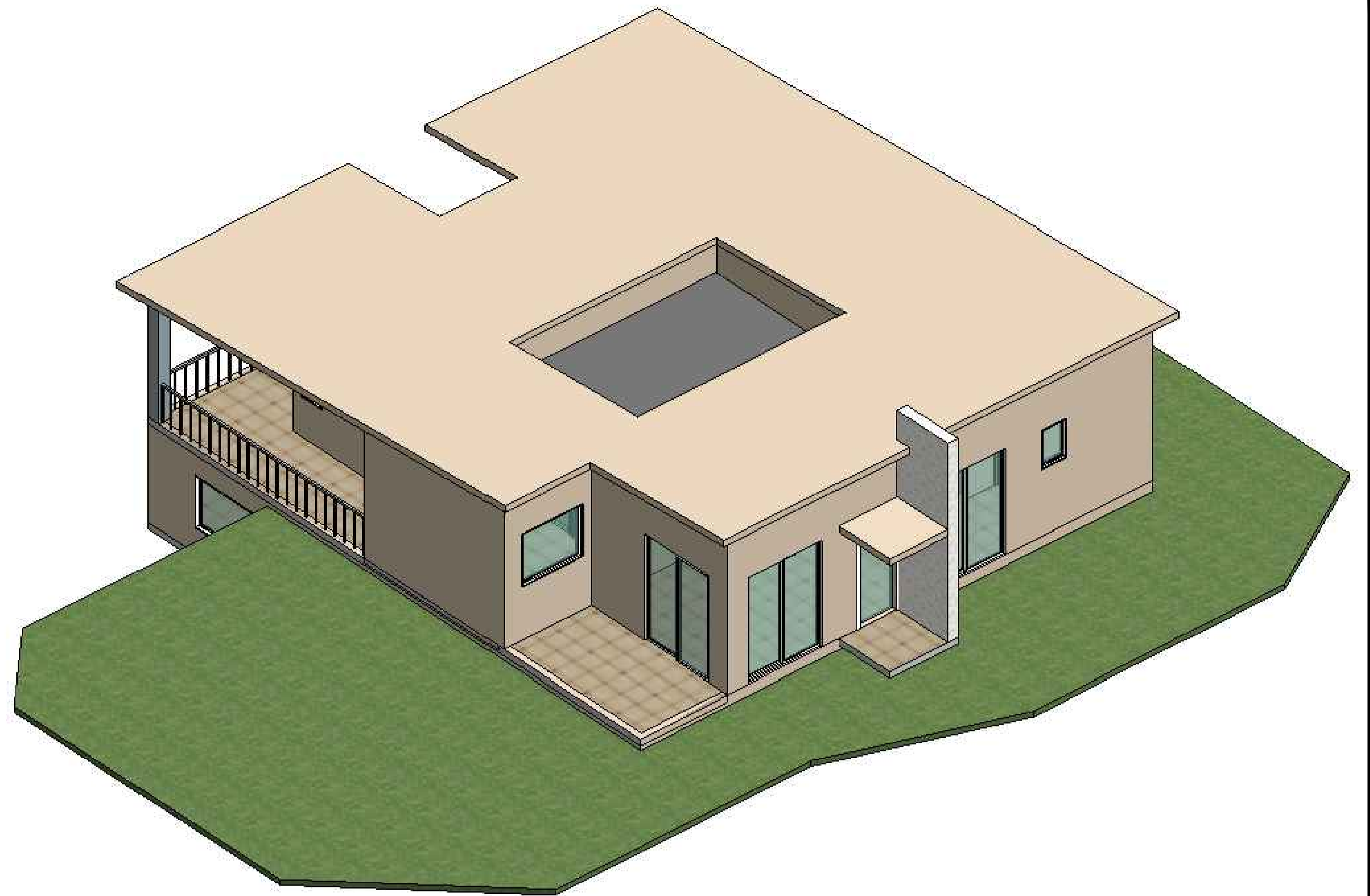


**SECTION : Y-Y**



**SECTION : X-X**





COLOR AND MATERIAL PALETTE			
WALL CLADDING	METAL ROOFING, GUTTER, EAVES	ENTRANCE WALL	DOOR, WINDOW, FRAME, TRIMS
PALM DESERT TAN ( LRV43.07 )	WOLF GREY ( LRV )	MSI ALASKA GREY ( LRV 44.42 )	WHITE ( LRV 99.2 )

GOKULAM  
2425 Old Calaveras Road, MILPITAS, CA 95035

AJAY GOYAL  
748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337

DRAWN BY :  
NEHA

DATE: 11-22-2023  
SCALE: NTS

LOCATION:  
APN 029-34-004

SUBJECT:  
**GOKULAM Small Scale Permanenet EMPLOYEE HOUSE VIEWS**

DRAWING NO. :  
A06

**SEPTIC SYSTEM CONSTRUCTION NOTES**

**A. PROJECT REQUIREMENTS**

- SYSTEM TO SERVE 13 EMPLOYEES/CUSTOMERS/VOLUNTEERS, A FUTURE 6 BEDROOM HOUSE, A FUTURE 3 BEDROOM ACCESSORY DWELLING UNIT (ADU), A FUTURE 2 BEDROOM JUNIOR ADU, AND A 3 BEDROOM SMALL SCALE PERMANENT AGRICULTURAL HOUSING. INSTALLATION OF SYSTEM TO CONFORM TO SANTA CLARA COUNTY SEWAGE DISPOSAL ORDINANCE. CALL SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH 24 HOURS MIN. PRIOR TO START OF WORK AT (408)-918-3400.
- SEWAGE DISPOSAL SYSTEM CONSISTS OF A 5,000 GALLON SEPTIC TANK WITH 5,000 GALLON PUMP TANK, WATER TIGHT ACCESS RISERS TO GRADE, A BULL-RUN DIVERSION VALVE, AND TWO 486 LF X 486 LF DISPERSAL FIELDS 24" WIDE BY 12" DEEP DRAINROCK BED WITH INSPECTION RISERS TO GRADE. THE DISPERSAL FIELDS SHALL BE INTERCONNECTED WITH A DIVERSION VALVE. THE VALVE MUST BE CAPABLE OF DIRECTING THE SEPTIC TANK EFFLUENT TO ONE DISPERSAL FIELD AT A TIME.
- GROUND SLOPE OF DISPERSAL FIELD #1 & DISPERSAL FIELD #2 IS APPROXIMATELY 24.5%. DISPERSAL FIELDS SHALL BE INSTALLED LEVEL AND ON CONTOURS AS SHOWN ON PLAN. EXCESS SOIL FROM LEACHFIELD CONSTRUCTION SHALL BE SPREAD ON SITE AT A DEPTH OF 3" MAX OR BE REMOVED OFF-SITE.
- THE DIVERSION VALVE SHALL BE OPERATED ANNUALLY TO ROTATE THE USE OF DISPERSAL FIELDS TO EXTEND THE LIFE OF THE SEPTIC SYSTEM.
- MARK CAPS OF ALL BULL RUN VALVES (DV) AND RISERS (R) WITH A PERMANENT MARKER OR LABEL.
- SWIMMING POOLS OR SPAS MUST NOT BE DRAINED OR BACKWASHED INTO THE SEPTIC SYSTEM.
- AVOID PLANTING TREES IN DISPERSAL FIELD OR CLOSE TO SEPTIC TANK.
- GARBAGE DISPOSAL IS NOT RECOMMENDED. IF THEY ARE INSTALLED, THEY SHOULD BE USED SPARINGLY OR NOT AT ALL.
- THE SOLIDS THAT ACCUMULATE IN THE SEPTIC TANK SHOULD BE REMOVED BY PUMPING EVERY 3-5 YEARS TO PREVENT SOLIDS FROM ENTERING AND CLOGGING THE DISPERSAL FIELD.
- ALL WORK TO BE PERFORMED BY AN APPROPRIATELY LICENSED CONTRACTOR.
- PRIOR TO STARTING CONSTRUCTION, CONTRACTOR SHALL CONTACT USA AT 1-800-227-2600 TO LOCATE ALL UNDERGROUND UTILITIES.

ACROSS ALL THE ACTIVITIES CURRENTLY PLANNED ON THE LAND -REARING LIVESTOCK, PRODUCTION AND SALE OF COMPOST, RALES OF ORCHARD GRASS AND CSA BOXES AND RESIDENCES, THE TOTAL NUMBER OF PEOPLE INCLUDING RESIDENTS, EMPLOYEES AND VISITORS WILL NOT EXCEED MORE THAN 25 PEOPLE IN A 60 DAY PERIOD ANNUALLY. PLEASE SEE THE TABLE BELOW FOR A SUMMARY.

OUR APPLICATION AND OWS DESIGN INCLUDES A 3 BEDROOM SMALL SCALE PERMANENT AGRICULTURAL HOUSING WHOSE RESIDENTS ARE ALSO SHOWN IN THE TABLE BELOW AS RESIDENT EMPLOYEES. THE LIVESTOCK SHELTER AND AGRICULTURAL SHED BOTH INCLUDE A UNISEX BATHROOM THAT WILL CATER TO THE DEMAND MENTIONED BELOW. FOR OUR CSA PROGRAM, ABOUT 2,300'S OF THE 90 FAMILIES ARE OUR REGULAR CONGREGATION WHO WILL PICK IT UP FROM OUR TEMPLE WHICH IS ABOUT 1.5 MILES AWAY LOCATED AT 680 E. CALAVERAS BLVD, MILPITAS, CA. CUSTOMER/VOLUNTEER VISITS TO 2425 OLD CALAVERAS RD SITE FOR ALL OUR OPERATIONS WILL BE BY APPOINTMENT ONLY AND WE WILL BE USING THIS APPOINTMENT SYSTEM TO ENSURE THAT THE DAILY LIMITS PROPOSED BELOW ARE ADHERED TO.

OUR OWS DESIGN ANTICIPATES A FUTURE PRIMARY RESIDENCE WITH 6 BEDROOMS, A FUTURE ADU WITH 3 BEDROOMS, A JADU WITH TWO BEDROOMS, THUS WE HAVE TWO TABLES FOR PROPOSED CURRENT USE AND ONE FOR FUTURE USE WHERE WE HAVE ADDED A COLUMN TO SHOW FUTURE RESIDENTS FOR THESE UNITS.

**PROPOSED PHASE 2 OCCUPANCY:**

Day	Time	Resident Employees of Agricultural Housing	Other Employees	Volunteers /Customers	Total People
Monday to Friday	5am to 1pm	3	2	8	13
	4pm to 9pm	3	2	8	13
Saturday	5am to 1pm	3	2	8	13
	2pm to 9pm	3	2	8	13
Sunday	5am to 1pm	3	2	8	13
	2pm to 9pm	3	2	8	13

**FUTURE USE/OCCUPANCY:**

Day	Time	Future Residents Primary/ADU/JADU	Resident Employees Agricultural Housing	Other Employees	Volunteers /Customers	Total People
Monday to Friday	5am to 1pm	11	3	2	8	24
	4pm to 9pm	11	3	2	8	24
Saturday	5am to 1pm	11	3	2	8	24
	2pm to 9pm	11	3	2	8	24
Sunday	5am to 1pm	11	3	2	8	24
	2pm to 9pm	11	3	2	8	24

**B. SEPTIC TANK REQUIREMENTS**

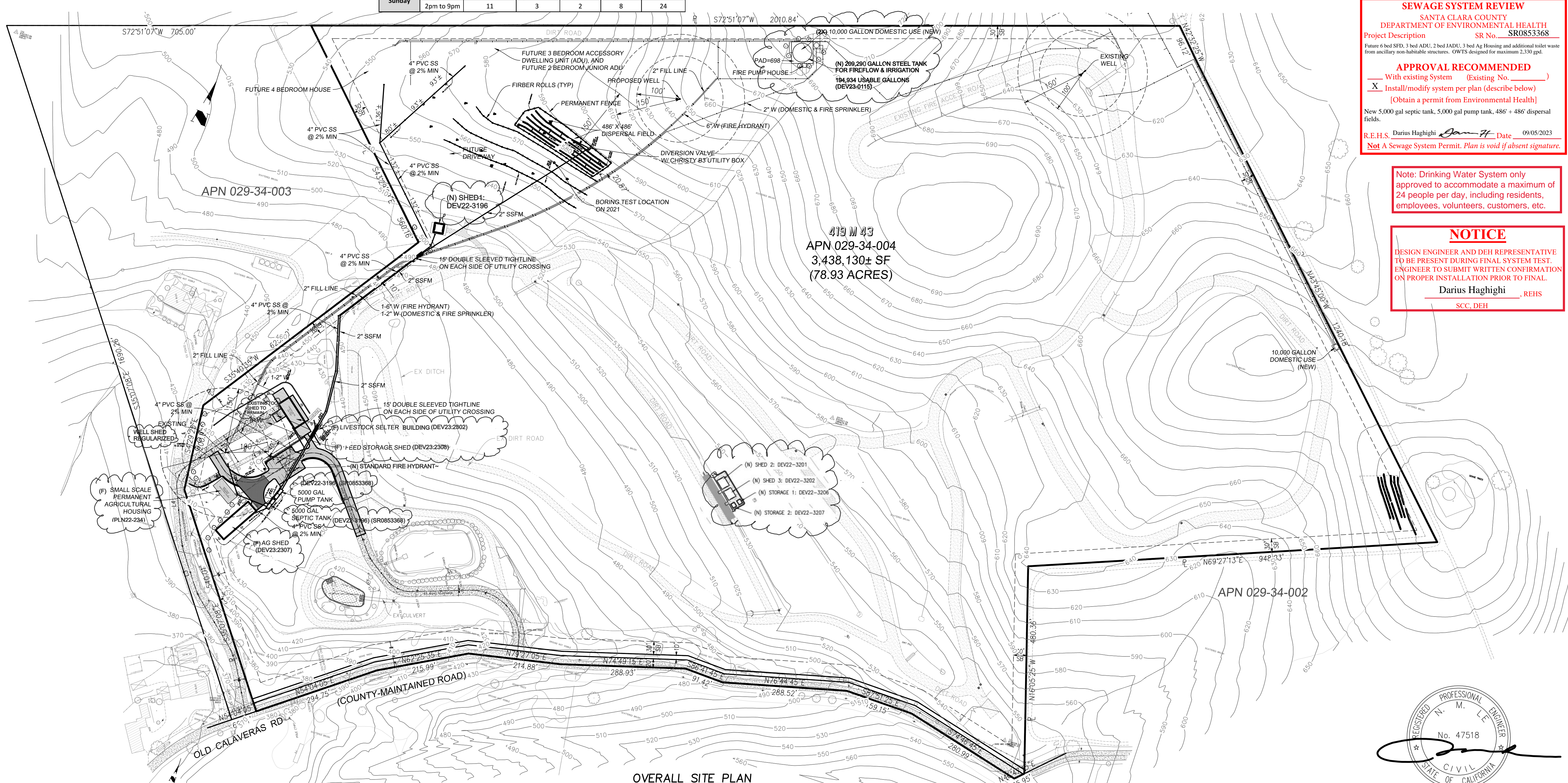
- MINIMUM CAPACITY. SEPTIC TANKS MUST HAVE A MINIMUM CAPACITY OF FIVE THOUSAND (5,000) GALLONS OR TWICE THE PEAK DAILY WASTEWATER FLOW FOR THE FACILITY SERVED, WHICHEVER IS GREATER. MINIMUM SEPTIC TANK CAPACITY FOR ASSISTED CARE FACILITIES SHALL BE EQUAL TO THREE TIMES THE PEAK DAILY WASTEWATER FLOW.
- TWO COMPARTMENTS. SEPTIC TANKS MUST BE OF TWO-COMPARTMENT CONSTRUCTION, WITH THE FIRST COMPARTMENT EQUAL TO TWO-THIRDS THE TOTAL TANK VOLUME. THE COMPARTMENTS MUST BE SEPARATED BY A Baffle OR EQUIVALENT ARRANGEMENT.
- MATERIALS. SEPTIC TANKS MUST BE WATER TIGHT, PROPERLY VENTED AND CONSTRUCTED OF REINFORCED CONCRETE, HEAVYWEIGHT REINFORCED CONCRETE BLOCKS, FIBERGLASS OR OTHER DURABLE, NON-CORRODIBLE MATERIALS AS APPROVED BY THE DIRECTOR. SEPTIC TANKS SHALL BE DESIGNED TO WITHSTAND ANY ANTICIPATED WEIGHT PLACED ABOVE IT. ALL SEPTIC TANKS SHALL BE LISTED AND APPROVED BY IARMO OR AN ANSI ACCREDITED TESTING ORGANIZATION; EXCEPTION TO THIS REQUIREMENT MAY BE GRANTED WHERE STRUCTURAL DESIGN CALCULATIONS FOR THE SEPTIC TANK ARE PROVIDED BY A CALIFORNIA REGISTERED CIVIL ENGINEER.
- ACCESS OPENINGS. ACCESS TO EACH SEPTIC TANK COMPARTMENT MUST BE PROVIDED BY A MANHOLE OPENING AT LEAST TWENTY INCHES IN DIAMETER.
- ACCESS RISERS. A RISER MUST EXTEND FROM EACH MANHOLE OPENING TO OR ABOVE THE SURFACE OF THE GROUND. THE RISER MUST BE OF A SIZE LARGER THAN THE MANHOLE OPENING, BE BOTH GAS- AND WATER-TIGHT, BE CONSTRUCTED OF DURABLE MATERIAL AND EQUIPPED WITH A SECURE COVER.
- EFFLUENT FILTER. THE OUTLET OF THE SEPTIC TANK SHALL BE FITTED WITH AN EFFLUENT FILTER CAPABLE OF SCREENING SOLIDS IN EXCESS THREE-SIXTEENTHS (3/16) OF AN INCH IN DIAMETER AND CONFORMING TO NSF/ANSI STANDARD 46 OR AS OTHERWISE APPROVED BY THE DIRECTOR.
- TANK CONNECTIONS. ALL CONNECTIONS FROM BUILDING TO SEPTIC TANK MUST CONFORM TO CONSTRUCTION STANDARDS AS REQUIRED BY THE COUNTY BUILDING OFFICIAL.
- WATER-TIGHTNESS TESTING. ALL NEW SEPTIC TANK INSTALLATIONS AND MODIFICATIONS TO EXISTING SEPTIC TANKS SHALL UNDERGO WATER-TIGHTNESS TESTING AS FOLLOWS:  
 A) NEW TANKS. FOR NEW TANK INSTALLATIONS, THE TESTING SHALL BE DONE WITH THE RISERS IN PLACE AND THE INLET AND OUTLET PIPES PLUGGED. THE TANK SHALL BE FILLED WITH WATER TO A LEVEL EXTENDING A MINIMUM OF TWO (2) INCHES INTO THE RISERS, AND MONITORED FOR A 1-HOUR PERIOD, WITH NO MEASURABLE DROP IN THE WATER LEVEL.  
 B) EXISTING TANKS. FOR EXISTING TANKS, THE TANK SHALL BE FILLED WITH WATER TO A LEVEL EVEN WITH THE INVERT OF THE OUTLET PIPE, AND MONITORED FOR A 1-HOUR PERIOD WITH NO MEASURABLE DROP IN WATER LEVEL. HOWEVER, IN CASES WHERE THERE IS KNOWN OR ESTIMATED TO RISE ABOVE THE LEVEL OF THE OUTLET PIPE DURING ANY TIME OF THE YEAR, THE WATER-TIGHTNESS TEST SHALL BE CONDUCTED FOLLOWING THE PROCEDURE FOR NEW TANK INSTALLATIONS, I.E., BY FILLING THE TANK WITH WATER INTO THE RISERS.

**C. PIPE REQUIREMENTS**

- SOLID PIPE, JOINTS AND CONNECTIONS. SOLID (NON-PERFORATED) PIPE FOR OWS MUST CONFORM TO THE STANDARDS OF THE MOST RECENT EDITION OF THE UNIFORM PLUMBING CODE, WHICH IS ADOPTED BY REFERENCE INTO THE COUNTY'S BUILDING ORDINANCES. PIPE DIAMETER MUST BE FOUR INCHES. ALL SOLID PIPE JOINTS AND CONNECTIONS MUST BE GLUED, CEMENTED OR MADE WITH AN ELASTOMERIC SEAL SO AS TO BE WATER TIGHT.
- TIGHTLINES UNDER RESIDENTIAL DRIVEWAY. TIGHTLINES IN RESIDENTIAL TRAFFIC AREAS MUST BE INSTALLED WITH SCHEDULE 40 PVC. AN ALTERNATIVE IS TO SLEEVE (I.E., DOUBLE PIPE) THE THIN WALL TIGHTLINE PIPE WITHIN AN OUTER PIPE CONSISTING OF SCHEDULE 40 PVC, ABS OR SUITABLE ALTERNATIVE AND RATED BY THE UNIFORM PLUMBING CODE.
- DISTRIBUTION PIPE. PERFORATED PIPE FOR CONVENTIONAL OWS DISPERSAL SYSTEMS MUST CONFORM TO THE MOST RECENT EDITION OF THE UNIFORM PLUMBING CODE, WHICH IS ADOPTED BY REFERENCE INTO THE COUNTY'S BUILDING ORDINANCES. THE PIPE DIAMETER MUST BE FOUR INCHES.

**D. DISPERSAL SYSTEM REQUIREMENTS**

- TRENCH CONSTRUCTION.  
 A) TRENCHES MUST BE PLACED IN UNDISTURBED EARTH, IN AN ACCESSIBLE AREA, AND SHALL NOT BE COVERED BY PAVING OR OTHER IMPERMEABLE OR COMPACTED SURFACE. NATURAL TOPOGRAPHY SHALL NOT BE GRADED TO MODIFY SLOPE.  
 B) THE BOTTOM OF A TRENCH MUST BE LEVEL, WITH A VARIATION OF NO MORE THAN 2 INCHES PER 100 LINEAL FEET OF TRENCH; TRENCHES SHALL BE ALIGNED PARALLEL TO THE GROUND SURFACE CONTOURS TO THE GREATEST EXTENT PRACTICABLE.  
 C) ADJACENT TRENCHES ON SLOPES MUST BE CONNECTED WITH A WATER TIGHT OVERFLOW LINE ("RELIEF LINE") IN A MANNER THAT ALLOWS EACH TRENCH TO BE FILLED WITH EFFLUENT TO THE DEPTH OF THE ROCK BEFORE THE SEWAGE FLOWS TO THE NEXT LOWER TRENCH. ALTERNATIVELY, A DISTRIBUTION BOX (D-BOX) MAY BE USED TO EQUALLY DIVIDE THE FLOW AMONGST THE TRENCHES, PROVIDED THE PROPOSED D-BOX IS OF A DESIGN APPROVED AND LISTED BY THE DEH PER PART 3.1.E (MATERIALS AND EQUIPMENT) OF THIS MANUAL. FOR SITES LOCATED ON SITES HAVING SLOPES OF LESS THAN 5%, A "GRID" DESIGN MAY BE USED IN ACCORDANCE WITH GUIDELINES PROVIDED UNDER AT THE END OF THIS SECTION (E.3.F).  
 D) TRENCHES MUST NOT BE EXCAVATED WHEN THE SOIL IS SO WET THAT SMearing OR COMPACTION OCCURS.  
 E) IN CLAY SOILS WHEN GLAZING OCCURS, THE TRENCH SURFACES MUST BE SCARIFIED TO THE DEPTH OF THE GLAZING AND THE LOOSE MATERIAL REMOVED.  
 F) ROCK MATERIAL IN THE TRENCH MUST BE WASHED AND FREE OF FINES, AND MUST BE COVERED WITH AN APPROVED FILTER FABRIC SILT BARRIER (GEOTEXTILE) PRIOR TO BACKFILLING WITH NATURAL EARTH.  
 G) A CAPPED INSPECTION RISER SHALL BE INSTALLED WITHIN EACH TRENCH TO PROVIDE A MEANS OF OBSERVING THE EFFLUENT LEVEL IN THE TRENCH.  
 H) EROSION CONTROL MEASURES SHALL BE IMPLEMENTED FOLLOWING INSTALLATION PER REQUIREMENTS OF SECTION B11-83(C) FOR ANY CONVENTIONAL DISPERSAL SYSTEM WHERE: (1) GROUND SLOPE EXCEEDS 20%; (2) ABOVE-GRADE COVER FILL IS ADDED; (3) DESIGN FLOW EXCEEDS 1,000 GPD; OR (4) A GRADING AND/OR DRAINAGE PERMIT IS REQUIRED FOR PROJECT SITE DEVELOPMENT PER DIVISION C12, CHAPTER III OF THE COUNTY CODE. THE PLAN SUBMITTAL FOR THE OWS SHALL INCLUDE AN EROSION CONTROL PLAN IN ACCORDANCE WITH REQUIREMENTS OF ORDINANCE SECTION B11-83(C).



**SEWAGE SYSTEM REVIEW**  
 SANTA CLARA COUNTY  
 DEPARTMENT OF ENVIRONMENTAL HEALTH  
 Project Description SR No. SR0853368  
 Future 6 bed SFD, 3 bed ADU, 2 bed JADU, 3 bed Ag Housing and additional toilet waste from ancillary non-habitable structures. OWS designed for maximum 2,330 gpd.

**APPROVAL RECOMMENDED**  
 With existing system (Existing No. \_\_\_\_\_)  
 Install/modify system per plan (describe below)  
 [Obtain a permit from Environmental Health]

New 5,000 gal septic tank, 5,000 gal pump tank, 486" x 486" dispersal fields.  
 R.E.H.S., Darius Haghghi, Date 09/05/2023  
 Not a Sewage System Permit. Plan is void if absent signature.

Note: Drinking Water System only approved to accommodate a maximum of 24 people per day, including residents, employees, volunteers, customers, etc.

**NOTICE**  
 DESIGN ENGINEER AND DEH REPRESENTATIVE TO BE PRESENT DURING FINAL SYSTEM TEST. ENGINEER TO SUBMIT WRITTEN CONFIRMATION ON PROPER INSTALLATION PRIOR TO FINAL.  
 Darius Haghghi - REHS  
 SCC, DEH

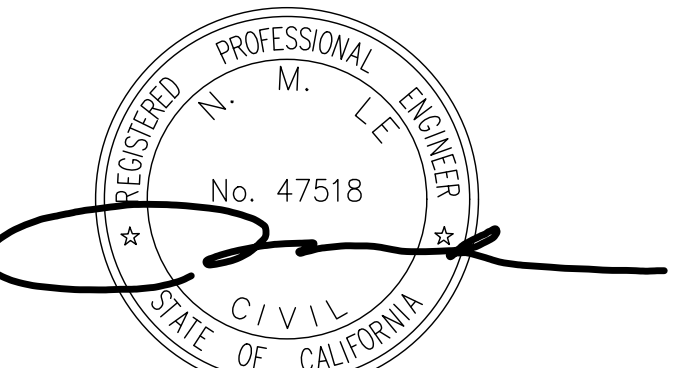
**OVERALL SITE PLAN**  
 1" = 120'

ENGINEERING  
 598 E Santa Clara St. #270  
 San Jose, CA 95112  
 Phone: (408) 806-7187

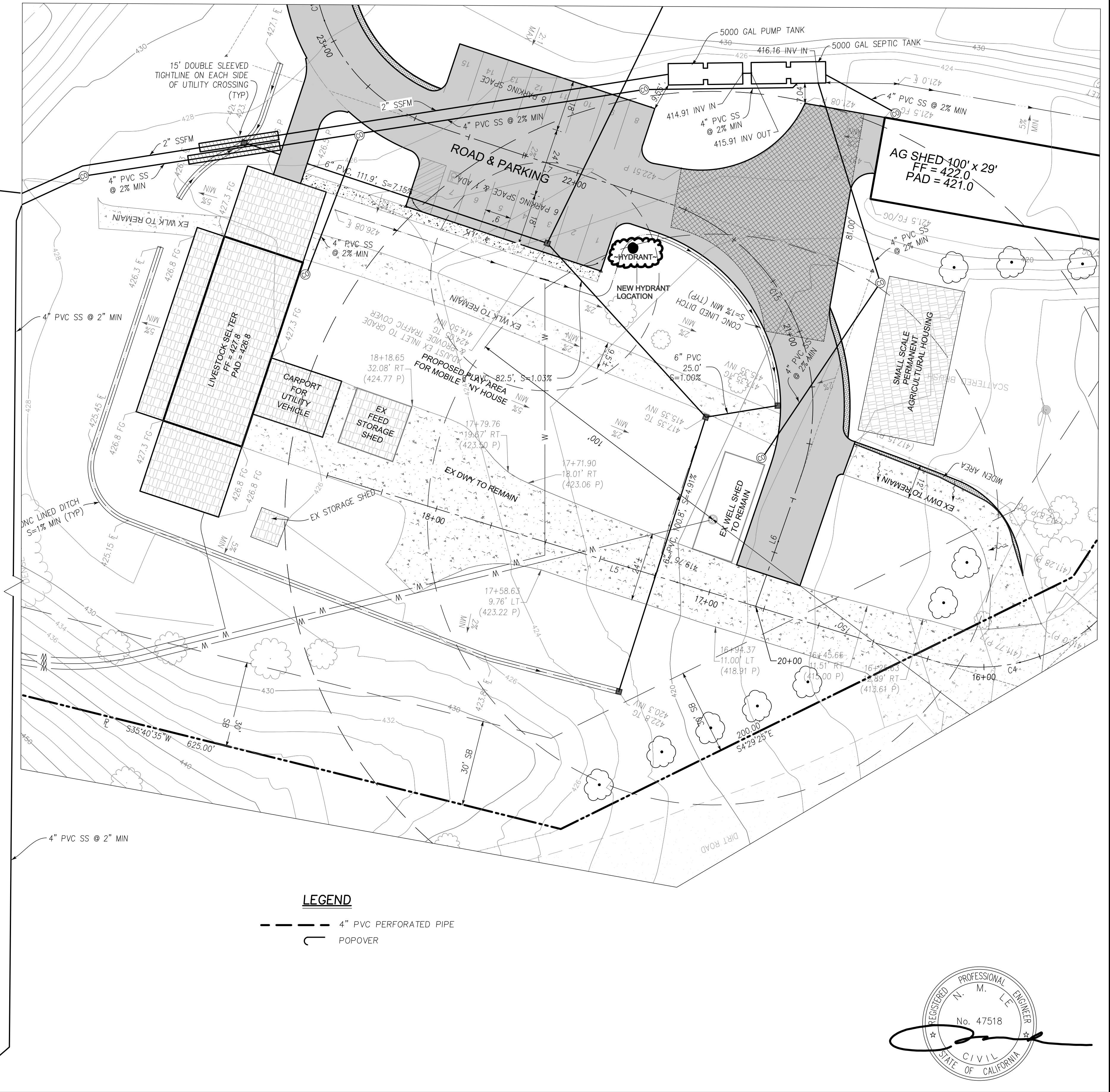
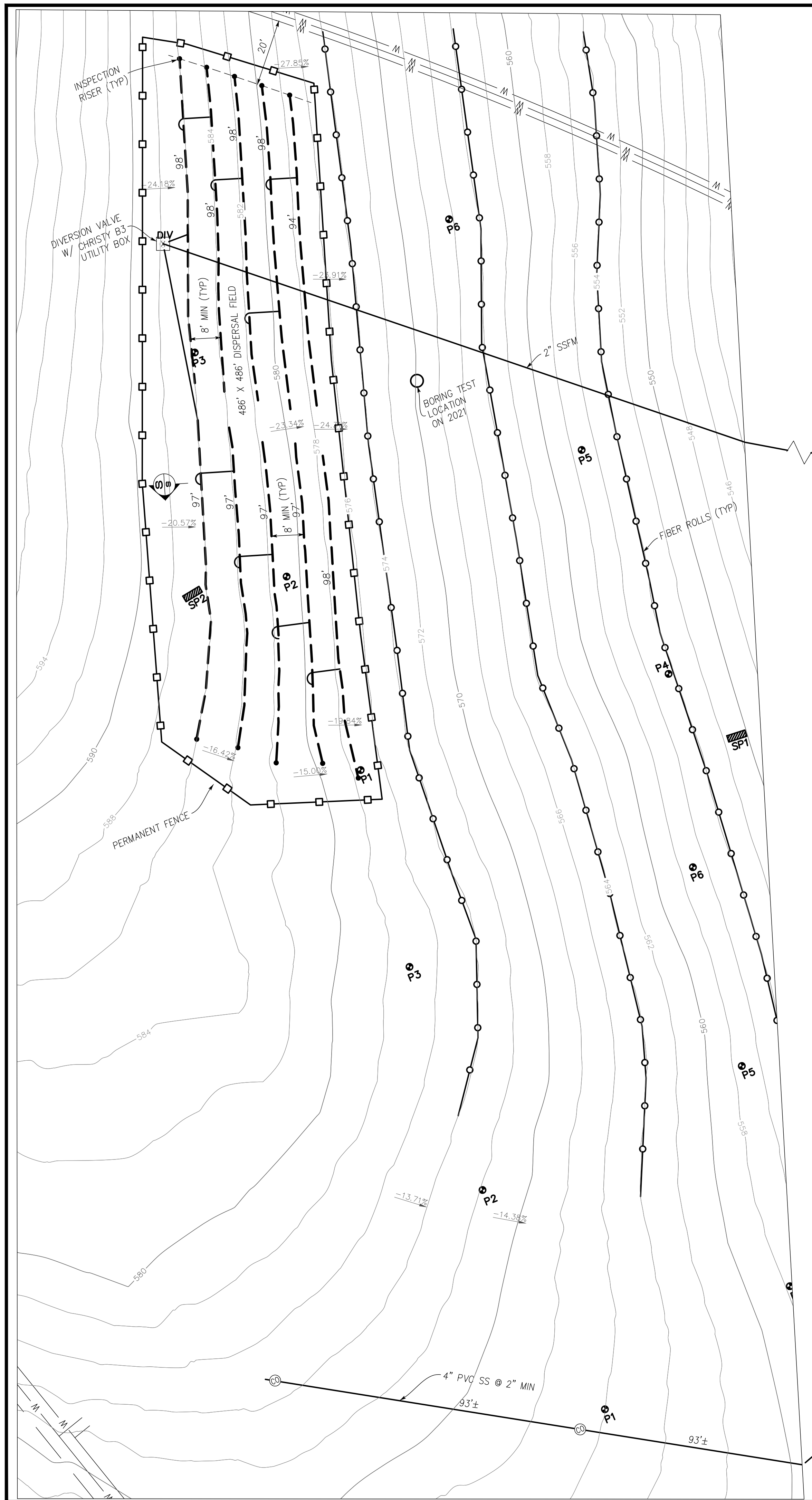
SEPTIC SYSTEM PLAN  
 LANDS OF GOKULAM LLC  
 2425 OLD CALAVERAS ROAD  
 APN 029-34-004

California  
 PROJECT NO.  
 CONTRACT NO.  
 Milpitas  
 3  
 1 of 3  
 SS1

DESIGNED DATE 12/09/22  
 DRAWN DATE 12/09/22  
 AS NOTED SCALE  
 CHECKED DATE 12/09/22  
 REVISIONS  
 BY DATE  
 APP'D DATE

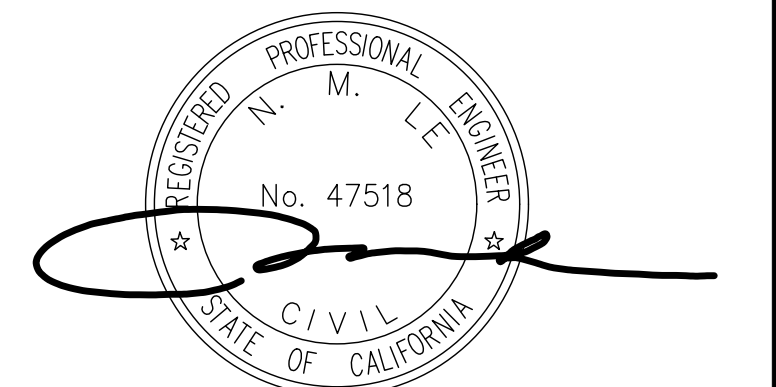






**LEGEND**

- 4" PVC PERFORATED PIPE
- POPOVER



DRAWING NO. <b>SS2</b>	SHT NO. <b>2</b>	OF <b>3</b>	MILPITAS	CONTRACT NO.	PROJECT NO.	California	SEPTIC SYSTEM PLAN LANDS OF GOKULAM LLC 2425 OLD CALAVERAS ROAD APN 029-34-004	 598 E Santa Clara St. #270 San Jose, CA 95112 Phone: (408) 606-7187	DESIGNED	DATE	DRAWN	DATE	CHECKED	DATE	BY	DATE	APPROVED	REVISIONS	NO.
									CT	12/09/22	CT	12/09/22		12/09/22					

APPLICANT : .

ROAD NAME : OLD CALAVERAS ROAD

FILE NO : .

County of Santa Clara - Department of Environmental Health  
SOIL PERCOLATION TEST RECORDED MEASUREMENTS

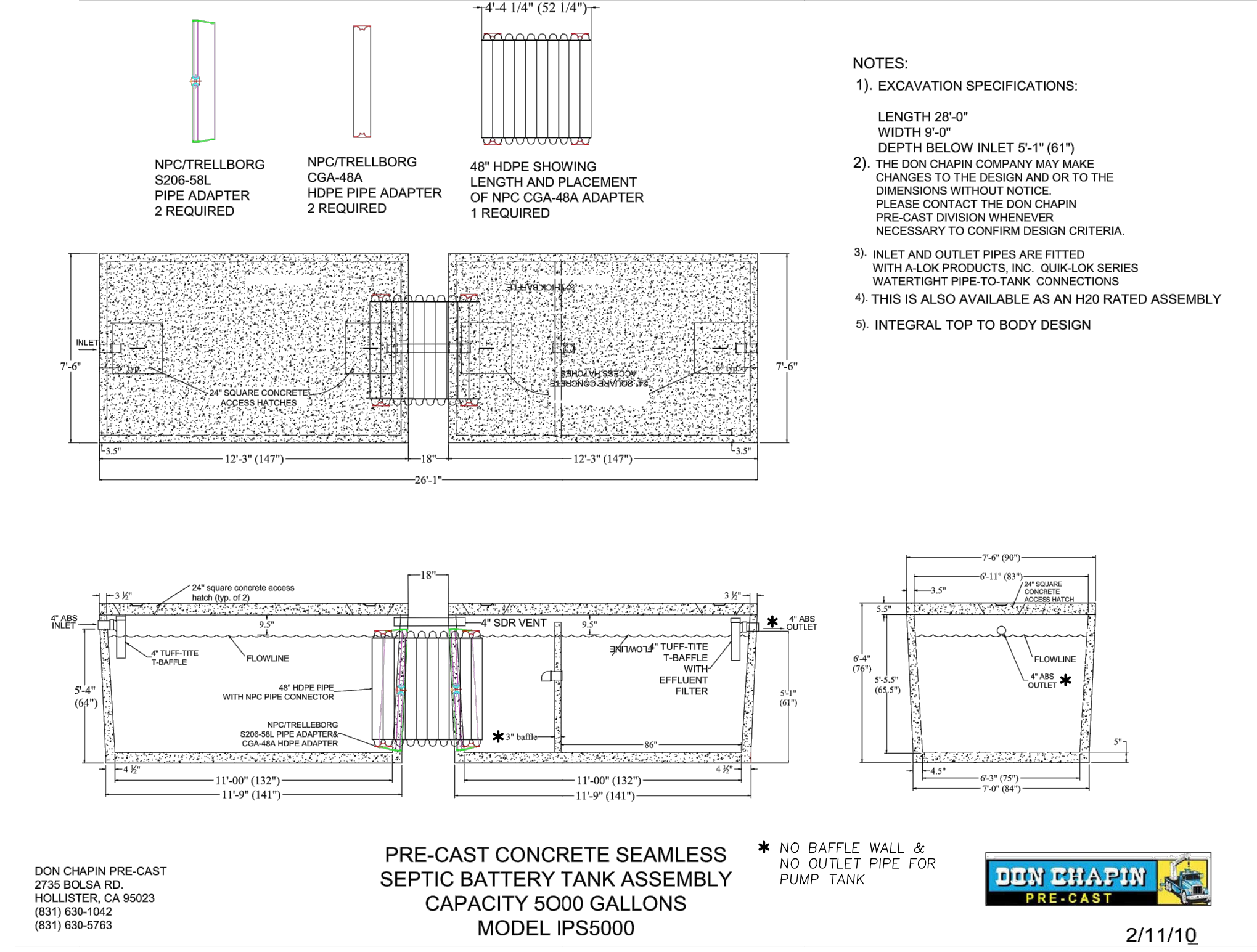
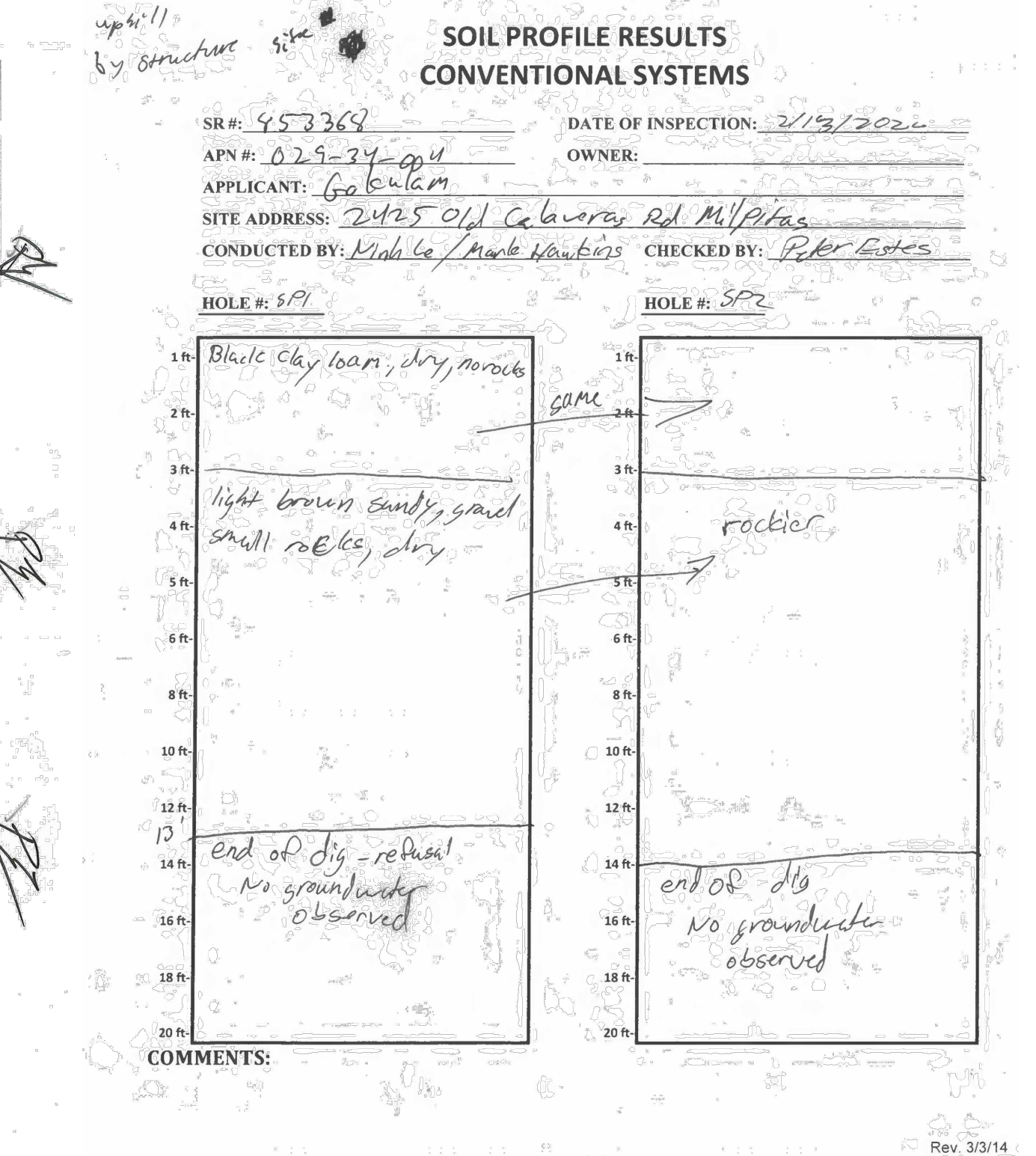
APN 029-34-004  
OWNER/APPLICANT: GOKULAM LLC  
LOCATION: 2425 OLD CALAVERAS RD, MILPITAS, CA 95032  
CONTACT PERSON: VINAY K. GOKULAM  
DATE: 3/6/20

HOLE #	DEPTH (FT)	START TIME	FINISH TIME	WATER LEVEL (FT)	AMIN	AINCH	MPI
1	3.0	10:15	10:25	10.5	10.5	10.5	0.0
2	3.0	10:30	10:40	10.5	10.5	10.5	0.0
3	3.0	10:45	10:55	10.5	10.5	10.5	0.0
4	3.0	11:00	11:10	10.5	10.5	10.5	0.0
5	3.0	11:15	11:25	10.5	10.5	10.5	0.0
6	3.0	11:30	11:40	10.5	10.5	10.5	0.0
Average MPI = 0.00 mpi							

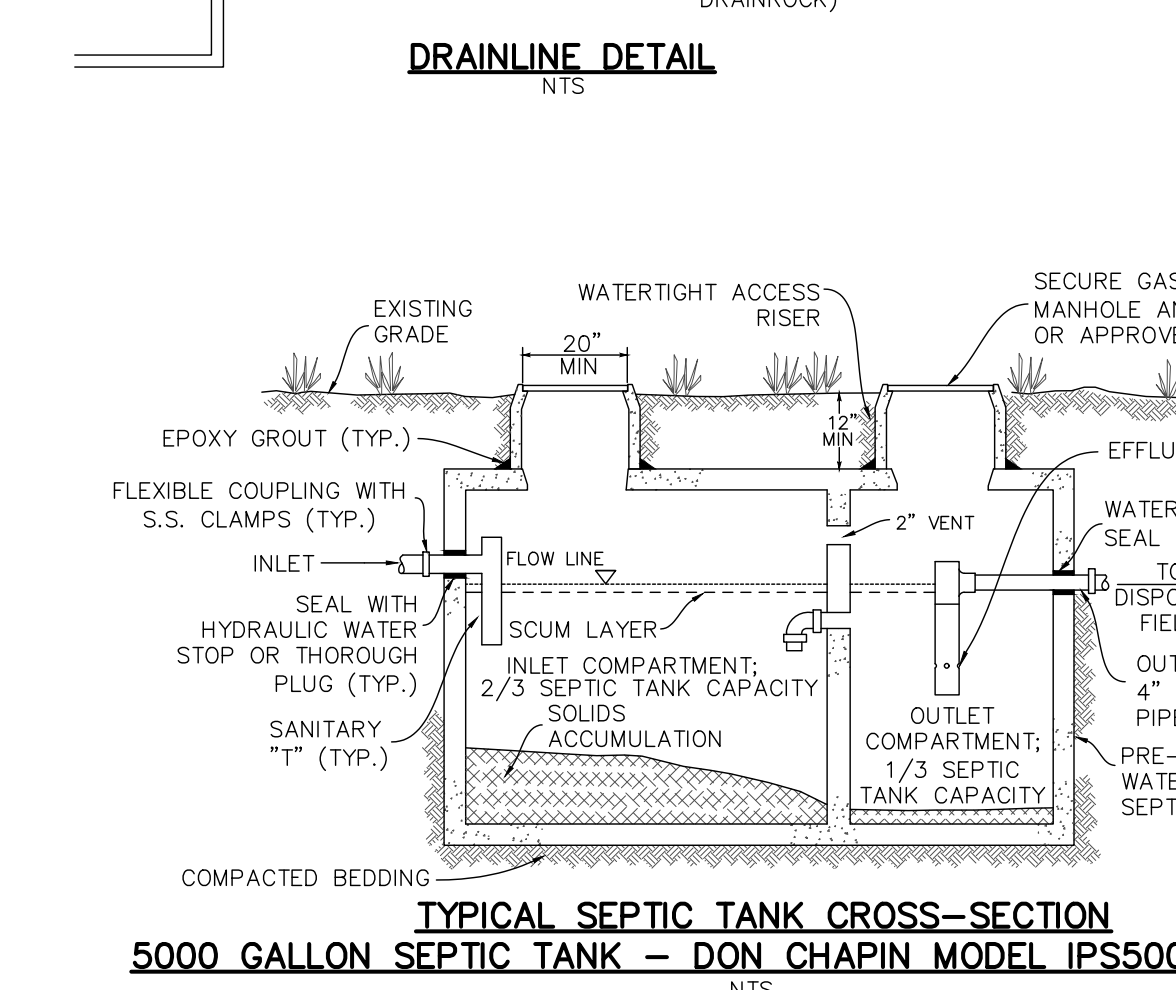
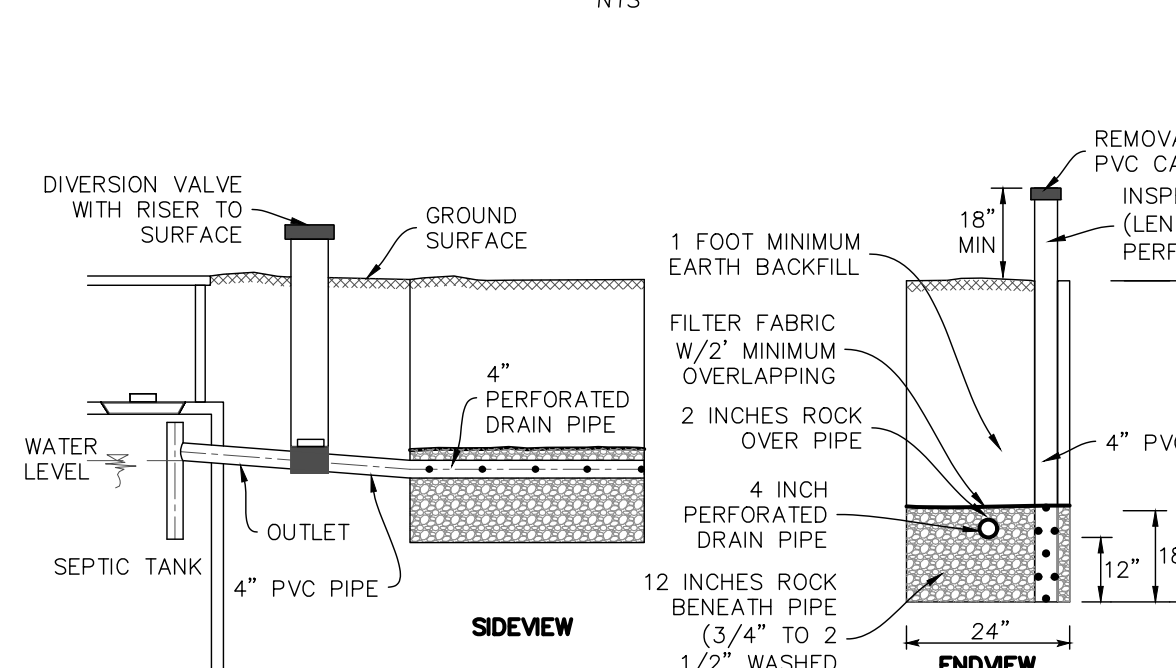
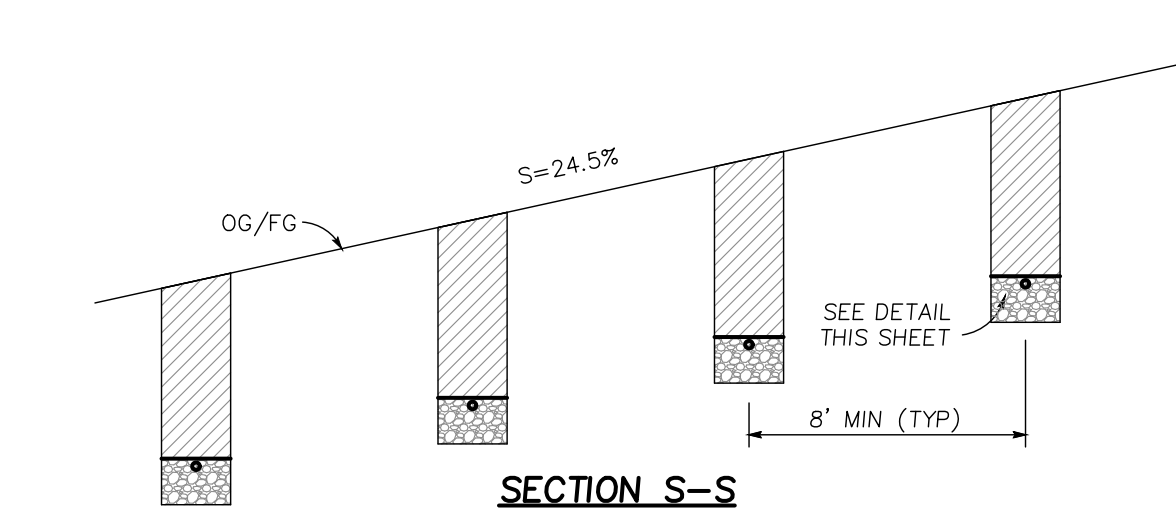
County of Santa Clara - Department of Environmental Health  
SOIL PERCOLATION TEST RECORDED MEASUREMENTS

APN 029-34-004  
OWNER/APPLICANT: GOKULAM LLC  
LOCATION: 2425 OLD CALAVERAS RD, MILPITAS, CA 95032  
CONTACT PERSON: VINAY K. GOKULAM  
DATE: 3/6/20

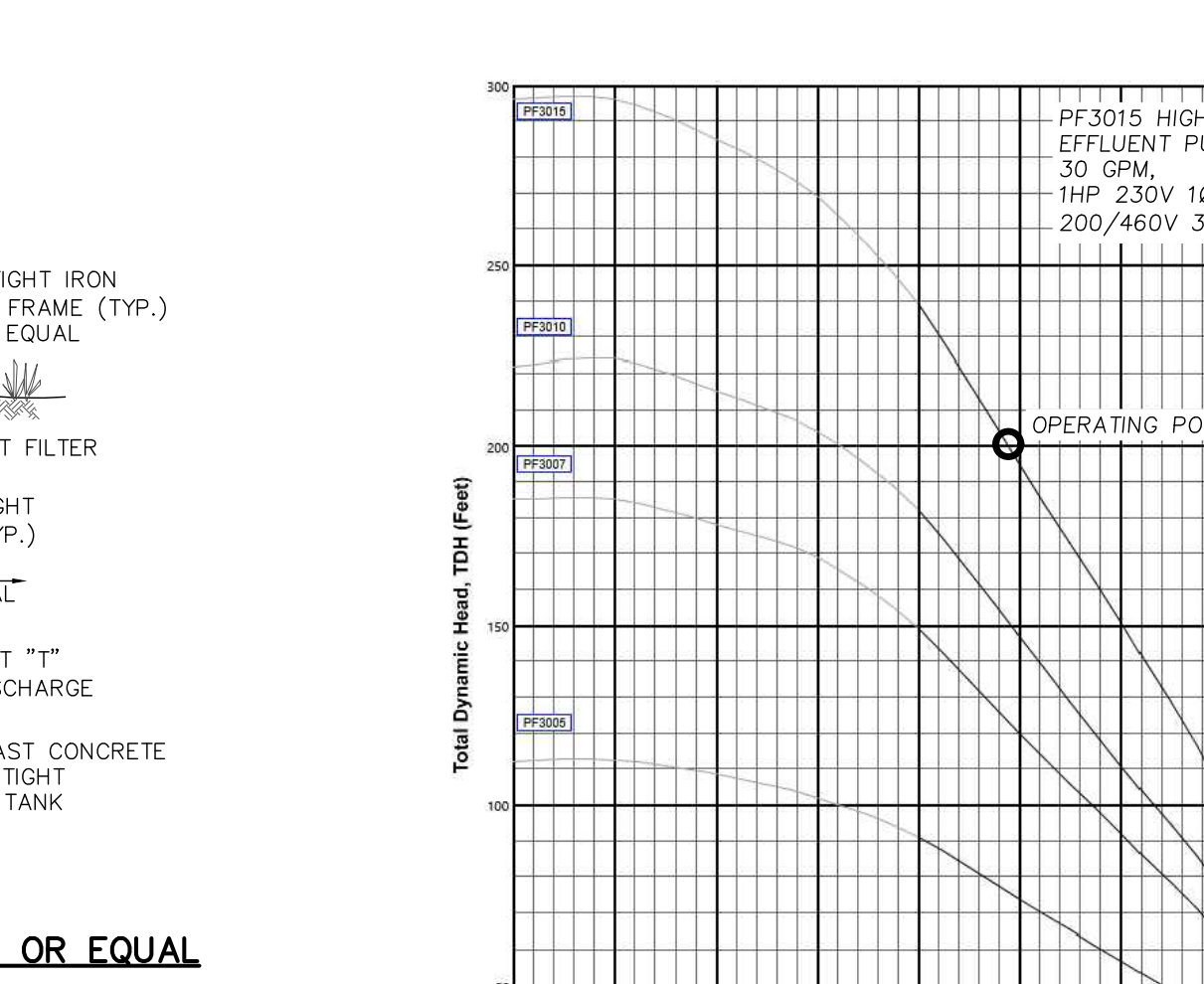
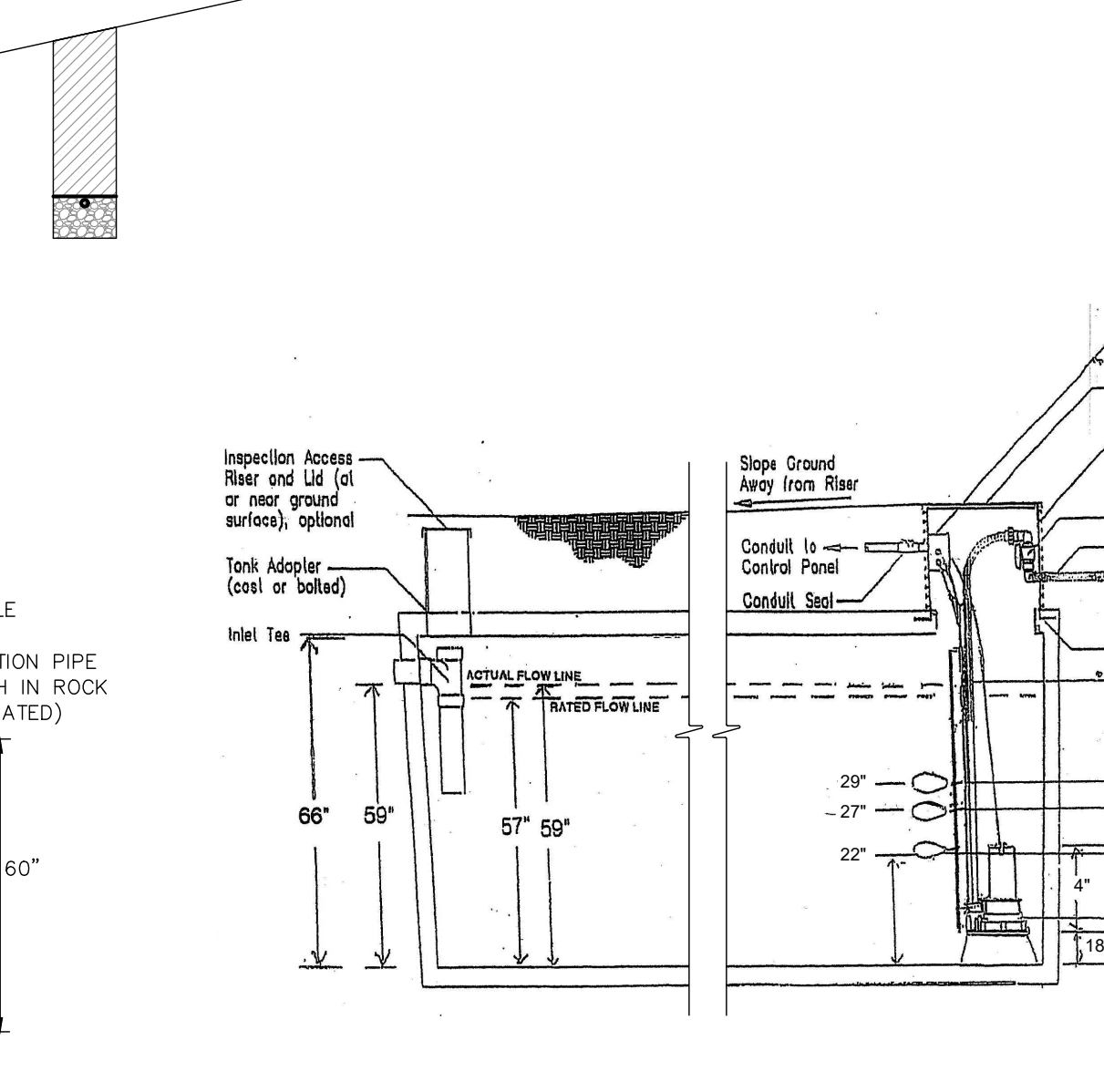
HOLE #	DEPTH (FT)	START TIME	FINISH TIME	WATER LEVEL (FT)	AMIN	AINCH	MPI
1	3.0	11:45	11:55	10.5	10.5	10.5	0.0
2	3.0	12:00	12:10	10.5	10.5	10.5	0.0
3	3.0	12:15	12:25	10.5	10.5	10.5	0.0
4	3.0	12:30	12:40	10.5	10.5	10.5	0.0
5	3.0	12:45	12:55	10.5	10.5	10.5	0.0
6	3.0	13:00	13:10	10.5	10.5	10.5	0.0
Average MPI = 0.00 mpi							



AVERAGE ADJUSTED STABILIZED MPI = 4.83 MPI



AVERAGE ADJUSTED STABILIZED MPI = 4.83 MPI



### PUMP SYSTEM WORKSHEET

Applicant: NINH LE / LC ENGINEERING Date: 10/18/22  
Owner: File No.:  
Site Address: 2425 OLD CALAVERAS ROAD City: Milpitas APN 029-34-004

Elevation of high drain field (ft): 587.77  
Elevation of pump off (ft): 411.82  
Total lift (ft head): 175.95 (A)

TIGHT LINE  
Diameter of tight line (inches): 2"  
Length of tight line from pump to upper drain field (ft): 1129' (B)

FITTINGS

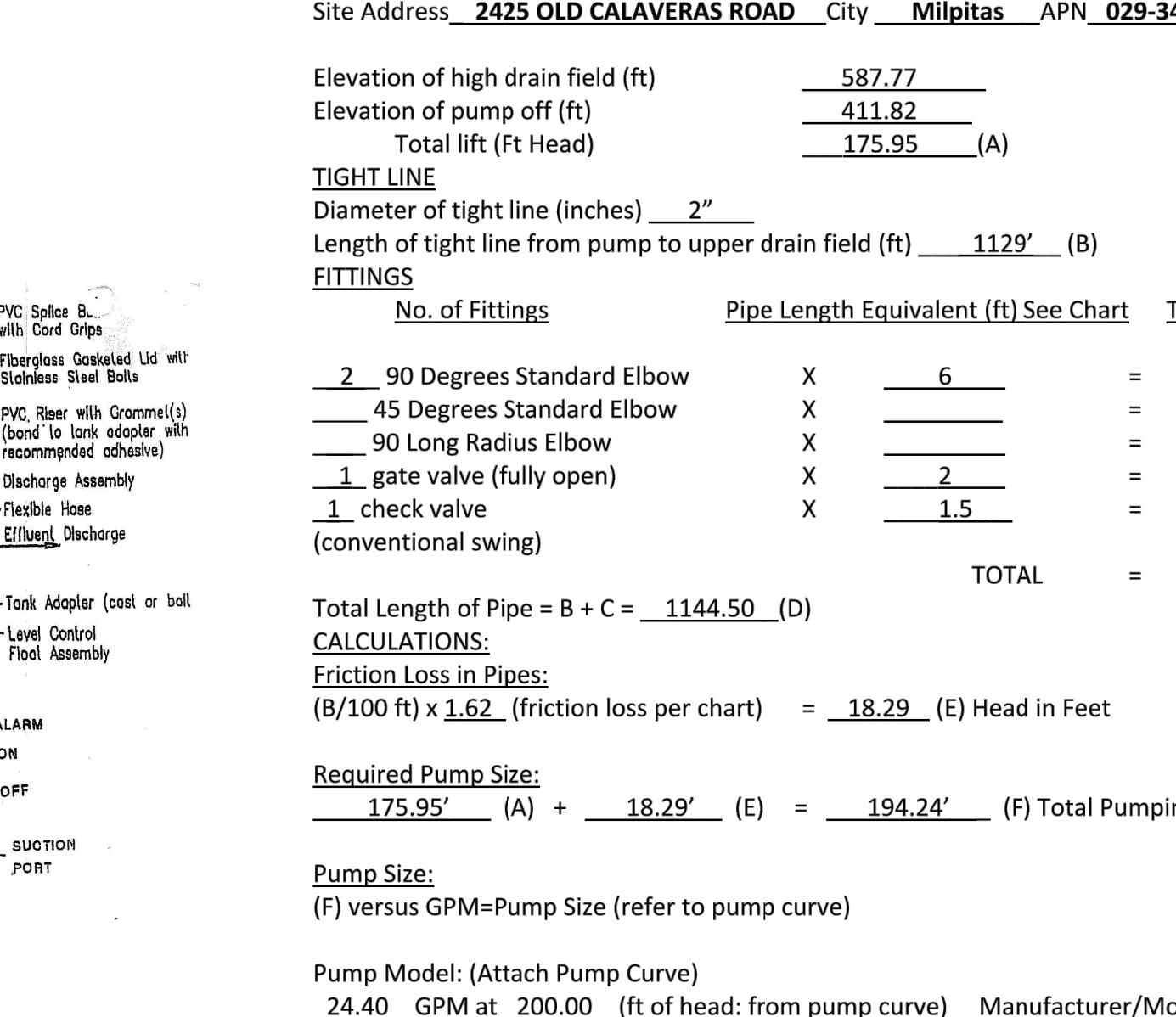
No. of Fittings	Pipe Length Equivalent (ft) See Chart	Total Pipe Equivalent (ft)
2 90 Degrees Standard Elbow	6	12
45 Degrees Standard Elbow		
90 Long Radius Elbow		
1 gate valve (fully open)	2	2
1 check valve (conventional swing)	1.5	1.5
<b>TOTAL</b>	<b>15.5</b>	<b>(C)</b>

Total Length of Pipe = B + C = 1144.50 (D)  
CALCULATIONS:  
Friction Loss in Pipes: (B/100 ft) x 1.62 (friction loss per chart) = 18.29 (E) Head in Feet  
Required Pump Size: 175.95' (A) + 18.29' (E) = 194.24' (F) Total Pumping Head in Feet

Pump Size: (F) versus GPM= Pump Size (refer to pump curve)  
Pump Model: (Attach Pump Curve)  
24.40 GPM at 200.00 (ft of head: from pump curve) Manufacturer/Model ORENCO/PE3015

Required Capacity in Gallons  
Dosing Volume: 475.77  
Storage Capacity (1 1/2 days): 3825  
Pump Displacement: 5  
Volume from tank bottom to pump base/off level: 1979.41  
Total tank capacity: 6394.57

Pump Tank Information  
Manufacturer Don Chapin Pre-cast Model: IPS5000 Size 98.37 Gallon per inch



### TABLE 3-4. CONVENTIONAL OWTS DISPERSAL TRENCH DESIGN

PARAMETER	REQUIREMENT
Trench length	Determined based on design flow and percolation rate; see below. Recommended maximum of 100' per trench.
Trench width	18 inches minimum; 36 inches maximum
Trench depth	2.5 feet minimum; 8 feet maximum
Minimum cover over rock, in inches*	12 inches
Depth of rock under pipe (minimum)*	12 inches
Depth of rock over pipe (minimum)*	2 inches
Size of rock *	3/4 to 2 1/2 inches
Spacing of trenches, center to center, in feet, minimum	2 times the depth of rock below pipe; 6 feet minimum, plus 1-foot additional spacing for every 5% increase in dispersal area ground slope above 20%

\*TABLE 3-1 WASTEWATER DESIGN FLOWS FOR SINGLE FAMILY RESIDENCES AND SECOND UNITS

No. of Bedrooms	Design Flow (gal/day)
1	150
2	300
3	450
4	525
5	600
6	675
>6	+75 per bedroom

TABLE 1. STANDARD WASTEWATER APPLICATION RATES-SEPTIC TANK EFFLUENT

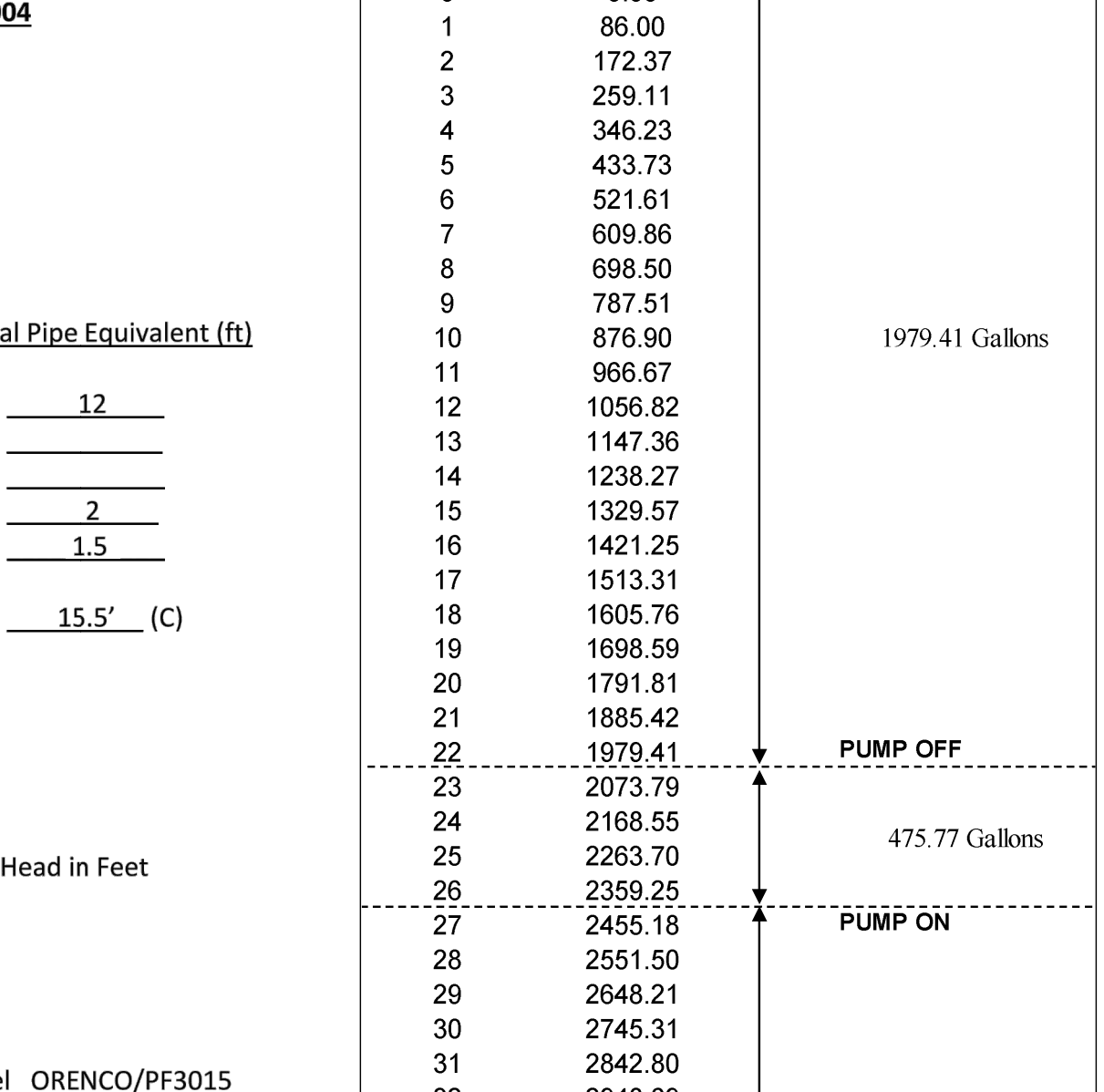
Percolation Rate (MPI)	Application Rate (gpd/ft²)
1 TO 5	1.20
6	1.12

\*COUNTY OF SANTA CLARA - DEH ONSITE SYSTEM MANUAL - MAY 2014

### 5000-gallon Pinnate Tank (volume to the bottom of the tank lid)

Height (inches)	Volume in Gallons (ignore baffles)
0	0.00
1	86.00
2	172.37
3	259.11
4	346.23
5	433.73
6	521.61
7	609.86
8	698.50
9	787.51
10	876.90
11	966.67
12	1056.82
13	1147.36
14	1238.27
15	1329.57
16	1421.25
17	1513.31
18	1605.76
19	1698.59
20	1791.81
21	1885.42
22	1979.41
23	2073.79
24	2168.55
25	2263.70
26	2359.25
27	2455.18
28	2551.50
29	2648.21
30	2745.31
31	2842.80
32	2940.69
33	3038.97
34	3137.64
35	3236.71
36	3336.17
37	3436.02
38	3536.27
39	3636.92
40	3737.96
41	3839.40
42	3941.24
43	4043.47
44	4146.11
45	4249.14
46	4352.57
47	4456.41
48	4560.64
49	4665.28
50	4770.32
51	4875.76
52	4981.61
53	5087.86
54	5194.51
55	5301.57
56	5409.04
57	5516.91
58	5625.19
59	5733.87
60	5842.97
61	5952.47
62	6062.38
63	6172.70
64	6283.43
65	6394.57

1979.41 Gallons (at 22 inches height)  
475.77 Gallons (between 22 and 27 inches height)



REGISTERED PROFESSIONAL ENGINEER  
N. M. L.E.  
No. 47518  
CIVIL  
STATE OF CALIFORNIA

ENGINEERING  
598 E Santa Clara St. #270  
San Jose, CA 95112  
Phone: (408) 806-7187

California

SEPTIC SYSTEM PLAN  
LANDS OF GOKULAM LLC  
2425 OLD CALAVERAS ROAD  
APN 029-34-004

DRAWING NO. SS3 OF 3  
SHT NO. 3 OF 3  
MILPITAS  
CONTRACT NO. PROJECT NO. DATE 12/09/22  
DESIGNED BY DATE 12/09/22  
DRAWN BY DATE 12/09/22  
AS NOTED BY DATE 12/09/22  
SCALE BY DATE 12/09/22  
CHECKED BY DATE 12/09/22

# ATTACHMENT A: PROJECT DETAILS

## PROJECT DATA

1. SITE ADDRESS:	2425 OLD CALAVERAS ROAD, MILPITAS, CA 95035
2. APN:	029-34-004
3. LOT SIZE:	78.93 ACRES
4. ZONING:	HS-d2 (100%)
5. NEW IMPERVIOUS SURFACES:	
(N) STRUCTURAL:	9,456 SF
(N) ACCESS ROAD:	15,914 SF
(N) WALKWAY:	438 SF
TOTAL (N) IMPERVIOUS AREA:	25,808 SF
6. EXISTING IMPERVIOUS SURFACES:	
(E) STRUCTURAL TO REMAIN:	920 SF
(E) DRIVEWAY TO REMAIN:	19,286 SF
(E) WALKWAY TO REMAIN:	2,090 SF
TOTAL IMPERVIOUS AREA:	48,104 SF

S72°51'07"W 705.00'

GRAPHIC SCALE  
0 50 100 200  
( IN FEET )  
1 inch = 100 ft.

APN 029-34-003

419 M 43  
APN 029-34-004  
3,438,130± SF  
(78.93 ACRES)

APN 029-34-002

OLD CALAVERAS ROAD  
(COUNTY MAINTAINED ROAD)

STUDY AREA (APPROX. 79 ACRES)	
<b>SCVHP LAND COVER TYPE</b>	
BARREN (63.77 ACRES)	
COASTAL AND VALLEY FRESHWATER MARSH (0.05 ACRE)	
GRAIN, ROW-CROP, HAY AND PASTURE, DISKED / SHORT-TERM FALLOWED (12.30 ACRES)	
MIXED RIPARIAN FOREST AND WOODLAND (1.40 ACRES)	
POND (0.47 ACRE)	

### LEGEND

	TEMPORARY DISTURBANCE AREA
	PERMANENT DEVELOPMENT AREA

DRAWING NO. <b>E1</b>	SHEET NO. <b>18</b> OF <b>18</b>	FILE NO.	PROJECT NO.	CONTRACT NO.	MILPITAS	CALIFORNIA	TEMPORARY AND PERMANENT LANDCOVER LANDS OF 2425 OLD CALAVERAS ROAD APN 029-34-004	ENGINEERING	598 E Santa Clara St. #270 San Jose, CA 95112 Phone: (408) 606-7187 Fax: (408) 583-4006	DESIGNED	DATE	BY	DATE	APPROVED	DATE	REVISIONS	NO.
										CT	12/08/20	BRN	12/08/20	1"	100'	12/08/20	

APPLICANT :

ROAD NAME : OLD CALAVERAS ROAD

FILE NO :