

(E)/DEMOLITION SITE PLAN AND HORIZONTAL CONTROL PLAN

SCALE 1/8"=1'-0"

The horizontal control plan is prepared based on the Boundary Survey prepared by the Project's Licensed Surveyor

GENERAL NOTES

- CBC California Building Code 2019
- CRC California Residential Code 2019
- CEC California Electrical Code 2019
- CPC California Plumbing Code 2019
- CALGreen California Green Building Standards Code 2019
- ASCE 7 Minimum Design Loads and Associated Criteria for Buildings...2016
- SDPWS Special Design Provisions for Wind & Seismic 2015

THE GENERAL CONTRACTOR SHALL CAREFULLY INSPECT ALL EXCAVATION WORK FOR COMPLIANCE TO REQUIREMENTS OF THE PREVAILING BUILDING CODE. SHOULD ANY CONDITIONS APPEAR QUESTIONABLE, SUCH AS: EXCESSIVE DAMPNESS, GRANULAR COMPOSITION, SLOUGHING, SOFTNESS OR OTHER DEFECTS, THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT.

ALL INFORMATION PERTAINING TO THE SITE SHALL BE THE OWNER'S RESPONSIBILITY. THIS INFORMATION SHALL INCLUDE: LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, SITE SURVEY, TOPOGRAPHIC SURVEY, POSITION OF EXISTING IMPROVEMENTS, SOILS REPORT, AND ALL RELATED DATA. THESE DOCUMENTS HAVE BEEN PREPARED ON THE INFORMATION PROVIDED TO THE ARCHITECT.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.

NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED BY THE ARCHITECTURAL DOCUMENTS, AND THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

THE OWNER & CONTRACTOR AGREES TO INDEMNIFY, DEFEND, & HOLD THE (VMK DESIGN GROUP), HARMLESS FROM AND AGAINST ANY AND ALL CLAIMS, DAMAGES, LOSSES, COSTS, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES AND ALL LEGAL EXPENSES AND FEES INCURRED ON APPEAL, AND ALL INTEREST THEREON, ACCRUING OR RESULTING TO ANY AND ALL PERSONS, FIRMS, OR ANY OTHER LEGAL ENTITY ON ACCOUNT OF ANY DAMAGE TO PROPERTY OR PERSONS, INCLUDING DEATH, ARISING OUT OF THE PERFORMANCE OR NON-PERFORMANCE OF OBLIGATIONS UNDER THIS AGREEMENT, EXCEPT WHERE THE ARCHITECT IS FOUND TO BE SOLELY LIABLE FOR SUCH DAMAGES OR LOSSES BY A COURT OR FORUM OF COMPETENT JURISDICTION.

THE GENERAL CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT SUPPLIED BY THE OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER, PRIOR TO THE START OF RELATED WORK.

DO NOT ACCUMULATE TRASH OR DEBRIS ON SITE. PROMPTLY REMOVE MATERIAL FROM SITE PER LOCAL ORDINANCE.

THESE DRAWINGS ARE, AND SHALL REMAIN, THE PROPERTY OF THE ARCHITECT. ANY USE OR REPRODUCTION IN WHOLE OR PART BY ANYONE WITHOUT PERMISSION OF THE ARCHITECT, SHALL BE STRICTLY FORBIDDEN.

ALL DIMENSIONS GIVEN ARE TO FACE OF STUD UNLESS IT IS IMPORTANT THAT ALL DELIVERY TIME BE CHECKED AND HOLDS PLACED ON MATERIALS AS REQUIRED TO MEET CONSTRUCTION SCHEDULE.

THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIALS AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND/OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS.

CONTRACTOR TO SEAL ALL PENETRATIONS, (E.G. FROM PIPES, DRILLED HOLES, ETC.), BETWEEN FLOORS AND WALLS.

SCRIBE ALL FINISH MILLWORK TO WALLS, PARTITIONS, AND CEILINGS. PROVIDE SCRIBE MOULDING AS REQUIRED TO FINISH ALL MILLWORK TO WALLS, PARTITIONS, AND CEILINGS.

SEAL ALL CONTROL JOINTS WHERE EXPOSED TO VIEW. SEALANT COLOR SHALL MATCH THE COLOR OF THE FINISH MATERIAL.

PROVIDE WOOD BLOCKING IN ALL STUD WALLS AT MILLWORK AND SPECIAL ITEM ANCHORING POINTS.

IT IS THE INTENT OF THE DRAWINGS THAT ALL EXPOSED SURFACES RECEIVE FINISHES AS INDICATED ON THE DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE COORDINATION OF THE COMPLETE FINISH-OUT OF THE PROJECT. ANY SURFACES WHICH DO NOT HAVE A SPECIFIC FINISH NOTED, NOR ARE NOTED TO REMAIN UNFINISHED, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND FINISHED PER THE FINISH SCHEDULE

GYPSUM BOARD WALLS AND CEILINGS SHALL HAVE A SMOOTH SURFACE PROVIDE US DUROCK CEMENT BOARD AT ALL AREAS SUBJECT

ALL GRADED SURFACES AND MATERIALS, WHETHER FILED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WETTED, PROTECTED OR CONTENTED IN SUCH A MANNER AS TO PREVENT ANY NUISANCE FROM DUST, OR SPILLAGE UPON ADJOINING PROPERTY OR STREETS.

EQUIPMENT AND MATERIALS ON THE SITE SHOULD BE USED IN SUCH A MANNER AS TO AVOID EXCESSIVE DUST AND NOISE. ROADWAYS ON THE SITE SHALL BE UTILIZED TO PREVENT EXCESSIVE DUST. DIESEL OIL SHALL NOT BE UTILIZED TO LUBRICATE EQUIPMENT OR PARTS ON SITE.

VIEW. CONDITIONS SHALL BE PLACED IN A WEATHERPROOF COVER, AND SHOULD INCLUDE THE TELEPHONE NUMBER OF THE DEVELOPER.

IF REQUIRED:
A FIRE SPRINKLER SYSTEM FOR THE ENTIRE HOUSE SHALL BE DESIGNED AND INSTALLED ACCORDING TO ALL FIRE CODES AND ORDINANCES A LICENSED FIRE SPRINKLER CONTRACTOR. A COPY OF THE FIRE SPRINKLER SYSTEM DESIGN PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT

SITE NOTES

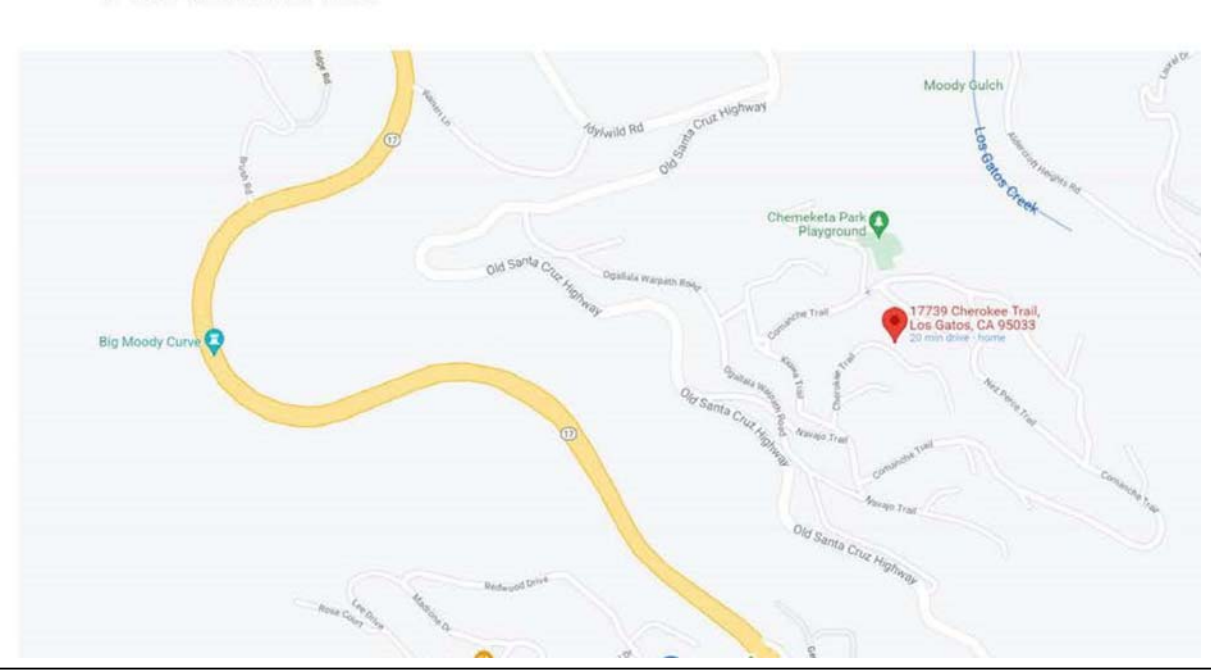
PROVIDE ADEQUATE MEANS FOR COLLECTING AND DIRECTING SUB-SURFACE WATERS TO THE STREET GUTTER, STORM DRAIN, OR OTHER APPROVED DRAIN

THE SERVICE COMPANIES PROVIDING NATURAL GAS, ELECTRICITY, WATER, CABLE, AND TELEPHONE SERVICE SHALL BE CONSULTED ON THE LOCATION AND THE SCHEDULING OF THIS WORK. THE SERVICE ENTRANCE AND THE METER LOCATION OF THE CITY.

SHALL BE APPROVED BY THE" VMK DESIGN GROUP" PRIOR TO THEIR INSTALLATION. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE STANDARDS

THE FOLLOWING CODE COMMENT REFLECT A REVIEW OF BUILDING PLANS ONLY. IF SITE-RELATED COMMENTS ARE APPLICABLE TO THIS PROJECT, THEY WILL BE GENERATED BY OTHERS (E.G., TOWN ENGINEERING, PUBLIC WORKS, HEALTH, ETC.) ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE.

LOCATON MAP



PLANNING DATA

APN #	558-15-055
LOT AREA:	
NET	14,810 SQ.FT 0.3 ACRES
Computed Size (GIS):	15,694 sq. ft. /0.4 acres
ZONING:	HD
OCCUPANCY GROUP	R-3/U
TYPE OF CONSTRUCTION:	V-B
(E) UNIT IS NON SPRINKLERED	
PROPERTY ONER:	Mr. MITYUGOV RESIDENCE
EXISTING USE:	SINGLE FAMILY (4 bedroom)
PROPOSED USE:	SINGLE FAMILY (4 bedroom)
	ACCESSORY DWELLING UNIT
SETBACKS:	
FRONT-SIDE	30'
REAR	10' & 15'
	30'
BUILDING HEIGHT :	
ALLOWABLE	35'-0"
PARKING (N)	(2) TWO CARS
ADU PARKING	(1) CAR
EXISTING HOUSE AREA:	= N/A
NEW HOUSE :	
NEW FIRST FLOOR:	= 1,273 S.F.
NEW SECOND FLOOR:	= 1,915.0 S.F.
TOTAL (N) CONDITION SPACE	= 3,188.0 S.F.
(N) GARAGE	= 462 S.F.
TOTAL (N) W/GARAGE	= 3,650.0 S.F.
FIRST FLOOR DECKING:	= 413.0 S.F.
SECOND FLOOR DECKING:	= 58.0 S.F.
NEW DWELLING UNIT	= 765.0 S.F.
ADU CARPORT	= 210.0 S.F.

DRAWING INDEX

- ARCHITECTURAL :
- A-1.0 (E) / Demolition Site Plan, Compliance Data ,
 - A-1.1 Proposed Site Plan,
 - A-2.0 (N) ADU Floor Plan
 - A-2.1 Proposed Main Floor plan
 - A-2.2 Proposed Upper Floor plan General Note.
 - A-3.0 Proposed Roof Plan
 - A-5.0 Proposed Elevation
 - A-5.1 Proposed Elevation
 - A-6.0 Sections "A-A" "C-C" "D-D" & Details.
- (SURVEY PLANS :
- TP-1.0 Topography & Horizontal Control Plan
- CIVIL PLAN :
- C-1.0 General Conditions
 - C-2.0 Drainage and Grading Plan
 - C-3.0 Slope Analysis
 - C-4.0 Sections: "A-A" : "B-B"
 - C-5.0 Erosion Control Plan
 - C-6.0 Cut/Fill Summary
 - BMP-1
 - BMP-2

DESCRIPTION OF THE WORK

- NEW FOUR (4) BEDROOM HOUSE W/ 3 1/2 BATHROOMS DEN AND TWO CAR GARAGE
- NEW ONE (1)BEDROOM ONE (1) BATHROOM ACCESSORY DWELLING UNIT AND CARPORT

REVISION	BY
Planning	
1	09-30-22 VMK
2	12-07-22 VMK
Building	

VMK DESIGN GROUP

CONCEPTUAL DESIGN • PLANNING • INTERIOR

WWW.VMKDESIGNGROUP.COM

17739 Cherokee Trail (Stevens Creek Blvd)

3777 STEVENS CREEK BLVD.

SANTA CLARA CA 95051

MITYUGOV RESIDENCE

17739 CHEROKEE TRAIL LOS GATOS

CA 95033-8817

DATE	11/10/21
SCALE	1/4"=1'-0"
DRAWN	VMK
JOB	VLAD
SHEET	A-1.0
OF	SHEETS



SCALE 1/8"=1'-0"

MITYUGOV RESIDENCE		DATE		11/10/21
17739 CHEROKEE TRAIL LOS GATOS		SCALE		1/4"=1'-0"
CA 95033-8817		DRAWN		VMK
		JOB		V.LAD
SHEET		A-1.1		OF SHEETS

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BATHROOM

- The mixing valve in a shower (including over a tub) shall be pressure balancing set at a maximum 120±° F. The water–filler valve in bathtubs/whirlpools shall have a temperature limiting device set at a maximum of 120±° F. The water heater thermostat cannot be used to meet these provisions. (CPC 408.3, 409.4)
- New or reconfigured shower stalls shall be a minimum finished interior of 1,024 square inches, be capable of encompassing a 30 inch diameter circle. Any doors shall swing out of the enclosure have a clear opening of 22 inches minimum. (CPC 408.5, 408.6)
- Shower stalls and bathtubs with shower heads installed, shall have walls finished with a nonabsorbent surface for a minimum of 6 feet above the floor. (CBC 1209 and CRC R307.2)
- Hydro–massage tubs (i.e. Jacuzzi tubs) shall have access to the motor, be supplied by a GFCI protected dedicated circuit, and be listed by a recognized testing agency (i.e. UL). All metal cables, fittings, piping, or other metal surfaces, within 5 feet of the inside wall of the Hydromassage tub shall be properly bonded. Hydro–massage tubs shall be bonded with a minimum #8 AWC bare copper wire and the bonding shall be accessible. (CEC 680.70)
- Underlayment material used as backers for wall tile or solid surface material in tub and shower enclosures shall be either glass mat/fiber–reinforced gypsum backing panels (i.e. DensShield, Dens Armor Plus), non–asbestos fiber–cement/fiber mat back board (i.e. Hardbacker, cement board). All material shall be installed in accordance with the manufacturer’s recommendations. Water–resistant gypsum board (i.e. purple board) may be used when attached directly to studs, overlaid with minimum Grade B building paper and wire lath. Tile shall be attached to the wire lath. (CBC 2509 and CRC R702.4)
- Shower floors shall be lined with an approved shower pan or an on–site built watertight approved lining (i.e. hot mop). On–site built shower linings shall extend a minimum of 3 inches vertically up the wall and shall be sloped ¼”± per foot to weep holes. (CPC 408.7)
- When a curb is provided at a shower, it shall be a minimum of 1 inch above the shower floor and between 2 inches and 9 inches above the top of the drain. A watertight nailing flange that extends a minimum of 1 inch high shall be installed where the shower floor meets the vertical surface of the shower compartment. The finished floor of the shower compartment shall be uniformly sloped between 1/8” and 1/2” per foot towards the drain. (CPC 408.5)
- Where a curb is not provided at the shower compartment, the entire bathroom shall be considered a wet location. The flooring in the entire bathroom shall comply with the water proofing requirements described above for shower floors (previous bullet) and all lighting fixtures shall be approved for wet locations.
- If installing a tub next to an existing fire rated wall/walls (i.e. between apartment units or townhomes, etc.) the integrity of the fire rated wall/walls construction shall be maintained (i.e., fire–blocking shall be installed in the wall/walls per R302.11 and R302.11.1 of the CRC and shall be constructed per CRC 302 Fire–Resistant Construction. Continuity of such fire–resistancecerated wall/walls shall be per R302.2.3 of the CRC. (i.e., continuity of protection shall be full height from floor to ceiling, etc.)
- A Fire Permit “FP” shall be required when remodeling structures that have existing fire sprinklers. A fire inspection shall be required prior to a building rough inspection all trades and a fire final inspection shall be required before a building final can be signed–off. Fire inspectors shall sign–off all fire inspections on the building permit.

- When a curb is provided at a shower, it shall be a minimum of 1 inch above the shower floor and between 2 inches and 9 inches above the top of the drain. A watertight nailing flange that extends a minimum of 1 inch high shall be installed where the shower floor meets the vertical surface of the shower compartment. The finished floor of the shower compartment shall be uniformly sloped between 1/8” and 1/2” per foot towards the drain. (CPC 408.5)
- Where a curb is not provided at the shower compartment, the entire bathroom shall be considered a wet location. The flooring in the entire bathroom shall comply with the water proofing requirements described above for shower floors (previous bullet) and all lighting fixtures shall be approved for wet locations.
- If installing a tub next to an existing fire rated wall/walls (i.e. between apartment units or townhomes, etc.) the integrity of the fire rated wall/walls construction shall be maintained (i.e., fire–blocking shall be installed in the wall/walls per R302.11 and R302.11.1 of the CRC and shall be constructed per CRC 302 Fire–Resistant Construction. Continuity of such fire–resistancecerated wall/walls shall be per R302.2.3 of the CRC. (i.e., continuity of protection shall be full height from floor to ceiling, etc.)
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Water Closet Requirements

- The water closet shall have a clearance of 30 inches wide (15 inches on center) and 24 inches in front. (CPC 402.5)
- Where the water closet (or other plumbing fixture) comes into contact with the wall or floor, the joint shall be caulked and sealed to be watertight. (CPC 402.2)
- Within a portion of wall enclosing a tub/shower where the bottom exposed edge of the glazing is less than 60 inches above the standing surface and drain inlet.
- Within 60 inches of a tub/shower where the glazing is less than 60 inches above the walking surface.
- Glazing on the hinge–side of an in–swinging door that is installed perpendicular to a door in a closed position and within 24 inches of the door.

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- Glazing on the hinge–side of an in–swinging door that is installed perpendicular to a door in a closed position and within 24 inches of the door.

Tempered Glazing

- Tempered glazing shall be installed in the locations listed below. Tempered glazing shall be permanently identified by a manufacturer marking that is permanently applied and cannot be removed without being destroyed (e.g. sand blasted, acid etched, ceramic fired, laser etched, or embossed).
- Within a portion of wall enclosing a tub/shower where the bottom exposed edge of the glazing is less than 60 inches above the standing surface and drain inlet.
- Within 60 inches of a tub/shower where the glazing is less than 60 inches above the walking surface.
- Glazing on the hinge–side of an in–swinging door that is installed perpendicular to a door in a closed position and within 24 inches of the door.

Electrical and Lighting Requirements

- All receptacles shall be GFCI protected and tamper–resistant (TR). If any new/additional outlets are installed, the bathroom shall have a dedicated 20–amp circuit. (CEC 210.8, 210.11, 406.12)
- Exhaust fans with a minimum ventilation rate of 50 CFM are required in all bathrooms, even if an operable window is installed. Exhaust fans and lighting shall have separate control switches (even if a combination unit is installed). The exhaust fan may need to be supplied by a GFCI protected circuit based on the manufacturer’s requirements. (CEES 150.0(k), 150.0(o))
- Lighting fixtures located within 3 feet horizontally and 8 feet vertically of the bathtub rim or shower stall threshold shall be listed for a damp location, or listed for wet locations where subject to shower spray. (CEC 410.10)
- Receptacles exceeding 20 amperes in a wet location shall have an enclosure that is weatherproof when the attachment plug is removed. (CEC 406.9(B)2)
- Receptacles shall not be installed within or directly over a bathtub or shower stall. (CEC 406.9(C))
- All installed lighting fixtures shall be high efficiency.
- At least one light fixture shall be controlled by a vacancy sensor switch that requires a manual on activation (does not automatically turn on) and automatically turns off within 30 minutes after the room is vacated. All other light fixtures shall be controlled by a vacancy sensor or dimmer.

- All light fixtures shall contain bulbs that are labeled as JAB–2019 (JAB–2019–E for sealed lens or recessed fixture). Screw base bulbs are permitted, except in recessed lighting fixtures.
- Recessed lighting shall be listed as IC (zero clearance to insulation) and AT (air tight), be sealed/caulked between the fixture housing and ceiling, shall not contain a screw base socket, and contain bulbs marked with JAB–2019–E efficiency label. (CEES 150.0(k))

Water Efficient Plumbing Fixtures (CalGreen 301.1.1, 4.303)

Residential buildings undergoing permitted alterations, additions, or remodels are required to replace all non–compliant plumbing fixtures (based on water efficiency) throughout the house with water–conserving plumbing fixtures. The following table shows what is considered to be a non–compliant plumbing fixture and the current water efficiency standards for various plumbing fixtures. All existing non–compliant plumbing fixtures shall be replaced with fixtures meeting the current standards.

Type of Fixture	Non–Compliant Plumbing Fixture	Required Water–Conserving Plumbing Fixture (maximum flow–rates)
Water Closet (Toilet)	Greater than 1.6 gallons/flush	1.28 gallons/flush
Showerhead	Greater than 2.5 gallons/minute	1.8 gallons/minute at 80psi
Faucet –Bathroom	Greater than 2.2 gallons/minute	1.2 gallons/minute At 60 psi
Faucet – Kitchen	Greater than 2.2 gallons/minute	1.8 gallons/minute at 60 psi (average)

KITCHEN

- Receptacles shall meet all of the following requirements: (CEC 210.8, 210.12, 210.23, 210.52, 406.12, 422.16)
 - GFCI protection shall be provided for all countertop receptacles, receptacles within 6 feet of a sink (including below counter and behind an appliance), and for receptacles supplying dishwashers. The reset button for GFCI receptacles shall be installed in an accessible location (i.e. not behind an appliance).
 - All outlets and devices (i.e. receptacles, lighting, hoods, etc.) in the kitchen shall be AFCI protected and tamper–resistant (TR).
- Receptacles shall be provided at all countertop areas with a minimum dimension of 12 inches.
- Countertop receptacles shall be located so that no point along the wall is more than 24 inches from a receptacle.
- Countertop receptacles shall be located no more than 20 inches above the countertop. Islands/peninsulas shall have at least one receptacle mounted not more than 12 inches below the countertop and where the countertop does not extend more than 6 inches beyond its base.
- Electric stoves and ovens shall be supplied with a 40– or 50– amp branch circuit.
- Range hoods shall be permitted to be cord–and–plug–connected with a flexible court identified as suitable for use on range hoods in the installation instructions of the appliance manufacturer, where all the following conditions are met:
 - The flexible cord is terminated with a grounding–type attachment plug.
 - The length of the cord is 18 inches to 4 feet.
 - Receptacles are located to protect against physical damage to the flexible cord.
 - The receptacle is accessible.
 - The receptacle is supplied by an individual branch circuit.

- Kitchen receptacles shall be supplied by circuits meeting all of the following requirements: (CEC 210.11, 210.52, 422.16)
 - Countertop receptacles shall be supplied by a minimum of two 20–amp branch circuits.
 - A dedicated circuit is required for cord and plug connected range exhaust hoods. Separate circuits may be required for the garbage disposal, dishwasher, and built–in microwave based on the manufacturer’s requirements and the motor rating.
 - Any new receptacles added in the dining area, breakfast room, pantry, or similar area shall be supplied by a 20–amp circuit, the countertop circuits may be used to supply these areas.
 - The existing electrical panel may need to be upgraded, or a sub–panel added, if the requirements above cannot be accommodated.

Cabinet Requirements

- If installing a cabinet next to an existing fire rated wall/walls (i.e. between apartment units or townhomes, etc.) the integrity of the fire rated wall/walls construction shall be maintained (i.e., fire–blocking shall be installed in the wall/walls per R302.11 and R302.11.1 of the CRC and shall be constructed per CRC 302 Fire–Resistant Construction. Continuity of such fire–resistance–rated wall/walls shall be per R302.2.3 of the CRC. (i.e., continuity of protection shall be full height from floor to ceiling, etc.)
- A Fire Permit “FP” shall be required when remodeling structures that have existing fire sprinklers. A fire inspection shall be required prior to a building rough inspection all trades and a fire final inspection shall be required before a building final can be signed–off. Fire inspectors shall sign–off all fire inspections on the building permit

Lighting Efficiency (CEES 150.0(k))

- All lighting fixtures shall be controlled by either a dimmer switch or by a vacancy sensor switch that requires a manual on activation (does not automatically turn on) and automatically turns off within 30 minutes after the room is vacated.
- Under cabinet lighting shall be on a separate switch from any other lighting.
- All light fixtures shall contain bulbs that are labeled as JAB–2019 (JAB–2019–E for sealed lens or recessed fixture). Screw base bulbs are permitted, except in recessed lighting fixtures.
- Recessed lighting shall be listed as IC (zero clearance to insulation) and AT (air tight), be sealed/caulked between the fixture housing and ceiling, shall not contain a screw base socket, and contain bulbs marked with JAB–2019–E efficiency label.

WINDOWS INSTALLATION STANDARDS

Installation Standards (CBC 104.9 and CRC R104.9)

All windows shall be installed in accordance with the manufacturer’s requirements (including new flashing).

Efficiency Standards (CEES 150.2(b))

When replacing no more than 75 square feet of windows, the newly installed windows shall have a maximum U–factor of 0.40 and a maximum Solar Heat Gain Coefficient (SHGC) of 0.35. More than 75 square feet of window area is replaced, the newly installed windows shall be a maximum U–factor of 0.30 and a maximum Solar Heat Gain Coefficient (SHGC) of 0.23.

Emergency Escape (Egress) Windows (CBC 1030 and CRC R310)

Windows replaced in bedrooms shall meet all the following egress requirements (at least one window in each bedroom is required to meet these requirements):

- Minimum net 5.7 square feet of openable area (minimum of 5.0 net square feet required for grade level bedrooms; i.e. first floor)
- Minimum net 20” clear width when open
- Minimum net 24” clear height when open
- Maximum height of 44” from the finished floor to the bottom of the clear opening

Fall Protection (CBC 1015.1 and CRC R312.2)

Where the window opening (measured at the window sill) is located more than 72 inches above the exterior finished grade, any window located less than 24 inches above the finished floor on the interior shall be either fixed glazing or have a protective guardrail with openings less than 4 inches.

Natural Light and Ventilation (CBC 1205.2, 1203.5, and CRC R303.1)

Each habitable room (excludes hallways, bathrooms, and laundry rooms) is required to have natural light (windows or skylights) sized to a minimum of 8% of the floor area of the room and ventilation (openable portion of window or skylight) sized to a minimum of 1% of the floor area. (For example, a 100 square foot habitable room is required to have a minimum of 8 square feet of natural light and 4 square feet of ventilation.

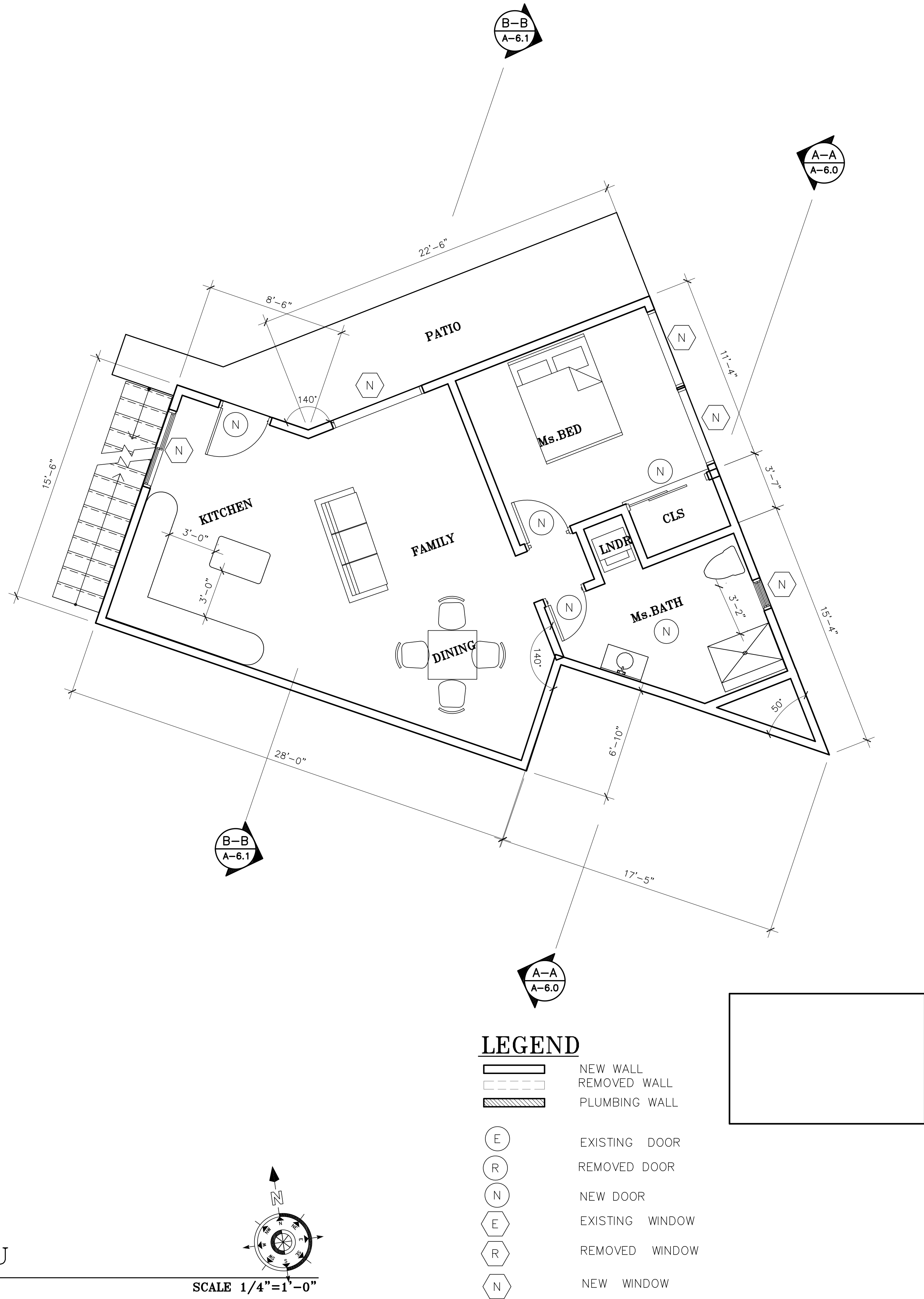
Tempered Glazing (CBC 2406 and CRC 308.1, CRC 308.4)

Tempered glazing shall be installed in the following locations:

- In the same plane of a door in the closed position and within two feet of either side of the door.
- On a wall perpendicular to the plane of a door in a closed position and within 24 inches of the hinge side of the door and one the in–swinging side.
- Adjacent to a bottom stair landing where glazing is less than 36 inches above the landing and within 60 inches horizontally of the landing.
- Adjacent to stairs where glazing is located less than 36 inches above the plane of the adjacent walking surface.
- Within a portion of wall enclosing a tub/shower where the bottom exposed edge of the glazing is less than 60 inches above the standing surface and drain inlet.
- Within 60 inches of a tub/shower where the glazing is less than 60 inches above the walking surface.
 - Any glazing meeting all the following conditions:
 - Exposed area of an individual pane greater than 9 square feet
 - Exposed bottom edge is less than 18 inches above the finished floor
 - Exposed top edge is greater than 36 inches above the finished floor
 - Where a walking surface is within 36 inches horizontally of the glazing

Where required, tempered glazing (except tempered spandrel glass) shall be permanently identified by a manufacturer marking that is permanently applied and cannot be removed without being destroyed (e.g. sand blasted, acid etched, ceramic fired, laser etched, or embossed). Stickers attached to the window are not sufficient

PROPOSED FLOOR PLAN ADU



REVISION	BY
Planning	
XXXXXX	
Bulding	
XXXXX	VMK
V M K D E S I G N G R O U P V A D I M M E L I K - K A R A M O V CONCEPTUAL DESIGN • PLANNING • INTERIOR Ph: 408.554.6110 WWW. VMKDESIGNGROUP.COM VMK@PJS.NET Fax: 408.516.9490 3777 STEVENS CREEK BLVD. SUITE 420 SANTA CLARA CA 95051	
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MITYUGOV RESIDENCE	17739 CHEROKEE TRAIL LOS GATOS CA 95033–8817
DATE	11/10/21
SCALE	1/4"=1'-0"
DRAWN	VMK
JOB	VLAD
SHEET	A–2.0
OF	SHEETS

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- The mixing valve in a shower (including over a tub) shall be pressure balancing set at a maximum 120°F. The water-filler valve in bathtubs/whirlpools shall have a temperature limiting device set at a maximum of 120°F. The water heater thermostat cannot be used to meet these provisions. (CPC 408.3, 408.4)
- New or reconfigured shower stalls shall be a minimum finished interior of 1,024 square inches, be capable of encompassing a 30 inch diameter circle. Any doors shall swing out of the enclosure have a clear opening of 22 inches minimum. (CPC 408.5, 408.6)
- Shower stalls and bathtubs with shower heads installed, shall have walls finished with a nonabsorbent surface for a minimum of 6 feet above the floor. (CBC 1209 and CRC R307.2)
- Hydro-massage tubs (i.e. Jacuzzi tubs) shall have access to the motor, be supplied by a GFCI protected dedicated circuit, and be listed by a recognized testing agency (i.e. UL). All metal cables, fittings, piping, or other metal surfaces, within 5 feet of the inside wall of the hydromassage tub shall be properly bonded. Hydro-massage tubs shall be bonded with a minimum #8 AWG bare copper wire and the bonding shall be accessible. (CEC 680.70)
- Underlayment material used as backers for wall tile or solid surface material in tub and shower enclosures shall be either glass mat/fiber-reinforced gypsum backing panels (i.e. DensShield, Dens Armor Plus), non-asbestos fiber-cement/fiber mat back board (i.e. Hardbacker, cement board). All material shall be installed in accordance with the manufacturer's recommendations. Water-resistant gypsum board (i.e. purple board) may be used when attached directly to studs, overlaid with minimum Grade B building paper and wire lath. Tile shall be attached to the wire lath. (CBC 2509 and CRC R702.4)
- Shower floors shall be lined with an approved shower pan or an on-site built watertight approved lining (i.e. hot mop). On-site built shower linings shall extend a minimum of 3 inches vertically up the wall and shall be sloped 70± per foot to weep holes. (CPC 408.7)
- When a curb is provided at a shower, it shall be a minimum of 1 inch above the shower floor and between 2 inches and 8 inches above the top of the drain. A watertight nailing flange that extends a minimum of 1 inch high shall be installed where the shower floor meets the vertical surface of the shower compartment. The finished floor of the shower compartment shall be uniformly sloped between 1/8" and 1/2" per foot towards the drain. (CPC 408.5) Where a curb is not provided at the shower compartment, the entire bathroom shall be considered a wet location. The bathroom shall comply with the water proofing requirements described above for shower floors (previous bullet) and all lighting fixtures shall be approved for wet locations.
- If installing a tub next to an existing fire rated wall/walls (i.e. between apartment units or townhomes, etc.) the integrity of the fire rated wall/walls construction shall be maintained. (i.e., fire-blocking shall be installed in the wall/walls per R302.11 and R302.11.1 of the CRC and shall be constructed per CRC 302 Fire-Resistant Construction. Continuity of such fire-resistance-rated wall/walls shall be per R302.2.3 of the CRC. (i.e., continuity of protection shall be full height from floor to ceiling, etc.)
- A Fire Permit "FP" shall be required when remodeling structures that have existing fire sprinklers. A fire inspection shall be required prior to a building rough inspection all trades and a fire final inspection shall be required before a building final can be signed-off. Fire inspectors shall sign-off all fire inspections on the building permit.

Water Closet Requirements

- The water closet shall have a clearance of 30 inches wide (15 inches on center) and 24 inches in front. (CPC 402.5)
- Where the water closet (or other plumbing fixture) comes into contact with the wall or floor, the joint shall be caulked and sealed to be watertight. (CPC 402.2)

Water Closet Requirements

- The water closet shall have a clearance of 30 inches wide (15 inches on center) and 24 inches in front. (CPC 402.5)
- Where the water closet (or other plumbing fixture) comes into contact with the wall or floor, the joint shall be caulked and sealed to be watertight. (CPC 402.2)

Tempered Glazing (CBC 2406.4, 2403.1 and CRC 308.1, R308.4)
Tempered glazing shall be installed in the locations listed below. Tempered glazing shall be permanently identified by a manufacturer marking that is permanently applied and cannot be removed without being destroyed (e.g. sand blasted, acid etched, ceramic fired, laser etched, or embossed).

- Within a portion of wall enclosing a tub/shower where the bottom exposed edge of the glazing is less than 60 inches above the standing surface and drain inlet.
- Within 60 inches of a tub/shower where the glazing is less than 60 inches above the walking surface.
- Glazing on the hinge-side of an in-swinging door that is installed perpendicular to a door in a closed position and within 24 inches of the door.

Electrical and Lighting Requirements

- All receptacles shall be GFCI protected and tamper-resistant (TR). If any new/additional outlets are installed, the bathroom shall have a dedicated 20-amp circuit. (CEC 210.8, 210.11, 406.12)
- Exhaust fans with a minimum ventilation rate of 50 CFM are required in all bathrooms, even if an operable window is installed. Exhaust fans and lighting shall have separate control switches (even if a combination unit is installed). The exhaust fan may need to be supplied by a GFCI protected circuit based on the manufacturer's requirements. (CEES 150.0(k), 150.0(o))
- Lighting fixtures located within 3 feet horizontally and 8 feet vertically of the bathtub rim or shower stall threshold shall be listed for a damp location, or listed for wet locations where subject to shower spray. (CEC 410.10)
- Receptacles exceeding 20 amperes in a wet location shall have an enclosure that is weatherproof when the attachment plug is removed. (CEC 406.9(2))
- Receptacles shall not be installed within or directly over a bathtub or shower stall. (CEC 406.9(C))
- All installed lighting fixtures shall be high efficiency.
- All least one light fixture shall be controlled by a vacancy sensor switch that requires a manual on activation (does not automatically turn on) and automatically turns off within 30 minutes after the room is vacated. All other light fixtures shall be controlled by a vacancy sensor or dimmer.
- All light fixtures shall contain bulbs that are labeled as JAB-2019 (JAB-2019-E for sealed lens or recessed fixture). Screw base bulbs are permitted, except in recessed lighting fixtures.
- Recessed lighting shall be listed as IC (zero clearance to insulation) and AT (air tight), be sealed/caulked between the fixture housing and ceiling, shall not contain a screw base socket, and contain bulbs marked with JAB-2019-E efficiency label. (CEES 150.0(k))

Water Efficient Plumbing Fixtures (CalGreen 301.1.1, 4.303)

Residential buildings undergoing permitted alterations, additions, or remodels are required to replace all non-compliant plumbing fixtures (based on water efficiency) throughout the house with water-conserving plumbing fixtures. The following table shows what is considered to be a non-compliant plumbing fixture and the current water efficiency standards for efficient plumbing fixtures. All existing non-compliant plumbing fixtures shall be replaced with fixtures meeting the current standards.

Type of Fixture	Non-Compliant Plumbing Fixture	Required Water-Conserving Plumbing Fixture (maximum flow-rates)
Water Closet (Toilet)	Greater than 1.6 gallons/flush	1.28 gallons/flush
Showerhead	Greater than 2.5 gallons/minute	1.8 gallons/minute at 80psi
Faucet –Bathroom	Greater than 2.2 gallons/minute	1.2 gallons/minute At 60 psi
Faucet – Kitchen	Greater than 2.2 gallons/minute	1.8 gallons/minute at 60 psi (average)

Smoke and Carbon Monoxide Alarms (CBC 907.2.10, CRC 314 and 315)

Smoke and Carbon Monoxide Alarms (CBC 907.2.10, CRC 314 and 315)
Smoke alarms shall be installed on the ceiling or wall (between 4" and 12" of the ceiling) in all sleeping rooms, each area/hallway adjacent to sleeping rooms, each story of the building, and in any basement. Smoke alarms shall be replaced 10 years after the date of manufacture listed on the alarm (if no date is listed the alarm shall be replaced). Newly installed smoke alarms shall have a 10-year battery.
Carbon monoxide (CO) alarms shall be installed on the ceiling or wall (above the door header) in each area/hallway adjacent to sleeping rooms, each occupiable story, and within a bedroom if the bedroom or attached bathroom contains a fuel-burning appliance. CO alarms are not required if there is no fuelburning appliance or fireplace in the house and where the garage is detached from the house

KITCHEN

Electrical Requirements

- Receptacles shall meet all of the following requirements: (CEC 210.8, 210.12, 210.23, 210.52, 406.12, 422.16)
- GFCI protection shall be provided for all countertop receptacles, receptacles within 6 feet of a sink (including below counter and behind an appliance), and for receptacles supplying dishwashers. The reset button for GFCI receptacles shall be installed in an accessible location (i.e. not behind an appliance).
- All outlets and devices (i.e. receptacles, lighting, hoods, etc.) in the kitchen shall be AFCI protected and tamper-resistant (TR).
- Receptacles shall be provided at all countertop areas with a minimum dimension of 12 inches. Countertop receptacles shall be located so that no point along the wall is more than 24 inches from a receptacle.
- Countertop receptacles shall be located no more than 20 inches above the countertop. Islands/peninsulas shall have at least one receptacle mounted not more than 12 inches below the countertop and where the countertop does not extend more than 6 inches beyond its base.
- Electric stoves and ovens shall be supplied with a 40- or 50- amp branch circuit.
- Range hoods shall be permitted to be cord-and-plug-connected with a flexible cord identified as suitable for use on range hoods in the installation instructions of the appliance manufacturer, where all the following conditions are met:
 - The flexible cord is terminated with a grounding-type attachment plug.
 - The length of the cord is 18 inches to 4 feet.
 - Receptacles are located to protect against physical damage to the flexible cord.
 - The receptacle is accessible.
 - The receptacle is supplied by an individual branch circuit.
- Kitchen receptacles shall be supplied by circuits meeting all of the following requirements: (CEC 210.11, 210.52, 422.16)
- Countertop receptacles shall be supplied by a minimum of two 20-amp branch circuits.
- A dedicated circuit is required for cord and plug connected range exhaust hoods. Separate circuits may be required for the garbage disposal, dishwasher, and built-in microwave based on the manufacturer's requirements and the motor rating.
- Any new receptacles added in the dining area, breakfast room, pantry, or similar area shall be supplied by a 20-amp circuit, the countertop circuits may be used to supply these areas.
- The existing electrical panel may need to be upgraded, or a sub-panel added, if the requirements above cannot be accommodated.

Cabinet Requirements

If installing a cabinet next to an existing fire rated wall/walls (i.e. between apartment units or townhomes, etc.) the integrity of the fire rated wall/walls construction shall be maintained (i.e., fire-blocking shall be installed in the wall/walls per R302.11 and R302.11.1 of the CRC and shall be constructed per CRC 302 Fire-Resistant Construction. Continuity of such fire-resistance-rated wall/walls shall be per R302.2.3 of the CRC. (i.e., continuity of protection shall be full height from floor to ceiling, etc.)

A Fire Permit "FP" shall be required when remodeling structures that have existing fire sprinklers. A fire inspection shall be required prior to a building rough inspection all trades and a fire final inspection shall be required before a building final can be signed-off. Fire inspectors shall sign-off all fire inspections on the building permit

Lighting Efficiency (CEES 150.0(k))

- All lighting fixtures shall be controlled by either a dimmer switch or by a vacancy sensor switch that requires a manual on activation (does not automatically turn on) and automatically turns off within 30 minutes after the room is vacated.
- Under cabinet lighting shall be on a separate switch from any other lighting.
- All light fixtures shall contain bulbs that are labeled as JAB-2019 (JAB-2019-E for sealed lens or recessed fixture). Screw base bulbs are permitted, except in recessed lighting fixtures.
- Recessed lighting shall be listed as IC (zero clearance to insulation) and AT (air tight), be sealed/caulked between the fixture housing and ceiling, shall not contain a screw base socket, and contain bulbs marked with JAB-2019-E efficiency label.

WINDOWS INSTALLATION STANDARDS

Installation Standards (CBC 104.9 and CRC R104.9)
All windows shall be installed in accordance with the manufacturer's requirements (including new flashing).

Efficiency Standards (CEES 150.2(b))
When replacing no more than 75 square feet of windows, the newly installed windows shall have a maximum U-factor of 0.40 and a maximum Solar Heat Gain Coefficient (SHGC) of 0.35. If more than 75 square feet of window area is replaced, the newly installed windows shall be a maximum U-factor of 0.30 and a maximum Solar Heat Gain Coefficient (SHGC) of 0.23.

Emergency Escape (Egress) Windows (CBC 1030 and CRC R310)
Windows replaced in bedrooms shall meet all the following egress requirements (at least one window in each bedroom is required to meet these requirements):

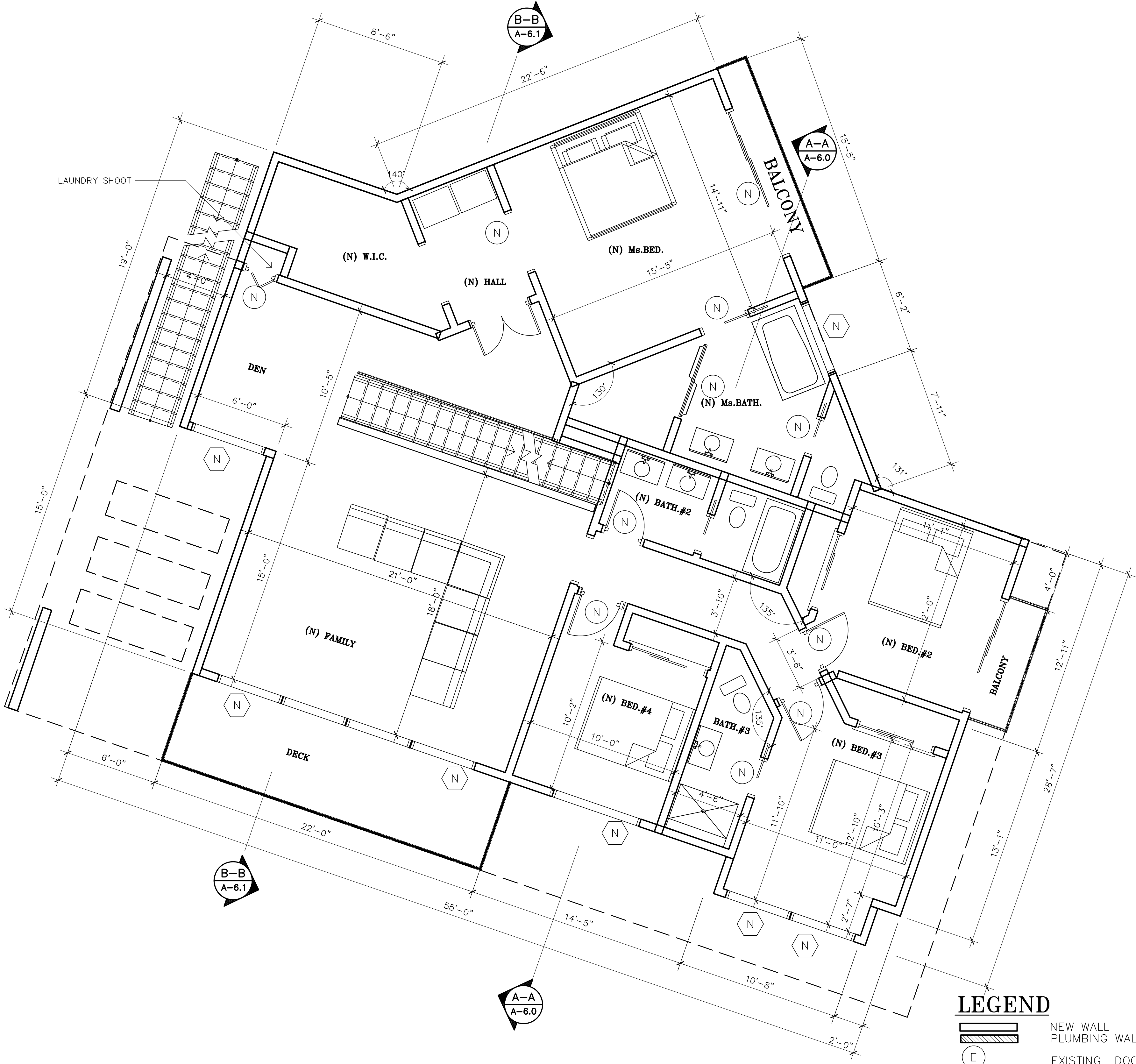
- Minimum net 5.7 square feet of openable area (minimum of 5.0 net square feet required for grade level bedrooms; i.e. first floor)
- Minimum net 20" clear width when open
- Minimum net 24" clear height when open
- Maximum height of 44" from the finished floor to the bottom of the clear opening

Fall Protection (CRC 1015.1 and CRC R312.2)
Where the window opening (measured at the window sill) is located more than 72 inches above the exterior finished grade, any window located less than 24 inches above the finished floor on the interior shall be either fixed glazing or have a protective guardrail with openings less than 4 inches.

Natural Light and Ventilation (CBC 1205.2, 1203.5, and CRC R303.1)
Each habitable room (excludes hallways, bathrooms, and laundry rooms) is required to have natural light (windows or skylights) sized to a minimum of 1/8 of the floor area of the room and ventilation (operable portion of window or skylight) sized to a minimum of 1/4 of the floor area. (For example, a 100 square foot habitable room is required to have a minimum of 8 square feet of natural light and 4 square feet of ventilation.

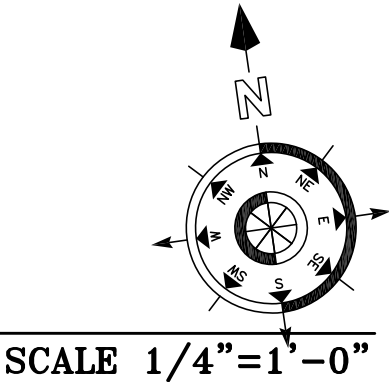
Tempered Glazing (CBC 2406 and CRC 308.1, CRC 308.4)
Tempered glazing shall be installed in the following locations:

- In the same plane of a door in the closed position and within two feet of either side of the door.
- On a wall perpendicular to the plane of a door in a closed position and within 24 inches of the hinge side of the door and one the in-swinging side.
- Adjacent to a bottom stair landing where glazing is less than 36 inches above the landing and within 60 inches horizontally of the landing.
- Adjacent to stairs where glazing is located less than 36 inches above the plane of the adjacent walking surface.
- Within a portion of wall enclosing a tub/shower where the bottom exposed edge of the glazing is less than 60 inches above the standing surface and drain inlet.
- Within 60 inches of a tub/shower where the glazing is less than 60 inches above the walking surface.
 - Any glazing meeting all the following conditions:
 - Exposed area of an individual pane greater than 9 square feet.
 - Exposed bottom edge is less than 18 inches above the finished floor
 - Exposed top edge is greater than 36 inches above the finished floor
 - Where a walking surface is within 36 inches horizontally of the glazing
- Where required, tempered glazing (except tempered spandrel glass) shall be permanently identified by a manufacturer marking that is permanently applied and cannot be removed without being destroyed (e.g. sand blasted, acid etched, ceramic fired, laser etched, or embossed). Stickers attached to the window are not sufficient



LEGEND

- NEW WALL
- PLUMBING WALL
- EXISTING DOOR
- REMOVED DOOR
- NEW DOOR
- EXISTING WINDOW
- REMOVED WINDOW
- NEW WINDOW



SCALE 1/4"=1'-0"

PROPOSED UPPER FLOOR PLAN

REVISION	BY
Planning	
XXXXXX	
Bulding	
XXXXXX	VMK

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Belmont

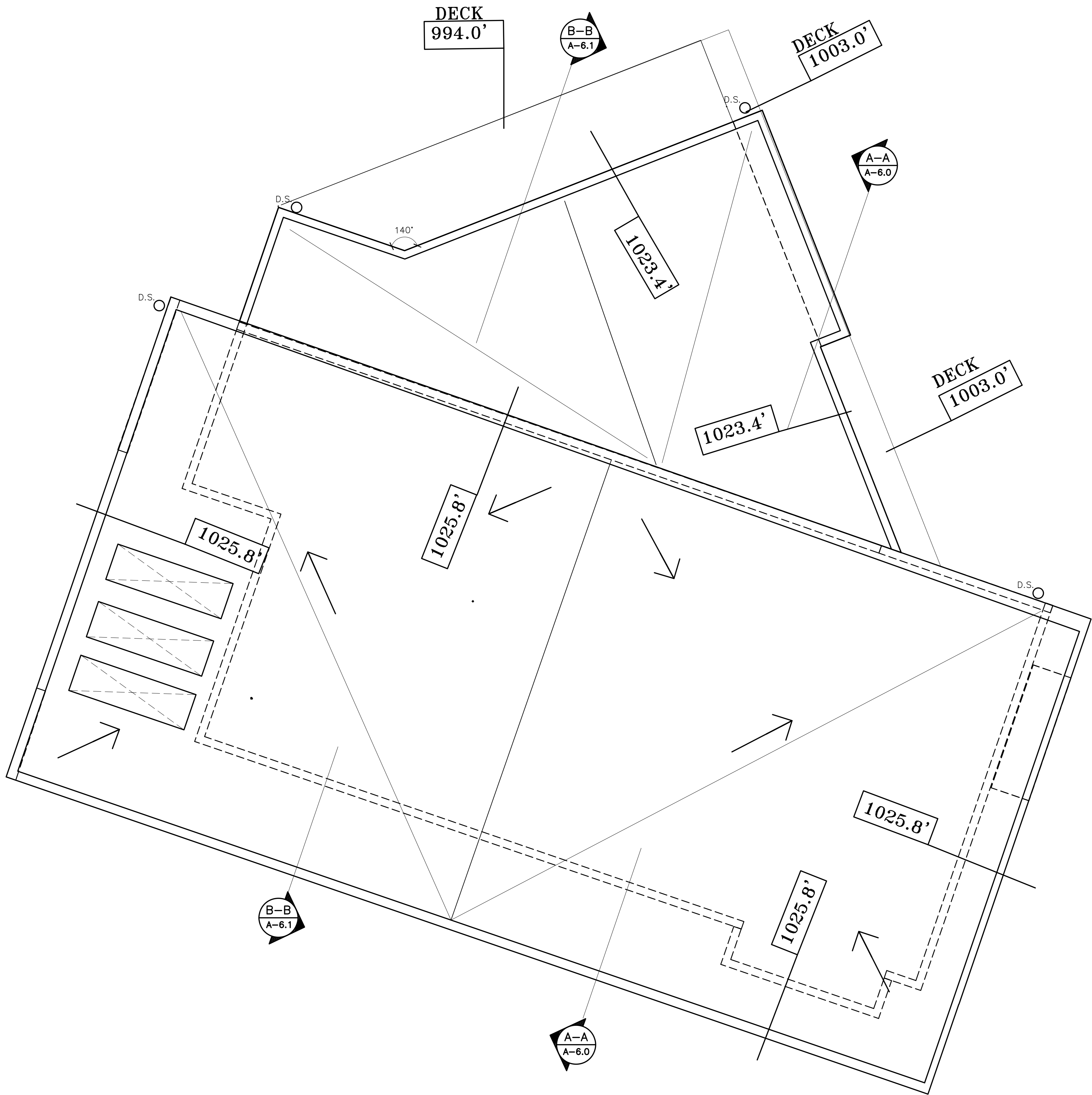
MITYUGOV RESIDENCE

17739 CHEROKEE TRAIL LOS GATOS
CA 95033-8817

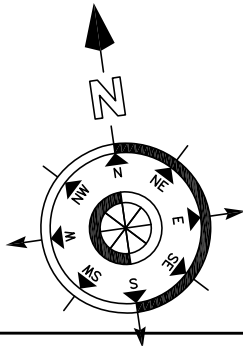
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JOB	V-LAD
SHEET	A-2.2
OF	SHEETS

GENERAL NOTES

CBC California Building Code 2019
CRC California Residential Code 2019
CEC California Electrical Code 2019
CPC California Plumbing Code 2019
CMC California Mechanical code 2019
CEnC California Energy Code 2019
CALGreen California Green Building StandardsCode 2019
ASCE 7 Minimum Design Loads and AssociatedCriteria for Buildings....2016
SDPWS Special Design Provisions forWind & Seismic 2015



PROPOSED ROOF PLAN



SCALE 1/4"=1'-0"

REVISION	BY
Planning	
XXXXXX	
Bulding	
XXXXXX	VMK

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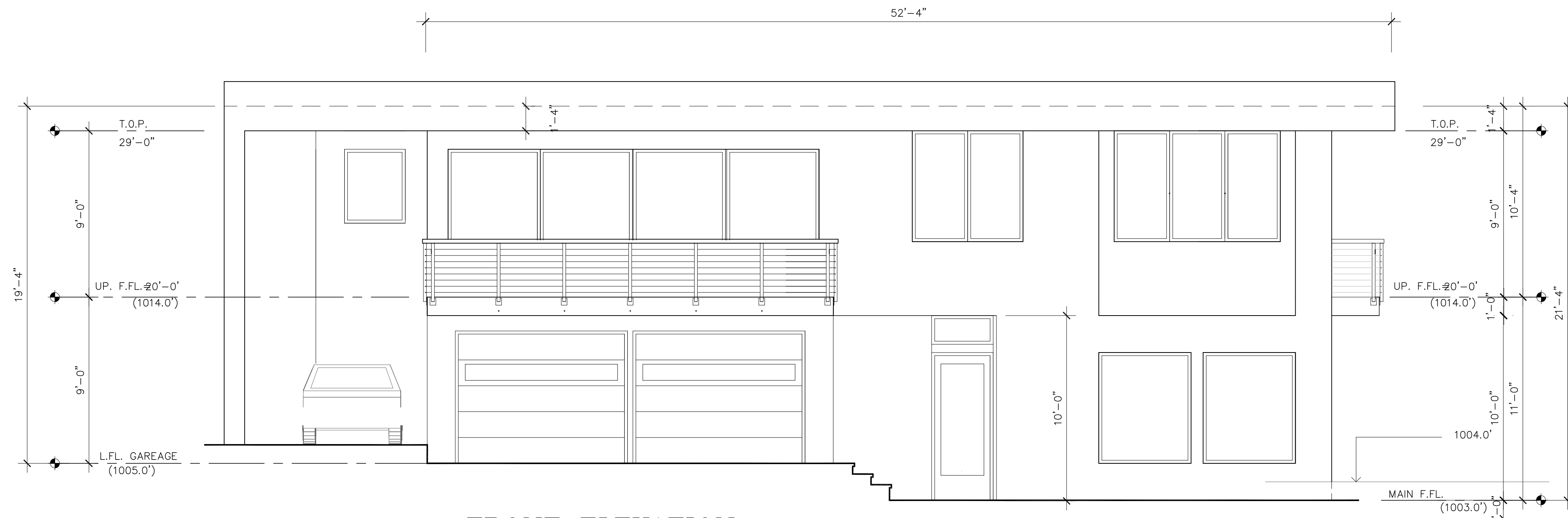
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CA 95033-8817

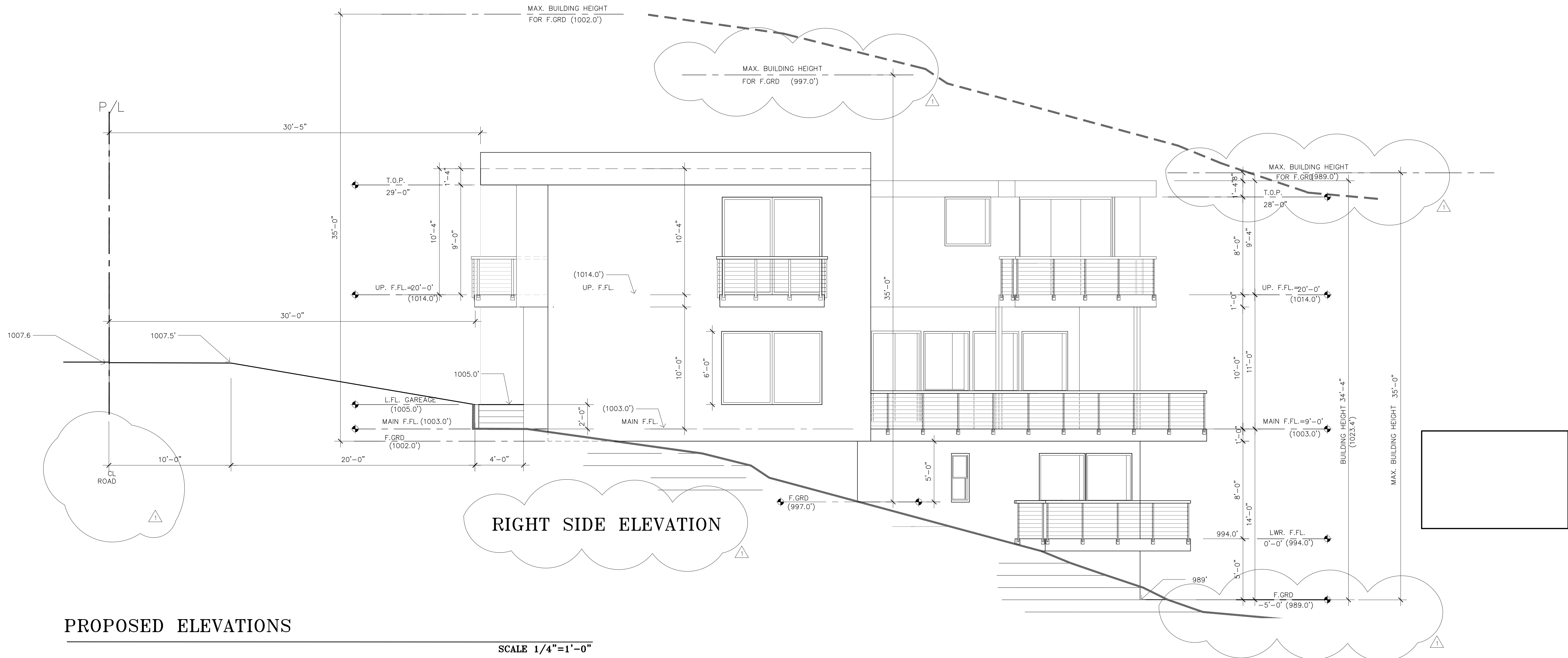
A-3.0

OF SHEETS

DATE	11/10/21
SCALE	1/4"=1'-0"
DRAWN	VMK
JOB	VLAD



FRONT ELEVATION



RIGHT SIDE ELEVATION

PROPOSED ELEVATIONS

SCALE 1/4"=1'-0"

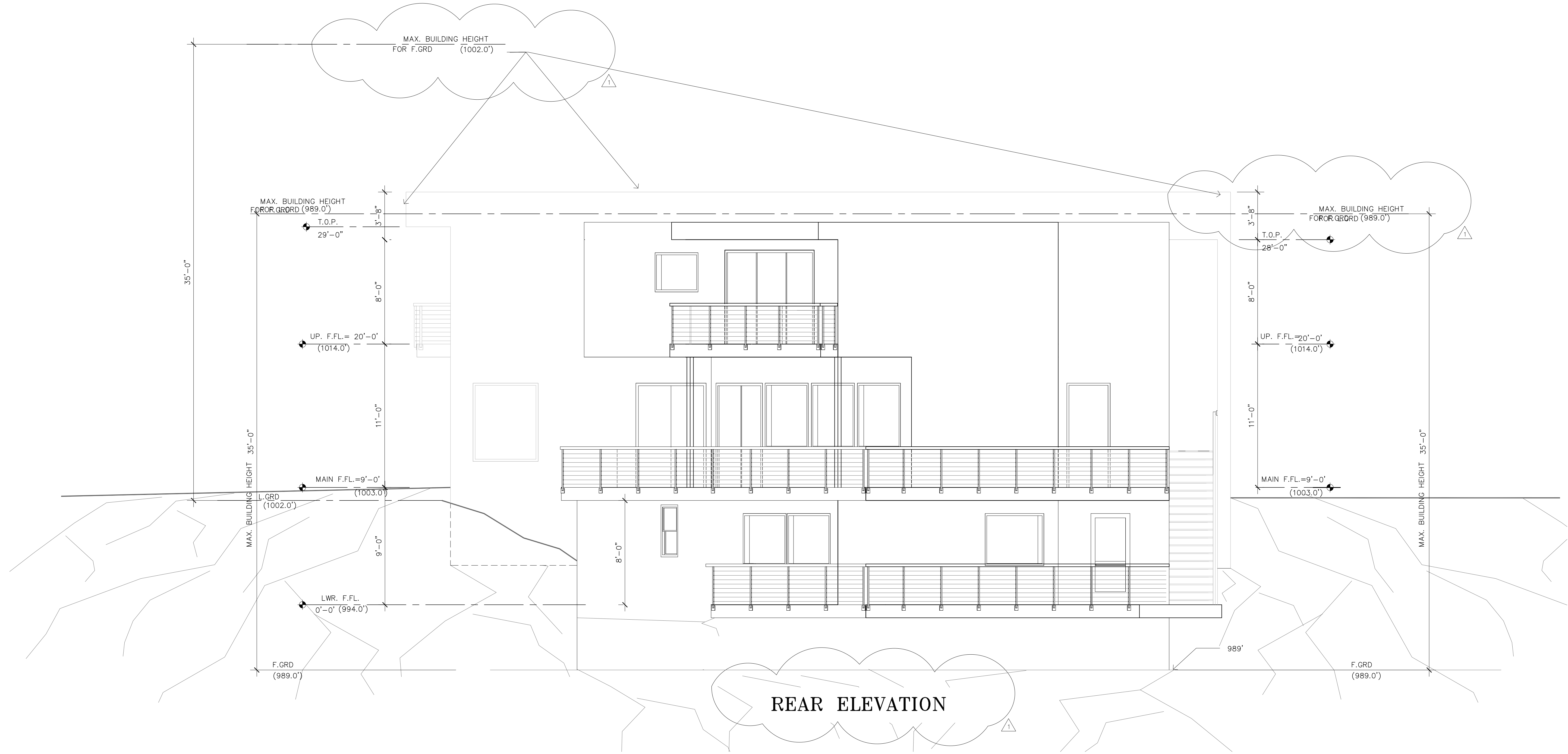
REVISION	BY
Planning	
09-30-2022	
Building	VMK

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CA 95033-8817

DATE	11/10/21
SCALE	1/4"=1'-0"
DRAWN	VMK
JOB	VLAD
SHEET	A-5.0
OF	SHEETS



PROPOSED ELEVATIONS

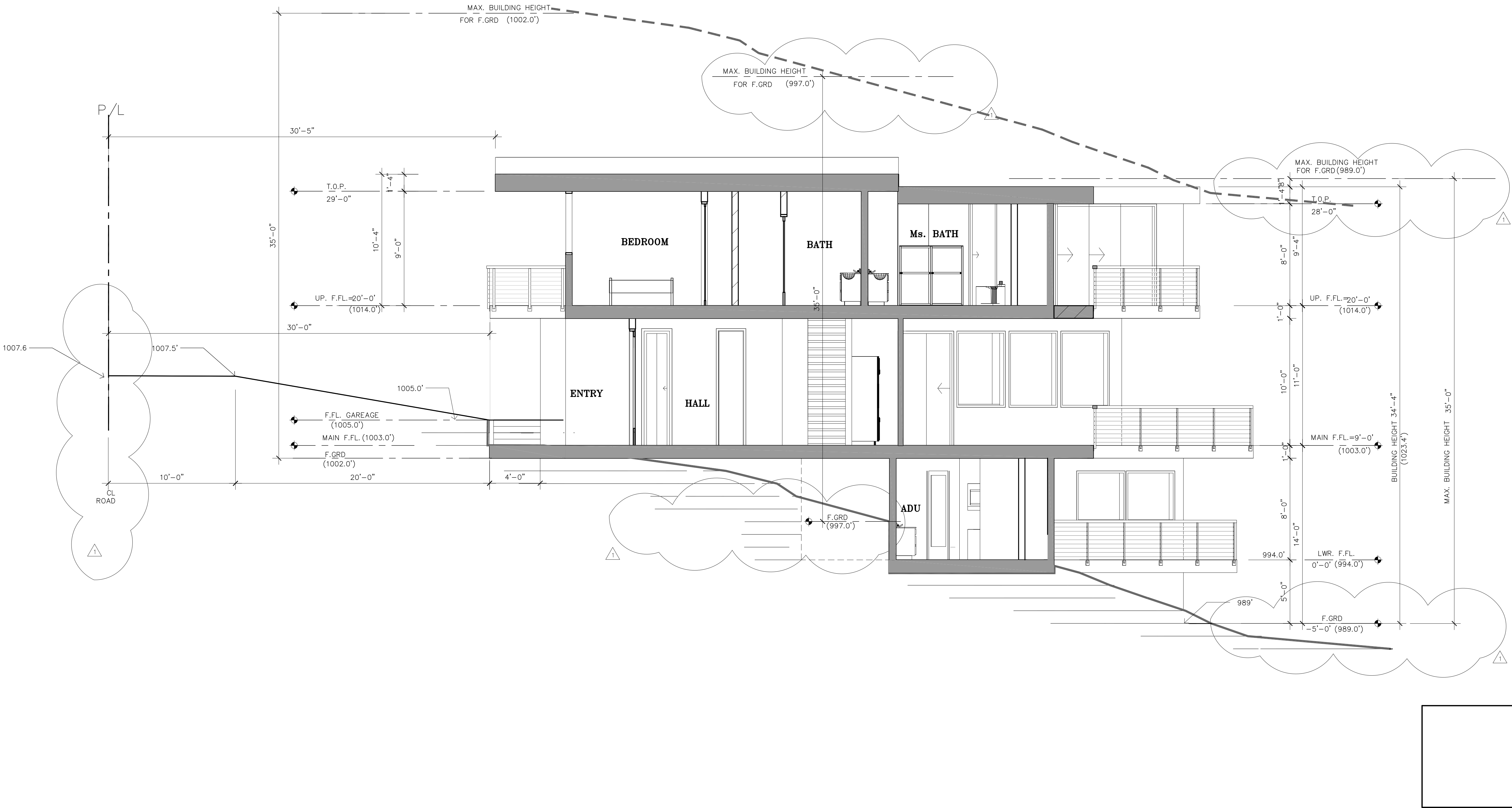
SCALE 1/4"=1'-0"

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Planning	
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CA 95033-8817	
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SCALE	1/4"=1'-0"
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JOB	VLAD
SHEET	A-5.1
OF	SHEETS

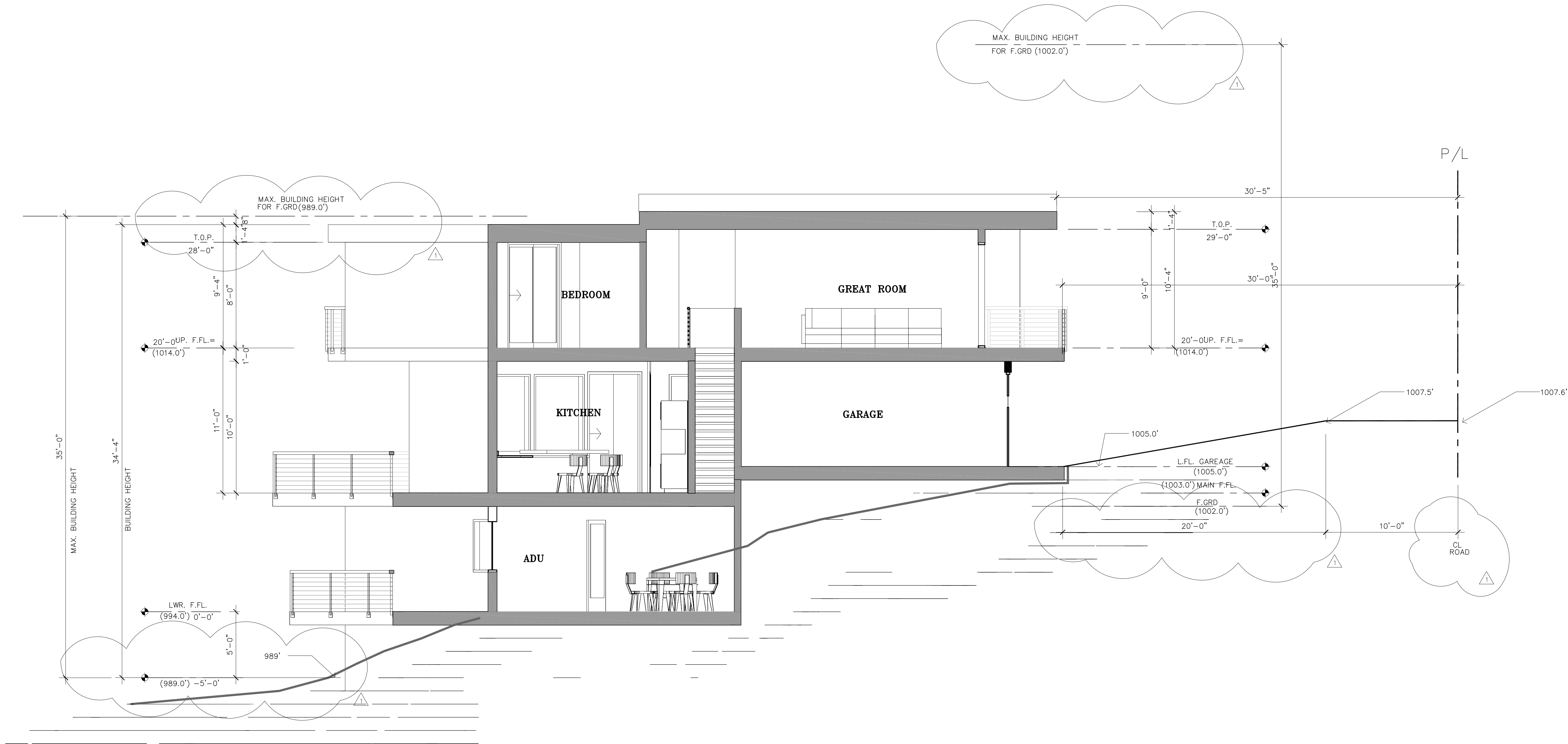
SECTION "A-A"

The horizontal control plan is prepared based on the Boundary Survey prepared by the Project's Licensed Surveyor

SCALE 1/4"=1'-0"



REVISION	BY
Planning	
09-30-2022	
Bulding	VMK
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DATE	11/10/21
SCALE	1/4"=1'-0"
DRAWN	VMK
JOB	VLAD
SHEET	A-6.0
OF	SHEETS

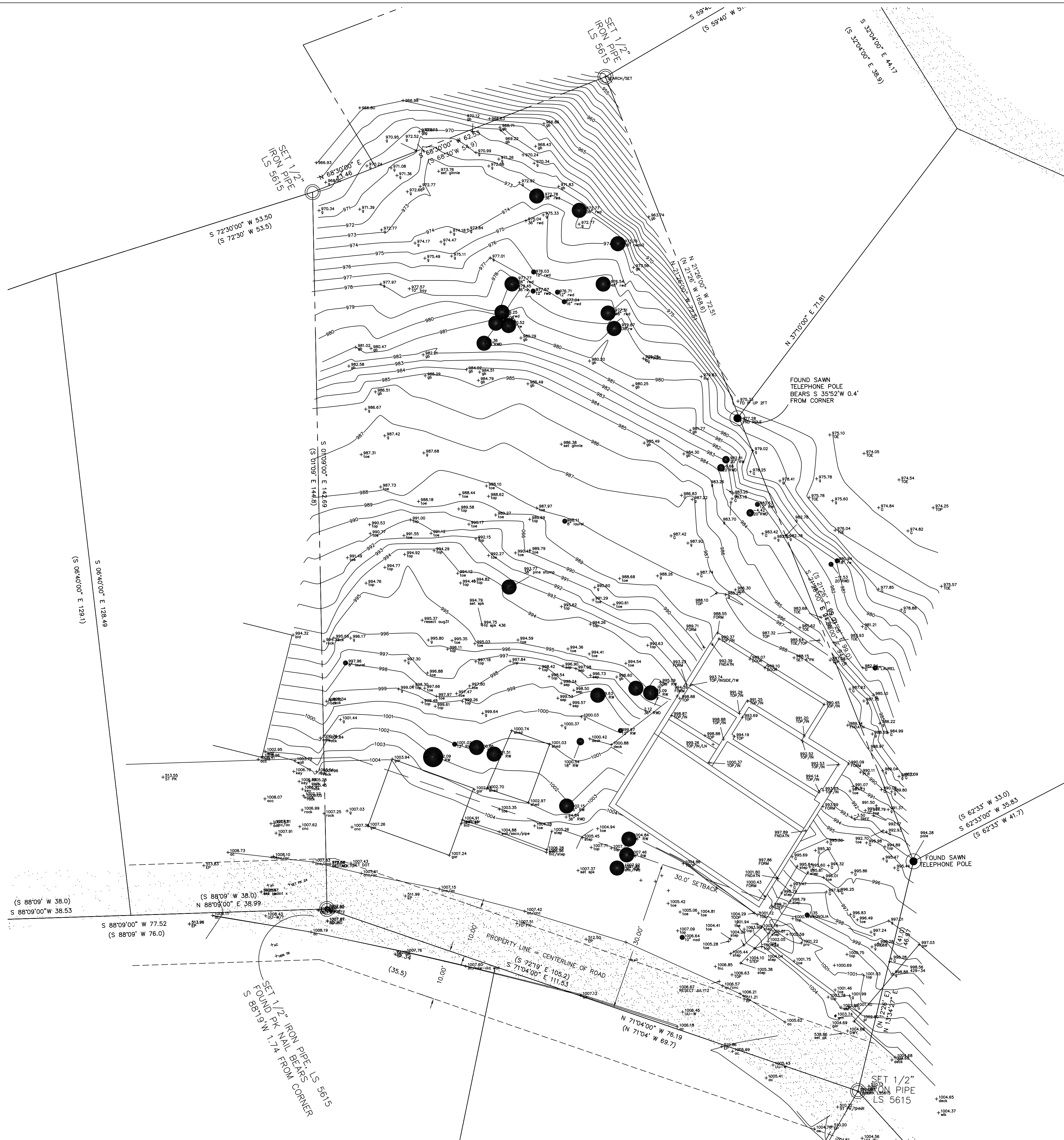


SECTION "B-B"

The horizontal control plan is prepared based on the Boundary Survey prepared by the Project's Licensed Surveyor

SCALE 1/4"=1'-0"

REVISION	BY
Planning	
09-30-2022	
Bulding	VMK
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MITYUGOV RESIDENCE	
17739 CHEROKEE TRAIL LOS GATOS CA 95033-8817	
DATE	11/10/21
SCALE	1/4"=1'-0"
DRAWN	VMK
JOB	VLAD
SHEET	A-6.1
OF	SHEETS



NOTES

A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. EASEMENTS SHOWN ARE COMPILED FROM RECORD MAPS AND THE CURRENT DEED FOR THE PROPERTY. THERE MAY BE ADDITIONAL EASEMENTS THAT BURDEN OR BENEFIT THE SUBJECT PROPERTY THAT WOULD ONLY BE REVEALED ON A TITLE REPORT.

ELEVATION DATUM

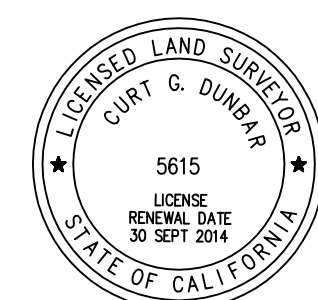
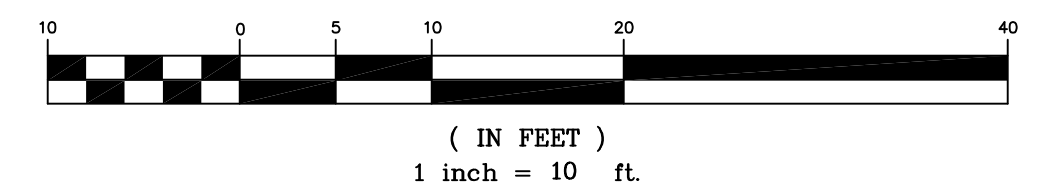
ELEVATIONS WERE DERIVED USING AN GPS OBSERVATION AND ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) .

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE WESTERN BOUNDARY LINE OF PARCEL A OF THAT MAP RECORDED IN BOOK 429 OF MAPS AT PAGE 16S, SANTA CLARA COUNTY RECORDS

SOUTH 20° 50' 00" EAST

SCALE



Curt Dunbar

CURT G. DUNBAR

OCTOBER 4, 2022 : REVISED TO SHOW CENTERLINE OF ROAD IS ALSO THE PROPERTY LINE
JANUARY 6, 2022: REVISED TO SHOW SETBACK

ALPHA LAND SURVEYS, INC.

4444 SCOTTS VALLEY DR. #7 SCOTTS VALLEY, CA 95066 (831) 438-4453	P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438-4453	MAP OF 17739 CHEROKEE TRAIL APN: 558-15-055 SANTA CLARA COUNTY	SHEET 1 OF ONE
1" = 10'	DATE: JULY 2021	JOB#: 2021-	

General Construction Specifications

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY _____ AND DATED _____ THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS, IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE DESIGN AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
2. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE MAINTENANCE OF THE IMPROVEMENTS.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF WORK MAY BE REQUIRED NEARLY AT ANY TIME TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHEN REQUIRED. THE COUNTY ENGINEER SHALL BE KEPT AT THE JOB SITE FOR REVIEWED BY THE COUNTY ENGINEER.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES. THE COUNTY ENGINEER MAY REMOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO AIRBORNE SPARK ARRESTORS.
9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORNER AT (408) 254-4444 AND LAND DEVELOPMENT ENGINEER OFFICE AT (408) 259-5730. NO FURTHER DISTURBANCE OF THE SITE SHALL BE MADE WITHOUT THE AUTHORIZATION BY THE LAND DEVELOPMENT ENGINEER IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 86-18).
10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. ANY OTHER WORK NOT DESCRIBED IN THE SCOPE OF WORK OR CONSTRUCTION.
11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF THE COUNTY INSPECTOR. LATENT STAKES SHALL BE IDENTIFIED AND MARKED. GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROJECT CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY ENGINEER, PERMIT AND INSPECTIONS DIVISION, SHALL CONDUCT GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY ENGINEER, PERMIT AND INSPECTIONS DIVISION, AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID NOTICE SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD EVALUATION AND LOCATION CERTIFICATES, PREPARED BY THE COUNTY ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL RESPONSIBILITY OF THE CONTRACTOR. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR CURB. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED AFTER THE TRENCH BACKFILL AND PAVING ARE COMPLETED.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL COMPACT NOT LESS THAN 90% OF THE SAND MATERIAL TO THE COMPACTED MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT COMPACTED PLACED IN TWO LIFTS. TRENCH REPAIR OR RECONSTRUCTION FOR HIGHWAY TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90% THE SAND MATERIAL COMPACTED FOR SELECTION OF THE SAND MATERIAL TO BE USED IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARD FOR ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL AREA. THE FILL SHALL BE BUILT UP IN LAYERS NOT EXCEEDING 6" IN THICKNESS. THE FILL SHALL BE STRIPPED OF ALL VEGETATION, TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SACRIFICED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 3:1, THE FILL SHALL BE BUILT UP IN LAYERS NOT EXCEEDING 6" IN THICKNESS. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 80% RELATIVE COMPACTION IS EXPOSED. WHEN NEW FILL IS PLACED ON EXISTING FILL, THE FILL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LISTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT THE FILL TO BE COMPACTED TO 95% RELATIVE COMPACTION.
2. MOISTENING THE FILL WITH WATER IF IT IS TOO DRY, EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
3. EXISTING MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
4. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
5. NO EXISTING MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
6. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% MAXIMUM DENSITY.
7. MAXIMUM SLOPE SHALL BE 3:1 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
- EXCESS MATERIAL SHALL BE Haul Hauled TO A COUNTY APPROVED DUMP SITE.
7. NOTIFY SOLS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOLS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED, AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
13. ALL WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
14. TOTAL DISTURBED AREA FOR THE PROJECT _____ SF.
15. WID NO. _____
16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR ADJACENT TO THE DEVELOPMENT, THE TREE SHALL BE PROTECTED BY DEVELOPMENT ON SITE. THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
 - A. FENCING SHOULD BE PLACED AT THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES.
 - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD. FENCING SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 - C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 - D. SIGNAGE INDICATING "NO TRUCKS OR VEHICLES SHALL BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccdc.org/development/development-standards>" SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEER.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1/4 INCHES PER FOOT)
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15' LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH COURSE OF ASPHALT TO ANY COMBUSTIBLE FRAMING
3. THE OWNER AND THE PRIME CONTRACTOR SHALL MAINTAIN ACCESS TO THE PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS
4. ROADWAYS REQUESTED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCESS INTO THE COUNTY ROAD SYSTEM
5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT I.E. CABLE, ELECTRICAL, GAS, WATER, SLOPE STABILIZATION, TREE REMOVAL, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC.

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OF ALL TYPES. EQUIPMENT SHOULD BE COVERED WITH A TARP OR TARD.
3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. SWEEP DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED OUT TO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF IDLING TIME EXCEEDS THE MAXIMUM IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE IN PROPER OPERATING CONDITION.
9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE PROJECT AND THE PROJECT LOCATION. THE SIGN SHALL BE REMOVED FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.

1. ALL FILL SLOPES SHALL BE HOTPOINTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEARING.
11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & LAUTAL EROSION CHECKS, E.G. TYPICAL CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
15. EROSION CONTROL PLANS SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
 - B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
 - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN AREAS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON YEAR AROUND BASIS. DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE, SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.
2. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL ONLY HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR OR ASSIGNEES ARE RESPONSIBLE FOR THE MAINTENANCE OF THE MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS812008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS812008 / ORDER NO. R2-2009-0047.
2. DROP INLETS SHALL BE CONSTRUCTED STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS, WHERE STREET PROFILE GRADE EXCEEDS 6% AND THE DRAINAGE CURB IS AT 500' ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF THE CULVERTS TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE DEVELOPER SHALL MAINTAIN THE EXISTING DRAINAGE MOVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (___ WERE) (___ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (^). THERE (___ WERE) (___ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

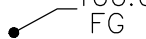








SCOPE OF WORK

1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLEGAL DISCHARGES FROM THE SITE DURING CONSTRUCTION.

THE BEARINGS ARE BASED UPON THE WESTERN BOUNDARY
LINE OF PARCEL A OF THAT MAP RECORDED IN BOOK 429
OF MAPS AT PAGE 16S, SANTA CLARA COUNTY RECORDS.

ELEVATIONS WERE DERIVED USING A GPS OBSERVATION AND ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

<u>DESCRIPTION</u>	<u>PROPOSED</u>	<u>EXISTING</u>
SLOT ELEVATION		
CONTOUR LINE		
FENCE		
OVERHEAD UTILITY LINE		
EDGE OF PAVEMENT		

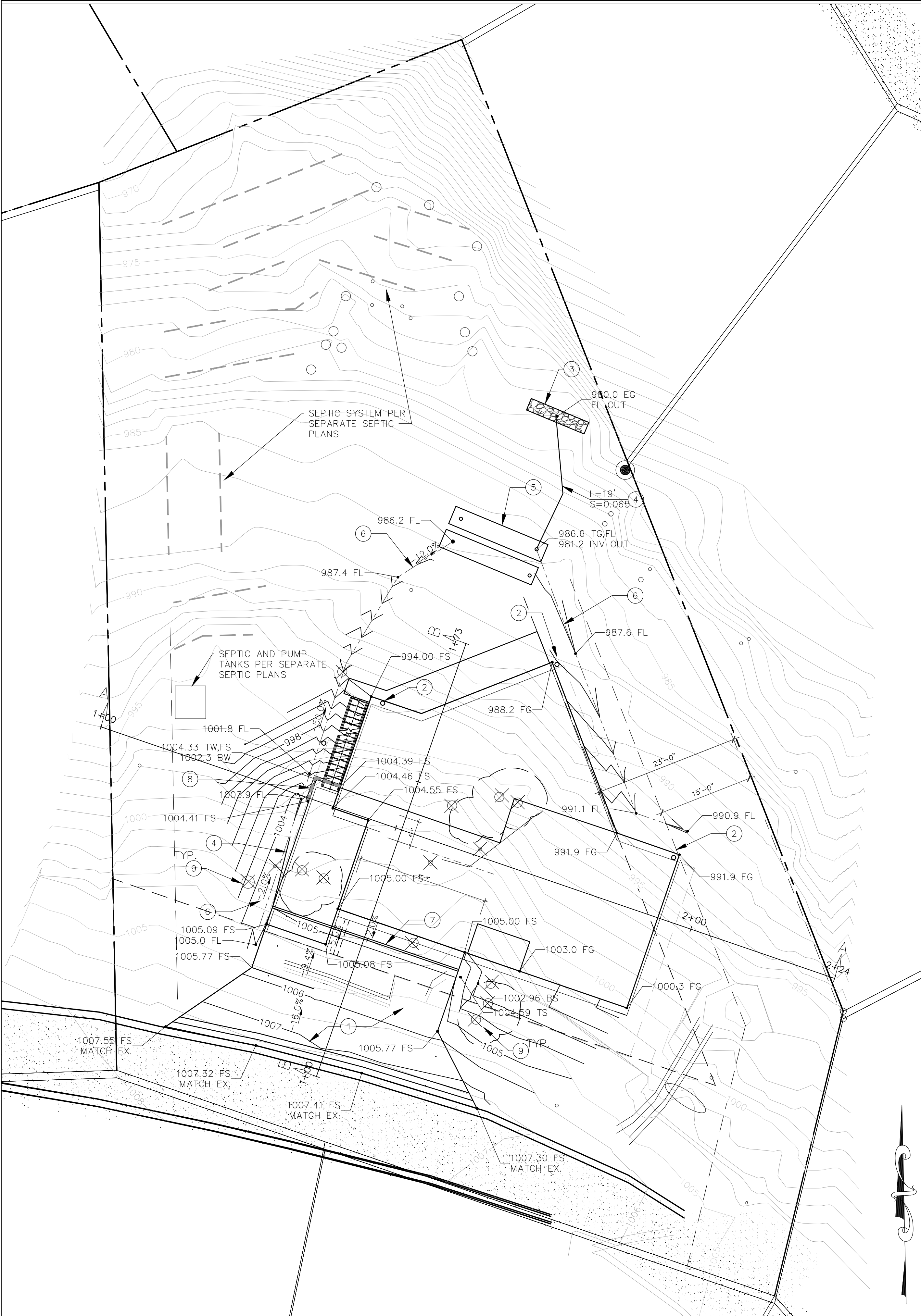
1	COVER SHEET
2	GRADING/DRAINAGE PLAN
3	SLOPE ANALYSIS
4	SLOPE ANALYSIS
5	EROSION CONTROL PLAN
6	EARTHWORK CALCULATIONS
7	BPM-1
8	BPM-2

ENGINEER'S NAME: TRIAD/HOLMES ASSOCIATES

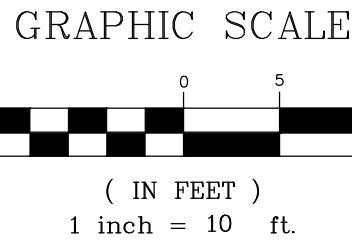
ADDRESS: 777 WOODSIDE ROAD #2A
REDWOOD CITY, CA 94061

PHONE NO. 650-366-0216

FAX NO. _____

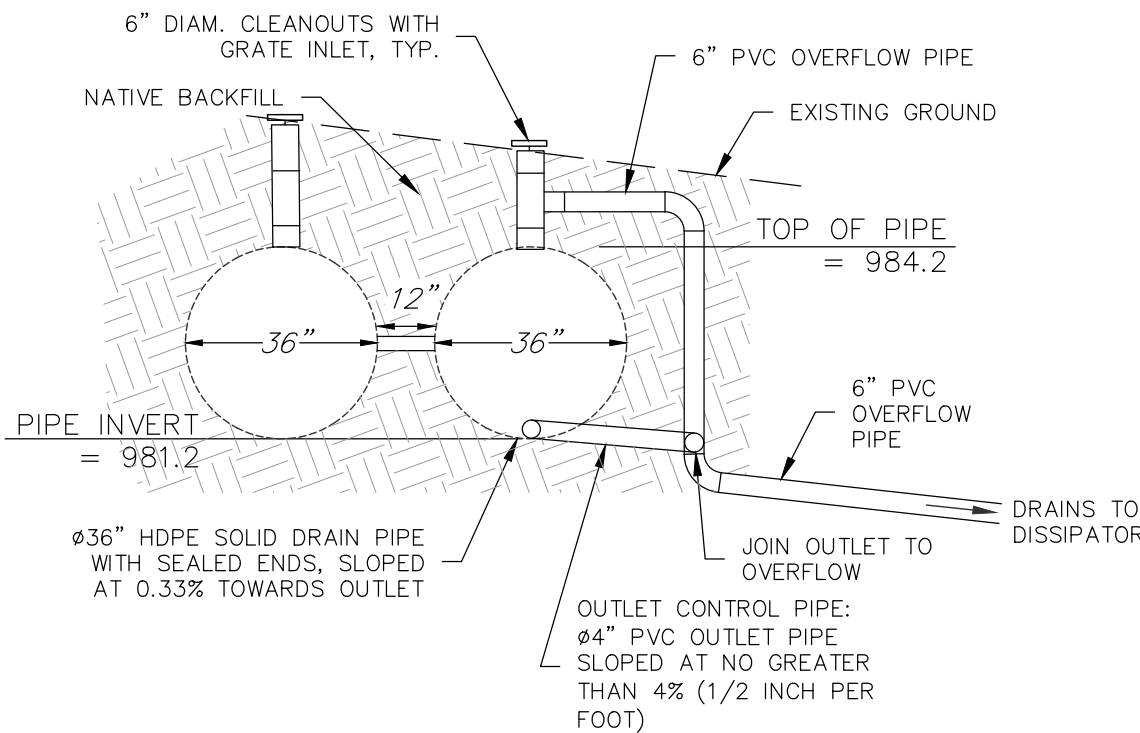


GRADING AND DRAINAGE PLAN

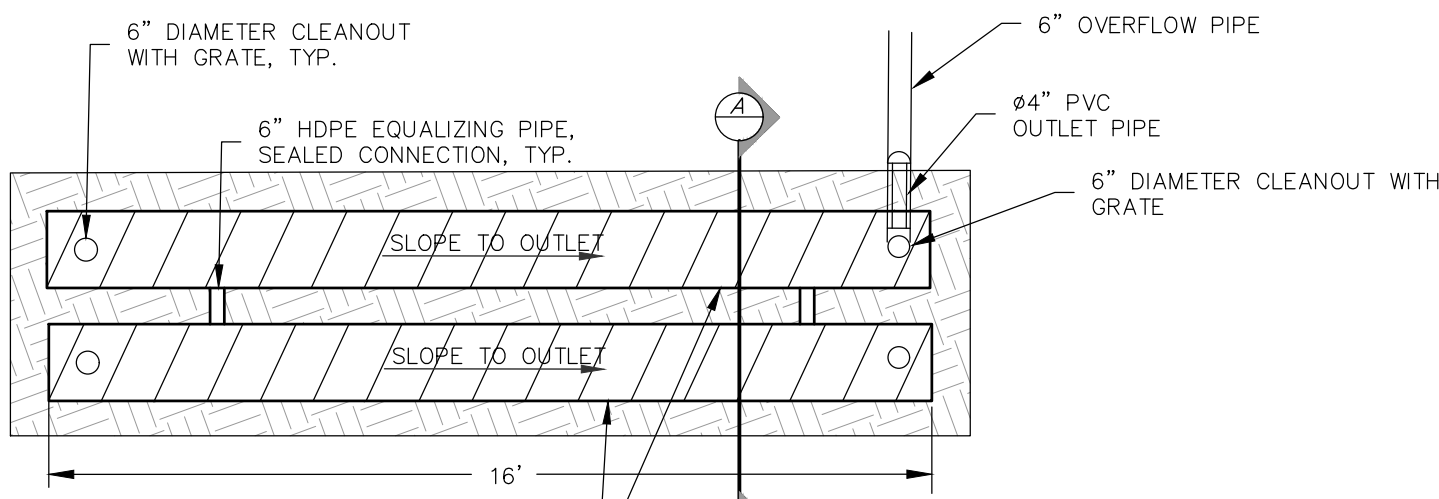


CONSTRUCTION LEGEND

1. INSTALL RURAL DRIVEWAY APPROACH WITH VALLEY GUTTER PER SANTA CLARA COUNTY STANDARD DETAIL B-4 ON SHEET 6. STRUCTURAL SECTION SHALL BE 5" CONCRETE ON 6" AB WITH #4 @ 18 IN. EACH WAY PLACED IN THE MIDDLE THIRD OF SLAB THICKNESS PER THE GEOTECHNICAL ENGINEER.
2. CONSTRUCT 2' LONG X 1' WIDE CONCRETE SPLASH BLOCK AT ROOF DOWNSPOUT. DIRECT AWAY FROM HOUSE.
3. CONSTRUCT COBBLE DISSIPATOR PER DETAIL HEREON.
4. INSTALL 6" SDR35 PVC STORM DRAIN PIPE.
5. CONSTRUCT UNDERGROUND RETENTION BASIN PER DETAIL HEREON. PERFORM PRESSURE TEST TO SATISFACTION OF SANTA CLARA COUNTY DEH.
6. CONSTRUCT COBBLE LINED SWALE PER DETAIL HEREON.
7. INSTALL SLOTTED TRENCH DRAIN PER DETAIL HEREON.
8. CONSTRUCT RETAINING WALL PER STRUCTURAL ENGINEER, MAX HEIGHT = 2'.
9. REMOVE EXISTING TREE.



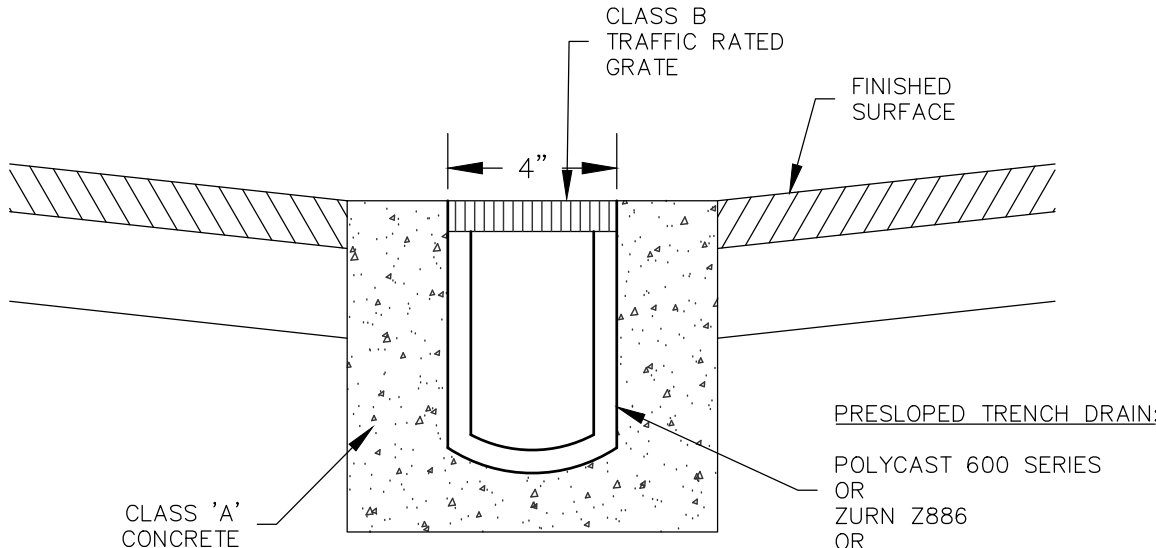
SECTION A-A



PLAN VIEW

RETENTION BASIN DETAIL

N.T.S.



TRENCH DRAIN DETAIL

N.T.S.

GENERAL ROW CONSTRUCTION NOTES

1. ALL SAWCUT SPOILS SHALL BE VACUUMED.
2. SAWCUT AND REPAVE A MINIMUM 1-FT OF IDYLWILD RD ALONG DRIVEWAY APPROACH LIMIT. MATCH PAVEMENT SECTION IN KIND AND TO COUNTY STANDARD.
3. RESTRIPE FOG LINE IN SAWCUT AREA WITH A 4-INCH WHITE REFLECTIVE PAVEMENT MARKING AND AS REQUESTED BY COUNTY INSPECTOR AND/OR ENGINEER.
4. OFF HAUL ALL CONSTRUCTION SPOILS AND DEBRIS TO AN APPROPRIATE DUMP FACILITY.
5. INSTALL AND MAINTAIN PROPER BMPs THROUGHOUT THE DURATION OF CONSTRUCTION.
6. INSTALL AND MAINTAIN TRAFFIC CONTROL IN ACCORDANCE WITH THE MUTCD.

FEMA FLOOD PLAIN NOTE

PROJECT SITE IS LOCATED IN AN AREA OF UNDETERMINED FLOOD HAZARD (ZONE D) PER FEMA FIRMETTE 060337.

SITE NOTES

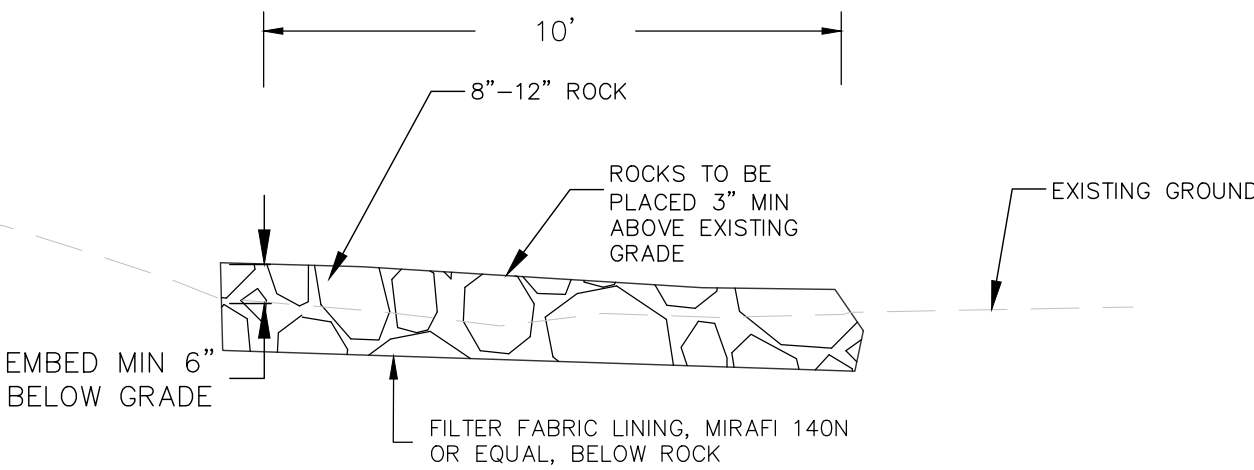
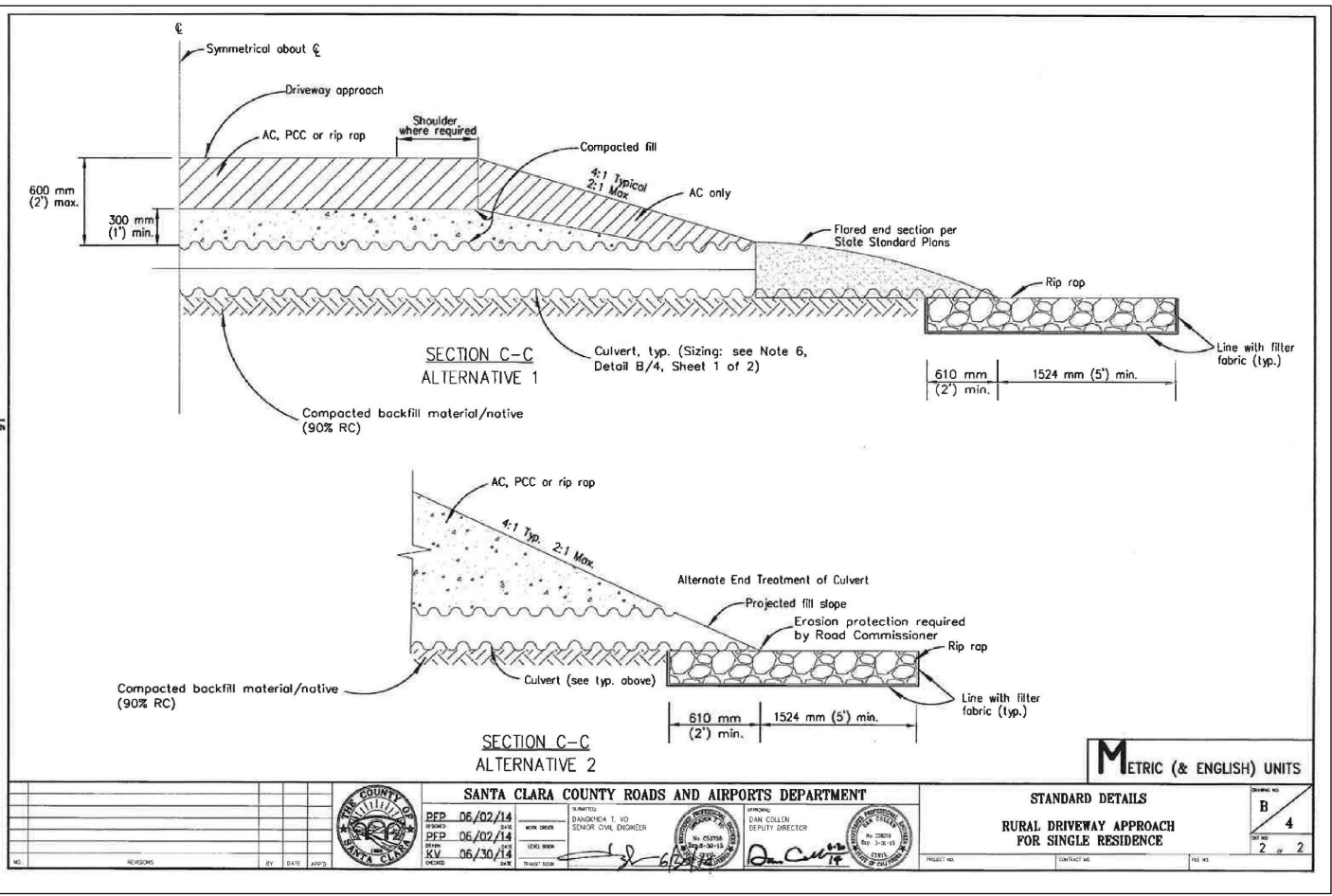
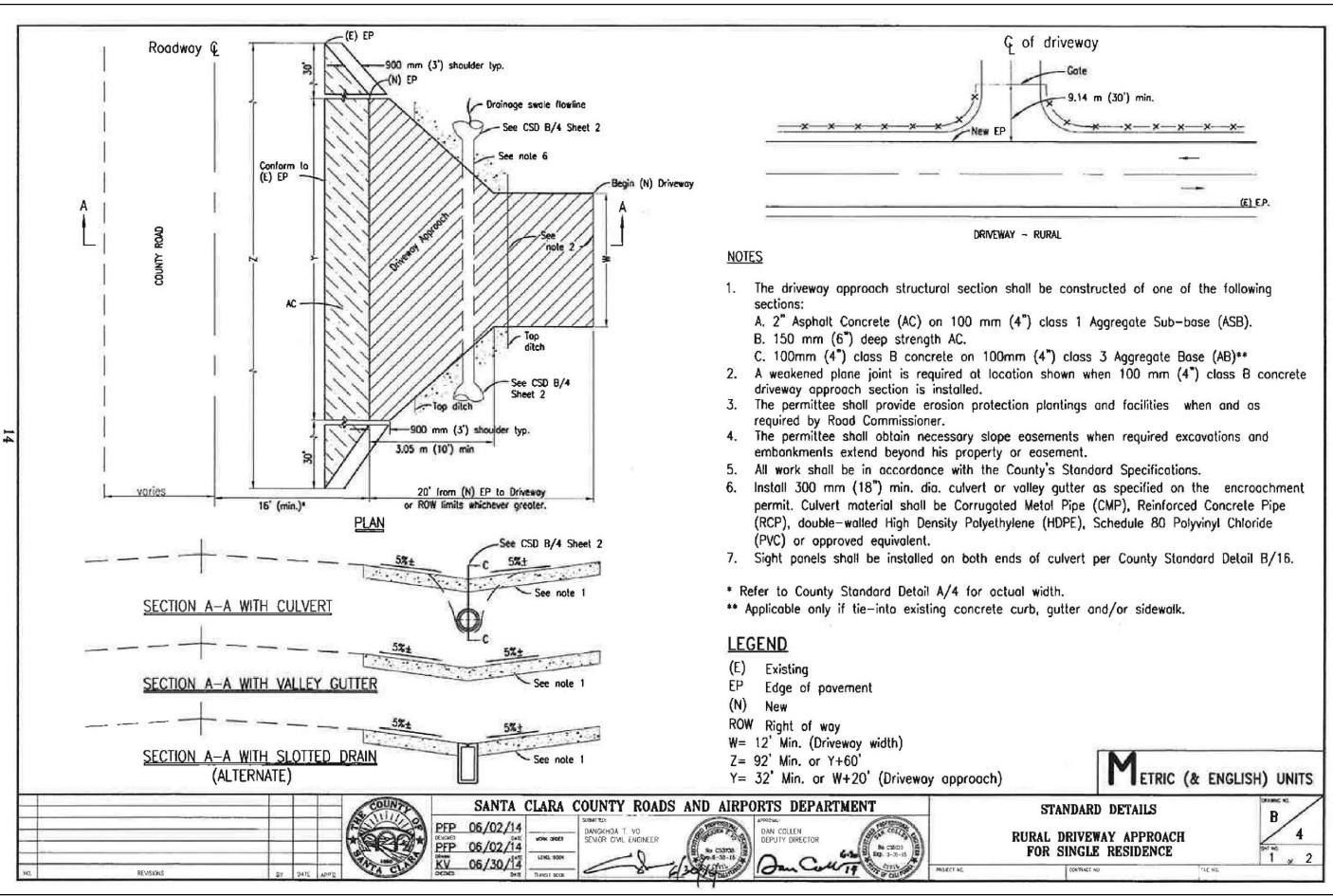
LOT AREA: 1.384 AC
DISTURBANCE AREA: 0.89 AC
IMPERVIOUS AREA: 11,410 SF

SEPTIC FIELD NOTE

SPECIFIED WASTEWATER DRAINFIELD DISPERSAL AREAS SHALL BE FENCED OFF PRIOR TO ANY SITE DEVELOPMENT IN ORDER TO PROHIBIT ANY GRADING EQUIPMENT OR STAGING OF MATERIALS IN THESE AREAS. IT IS IMPORTANT THAT THE NATURAL SOIL CONDITIONS IN THESE AREAS BE PRESERVED FOR PROPER FUNCTION OF THE SHALLOW SOIL DISCHARGE SYSTEM. DO NOT ALLOW SOILS IN THESE AREAS TO BE COMPACTED. DO NOT ROUTE UTILITY TRENCHES THROUGH THE PROPOSED DRAINFIELDS. ALL STORMWATER LINES, INLETS/OUTLETS AND DRAINAGEWAYS SHALL MAINTAIN THE REQUIRED DEH SETBACKS TO THE PROPOSED DRAINFIELDS.

PROPERTY CORNER NOTE

IN THE EVENT THAT PROPERTY CORNERS ARE DESTROYED, DO NOT EXIST OR CANNOT BE FOUND DURING CONSTRUCTION, IRON PIPES SHALL BE SET (OR RE-SET) AT ALL PROPERTY CORNERS AT THE DIRECTION OF COUNTY INSPECTION/SURVEYING/ENGINEERING STAFF TO ENSURE THAT PROPER BUILDING SETBACKS LINES CAN BE DETERMINED.

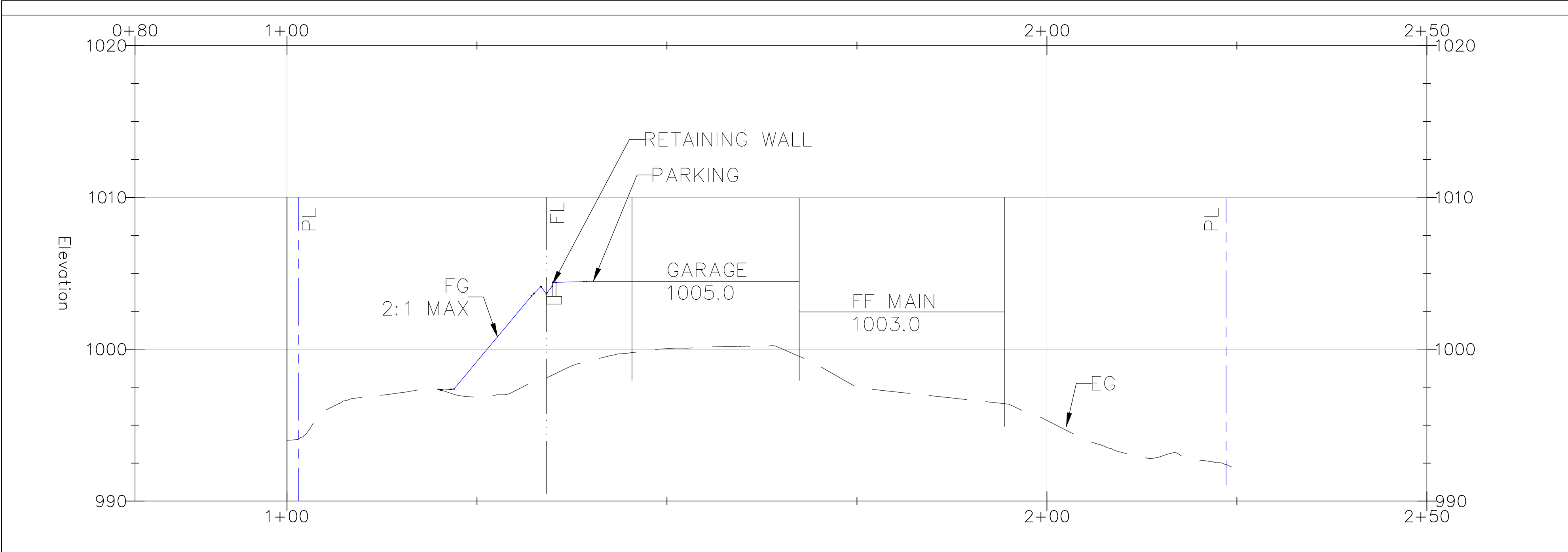


DISSIPATOR DETAIL

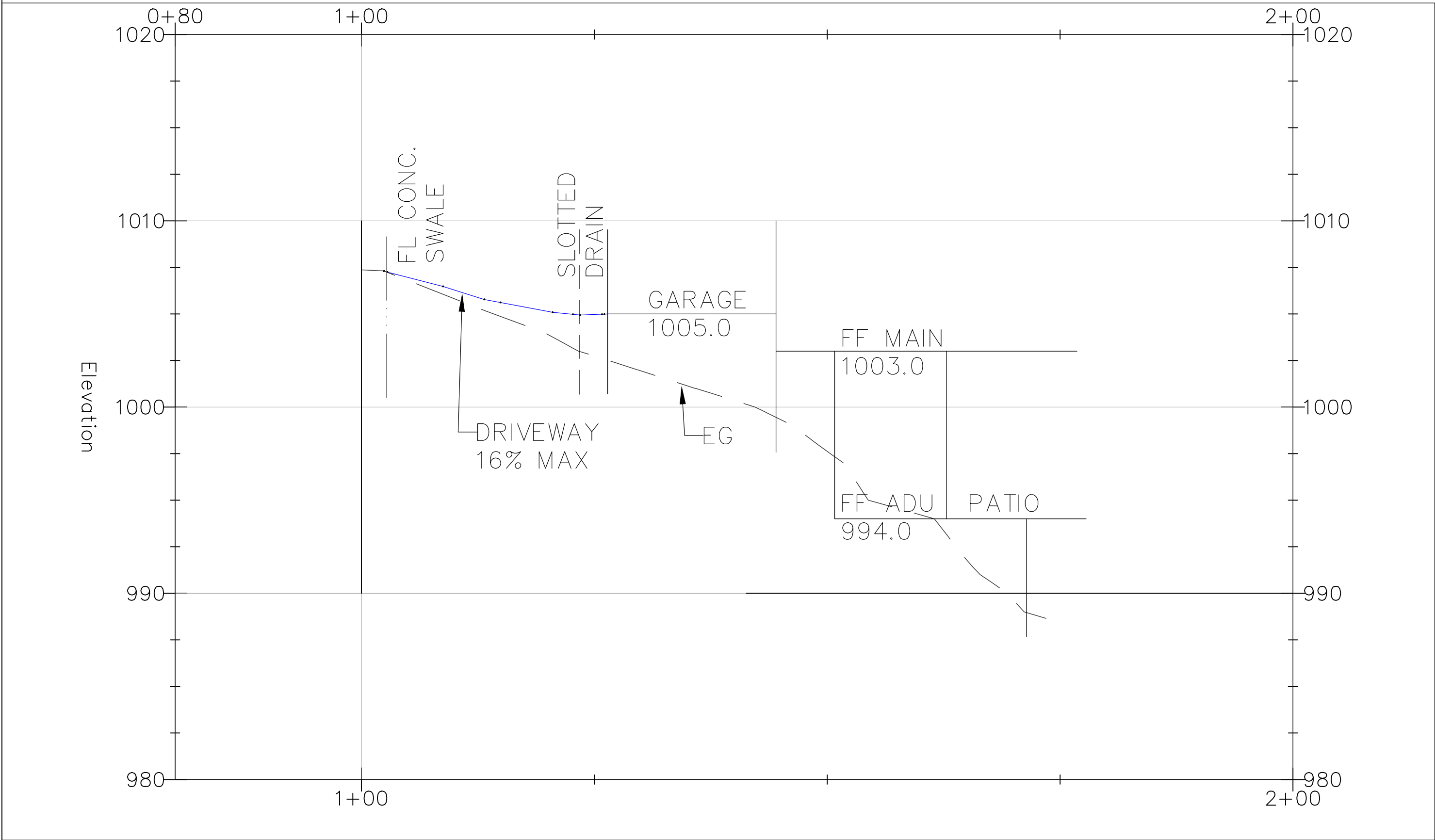
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V M K DESIGN GROUP VADIM MELIK-KARAOV CONCEPTUAL DESIGN • PLANNING • INTERIOR WWW.VMKDESIGNGROUP.COM VNK@JPS.NET Ph: 408.554.6110 3777 STEVENS CREEK BLVD. SUITE 420 Fsx: 408.516.9490 SANTA CLARA CA 95051	
REGISTERED PROFESSIONAL ENGINEER THOMAS A. PLATZ NO. C 41039 CIVIL STATE OF CALIFORNIA	
MITYUGOV RESIDENCE 17739 Cherokee Trail Los Gatos, CA	
DATE	06/24/2022
SCALE	AS NOTED
DRAWN	myr
JOB	09.3003
SHEET	C2
OF	8 SHEETS

MITYUGOV RESIDENCE		DATE 06/24/2022	
17739 Cherokee Trail		SCALE AS NOTED	
Los Gatos, CA		DRAWN myp	
		JOB 09.3003	
SHEET C3			
OF 8	SHEET		



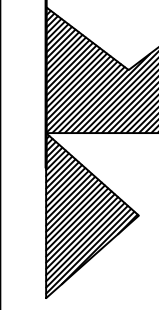
SECTION A-A
SCALE: HOR. 1"=10'
VERT. 1"=5'



SECTION B-B
SCALE: HOR. 1"=10'
VERT. 1"=5'

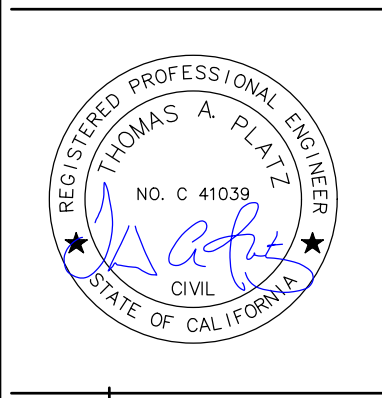
SECTIONS

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MITYUGOV RESIDENCE

17739 Cherokee Trail
Los Gatos, CA

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DRAWN	myp
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SHEET	C4
OF	8 SHEETS



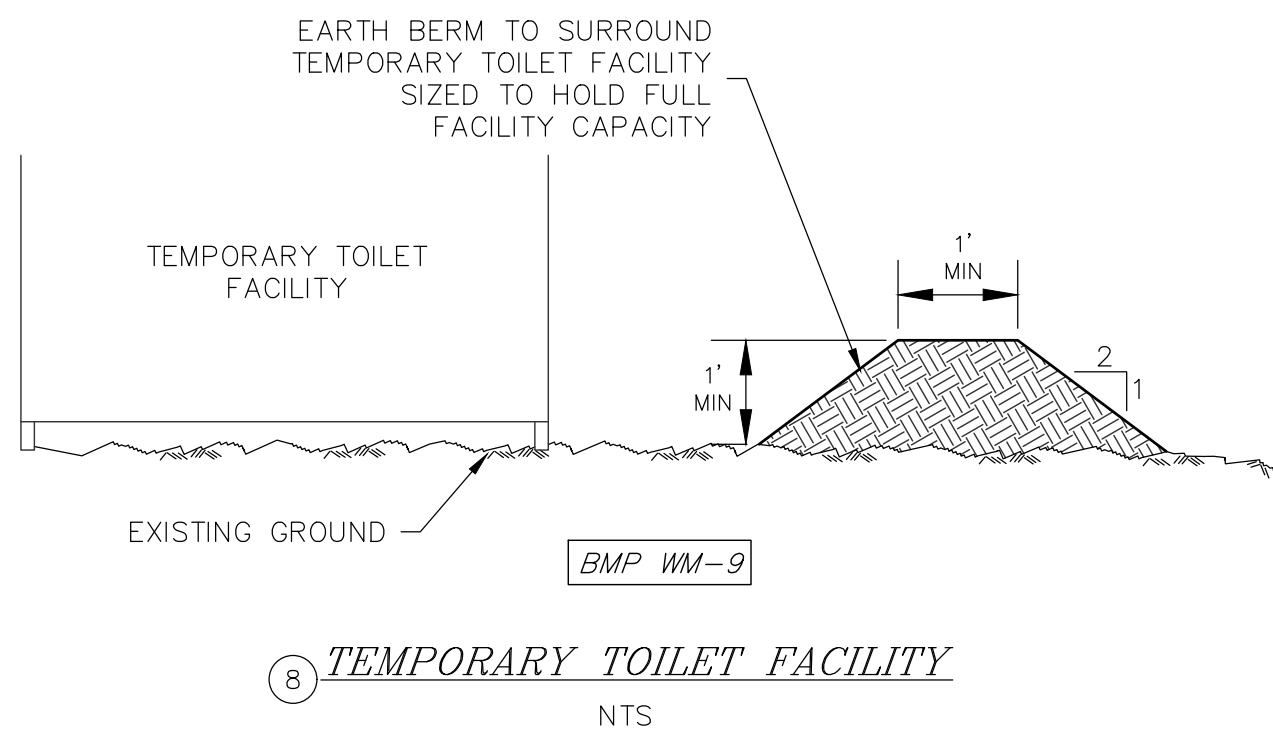
- ① INSTALL FIBER ROLL PER CASQA DETAIL SE-5 AND DETAIL 1 ON SHEET BMP-2.
- ② INSTALL CONCRETE WASTE MANAGEMENT PER CASQA DETAIL WM-8 AND DETAIL 2 ON SHEET BMP-2.
- ③ INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT PER CASQA DETAIL TC-1 AND DETAIL 3 ON SHEET BMP-1.
- ④ CONSTRUCTION TRAILER AND PARKING AREA.
- ⑤ INSTALL GEOTEXTILES AND MATS PER CASQA DETAIL EC-7 AND DETAIL 5 ON SHEET BMP-2.
- ⑥ INSTALL SILT FENCE PER CASQA DETAIL SE-1 AND DETAIL 1&2 ON SHEET BMP-1.
- ⑦ MATERIAL STORAGE AND LAYDOWN AREA.
- ⑧ INSTALL TEMPORARY TOILET FACILITY PER CASQA BMP WM-9 AND PER DETAIL HEREON.

ALSO REFER TO STANDARD BEST MANAGEMENT PRACTICE NOTES
AND STANDARD EROSION CONTROL NOTES ON SHEET BMP-1.

NO VEHICLE AND EQUIPMENT CLEANING OR MAINTENANCE SHALL BE DONE ONSITE.

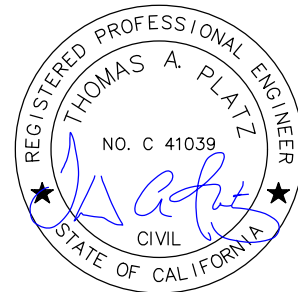
GENERAL EROSION CONTROL NOTES

1. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
2. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDDED WITH BROME SEED SPREAD AT THE RATE OF 10 LBS. PER 1000 SQUARE FEET (OR APPROVED EQUIV.) SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
3. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDR.
4. ALL STORMWATER CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITH EFFECTIVE ENTRANCE & EXIT PROTECTION. EROSION CONTROL, E.G., GULCH CONCRETE RIPRAP, EROSION DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS, WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
5. ALL EXPOSED SLOPES SHALL BE SEEDDED WITH BROME SEED AT THE RATE OF 10 LBS. PER 1000 SQUARE FEET. SEEDING SHALL BE RESEEDDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION.
6. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE COUNTY ENGINEER.
7. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
8. CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF VEGETATION STABILIZATION. CONSTRUCTION BMPs SHALL INCLUDE THE CONTROL OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO:
 - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES SHALL INCLUDE, BUT NOT BE LIMITED TO:
 1. PREVENTION OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
 - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL CONDUCT ALL CONSTRUCTION ACTIVITIES CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS WASTE STORAGE, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC., ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
10. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO ACCOMMODATE CHANGING WEATHER CONDITIONS AND VARYING CONSTRUCTION ACTIVITIES. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS NECESSARY, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO MAINTAIN EROSION CONTROL MEASURES SHALL BE CONSIDERED A VIOLATION OF THE PERMIT. EROSION CONTROL MEASURES MAY BE REQUIRED IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.



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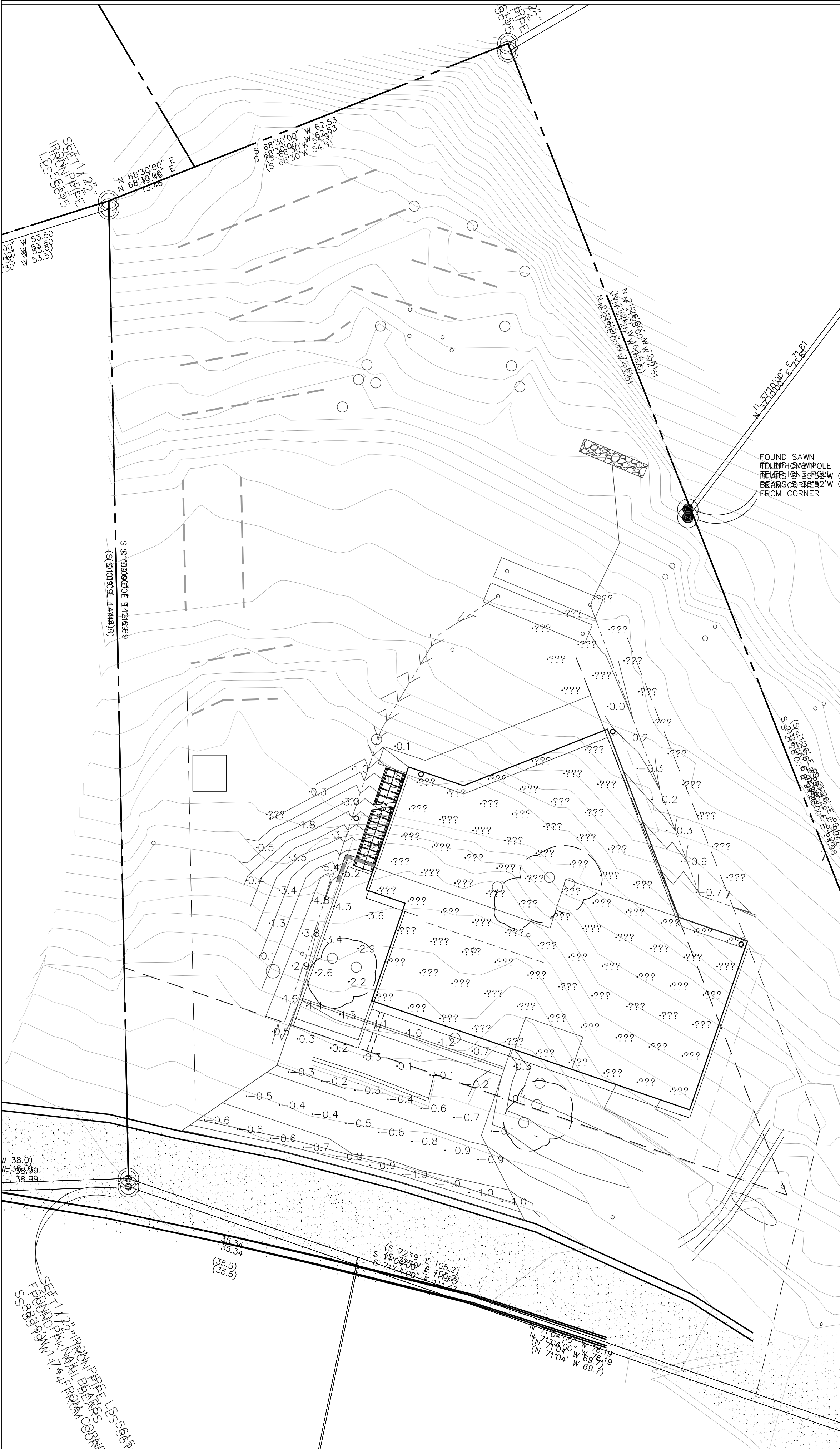
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MITYUGOV RESIDENCE

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DRAWN	myp
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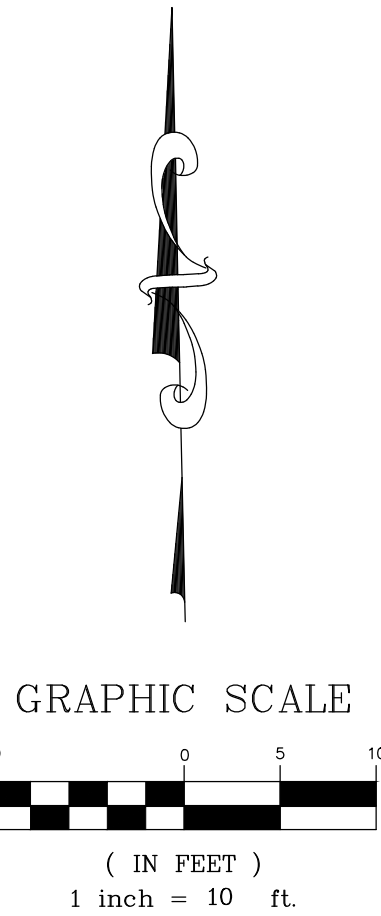
EARTHWORK

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Earthwork - Building	1.000	1.000	1731.97 Sq. Ft.	15.93 Cu. Yd.	60.11 Cu. Yd.	44.18 Cu. Yd.<Fill>
Earthwork - Yard	1.000	1.000	1900.33 Sq. Ft.	14.87 Cu. Yd.	50.77 Cu. Yd.	35.91 Cu. Yd.<Fill>
Earthwork - Driveway	1.000	1.000	1421.79 Sq. Ft.	14.81 Cu. Yd.	49.13 Cu. Yd.	34.32 Cu. Yd.<Fill>

NOTE

HOUSE WILL BE CONSTRUCTED ON DRILLED PILES
PER GEOTECHNICAL ENGINEER.



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REGISTERED PROFESSIONAL ENGINEER

THOMAS A. PLATZ

NO. C 41039

CIVIL

STATE OF CALIFORNIA

MITYUGOV RESIDENCE

17739 Cherokee Trail

Los Gatos, CA

DATE

06/24/2022

SCALE

AS NOTED

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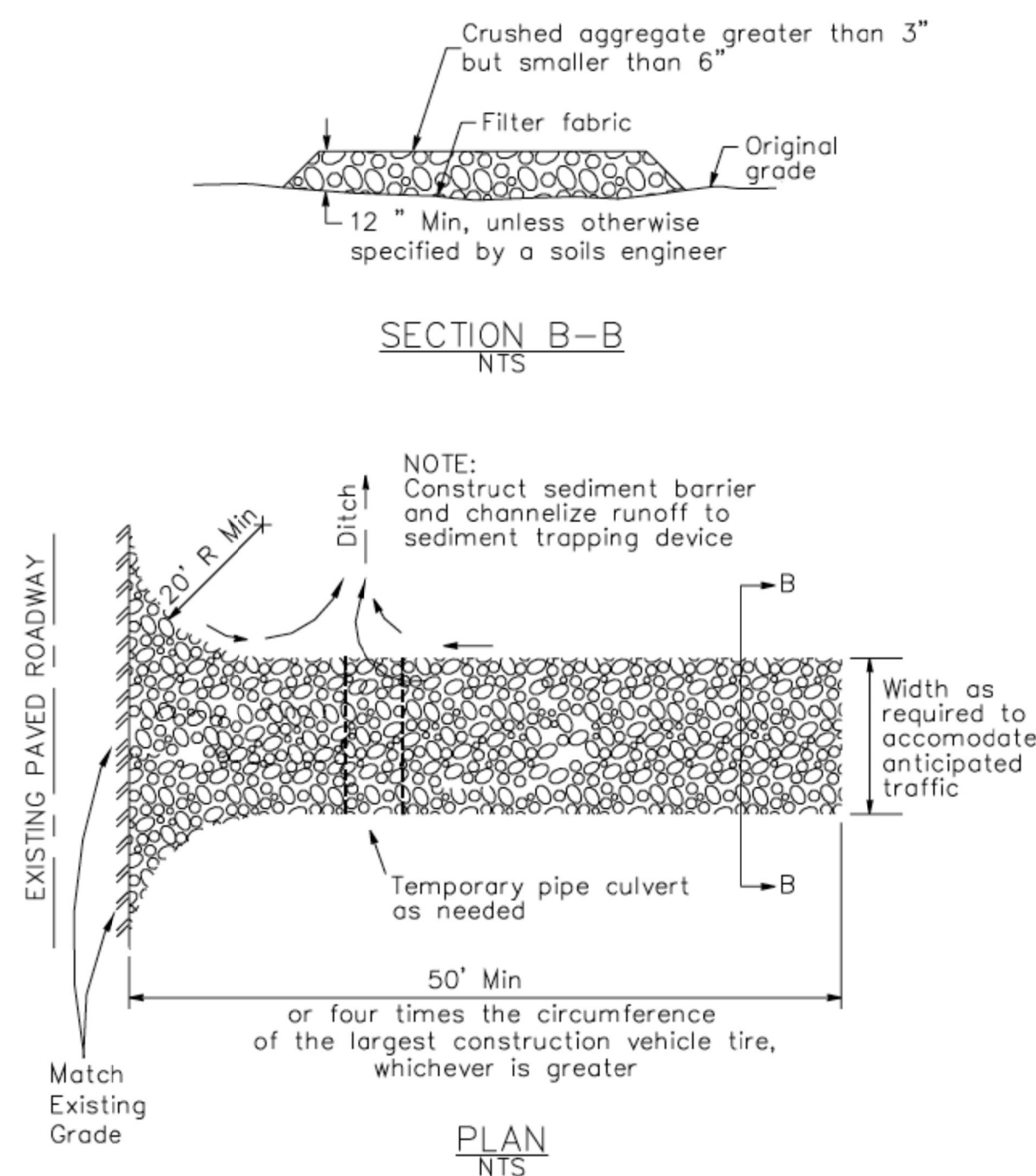
SHEET

C6

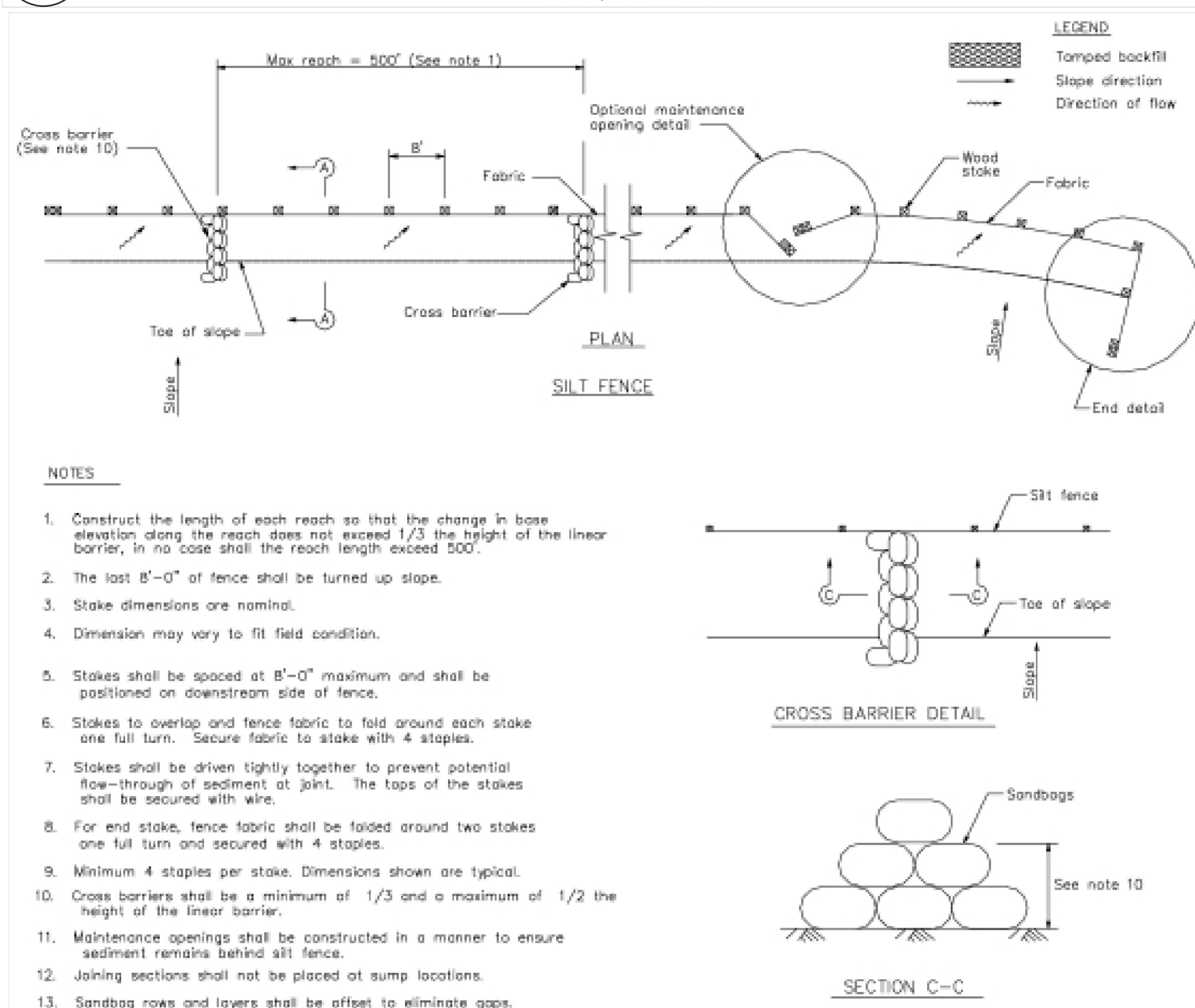
OF 8

SHEETS

CASQA Detail TC-1

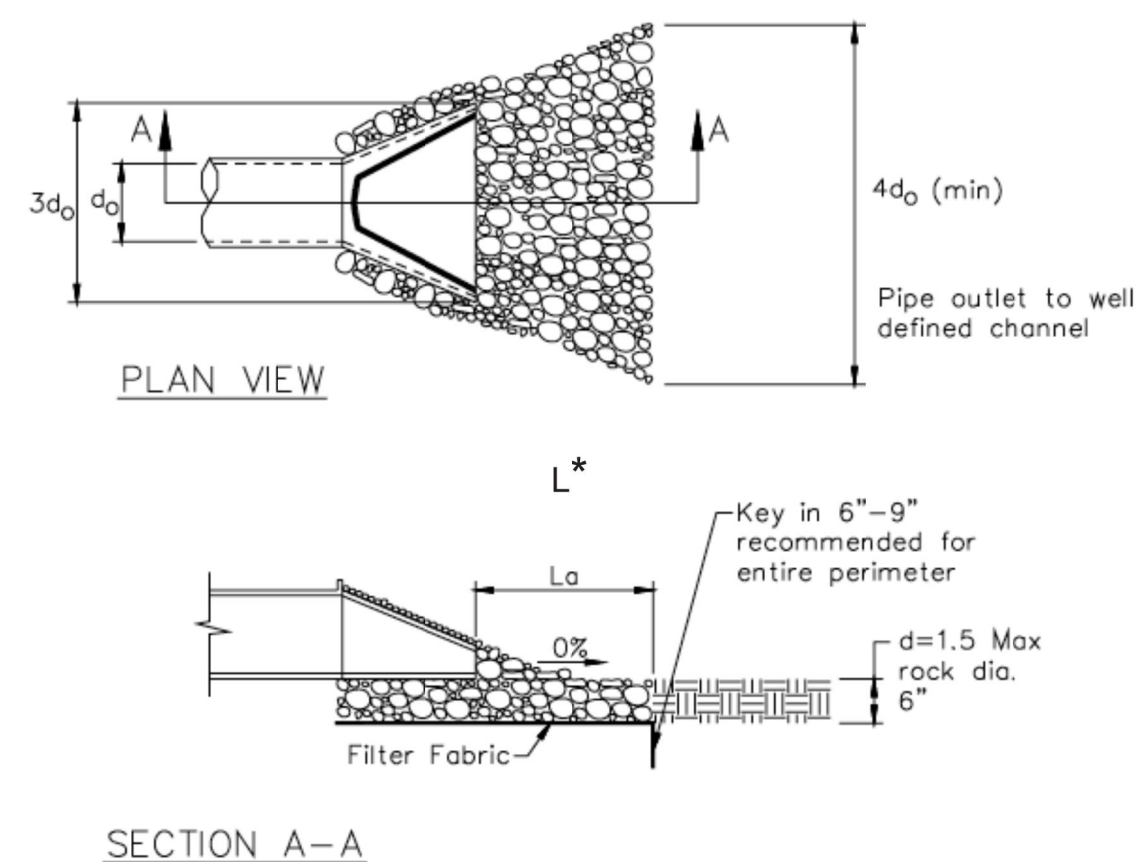


UNIT 1



Velocity Dissipation Devices

CASQA Detail EC-10

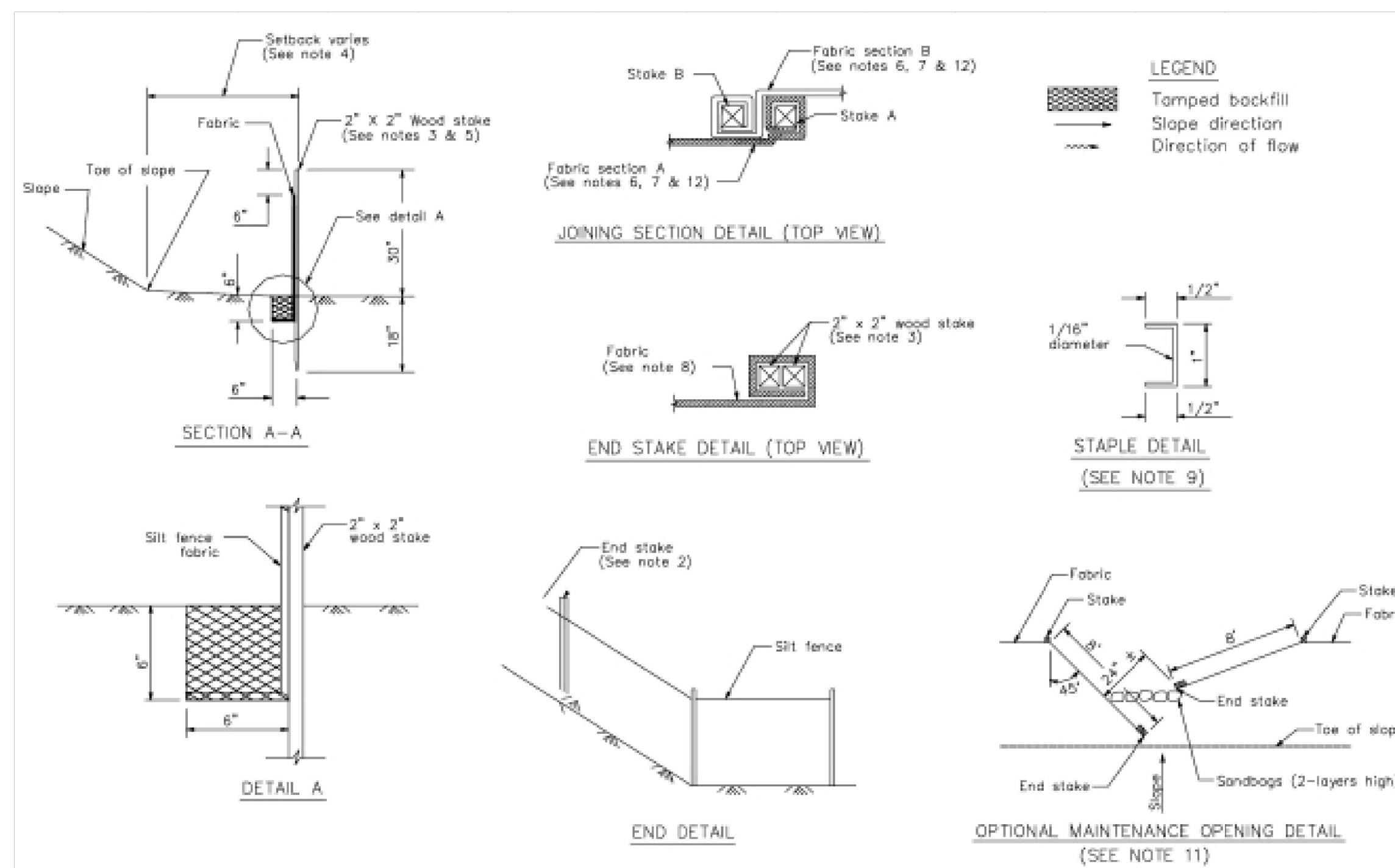


* Length per ABAG Design Standards

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

Silt Fence

CASQA Detail SE-1



STANDARD BEST MANAGEMENT PRACTICE NOTES

1. **Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
2. **Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
3. **Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
4. **Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
5. **Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
6. **Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
7. **Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
8. **Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
9. **Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
10. **Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

1. **Sediment Control Management:**

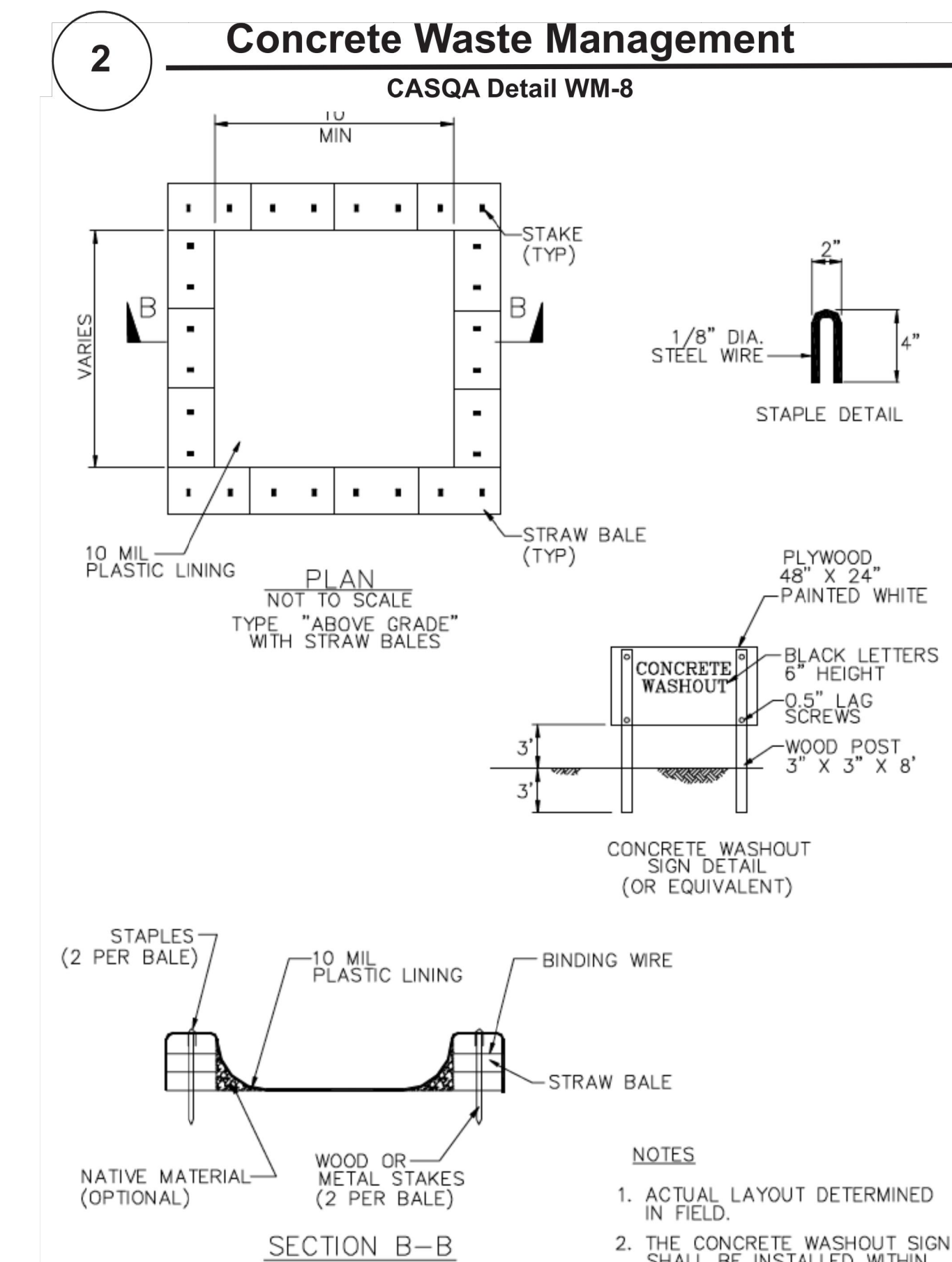
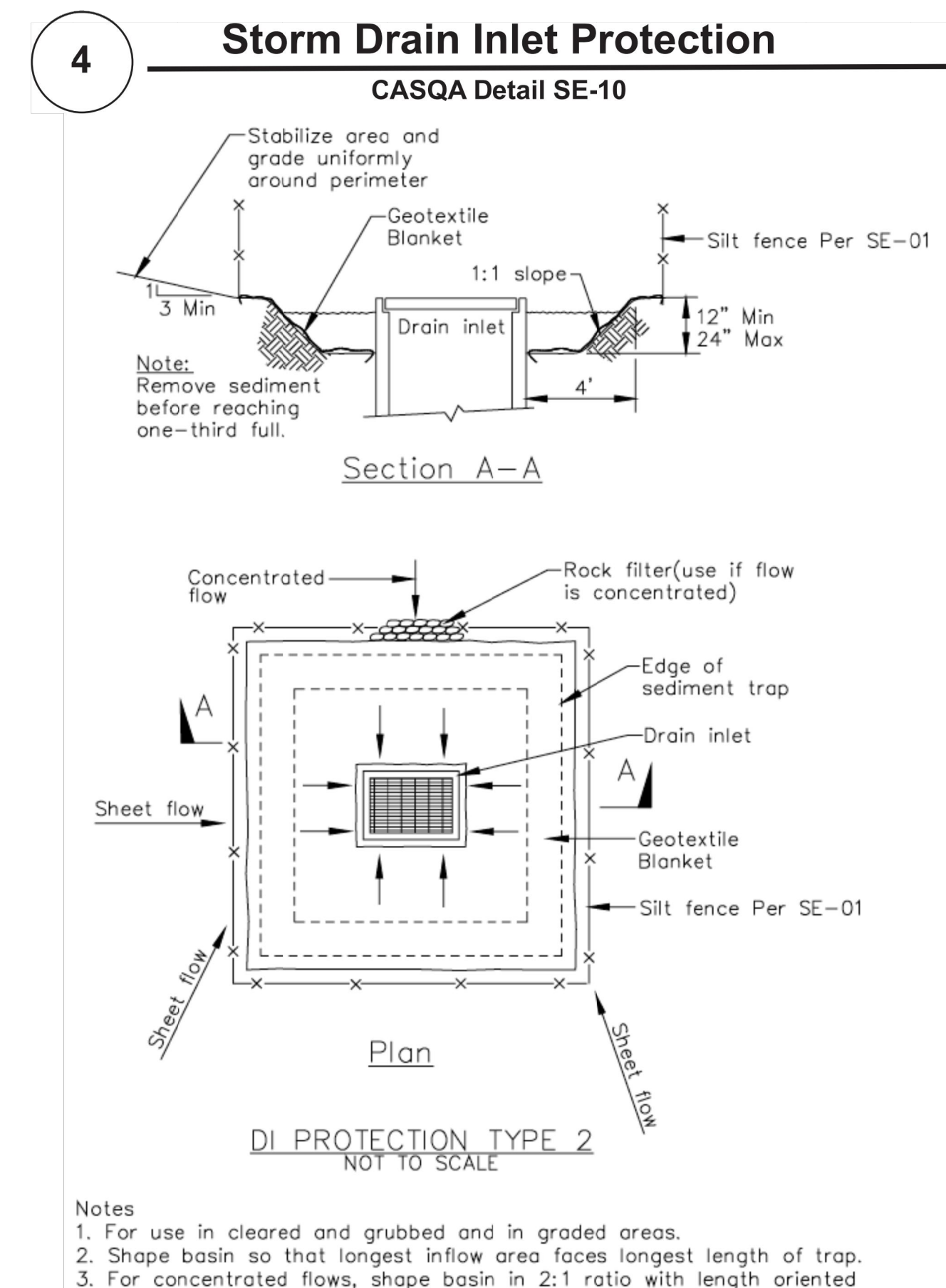
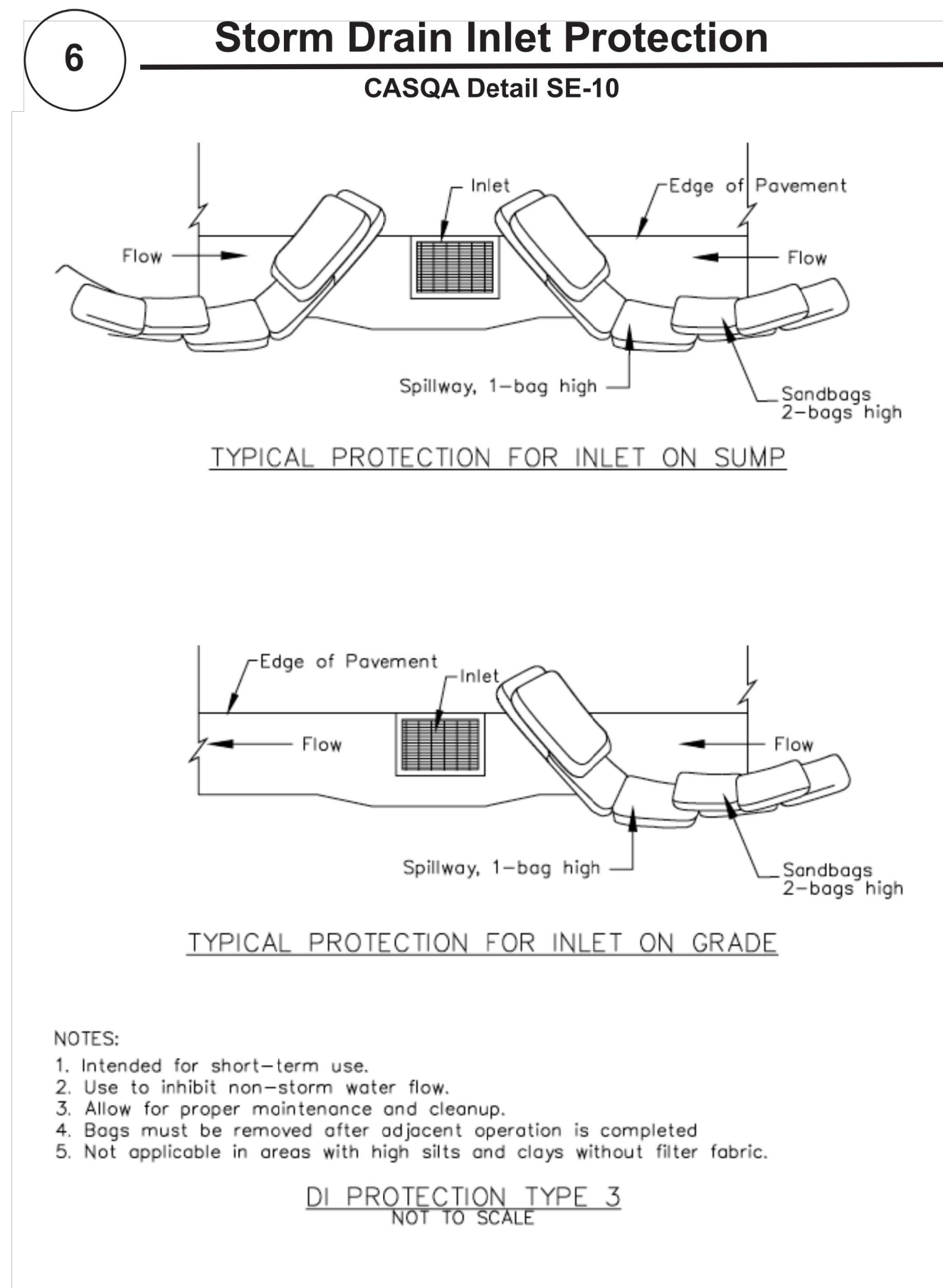
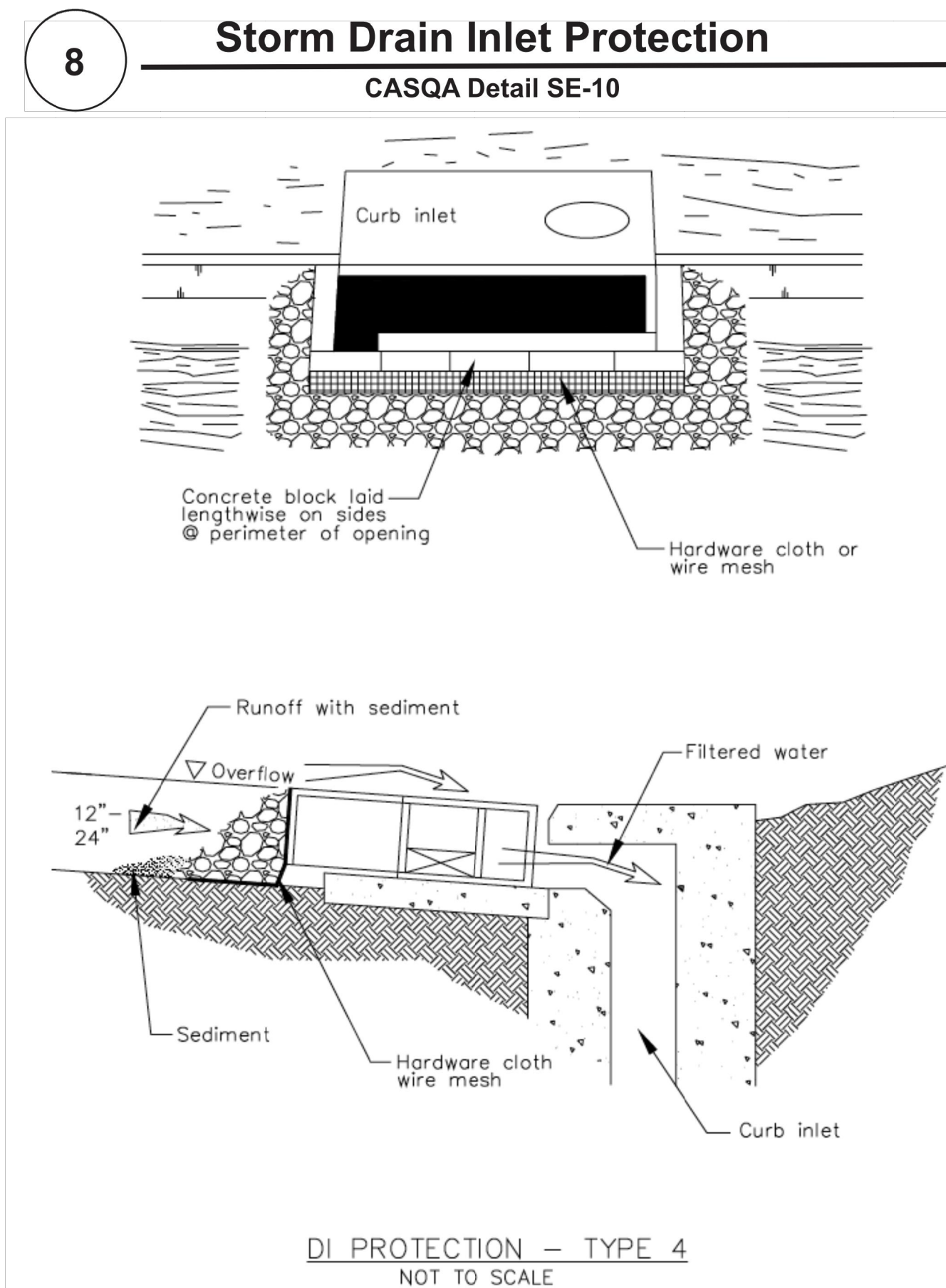
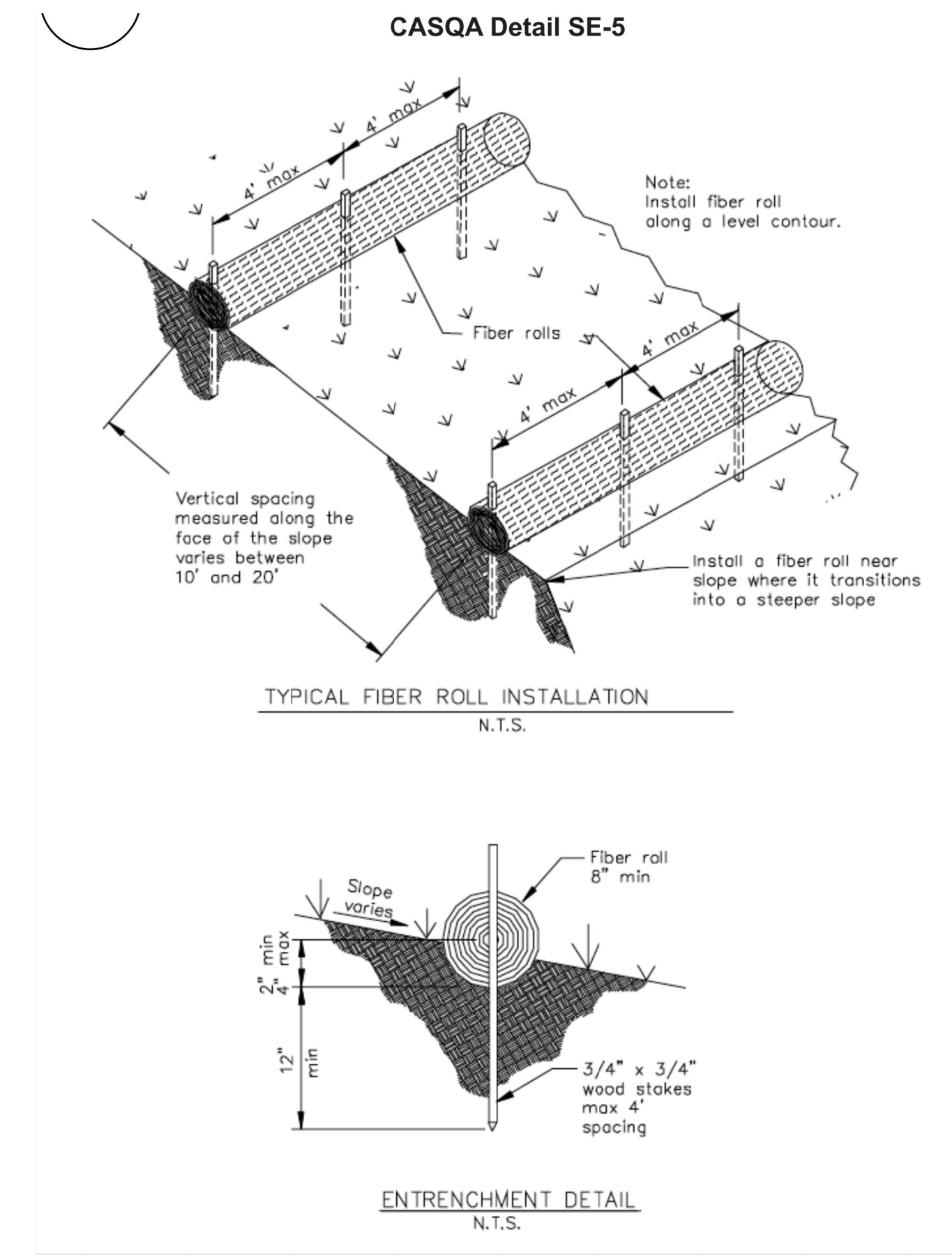
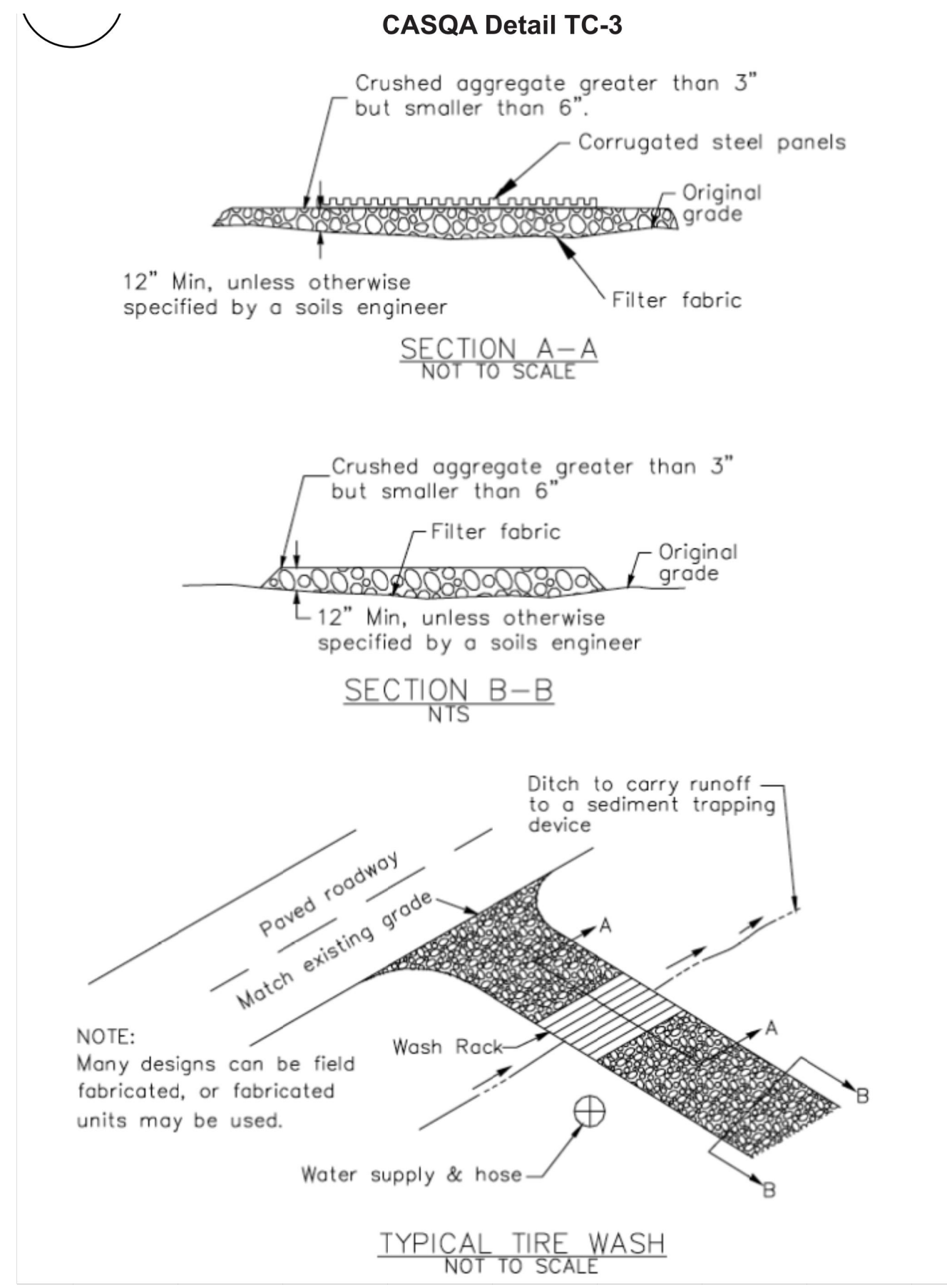
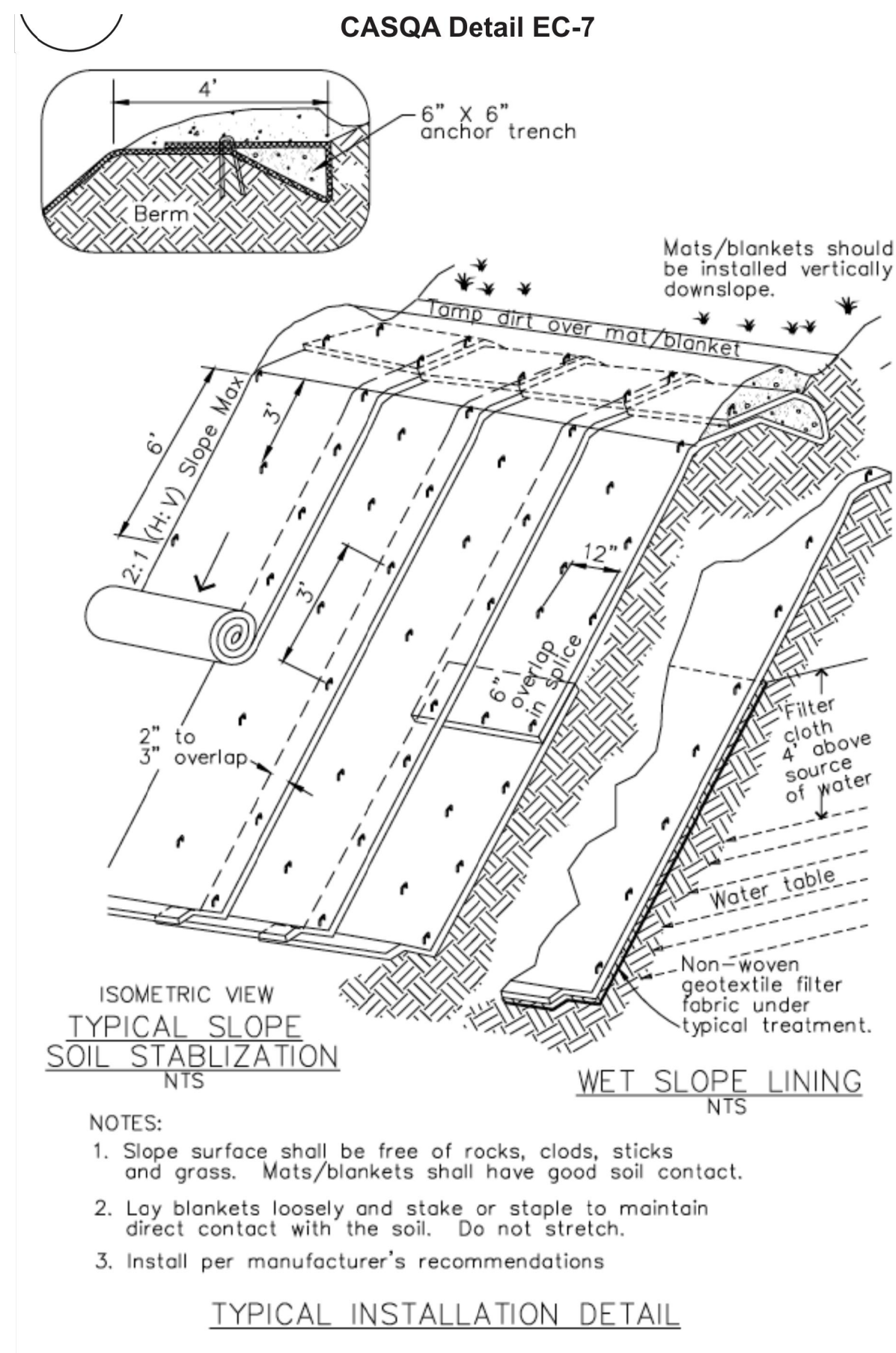
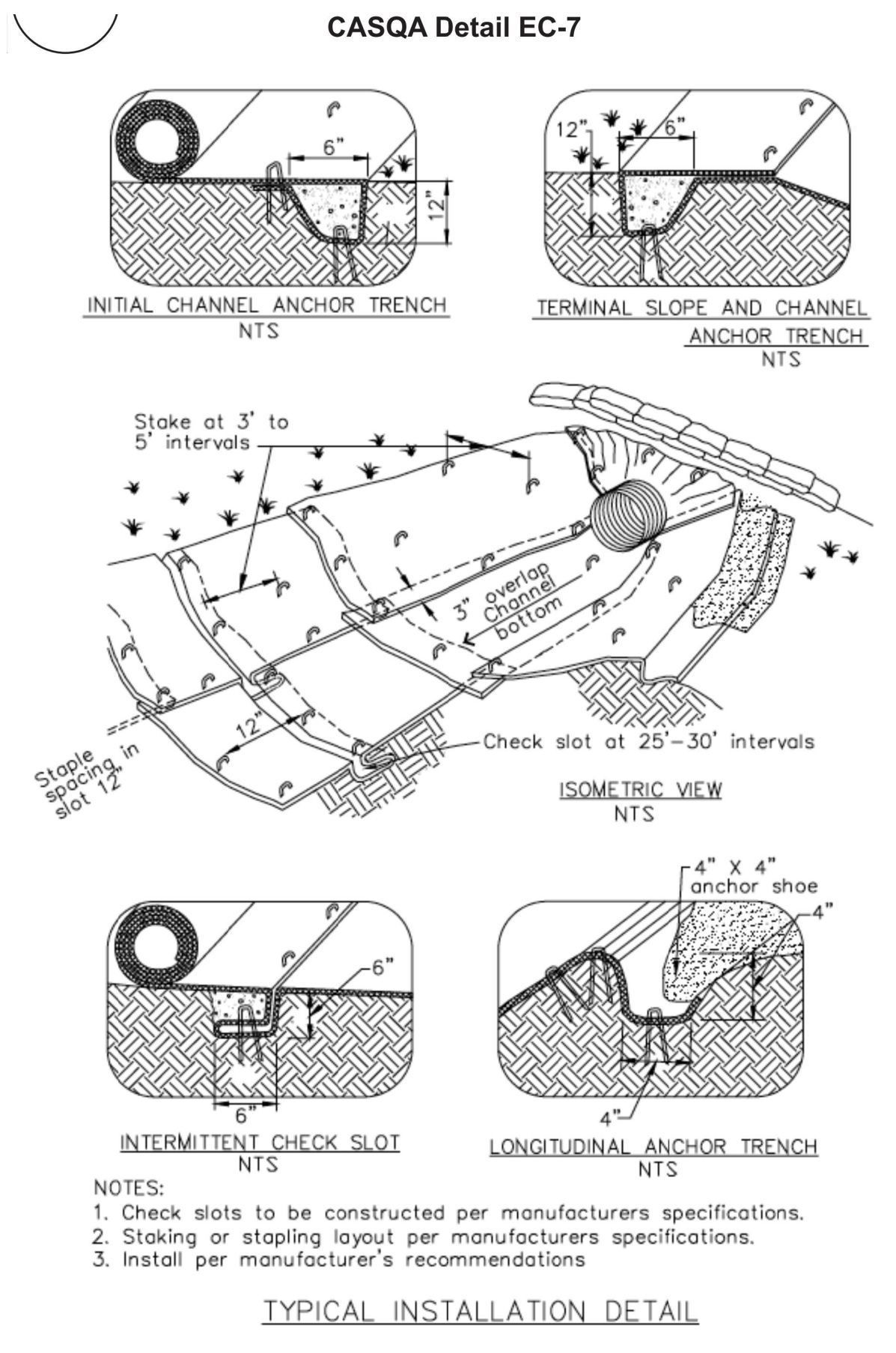
Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
2. **Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
3. **Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
4. **Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.



Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

