

# County of Santa Clara

## Department of Planning and Development

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July 3rd, 2023

Mack Larson  
10810 Crothers Rd  
San Jose, CA 95127  
Email: [larsenmack@icloud.com](mailto:larsenmack@icloud.com)  
\*\*\* Sent via email \*\*\*

**FILE NUMBER:** PLN23-010  
**SUBJECT:** Building Site Approval, Design Review, and Grading Approval for a Single-Family House and a Prefabricated Barn.  
**SITE LOCATION:** 10818 Crothers Rd, San Jose, CA 95127 (APN: 612-44-033)  
**DATE RECEIVED:** June 05, 2023

Dear Mack:

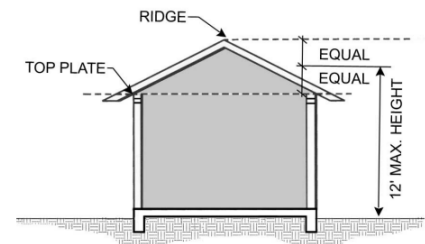
Staff has reviewed the application, submitted on June 05, 2023, and would like to provide staff's assessment of the proposed design with respect to this planning application no. PLN23-010.

The information in this section is/are not incomplete item(s) and is not required to deem the application complete for processing. The information in this section is informational only and can be discussed further if desired with County Staff.

1. Please note that the following is informational only for the submission of future building permit applications. It appears that the proposed accessory structure (eg. Storage, prefabricated barn) exceeds 12 feet in height (16 total feet), therefore, it is subject to minimum side and rear yard setbacks of 30 feet, per County Zoning Ordinance § 4.20.020 Accessory Buildings and Structures. Link to the Ordinance: <https://stgenpln.blob.core.windows.net/document/ZonOrd.pdf>

### § 4.20.020 (E)

*Accessory buildings or structures exceeding 12 feet in height (16 total feet with gable/hip roof allowance as provided in subsection 4.20.020(E)(1)(a) above) on lots 2.50 acres or larger are subject to side and rear yard setbacks of no less than 30 feet.*



- On Sheet (1), the proposed setback for the attached garage is ten (10) feet. Pursuant to County Zoning Ordinance § 2.20.030, a minimum setback of 30 feet from all property lines is required for the new house with an attached garage. As such, the site plan, as currently proposed, does not meet development standards under § 2.20.030. Staff recommends redesigning the structure to meet the setback requirements.

**§1.30.030 Definitions of Terms**

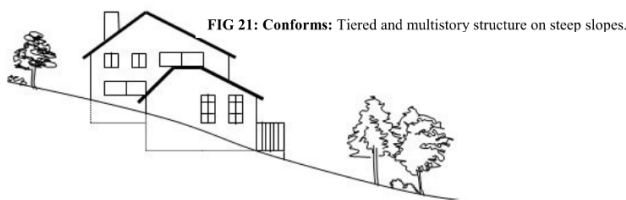
***Setback:** The horizontal separation required between lot lines (and/or rights-of-way), and the nearest point of a building or structure, including below-grade walls. The setback line shall be deemed to mean a line parallel to the lot line separated by the required setback distance.*

*Note: In situations where the property line lies within the right-of-way, the setback shall be taken from the edge of such right-of-way. However, if an official plan line or future width line has been established for the abutting right-of-way, setback measurement shall be taken from such official plan line or future width line.*

- Grading Findings require substantial conformance with applicable provisions of the [Guidelines for Grading and Hillside Development](#), adopted by the Board of Supervisors. As currently proposed (grading plans C7&8; elevations A3&4), Staff has concerns with the site design and may not make the Grading Findings. Staff recommends including steps in the building foundations and varied roof heights and plans and incorporating a tiered design approach to reduce visual bulk.

**Guidelines for Grading and Hillside Development**

*Guideline 11: New buildings located on steeper slopes that are visually prominent should incorporate a **tiered design approach** in order to reduce building massing and visual bulk. Design methods include **steps in the building foundations and varied roof heights and planes.** (Refer Policies R-GD—27, R-GD-32)*



For questions regarding this letter, please call me at (408) 299-5718 or schedule an appointment.

Sincerely,

LP

Lulu Pang  
Assistant Planner

cc:  
Samuel Gutierrez, Principal Planner