

CVR- Cover Page
CVR2 - Table
A1 - Residence Plan View
A2 - Roof Plan View
A3 - Electrical 1
A4 - Electrical 2
D1 - Details
D2 - Details
D3 - Details
D4 - Bamcore Details
D6 - Bamcore Details
D7 - Velux
B1 - Bamcore
B2 - Bamcore
B3 - Bamcore
VSE-1 - Velux
VSE-2
E1 - Electrical
R1 - Radiant
R2 - Radiant
SCH - Window/Door Schedule
T-24/EC1 - Energy Calcs
EC2
EC3
EC4
CG1 - Cal Green
CG2
CG3
CG4
S1.1 - Structural Cvr Page - Residence
S1.2 - Structural Plan
S1.3 - Structural
S 2.1- Foundation
S 2.2 -Details
S 2.3 - Details
S 3.0 - Details
S 4.0 - Details
S 5.0 - Details
S 6.0 - Details

G1 - Garage Elevation
G2 - Garage Isometric
G3 - Plan
S1 - Structural Calc
S2 - S22 - Heritage Building Assembly Drawings
SE1 - Electrical
SE2 - Electrical
S23 - S42 - Welding and Bolt Assembly Drawings
S 1.1 - Garage Foundation
S 1.2 - Foundation
S 2.0 - Details
S 3.0 - Details
C1 - Overall Site Plan
C2 - Driveway
C3 - Driveway to Rd D
C4 - Driveway Profile
C5 - Driveway Section
C6 - Grading Garage Pad
C7 - Grading Residence Pad
C8 - Section
C9 - Erosion Control Plan
C10 - Echo Knoll Approach Revision
C11 - Echo Knoll Rd
C12 - Echo Knoll Rd
C13 - Echo Knoll Rd



LEGEND

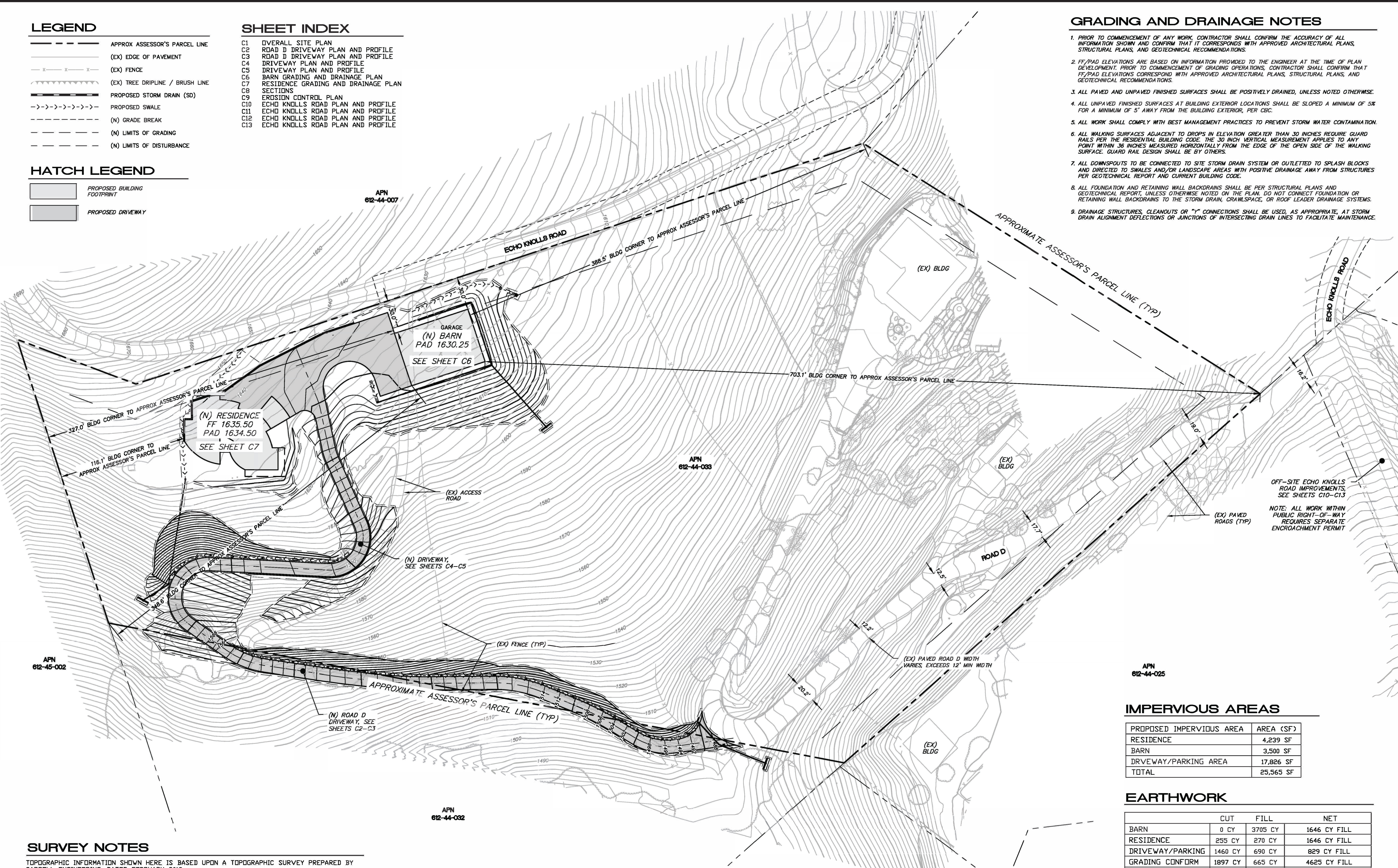
- APPROX ASSESSOR'S PARCEL LINE
- (EX) EDGE OF PAVEMENT
- (EX) FENCE
- (EX) TREE DRIPLINE / BRUSH LINE
- PROPOSED STORM DRAIN (SD)
- PROPOSED SWALE
- (N) GRADE BREAK
- (N) LIMITS OF GRADING
- (N) LIMITS OF DISTURBANCE

SHEET INDEX

- C1 OVERALL SITE PLAN
- C2 ROAD D DRIVEWAY PLAN AND PROFILE
- C3 ROAD D DRIVEWAY PLAN AND PROFILE
- C4 DRIVEWAY PLAN AND PROFILE
- C5 DRIVEWAY PLAN AND PROFILE
- C6 BARN GRADING AND DRAINAGE PLAN
- C7 RESIDENCE GRADING AND DRAINAGE PLAN
- C8 SECTIONS
- C9 EROSION CONTROL PLAN
- C10 ECHO KNOLLS ROAD PLAN AND PROFILE
- C11 ECHO KNOLLS ROAD PLAN AND PROFILE
- C12 ECHO KNOLLS ROAD PLAN AND PROFILE
- C13 ECHO KNOLLS ROAD PLAN AND PROFILE

HATCH LEGEND

- PROPOSED BUILDING FOOTPRINT
- PROPOSED DRIVEWAY



GRADING AND DRAINAGE NOTES

1. PRIOR TO COMMENCEMENT OF ANY WORK, CONTRACTOR SHALL CONFIRM THE ACCURACY OF ALL INFORMATION SHOWN AND CONFIRM THAT IT CORRESPONDS WITH APPROVED ARCHITECTURAL PLANS, STRUCTURAL PLANS, AND GEOTECHNICAL RECOMMENDATIONS.
2. FF/PAD ELEVATIONS ARE BASED ON INFORMATION PROVIDED TO THE ENGINEER AT THE TIME OF PLAN DEVELOPMENT. PRIOR TO COMMENCEMENT OF GRADING OPERATIONS, CONTRACTOR SHALL CONFIRM THAT FF/PAD ELEVATIONS CORRESPOND WITH APPROVED ARCHITECTURAL PLANS, STRUCTURAL PLANS, AND GEOTECHNICAL RECOMMENDATIONS.
3. ALL PAVED AND UNPAVED FINISHED SURFACES SHALL BE POSITIVELY DRAINED, UNLESS NOTED OTHERWISE.
4. ALL UNPAVED FINISHED SURFACES AT BUILDING EXTERIOR LOCATIONS SHALL BE SLOPED A MINIMUM OF 5% FOR A MINIMUM OF 5' AWAY FROM THE BUILDING EXTERIOR, PER CBC.
5. ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.
6. ALL WALKING SURFACES ADJACENT TO DROPS IN ELEVATION GREATER THAN 30 INCHES REQUIRE GUARD RAILS PER THE RESIDENTIAL BUILDING CODE. THE 30 INCH VERTICAL MEASUREMENT APPLIES TO ANY POINT WITHIN 36 INCHES MEASURED HORIZONTALLY FROM THE EDGE OF THE OPEN SIDE OF THE WALKING SURFACE. GUARD RAIL DESIGN SHALL BE BY OTHERS.
7. ALL DOWNSPOTS TO BE CONNECTED TO SITE STORM DRAIN SYSTEM OR OUTLETTED TO SPLASH BLOCKS AND DIRECTED TO SWALES AND/OR LANDSCAPE AREAS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES PER GEOTECHNICAL REPORT AND CURRENT BUILDING CODE.
8. ALL FOUNDATION AND RETAINING WALL BACKDRAINS SHALL BE PER STRUCTURAL PLANS AND GEOTECHNICAL REPORT, UNLESS OTHERWISE NOTED ON THE PLAN. DO NOT CONNECT FOUNDATION OR RETAINING WALL BACKDRAINS TO THE STORM DRAIN, CRAWLSPACE, OR ROOF LEADER DRAINAGE SYSTEMS.
9. DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED, AS APPROPRIATE, AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.

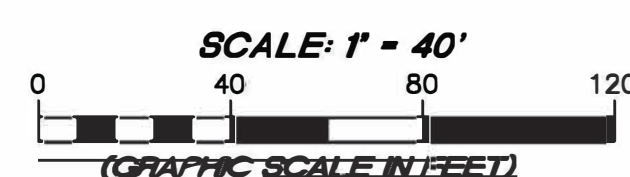
OFF-SITE ECHO KNOLLS ROAD IMPROVEMENTS, SEE SHEETS C10-C13
 NOTE: ALL WORK WITHIN PUBLIC RIGHT-OF-WAY REQUIRES SEPARATE ENCROACHMENT PERMIT

SURVEY NOTES

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A TOPOGRAPHIC SURVEY PREPARED BY CARRILL ENGINEERING, DATED FEBRUARY 2019.

1. THE LOCATION OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAS BEEN DETERMINED FROM SURFACE EVIDENCE OF THEIR EXISTENCE AND/OR FROM INFORMATION OBTAINED FROM PUBLIC AND/OR UTILITY AGENCIES. THE SURVEYOR ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITY LINES AND RELATED APPURTENANCES. ANY INDIVIDUAL, COMPANY OR AGENCY USING THIS MAP MUST CONFIRM THE LOCATION OF ALL UNDERGROUND LINES OR STRUCTURES PRIOR TO COMMENCING ANY EXCAVATION.
2. PROPERTY LINES SHOWN HEREON ARE APPROXIMATE ONLY AND DO NOT CONSTITUTE A BOUNDARY SURVEY. THE PERFORMANCE OF A BOUNDARY SURVEY AND THE ANALYSIS OF LEGAL DESCRIPTIONS PERTAINING TO THE LANDS DEPICTED HEREIN WOULD BE REQUIRED IF PRECISE PROPERTY LOCATION AND BOUNDARY LIMITS ARE NEEDED OR DESIRED. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE PROPERTY DATA DELINEATED HEREON.

OVERALL SITE PLAN



IMPERVIOUS AREAS

PROPOSED IMPERVIOUS AREA	AREA (SF)
RESIDENCE	4,239 SF
BARN	3,500 SF
DRIVEWAY/PARKING AREA	17,826 SF
TOTAL	25,565 SF

EARTHWORK

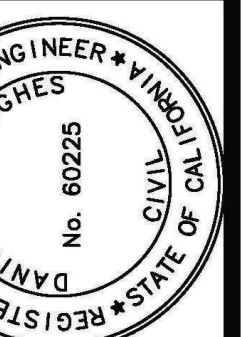
	CUT	FILL	NET
BARN	0 CY	3705 CY	1646 CY FILL
RESIDENCE	255 CY	270 CY	1646 CY FILL
DRIVEWAY/PARKING	1460 CY	690 CY	829 CY FILL
GRADING CONFORM	1897 CY	665 CY	4625 CY FILL
TOTAL	3,612 CY	5,330 CY	1,718 CY FILL (IMPORT)

NOTES:

1. THE QUANTITIES LISTED ARE THE ENGINEER'S ESTIMATE OF SURFACE GRADING ONLY. ADDITIONAL SUBSURFACE GRADING WILL BE REQUIRED FOR UTILITY TRENCHES, BENCHING, KEYWAYS, OVER EXCAVATION, IMPORT FILL, ETC AND/OR OTHER MEASURES DEEMED NECESSARY BY THE GEOTECHNICAL ENGINEER DURING PROJECT CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.
3. NO EXPANSION/CONTRACTION FACTORS HAVE BEEN APPLIED. EXPANSION AND/OR CONTRACTION MAY BE EXPERIENCED DUE TO ACTUAL FIELD CONDITIONS.
4. APPROXIMATE DISTURBED AREA OF SITE = 1.87 ACRES.

REVISION	DESCRIPTION	BY	DATE

DVC GROUP INC.
 PLANNING • ENGINEERING • C.M.
 1875 JENNY STREET
 HEALDENBURG, CA 95648
 (707) 998-0868



Daniel John Hughes
 DANIEL JOHN HUGHES DATE
 PCEE 60225

**10818 CROTHERS ROAD
 OVERALL SITE PLAN**
 APN 612-44-033
 10818 CROTHERS ROAD
 SAN JOSE, CA

JUNE 28, 2024
 JOB NO. 06-21
 SHEET NO. **S1**
 OF 13 SHEETS

Computer-generated drawing that is accurate, reliable, and complete, and that shall not be used for any purpose other than that for which it was prepared. The engineer preparing these plans will be responsible for, and liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

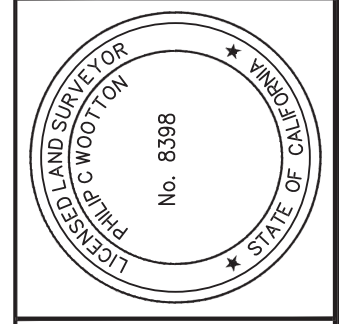


TOPOGRAPHIC AND BOUNDARY SURVEY

San Jose
10818 Crothers Road

California

DATE: 01/09/2020
 SCALE: 1" = 50'
 DRAWN BY: WAK
 DESIGNED BY: PCW
 CHECKED BY: PCW
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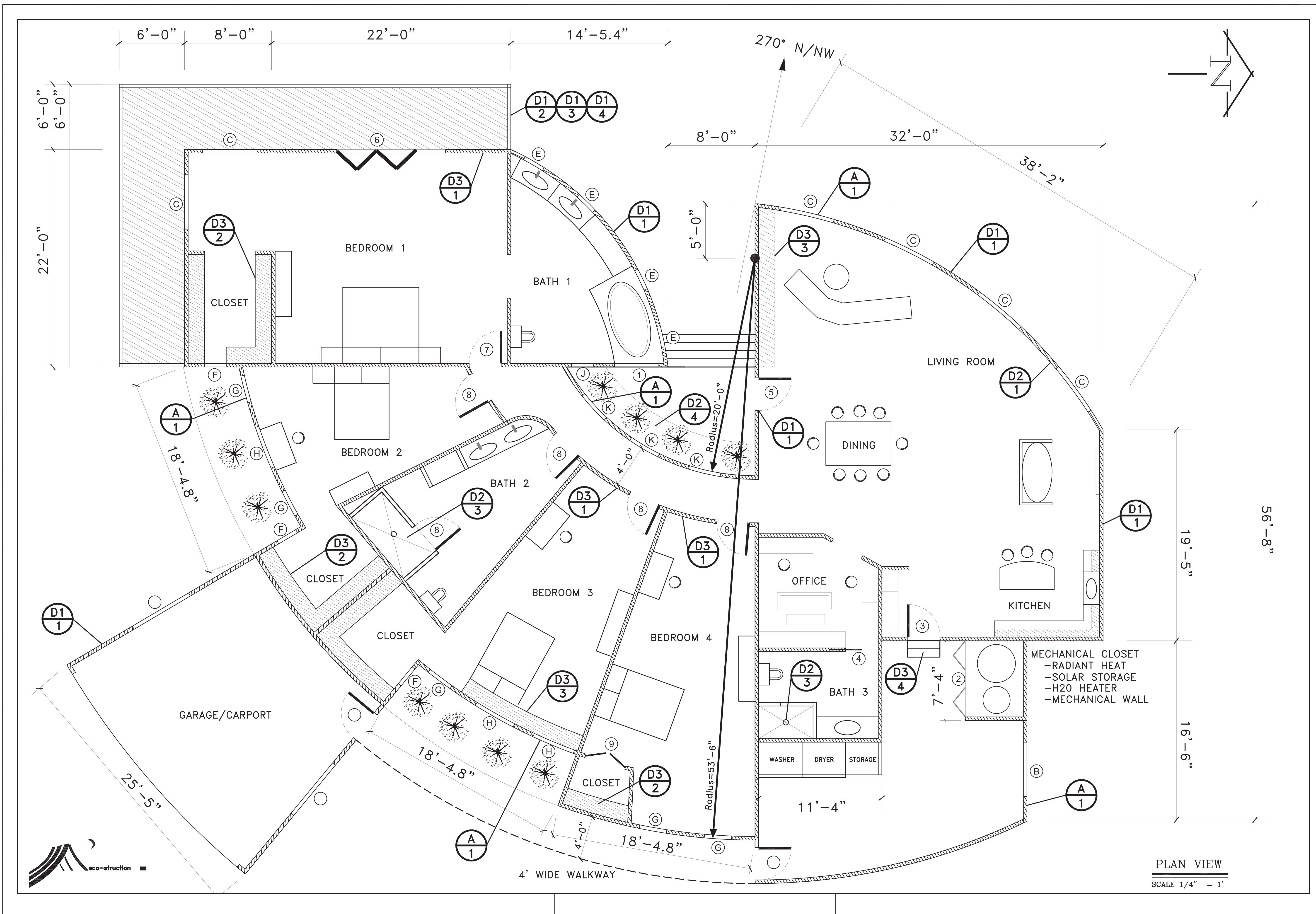


1140 S. WINCHESTER BLVD.
 SUITE 104-104, CA 95128
 SAN JOSE, CA 95128
 FAX: 408-281-0605
 E-MAIL: robert@arrillaga-engineering.com
CARROLL ENGINEERING
engineers and surveyors

SHEET
S2-1
 OF 1 SHEETS
 JOB NO. 2459

DATE: 01/09/2020
 SCALE: 1" = 50'
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 CHECKED BY: PCW
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C:\2459 - Larson Residence\DWG\2459_topo.dwg 1-10-20 10:20:45 AM philp



PLAN VIEW
SCALE 1/4" = 1'

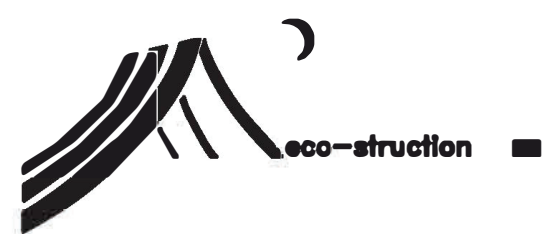
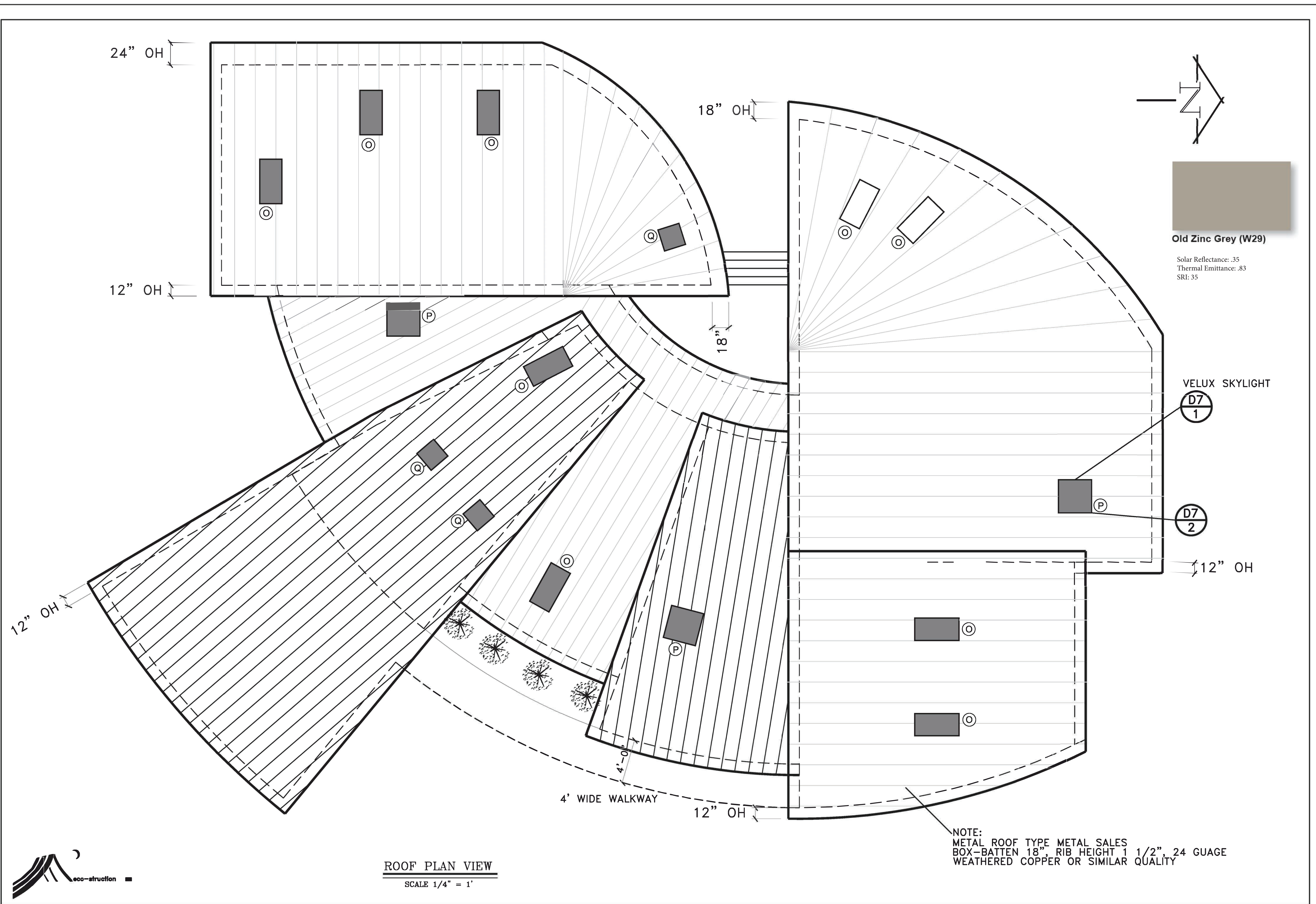
BY	REVISION	DATE



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San Jose, CA 95127

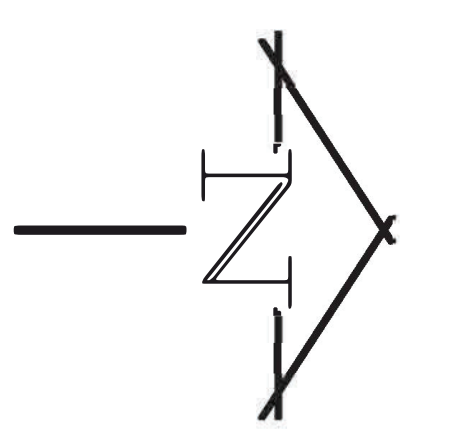
PLAN VIEW

DRAWN: NN
CHECKED: MS
DATE: 12-11-23
SCALE: 1/4"=1'
SHEET
A1



ROOF PLAN VIEW
SCALE 1/4" = 1'

NOTE:
METAL ROOF TYPE METAL SALES
BOX-BATTEN 18" RIB HEIGHT 1 1/2" 24 GAUGE
WEATHERED COPPER OR SIMILAR QUALITY



Old Zinc Grey (W29)
Solar Reflectance: .35
Thermal Emittance: .83
SRI: 35

VELUX SKYLIGHT

(D7 1)

(D7 2)

DATE	REVISION	BY

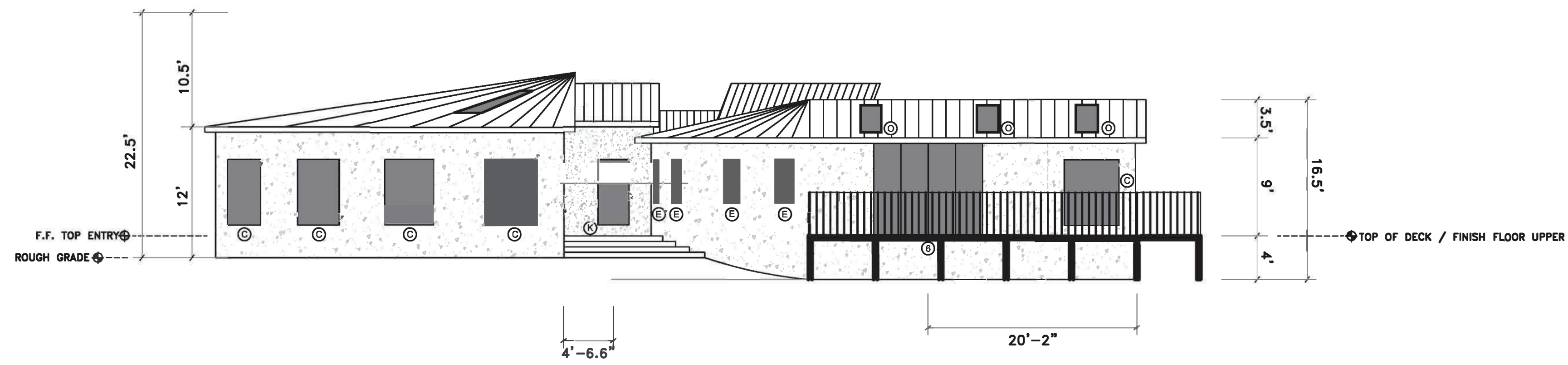


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ROOF PLAN VIEW

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SCALE: 1/4"=1'

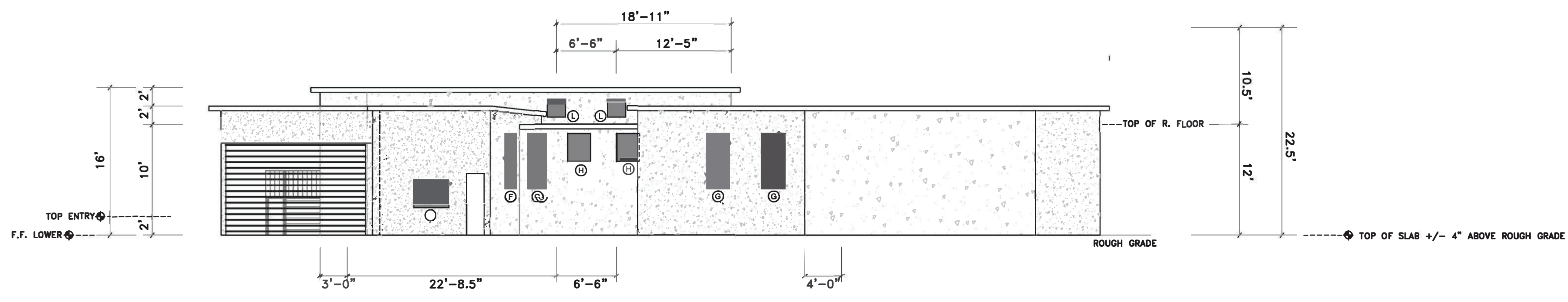
SHEET
A2



WEST ELEVATION

SCALE 1/8" = 1'

Solar Reflectance .69
Thermal Emittance .89



EAST ELEVATION

SCALE 1/8" = 1'



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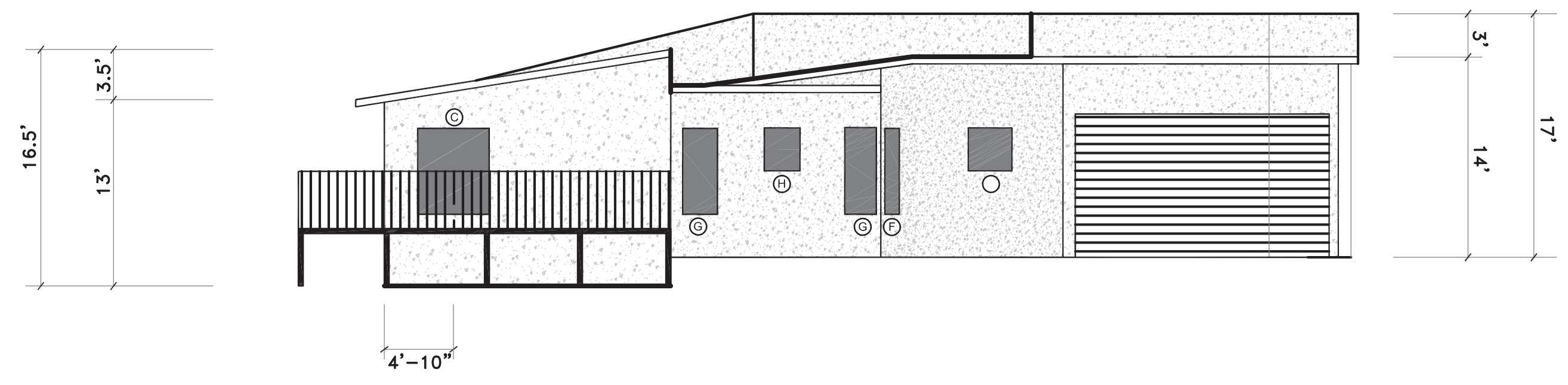


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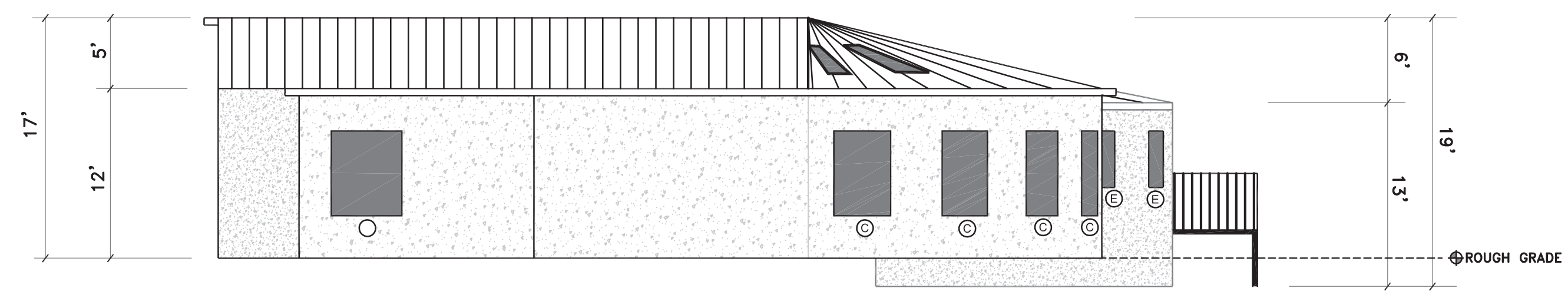
WEST / EAST
ELEVATIONS

DRAWN: NN
CHECKED: MS
DATE: 12-11-23
SCALE: 1/8" = 1'

SHEET
A3



SOUTH ELEVATION
SCALE 1/8" = 1'



NORTH ELEVATION
SCALE 1/8" = 1'



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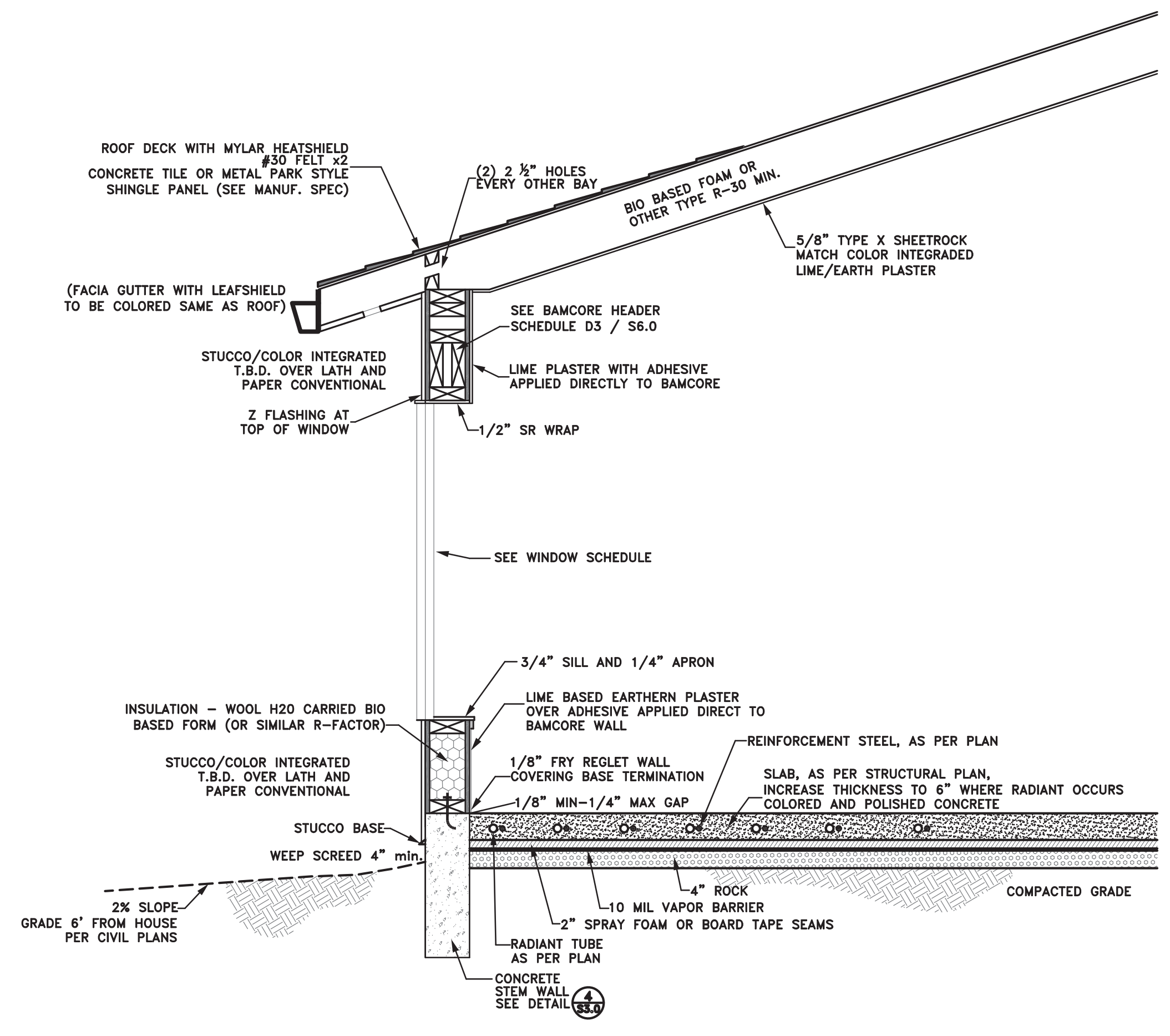


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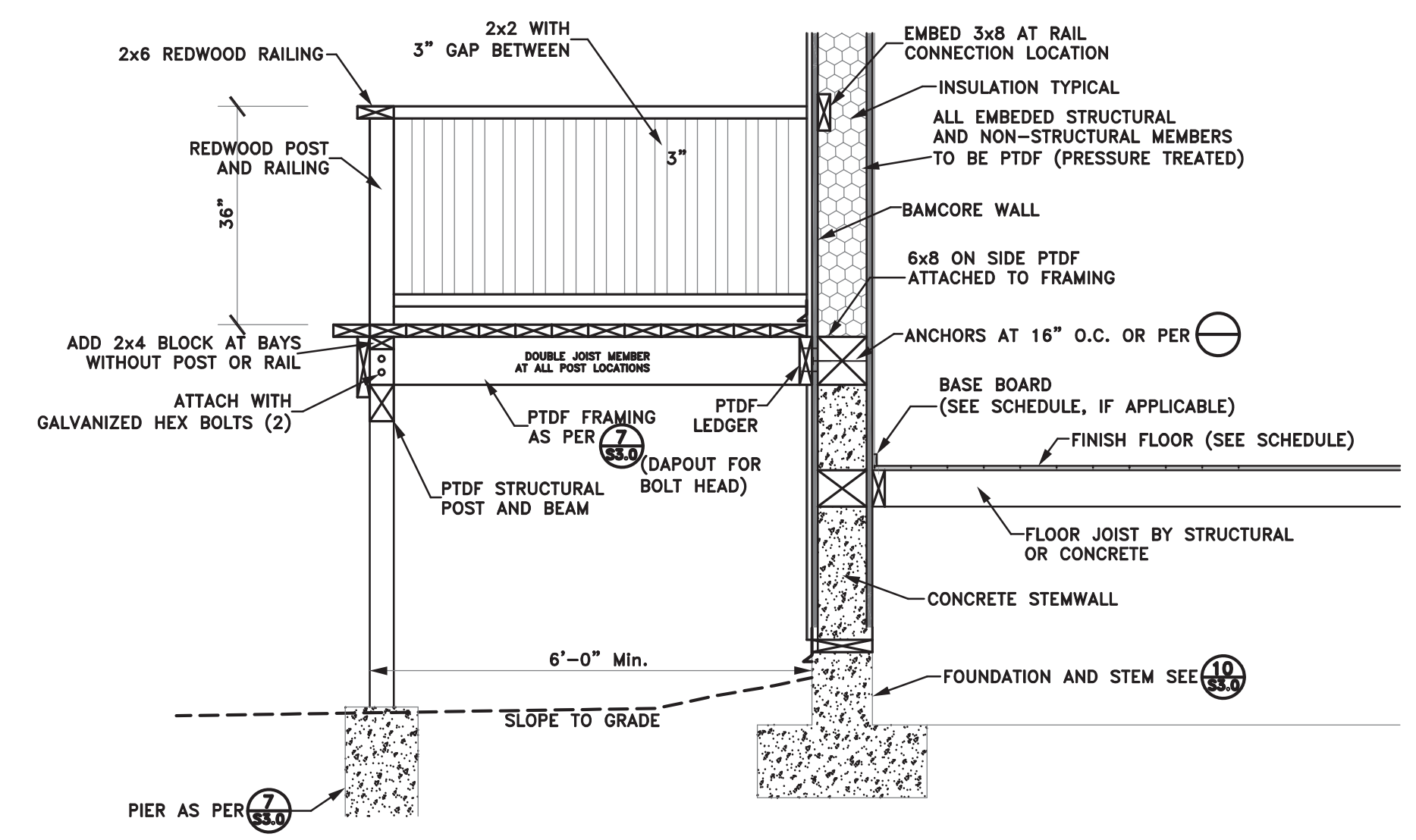
SOUTH / NORTH
ELEVATIONS

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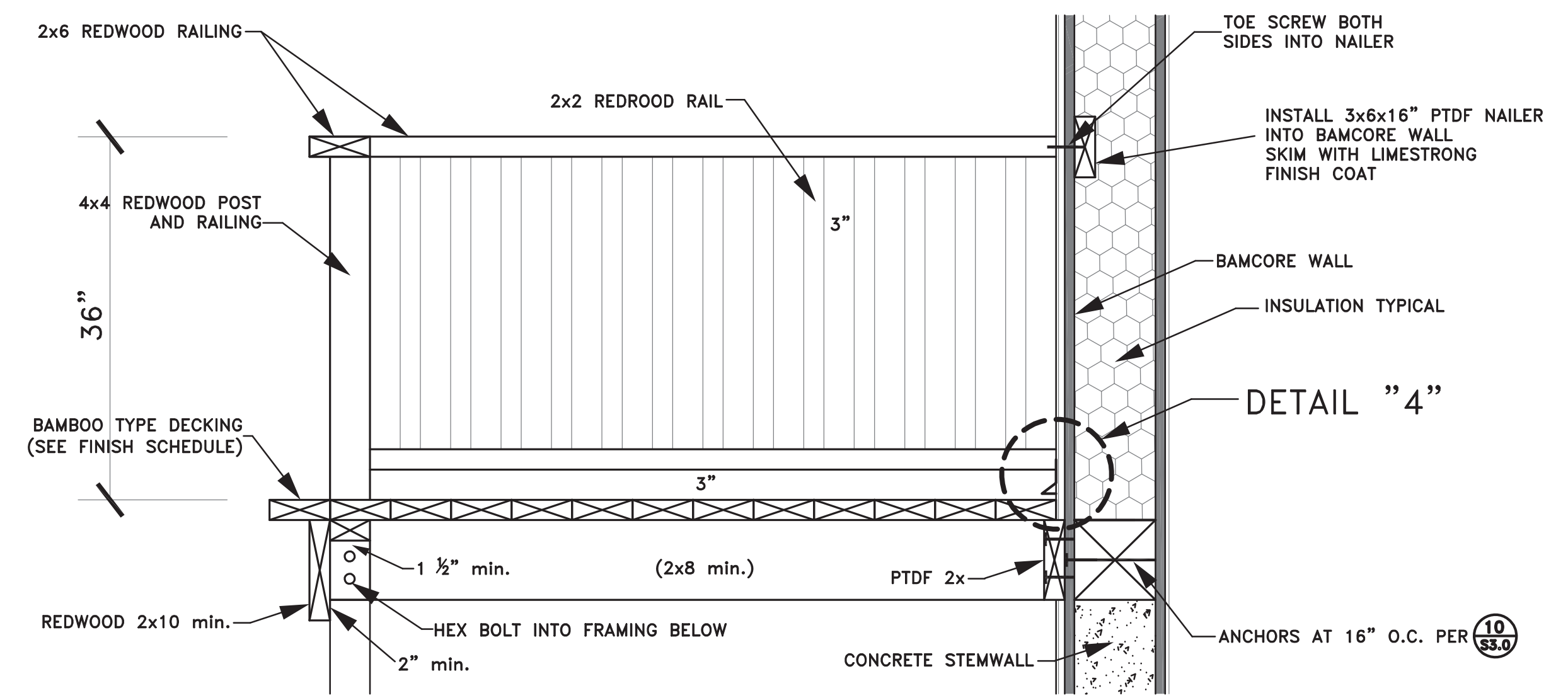
SHEET
A4



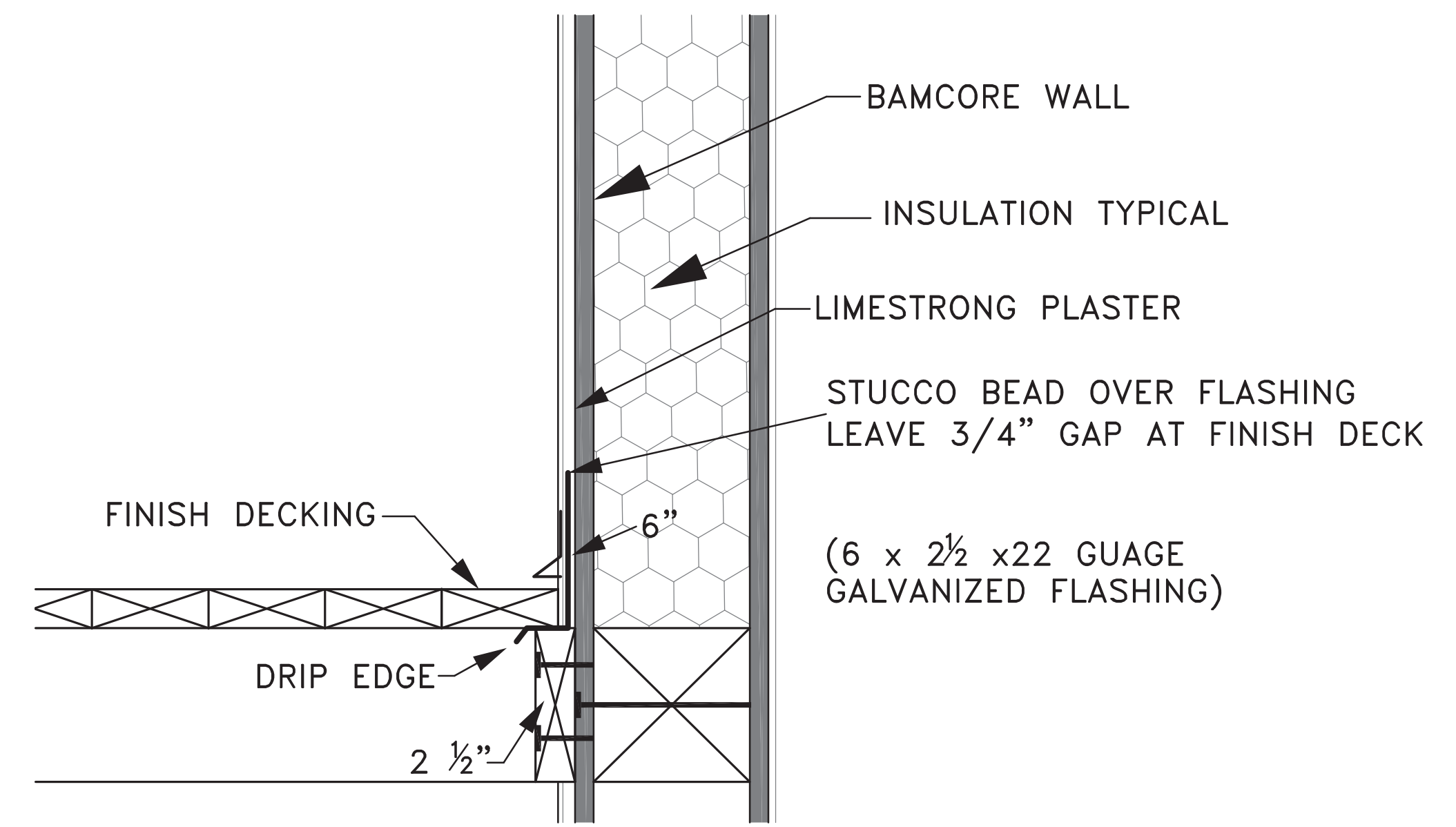
WALL DETAIL 1
SCALE 1/2" = 1'



DECK TO WALL 2
SCALE 1/2" = 1'



DECK RAILING 3
SCALE 1" = 1'



DETAIL 4
NOT TO SCALE

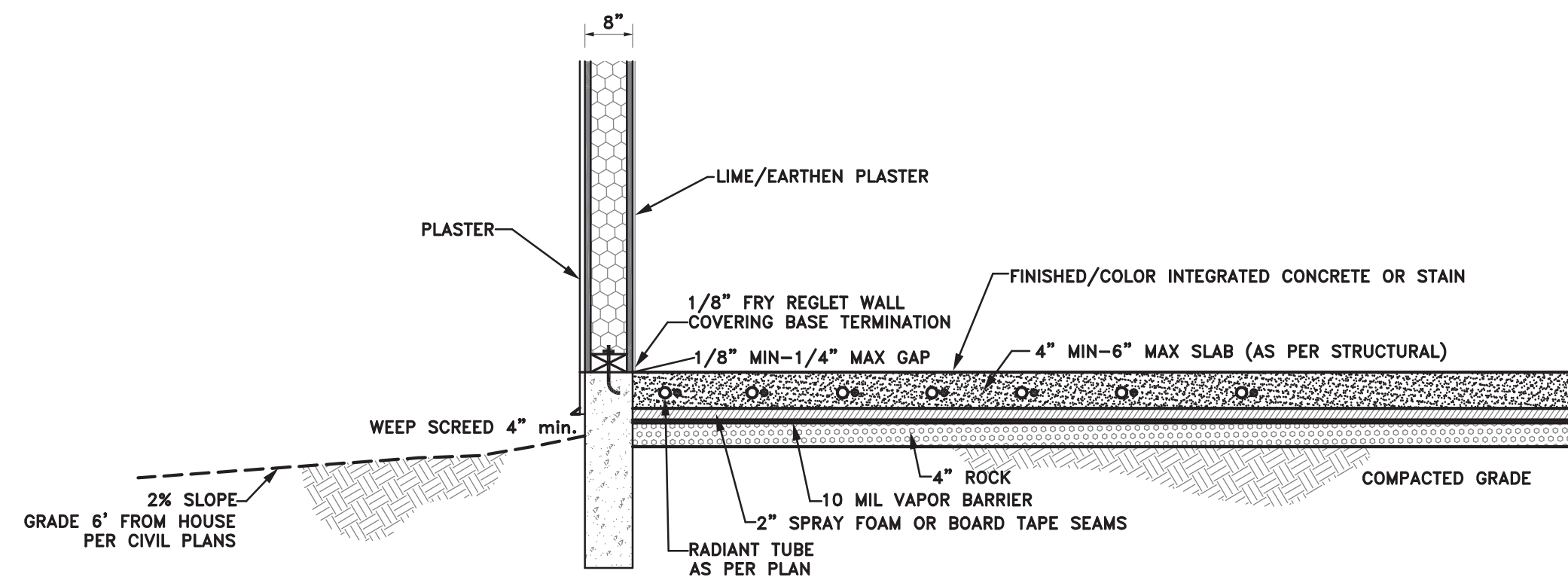
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San Jose, CA 95127

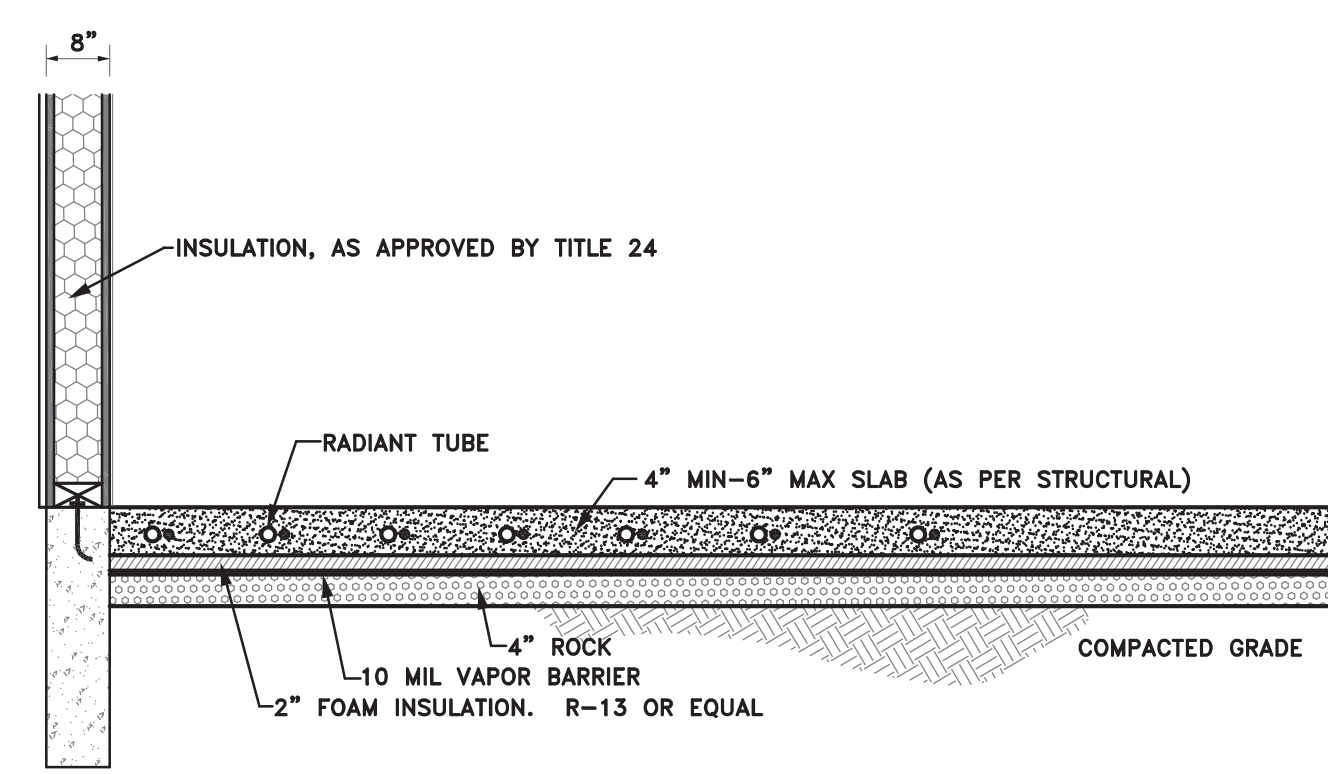
DETAILS

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DATE: 2-22-23
SCALE: AS NOTED
SHEET D1



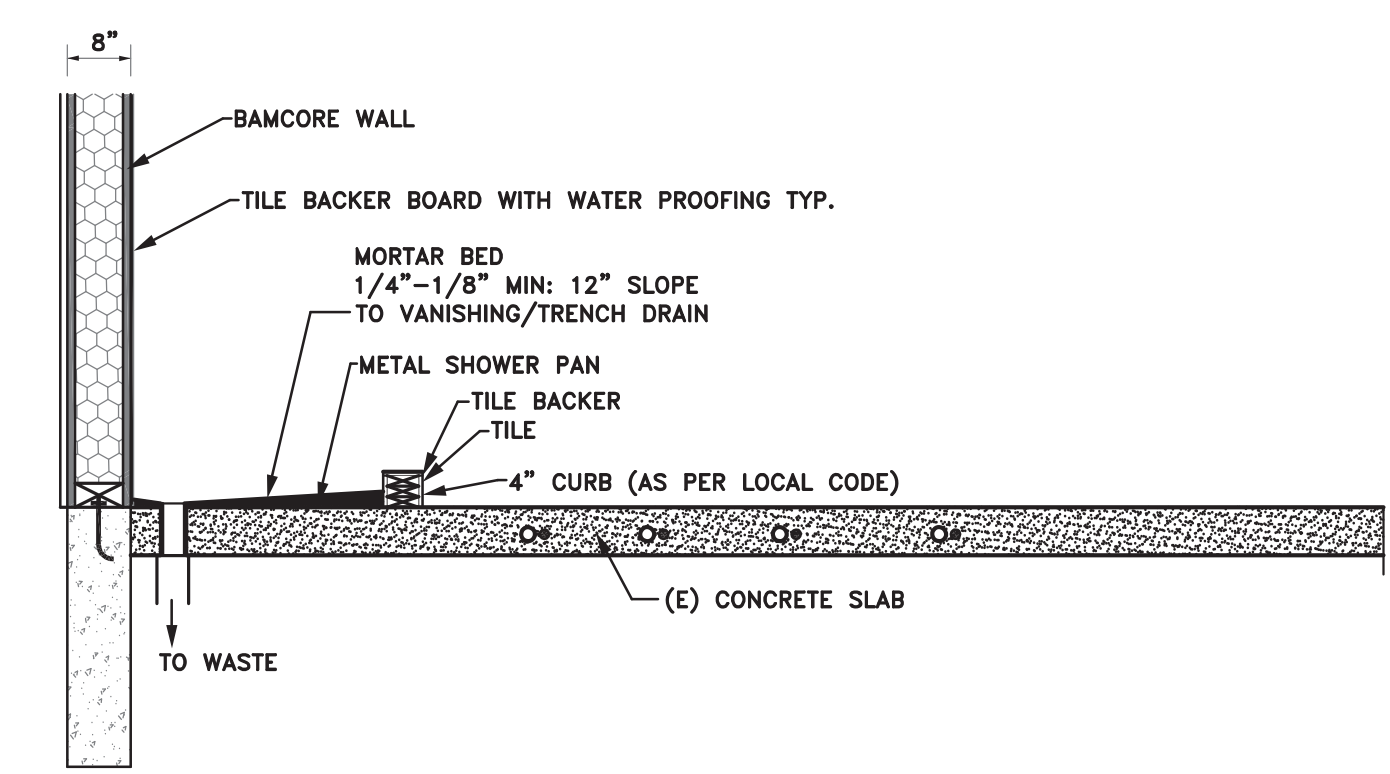
FINISH FLOOR CONCRETE 1

SCALE 1/2" = 1'



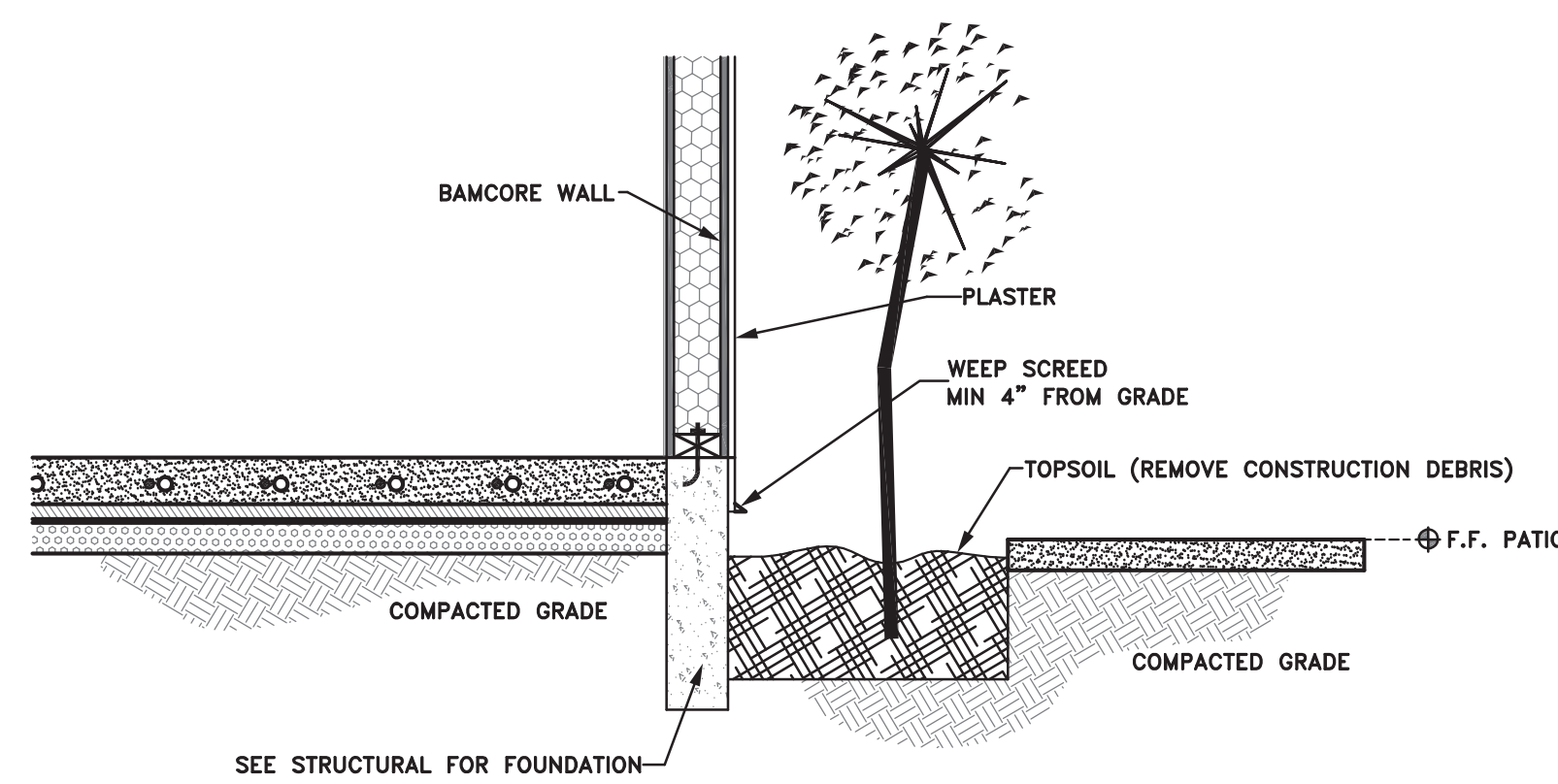
INSULATED RADIANT SLAB 2

SCALE 1/2" = 1'



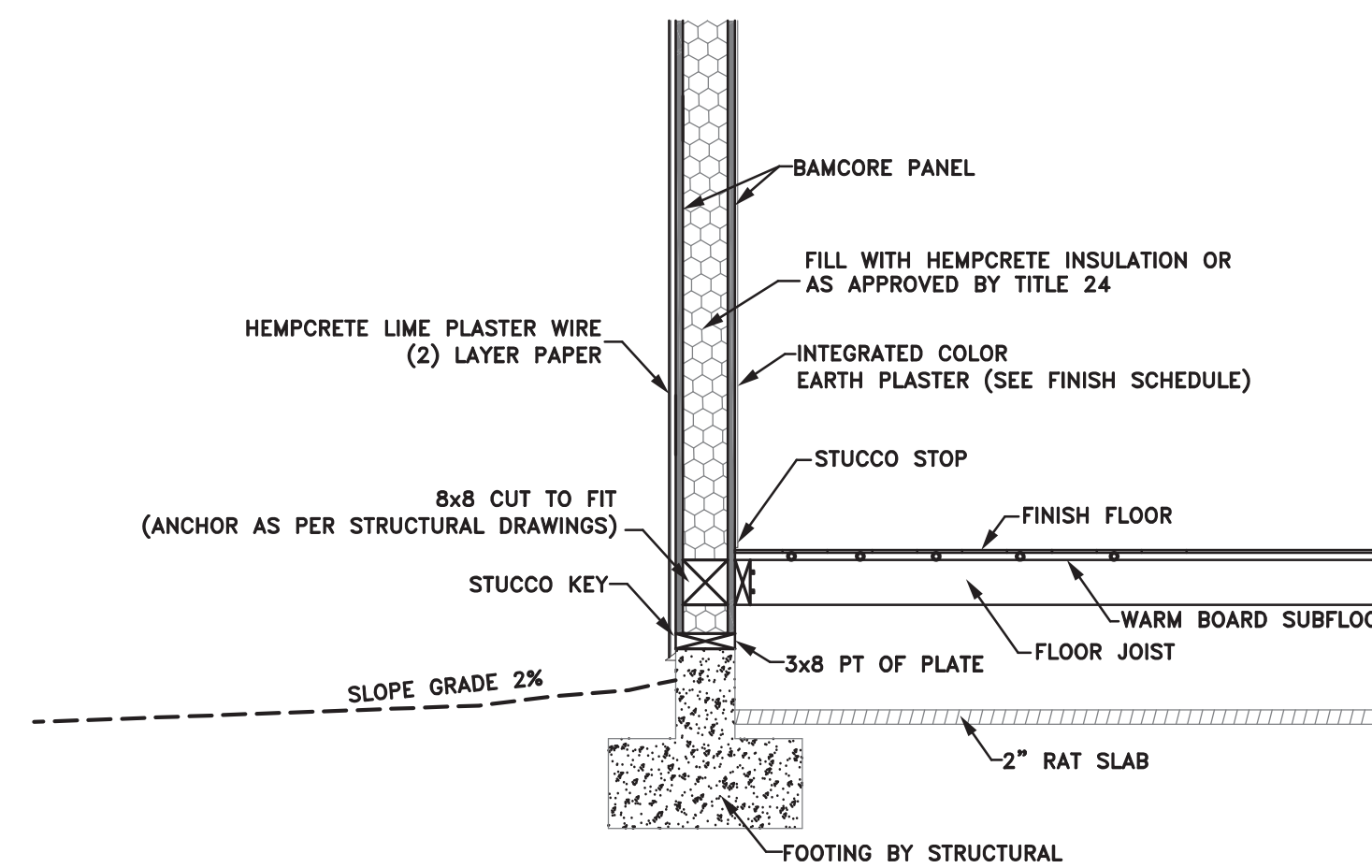
SHOWER PAN DETAIL 3

SCALE 1/2" = 1'



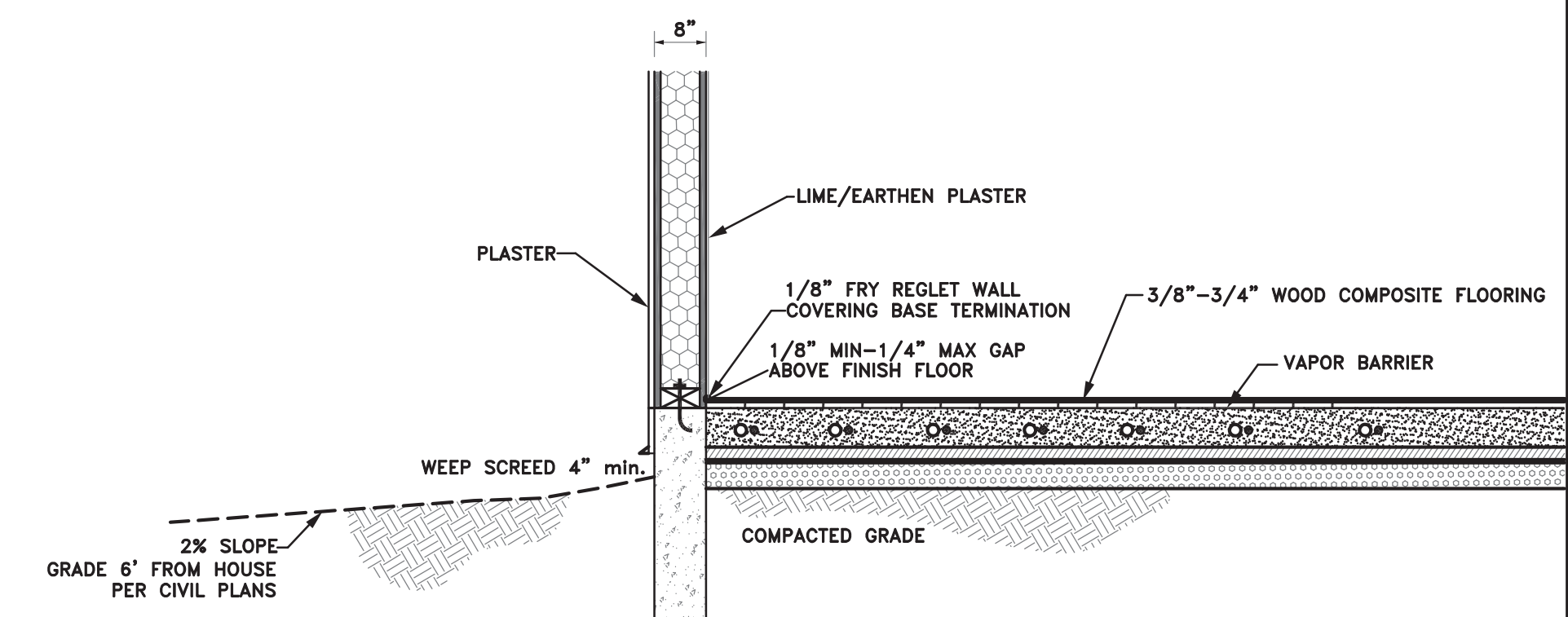
PATIO PLANTING DETAIL 4

SCALE 1/2" = 1'



BAMCORE WALL DETAIL 5

SCALE 1/2" = 1'



FINISH FLOOR WOOD FLOOR 6

SCALE 1/2" = 1'

BY	DATE	REVISION

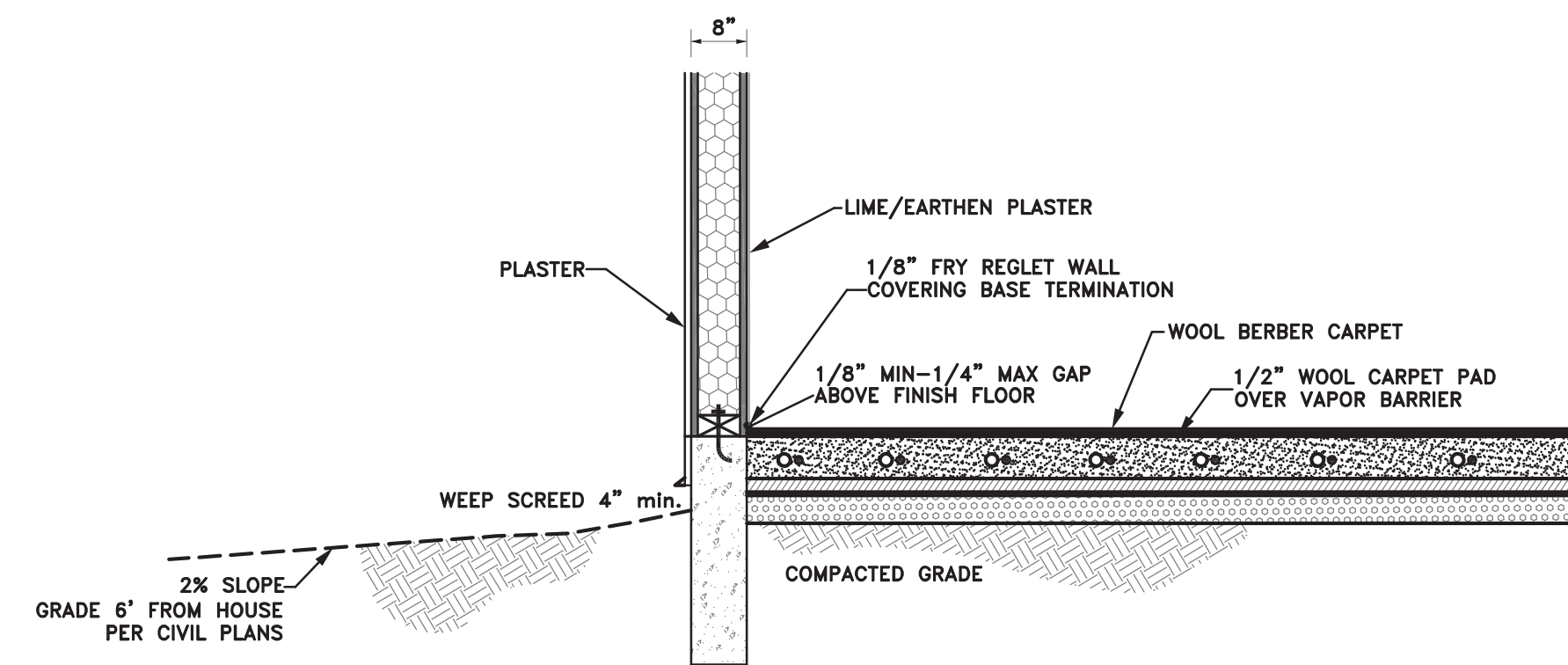


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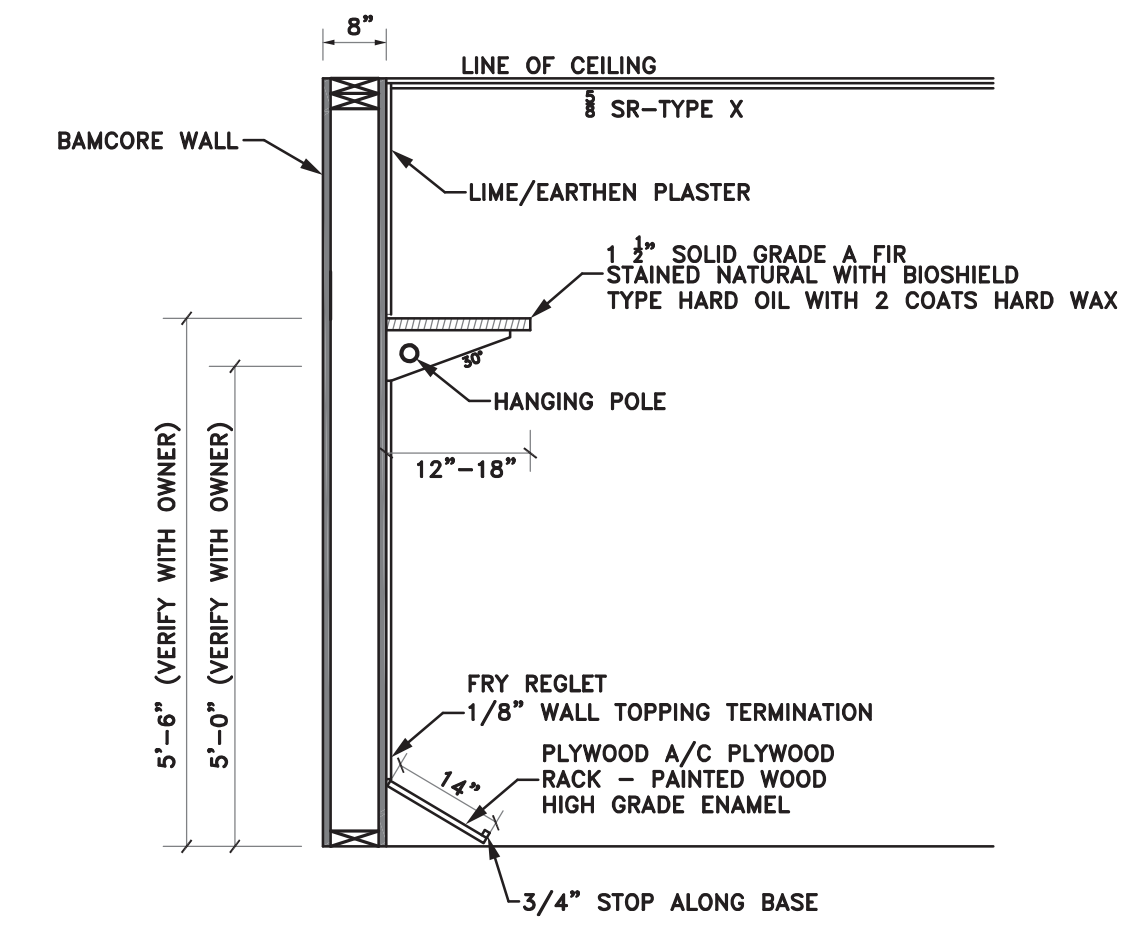
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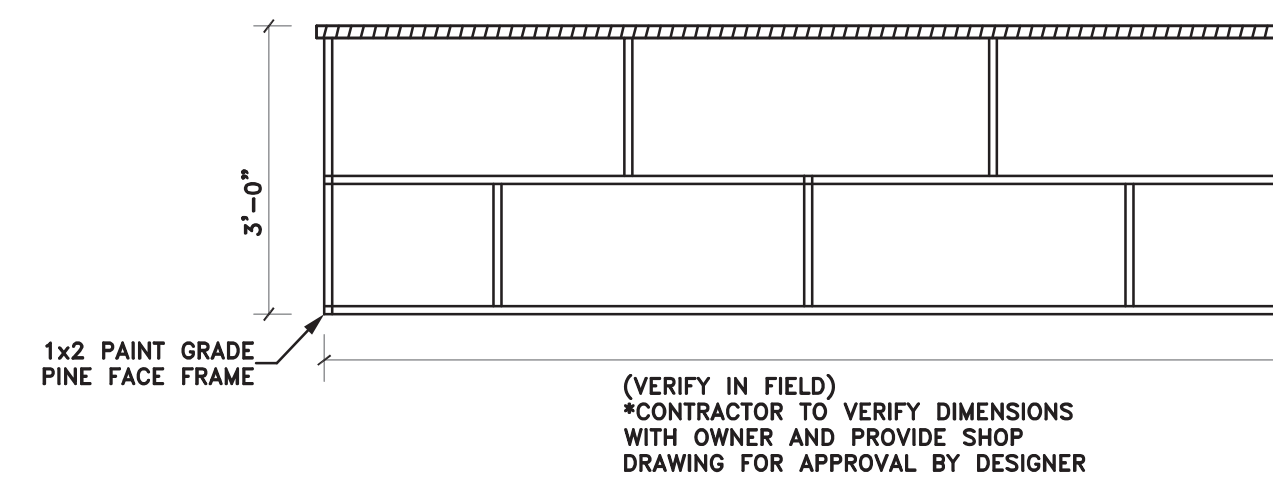
SHEET
D2



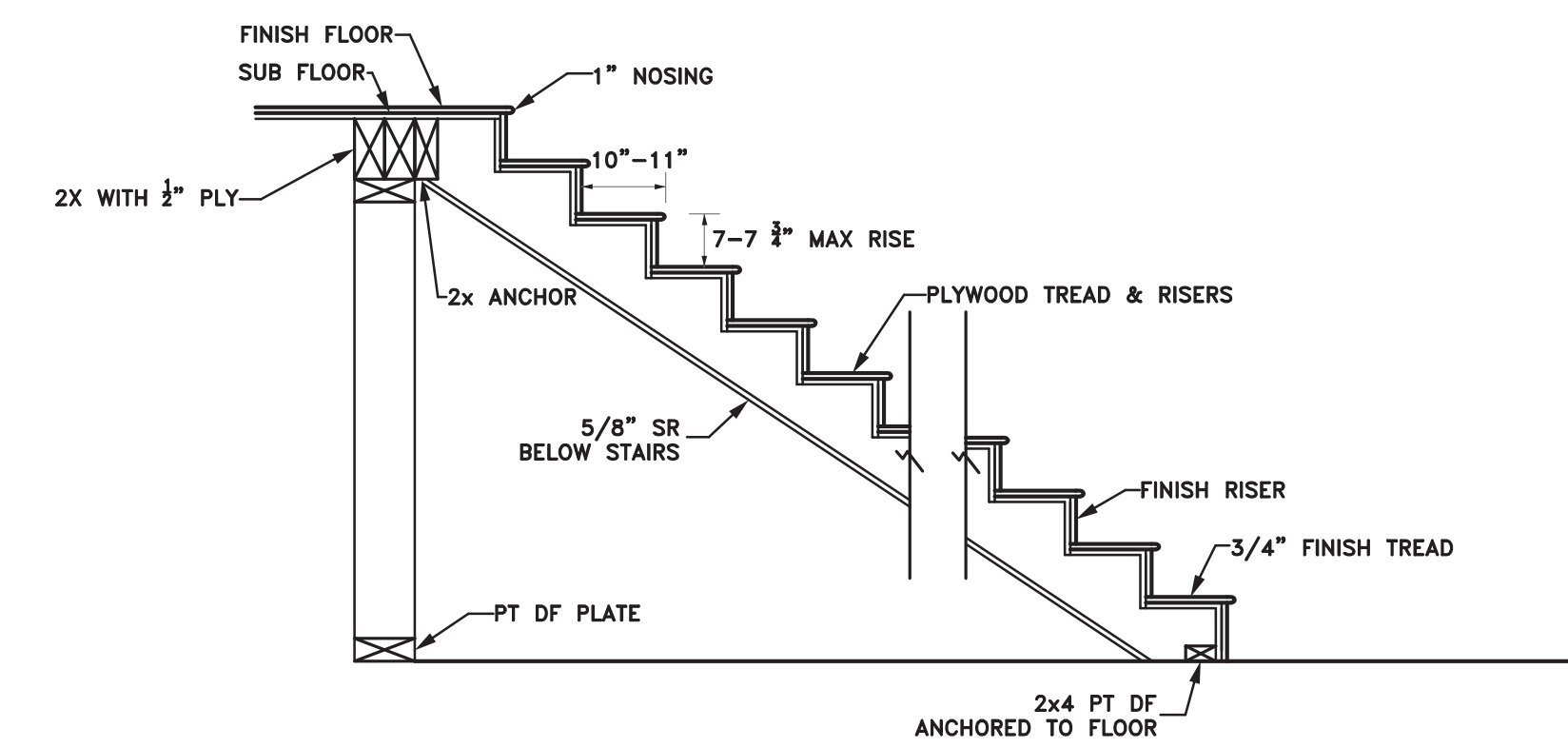
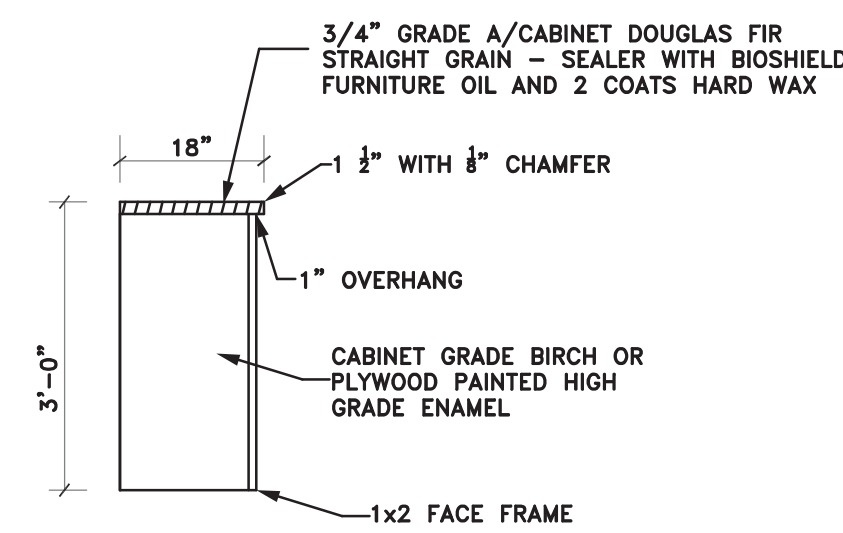
FINISH FLOOR CARPET 1
SCALE 1/2" = 1'



CLOSET SHELF & SHOE RACK DETAIL 2
SCALE 1/2" = 1'



ENTRY SHELF 3
SCALE 1/2" = 1'



STAIR DETAIL 4
SCALE 1/2" = 1'

BY	REVISION	DATE

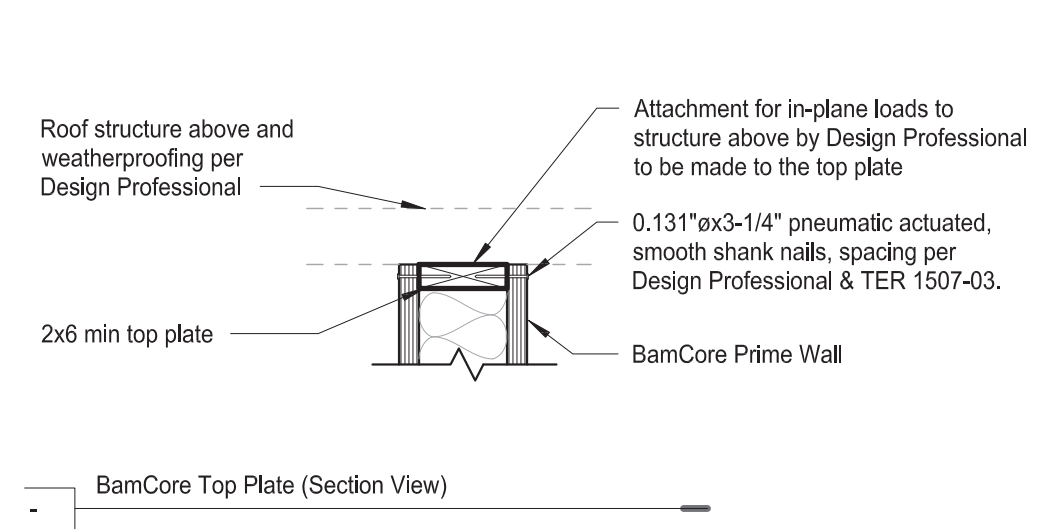


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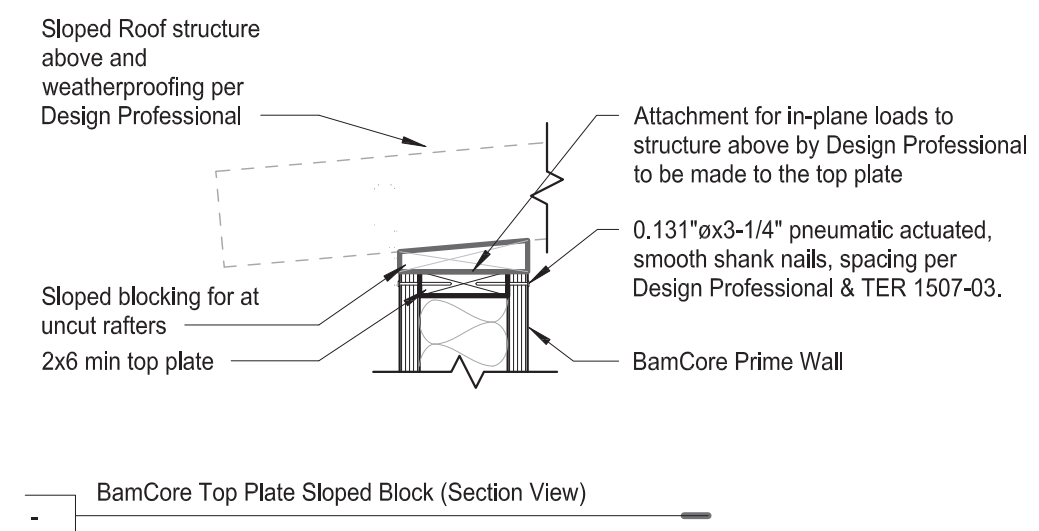
DETAILS

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DATE: 2-22-23
SCALE: AS NOTED

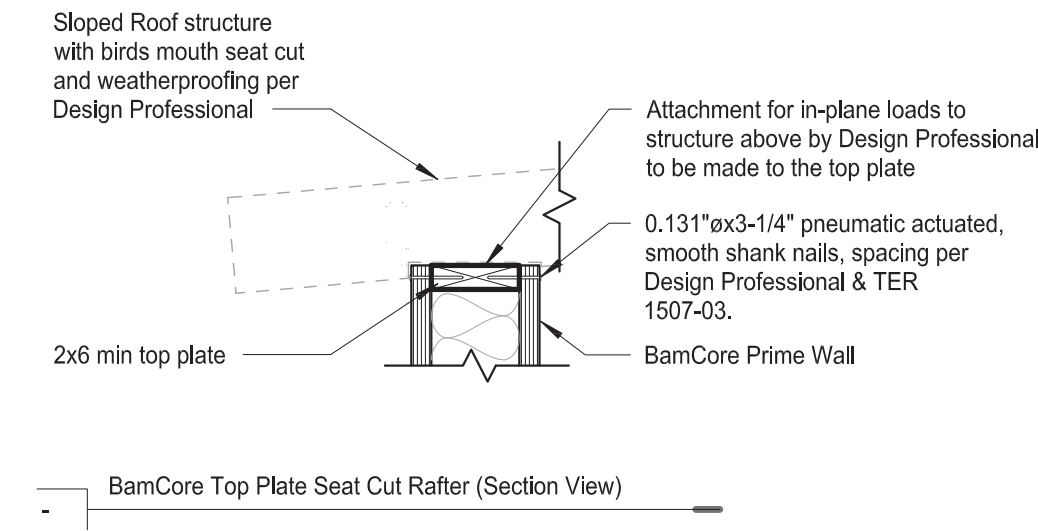
SHEET
D3



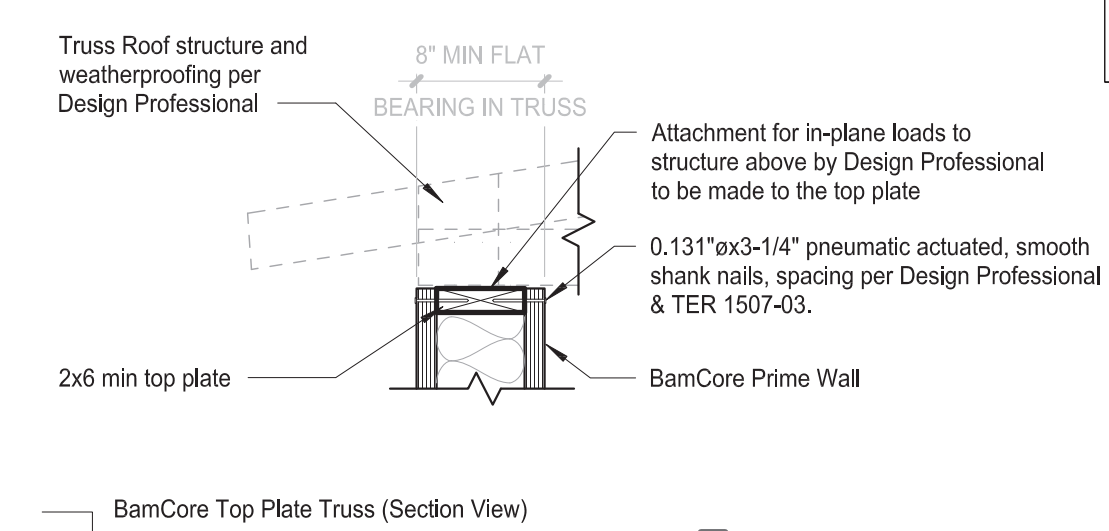
1 Top Plate
1" = 1'-0"



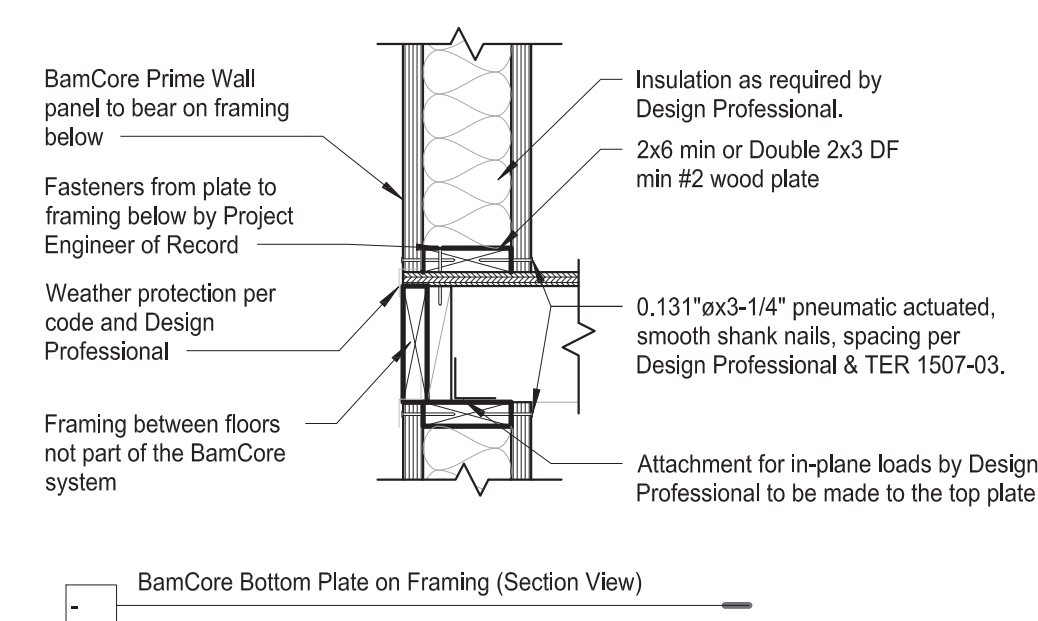
2 Top Plate Alternate
1" = 1'-0"



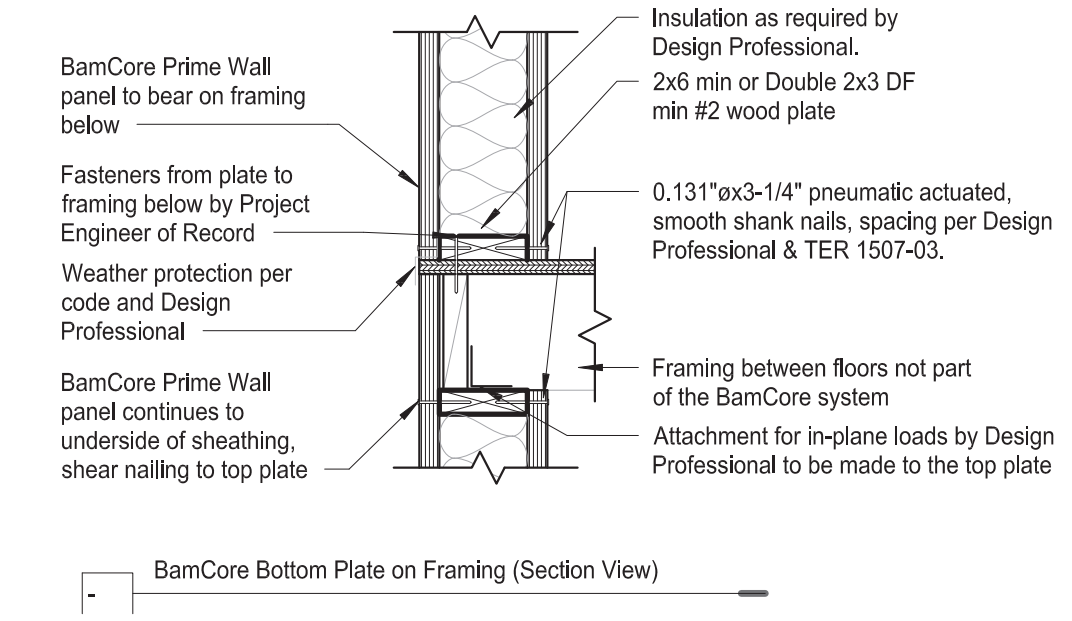
3 Top Plate Alternate 2
1" = 1'-0"



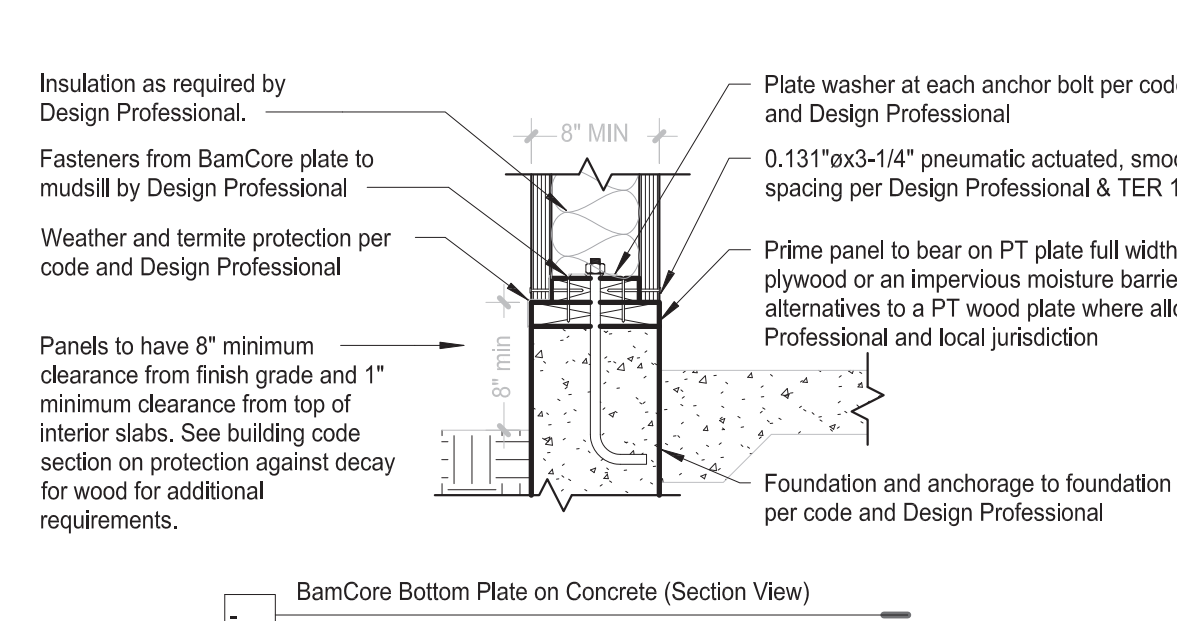
4 Top Plate Alternate 3
1" = 1'-0"



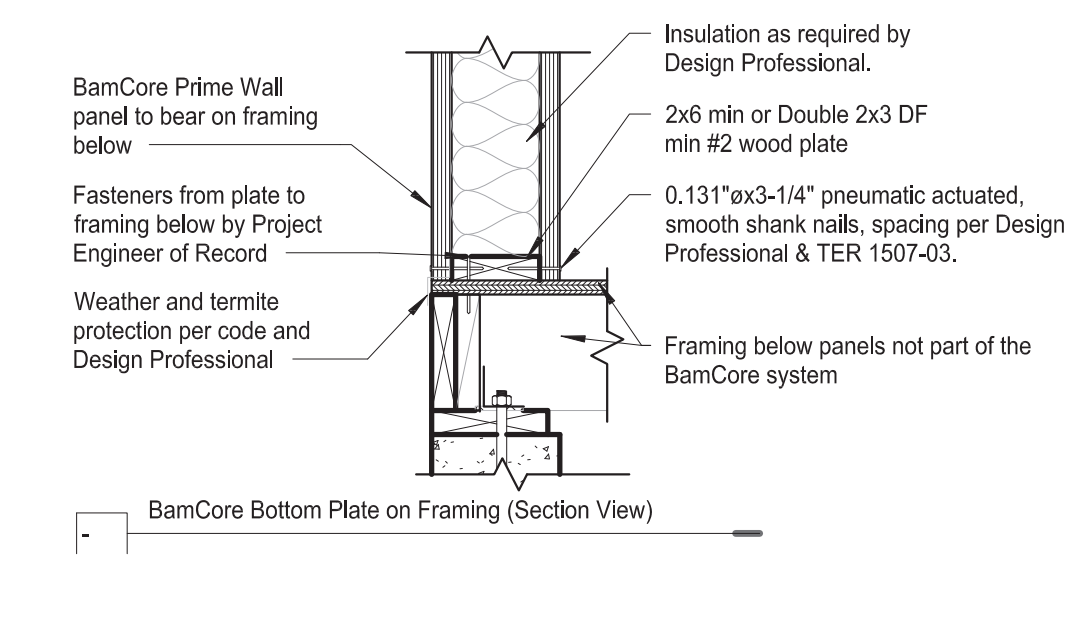
6 Bamcore Framing Between Floors
1" = 1'-0"



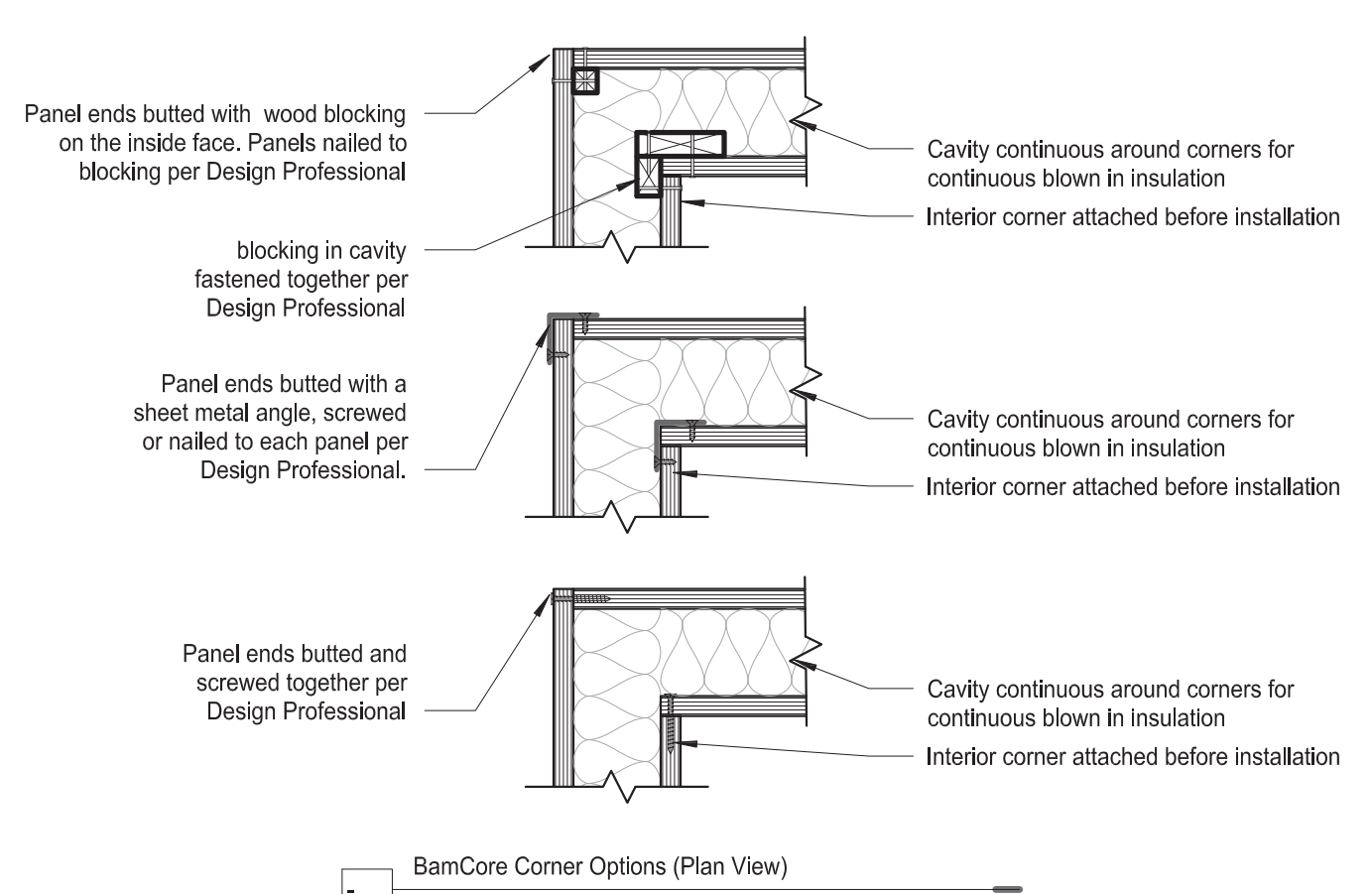
7 Bamcore Framing Between Floors Alternate
1" = 1'-0"



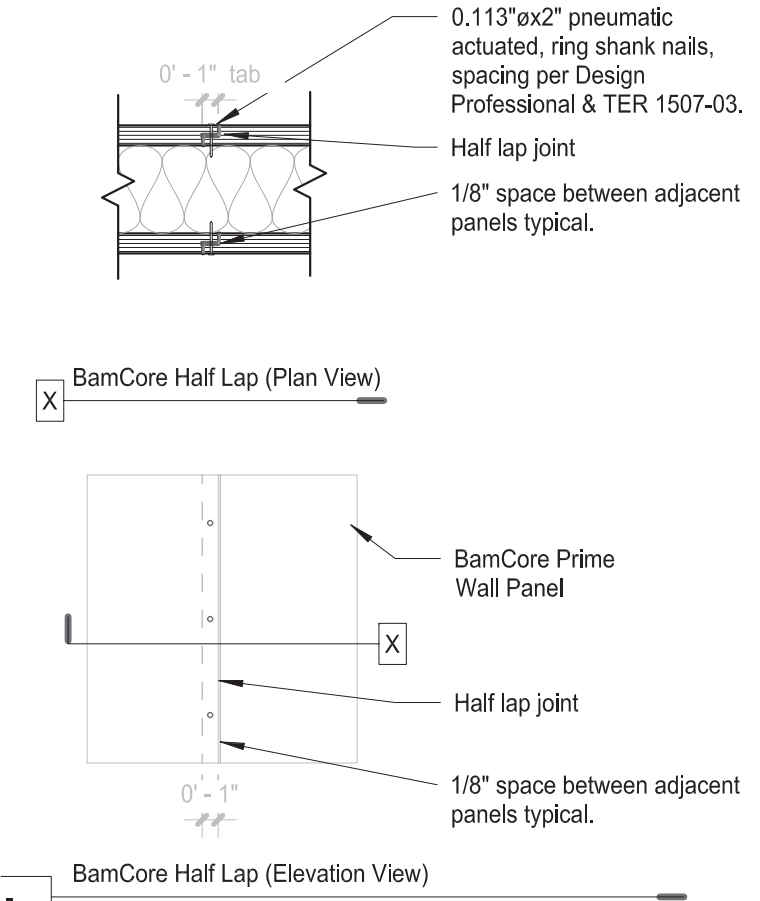
8 Bottom Plate Concrete
1" = 1'-0"



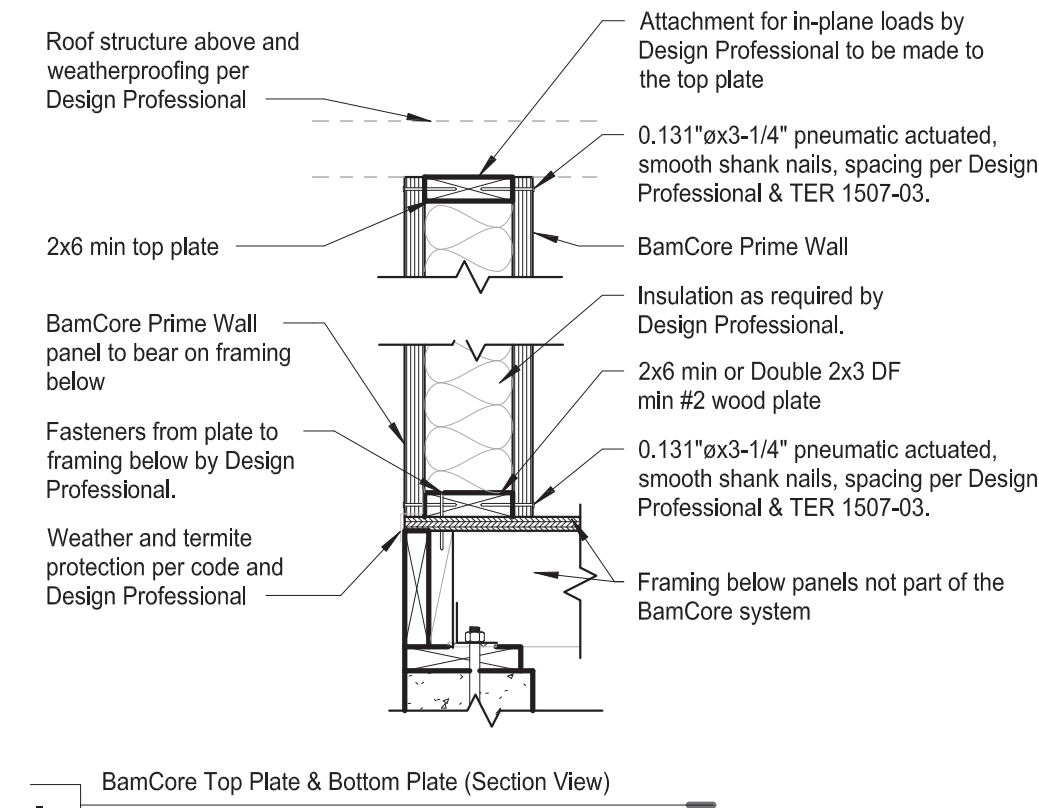
9 Bottom Plate on Framing
1" = 1'-0"



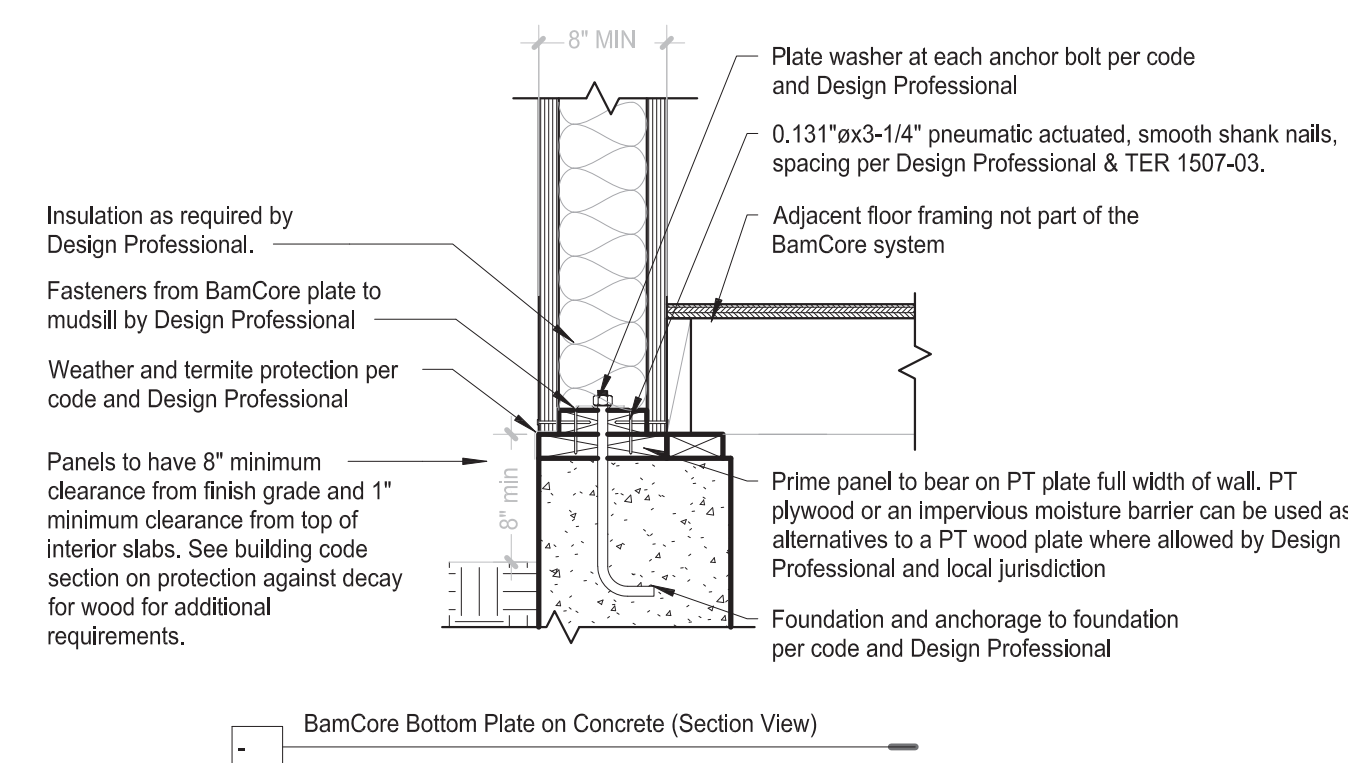
10 Corner Options
1" = 1'-0"



11 Panel to Panel Half Lap
1" = 1'-0"



12 Top and Bottom Plate
1" = 1'-0"



13 Bottom Plate Concrete Alternate
1" = 1'-0"

DATE	REVISION	BY



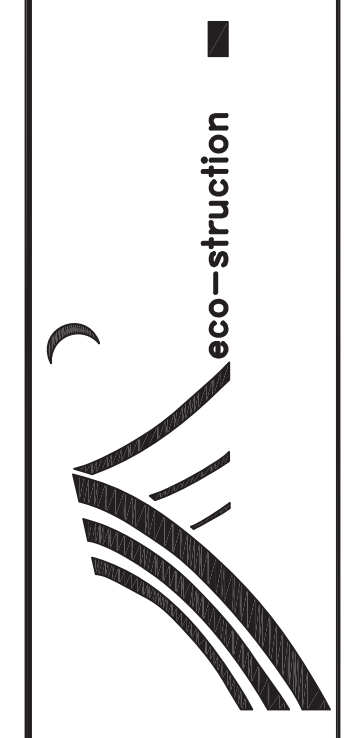
LARSON RESIDENCE
10818 Crothers Road
San Jose, CA 95127

BAMCORE.COM
TYPICAL
DETAILS 1

DRAWN: JB
CHECKED: NA
DATE: 5-14-21
SCALE: AS NOTED

SHEET
D4

BY	
REVISION	
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LARSON RESIDENCE
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San Jose, CA 95127

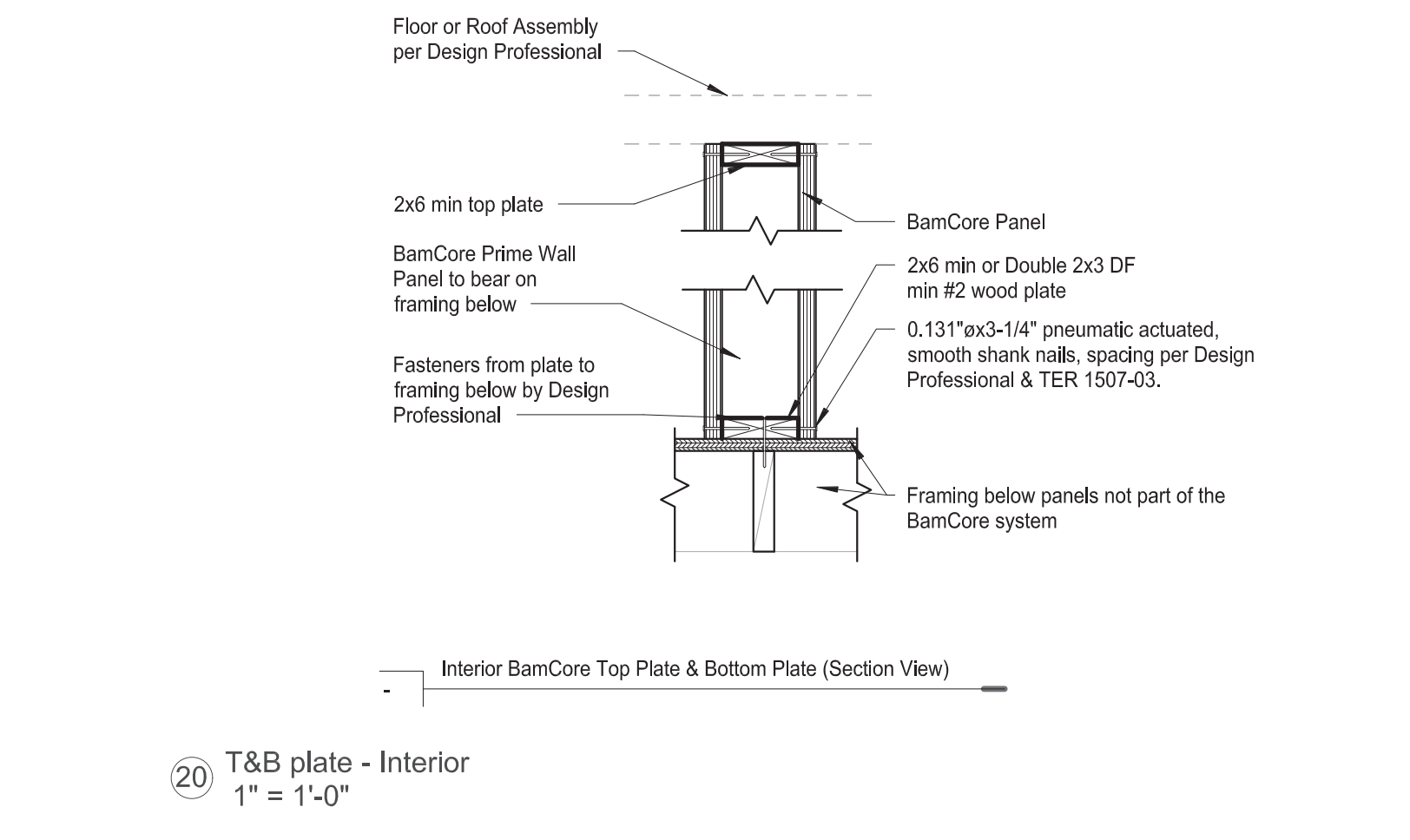
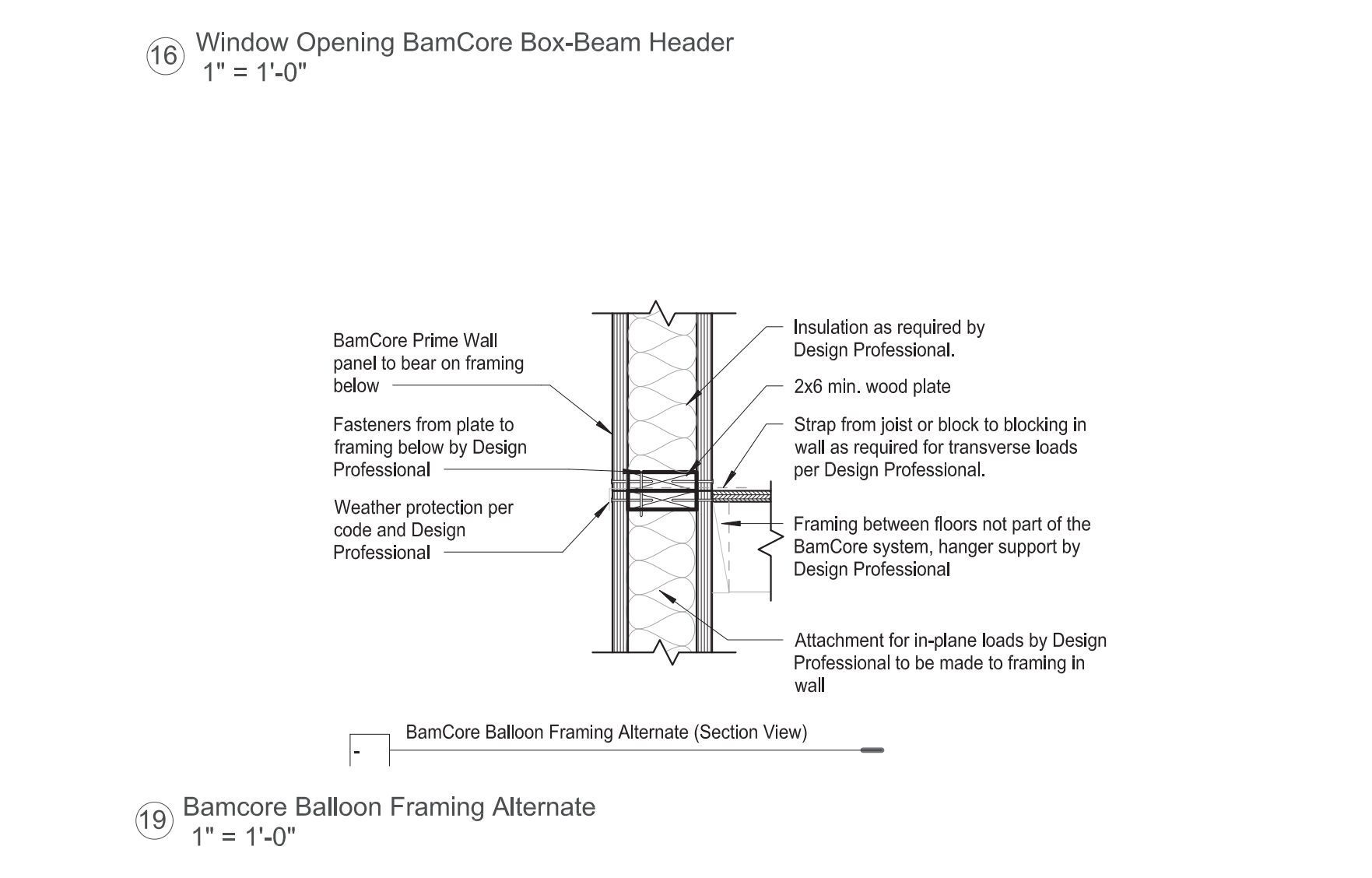
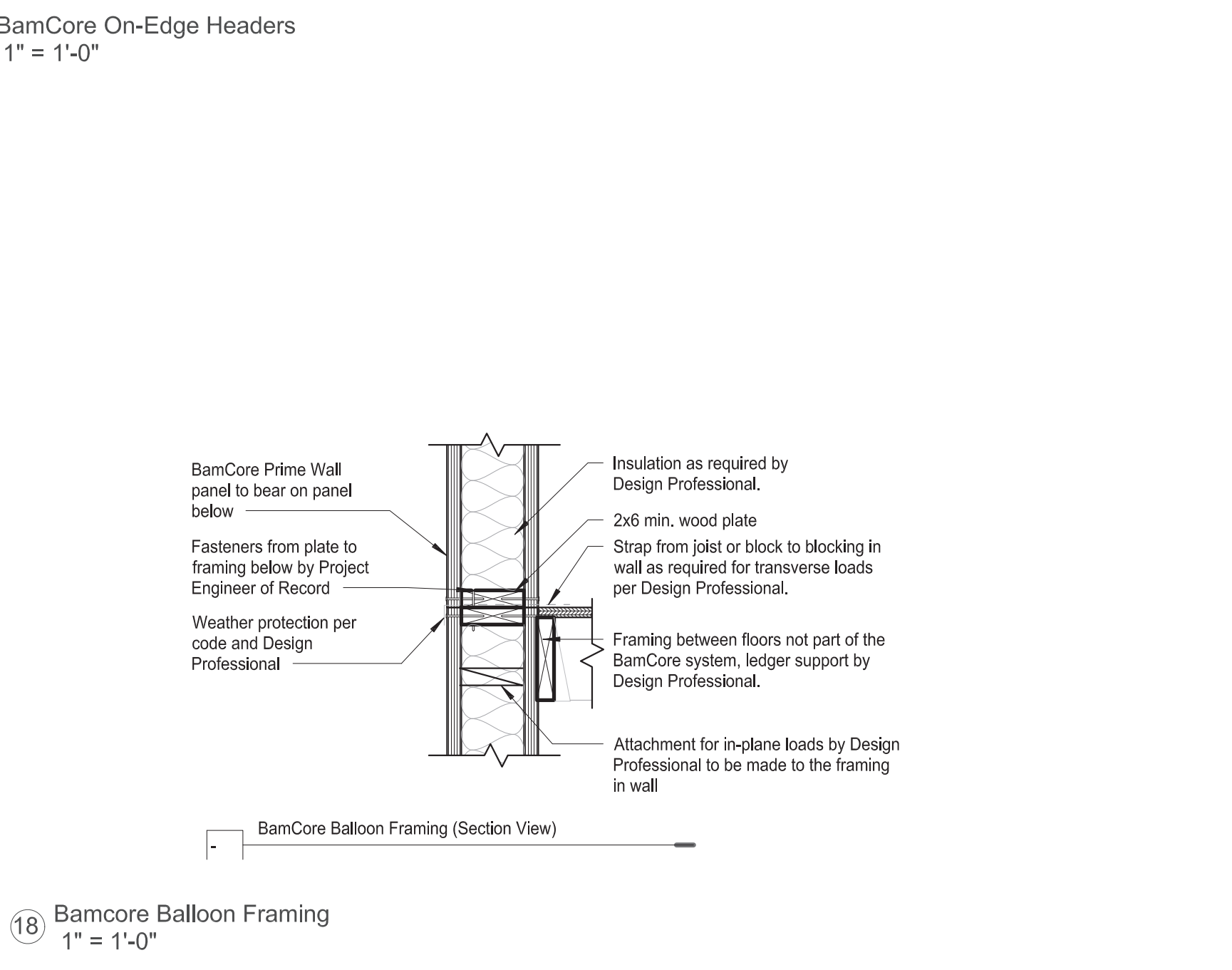
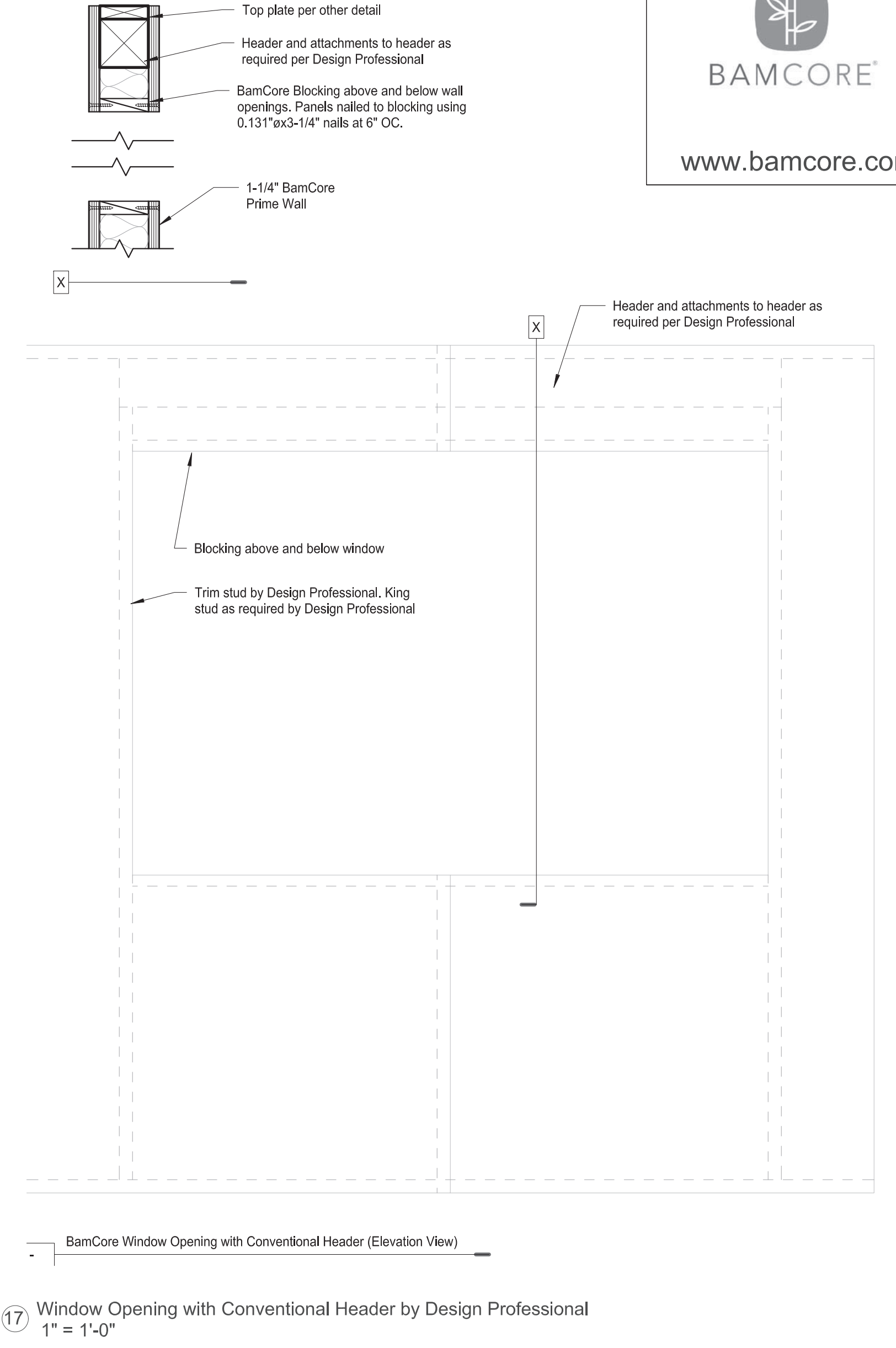
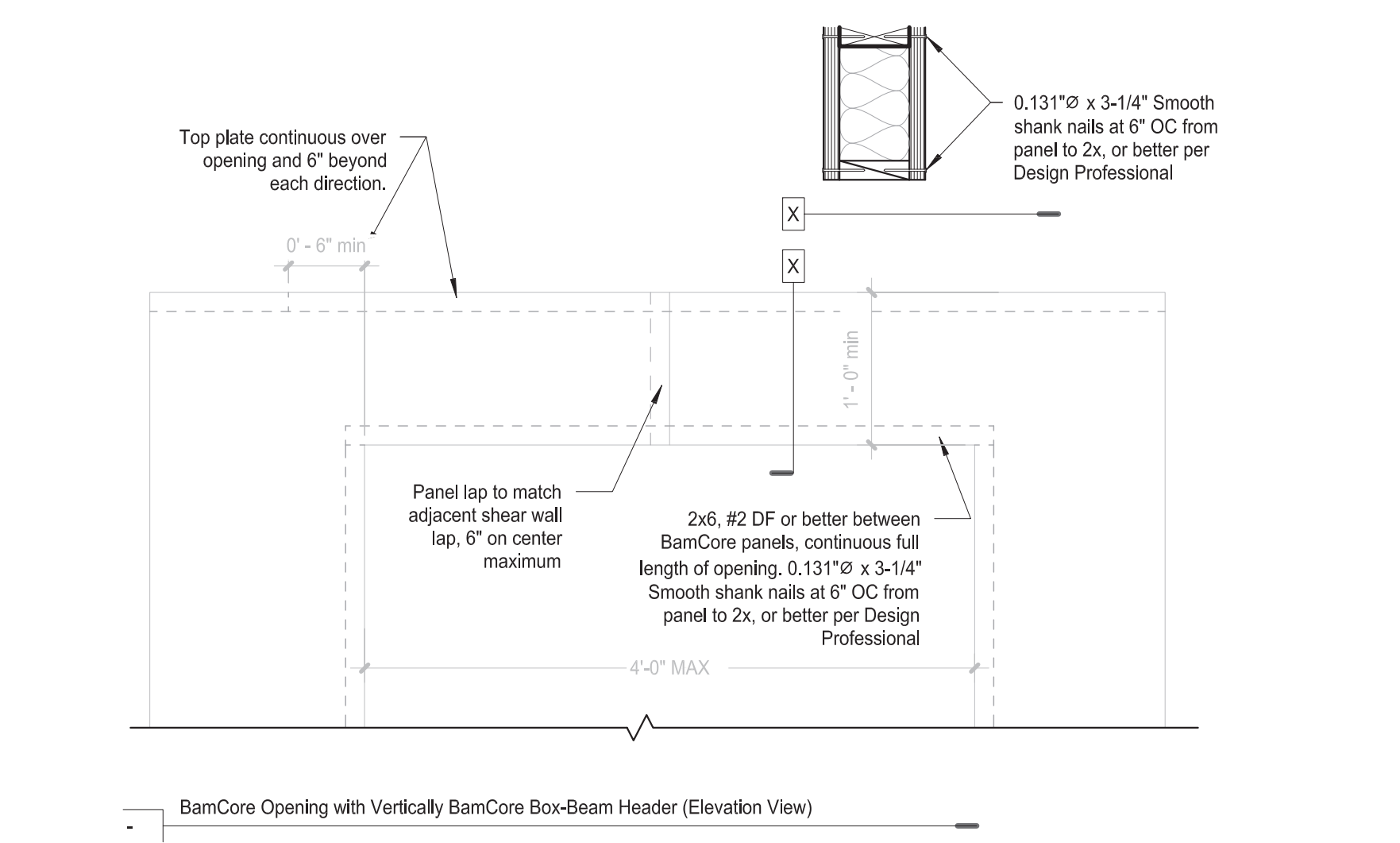
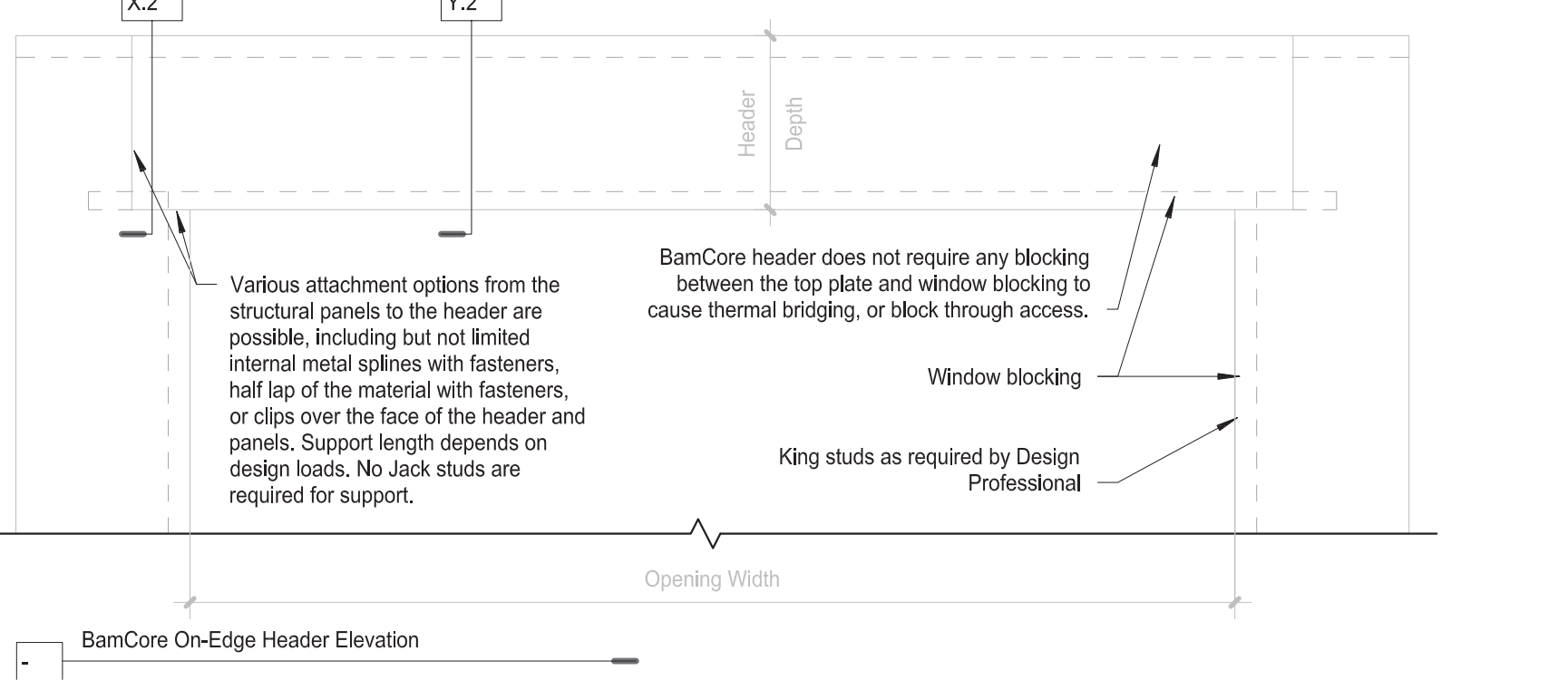
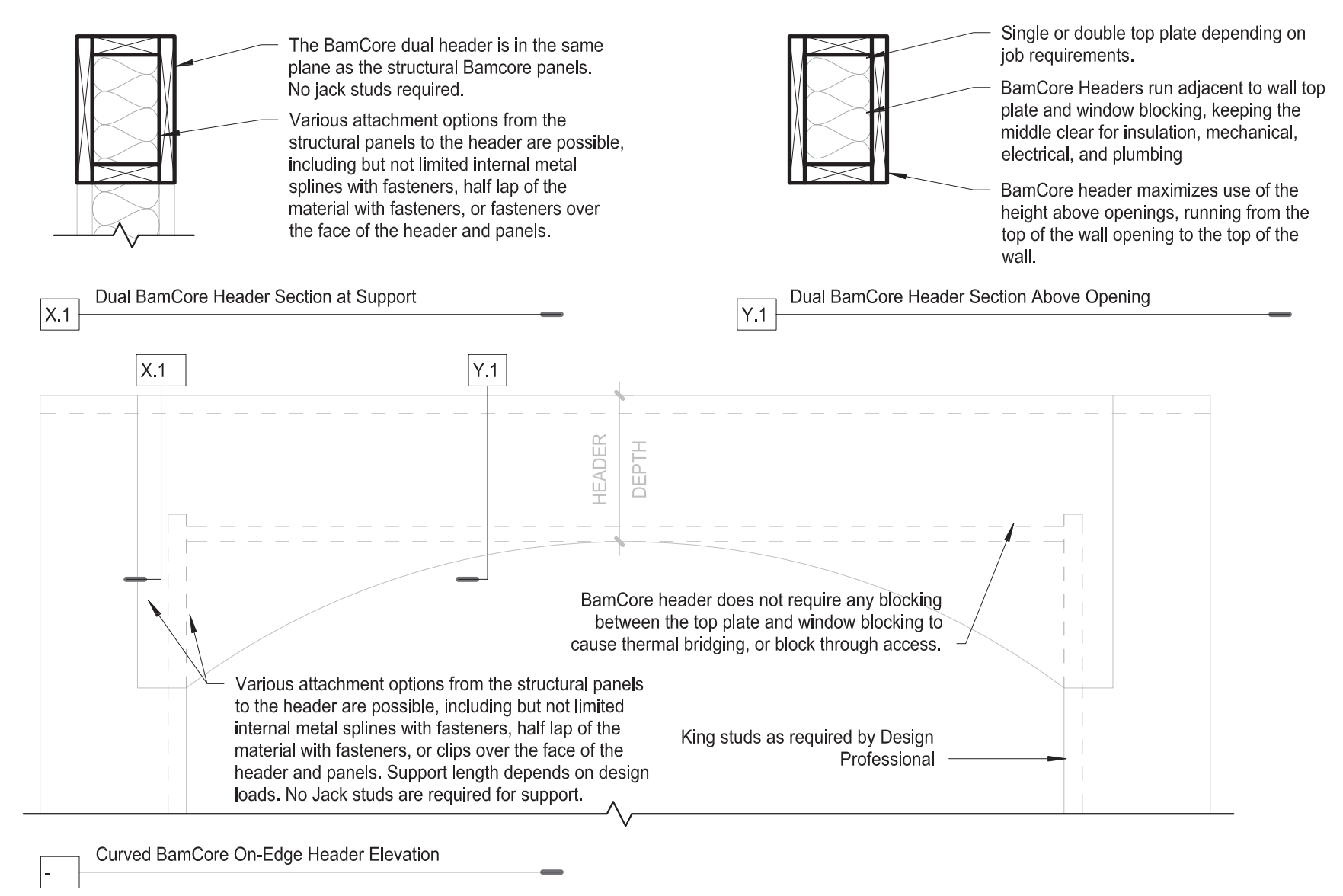
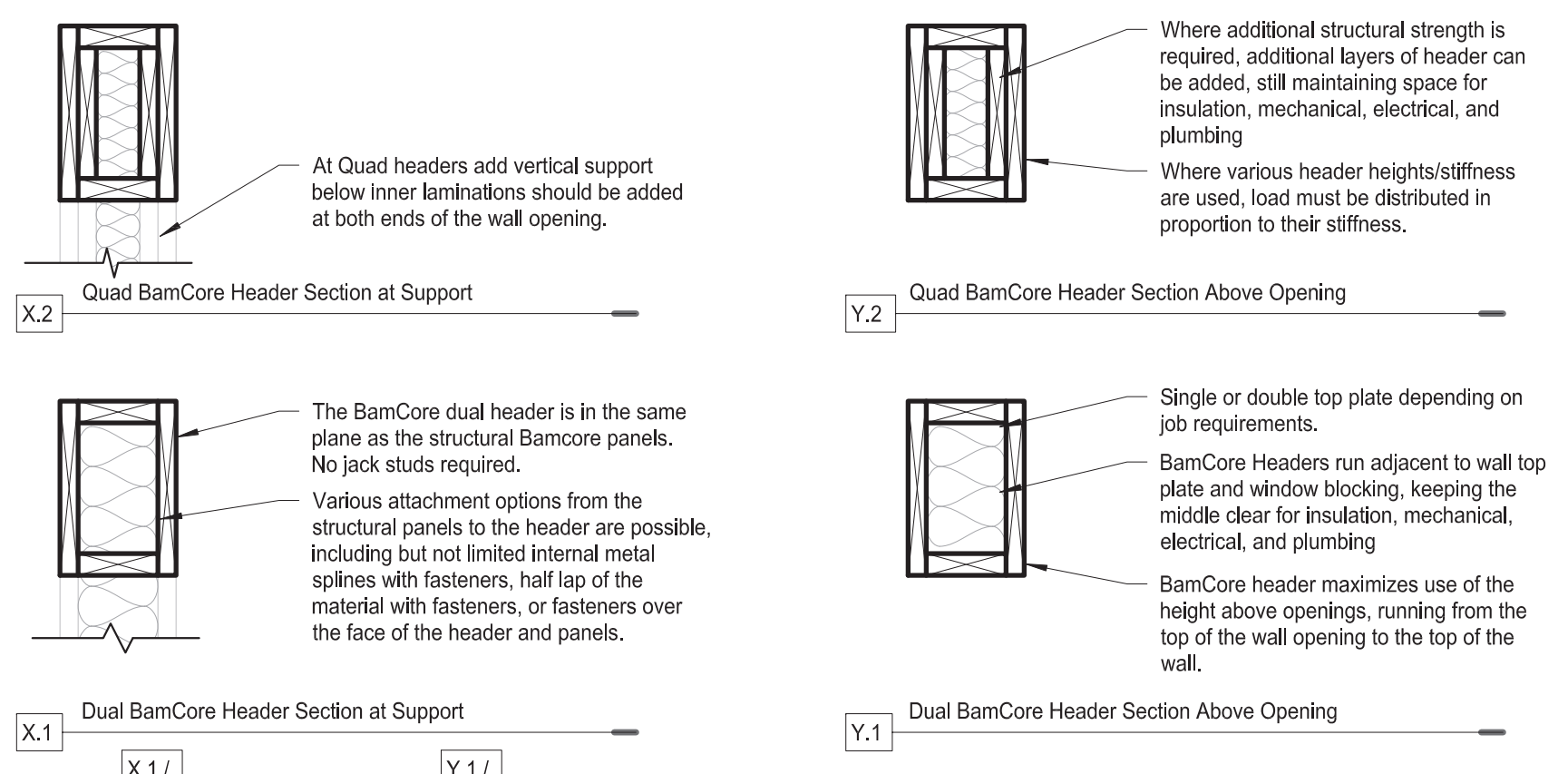
BAMCORE.COM
TYPICAL
DETAILS 2

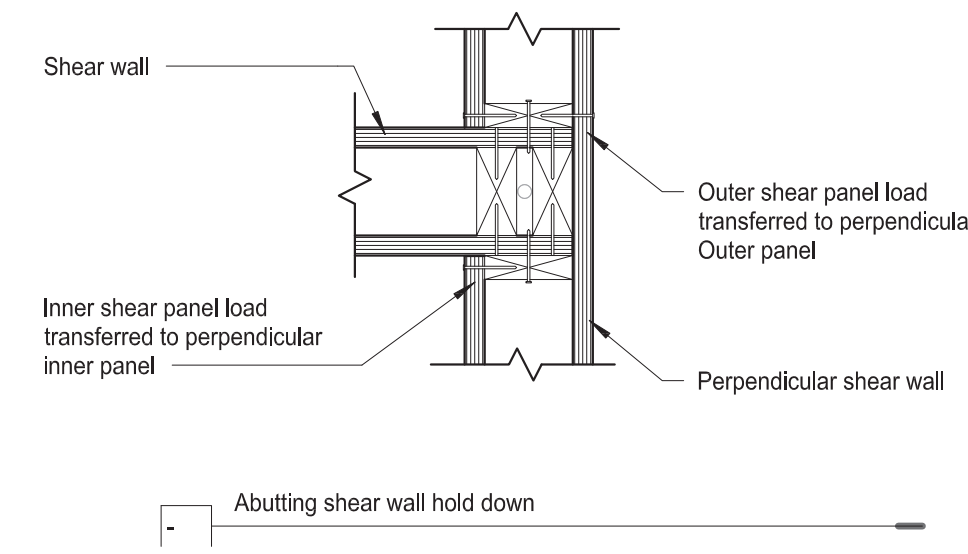
DRAWN: JB
CHECKED: NA
DATE: 5-14-21
SCALE: AS NOTED

SHEET
D5

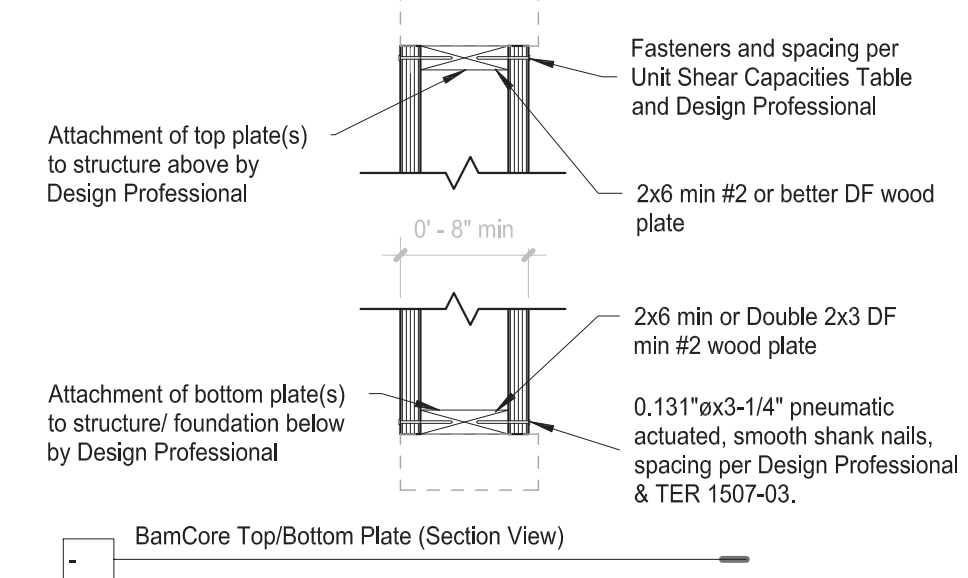
HEADER SPAN TABLE

Max Opening Width (ft)	Min Header Depth (in)	Min Bearing Length (in)	King Stud Requirement

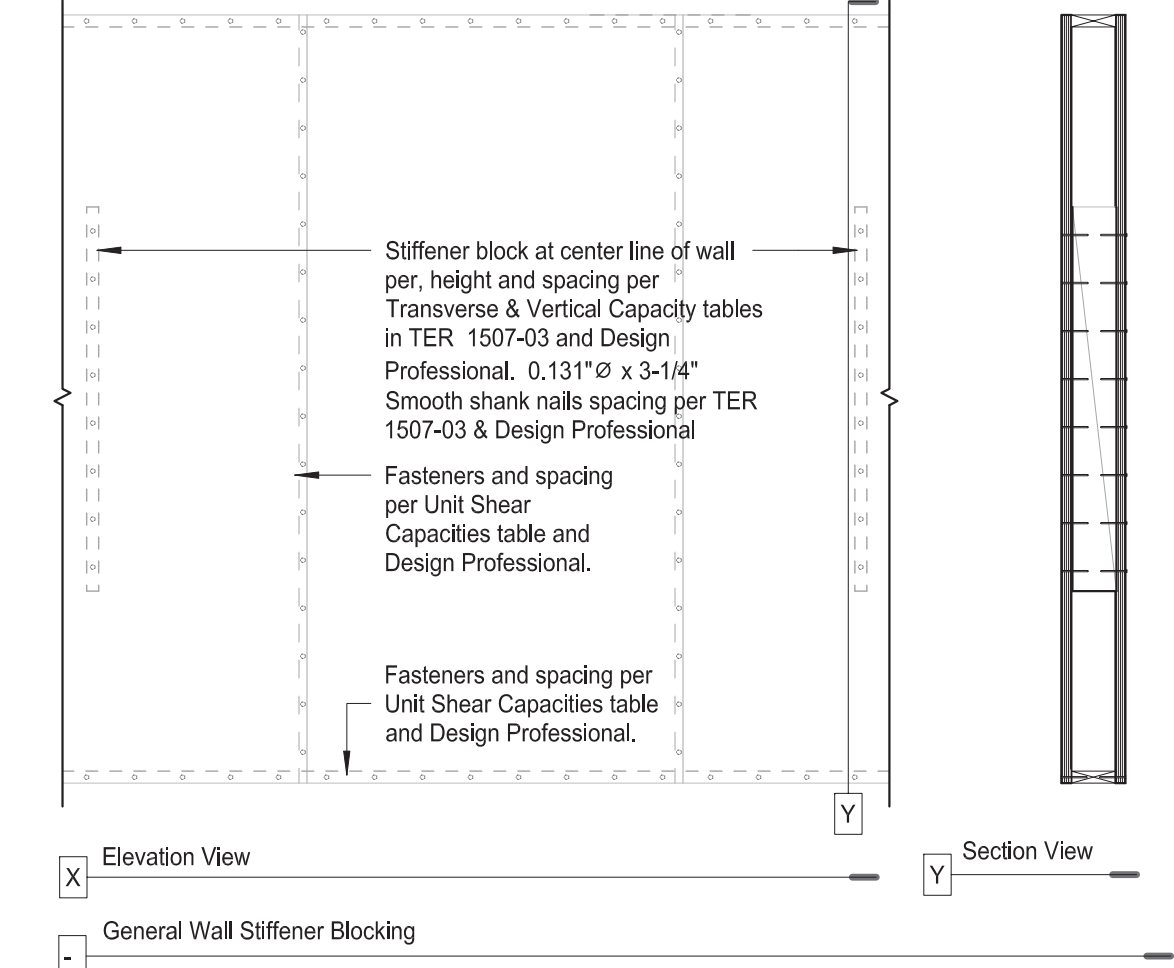




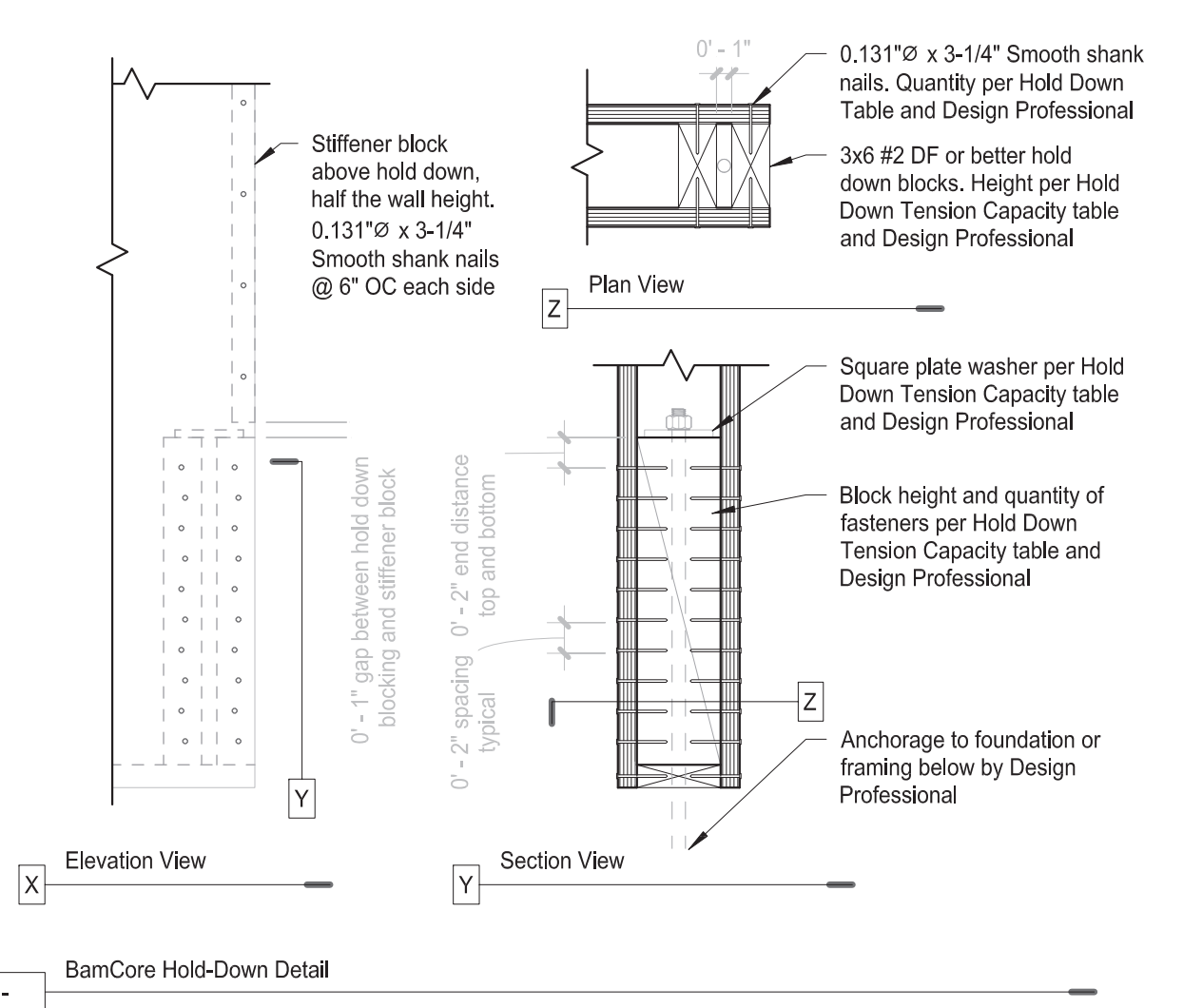
1 Abutting Hold downs
1" = 1'-0"



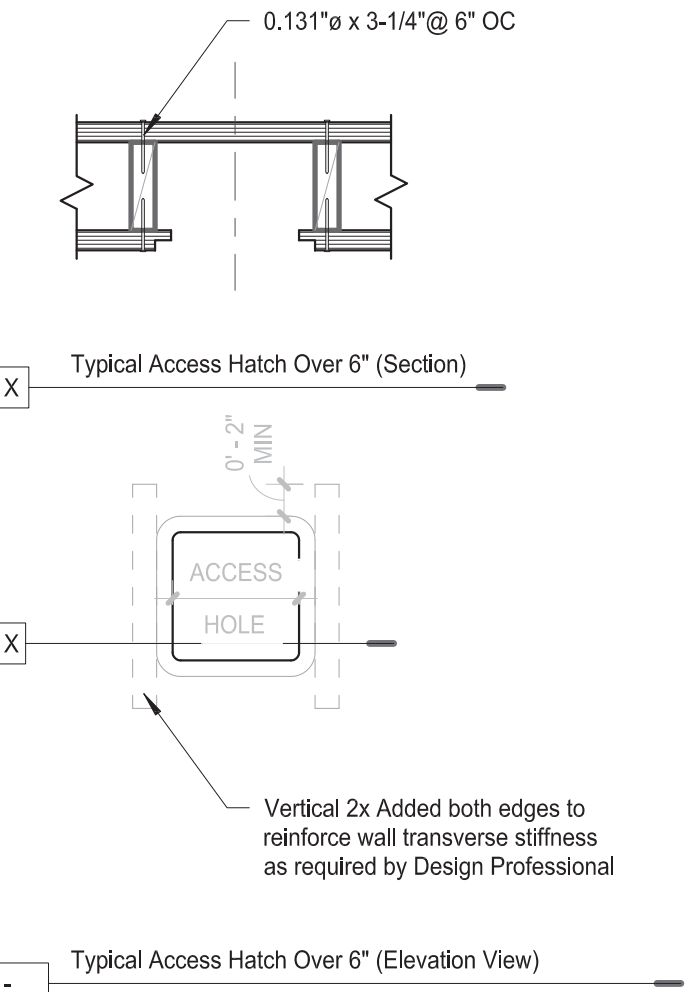
2 Top/Bottom Plate only
1" = 1'-0"



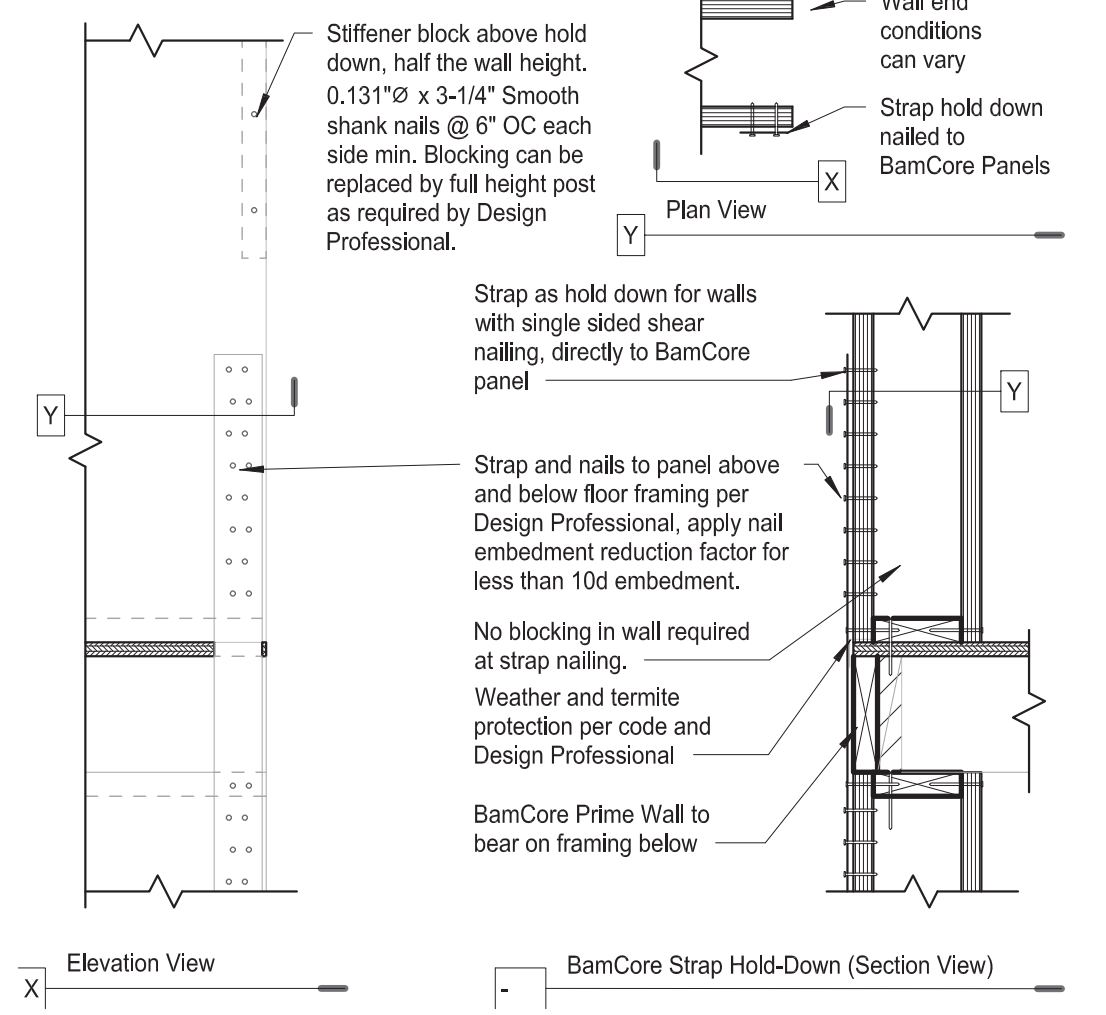
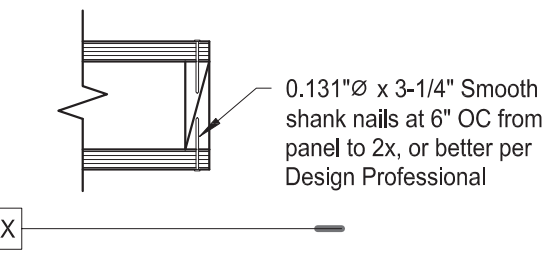
3 General Wall Stiffener Blocking
1/2" = 1'-0"



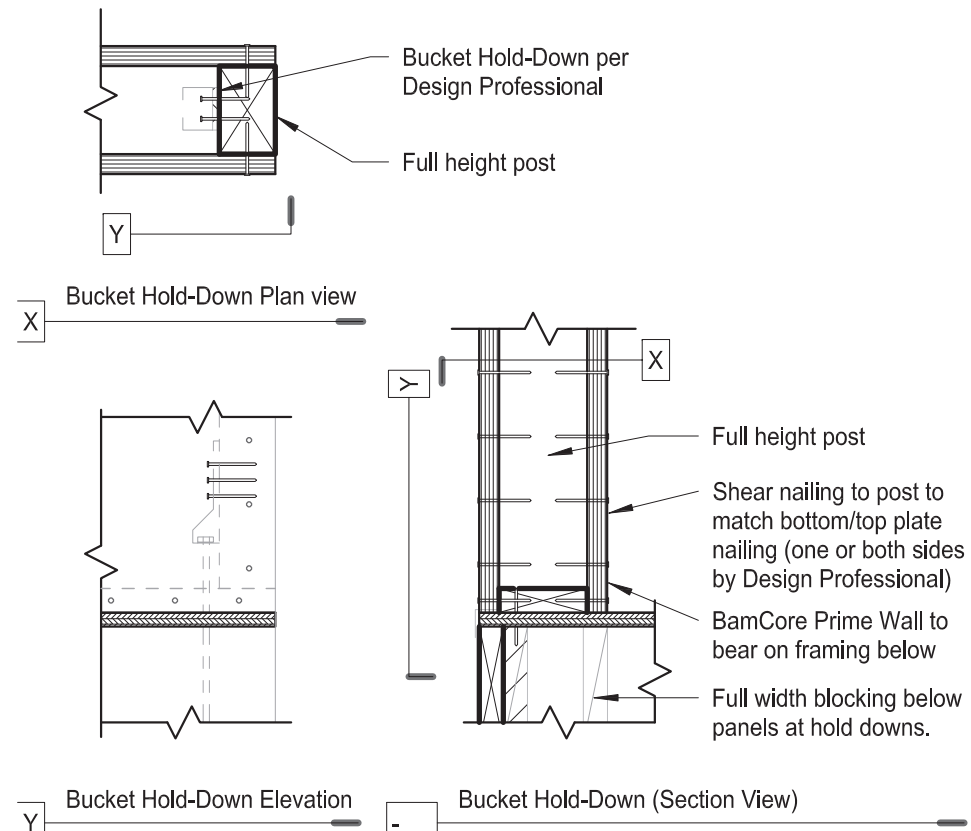
4 BamCore Hold Down
1" = 1'-0"



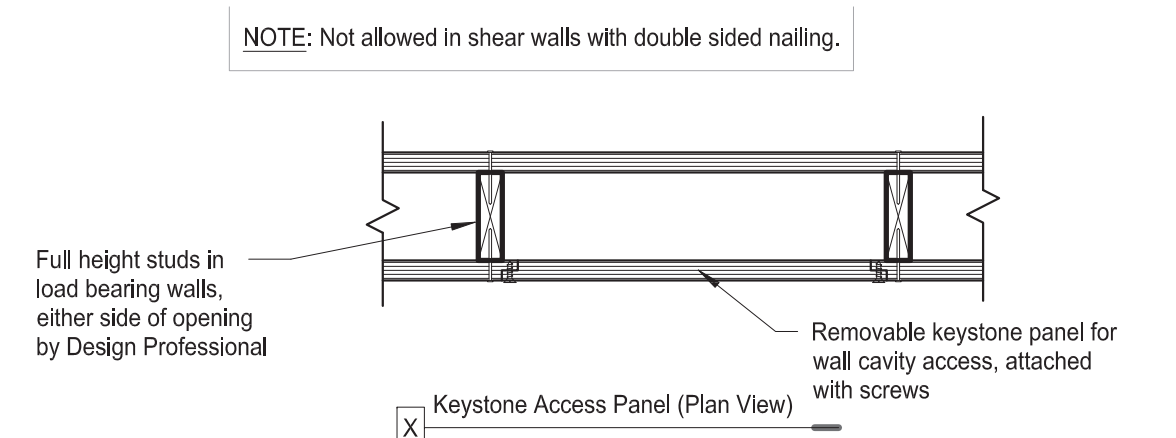
5 Typical Access Hatch Over 6"
1" = 1'-0"



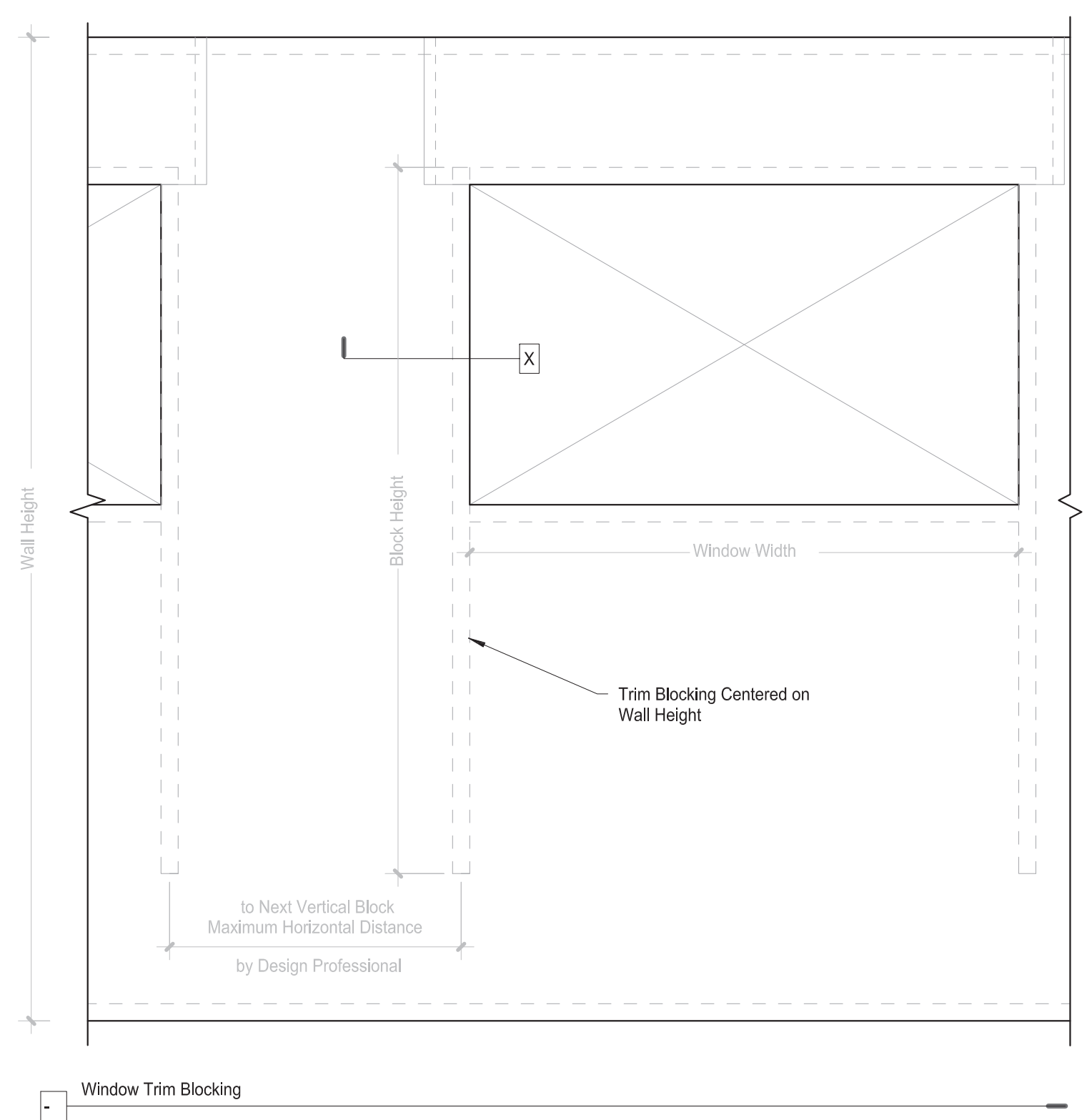
6 Strap Hold-Down to BamCore Panel
1" = 1'-0"



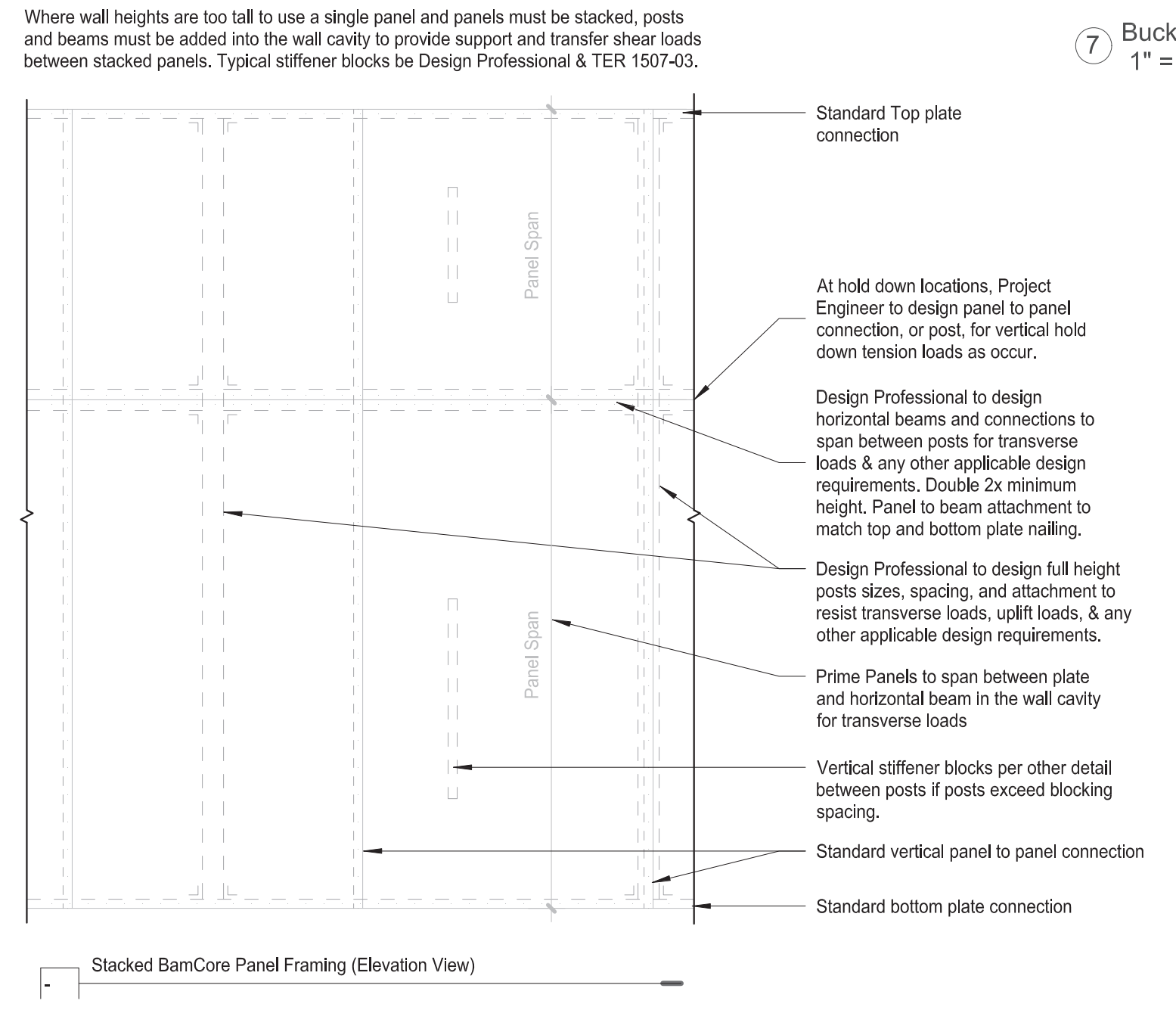
7 Bucket Hold-Down to BamCore Panel
1" = 1'-0"



8 Keystone Panel Detail
1" = 1'-0"

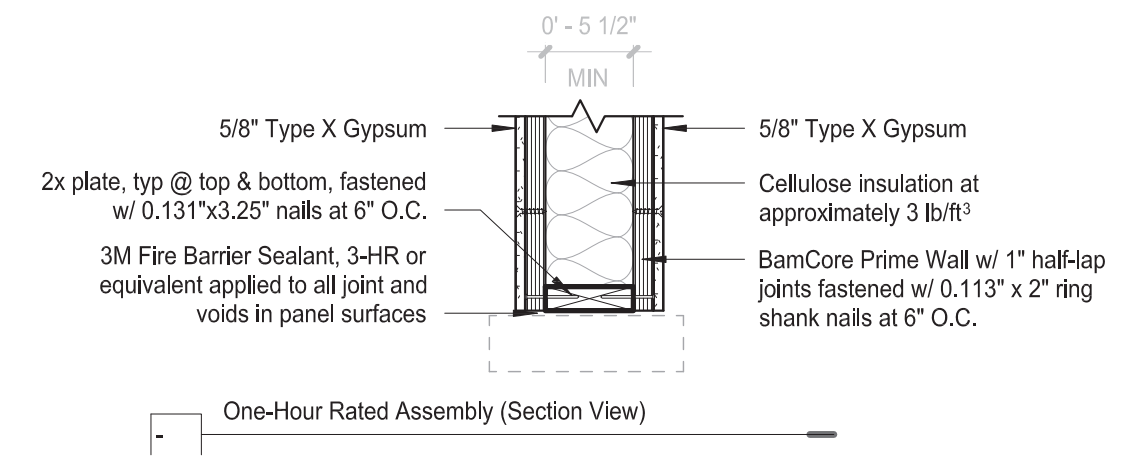


9 Window Trim Blocking
1" = 1'-0"



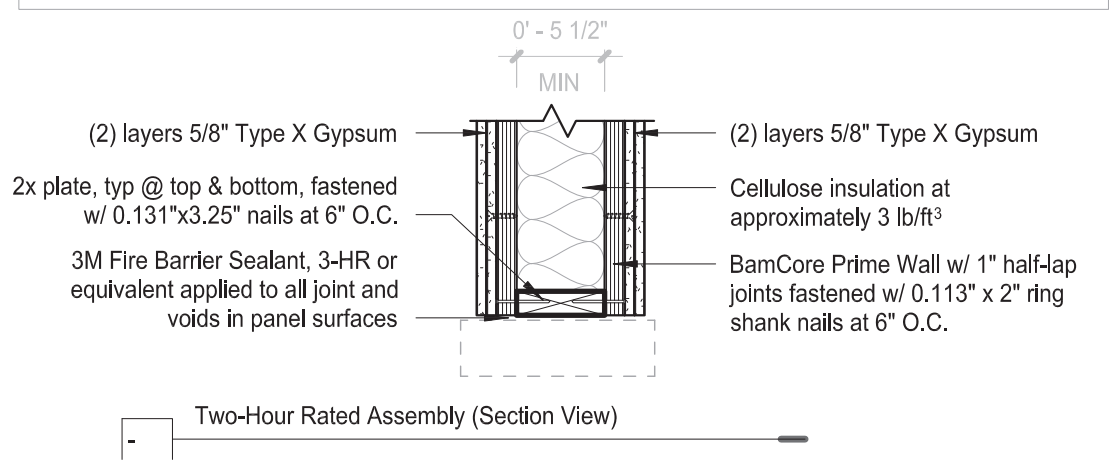
10 Tall Wall Framing
1/2" = 1'-0"

NOTE: TYPE X GYPSUM TO BE INSTALLED ON EACH FACE OF ASSEMBLY WITH 1 5/8" DRYWALL SCREWS FASTENED 12" O.C. ALL JOINTS TO BE TAPED AND COVERED WITH TWO COATS OF JOINT COMPOUND. GYPSUM ON ONE SIDE OF THE WALL TO BE STAGGERED FROM JOINTS ON THE OPPOSITE SIDE BY 24". A PANEL STIFFENER (MIN 1 1/4" X 5 1/2" X 5'-0") TO BE INSTALLED VERTICALLY AT MID-HEIGHT WITHIN 5'-0" OF THE END OF THE WALL & EVER 10'-0" O.C. ALONG THE LENGTH OF THE WALL, ATTACHED W/ MINIMUM #8 X 3" SCREWS.



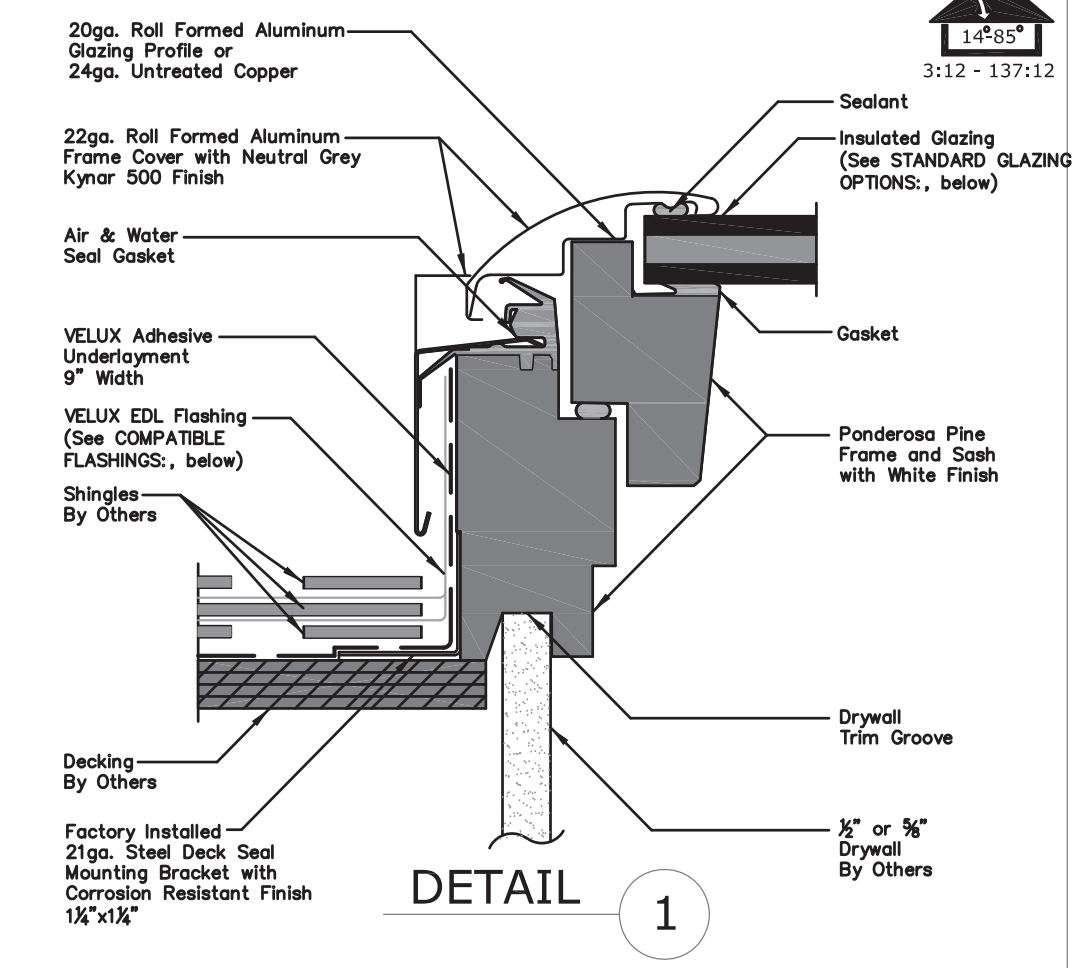
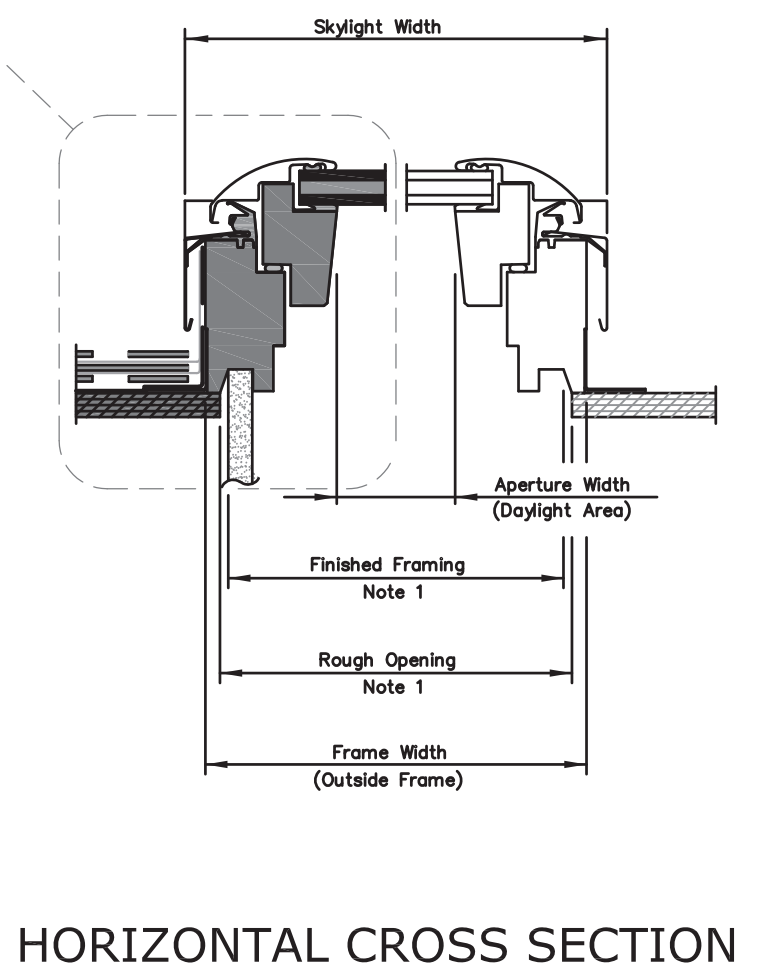
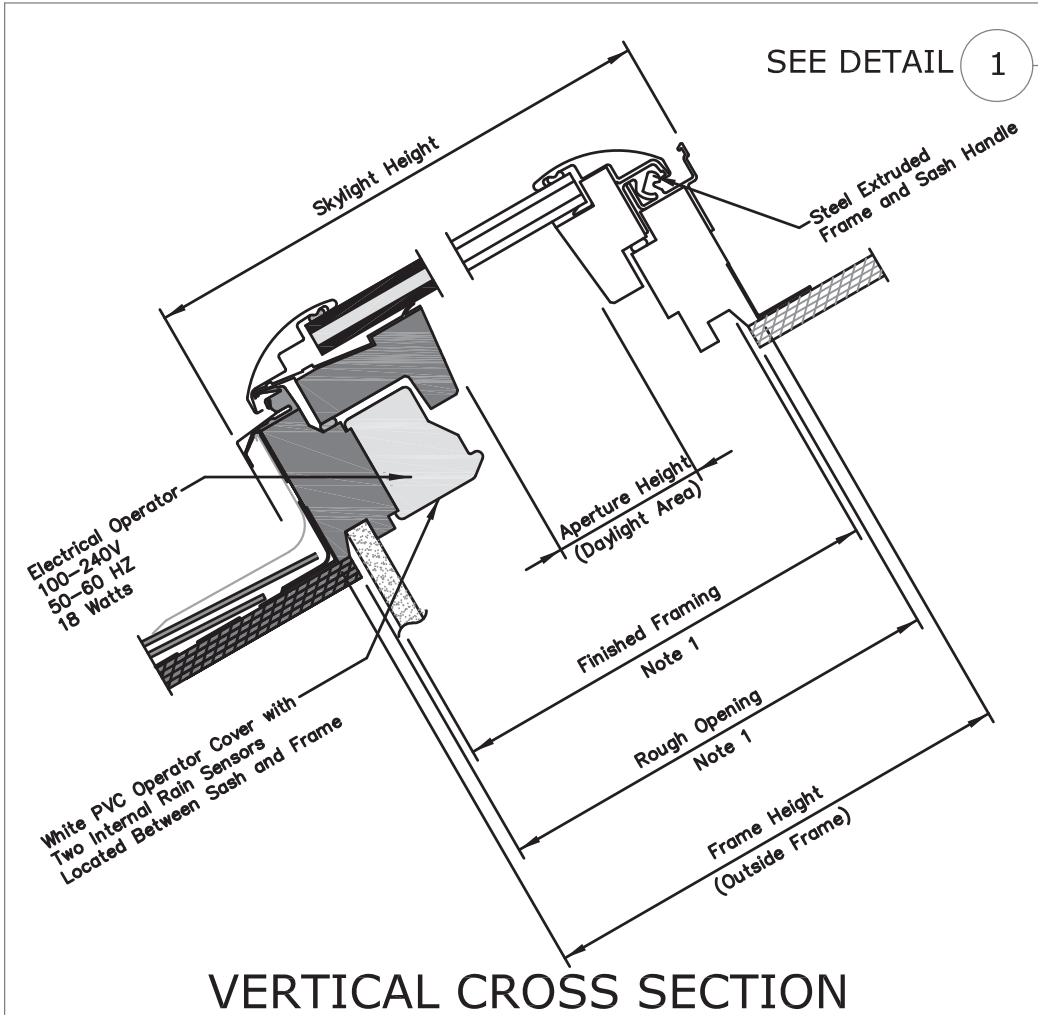
11 1-Hr Fire Rating
1" = 1'-0"

NOTE: TWO LAYERS OF TYPE X GYPSUM TO BE INSTALLED ON EACH FACE OF ASSEMBLY WITH 1 5/8" DRYWALL SCREWS FASTENED 12" O.C. ALL JOINTS TO BE TAPED AND COVERED WITH TWO COATS OF JOINT COMPOUND. FACE LAYER TO BE ATTACHED W/ 2 1/2" SCREWS @ 8" O.C. GYPSUM ON ONE SIDE OF THE WALL TO BE STAGGERED FROM JOINTS ON THE OPPOSITE SIDE BY 24". A PANEL STIFFENER (MIN 1 1/4" X 5 1/2" X 5'-0") TO BE INSTALLED VERTICALLY AT MID-HEIGHT WITHIN 5'-0" OF THE END OF THE WALL & EVER 10'-0" O.C. ALONG THE LENGTH OF THE WALL, ATTACHED W/ MINIMUM #8 X 3" SCREWS.



12 2-Hr Fire Rating
1" = 1'-0"

BY	
REVISION	
DATE	
LARSON RESIDENCE 10818 Crothers Road San Jose, CA 95127	
BAMCORE.COM TYPICAL DETAILS 3	DETAILS 3
DRAWN: JB	
CHECKED: NA	
DATE: 5-14-21	
SCALE: AS NOTED	
SHEET	
D6	



VERTICAL CROSS SECTION

HORIZONTAL CROSS SECTION

DETAIL 1

- STANDARD GLAZING OPTIONS:**
- Laminated LowE3 (04)
 - Impact (06)
 - Snowload (10)
- *Tempered Exterior Pane used with all options

- COMPATIBLE FLASHINGS:**
- EDL Step flashing
 - EKL/EKK Combi flashing
 - EDW Tile flashing
 - EKW/EKX Combi tile flashing
 - EDM Metal roof flashing
 - ECB Counter flashing for curbs

- ELECTRICAL/CONTROL DATA:**
- VSE Skylight controlled via 2.4 GHz radio frequency KLR 200 remote control provided with skylight. Optional controls for VSE Skylight are KLI 110 Wall Mounted Keypad or KLF 100 Home Automation Integration Kit.
 - Electrical Operator 100-240V, 50-60 HZ, 18 WATTS

METRIC UNITS (MILLIMETERS)										IMPERIAL UNITS (INCHES)									
Size	Rough Opening Width	Frame Width	Frame Aperture Width	SkyLight Width	Rough Opening Height	Frame Height	Frame Aperture Height	SkyLight Height	Daylight Area (Sq. Meters)	Size	Rough Opening Width	Frame Width	Frame Aperture Width	SkyLight Width	Rough Opening Height	Frame Height	Frame Aperture Height	SkyLight Height	Daylight Area (Sq. Feet)
C01	533	546	407	566.7	682	695	519	720	.21	C01	21	21 1/2	16	22 5/16	26 7/8	27 3/8	20 7/16	28 3/8	2.27
C04	533	546	407	566.7	982	975	799	1000	.33	C04	21	21 1/2	16	22 5/16	37 7/8	36 3/8	31 7/16	39 3/8	3.50
C06	533	546	407	566.7	1162	1175	999	1200	.41	C06	21	21 1/2	16	22 5/16	43 3/4	46 1/4	39 5/16	47 1/4	4.36
C08	533	546	407	566.7	1382	1395	1219	1420	.50	C08	21	21 1/2	16	22 5/16	51 7/16	54 15/16	45	55 15/16	5.34
M04	763	776	637	796.7	962	975	799	1000	.51	M04	30 1/16	30 9/16	25	31 3/8	37 7/8	38 3/8	31 7/16	39 3/8	5.48
M06	763	776	637	796.7	1162	1175	999	1200	.64	M06	30 1/16	30 9/16	25	31 3/8	43 3/4	46 1/4	39 5/16	47 1/4	6.86
M08	763	776	637	796.7	1382	1395	1219	1420	.78	M08	30 1/16	30 9/16	25	31 3/8	54 7/16	54 15/16	48	55 15/16	8.36
S01	1123	1136	997	1156.7	682	695	519	720	.52	S01	44 1/4	44 3/4	39 1/4	45 9/16	26 7/8	27 3/8	20 7/16	28 3/8	5.97
S06	1123	1136	997	1156.7	1162	1175	999	1200	1.0	S06	44 1/4	44 3/4	39 1/4	45 9/16	43 3/4	46 1/4	39 5/16	47 1/4	10.33

NOTES:

- The ROUGH OPENING and FINISHED FRAMING dimensions are based on perpendicular interior finish material on all four sides and these dimensions will vary depending on the roof construction, the thickness and the design of the interior finish material.
- Max sash opening is 11" by stainless steel chain.

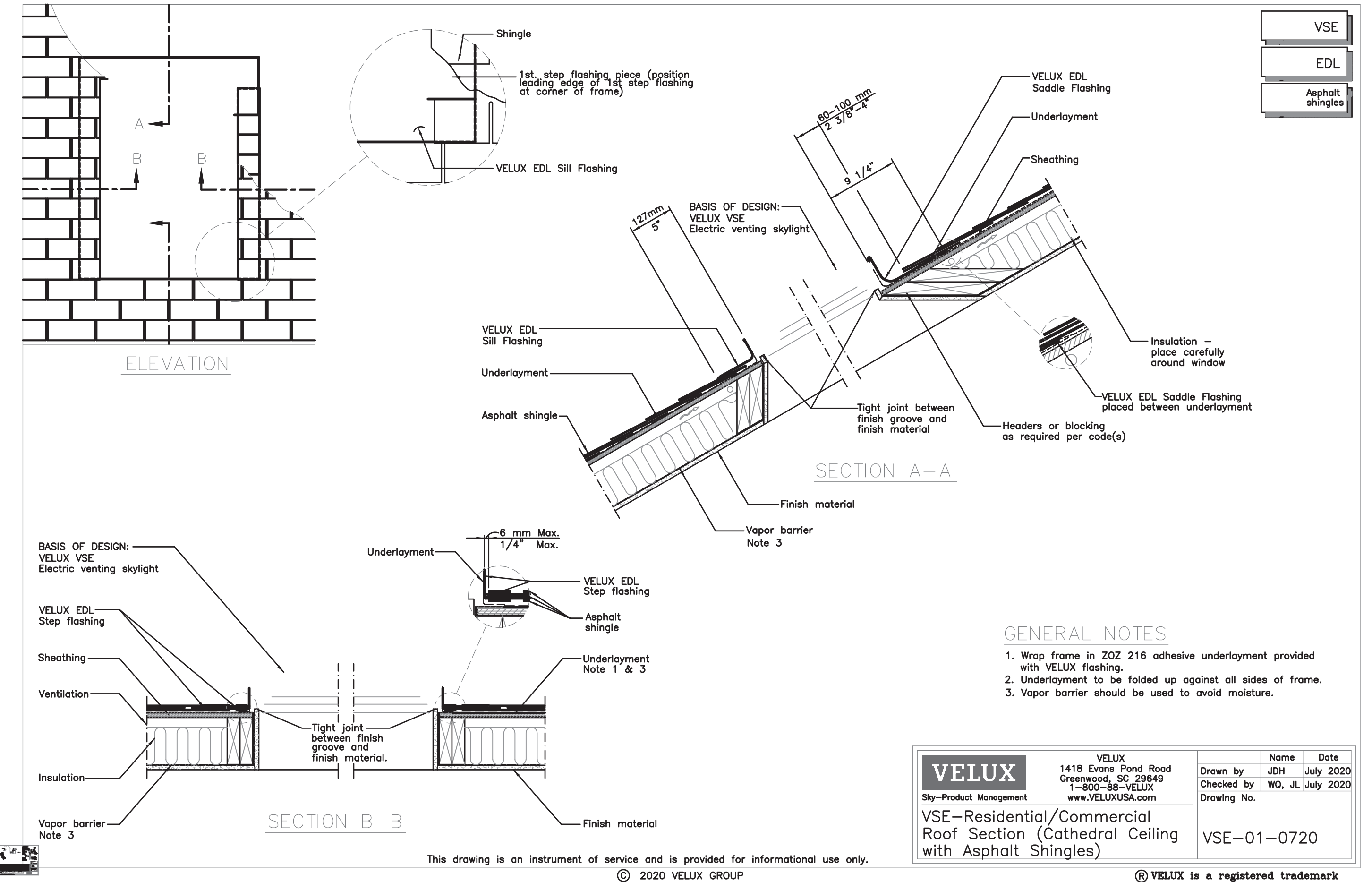
VELUX
Sky-Global Product Management

VELUX
1418 Evans Pond Road
Greensboro, NC 27649
1-800-88-VELUX
www.VELEXUSA.com

VSE - Electric Venting Skylight

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- GENERAL NOTES**
- Wrap frame in Z016 adhesive underlayment provided with VELUX flashing.
 - Underlayment to be folded up against all sides of frame.
 - Vapor barrier should be used to avoid moisture.

VELUX
Sky-Product Management

VELUX
1418 Evans Pond Road
Greensboro, NC 27649
1-800-88-VELUX
www.VELEXUSA.com

Name: JDH
Date: July 2020
Checked by: WQ, JL
Drawing No.: VSE-01-0720

VSE - Residential/Commercial Roof Section (Cathedral Ceiling with Asphalt Shingles)

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BY	REVISION	DATE



LARSON RESIDENCE
10818 Crothers Road
San Jose, CA 95127

VELUX VENTING SKYLIGHT ROOF SECTION

DRAWN: JDH
CHECKED: WQ
DATE: 2-22-23
SCALE: AS NOTED
SHEET
D7

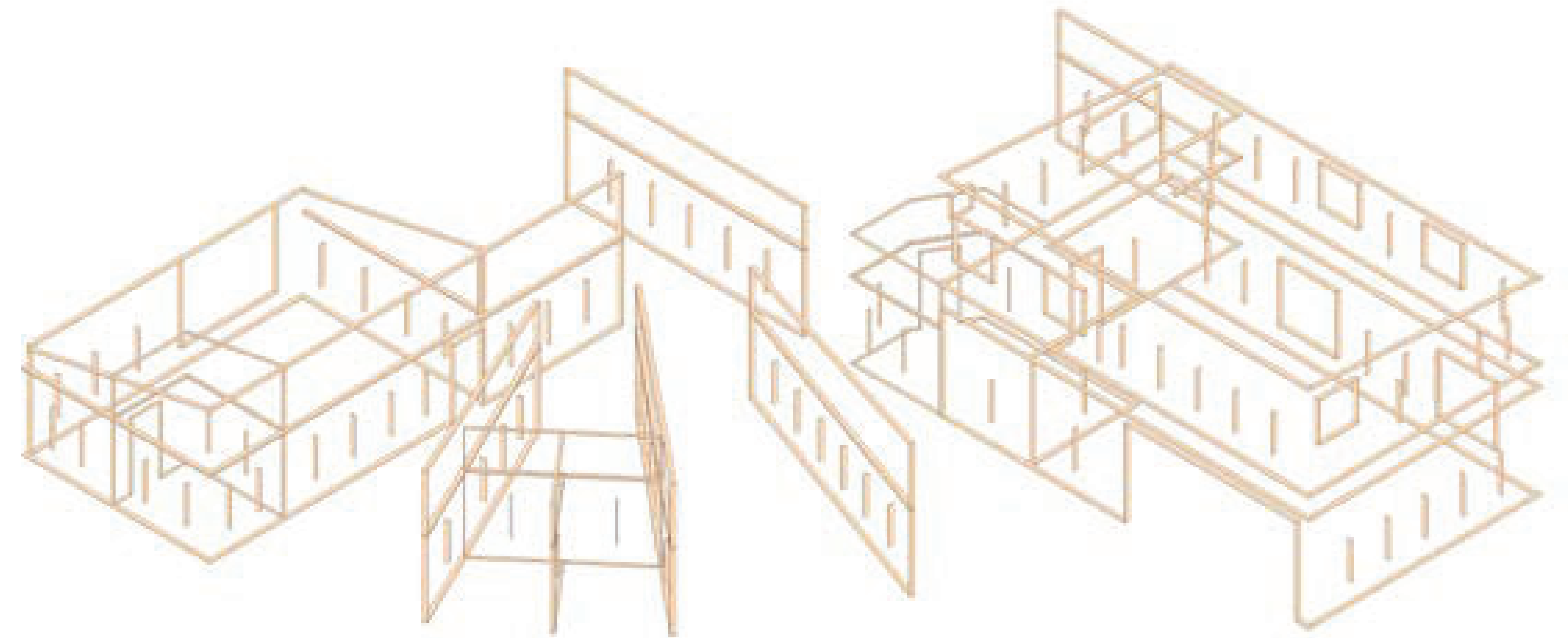
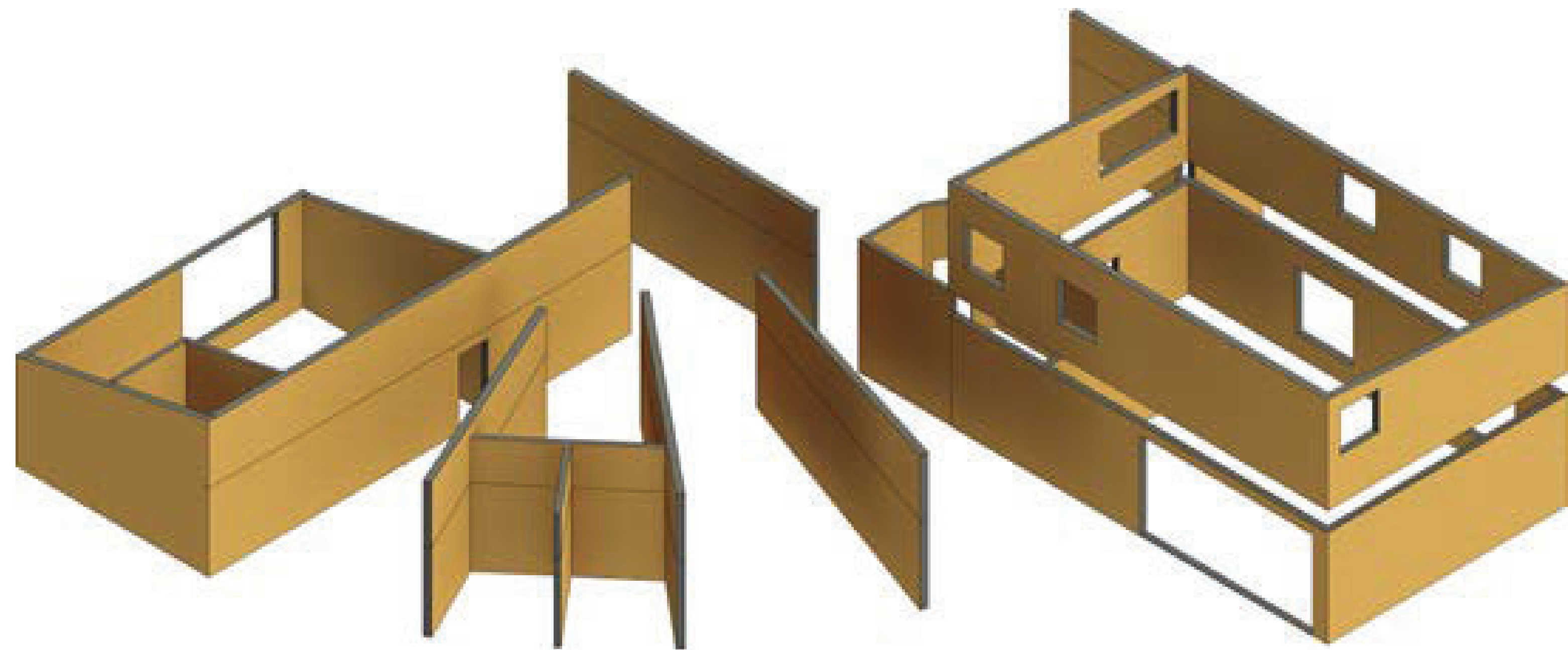


BamCore Takeoff
Larson Residence
Ecostruction



BamCore Takeoff

Larson Residence



Wall Takeoff

8' Panels: 235
10' Panels: 176
Area Feedstock: 14,560

Lumber Takeoff (linear feet)

2x4" Plate: 284 ft 2x6" Plate: 1,552 ft
2x4" Stud: 134 ft 2x6" Stud: 604 ft

*BamCore does not provide lumber, these numbers are for reference only

Square Footage

4,845 sq ft

Pricing Estimate

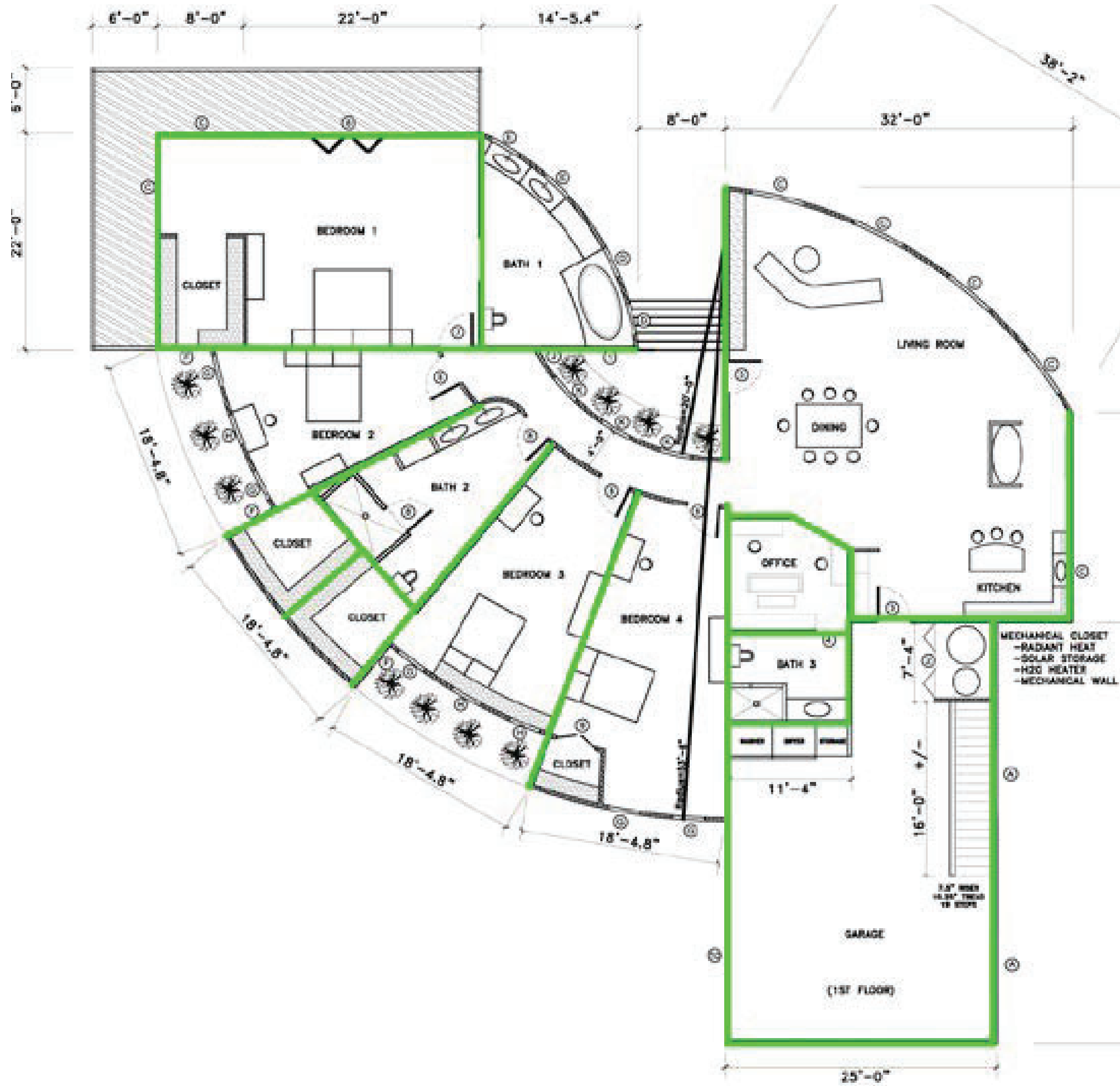
\$80,080

*Estimate is pre-tax and includes only BamCore panel system
*Shipping not included. Cost spot check can be provided upon request

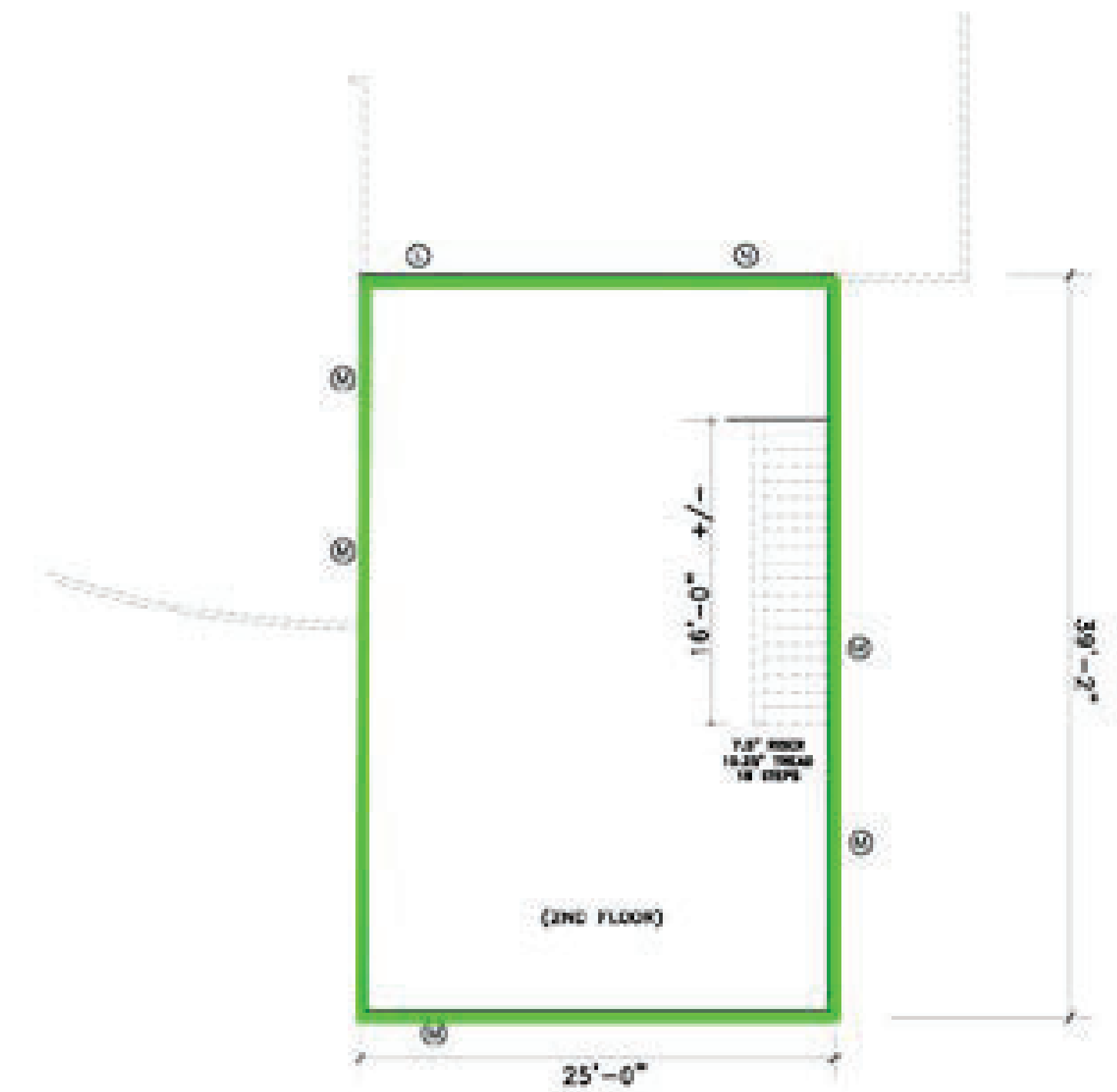


BamCore Takeoff

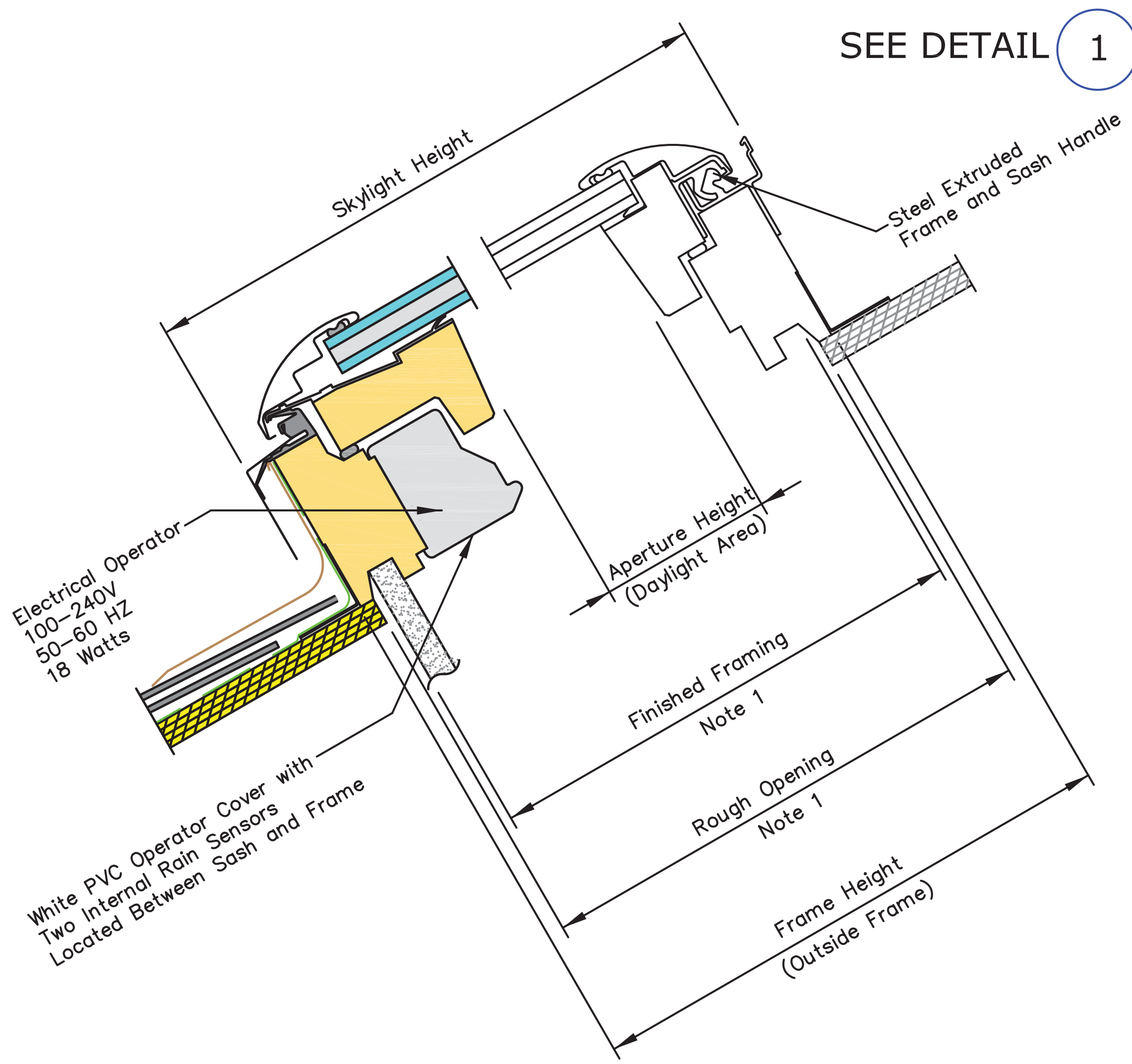
Larson Residence



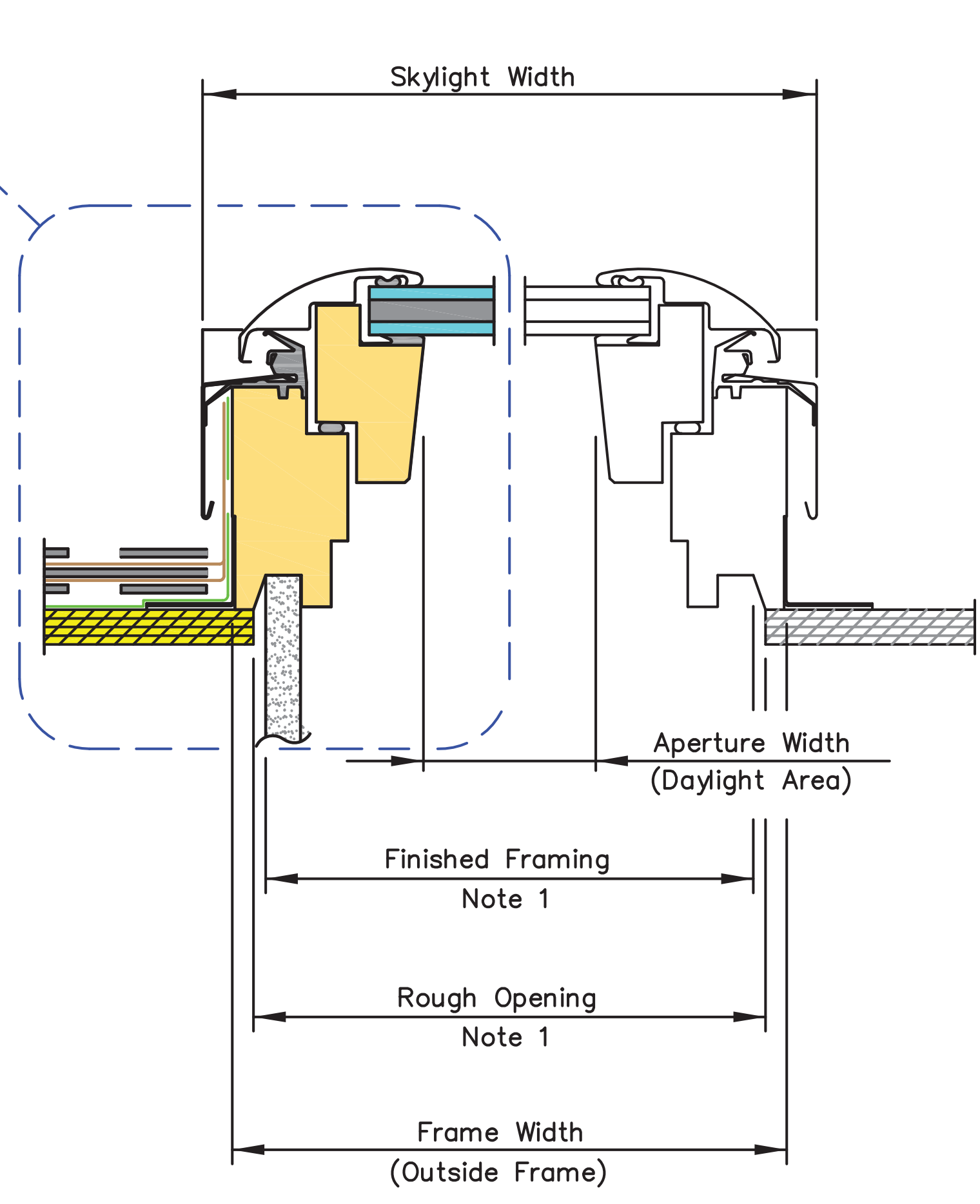
Utilization of BamCore Panels
Level 1



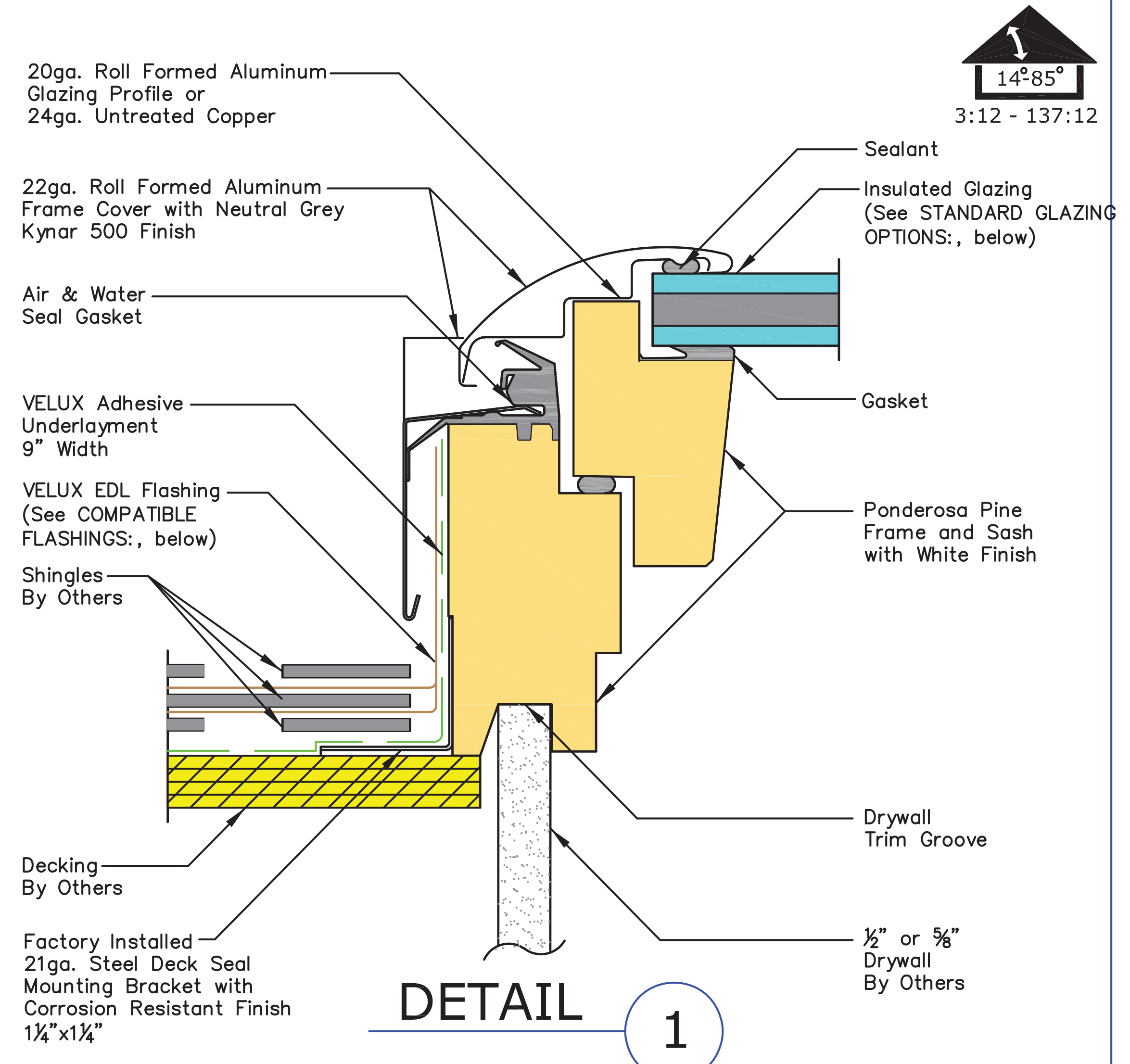
Utilization of BamCore Panels
Level 2



VERTICAL CROSS SECTION



HORIZONTAL CROSS SECTION



DETAIL 1

- STANDARD GLAZING OPTIONS:**
- Laminated LowE3 (04)
 - Impact (06)
 - Snowload (10)
- *Tempered Exterior Pane used with all options

- COMPATIBLE FLASHINGS:**
- EDL Step flashing
 - EKL/EKX Combi flashing
 - EDW Tile flashing
 - EKW/EKX Combi tile flashing
 - EDM Metal roof flashing
 - ECB Counter flashing for curbs

- ELECTRICAL/CONTROL DATA:**
- VSE Skylight controlled via 2.4 GHz radio frequency KLR 200 remote control provided with skylight. Optional controls for VSE Skylight are KLI 110 Wall Mounted Keypad or KLF 100 Home Automation Integration Kit.
 - Electrical Operator 100-240V, 50-60 HZ, 18 WATTS

PRODUCT DIMENSIONS									
METRIC UNITS (MILLIMETERS)					IMPERIAL UNITS (INCHES)				
Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Daylight Area (Sq. Meters)
C01	533	546	407	566.7	682	695	519	720	.21
C04	533	546	407	566.7	962	975	799	1000	.33
C06	533	546	407	566.7	1162	1175	999	1200	.41
C08	533	546	407	566.7	1382	1395	1219	1420	.50
M04	763	776	637	796.7	962	975	799	1000	.51
M06	763	776	637	796.7	1162	1175	999	1200	.64
M08	763	776	637	796.7	1382	1395	1219	1420	.78
S01	1123	1136	997	1156.7	682	695	519	720	.52
S06	1123	1136	997	1156.7	1162	1175	999	1200	1.0

NOTES:

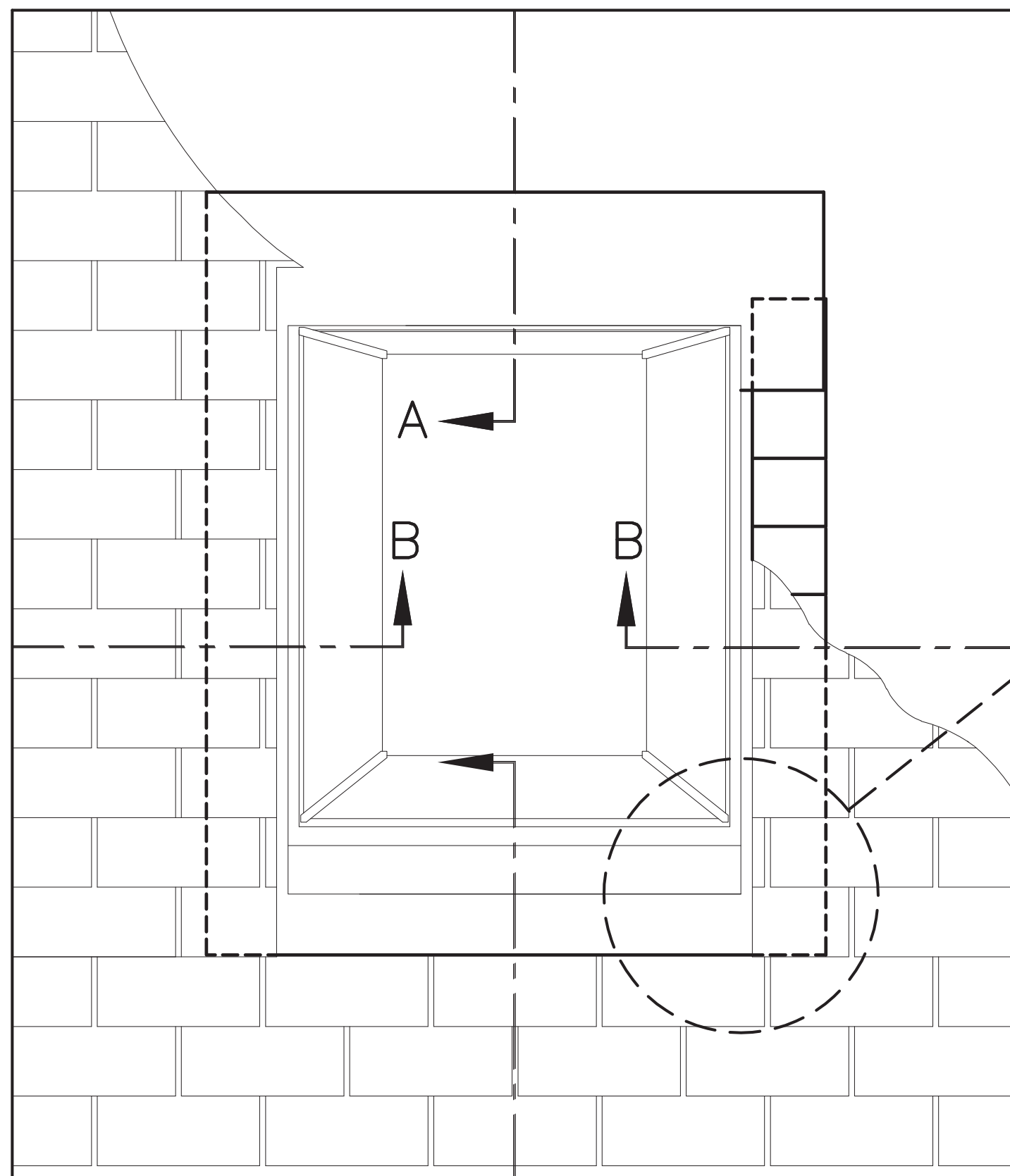
1. The ROUGH OPENING and FINISHED FRAMING dimensions are based on perpendicular interior finish material on all four sides and these dimensions will vary depending on the roof construction, the thickness and the design of the interior finish material.
2. Max sash opening is 11" by stainless steel chain.

Sky-Global Product Management

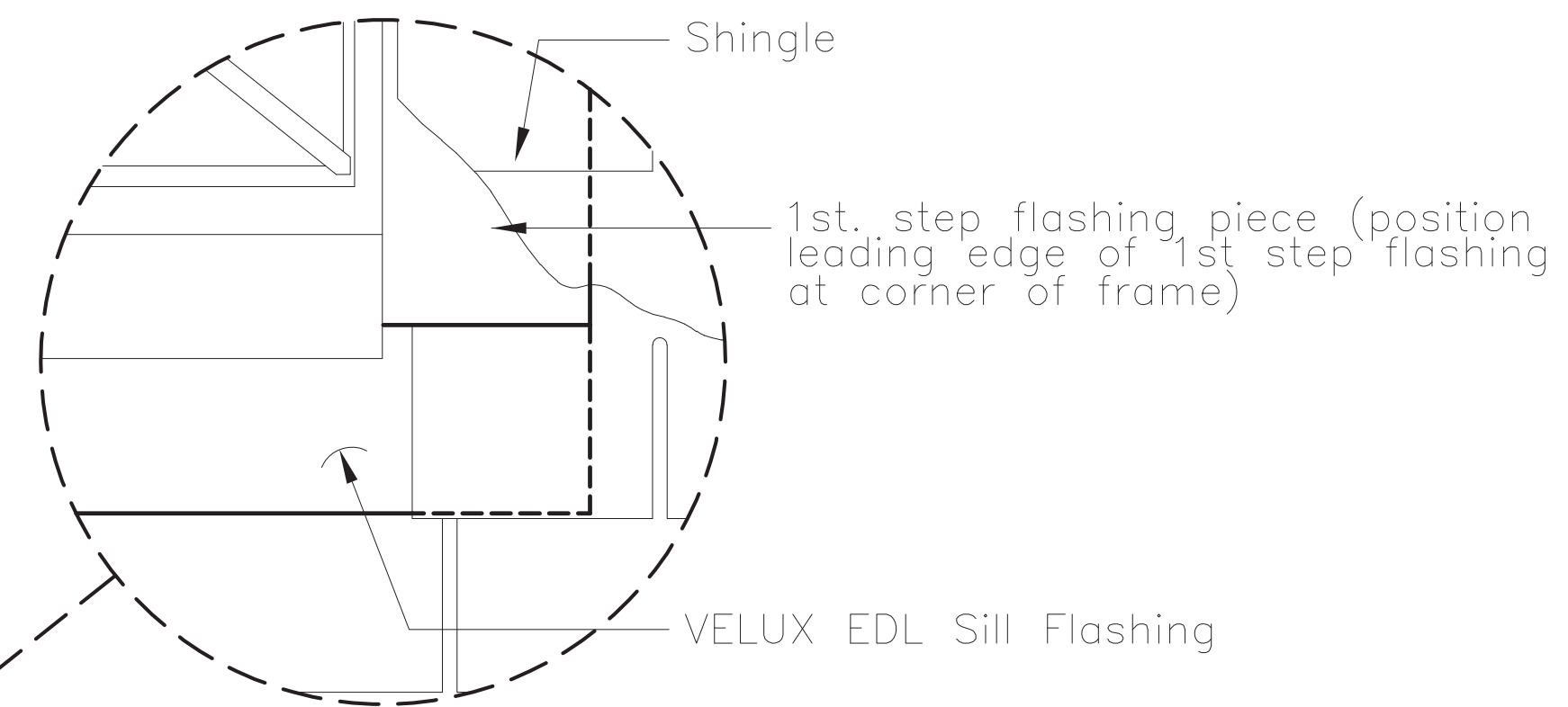
VELUX
1418 Evans Pond Road
Greenwood, SC 29649
1-800-88-VELUX
www.VELUXUSA.com

VSE - Electric Venting Skylight

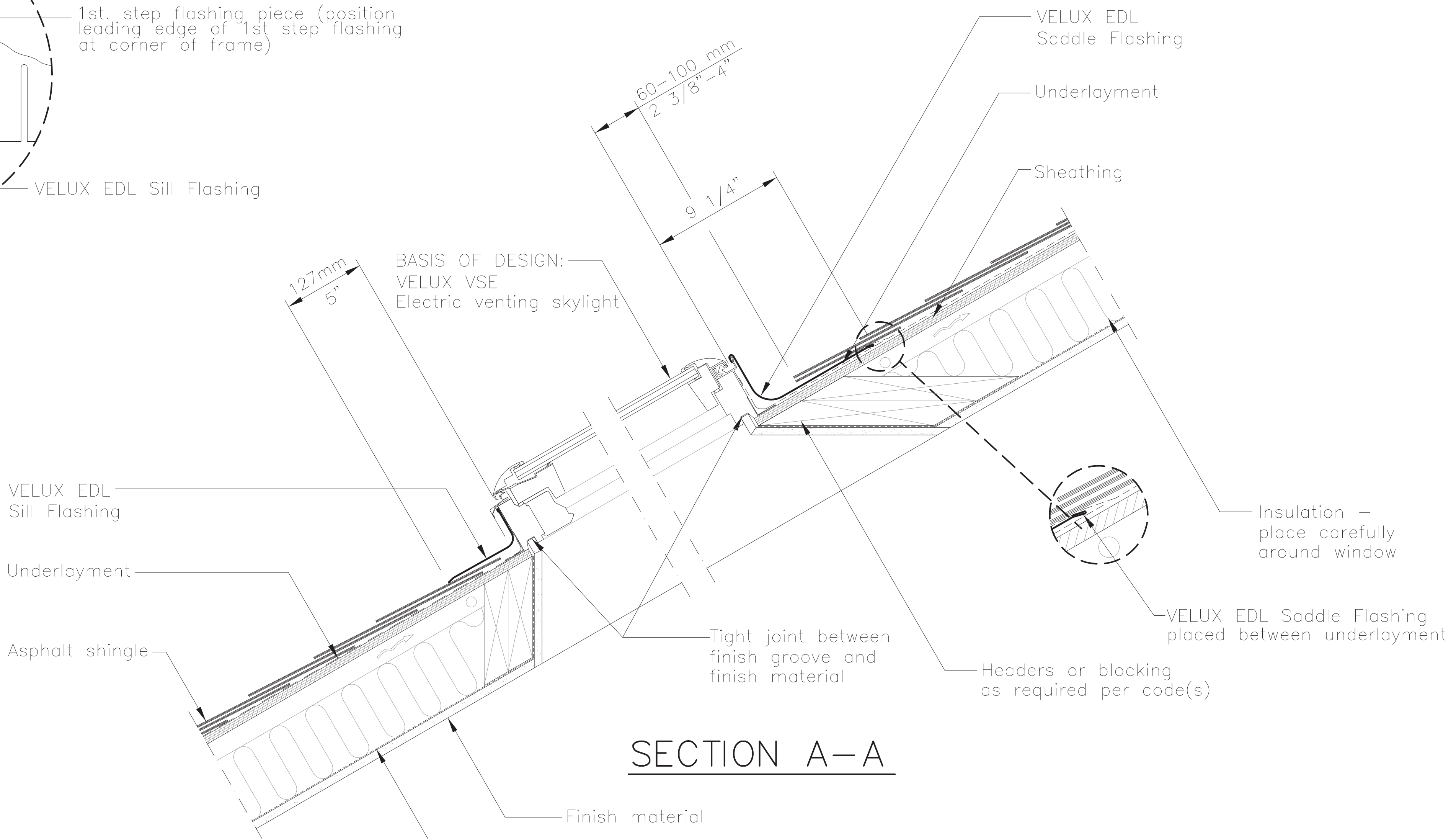
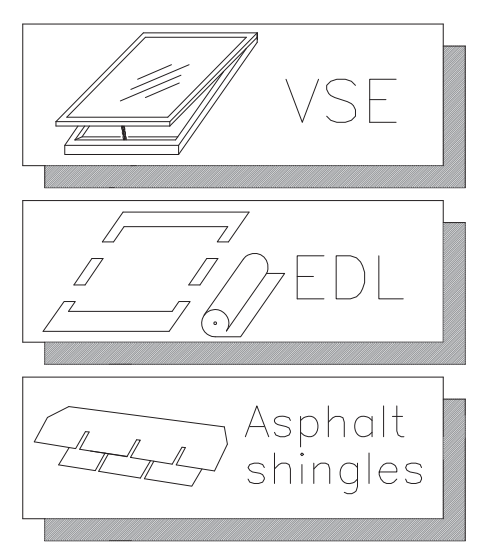
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ELEVATION

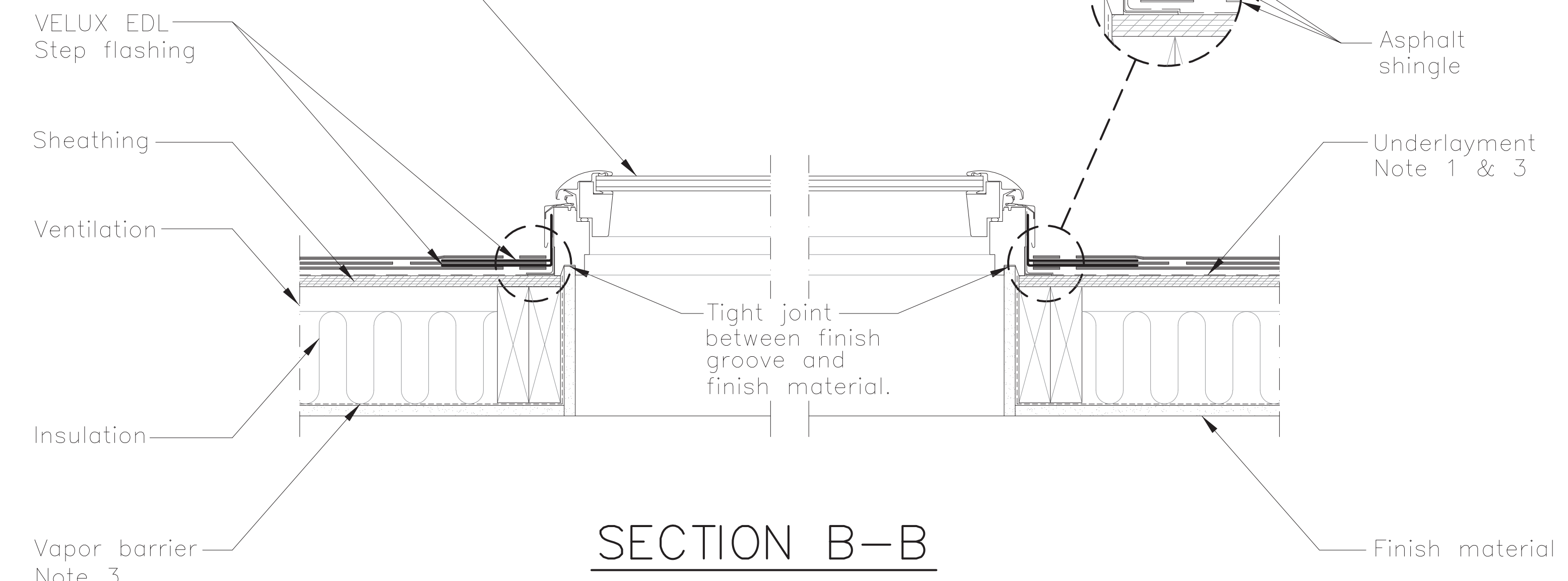


Shingle
 1st. step flashing piece (position leading edge of 1st step flashing at corner of frame)
 VELUX EDL Sill Flashing



SECTION A-A

BASIS OF DESIGN:
 VELUX VSE
 Electric venting skylight



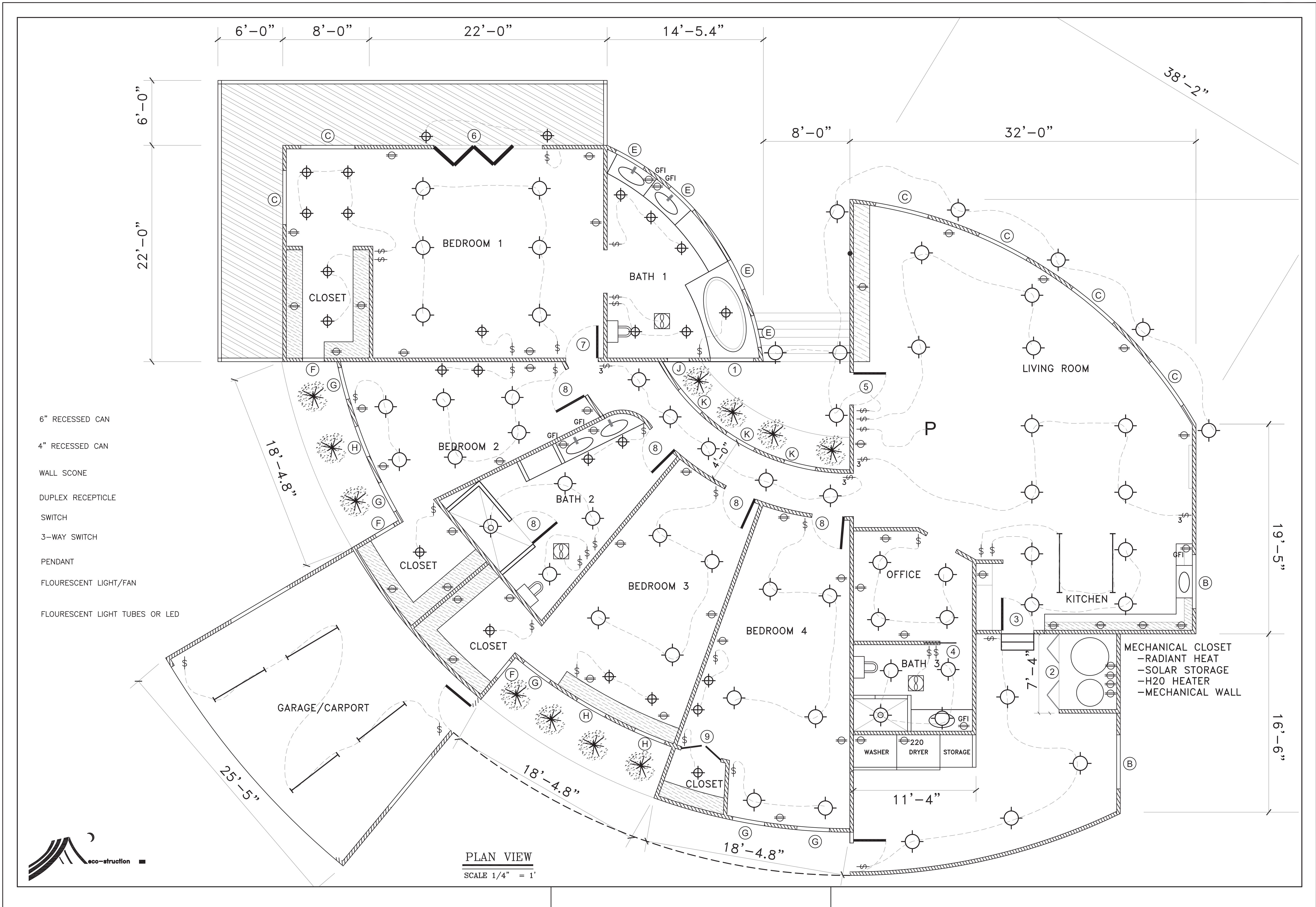
SECTION B-B

GENERAL NOTES

1. Wrap frame in ZOZ 216 adhesive underlayment provided with VELUX flashing.
2. Underlayment to be folded up against all sides of frame.
3. Vapor barrier should be used to avoid moisture.

	VELUX 1418 Evans Pond Road Greenwood, SC 29649 1-800-88-VELUX www.VELUXUSA.com	Name	Date
	Sky-Product Management	Drawn by JDH Checked by WQ, JL Drawing No.	July 2020 July 2020
VSE-Residential/Commercial Roof Section (Cathedral Ceiling with Asphalt Shingles)		VSE-01-0720	

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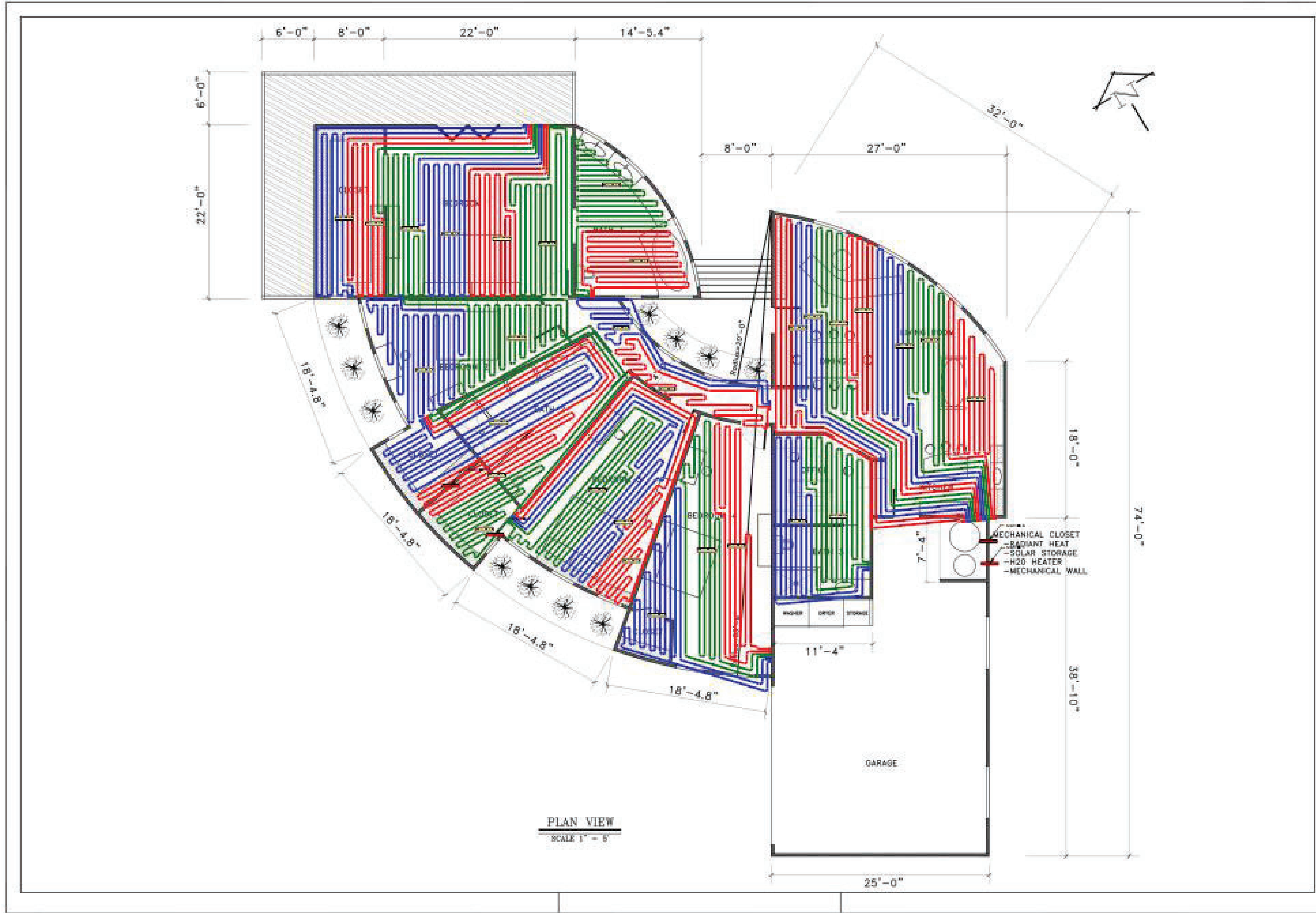
BY	REVISION	DATE




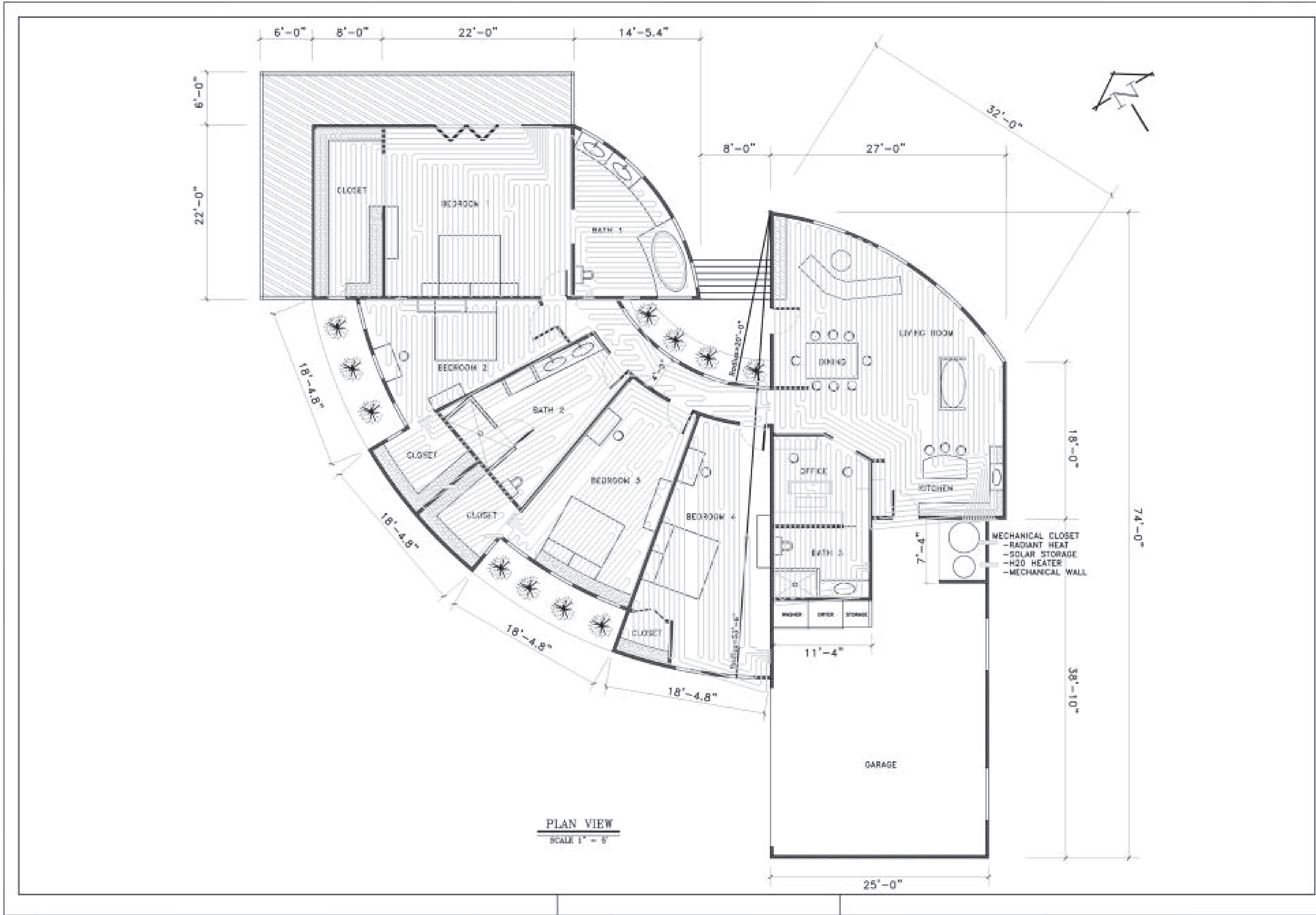
LARSON RESIDENCE
 10818 Crothers Road
 San Jose, CA 95127


ELECTRICAL PLAN

DRAWN: NN
CHECKED: MS
DATE: 12-11-23
SCALE: 1/4"=1'
SHEET E1



DATE	REVISION
	
LARSON RESIDENCE 10818 Crothers Road San Jose, CA 95127	
PLAN VIEW	
DRAWN: NN	
CHECKED: MS	
DATE: 1-30-21	
SCALE: 1"=5'	
SHEET	
A1	



DATE	REVISION
	
LARSON RESIDENCE 10818 Crothers Road San Jose, CA 95127	
PLAN VIEW	
DRAWN: NN	
CHECKED: MS	
DATE: 1-30-21	
SCALE: 1"=8'	
SHEET	
A1	

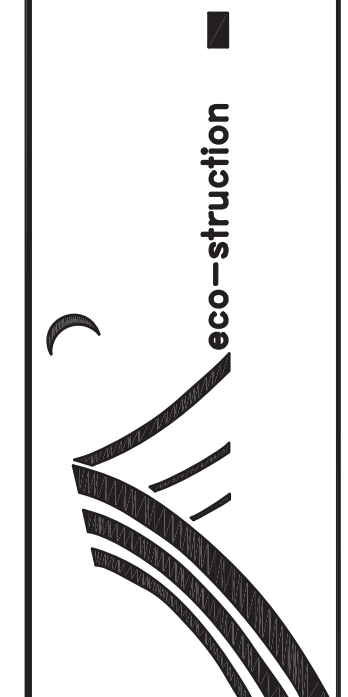
WINDOW SCHEDULE

LABEL	BRAND	SERIES	QTY	STYLE	MATERIAL Int/ Ext.	SIZE WxH	TEMPERED	GLASS TYPE	LOW E	SWING	COLOR	SHUTTER	SCREEN	PLACEMENT	Int. Lintel	Ext. Lintel	SILL	RO - W/H
A	Anderson	E	2	GLIDE	Wood/Aluminum	4/0 - 4/0	N	Clr	Low E4/heatlock	OX	Sandtone	No	Yes	Exterior	N	N	Int - Wood	
B	Anderson	E	1	GLIDE	Wood/Aluminum	5/0 - 3/0	Y	Clr	Low E4/heatlock	OX	Sandtone	No	Yes	Exterior	N	N	Int - Wood	
C	Anderson	E	6	FIXED	Wood/Aluminum	5/0 - 6/0	Y	Clr	Sun Glass	O	Sandtone	No	No	Exterior	N	N	Int - Wood	
D	Anderson	E	2	FIXED	Wood/Aluminum	3/0 - 5/0	Y	Clr	Smart Sun/heatlock	O	Sandtone	No	No	Exterior	N	N	Int - Wood	
E	Anderson	E	3	FIXED	Wood/Aluminum	2/0 - 4/0	Y	Clr	Smart Sun/heatlock	O	Sandtone	No	No	Exterior	N	N	Int - Wood	
F	Anderson	E	3	FIXED	Wood Aluminum	2/0 - 6/0	Y	Clr	Low E4/heatlock	O	Sandtone	No	No	Exterior	N	N	Int - Wood	
G	Anderson	E	5	FIXED	Wood/Aluminum	2/6 - 6/0	Y	Clr	Low E4/heatlock	O	Sandtone	No	No	Exterior	N	N	Int - Wood	
H	Anderson	E	3	GLIDE	Wood/Aluminum	4/0 - 3/0	Y	Clr	Low E4/heatlock	OX	Sandtone	No	No	Exterior	N	N	Int - Wood	
I	Anderson	E	1	FIXED	Wood/Aluminum	2/0 - 4/0	Y	Cascade	Low E4/heatlock	O	Sandtone	No	No	Exterior	N	N	Int - Wood	
J	Anderson	E	1	FIXED	Wood/Aluminum	1/6 - 6/0	Y	Cascade	Low E4/heatlock	O	Sandtone	No	No	Exterior	N	N	Int - Wood	
K	Anderson	E	3	FIXED	Wood Aluminum	3/0 - 6/0	Y	Clr	Low E4/heatlock	O	Sandtone	No	No	Exterior	N	N	Int-Wood	
L	Anderson	E	3	AWNING	Wood Aluminum	2/0 - 2/0	Y	Clr	Low E4/heatlock	X	Santone	No	Yes	Exterior	N	N	Int - Wood	
M	Anderson	E	5	FIXED	Wood/Aluminum	R=4' - Circular	Y	Clr	Smart Sun/heatlock	O	Sandtone	No	No	Exterior	N	N	Int - Wood	
N	Anderson	E	1	FIXED	Wood/Aluminum	8/0 - 4/0 custom top	Y	Clr	Smart Sun/heatlock	O	Sandtone	No	No	Exterior	N	N	Int-Wood	
O	Velux	VCE	10	Electric	Wood/Aluminum	2/0 - 4/0	Y	Clr	Low E	X	Brn	Yes	Yes	Curb Mounted	N	N	Sheetrock Wrap	
P	Velux	FS	2	FIXED	Wood/Aluminum	3/0 - 3/0	Y	Clr	Low E	O	Brn	Yes	No	Curb Mounted	N	N	Sheetrock Wrap	
Q	Velux	FS	3	FIXED	Wood/Aluminum	2/0 - 2/0	Y	Clr	Low E	O	Brn	Yes	No	Curb Mounted	N	N	Sheetrock Wrap	

DOOR SCHEDULE

LABEL	BRAND	SERIES	QTY	STYLE	MATERIAL Int/ Ext.	SIZE WxH	TEMPERED	GLASS TYPE	LOW E	SWING	COLOR	1HR FIRE	SCREEN	PLACEMENT	Int. Lintel	Ext. Lintel	SILL	RO - W/H
1	Simpson	55	1	POCKET	Wood - Fir	3/0 - 7/0	N/A	N/A	N/A	PCKT	Stain	No	No	Center	N	N	No	
2	Simpson	63	2	BIFOLD	Wood - Fir	3/0 - 6/8	N/A	NA	N/A	TRACK	Stain	Yes	No	Exterior of Closet	N	N	Metal - By Others	
3	Simpson	55	1	SINGLE	Wood - Fir	3/0 - 7/0	N/A	NA	N/A	LHS	Stain	Yes	No	Center	N	N	No	
4	Simpson	55	1	POCKET	Wood - Fir	3/0 - 6/8	N/A	N/A	N/A	PCKT	Stain	No	No	Center	N	N	No	
5	Anderson	PIVOT	1	SINGLE	Glass/Aluminum	3/0 - 7/0	Y	Monothytic	Smart Sun/heatlock	LHS	Sandtone	No	Yes	Interior	N	N	High performance Flush	
6	Anderson	FOLDING	1	4PNL	Glass/Aluminum	10/0 - 7/0 (2/6-3/8)	Y	Clr	Smart Sun/heatlock	3L1R	Sandtone	No	Yes	Interior	N	N	High performance Flush	
7	Simpson	55	1	SINGLE	Wood - Fir	3/0 - 7/0	N/A	N/A	N/A	RHS	Stain	No	No	Exterior towards Hall	N	N	No	
8	Simpson	55	4	SINGLE	Wood - Fir	3/0 - 6/8	N/A	N/A	N/A	LHS	Stain	No	No	Exterior of Hall	N	N	No	
9	Simpson	FOLDING	1	BIFOLD	Wood - Fir	4/0 - 6/8	N/A	N/A	N/A	TRACK	Stain	No	No	Exterior of Room	N	N	No	
10	Carriage	SONOMA	1	GARAGE	Glass/Wood	18/0 - 7/0	No	Obscure	N/A	X	Stain	No	No	Center	N	N	As per Manuf.	

BY	
REVISION	
DATE	



LARSON RESIDENCE
10818 Crothers Road
San Jose, CA 95127

WINDOW SCHEDULE
DOOR SCHEDULE

DRAWN: NN

CHECKED: MS

DATE: 2-22-23

SCALE: AS NOTED

SHEET
SC1

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E

Project Name: Larson Residence Calculation Date/Time: 2023-01-23T17:16:50-08:00 Input File Name: 89823new.ribd22x

Table with 20 rows and 2 columns containing general information such as Project Name, Run Title, Project Location, City, Zip code, Standards Version, Software Version, Climate Zone, Front Orientation, Building Type, Number of Dwelling Units, Project Scope, Number of Bedrooms, Addition Cond. Floor Area, Existing Cond. Floor Area, Total Cond. Floor Area, and ADU Bedroom Count.

Table with 3 rows and 2 columns containing compliance results: 01 Building Complies with Computer Performance, 02 This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider, 03 This building incorporates one or more Special Features shown below.

Registration Number: 223-P010009376B-000-000-0000000-0000 Registration Date/Time: 2023-01-23 17:37:13 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901 Report Generated: 2023-01-23 17:18:54

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E

Project Name: Larson Residence Calculation Date/Time: 2023-01-23T17:16:50-08:00 Input File Name: 89823new.ribd22x

Table containing Energy Design Ratings (Source Energy, Efficiency EDR, Total EDR) and Compliance Margins (Source Energy, Efficiency EDR, Total EDR) for Standard Design and Proposed Design. Includes a note: RESULT: PASS.

Registration Number: 223-P010009376B-000-000-0000000-0000 Registration Date/Time: 2023-01-23 17:37:13 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901 Report Generated: 2023-01-23 17:18:54

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01-E

Project Name: Larson Residence Calculation Date/Time: 2023-01-23T17:16:50-08:00 Input File Name: 89823new.ribd22x

Table containing Energy Use Summary with columns for Energy Use, Standard Design Source Energy (EDR1), Standard Design TDV Energy (EDR2), Proposed Design Source Energy (EDR1), Proposed Design TDV Energy (EDR2), Compliance Margin (EDR1), and Compliance Margin (EDR2). Rows include Space Heating, Space Cooling, IAQ Ventilation, Water Heating, Self Utilization/Flexibility Credit, Efficiency Compliance Total, Photovoltaics, Battery, Flexibility, Indoor Lighting, Appl. & Cooking, Plug Loads, Outdoor Lighting, and TOTAL COMPLIANCE.

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CF1R-PRF-01-E

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Table containing Energy Use Intensity with columns for Standard Design (kBtu/ft²-yr), Proposed Design (kBtu/ft²-yr), Compliance Margin (kBtu/ft²-yr), and Margin Percentage. Rows include Gross EU1 and Net EU1.

Table containing Required PV Systems with columns for DC System Size (kWdc), Exception, Module Type, Array Type, Power Electronics, CFI, Azimuth (deg), Tilt (deg), Array Angle (deg), Tilt: (x in 12), Inverter Eff. (%), and Annual Solar Access (%).

Table containing Battery Systems with columns for Control, Capacity (kWh), Charging Efficiency, Charging Rate (kW), Discharging Efficiency, Discharging Rate (kW), and Round Trip Efficiency.

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CF1R-PRF-01-E

Project Name: Larson Residence Calculation Date/Time: 2023-01-23T17:16:50-08:00 Input File Name: 89823new.ribd22x

Table containing Required Special Features with a list of features that must be installed as a condition for meeting the modeled energy performance for this computer analysis.

Table containing HERS Feature Summary with a list of features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis.

Table containing Building - Features Information with columns for Project Name, Conditioned Floor Area (ft²), Number of Dwelling Units, Number of Bedrooms, Number of Zones, Number of Ventilation Cooling Systems, and Number of Water Heating Systems.

Table containing Zone Information with columns for Zone Name, Zone Type, HVAC System Name, Zone Floor Area (ft²), Avg. Ceiling Height, Water Heating System 1, and Status.

Registration Number: 223-P010009376B-000-000-0000000-0000 Registration Date/Time: 2023-01-23 17:37:13 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901 Report Generated: 2023-01-23 17:18:54

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CF1R-PRF-01-E

Project Name: Larson Residence Calculation Date/Time: 2023-01-23T17:16:50-08:00 Input File Name: 89823new.ribd22x

Table containing Opaque Surfaces with columns for Name, Zone, Construction, Azimuth, Orientation, Gross Area (ft²), Window and Door Area (ft2), and Tilt (deg). Rows include Front Wall-Entry, Curved Wall-Living, Curved Wall-Living 2, Curved Wall-Living 3, Curved Wall-Living 4, BackWall, Right Wall-Kitchen, Curved Wall-BR4, Wall-BR4 Closet, Curved Wall-BR3, Wall-BR3 Closet, Curved Wall-closets-BR2/3, Wall-BR2 Closet, Curved Wall-BR2, Right Wall-BR1/High, Front Wall-BR1, Left Wall, Curved Wall-Bath1, Curved Wall-Bath1 2, Curved Wall-Bath1 3, Right Wall-Bath1/High, Curved Wall-Hall, Curved Wall-Hall 2, and Curved Wall-Hall 3.

Registration Number: 223-P010009376B-000-000-0000000-0000 Registration Date/Time: 2023-01-23 17:37:13 HERS Provider: CalCERTS, Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901 Report Generated: 2023-01-23 17:18:54

Documentation Author: easyTitle24.com Tel: (415) 259-4068 or (925) 671-4789 e-mail: skmeans@easytitle24.com 654 Oakland Avenue, Oakland, CA 94611

LARSON RESIDENCE 10818 Crothers Road San Jose, CA 95127

California Building Energy Efficiency Certificates of Compliance Filed on the Plans pursuant to California Code of Regulations, Title 24, Part 1, Article 1, Section 10-103(a)2.A.

Project No.: 89822 Sheet No.: EC1 Energy Compliance Date: 1-23-2023

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

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 Calculation Date/Time: 2023-01-23T17:16:50-08:00
 Calculation Description: Title 24 Analysis
 Input File Name: 89823new.rbd22x

CF1R-PRF-01-E

(Page 7 of 17)

01	02	03	04	05	06	07	08
Name	Zone	Construction	Area (ft ²)	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)
BamCore Adj.Garage	1st Floor>>_Garage_	BamCore Wall1	n/a	n/a	110	0	n/a
2x6 Adj.Garage	1st Floor>>_Garage_	2x6 Wall	n/a	n/a	524	21	n/a
GarageWallFront	Garage_	BamCore Wall	180	Front	576	151.13	90
GarageWallLeft	Garage_	BamCore Wall	270	Left	160	34	90
GarageWallBack	Garage_	BamCore Wall	0	Back	790	12.57	90
GarageWallRight	Garage_	BamCore Wall	90	Right	678	73.13	90

OPAQUE SURFACES - CATHEDRAL CEILING

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Area (ft ²)	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof 3:12 Liv/Din	1st Floor	R-30 No Attic	315	n/a	455	14.53	3	0.1	0.85	No
Roof 3:12 Kit/Off	1st Floor	R-30 No Attic	90	Right	590	6.26	3	0.1	0.85	No
Roof 5:12 BR4	1st Floor	R-30 No Attic	285	n/a	358	6.26	5	0.1	0.85	No
Roof 0.25:12 BR2/BR3/Hall	1st Floor	R-30 No Attic	300	n/a	616	13.53	0.3	0.1	0.85	No
Roof 2:12 closets/bath 2	1st Floor	R-30 No Attic	315	n/a	337	14.44	2	0.1	0.85	No
Roof 2:12 BR1	1st Floor	R-30 No Attic	270	Left	572	21.8	2	0.1	0.85	No
Roof 2:12 Bath1	1st Floor	R-30 No Attic	325	n/a	200	3.58	2	0.1	0.85	No
Mezzanine Roof 1.5:12	Garage_	Garage Roof	0	Back	762	24	1.5	0.1	0.85	No

Registration Number: 223-PO10009376B-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2022 Residential Compliance

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HERS Provider: CalCERTS, Inc.
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 Calculation Date/Time: 2023-01-23T17:16:50-08:00
 Calculation Description: Title 24 Analysis
 Input File Name: 89823new.rbd22x

CF1R-PRF-01-E

(Page 8 of 17)

FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Door 5	Window	Front Wall-Entry	Front	180			1	21	0.35	NFRC	0.17	NFRC	Bug Screen
C	Window	Curved Wall-Living		282			1	30	0.3	NFRC	0.24	NFRC	Bug Screen
C 2	Window	Curved Wall-Living 2		305			1	30	0.3	NFRC	0.24	NFRC	Bug Screen
C 3	Window	Curved Wall-Living 3		327			1	30	0.3	NFRC	0.24	NFRC	Bug Screen
C 4	Window	Curved Wall-Living 4		349			1	30	0.3	NFRC	0.24	NFRC	Bug Screen
B	Window	BackWall	Back	0			1	15	0.31	NFRC	0.22	NFRC	Bug Screen
G X 2	Window	Curved Wall-BR4		102			1	30	0.3	NFRC	0.24	NFRC	Bug Screen
H X 2	Window	Curved Wall-BR3		125			1	15	0.31	NFRC	0.22	NFRC	Bug Screen
G	Window	Curved Wall-BR3		125			1	15	0.3	NFRC	0.24	NFRC	Bug Screen
F	Window	Wall-BR3 Closet		40			1	12	0.3	NFRC	0.24	NFRC	Bug Screen
F 2	Window	Wall-BR2 Closet		240			1	12	0.3	NFRC	0.24	NFRC	Bug Screen
G X 2.	Window	Curved Wall-BR2		169			1	30	0.3	NFRC	0.24	NFRC	Bug Screen

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CF1R-PRF-01-E

(Page 9 of 17)

FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
H	Window	Curved Wall-BR2					1	7.5	0.31	NFRC	0.22	NFRC	Bug Screen
F 3	Window	Right Wall-BR1/High	Right	90			1	12	0.31	NFRC	0.22	NFRC	Bug Screen
L	Window	Right Wall-BR1/High	Right	90			1	4	0.31	NFRC	0.22	NFRC	Bug Screen
C 5	Window	Front Wall-BR1	Front	180			1	30	0.3	NFRC	0.24	NFRC	Bug Screen
C 6	Window	Left Wall	Left	270			1	30	0.3	NFRC	0.24	NFRC	Bug Screen
Door 6	Window	Left Wall	Left	270			1	70	0.3	NFRC	0.2	NFRC	Bug Screen
E X 2	Window	Curved Wall-Bath1					1	16	0.3	NFRC	0.24	NFRC	Bug Screen
E X 2.	Window	Curved Wall-Bath1.3					1	16	0.3	NFRC	0.24	NFRC	Bug Screen
I	Window	Right Wall-Bath1/High	Right	90			1	8	0.31	NFRC	0.22	NFRC	Bug Screen
J	Window	Right Wall-Bath1/High	Right	90			1	9	0.31	NFRC	0.22	NFRC	Bug Screen
L 2	Window	Right Wall-Bath1/High	Right	90			1	4	0.31	NFRC	0.22	NFRC	Bug Screen
K	Window	Curved Wall-Hall					1	18	0.3	NFRC	0.24	NFRC	Bug Screen

Registration Number: 223-PO10009376B-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2022 Residential Compliance

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 Calculation Description: Title 24 Analysis
 Input File Name: 89823new.rbd22x

CF1R-PRF-01-E

(Page 10 of 17)

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
K 2	Window	Curved Wall-Hall 2			300		1	18	0.3	NFRC	0.24	NFRC	Bug Screen
K 3	Window	Curved Wall-Hall 3			285		1	18	0.3	NFRC	0.24	NFRC	Bug Screen
M X 2	Window	GarageWallFront	Front	180			1	25.13	0.3	NFRC	0.24	NFRC	Bug Screen
L 3	Window	GarageWallLeft	Left	270			1	4	0.3	NFRC	0.24	NFRC	Bug Screen
N	Window	GarageWallLeft	Left	270			1	30	0.3	NFRC	0.24	NFRC	Bug Screen
M	Window	GarageWallBack	Back	0			1	12.57	0.3	NFRC	0.24	NFRC	Bug Screen
A X 2	Window	GarageWallRight	Right	90			1	48	0.31	NFRC	0.22	NFRC	Bug Screen
M X 2.	Window	GarageWallRight	Right	90			1	25.13	0.3	NFRC	0.24	NFRC	Bug Screen
VCE 2246 O X 2	Skylight	Roof 3:12 Liv/Din			315		1	14.53	0.52	NFRC	0.24	NFRC	
FS M02 P	Skylight	Roof 3:12 Kit/Off	Right	90			1	6.26	0.44	NFRC	0.26	NFRC	
FS M02 P 2	Skylight	Roof 5:12 BR4			285		1	6.26	0.44	NFRC	0.26	NFRC	
VCE 2246 O	Skylight	Roof 0.25:12 BR2/BR3/Hall			300		1	7.27	0.52	NFRC	0.24	NFRC	
FS M02 P 3	Skylight	Roof 0.25:12 BR2/BR3/Hall			300		1	6.26	0.44	NFRC	0.26	NFRC	

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 Calculation Date/Time: 2023-01-23T17:16:50-08:00
 Calculation Description: Title 24 Analysis
 Input File Name: 89823new.rbd22x

CF1R-PRF-01-E

(Page 11 of 17)

FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
FS D26 Q X 2	Skylight	Roof 2:12 closets/bath 2			315		1	7.17	0.44	NFRC	0.26	NFRC	
VCE 2246 O 2	Skylight	Roof 2:12 closets/bath 2			315		1	7.27	0.52	NFRC	0.24	NFRC	
VCE 2246 O X 3	Skylight	Roof 2:12 BR1	Left	270			1	21.8	0.52	NFRC	0.24	NFRC	
FS D26 Q	Skylight	Roof 2:12 Bath1			325		1	3.58	0.44	NFRC	0.26	NFRC	
Skylight O X 3	Skylight	Mezzanine Roof 1.5:12	Back	0			1	24	0.52	NFRC	0.24	NFRC	

OPAQUE DOORS

01	02	03	04
Name	Side of Building	Area (ft ²)	U-factor
Door 3	2x6 Adj.Garage	21	0.2
GarageDoor10	GarageWallFront	126	1

SLAB FLOORS

01	02	03	04	05	06	07	08
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Heated Slab	1st Floor	3233	329	R-5	48	80%	Yes
GarageSlab	Garage_	762	128	none	0	0%	No

Registration Number: 223-PO10009376B-000-000-0000000-0000
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 Input File Name: 89823new.rbd22x

CF1R-PRF-01-E

(Page 12 of 17)

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
BamCore Wall	Exterior Walls	Wood Framed Wall	2x6 @ 24 in. O. C.	R-23	5 / None	0.045	Inside Finish: Gypsum Board Sheathing / Insulation: R-5 Sheathing Cavity / Frame: R-23 / 2x6 Exterior Finish: 3 Coat Stucco
Garage Roof	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.494	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: no insul. / 2x4 Inside Finish: Gypsum Board
R-30 No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-30	None / None	0.036	

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

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 Input File Name: 89823new.rbd22x

CF1R-PRF-01-E

(Page 13 of 17)

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Manual Control	DHW Heater 1	1	Solar-DHW	None	n/a	DHW Heater 1 (1)

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location
DHW Heater 1	Electric Resistance	Consumer Storage	1	80	UEF	0.92	kW	12	0	98	87	Garage

01	02	03	04	05
Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power (W)
DHW Sys 1	1	1.5	Conditioned	0

01	02	03	04	05	06	07	08	09	10
Name	Collector Manufacturer	Collector Brand	Collector Model	Number of Collectors	Azimuth from North	Tilt from Horizontal	Tank Volume (gal)	SRCC/IAPMO Number	Solar Savings Fraction
Solar-DHW	(OG-300 rated system)	n/a	Solar Assist	n/a	n/a	n/a	n/a	n/a	0.53

Registration Number: 223-P010009376B-000-000-0000000-0000
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CF1R-PRF-01-E

(Page 14 of 17)

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
Hydronic Radiant + Heatpu1	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	HVAC Fan 1	Air Distribution System 1	Setback

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2	EER / EER / CEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	Air to water HP	1	COP	4.6	56983	37636	EER	n/a	10.27	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/EER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Required	350	Not Required	Not Required	No	No	Yes	Yes

Registration Number: 223-P010009376B-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: 2023-01-23 17:37:13
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 HERS Provider: CalCERTS Inc.
 Report Generated: 2023-01-23 17:18:54

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Larson Residence
 Calculation Date/Time: 2023-01-23T17:16:50-08:00
 Calculation Description: Title 24 Analysis
 Input File Name: 89823new.rbd22x

CF1R-PRF-01-E

(Page 16 of 17)

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfam IAQVentRpt 1-1	130	0.130769	Exhaust	No	n/a	Yes	Yes	

PROJECT NOTES
 Since the current version of software does not include the BamCore assembly, the wall is modeled to support U-factor 0.045 from JA. We use the staff report: https://www.energy.ca.gov/publications/2020/bamcore-prime-wall-exceptional-method-compliance-option
 Modeled Bathroom IAQ fan: Panasonic FV-115VK2, or equal.

Registration Number: 223-P010009376B-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: 2023-01-23 17:37:13
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 HERS Provider: CalCERTS Inc.
 Report Generated: 2023-01-23 17:18:54

Project Name: Larson Residence
 Calculation Description: Title 24 Analysis

Calculation Date/Time: 2023-01-23T17:16:50-08:00
 Input File Name: 89823new.rbd22x

(Page 15 of 17)

HVAC - DISTRIBUTION SYSTEMS											
01	02	03	04	05	06	07	08	09	10	11	12
Name	Type	Design Type	Duct Ins. R-value		Duct Location		Surface Area		Bypass Duct	Duct Leakage	HERS Verification
			Supply	Return	Supply	Return	Supply	Return			
Air Distribution System 1	Conditioned space-entirely	Non-Verified	R-0.0	R-0.0	Conditioned Zone	Conditioned Zone	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 1-hers-dist

HVAC DISTRIBUTION - HERS VERIFICATION								
01	02	03	04	05	06	07	08	09
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Buried Ducts	Deeply Buried Ducts	Low-leakage Air Handler	Low Leakage Ducts Entirely in Conditioned Space
Air Distribution System 1-hers-dist	Yes	5.0	Required	Not Required	Not Required	Credit not taken	Not Required	No

HVAC - FAN SYSTEMS			
01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.58	HVAC Fan 1-hers-fan

HVAC FAN SYSTEMS - HERS VERIFICATION		
01	02	03
Name	Verified Fan Watt Draw	Required Fan Efficacy (Watts/CFM)
HVAC Fan 1-hers-fan	Required	0.58

Registration Number: 223-P010009376B-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: 2023-01-23 17:37:13
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

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 Calculation Description: Title 24 Analysis
 Input File Name: 89823new.rbd22x

CF1R-PRF-01-E

(Page 17 of 17)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
 I, I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Steve Means
 Documentation Author Signature: *Steve K. Means*

Company: EasyTitle24.com
 Signature Date: 2023-01-23 17:24:31

Address: 654 Oakland Ave
 City/State/Zip: Oakland, CA 94611
 Phone: 925-671-4789

CEA/HERS Certification Identification (If applicable): R19-90-30028

RESPONSIBLE PERSON'S DECLARATION STATEMENT
 I certify the following under penalty of perjury under the laws of the State of California:
 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: mitchel slade
 Responsible Designer Signature: *mitchel slade*

Company: ECOSTRUCTION
 Date Signed: 2023-01-23 17:37:13

Address: P O BOX 62
 License: B-823495
 City/State/Zip: GEYSERVILLE, CA 95441
 Phone: 707-672-9672

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 223-P010009376B-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: 2023-01-23 17:37:13
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 HERS Provider: CalCERTS Inc.
 Report Generated: 2023-01-23 17:18:54



Documentation Author:
easyTitle24.com
 Tel: (415) 259-4068 or (925) 671-4789
 e-mail: skmeans@easytitle24.com
 654 Oakland Avenue, Oakland, CA 94611

LARSON RESIDENCE
 10818 Crothers Road
 San Jose, CA 95127

California Building Energy Efficiency Certificates of Compliance
 Filed on the Plans pursuant to California Code of Regulations, Title 24, Part 1, Article 1, Section 10-103(a)2.A.
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Project No.: 89822
 Sheet No.: **EC3**
 Energy Compliance
 Date: 1-23-2023

Mandatory Measures Summary: Residential



2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. (04/2022)

Building Envelope:

Table with 2 columns: Code section and description. Includes items like Air Leakage, Field fabricated exterior doors and fenestration products, Insulation Certification by Manufacturers, Insulation Requirements for Heated Slab Floors, Roofing Products Solar Reflectance and Thermal Emissance, Radiant Barrier, Roof Deck, Ceiling and Rafter Roof Insulation, Loose-fill Insulation, Wall Insulation, Raised-floor Insulation, Slab Edge Insulation, Vapor Retarder, Vapor Retarder, and Fenestration Products.

Fireplaces, Decorative Gas Appliances, and Gas Log:

Table with 2 columns: Code section and description. Includes items like Pilot Light, Closable Doors, Combustion Intake, and Flue Damper.

Space Conditioning, Water Heating, and Plumbing System:

Table with 2 columns: Code section and description. Includes items like Heating, ventilation, and air conditioning (HVAC) equipment, HVAC Efficiency, Controls for Heat Pumps with Supplementary Electric Resistance Heaters, Thermostats, Insulation, and Isolation Valves.

Kitchen Range Hoods

Airflow, controls, and HERS verification requirements for range hoods depend on the kitchen configuration (enclosed or nonenclosed), area of the dwelling unit, and whether the range is electric or gas. Demand controlled range hoods with minimum Capture Efficiency [CE] ratings, or minimum CFM ratings, according to the Table below may be installed in any kitchen. The maximum sound rating is 3.0 Sones at any speed setting of 100 CFM or higher (per ASHRAE 62.2). Range hoods must be chosen from this directory: https://www.hvi.org/hvi-certified-products-directory/section-i-complete-product-listing, or this one: https://www.aham.org/AHAM/What_We_Do/Range_Hood_Program_Company_Listing.aspx. Be careful when choosing. Save the box the unit comes in to show the HERS Rater. The HERS Rater will need to verify that the installed unit is listed in the above database, and meets all criteria.

Table with 3 columns: Dwelling Unit Floor Area (ft2), Hood Over Electric Range, and Hood Over Natural Gas Range. Rows show requirements for areas > 1500, > 1000 - 1500, and 750 - 1000.

without heat exchange, if desired. See "IAQ (Indoor Air Quality) Fans" - "Balanced" below.

IAQ (Indoor Air Quality) Fans

If the "IAQ (Indoor Air Quality) Fans" section of Title 24 form CFIR-PRF-01E says "Not Required" under HERS Verification, then this type of fan is not required. If it says "Yes" under HERS Verification, then this type of fan is required. Fans must be manually switched (no humidistat), and rated for continuous operation. The fan switch must be labeled as the "... indoor air quality ventilation for the house..." as required by ASHRAE 62.2. Appropriate products must normally be chosen from this directory: https://www.hvi.org/hvi-certified-products-directory/section-i-complete-product-listing. For very small dwellings, a thru-wall unit might be ideal; however, those are not currently listed in the directory (see Note at bottom). Be sure to save the box the unit comes in to show the HERS Rater. Next, look under the heading IAQ Fan Type and go to the appropriate bullet-point:

- Exhaust: This is an exhaust-only (negative pressure) system. Often, a Bathroom exhaust fan will double as the IAQ fan. Kitchen Range Hoods are not allowed to provide exhaust-only IAQ ventilation. The fan's sound rating cannot be higher than 1.0 Sones at a rate no less than the IAQ CFM requirement (unless it is a remote in-line fan at least 4 feet from the grille/register). The number under IAQ CFM is the minimum CFM rating at a static pressure of 0.25 in. The number under IAQ Watts/CFM is multiplied times the CFM rating of the chosen fan to determine the wattage rating that it cannot exceed. If the chosen fan's wattage is too high, then you must choose a different product that meets the given fan watt efficacy. IAQ fans are exempt from CalGreen's humidistat control requirement, and occupants must be able to override any automatic controls, because—in theory—this fan must be on at all times when the building is occupied. Do not switch together with a light. The HERS Rater will measure the airflow, and look at product specifications to find the rated wattage.
Balanced: This is normally a Heat Recovery Ventilator (HRV); although systems without heat exchange may be installed if the Certificate of Compliance has the No SRE nor ASRE requirements. The same sound requirements given above for Exhaust systems apply to fans in balanced systems without heat exchange. In addition to meeting the minimum IAQ CFM and maximum IAQ Watts/CFM (for the average supply/return airflow), these fans have these additional requirements: 1) The Sensible Recovery Efficiency (SRE) in the directory must be equal to, or greater than, the number under IAQ Recovery Effectiveness - SRE on the Certificate of Compliance; 2) The Apparent Sensible Recovery Efficiency (ASRE) in the directory must be equal to, or greater than, the number under IAQ Recovery Effectiveness - ASRE on the Certificate of Compliance; 3) The installed exhaust airflow rate cannot be more than 20% more or less than the supply airflow rate; 4) Meet any additional requirements listed in the REQUIRED SPECIAL FEATURES section of the Certificate of Compliance; and 5) MERV-13 or HEPA filtration on the intake (check manufacturer's literature). These criteria may not be immediately apparent in the directory listing, and these units often have variable speed settings. To discover if a particular fan—at a particular speed setting—meets these requirements at 32°F and 0.25 in WC, you have to click the "More Details" button for the particular fan within the directory. HRV fans have 4 ports: exhaust from inside, supply to inside, exhaust to outside, and intake from outside. Only the exhaust from inside leg may run from a Bathroom (in which case, the unit must be controlled from inside that Bathroom), but it must not come from an enclosed kitchen, nor from within 12 feet of an oven or range to keep grease and other contaminants out of the heat exchanger. Follow manufacturer's installation instructions. Units must be accessible for filter changing. Jump ducts, and/or significant door undercuts may be necessary for good airflow throughout the dwelling. The HERS Rater will measure both the supply and exhaust airflows, and look at product specifications to find the rated wattage and recovery efficiency.

Note: If a thru-wall HRV fan is mentioned in the PROJECT NOTES section of the Certificate of Compliance, allowing it is at the discretion of the building official (planchecker), because those kinds of units are not yet listed by HVI. This note hereby brings this to the attention of the building official. If these plans are approved, then the fan mentioned in PROJECT NOTES is allowed.

Note: If an HRV unit will be connected to the HVAC return, and controlled in tandem with the cycling FAU fan, then the minimum IAQ CFM shall be triple that listed in this report. (HVAC fans are assumed to be on 20 minutes each hour.)

Fan HERS Measures - Basic Descriptions



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code section and description. Includes items like Pilot Lights, Building Cooling and Heating Loads, Clearances, Liquid Line Drier, Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation, Insulation Protection, Gas or Propane Water Heating Systems, and Solar Water-Heating Systems.

Ducts and Fans:

Table with 2 columns: Code section and description. Includes items like Ducts, CMC Construction, Field-Fabricated Duct Systems, Backdraft Damper, Gravity Ventilation Dampers, Protection of Insulation, Porous Inner Core Flex Duct, Duct System Sealing and Leakage Test, and Air Filtration.



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code section and description. Includes items like Screw based luminaires, Light Sources in Enclosed or Recessed Luminaires, Light Sources in Drawers, Cabinets, and Linen Closets, Interior Switches and Controls, Accessible Controls, Multiple Controls, Energy Management Control Systems, Automatic Shutoff Controls, Dimmers, Independent Controls, Residential Outdoor Lighting, Internally Illuminated Address Signs, and Residential Garages for Eight or More Vehicles.

Solar Readiness:

Table with 2 columns: Code section and description. Includes items like Single-Family Residences, Minimum Solar Zone Area, Azimuth, Shading, Structural Design Loads on Construction Documents, Interconnection Pathways, Documentation, Main Electrical Service Panel, and Main Electrical Service Panel.

Electric and Energy Storage Ready:

Table with 2 columns: Code section and description. Includes items like Main Electrical Service Panel and Main Electrical Service Panel.

Mandatory Measures Summary: Residential (continued)



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code section and description. Includes item like Space Conditioning System Airflow Rate and Fan Efficacy.

Ventilation and Indoor Air Quality:

Table with 2 columns: Code section and description. Includes items like Requirements for Ventilation and Indoor Air Quality, Central Fan Integrated (CFI) Ventilation Systems, Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and Townhouses, Local Mechanical Exhaust, Field Verification and Diagnostic Testing, and Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems.

Pool and Spa Systems and Equipment:

Table with 2 columns: Code section and description. Includes items like Certification by Manufacturers, Piping, Covers, Directional Inlets and Time Switches for Pools, and Pool Lights and Equipment Installation.

Lighting:

Table with 2 columns: Code section and description. Includes items like Lighting Controls and Components, Luminaire Efficacy, Screw based luminaires, Recessed Downlight Luminaires in Ceilings, Light Sources in Enclosed or Recessed Luminaires, Blank Electrical Boxes, and Lighting Integral to Exhaust Fans.

*Exceptions may apply.



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code section and description. Includes items like Energy Storage System (ESS) Ready, Electric Cooktop Ready, and Electric Clothes Dryer Ready.

Documents to be Provided to Owner

§10-103(b)1.A: Compliance Information. At final inspection, builder/installers shall leave in the building copies of the completed, signed, and submitted compliance documents for the building owner at occupancy. For low-rise residential buildings, such information shall, at a minimum, include copies of all Certificate of Compliance, Certificate of Installation, and Certificate of Verification documentation submitted. These documents shall be in paper or electronic format and shall conform to the applicable requirements of Section 10-103(a).

§10-103(b)2: Operating Information. At occupancy, builder/installers shall leave in the building, or with the owner, operating information for all applicable features, materials, components, and mechanical devices installed in the building. Operating information shall include instructions on how to operate the features, materials, components, and mechanical devices correctly and efficiently. For dwelling units, such information shall be provided to the person(s) responsible for operating the feature, material, component or mechanical device installed in the building. This operating information shall be in paper or electronic format.

§10-103(b)3: Maintenance Information. At occupancy, builder/installers shall leave in the building maintenance information for all features, materials, components, and manufactured devices that require routine maintenance for efficient operation. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. The label may be limited to identifying, by title and/or publication number, the operation and maintenance manual for that particular model and type of feature, material, component or manufactured device. For low-rise residential buildings, this information shall include a schedule of all interior luminaires and lamps installed to comply with Section 150.0(k). For dwelling units, such information shall be provided to the person(s) responsible for operating the feature, material, component or mechanical device installed in the building (other than the owner). This operating information shall be in paper or electronic format.

§10-103(b)4: Ventilation Information. New dwellings and additions larger than 1,000 sq-ft: At occupancy, builder/installers shall leave in the building for the building owner at occupancy, a description of the quantities of outdoor air that the ventilation system(s) are designed to provide to the building's conditioned space, and instructions for proper operation and maintenance of the ventilation system. For buildings or tenancy spaces that are not individually owned and operated, or are centrally operated, such information shall be provided to the person(s) responsible for operating and maintaining the feature, material, component or mechanical ventilation device installed in the building. This information shall be in paper or electronic format.

Installation and Acceptance forms are filled out within the project on the HERS Provider's website. Installers and HERS Raters will need to be added to, or "Shared" within, the project.

Certified HERS raters can be contacted through the HERS providers' websites linked here: https://www.energy.ca.gov/programs-and-topics/programs/home-energy-rating-system-hers-program

Documentation Author: easyTitle24.com Tel: (415) 259-4068 or (925) 671-4789 e-mail: skmeans@easytitle24.com 654 Oakland Avenue, Oakland, CA 94611

LARSON RESIDENCE 10818 Crothers Road San Jose, CA 95127

California Building Energy Efficiency Certificates of Compliance

Filed on the Plans pursuant to California Code of Regulations, Title 24, Part 1, Article 1, Section 10-103(a)2.A.

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Project No.: 89822

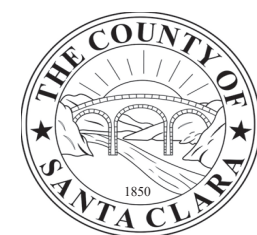
Sheet No.:



Date: 1-23-2023

Energy Compliance

Fan HERS Measures - Basic Descriptions



COUNTY OF SANTA CLARA
 2022 CALGREEN RESIDENTIAL CHECKLIST (MANDATORY+TIER 1)
 County Amendments to CALGreen are in Italics.
 - Designer to cross out items that are not applicable to the project.
 - Installer or designer shall verify all applicable requirements have been satisfied and sign and date each row. County Inspectors will verify completion signatures and supporting documentation DURING CONSTRUCTION.

ITEM #	CALGreen CODE SECTION	REQUIREMENT	APPLICANT TO COMPLETE		Installer or Designer Verification
			REFERENCE SHEET	Note or Detail No.	
PLANNING AND DESIGN: MANDATORY REQUIREMENTS					
1	4.106.2	A plan is developed and implemented to manage storm water drainage during construction.	CG-3	NOTE 1	
2	4.106.3	Construction plans indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	CG-3	NOTE 2	
3	4.106.4.1	For new dwellings with attached garages and rebuild of existing dwellings that include a panel upgrade or construction between panel and parking area, a Level 2 EV Ready Space and Level 1 EV Ready Space, is installed.	CG-3	NOTES 3 & 4	
PLANNING AND DESIGN: TIER 1 MANDATORY REQUIREMENTS					
4	A4.106.2.3	Displaced topsoil is stockpiled for reuse in a designated area and covered or protected from erosion.	CG-4	NOTE 7	
5	A4.106.4	Not less than 20 percent of the total parking, walking or patio surfaces are permeable.	CG-4	NOTE 9	
PLANNING AND DESIGN: TIER 1 ELECTIVE REQUIREMENTS					
6	A4.103.1	Building site is an infill site, greyfield site or EPA-recognized and Brownfield site.	CG-4	NOTE 1	
7	A4.103.2	Community connectivity is facilitated by one of the approved methods.	CG-4	NOTE 2	
8	A4.104.1	An individual with oversight responsibility for the project has participated in an educational program promoting environmentally friendly design or development and has provided instruction to appropriate entities.	CG-4	NOTE 3	
9	A4.105.2	Existing buildings are disassembled for reuse or recycling of building materials. The proposed structure utilizes at least one of the listed materials.	CG-4	NOTE 4	
10	A4.106.2.1	Soil analysis is performed by a licensed design professional and the findings are utilized in the structural design of the building.	CG-4	NOTE 5	
11	A4.106.2.2	Soil disturbance and erosion are minimized by using one or more of the methods listed.	CG-4	NOTE 6	
12	A4.106.3	Landscape areas disrupted during construction are restored to be consistent with native vegetation and/or at least 75% native California or drought tolerant plant and tree are utilized.	CG-4	NOTE 8	
13	A4.106.6	A vegetated roof for at least 50% of the roof area is installed. Vegetated roof complies with CBC chapters 15 and 16.	CG-4	NOTE 10	
14	A4.106.7	Nonroof heat islands are reduced for 50% of sidewalks, patios, driveways, or other paved areas by using one or more of the methods listed.	CG-4	NOTE 11	
ENERGY EFFICIENCY: MANDATORY REQUIREMENTS					
15	4.201.1	Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.	T24 SHEETS		
WATER EFFICIENCY & CONSERVATION: MANDATORY REQUIREMENTS					
16	4.303.1	Plumbing Fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings comply with CALGreen Sections 4.303.1.1 through 4.303.1.4.	CG-3	NOTE 5	
17	4.303.3	Plumbing fixtures and fittings required in CALGreen Section 4.303.1 are installed in accordance with the CPC and meet the applicable referenced standards.	CG-3	Note 6	
18	4.304.1	Outdoor potable water use in landscape areas comply with a local water efficient landscape or the current California DWR MWEL0, whichever is more stringent.	CG-3	Note 7	

Comply with at least two Tier 1 elective measures - Cross out the rows not applicable

ITEM #	CALGreen CODE SECTION	REQUIREMENT	REFERENCE SHEET	Note or Detail No.	Date	Installer or Designer Signature
WATER EFFICIENCY & CONSERVATION: TIER 1 ELECTIVE REQUIREMENTS						
19	A4.303.1	Kitchen faucet maximum flow rate does not exceed 1.5 gpm at 60 psi. See exceptions.	CG-4	NOTE 14		
20	A4.303.2	Alternate nonpotable water resources are used for indoor potable water reduction and are installed in accordance with CPC.	CG-4	NOTE 15		
21	A4.303.3	At least one qualified ENERGY STAR dishwasher or clothes washer is installed.	CG-4	NOTE 16		
22	A4.303.4	Nonwater urinals or composting toilets are installed.	CG-4	NOTE 17		
23	A4.303.5	Dwelling is equipped with a demand hot water recirculation system. The system is installed per CPC, CEnC, and the manufacturer's installation instructions.	CG-4	NOTE 18		
24	A4.304.1	An approved rainwater catchment system is designed and installed to use rainwater generated by at least 65% of the available roof area. The system is installed per CPC.	CG-4	NOTE 19		
25	A4.304.2	A water efficient landscape irrigation design that eliminates the use of potable water, is provided. Method used to accomplish the requirements comply with California Building Standards Code and one or more of listed methods.	CG-4	NOTE 20		
26	A4.304.3	Separate submeters or metering devices for outdoor potable water use is provided for landscape areas less than 5000 sq.ft.	CG-4	NOTE 21		
27	A4.305.1	Alternative plumbing piping is installed to permit the discharge from the clothes washer or other fixtures to be used for an irrigation system in compliance with CPC.	CG-4	NOTE 22		
28	A4.305.2	Dual water piping is installed for future use of recycled water at listed locations.	CG-4	NOTE 23		
29	A4.305.3	Recycled water is used for landscape irrigation.	CG-4	Note 24		
MATERIAL CONSERVATION & RESOURCE EFFICIENCY: MANDATORY REQUIREMENTS						
30	4.406.1	Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls are protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the County of Santa Clara.	CG-3	Note 9		
31	4.408.1	Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste. Submit either a Construction Waste management plan (CALGreen 4.408.2) or Utilize a waste management company (CALGreen 4.408.3).	CG-3	Note 10		
32	4.408.5	Documentation is provided to County of Santa Clara which demonstrates compliance with CALGreen sections 4.408.2 or 4.408.3.	CG-2	Construction Waste Management Forms Note 11		
33	4.410.1	An operation and maintenance manual is placed in the building at the time of final inspection.	CG-3	Note 12		
MATERIAL CONSERVATION & RESOURCE EFFICIENCY: TIER 1 MANDATORY REQUIREMENTS						
34	A4.403.2	Reduction in cement use in foundation mix design is not less than 20 percent. Use materials with a total RCY (recycled content value) not less than a 10 percent of the total material cost of the project except structural framing material.	CG-4	Note 26		
35	A4.405.3.1	Reduce construction waste by at least 65%. Documentation is submitted to the County of Santa Clara demonstrating compliance.	CG-2	Construction Waste Management Forms Note 41		
36	A4.408.1	Reduce construction waste by at least 65%. Documentation is submitted to the County of Santa Clara demonstrating compliance.	CG-3	Construction Waste Management Forms Note 41		
MATERIAL CONSERVATION & RESOURCE EFFICIENCY: TIER 1 ELECTIVE REQUIREMENTS						
37	A4.403.1	A Frost-Protected Shallow Foundation (FPSF) is utilized in compliance with CRC. The required manual includes instructions to the owner or occupant regarding the necessity for heating the structure per CRC R403.3.	CG-4	NOTE 25		
38	A4.404.1	Beams, headers and trimmers are sized and installed as specified in Chapter 23 of CBC or Chapter 6 of CRC.	CG-4	NOTE 27		
39	A4.404.2	Building dimensions and layouts are designed to minimize waste by one or more of the listed measures in at least 80% of the structure.	CG-4	NOTE 28		
40	A4.404.3	Premanufactured building system, as listed, is used to eliminate solid sawn lumber.	CG-4	NOTE 29		
41	A4.404.4	Material lists are included in the plans which specify the material quantity and direction for on-site cuts, for the listed systems.	CG-4	NOTE 30		
42	A4.405.1	Prefinished building materials are utilized which do not require additional painting or staining. Acceptable material list is per CALGreen A4.405.1.	CG-4	NOTE 31		
43	A4.405.2	Concrete floors that do not require additional coverings are used.	CG-4	NOTE 32		
44	A4.405.4	One or more of the listed materials from rapidly renewable sources or agricultural byproducts are used.	CG-4	NOTE 34		
45	A4.407.1	Foundation and landscape drains with discharge to an approved on-site location is installed.	CG-4	NOTE 35		
46	A4.407.2	Roof gutter and downspout system is installed to route water at least 5 feet away from the foundation or connect to landscape drains with approved on-site discharge.	CG-4	NOTE 36		
47	A4.407.3	Flashing details complying with accepted industry standards or manufacturer's instructions are provided on the plans.	CG-4	NOTE 37		
48	A4.407.4	Building materials delivered to the construction site are protected from rain and other sources of moisture.	CG-4	NOTE 38		
49	A4.407.6	Exterior doors are covered to prevent water intrusion by one or more listed methods.	CG-4	NOTE 39		
50	A4.407.7	A permanent overhang or awning at least two feet in depth is provided at all exterior walls.	CG-4	Note 40		

ITEM #	CALGreen CODE SECTION	REQUIREMENT	APPLICANT TO COMPLETE		Installer or Designer Verification
			REFERENCE SHEET	Note or Detail No.	
WATER EFFICIENCY & CONSERVATION: TIER 1 ELECTIVE REQUIREMENTS					
Comply with at least two Tier 1 elective measures - Cross out the rows not applicable					
MATERIAL CONSERVATION & RESOURCE EFFICIENCY: MANDATORY REQUIREMENTS					
Comply with at least one Tier 1 elective measure - Cross out the rows not applicable					
INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS: MANDATORY REQUIREMENTS					
Comply with at least two Tier 1 elective measures - Cross out the rows not applicable					

ITEM #	CALGreen CODE SECTION	REQUIREMENT	APPLICANT TO COMPLETE		Installer or Designer Verification
			REFERENCE SHEET	Note or Detail No.	
ENVIRONMENTAL QUALITY: MANDATORY REQUIREMENTS					
51	4.503.1	Any installed gas fireplace is a direct-vent sealed-combustion type. Any installed woodstove or pellet stove comply with US EPA Phase II emission limits where applicable.	CG-3	Note 13	
52	4.504.1	Duct openings and other related air distribution component openings are covered during construction until final startup of the HVAC equipment.	CG-3	Note 14	
53	4.504.2.1	Adhesives, sealants and caulks are compliant with VOC and other toxic compound limits.	CG-2	Table 4.504.1 Table 4.504.2 Note 15	
54	4.504.2.2	Architectural paints and coatings are compliant with VOC limits.	CG-2	Table 4.504.3 Note 16	
55	4.504.2.3	Aerosol paints and coatings are compliant with product weighted MIR limits for ROC and other toxic compounds.	CG-3	Note 17	
56	4.504.2.4	Documentation are provided to the County of Santa Clara to verify that compliant VOC limit finish materials have been used.	CG-3	Note 18	
57	4.504.3	Carpet and carpet systems meet the applicable testing and product requirements.	CG-2	Table 4.504.1 Note 19	
58	4.504.5	Hardwood plywood, particleboard and medium density fiberboard composite wood meet formaldehyde limits.	CG-1	Table 4.504.5 Note 21	
59	4.504.5.1	Documentation is provided to the County of Santa Clara to verify composite wood meets applicable formaldehyde limits.	CG-3	Note 22	
60	4.505.2	Vapor retarder and capillary break is installed at slab-on-grade foundations.	CG-3	Note 23	
61	4.505.3	Moisture content of building materials used in wall and floor framing do not exceed 19% prior to enclosure and is checked before enclosure. Insulation products are dry prior to enclosure.	CG-3	Note 24	
62	4.506.1	Each bathroom is mechanically ventilated and comply with applicable requirements.	CG-3	Note 25	
63	4.507.2	Heating and air-conditioning systems are sized, designed, and equipment is selected by using one of the methods listed.	CG-3	Note 26	
ENVIRONMENTAL QUALITY: TIER 1 MANDATORY REQUIREMENTS					
64	A4.504.2	At least 90% of resilient flooring complies with applicable VOC limits.	CG-4	Note 43	
65	A4.504.3	Thermal insulation in the building is installed in compliance with applicable standards.	CG-4	Note 44	
ENVIRONMENTAL QUALITY: TIER 1 ELECTIVE REQUIREMENTS					
66	A4.504.1	Composite wood products made with NAF or ULEF resins are used.	CG-4	Note 42	
67	A4.506.2	Filters at MERV 8 or higher are used on return air openings, during construction.	CG-4	Note 45	
68	A4.506.3	Direct vent heating and cooling equipment are utilized where the equipment will be located in the conditioned space or the space heating and water heating equipment is installed in an isolated mechanical room.	CG-4	Note 46	
INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS: MANDATORY REQUIREMENTS					
69	702.1	HVAC system installers are trained and certified in the proper installation of HVAC systems.	CG-3	Note 27	
70	702.2	If required by County of Santa Clara, owner or owner's agent shall employ special inspector who are qualified and able to demonstrate competence in the discipline they are inspecting.	CG-3	Note 28	
71	703.1	Documentation used to show compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to County of Santa Clara which show substantial conformance.	CG-3	Note 29	

TABLE 4.504.5 FORMALDEHYDE LIMITS¹ Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard ²	0.13

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM D1333. For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.
 2. Thin medium density fiberboard has a maximum thickness of 3/8 inch (8 mm).

TABLE A4.106.10 MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS^{1,2}

ALLOWABLE RATING	LIGHTING ZONE 1	LIGHTING ZONE 2	LIGHTING ZONE 3	LIGHTING ZONE 4
Maximum Allowable Backlight Rating³				
Luminaire greater than 2 mounting heights (MH) from property line	No Limit	No Limit	No Limit	No Limit
Luminaire back hemisphere is 1 – 2 MH from property line	B2	B3	B4	B4
Luminaire back hemisphere is 0.5 – 1 MH from property line	B1	B2	B3	B3
Luminaire back hemisphere is less than 0.5 MH from property line	B0	B0	B1	B2
Maximum Allowable Uplight Rating				
For area lighting ⁴	U0	U0	U0	U0
For all other outdoor lighting, including decorative luminaires	U1	U2	U3	U4
Maximum Allowable Glare Rating⁵				
Luminaire greater than 2 MH from property line	G1	G2	G3	G4
Luminaire front hemisphere is 1 – 2 MH from property line	G0	G1	G1	G2
Luminaire front hemisphere is 0.5 – 1 MH from property line	G0	G0	G1	G1
Luminaire back hemisphere is less than 0.5 MH from property line	G0	G0	G0	G1

1. IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code.
 2. For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.
 3. If the nearest property line is less than or equal to two mounting heights from the back hemisphere of the luminaire distribution, the applicable reduced Backlight rating shall be met.
 4. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet U-value limits for "all other outdoor lighting."
 5. If the nearest property line is less than or equal to two mounting heights from the front hemisphere of the luminaire distribution, the applicable reduced Glare rating shall be met.

Project Information

CALGreen One or Two Family Residential Project Mandatory and Tier 1 Requirements
 County of Santa Clara



CG-1

CALGREEN 2022 NOTES – MANDATORY REQUIREMENTS:

1. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.

2. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS, AND OTHER MEASURES CAN BE USED. EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

3. FOR ANY NEW DWELLING UNITS WITH ATTACHED GARAGES AND FOR REBUILDS OF EXISTING DWELLING UNITS THAT INCLUDE A PANEL UPGRADE OR CONSTRUCTION BETWEEN THE PANEL AND PARKING AREA, INSTALL A LEVEL 2 EV READY SPACE AND LEVEL 1 EV READY SPACE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "LEVEL 2 EV-READY."

EXCEPTION: FOR EACH DWELLING UNIT WITH ONLY ONE PARKING SPACE, INSTALL A LEVEL 2 EV READY SPACE.

LEVEL 1 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 110/120 VOLT, 20-AMPERE CAPACITY, INCLUDING ELECTRICAL PANEL CAPACITY; AN OVERPROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELLED "ELECTRIC VEHICLE OUTLET" WITH AT LEAST A ½" FONT ADJACENT TO THE PARKING SPACE, OR (B) LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).

LEVEL 2 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 208/240 VOLT, 40-AMPERE CAPACITY, INCLUDING THE REQUIRED ELECTRICAL PANEL CAPACITY; AN OVERCURRENT PROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELED "ELECTRIC VEHICLE OUTLET" WITH A MINIMUM ½" FONT, ADJACENT TO THE PARKING SPACE, OR (B) A BLANK LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) WITH A MINIMUM OUTPUT OF 40 AMPERES.

4. ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) WITHOUT ADDITIONAL PARKING SPACES AND WITHOUT ELECTRICAL PANEL UPGRADE OR NEW PANEL INSTALLATION ARE EXEMPT FROM REQUIREMENTS ON NOTE 3. ADUS AND JADUS WITHOUT ADDITIONAL PARKING BUT WITH ELECTRICAL PANEL UPGRADES OR NEW PANELS MUST HAVE RESERVED BREAKERS AND ELECTRICAL CAPACITY ACCORDING TO THE REQUIREMENTS OF NOTE 3.

5. ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY BUILDING AND INSPECTION DIVISION. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

- A. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
- B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.
- C. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
- D. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- E. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

6. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

7. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH COUNTY OF SANTA CLARA WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0), WHICHEVER IS MORE STRINGENT.

8. Not used.

9. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

A. A CONSTRUCTION WASTE MANAGEMENT PLAN IS PROVIDED. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE COUNTY OF SANTA CLARA.

- 1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
- 2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
- 3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
- 4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
- 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

B. A WASTE MANAGEMENT COMPANY CAN BE UTILIZED IF APPROVED BY THE COUNTY OF SANTA CLARA. SEE CALGREEN 4.408.3 FOR FURTHER .DETAILS

11. DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH NOTE 10.

12. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER MEDIA ACCEPTABLE TO THE COUNTY OF SANTA CLARA INCLUDES ALL OF THE REQUIRED INFORMATION, SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 4.410.1 FOR DETAILS OF REQUIRED INFORMATION.

13. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGULATION 6, RULE 3.

14. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

15. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4.504.1 OR 4.504.2 AS REPRODUCED ON SHEET CG-1. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED BELOW.

AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

16. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS AS SHOWN IN TABLE 4.504.3 SHEET CG-1. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NON-FLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3, SHEET CG-1 SHALL APPLY.

17. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

18. VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

19. ALL CARPET AND CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)

ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1, SHEET CG-1.

20. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)

21. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 4.504.5 SHEET CG-1.

22. VERIFICATION OF COMPLIANCE WITH NOTE 21 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

23. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CRC CHAPTER 5, SHALL COMPLY WITH FOLLOWING REQUIREMENT:

A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

- A. A 4-INCH-THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED.
- B. A SLAB DESIGN SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL.

24. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

25. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:

Project Information



Project Information

