





PROJECT DESCRIPTION

OWNER PROPOSES TO CONSTRUCT A 4,987 SQFT SINGLE FAMILY RESIDENCE. THE EXTERIOR TO BE STUCCO FINISHED AND THE ROOF TO BE COVERED BY SPANISH TILE TYPE ROOFING.

CONTACT INFO

OWNER / APPLICANT-

SAL AKHTER
2580 BRIDLE PATH DRIVE
GILROY CA 95020
salakhter@gmail.com
(408) 205-9936

DESIGNER-

MONTEREY BUILDING DESIGN PO BOX 222161 CARMEL, CA 93922 info@montereybuildingdesign.com (831) 620-9170

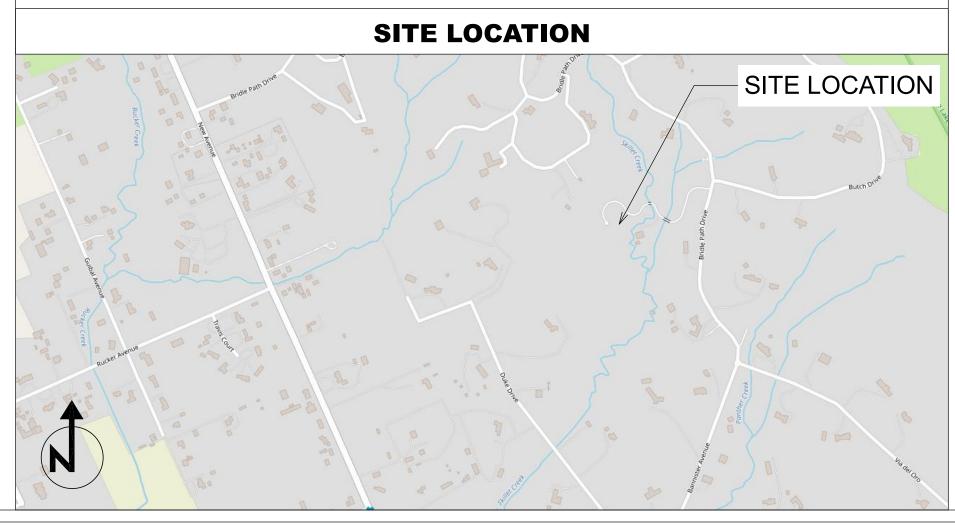
RELEVANT CODES

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING CODES-

- CALIFORNIA RESIDENTIAL CODE 2019
- CALIFORNIA MECHANICAL CODE 2019
- CALIFORNIA PLUMBING CODE 2019 - CALIFORNIA ELECTRICAL CODE 2019
- CALIFORNIA FIRE CODE 2019
- CALIFORNIA ENERGY CODE 2019
- CALIFORNIA GREEN BUILDING STANDARDS CODE 2019

NOTES

CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR HOMES BUILT PRIOR TO 1994, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET CURRENT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).



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A01

VERSION: 3.0

DATE: 1/31/20:

DATE: 1/31/2023

RESIDENCE
LAYOUT / TITLE PA

SIVE LAYC

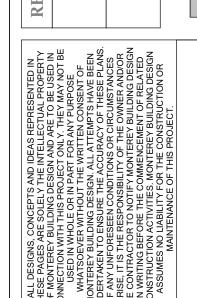
2580 BRIDLE PATH DR GILROY,CA 95020 AP# 830-17-059

SITE DETAILS

ADDRESS: 2580 BRIDLE PATH DRIVE, GILROY AP# 830-17-059 APN: OWNER/APPLICANT: SAL AKHTER **ZONING**: HS-D1 SITE AREA: 10.03 ACRES **RESIDENCE**: 4,670 SQFT WASTE: SEPTIC WATER: MUNICIPAL **ELECTRICITY/GAS:** PGE CONSTRUCTION TYPE: V-B R-3 OCCUPANCY: FIRE SUPPRESSION: YES

AREA CALCULATION

SITE COVERAGE CA	ALCULATION
LOT SIZE	438,012 SQFT
RESIDENCE COVERAGE	4,987 SQFT
HARDSCAPE	3,685 SQFT
TOTAL COVERAGE	8,672 SQFT
PERCENT OF COVERAGE	2.0%
FLOOR AR	REA
LOT SIZE	438,012 SQFT
LIVING AREA	4,987 SQFT
FLOOR AREA TOTAL	4,987 SQFT
FLOOR AREA RATIO	1.1%





GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

CALIFORNIA GREEN BUILDING NOTES:

SEPERATE AND RECYCLE ATLEAST 65% OF ALL CONSTRUCTION WASTE ADHESIVES, SEALANTS, CAULKS, PAINTS, STAINS AND OTHER COATINGS SHALL COMPLY WITH VOC LIMITS SET FORTH IN TABLE 4.504.1, TABLE 4.504.2 AND TABLE 4.504.3. CANTRACTOR SHALL PROVIDE BUILDING DEPARTMENT WITH MANUFACTURERS PRODUCT SPECIFICATIONS UPON REQUEST. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.

CARPENTRY

EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR ICF SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

WINDOW NOTES:

ALL WINDOWS SHALL CONFORM TO WINDOW SCHEDULE.

DOOR NOTES:

ALL WALK-THRU EXTERIOR DOORS SHALL BE SOLID CORE INTERIOR DOORS SHALL BE PAINTED.

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL

CONCRETE NOTES:

1. ALL CONCRETE AND REINFORCEMENT SHALL CONFORM TO THE MORE STRINGENT REQUIREMENTS OF THE LATEST EDITION OF EITHER THE A.C.I., C.R.C., OR C.B.C. 2. ALL CONCRETE SHALL ATTAIN A MINIMUM STRENGTH OF 2500 P.S.I. IN 28 DAYS U.N.O. DESIGN MIXTURE SHALL BE 5-1/2 SACK CEMENT PER CUBIC YARD CONCRETE. COARSE AGGREGATE SHALL BE 3/4" U.N.O. THE USE OF A DESIGN PUMP MIXTURE MAY BE SUBSTITUTED IF THE CEMENT RATIO IS INCREASED TO 6 SACKS U.N.O. 3. ALL CEMENT SHALL BE PORTLAND TYPE I OR TYPE II OF A.S.T.M. (C-150) 4. THERE SHALL BE NO ADMIXTURES USED UNLESS SPECIFIED OR APPROVED BY THE

5. ALL CONCRETE SHALL BE VIBRATED AND PLACED IN ACCORDANCE WITH A.S.T.M. (C-143)

U.N.O. 6. ALL CONCRETE SHALL BE CURED BY KEEPING THE EXPOSED SURFACES CONTINUOUSLY MOIST FOR A 7 DAY PERIOD AND BY USING AN APPROVED CURING COMPOUND AFTER 7 DAY

7. ALL CONSTRUCTION JOINT LOCATIONS SHALL BE APPROVED BY THE ENGINEER. 8. SLABS SHALL NOT EXCEED 20' IN ANY DIRECTION WITHOUT A CONTROL JOINT

PERPENDICULAR TO THAT DIRECTION U.N.O. 9. THE ENGINEER SHALL BE NOTIFIED PROMPTLY OF: CONCRETE WHICH SHOWS HONEYCOMBING, SPALLING, CRACKING, OR OTHER SIGNS OF INADEQUATE STRENGTH; LACK. MISPLACEMENT, OR UNDER SIZING OF ANCHOR HARDWARE. ANY UNCERTAINTY ABOUT HARDWARE OR REINFORCEMENT SHALL BE BROUGHT TO THE ATTENTION OF THE

ENGINEER BEFORE PLACING OF CONCRETE. 10. THE BUILDING INSPECTOR AND, WHEN SPECIFIED, ENGINEER SHALL INSPECT REINFORCEMENT AND HARDWARE BEFORE CONCRETE IS PLACED. 11. ALL FALSEWORK AND FORMING DESIGN AND CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. FALSEWORK MUST STAY IN PLACE UNTIL CONCRETE REACHES A

12. CONCRETE CYLINDER SAMPLES SHOULD BE TAKEN THROUGHOUT EACH STAGE OF THE FOUNDATION PLACEMENT AND TESTED FOR COMPRESSIVE STRENGTH WHERE MINIMUM

REQUIRED STRENGTH IS GREATER THAN 2500 P.S.I 13. ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING

14. HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.

15. ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER

STRUCTURAL HARDWARE:

- 1. ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING
- 2. HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE
- EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK. 3. ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER.

SITE CONTROL DURING CONSTRUCTION:

THE APPLICANT AND/OR PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING DUST CONTROL MEASURES: 1. WATER ALL ACTIVE CONSTRUCTION ARES TWICE PER DAY AND USE EROSION CONTROL MEASURES TO PREVENT WATER RUNOFF CONTAINING SILT AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM. 2. COVER TRUCKS HAULING SOIL SAND AND OTHER LOOSE MATERIAL. 3. PAVE, WATER OR APPLY NON-TOXIC SOIL STABILIZERS ON UNPAVED ACCESS ROADS AND PARKING AREAS. 4. SWEEP PAVED ACCESS ROADS AND PARKING AREAS DAILY. 5. SWEEP STREETS DAILY IF VISIBLE MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.

HOURS OF CONSTRUCTION:

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION.

DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

ADDRESS IDENTIFICATION:

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

ROT / DECAY RESISTANCE NOTES:

PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 1 WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHERE CLOSER THAN

18 INCHES (457 MM) OR WOOD GIRDERS WHERE CLOSER THAN 12 INCHES (305 MM) TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.

2 WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM THE EXPOSED

3 SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT. WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE

4 THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1 /2 INCH (12.7 MM) ON TOPS, SIDES AND ENDS.

5 WOOD SIDING. SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO 6 WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS

THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS. UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER. THE IMPERVIOUS MOISTURE BARRIER SYSTEM PROTECTING THE STRUCTURE SUPPORTING FLOORS SHALL PROVIDE POSITIVE DRAINAGE OF WATER THAT INFILTRATES THE MOISTURE-PERMEABLE FLOOR TOPPING.

7 WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS.

R317.1.1 FIELD TREATMENT FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4.

R317.1.2 GROUND CONTACT ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES INTENDED FOR HUMAN OCCUPANCY SHALL BE APPROVED PRESSURE-PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT USE, EXCEPT THAT UNTREATED WOOD USED ENTIRELY BELOW GROUNDWATER LEVEL OR CONTINUOUSLY SUBMERGED IN FRESH WATER SHALL NOT BE REQUIRED TO BE PRESSURE-

PRESERVATIVE TREATED. R507.2.3 FASTENERS AND CONNECTORS

METAL FASTENERS AND CONNECTORS USED FOR ALL DECKS SHALL BE IN ACCORDANCE WITH SECTION R317.3 AND TABLE R507.2.3

	TABLE R507.2.3								
ITEM	MATERIAL	MINIMUM FINISH/COATING	ALTERNATE FINISH/ COATING						
NAILS AND TIMBER RIVETS	IN ACCORDANCE WITH ASTM F1667	HOT-DIPPED GALVANIZED PER ASTM A153	STAINLESS STEEL, SILICON BRONZE OR COPPER						
BOLTS LAG SCREWS (INCLUDING NUTS AND WASHERS)	IN ACCORDANCE WITH ASTM A307 (BOLTS), ASTM A563 (NUTS), ASTM F844 (WASHERS)	HOT-DIPPED GALVANIZED PER ASTM A153, CLASS C (CLASS D FOR 3 /8-INCH DIAMETER AND LESS) OR MECHANICALLY GALVANIZED PER ASTM B695, CLASS 55 OR 410 STAINLESS STEEL	STAINLESS STEEL, SILICON BRONZE OR COPPER						
METAL CONNECTORS	PER MANUFACTURER'S SPECIFICATION	ASTM A653 TYPE G185 ZINC COATED GALVANIZED STEEL OR POST HOT-DIPPED GALVANIZED PER ASTM A123 PROVIDING A MINIMUM AVERAGE COATING WEIGHT OF 2.0 OZ./FT2	STAINLESS STEEL						

CBC 2304.10.5.1 FASTENERS AND CONNECTORS FOR PRESERVATIVE-TREATED WOOD FASTENERS, INCLUDING NUTS AND WASHERS, IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. STAPLES SHALL BE OF STAINLESS STEEL. FASTENERS OTHER THAN NAILS, STAPLES, TIMBER RIVETS, WOOD SCREWS AND LAG SCREWS SHALL BE PERMITTED TO BE OF MECHANICALLY DEPOSITED ZINC-COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM B695, CLASS 55 MINIMUM. CONNECTORS THAT ARE USED IN EXTERIOR APPLICATIONS AND IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL HAVE COATING TYPES AND WEIGHTS IN ACCORDANCE WITH THE TREATED WOOD OR CONNECTOR MANUFACTURER'S RECOMMENDATIONS. IN THE ABSENCE OF MANUFACTURER'S RECOMMENDATIONS, NOT LESS THAN ASTM A653, TYPE G185 ZINC-COATED GALVANIZED STEEL, OR EQUIVALENT, SHALL BE USED, EXCEPTION: PLAIN CARBON STEEL FASTENERS, INCLUDING NUTS AND WASHERS, IN SBX/DOT AND ZINC BORATE PRESERVATIVE-TREATED WOOD IN AN INTERIOR, DRY ENVIRONMENT SHALL BE PERMITTED.

2304.12 PROTECTION AGAINST DECAY AND TERMITES

WOOD SHALL BE PROTECTED FROM DECAY AND TERMITES IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTIONS 2304.12.1 THROUGH 2304.12.7.

POLLUTION PREVENTION PLANNING

Every construction project must have an erosion and sediment control plan to prevent soil and materials from leaving the site. Basic steps for this plan include:

- Understand local jurisdictional stormwater management requirements and create your plan to match your construction site and project needs.
- Identify the storm drains and the conveyance system (s) nearest the construction site area and provide

plan to protect them from worksite pollutants.

- Obtain all local jurisdictional permits, including traffic control permits, if needed.
- Schedule construction activities so that the soil is not exposed for long period of time. Limit grading to small areas; install key sediment control practices before site grading begins.
- Contact the inspector assigned to your project to answer any questions and ensure compliance. Modify BMPs as job requires.



PREVENT POLLUTION AND AVOID FINES (3 C'S)

Control: The best line of defense is to use good housekeeping practices and sediment/erosion control BMPs to prevent materials and debris from entering the storm Contain: Isolate your work area to prevent discharges

from leaving the site. Store materials out of the rain and in secondary containment, if necessary. **Capture**: Sweep or vacuum up any material that could possibly run offsite. Dispose of wastes properly by checking product labels for disposal requirements.

Additional Tips to Support BMPs:

Schedule site stabilization activities, such as landscaping, to be completed immediately after the land

has been graded to its final contour.

- Inspect & maintain silt fences and straw wattles after each rainstorm. Make sure stormwater is not flowing around these devices or other vegetative buffers. Cover all dirt piles to protect from wind and
- Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles. Minimize amount of vegetation cleared from the site. Protect and install vegetative buffers along waterbodies to slow and filter stormwater runoff.
- Properly dispose of all waste materials. Never dump unused or waste product on the ground or in a storm drain. Don't hose off surfaces to clean. Sweep and place waste in dumpster.
- Break up long slopes with sediment barriers. Install structural BMPs to trap sediment on downslope
- sides of the lot. When in doubt, contact local jurisdiction for guid-

ONLINE RESOURCES California Storm Water Quality Association www.cabmphandbooks.com nternational BMP Database www.bmpdatabase.org

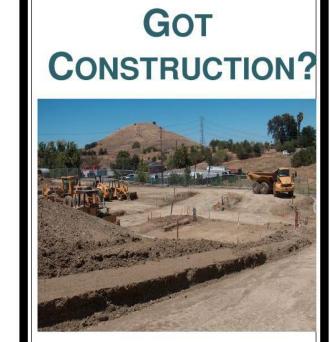
California State Water Board www.waterboards.ca.gov



Monterey, CA 93940 Phone: (831) 645.4621 Fax: (831) 372.6178

Web: MontereySEA.org

Storm Water Program



A STORM WATER POLLUTION PREVENTION **GUIDE FOR THE CONSTRUCTION INDUSTRY**

MontereySEA.org

→ Concrete Trucks / Pumpers / Finishers

BMPs such as tarps and gravel bags should be implemented to prevent

The disposal of "wet" construction materials should be handled in the washout area. This includes paint stucco, and concrete. Use a berr

with an impervious liner to contain wet materials and prevent runoff in

Mounds of dirt or gravel should be stored on site and sprayed daily

(October 15th—April 15th) these materials should be covered. For

those areas that are active and exposed, a wet weather triggered action

plan including additional BMPs should be in place to protect the site

All earthmoving equipment should be stored on site. Maintenance of

any equipment should be conducted on site, and mud tracks and dirt

trails left by equipment leading to and from the site should be cleaned

during a rain event. Sites must have adequate tracking control to pre-

→ EARTHMOVING EQUIPMENT

STORM DRAINS

with water to prevent excessive dust. During the rainy season

vent the transport of dirt/gravel from the site.

nearby areas. The washout area must be checked and maintained daily

to ensure compliance. All dried materials must be disposed of at the

→DIRT AND GRADING

→ WASHOUT AREA

materials and residue from entering into the storm drain system.

CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLU-

The Monterey Regional Stormwater Management Program (MRSWMP) prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be

checked and maintained daily. The following BMPs are recommended; they are not all-inclusive. Refer to references indicated on the front of this brochure for additional BMPs.

PAINT AND STUCCO •—

covered. It is illegal to dump unused paint or stucco in the sewer or storm drain system. Do not wash out brushes in the street or dump any residues in the storm drain. Paint brushes and spray guns must be washed/cleaned out into a hazardous materials drum or back into the original container and disposed of properly.

PERIMETER CONTROLS •

Gravel bags, silt fences and straw wattles (weighted down) are accept able perimeter controls, and must be used to surround the entire site. Avoid running over perimeter controls with vehicles or heavy equipment as they can damage the materials. Keep extra absorbent materials and/or wet-dry vacuum on site to quickly pick up unintended spills.

BUILDING MATERIALS/STAGING AREAS -

Construction material must be stored on site at all times. Building materials should always be covered when not in use to prevent runoff caused by wind or rain. Flooding must also be prevented by monitoring the site before, during, and after rain events to ensure that BMPs are functioning and that there are no safety issues.

TRAFFIC CONTROL PERMITS -

Prior to staging any materials or equipment in the right-of-way (such as dumpsters or trucks), please contact the applicable local jurisdiction to learn of any temporary encroachment permit or traffic control requirements necessary for right-of-way staging and loading areas, applicable stormwater BMPs and safety plan review requirements. Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles.

DUMPSTERS •

Always cover dumpsters with a rollback tarp. Areas around dumpsters should be swept daily. Perimeter controls around dumpster areas should be provided if pollutants are leaking or discharging from



CHERREN

Storm drains must be protected at all times with perimeter controls, such as gravel bags. Sand bags are typically not used for inlet protection because they do not permit flow-through. Replace ruptured or damaged gravel bags and remove the debris from the right-of-way immediately.

up immediately.

Protecting water resources improves and preserves

quality of life for our children and future generations.

Questions? Contact the local Public Works Dept. in the jurisdiction your project resides or the MRSWMP Program Manager.

Photo courtesy of the City of San Diego

Property Location Information

APN: 830-17-059 Assessor's Map

Site Address: 2580 BRIDLE PATH DR GILROY CA 95020 Recorded Size (Assessor Database): 436,907 sq. ft. / 10 acres Computed Size (GIS): 438,012 sq. ft. / 10.1 acres TRA: 67011

Planning and Development Information

General Plan: Hillsides (100%) USA: None

SOI: None

Zoning: HS-d1 (100%) Supervisor District: 1

Approved Building Site: Parcel is an Approved Building Site

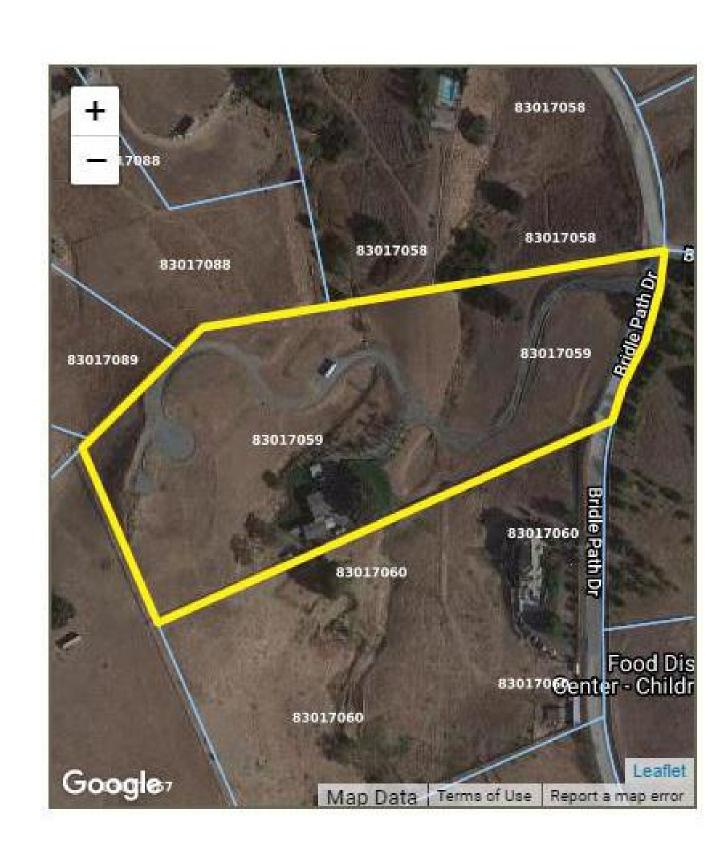
Special Area Policies and Information

- HCP Area
- HCP Rural Development Areas: IN
- Fire Responsibility Area: SRA (100%)
- Cal Fire SRA Hazard Class: Moderate (78.3%), High (21.7%)
- Wildland Urban Interface: IN
- Fire Protection District: South Santa Clara County Fire Protection District
- · Geohazard: County fault rupture hazard zone
- · Geohazard: County landslide hazard zone
- FEMA Flood Zone: D (100%)

Historic Parcel: NO

Watershed: Central Coast

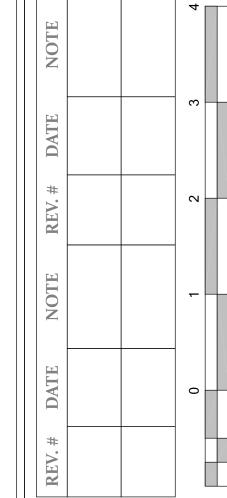
 Rain isohyet: 18 inches Nearest named creek: SKILLET CREEK (0 feet) Nearest named lake: Coyote Reservoir (5949 feet)



A01.1

3.0 **VERSION:** 1/31/2023 DATE:

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California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

concealed areas and spaces shall be installed at the time of original construction

installed in close proximity to the location or the proposed location of the EV space at the time of original **CHAPTER 3** construction in accordance with the California Electrical Code. 1.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. **GREEN BUILDING** 4.304 OUTDOOR WATER USE When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the 4.106.4.2.4 Identification. 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest **SECTION 301 GENERAL** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Efficient Landscape Ordinance (MWELO), whichever is more stringent. space shall count as at least one standard automobile parking space only for the purpose of complying with any 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 4.106.4.2.5 Electric Vehicle Ready Space Signage. the application checklists contained in this code. Voluntary green building measures are also included in the Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans application checklists and may be included in the design and construction of structures covered by this code, Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. l.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are than 20 sleeping units or guest rooms 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to available at: https://www.water.ca.gov/ The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing additions or alterations of existing residential buildings where the addition or alteration increases the multifamily buildings. building's conditioned area, volume, or size. The requirements shall apply only to and/or within the DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or **EFFICIENCY** altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in EVs at all required EV spaces at a minimum of 40 amperes. sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved lighting fixtures are not considered alterations for the purpose of this section. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or 4.408 CONSTRUCTION WASTE REDUCTION. DISPOSAL AND RECYCLING improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. DIVISION 4.2 ENERGY EFFICIENCY 1.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate percent of the non-hazardous construction and demolition waste in accordance with either Section 1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1 4.408.2. 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and management ordinance 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy 2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable Commission will continue to adopt mandatory standards. spaces, the number of EV capable spaces required may be reduced by a number equal to the number of 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION Excavated soil and land-clearing debris. individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential 2. Alternate waste reduction methods developed by working with local agencies if diversion or 4.303 INDOOR WATER USE buildings, or both. Individual sections will be designated by banners to indicate where the section applies recycle facilities capable of compliance with this item do not exist or are not located reasonably 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating high-rise buildings, no banner will be used. urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or SECTION 302 MIXED OCCUPANCY BUILDINGS Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan EV chargers are installed for use. plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final in conformance with Items 1 through 5. The construction waste management plan shall be updated as 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building completion, certificate of occupancy, or final permit approval by the local building department. See Civil necessary and shall be available during construction for examination by the enforcing agency. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power shall comply with the specific green building measures applicable to each specific occupancy. Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per buildings affected and other important enactment dates. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, dwelling unit when more than one parking space is provided for use by a single dwelling unit. 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall reuse on the project or salvage for future use or sale. comply with Chapter 4 and Appendix A4, as applicable. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or Exception: Areas of parking facilities served by parking lifts [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense bulk mixed (single stream). Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Specification for Tank-type Toilets. 3. Identify diversion facilities where the construction and demolition waste material collected will be l.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or mor Chapter 4 and Appendix A4, as applicable. sleeping units or quest rooms. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume 4. Identify construction methods employed to reduce the amount of construction and demolition waste DIVISION 4.1 PLANNING AND DESIGN The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to of two reduced flushes and one full flush. his section. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated ABBREVIATION DEFINITIONS: 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush by weight or volume, but not by both. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types Department of Housing and Community Development The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 California Building Standards Commission 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical DSA-SS Division of the State Architect, Structural Safety enforcing agency, which can provide verifiable documentation that the percentage of construction and Office of Statewide Health Planning and Development system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge al demolition waste material diverted from the landfill complies with Section 4.408.1. EVs at all required EV spaces at a minimum of 40 amperes. Low Rise 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 High Rise gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Note: The owner or contractor may make the determination if the construction and demolition waste The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved Additions and Alterations WaterSense Specification for Showerheads. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. materials will be diverted by a waste management company. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only reduced by a number equal to the number of EV chargers installed over the five (5) percent required. RESIDENTIAL MANDATORY MEASURES allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds SECTION 4.102 DEFINITIONS a. Construction documents shall show locations of future EV spaces. 4.303.1.4 Faucets. per square foot of the building area, shall meet the minimum 65% construction waste reduction 4.102.1 DEFINITIONS requirement in Section 4,408.1 The following terms are defined in Chapter 2 (and are included here for reference) b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall EV chargers are installed for use. not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar not be less than 0.8 gallons per minute at 20 psi. compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4... 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power pervious material used to collect or channel drainage or runoff water. 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials dwelling unit when more than one parking space is provided for use by a single dwelling unit. faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also buildings shall not exceed 0.5 gallons per minute at 60 psi. 1. Sample forms found in "A Guide to the California Green Building Standards Code used for perimeter and inlet controls. Exception: Areas of parking facilities served by parking lifts. (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver documenting compliance with this section. 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. 2. Mixed construction and demolition debris (C & D) processors can be located at the California more than 0.2 gallons per cycle 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation Where common use parking is provided, at least one EV charger shall be located in the common use parking Department of Resources Recycling and Recovery (CalRecycle). and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes. area and shall be available for use by all residents or guests. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons management of storm water drainage and erosion controls shall comply with this section. per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not 4.410 BUILDING MAINTENANCE AND OPERATION When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact .106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less an automatic load management system (ALMS) may be used to reduce the maximum required electrical disc, web-based reference or other media acceptable to the enforcing agency which includes all of the than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers following shall be placed in the building: or more, shall manage storm water drainage during construction. In order to manage storm water drainage shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) Note: Where complying faucets are unavailable, aerators or other means may be used to achieve during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall 1. Directions to the owner or occupant that the manual shall remain with the building throughout the property, prevent erosion and retain soil runoff on the site. have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical life cycle of the structure. capacity to the required EV capable spaces. 4.303.1.4.5 Pre-rinse spray valves. 2. Operation and maintenance instructions for the following: Retention basins of sufficient size shall be utilized to retain storm water on the site. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance a. Equipment and appliances, including water-saving devices and systems, HVAC systems, 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 photovoltaic systems, electric vehicle chargers, water-heating systems and other major disposal method, water shall be filtered by use of a barrier system, wattle or other method approved Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1 (d)(7) and shall be equipped with an integral automatic shutoff. b. Roof and yard drainage, including gutters and downspouts. 3. Compliance with a lawfully enacted storm water management ordinance. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels FOR REFERENCE ONLY: The following table and code section have been reprinted from the California c. Space conditioning systems, including condensers and air filters. shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section Landscape irrigation systems. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or e. Water reuse systems. are part of a larger common plan of development which in total disturbs one acre or more of soil. 3. Information from local utility, water and waste recovery providers on methods to further reduce 4.106.4.2.2.1.1 Location. resource consumption, including recycle programs and locations. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) EVCS shall comply with at least one of the following options: TABLE H-2 Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent .106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will 1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of and what methods an occupant may use to maintain the relative humidity level in that range. manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY Information about water-conserving landscape and irrigation design and controllers which conserve water include, but are not limited to, the following: ALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019/ 2.The charging space shall be located on an accessible route, as defined in the California Building Code, 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. . Water collection and disposal systems 8. Information on required routine maintenance measures, including, but not limited to, caulking, French drains Exception: Electric vehicle charging stations designed and constructed in compliance with the California MAXIMUM FLOW RATE (gpm) [spray force in ounce force (ozf)] painting, grading around the building, etc. Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section Water retention gardens 9. Information about state solar energy and incentive programs available. 5. Other water measures which keep surface water away from buildings and aid in groundwater 4.106.4.2.2.1.2, Item 3. Product Class 1 (≤ 5.0 ozf) 1.00 A copy of all special inspections verifications required by the enforcing agency or this code. 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible 1.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. space around residential structures. **Exception**: Additions and alterations not altering the drainage path. The charging spaces shall be designed to comply with the following: Product Class 2 (> 5.0 ozf and \leq 8.0 ozf) 1.20 12. Information and/or drawings identifying the location of grab bar reinforcements. Product Class 3 (> 8.0 ozf) 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 1. The minimum length of each EV space shall be 18 feet (5486 mm). 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January ouilding site, provide readily accessible area(s) that serves all buildings on the site and are identified for the equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 2. The minimum width of each EV space shall be 9 feet (2743 mm). 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is infrastructure are not feasible based upon one or more of the following conditions: Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional percent slope) in any direction. **4.303.3 Standards for plumbing fixtures and fittings.** Plumbing fixtures and fittings shall be installed in local utility infrastructure design requirements, directly related to the implementation of Section accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 4.106.4, may adversely impact the construction cost of the project. 4.106.4.2.2.1.3 Accessible EV spaces. 1701.1 of the California Plumbing Code. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall DIVISION 4.5 ENVIRONMENTAL QUALITY comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready parking facilities. spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section **SECTION 4.501 GENERAL** THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. 4.501.1 Scope 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway TABLE - MAXIMUM FIXTURE WATER USE irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main 1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall **FIXTURE TYPE FLOW RATE** SECTION 4.502 DEFINITIONS originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or 5.102.1 DEFINITIONS concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere proximity to the location or the proposed location of the EV space. Construction documents shall identify the 1.8 GMP @ 80 PSI SHOWER HEADS (RESIDENTIAL) The following terms are defined in Chapter 2 (and are included here for reference) 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device. LAVATORY FAUCETS (RESIDENTIAL) cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in AVATORY FAUCETS IN COMMON & PUBLIC COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and 0.5 GPM @ 60 PSI accordance with the California Electrical Code. installed in close proximity to the location or the proposed location of the EV space, at the time of original medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, USE AREAS construction in accordance with the California Electrical Code. structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated 4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent 1.8 GPM @ 60 PSI KITCHEN FAUCETS wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination 2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location shall be permanently and visibly marked as "EV CAPABLE". METERING FAUCETS 0.2 GAL/CYCLE location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for WATER CLOSET 1.28 GAL/FLUSH electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BUILDING STANDARDS (C

0.125 GAL/FLUSH

A01.2

VERSION: 1/31/2023 DATE:



California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

VOC LIMIT

250

760

420

250

500

760

100

150

400

400

50

350

350

100

275

350

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

TABLE 4.504.2 - SEALANT VOC LIMIT

SEALANTS

ARCHITECTURAL

NONMEMBRANE ROOF

SEALANT PRIMERS

NON-POROUS

MODIFIED BITUMINOUS

ARCHITECTURAL

POROUS

MARINE DECK

COMPOUNDS

FLAT COATINGS

COATING CATEGORY

NON-FLAT COATINGS

SPECIALTY COATINGS

BOND BREAKERS

OTHER

SINGLE-PLY ROOF MEMBRANE

MARINE DECK

ROADWAY

Less Water and Less Exempt Compounds in Grams per Liter)

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

ARCHITECTURAL COATINGS2.3

NONFLAT-HIGH GLOSS COATINGS

BASEMENT SPECIALTY COATINGS

CONCRETE CURING COMPOUNDS

CONCRETE/MASONRY SEALERS

BITUMINOUS ROOF COATINGS

BITUMINOUS ROOF PRIMERS

LUMINUM ROOF COATINGS

CHAPTER 7

702 QUALIFICATIONS

. State certified apprenticeship programs.

4. Programs sponsored by manufacturing organizations.

performance contractors, and home energy auditors.

4. Other programs acceptable to the enforcing agency.

project they are inspecting for compliance with this code.

the appropriate section or identified applicable checklist.

703 VERIFICATIONS

5. Other programs acceptable to the enforcing agency.

Public utility training programs.

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper

Examples of acceptable HVAC training and certification programs include but are not limited to the following:

installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the

3. Successful completion of a third party apprentice training program in the appropriate trade.

homes in California according to the Home Energy Rating System (HERS).

this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall

employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with

particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a

recognized state, national or international association, as determined by the local agency. The area of certification

Note: Special inspectors shall be independent entities with no financial interest in the materials or the

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not

limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other

documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in

methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific

considered by the enforcing agency when evaluating the qualifications of a special inspector:

project they are inspecting for compliance with this code.

shall be closely related to the primary job function, as determined by the local agency.

responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or

other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence

to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to

other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be

Certification by a national or regional green building program or standard publisher.
 Certification by a statewide energy consulting or verification organization, such as HERS raters, building

Special inspectors shall be independent entities with no financial interest in the materials or the

HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate

certification program. Uncertified persons may perform HVAC installations when under the direct supervision and

responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.

. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere. VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). 4.503 FIREPLACES 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system. .504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, 4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: . Manufacturer's product specification. Field verification of on-site product containers.

ADHESIVE PRIMER FOR PLASTIC

SPECIAL PURPOSE CONTACT ADHESIVE

STRUCTURAL WOOD MEMBER ADHESIVE

SUBSTRATE SPECIFIC APPLICATIONS

POROUS MATERIAL (EXCEPT WOOD)

QUALITY MANAGEMENT DISTRICT RULE 1168.

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER,

THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

140

250

CONTACT ADHESIVE

TOP & TRIM ADHESIVE

METAL TO METAL

PLASTIC FOAMS

FIBERGLASS

DRIVEWAY SEALERS DRY FOG COATINGS 150 FAUX FINISHING COATINGS 350 FIRE RESISTIVE COATINGS LOOR COATINGS ORM-RELEASE COMPOUNDS GRAPHIC ARTS COATINGS (SIGN PAINTS) 500 HIGH TEMPERATURE COATINGS 420 INDUSTRIAL MAINTENANCE COATINGS 250 TABLE 4.504.1 - ADHESIVE VOC LIMIT_{1,2} LOW SOLIDS COATINGS 120 (Less Water and Less Exempt Compounds in Grams per Liter) MAGNESITE CEMENT COATINGS 450 ARCHITECTURAL APPLICATIONS VOC LIMIT MASTIC TEXTURE COATINGS 100 INDOOR CARPET ADHESIVES METALLIC PIGMENTED COATINGS 500 CARPET PAD ADHESIVES MULTICOLOR COATINGS 250 150 OUTDOOR CARPET ADHESIVES PRETREATMENT WASH PRIMERS 420 100 WOOD FLOORING ADHESIVES PRIMERS, SEALERS, & UNDERCOATERS 100 **RUBBER FLOOR ADHESIVES** 350 REACTIVE PENETRATING SEALERS SUBFLOOR ADHESIVES RECYCLED COATINGS 250 CERAMIC TILE ADHESIVES ROOF COATINGS VCT & ASPHALT TILE ADHESIVES RUST PREVENTATIVE COATINGS 250 DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES 730 MULTIPURPOSE CONSTRUCTION ADHESIVE **OPAQUE** 550 STRUCTURAL GLAZING ADHESIVES SPECIALTY PRIMERS, SEALERS & SINGLE-PLY ROOF MEMBRANE ADHESIVES 250 UNDERCOATERS 250 OTHER ADHESIVES NOT LISTED STONE CONSOLIDANTS 450 SPECIALTY APPLICATIONS 510 SWIMMING POOL COATINGS PVC WELDING CPVC WELDING 100 TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS 420 **ABS WELDING** 325 250 WATERPROOFING MEMBRANES 250 PLASTIC CEMENT WELDING

> 1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS

WOOD COATINGS

WOOD PRESERVATIVES

ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION PRODUCT **CURRENT LIMIT** HARDWOOD PLYWOOD VENEER CORE 0.05 HARDWOOD PLYWOOD COMPOSITE CORE 0.05 PARTICLE BOARD 0.09 MEDIUM DENSITY FIBERBOARD 0.11 THIN MEDIUM DENSITY FIBERBOAR D2 0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017

(Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and E∨aluation of Volatile Organic Chemical Emissions from Indoor Sources Using En∨ironmental Chambers Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs. hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.),

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications. Chain of custody certifications.
- 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- Other methods acceptable to the enforcing agency.

by or before the dates specified in those sections, as shown in Table 4.504.5

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent noisture content. Moisture content shall be verified in compliance with the following:

- 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements
- 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end
- of each piece verified. 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying

4.506 INDOOR AIR QUALITY AND EXHAUST

commendations prior to enclosure.

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

- 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be

- 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or
- 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

- sized, designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential
- Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

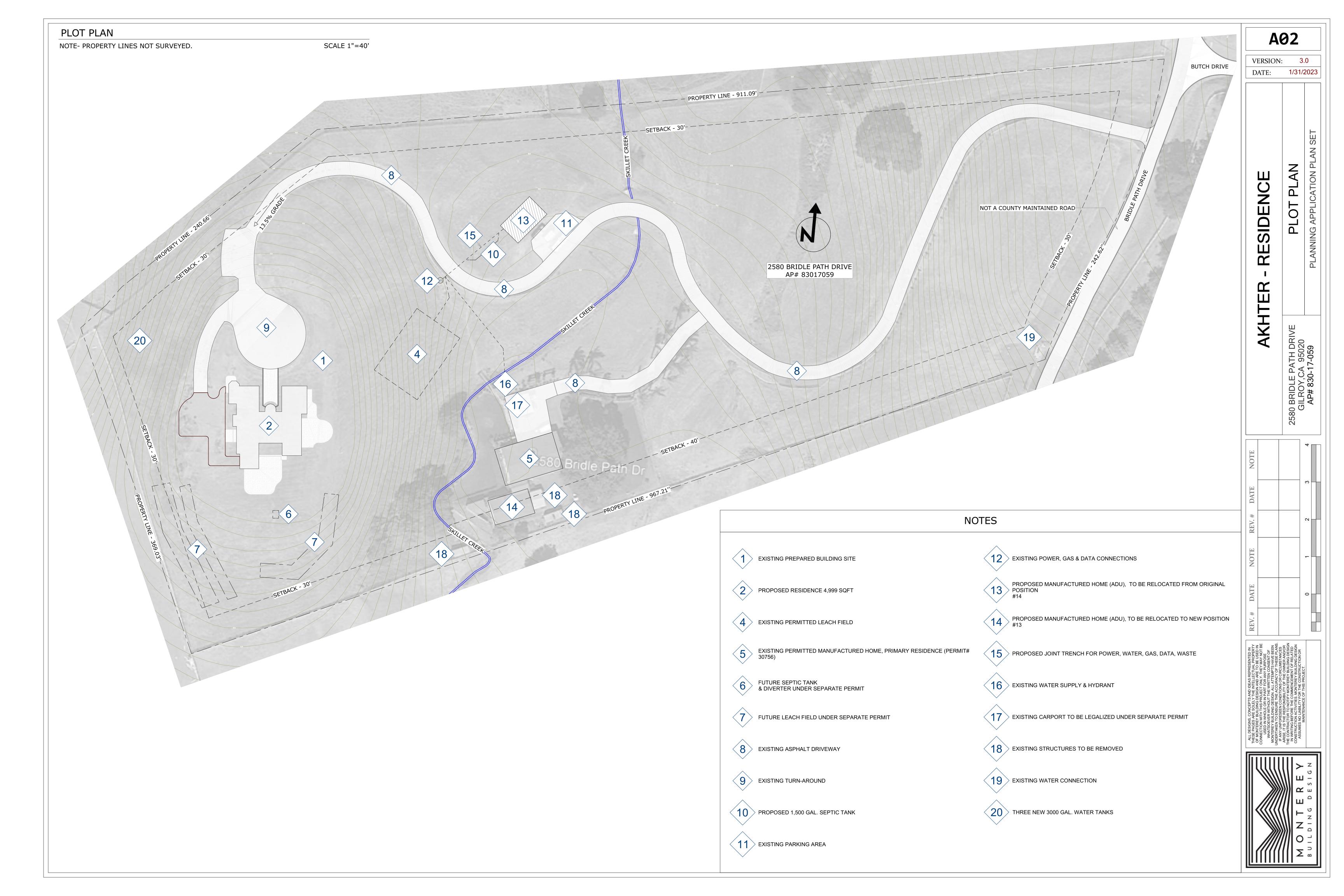
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DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY





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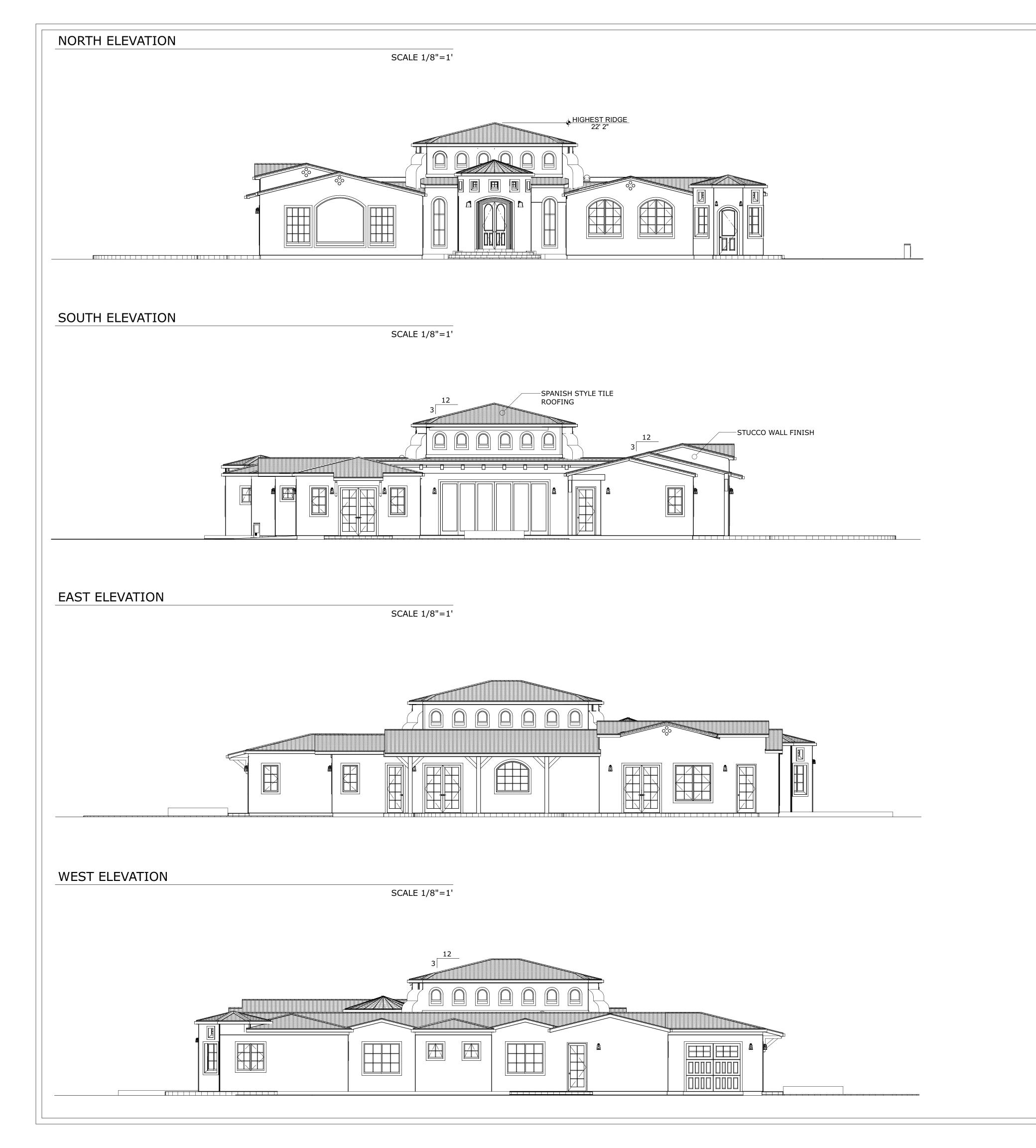
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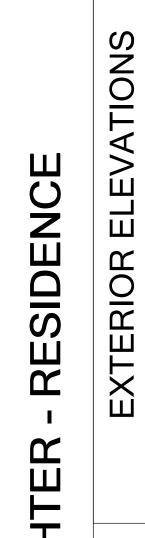












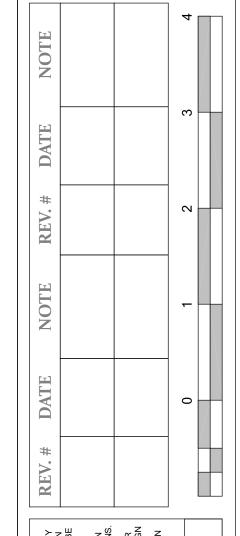
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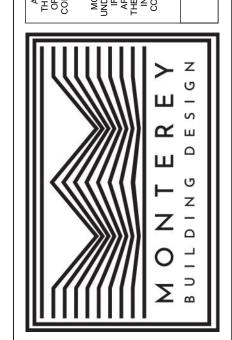
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DATE:





NUMBER	Іоту	FI OOR	DESCRIPTION	DOOR SIZE	SCHEDUL IWIDTH	E IHFIGHT	HINGE SIDE	I IAMB SIZE	THICKNESS	FI FV.
D01			DOUBLE HINGED-CCR04046 CAMINO	4080 L/R IN	48 "	96 "	L/R	3/4"X6 1/2"	1 3/4"	
D02	1	1	EXT. 3+3-PANEL SLIDER-GLASS PANEL	18090 L/R EX	216 "	108 "	L/R	3/4"X13 9/ 16"	1 3/4"	
D03	1	1	GARAGE-GARAGE DOOR CHD05	9080	108 "	96 "		3/4"X7 5/8"	1 3/4"	
D04	1	1	HINGED-PANEL	2680 L IN	30 "	96 "	L	3/4"X6 1/2"	1 3/4"	
D05	2	1	DOUBLE HINGED-PANEL	4080 L/R IN	48 "	96 "	L/R	3/4"X6 1/2"	1 3/4"	
D06	2	1	POCKET-PANEL	2668 R	30 "	80 "	R	3/4"X6 1/2"	1 3/4"	
D07	2	1	DOUBLE HINGED-PANEL	3080 L/R IN	36 "	96 "	L/R	3/4"X6 1/2"	1 3/4"	
D08	2	1	HINGED-PANEL	2880 L IN	32 "	96 "	L	3/4"X6 1/2"	1 3/4"	
D09	1	1	HINGED-GLASS PANEL	3080 R IN	36 "	96 "	R	3/4"X13 9/ 16"	1 3/4"	
D10	2	1	HINGED-PANEL	2880 R IN	32 "	96 "	R	3/4"X6 1/2"	1 3/4"	
D11	2	1	HINGED-GLASS PANEL	3080 R IN	36 "	96 "	R	3/4"X7 5/8"	1 3/4"	
D14	1	1	EXT. HINGED-GLASS PANEL	2880 L EX	32 "	96 "	L	3/4"X7 5/8"	1 3/4"	
D17	2	1	HINGED-PANEL	2668 R IN	30 "	80 "	R	3/4"X6 1/2"	1 3/4"	
D18	3	1	EXT. DOUBLE HINGED-GLASS PANEL	6080 L/R EX	72 "	96 "	L/R	3/4"X7 5/8"	1 3/4"	
D19	1	1	POCKET-PANEL	3080 R	36 "	96 "	R	3/4"X6 1/2"	1 3/4"	
D24	3	1	HINGED-PANEL	2668 L IN	30 "	80 "	L	3/4"X6 1/2"	1 3/4"	
D30	1	1	EXT. HINGED-CCR04037A AUGUSTINE	3080 R EX	36 "	96 "	R		1 3/4"	
D34	1	1	POCKET-PANEL	2668 L	30 "	80 "	L	3/4"X6 1/2"	1 3/4"	

NUMBER	QTY	FLOOR	DESCRIPTION	WINDOV WIDTH	V SCHEDUL HEIGHT	E TEMPERED	EGRESS	COMMENTS	ELEV.
W01	4	1	SINGLE CASEMENT-HL	30 "	54 "	YES			
W02	1	1	DOUBLE CASEMENT-LHL/RHR	54 "	54 "	YES			
W04	3	1	SINGLE AWNING	30 "	30 "	YES			
W05	1	1	LEFT SLIDING	48 "	72 "	YES			
W09	1	1	FIXED GLASS-AT	66 "	62 "	YES			
W10	26	2	FIXED GLASS-CT	20 "	24 "			FAUX WINDOW	
W12	1	1	FIXED GLASS-AT	96 "	92 "	YES			
W16	2	1	SINGLE CASEMENT-HR	30 "	54 "	YES			
W18	2	1	LEFT SLIDING	36 "	54 "	YES			
W19	2	1	FIXED GLASS-CT	24 "	96 "	YES			
W24	1	1	SINGLE AWNING	24 "	24 "	YES			
W26	2	1	LEFT SLIDING	72 "	60 "	YES	YES		
W27	1	1	RIGHT SLIDING	48 "	72 "	YES			
W30	1	1	DOUBLE CASEMENT-LHL/RHR	72 "	72 "	YES			
W31	9	1	FIXED GLASS	14 "	14 "	YES			
W36	8	1	LEFT SLIDING	42 "	72 "	YES			
W38	2	1	DOUBLE CASEMENT-LHL/RHR-AT	66 "	70 "	YES			

R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT). EXCEPTION: EXTERIOR BALCONIES LESS THAN 60 SQUARE FEET (5.6 M2) AND ONLY ACCESSED FROM A DOOR ARE PERMITTED TO HAVE A LANDING THAT IS LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. R311.3.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 11/2 INCHES (38 MM) LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHERE EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN

ACCORDANCE WITH SECTION R311.7. R311.3.2 FLOOR ELEVATIONS AT OTHER EXTERIOR DOORS DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD. EXCEPTION: A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.

NUMBER	RIQTY	FLOOR	DESCRIPTION	WINDO\ WIDTH	W SCHEDUI HEIGHT	LE TEMPERED	EGRESS	COMMENTS	ELEV.
W01	4	1	SINGLE CASEMENT-HL	30 "	54 "	YES			
W02	1	1	DOUBLE CASEMENT-LHL/RHR	54 "	54 "	YES			
W04	3	1	SINGLE AWNING	30 "	30 "	YES			
W05	1	1	LEFT SLIDING	48 "	72 "	YES			
W09	1	1	FIXED GLASS-AT	66 "	62 "	YES			
W10	26	2	FIXED GLASS-CT	20 "	24 "			FAUX WINDOW	
W12	1	1	FIXED GLASS-AT	96 "	92 "	YES			
W16	2	1	SINGLE CASEMENT-HR	30 "	54 "	YES			
W18	2	1	LEFT SLIDING	36 "	54 "	YES			
W19	2	1	FIXED GLASS-CT	24 "	96 "	YES			
W24	1	1	SINGLE AWNING	24 "	24 "	YES			
W26	2	1	LEFT SLIDING	72 "	60 "	YES	YES		
W27	1	1	RIGHT SLIDING	48 "	72 "	YES			
W30	1	1	DOUBLE CASEMENT-LHL/RHR	72 "	72 "	YES			

LOFT DOOR / WINDOW PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

,1W101W101W101W101W101W10T,

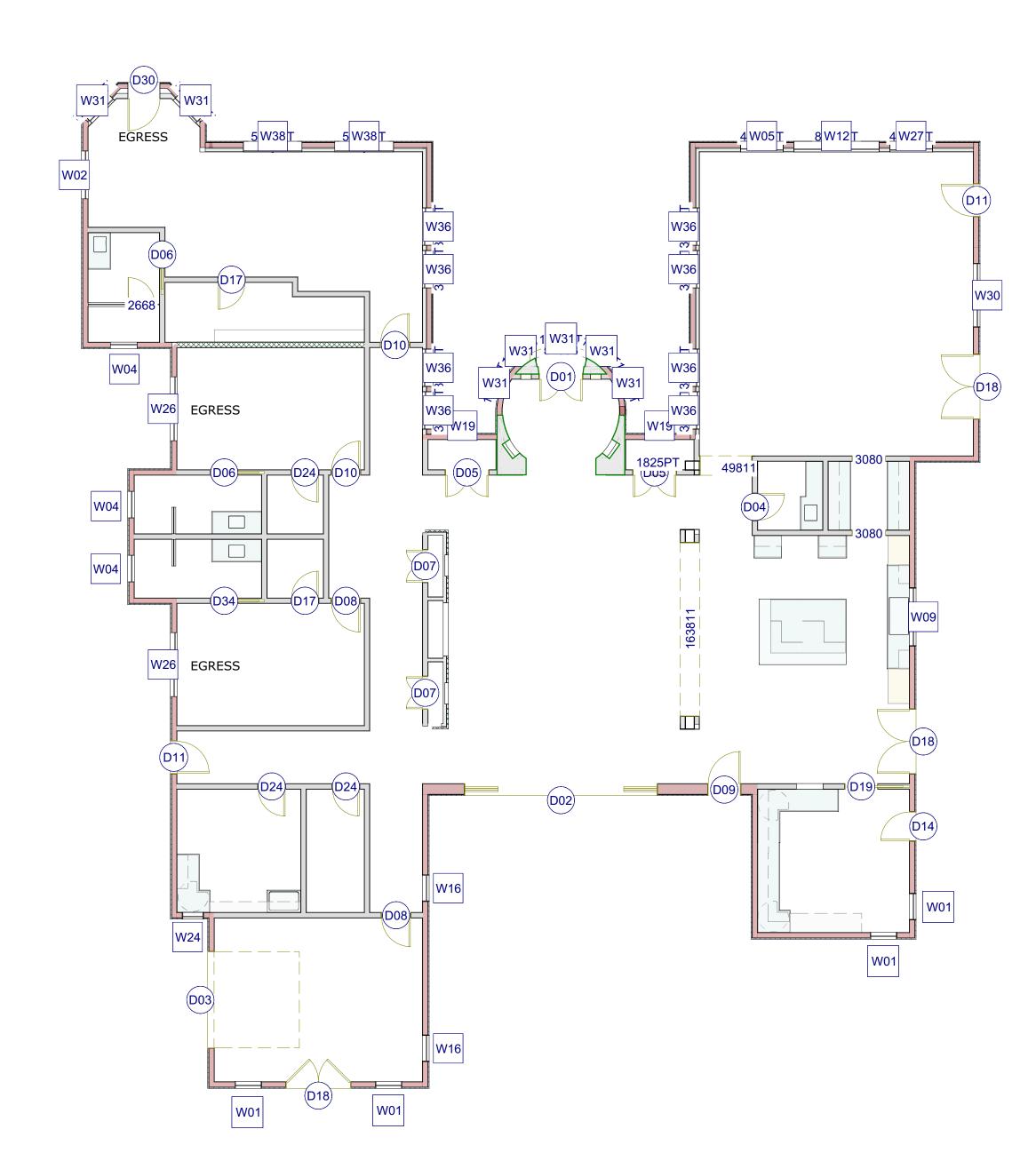
1 W10 T W10 T W10 T W10 T W10 T

SCALE 1/8"=1'

MAIN FLOOR DOOR / WINDOW PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

SCALE 1/8"=1'



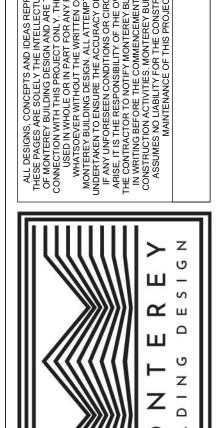
A05

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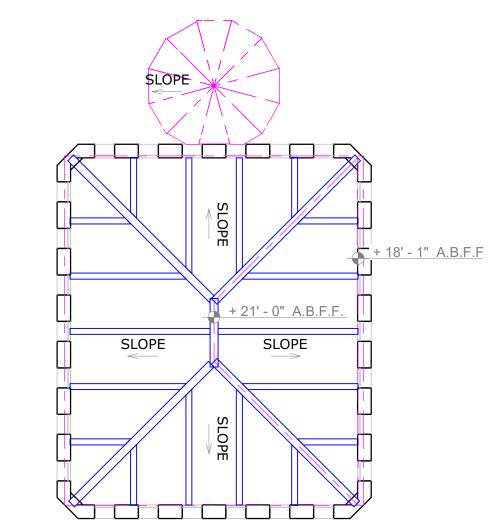
PLAN

RESIDENCE

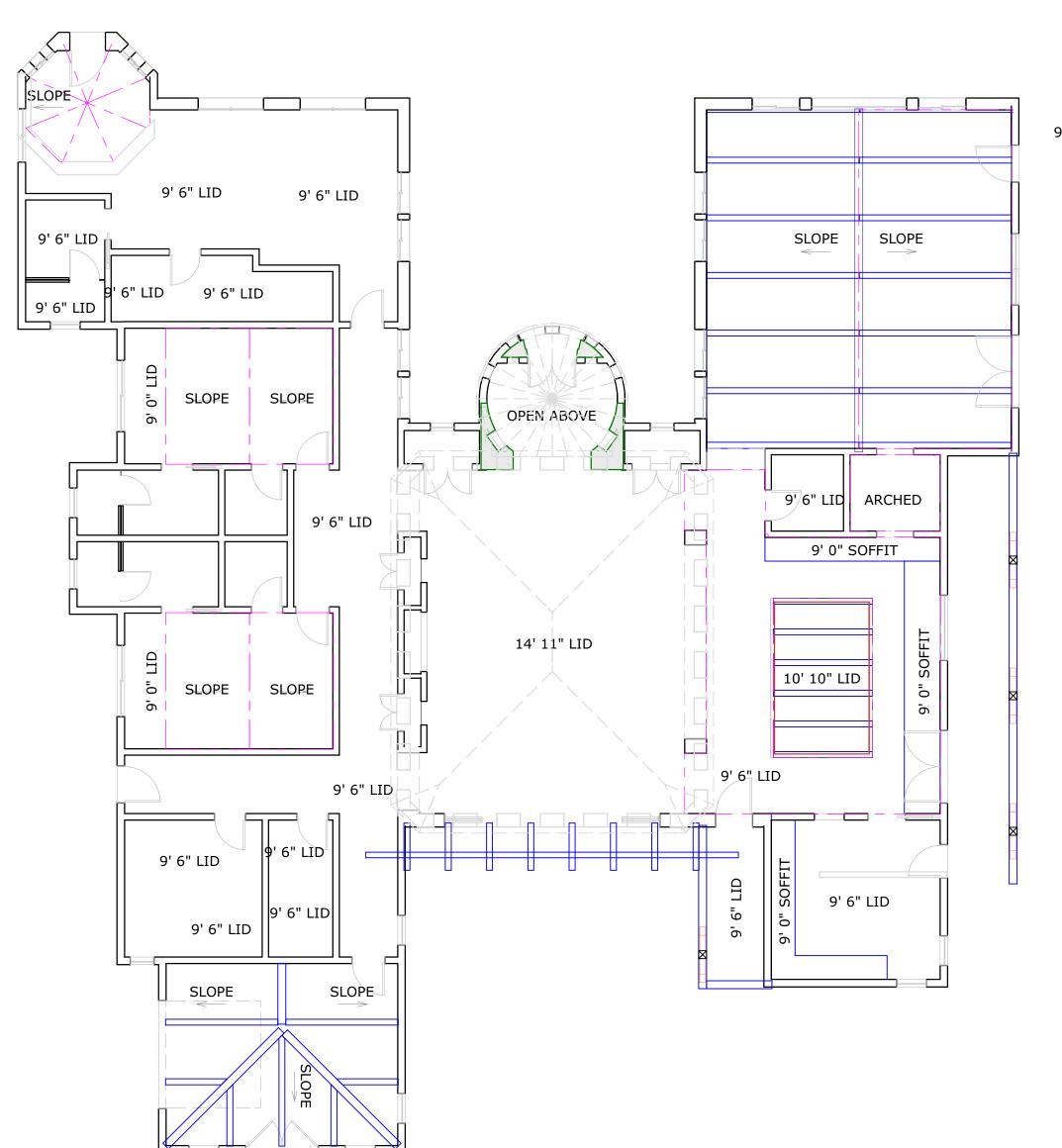


LOFT RCP PLAN **ROOF PLAN** SCALE 1/8"=1' ------MAIN FLOOR RCP PLAN NOTE- DIMENSIONS ARE TO FACE OF FRAMING. _=!#====

SCALE 1/8"=1' NOTE- DIMENSIONS ARE TO FACE OF FRAMING.



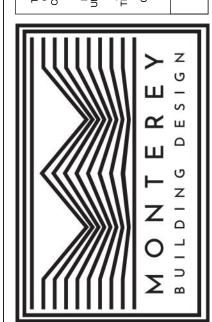
SCALE 1/8"=1'

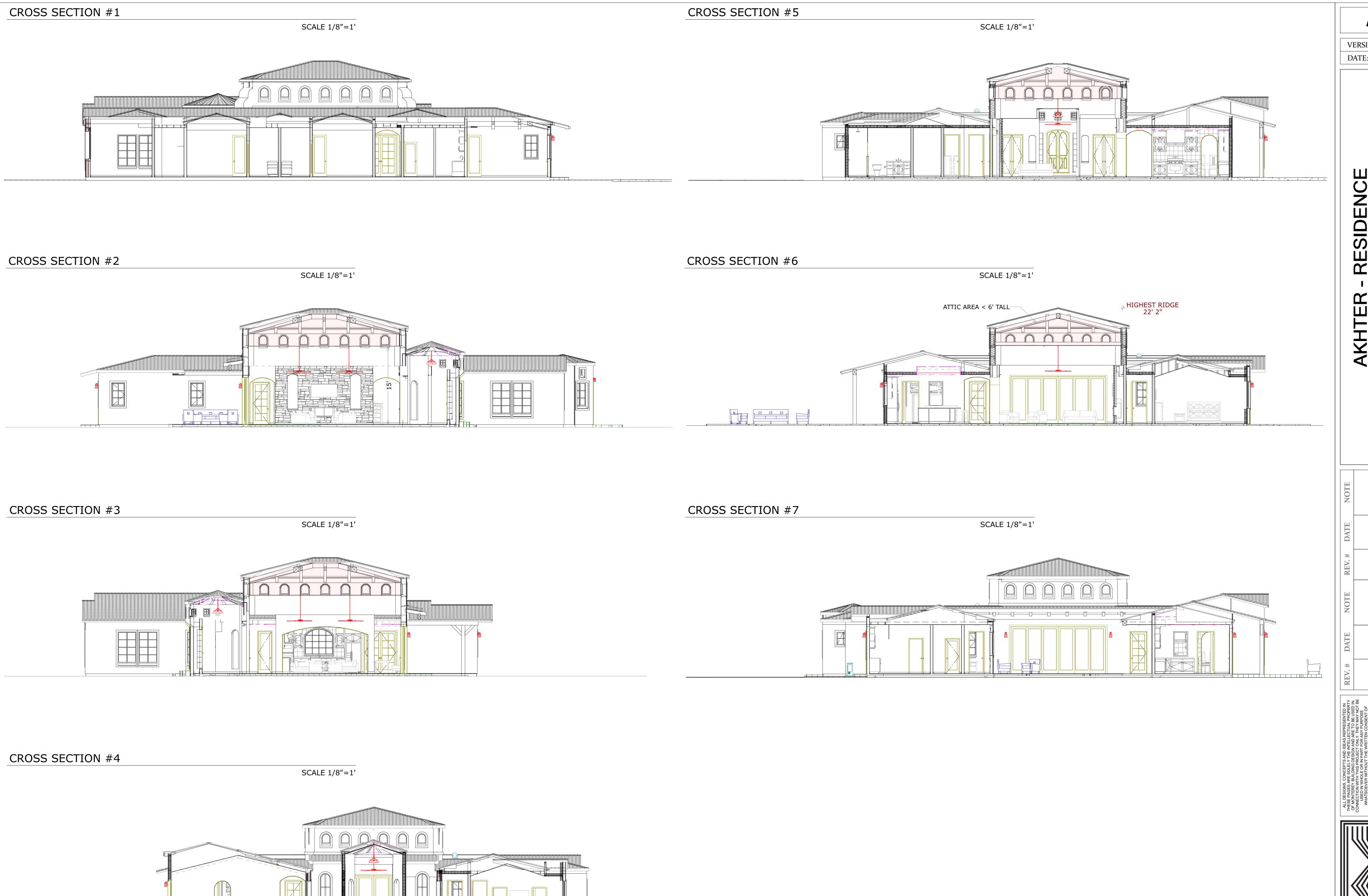


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CROSS SECTIONS

