



PROJECT DESCRIPTION

OWNER PROPOSES TO CONSTRUCT A 4,987 SQFT SINGLE FAMILY RESIDENCE. THE EXTERIOR TO BE STUCCO FINISHED AND THE ROOF TO BE COVERED BY SPANISH TILE TYPE ROOFING.

CONTACT INFO

OWNER / APPLICANT-
 SAL AKHTER
 2580 BRIDLE PATH DRIVE
 GILROY CA 95020
 salakhter@gmail.com
 (408) 205-9936

DESIGNER-
 MONTEREY BUILDING DESIGN
 PO BOX 222161 CARMEL, CA 93922
 info@montereybuildingdesign.com
 (831) 620-9170

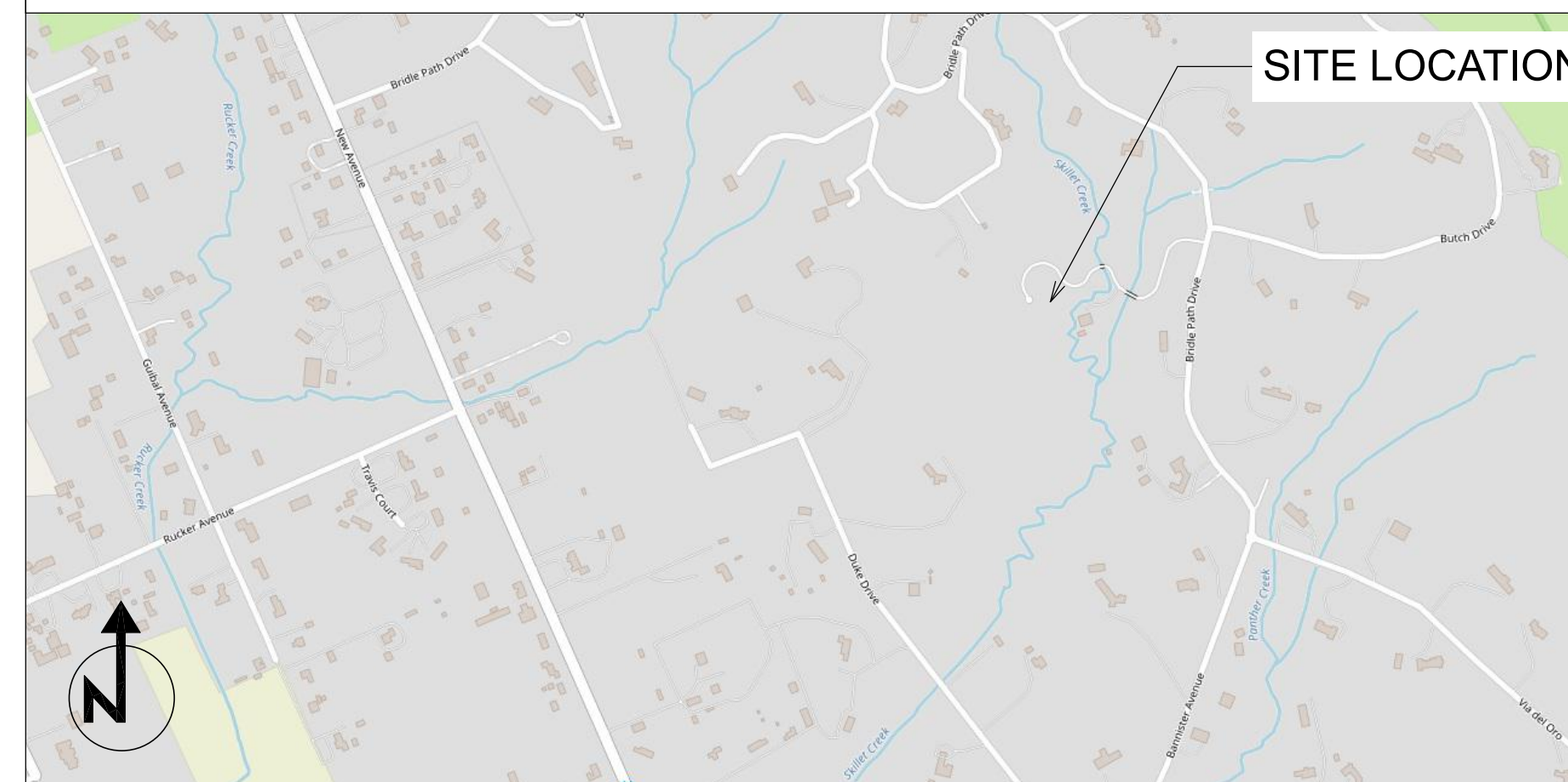
RELEVANT CODES

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING CODES-
 - CALIFORNIA RESIDENTIAL CODE 2019
 - CALIFORNIA MECHANICAL CODE 2019
 - CALIFORNIA PLUMBING CODE 2019
 - CALIFORNIA ELECTRICAL CODE 2019
 - CALIFORNIA FIRE CODE 2019
 - CALIFORNIA ENERGY CODE 2019
 - CALIFORNIA GREEN BUILDING STANDARDS CODE 2019

NOTES

CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR HOMES BUILT PRIOR TO 1994, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET CURRENT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

SITE LOCATION



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SITE DETAILS

ADDRESS:	2580 BRIDLE PATH DRIVE, GILROY
APN:	AP# 830-17-059
OWNER/APPLICANT:	SAL AKHTER
ZONING:	HS-D1
SITE AREA:	10.03 ACRES
RESIDENCE:	4,670 SQFT
WASTE:	SEPTIC
WATER:	MUNICIPAL
ELECTRICITY/GAS:	PGE
CONSTRUCTION TYPE:	V-B
OCCUPANCY:	R-3
FIRE SUPPRESSION:	YES

AREA CALCULATION

SITE COVERAGE CALCULATION	
LOT SIZE	438,012 SQFT
RESIDENCE COVERAGE	4,987 SQFT
HARDSCAPE	3,685 SQFT
TOTAL COVERAGE	8,672 SQFT
PERCENT OF COVERAGE	2.0%

FLOOR AREA	
LOT SIZE	438,012 SQFT
LIVING AREA	4,987 SQFT
FLOOR AREA TOTAL	4,987 SQFT
FLOOR AREA RATIO	1.1%

REV. #	DATE	NOTE	REV. #	DATE	NOTE

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THIS DOCUMENT ARE THE PROPERTY OF MONTEREY BUILDING DESIGN AND ARE TO BE USED IN CONNECTION WITH THE PROJECT FOR WHICH THEY WERE DEVELOPED. NO PART OF THIS DOCUMENT OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF MONTEREY BUILDING DESIGN. THE USER AGREES TO HOLD MONTEREY BUILDING DESIGN HARMLESS FROM AND AGAINST ALL LIABILITY FOR THE CONSTRUCTION OR MAINTENANCE OF THE PROJECT.



GENERAL BUILDING NOTES

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

CALIFORNIA GREEN BUILDING NOTES:

SEPERATE AND RECYCLE AT LEAST 65% OF ALL CONSTRUCTION WASTE. ADHESIVES, SEALANTS, CAULKS, UNITS, STAINS AND OTHER COATINGS SHALL COMPLY WITH VOC LIMITS SET FORTH IN TABLE 4.504.1, TABLE 4.504-2 AND TABLE 4.504.3. CONTRACTOR SHALL PROVIDE BUILDING DEPARTMENT WITH MANUFACTURERS PRODUCT SPECIFICATIONS UPON REQUEST. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.

CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR PRESERVATIVE TREATED LUMBER SHALL BE PROTECTED BY A BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OR SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE SIMPSON HU OR EQUAL. ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

WINDOW NOTES:

ALL WINDOWS SHALL CONFORM TO WINDOW SCHEDULE.

DOOR NOTES:

ALL WALK-THRU EXTERIOR DOORS SHALL BE SOLID CORE INTERIOR DOORS SHALL BE PAINTED. EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

CONCRETE NOTES:

1. ALL CONCRETE AND REINFORCEMENT SHALL CONFORM TO THE MORE STRINGENT REQUIREMENTS OF THE LATEST EDITION OF EITHER THE A.C.I., C.R.C., OR C.B.C.
2. ALL CONCRETE SHALL ATAIN A MINIMUM STRENGTH OF 2500 P.S.I. IN 28 DAYS U.N.O. DESIGN MIXTURE SHALL BE 5-1/2 SACK CEMENT PER CUBIC YARD CONCRETE. COARSE AGGREGATE SHALL BE 3/4" U.N.O. THE USE OF A DESIGN PUMP MIXTURE MAY BE SUBSTITUTED IF THE CEMENT RATIO IS INCREASED TO 6 SACKS U.N.O.
3. ALL CEMENT SHALL BE PORTLAND TYPE I OR TYPE II OF A.S.T.M. (C-150)
4. THERE SHALL BE NO ADMIXTURES USED UNLESS SPECIFIED OR APPROVED BY THE ENGINEER.
5. ALL CONCRETE SHALL BE VIBRATED AND PLACED IN ACCORDANCE WITH A.S.T.M. (C-143) U.N.O.
6. ALL CONCRETE SHALL BE CURED BY KEEPING THE EXPOSED SURFACES CONTINUOUSLY MOIST FOR A 7 DAY PERIOD AND BY USING AN APPROVED CURING COMPOUND AFTER 7 DAY WET CURE.
7. ALL CONSTRUCTION JOINT LOCATIONS SHALL BE APPROVED BY THE ENGINEER.
8. SLABS SHALL NOT EXCEED 20' IN ANY DIRECTION WITHOUT A CONTROL JOINT PERPENDICULAR TO THAT DIRECTION U.N.O.
9. THE ENGINEER SHALL BE NOTIFIED PROMPTLY OF CONCRETE WHICH SHOWS HONEYCOMBING, SPALLING, CRACKING, OR OTHER SIGNS OF INADEQUATE STRENGTH; LACK, MISPLACEMENT, OR UNDER SIZING OF ANCHOR HARDWARE. ANY UNCERTAINTY ABOUT HARDWARE OR REINFORCEMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PLACING OF CONCRETE.
10. THE BUILDING INSPECTOR AND, WHEN SPECIFIED, ENGINEER SHALL INSPECT REINFORCEMENT AND HARDWARE BEFORE CONCRETE IS PLACED.
11. ALL FALSEWORK AND FORMING DESIGN AND CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. FALSEWORK MUST STAY IN PLACE UNTIL CONCRETE REACHES A STRENGTH OF 2000 P.S.I.
12. CONCRETE CYLINDER SAMPLES SHOULD BE TAKEN THROUGHOUT EACH STAGE OF THE FOUNDATION PLACEMENT AND TESTED FOR COMPRESSIVE STRENGTH WHERE MINIMUM REQUIRED STRENGTH IS GREATER THAN 2500 P.S.I.
13. ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS.
14. HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.
15. ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C. RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER

STRUCTURAL HARDWARE:

1. ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS.
2. HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.
3. ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C. RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER.

SITE CONTROL DURING CONSTRUCTION:

THE APPLICANT AND/OR PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING DUST CONTROL MEASURES: 1. WATER ALL ACTIVE CONSTRUCTION AREAS TWICE PER DAY AND USE EROSION CONTROL MEASURES TO PREVENT WATER RUNOFF CONTAINING SILT AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM. 2. COVER TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIAL. 3. PAVE, WATER OR APPLY NON-TOXIC SOIL STABILIZERS ON UNPAVED ACCESS ROADS AND PARKING AREAS. 4. SWEEP PAVED ACCESS ROADS AND PARKING AREAS DAILY. 5. SWEEP STREETS DAILY IF VISIBLE MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.

HOURS OF CONSTRUCTION :

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED TO CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION. DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES: SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL SOUND- DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

ADDRESS IDENTIFICATION:

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPLITTED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 5/16 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POST OR MARK SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

ROT / DECAY RESISTANCE NOTES:

R317.1 LOCATION REQUIRED PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1

1. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHERE CLOSER THAN 18 INCHES (457 MM) OR WOOD GIRDERS WHERE CLOSER THAN 12 INCHES (305 MM) TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.
2. WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM THE EXPOSED GROUND.
3. SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
4. THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1/2 INCH (12.7 MM) ON TOPS, SIDES AND ENDS.
5. WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.
6. WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER. THE IMPERVIOUS MOISTURE BARRIER SYSTEM PROTECTING THE STRUCTURE SUPPORTING FLOORS SHALL PROVIDE POSITIVE DRAINAGE OF WATER THAT INFILTRATES THE MOISTURE-PERMEABLE FLOOR TOPPING.
7. WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE, EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS.

R317.1.1 FIELD TREATMENT FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4.

R317.1.2 GROUND CONTACT ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES INTENDED FOR HUMAN OCCUPANCY SHALL BE APPROVED PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT USE, EXCEPT THAT UNTREATED WOOD USED ENTIRELY BELOW GROUNDWATER LEVEL OR CONTINUOUSLY SUBMERGED IN FRESH WATER SHALL NOT BE REQUIRED TO BE PRESERVATIVE TREATED.

RS07.2.3 FASTENERS AND CONNECTORS METAL FASTENERS AND CONNECTORS USED FOR ALL DECKS SHALL BE IN ACCORDANCE WITH SECTION R317.3 AND TABLE R507.2.3

ITEM	MATERIAL	MINIMUM FINISH/COATING	ALTERNATE FINISH/ COATING
NAILS AND TIMBER RIVETS	IN ACCORDANCE WITH ASTM F1667	HOT-DIPPED GALVANIZED PER ASTM A153	STAINLESS STEEL, SILICON BRONZE OR COPPER
BOLTS LAG SCREWS INCLUDING NUTS AND WASHERS)	IN ACCORDANCE WITH ASTM A307 (BOLTS), ASTM A563 (NUTS), ASTM F844 (WASHERS)	HOT-DIPPED GALVANIZED PER ASTM A153, CLASS C (CLASS D PER SECTION R507.2.3) OR MECHANICALLY GALVANIZED PER ASTM B995, CLASS 55 OR 410 STAINLESS STEEL	STAINLESS STEEL, SILICON BRONZE OR COPPER
METAL CONNECTORS	PER MANUFACTURERS' SPECIFICATION	ASTM A653 TYPE G185 ZINC COATED GALVANIZED STEEL OR POST HOT-DIPPED GALVANIZED PER ASTM A123 PROVIDING A MINIMUM AVERAGE COATING WEIGHT OF 2.0 OZ./FT ²	STAINLESS STEEL

CBG 2304.10.5.1 FASTENERS AND CONNECTORS FOR PRESERVATIVE-TREATED WOOD FASTENERS, INCLUDING NUTS AND WASHERS, IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. STAPLES SHALL BE OF STAINLESS STEEL. FASTENERS OTHER THAN NAILS, STAPLES, TIMBER RIVETS, WOOD SCREWS AND LAG SCREWS SHALL BE PERMITTED TO BE OF MECHANICALLY DEPOSITED ZINC-COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM B995, CLASS 55 MINIMUM. CONNECTORS THAT ARE USED IN EXTERIOR APPLICATIONS AND IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL HAVE COATING TYPES AND WEIGHTS IN ACCORDANCE WITH THE TREATED WOOD OR CONNECTOR MANUFACTURER'S RECOMMENDATIONS. IN THE ABSENCE OF MANUFACTURER'S RECOMMENDATIONS, NOT LESS THAN ASTM A653, TYPE G185 ZINC-COATED GALVANIZED STEEL, OR EQUIVALENT, SHALL BE USED. EXCEPTION. PLAIN CARBON STEEL FASTENERS, INCLUDING NUTS AND WASHERS, IN CONTACT WITH ZINC BORATE PRESERVATIVE-TREATED WOOD IN AN INTERIOR, DRY ENVIRONMENT SHALL BE PERMITTED.

2304.12 PROTECTION AGAINST DECAY AND TERMITES WOOD SHALL BE PROTECTED FROM DECAY AND TERMITES IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTIONS 2304.12.1 THROUGH 2304.12.7.

POLLUTION PREVENTION PLANNING

Every construction project must have an erosion and sediment control plan to prevent soil and materials from leaving the site. Basic steps for this plan include:

1. Understand local jurisdictional stormwater management requirements and create your plan to match your construction site and project needs.
2. Identify the storm drains and the conveyance system (s) nearest the construction site area and provide plan to protect them from worksite pollutants.
3. Obtain all local jurisdictional permits, including traffic control permits, if needed.
4. Schedule construction activities so that the soil is not exposed for long period of time. Limit grading to small areas; install key sediment control practices before site grading begins.
5. Contact the inspector assigned to your project to answer any questions and ensure compliance. Modify BMPs as job requires.



Photo courtesy US EPA

PREVENT POLLUTION AND AVOID FINES (3 C'S)

Control: The best line of defense is to use good house-keeping practices and sediment/erosion control BMPs to prevent materials and debris from entering the storm drain.

Contain: Isolate your work area to prevent discharges from leaving the site. Store materials out of the rain and in secondary containment, if necessary.

Capture: Sweep or vacuum up any material that could possibly run offsite. Dispose of wastes properly by checking product labels for disposal requirements.

Additional Tips to Support BMPs:

- Schedule site stabilization activities, such as landscaping, to be completed immediately after the land has been graded to its final contour.
- Inspect & maintain silt fences and straw wattles after each rainstorm. Make sure stormwater is not flowing around these devices or other vegetative buffers. Cover all dirt piles to protect from wind and rain.
- Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles.
- Minimize amount of vegetation cleared from the site. Protect and install vegetative buffers along waterbodies to slow and filter stormwater runoff.
- Properly dispose of all waste materials. Never dump unused or waste product on the ground or in a storm drain. Don't hose off surfaces to clean. Sweep and place waste in dumpster.
- Break up long slopes with sediment barriers. Install structural BMPs to trap sediment on downslope sides of the lot.
- When in doubt, contact local jurisdiction for guidance.

ONLINE RESOURCES

- California Storm Water Quality Association - www.camphandbooks.com
- International BMP Database - www.bmpdatabase.org
- California State Water Board - www.waterboards.ca.gov



5 Harris Ct., Bldg D
Monterey, CA 93940

Phone: (831) 645.4621
Fax: (831) 372.6178
Web: MontereySEA.org



Got CONSTRUCTION?

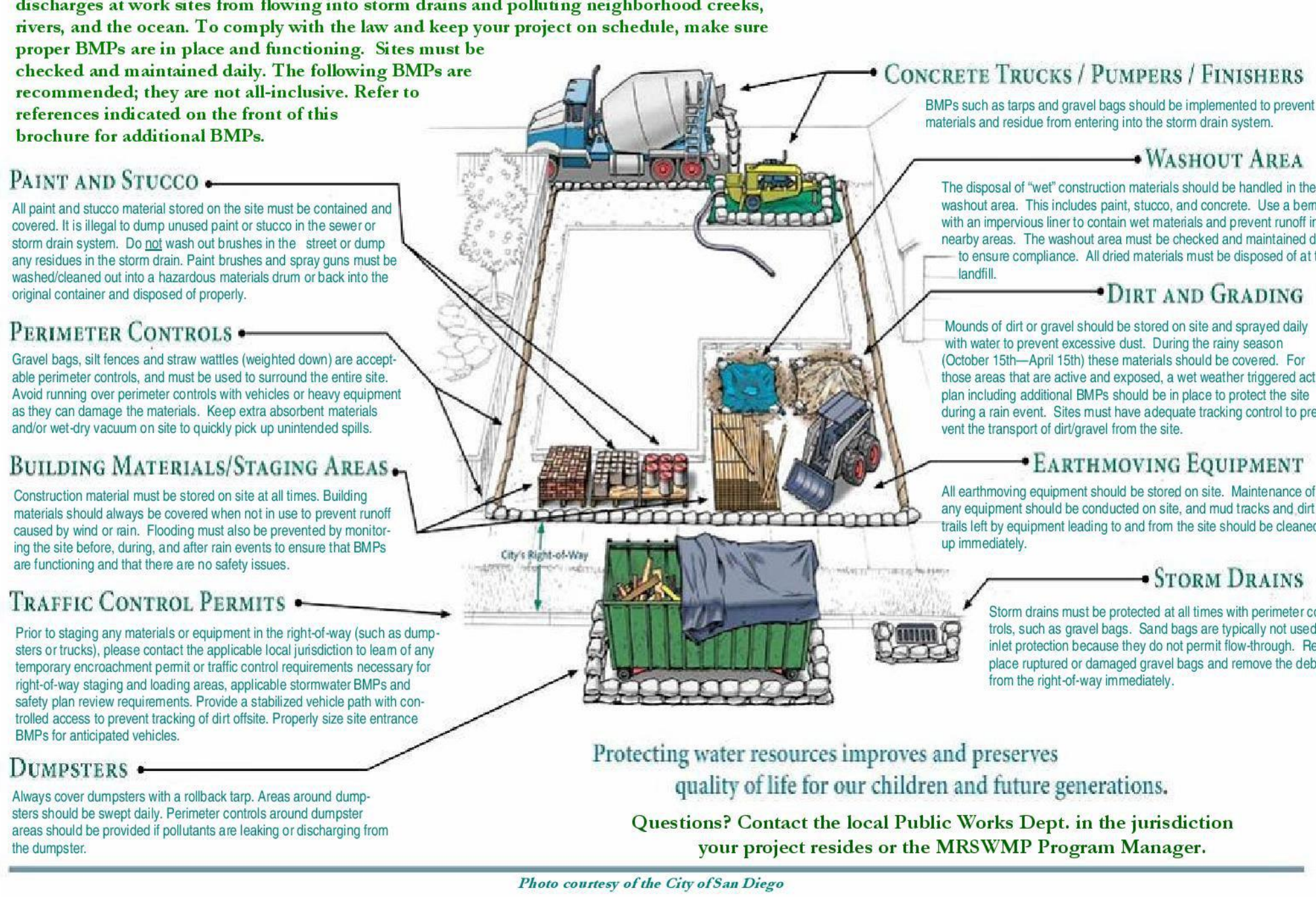
A STORM WATER POLLUTION PREVENTION GUIDE FOR THE CONSTRUCTION INDUSTRY

MontereySEA.org
(831) 645-4621

CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLU-

The Monterey Regional Stormwater Management Program (MRSWMP) prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are recommended; they are not all-inclusive. Refer to references indicated on the front of this brochure for additional BMPs.



Property Location Information

APN: 830-17-059 [Assessor's Map](#)
Site Address: 2580 BRIDLE PATH DR GILROY CA 95020
Recorded Size (Assessor Database): 436,907 sq. ft. / 10 acres
Computed Size (GIS): 438,012 sq. ft. / 10.1 acres
TRA: 67011

Planning and Development Information

General Plan: **Hillsides (100%)**
USA: **None**
SOI: **None**
Zoning: **HS-d1 (100%)**
Supervisor District: 1
Approved Building Site: **Parcel is an Approved Building Site**

Special Area Policies and Information

- HCP Area
- **HCP Rural Development Areas: IN**
- Fire Responsibility Area: SRA (100%)
- Cal Fire SRA Hazard Class: Moderate (78.3%), High (21.7%)
- Wildland Urban Interface: IN
- Fire Protection District: South Santa Clara County Fire Protection District
- Geohazard: County fault rupture hazard zone
- Geohazard: County landslide hazard zone
- Historic Parcel: NO
- FEMA Flood Zone: D (100%)
- Watershed: Central Coast
- Rain isohyets: 18 inches
- Nearest named creek: SKILLET CREEK (0 feet)
- Nearest named lake: Coyote Reservoir (5949 feet)



A01.1

VERSION: 3.0
DATE: 1/31/2023

AKHTER - RESIDENCE

NOTES

2580 BRIDLE PATH DRIVE
GILROY, CA 95020
AP# 830-17-059

PLANNING APPLICATION PLAN SET

REV. #	DATE	NOTE	REV. #	DATE	NOTE

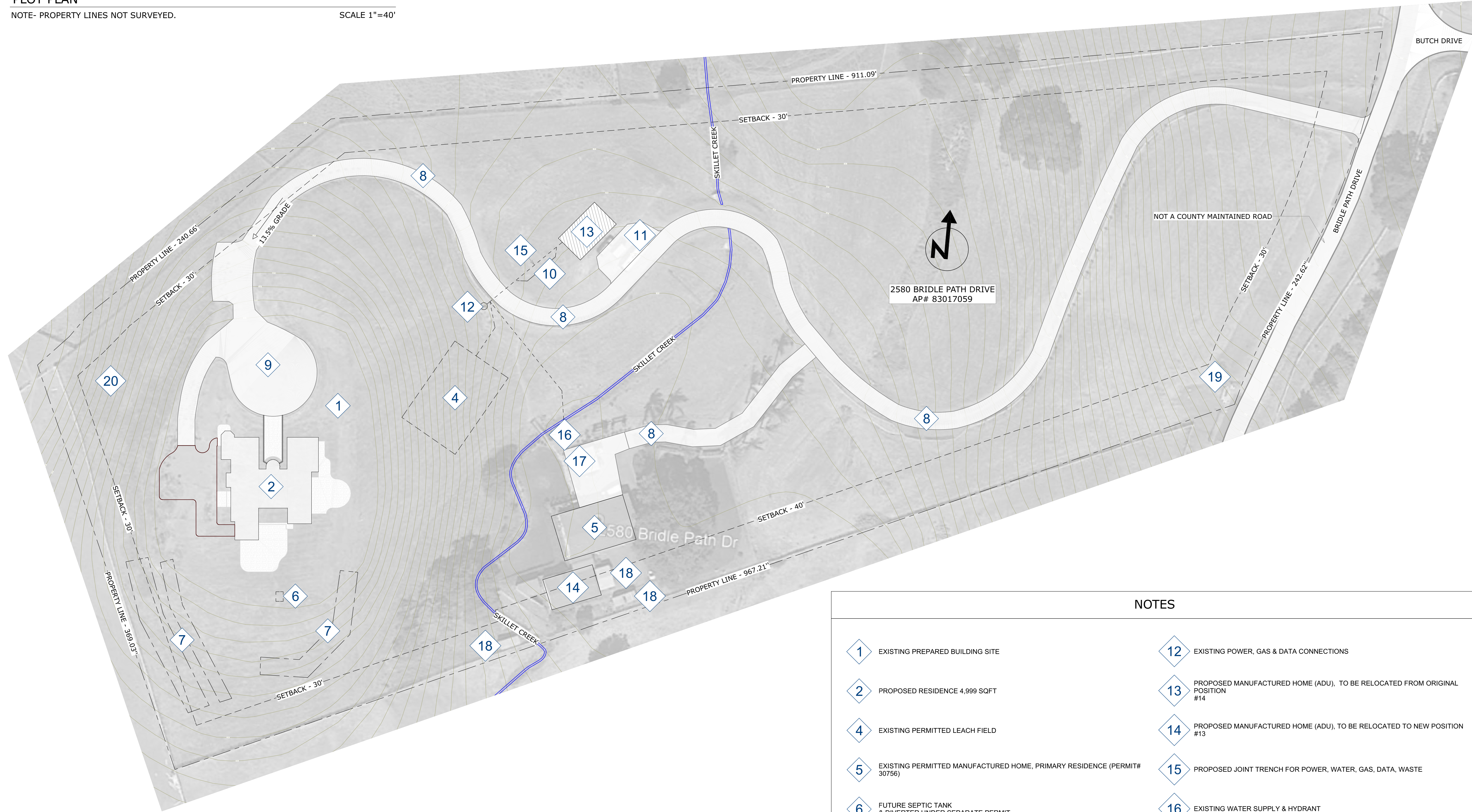
ALL DESIGNS, CONCEPTS AND DETAILS REPRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF MONTEREY BUILDING DESIGN AND ARE TO BE USED IN CONNECTION WITH THE PROJECT AND FOR THE PROJECT ONLY. MONTEREY BUILDING DESIGN SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE USER OF THESE DRAWINGS IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. MONTEREY BUILDING DESIGN ASSUMES NO LIABILITY FOR THE CONSTRUCTION OR MAINTENANCE OF THE PROJECT.



PLOT PLAN

NOTE- PROPERTY LINES NOT SURVEYED.

SCALE 1"=40'



A02

VERSION: 3.0
DATE: 1/31/2023

AKHTER - RESIDENCE

PLOT PLAN

PLANNING APPLICATION PLAN SET

2580 BRIDLE PATH DRIVE
GILROY, CA 95020
AP# 830-17-059

NOTES

- | | | | |
|----|---|----|--|
| 1 | EXISTING PREPARED BUILDING SITE | 12 | EXISTING POWER, GAS & DATA CONNECTIONS |
| 2 | PROPOSED RESIDENCE 4,999 SQFT | 13 | PROPOSED MANUFACTURED HOME (ADU), TO BE RELOCATED FROM ORIGINAL POSITION #14 |
| 4 | EXISTING PERMITTED LEACH FIELD | 14 | PROPOSED MANUFACTURED HOME (ADU), TO BE RELOCATED TO NEW POSITION #13 |
| 5 | EXISTING PERMITTED MANUFACTURED HOME, PRIMARY RESIDENCE (PERMIT# 30756) | 15 | PROPOSED JOINT TRENCH FOR POWER, WATER, GAS, DATA, WASTE |
| 6 | FUTURE SEPTIC TANK & DIVERTER UNDER SEPARATE PERMIT | 16 | EXISTING WATER SUPPLY & HYDRANT |
| 7 | FUTURE LEACH FIELD UNDER SEPARATE PERMIT | 17 | EXISTING CARPORT TO BE LEGALIZED UNDER SEPARATE PERMIT |
| 8 | EXISTING ASPHALT DRIVEWAY | 18 | EXISTING STRUCTURES TO BE REMOVED |
| 9 | EXISTING TURN-AROUND | 19 | EXISTING WATER CONNECTION |
| 10 | PROPOSED 1,500 GAL. SEPTIC TANK | 20 | THREE NEW 3000 GAL. WATER TANKS |
| 11 | EXISTING PARKING AREA | | |

REV. #	DATE	NOTE

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FLOOR PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

SCALE 1/8"=1'



FLOOR AREA	
LOT SIZE	438,012 SQFT
LIVING AREA	4,987 SQFT
FLOOR AREA TOTAL	4,987 SQFT
FLOOR AREA RATIO	1.1%

A03

VERSION: 3.0
DATE: 1/31/2023

AKHTER - RESIDENCE
2580 BRIDLE PATH DRIVE
GILROY, CA 95020
AP# 830-17-059

REV. #	DATE	NOTE	REV. #	DATE	NOTE

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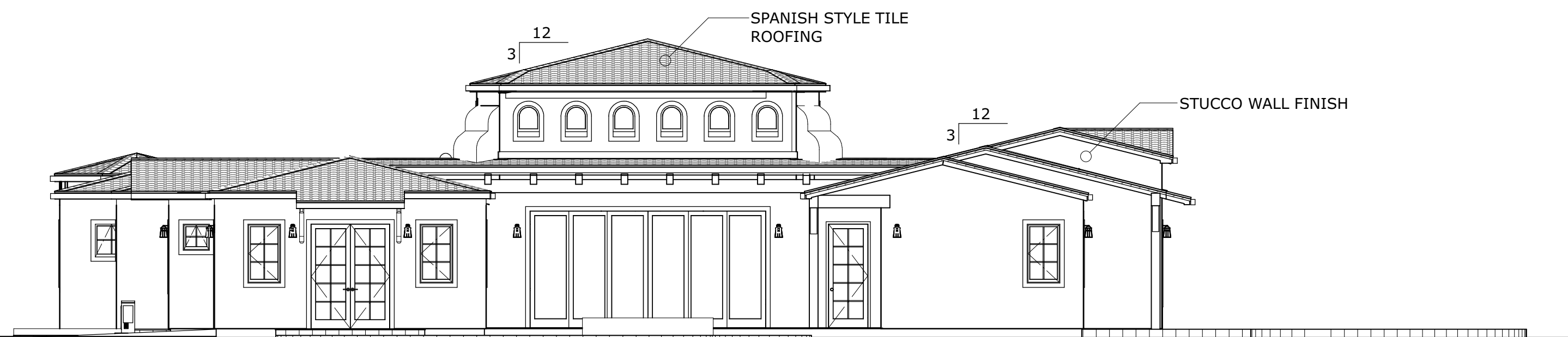
NORTH ELEVATION

SCALE 1/8"=1'



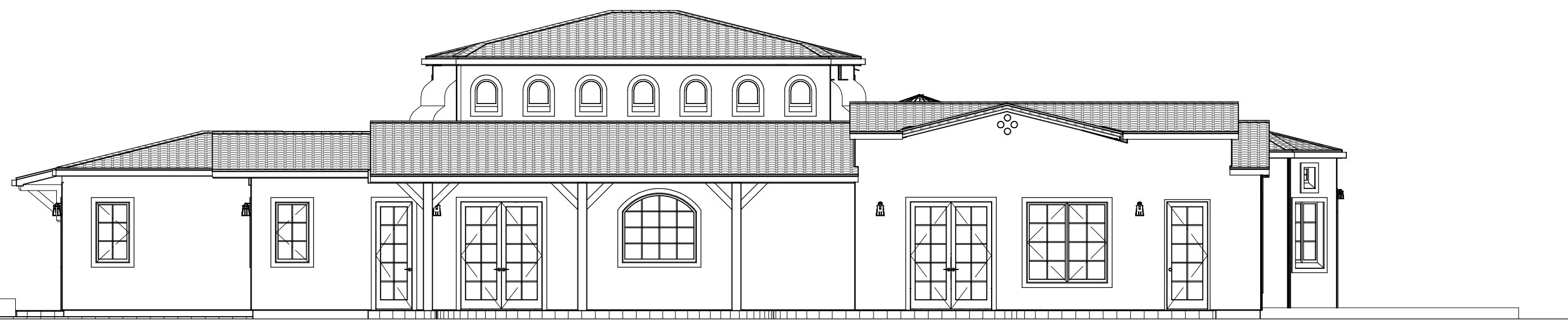
SOUTH ELEVATION

SCALE 1/8"=1'



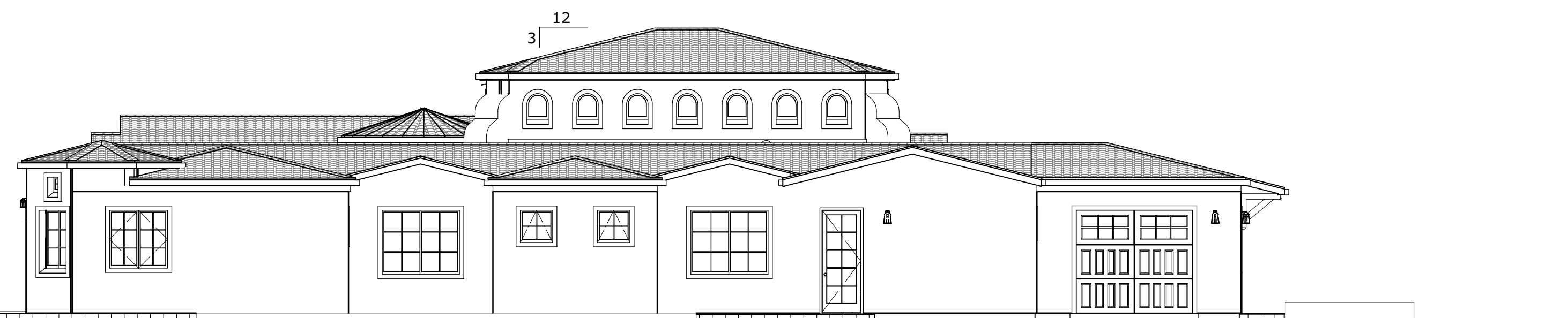
EAST ELEVATION

SCALE 1/8"=1'



WEST ELEVATION

SCALE 1/8"=1'



A04.1

VERSION: 3.0

DATE: 1/31/2023

AKHTER - RESIDENCE
EXTERIOR ELEVATIONS
 PLANNING APPLICATION PLAN SET

2580 BRIDLE PATH DRIVE
 GILROY, CA 95020
 AP# 830-17-059

REV. #	DATE	NOTE	REV. #	DATE	NOTE
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		DOOR SCHEDULE									
NUMBER	QTY	FLOOR	DESCRIPTION	SIZE	WIDTH	HEIGHT	HINGE SIDE	JAMB SIZE	THICKNESS	ELEV.	
D01	1	1	DOUBLE HINGED-CCR04046 CAMINO	4080 L/R IN	48"	96"	L/R	3/4"x6 1/2"	1 3/4"		
D02	1	1	EXT. 3+3-PANEL SLIDER-GLASS PANEL	18090 L/R EX	216"	108"	L/R	3/4"x13 9/16"	1 3/4"		
D03	1	1	GARAGE-GARAGE DOOR CHD05	9080	108"	96"		3/4"x7 5/8"	1 3/4"		
D04	1	1	HINGED-PANEL	2680 L IN	30"	96"	L	3/4"x6 1/2"	1 3/4"		
D05	2	1	DOUBLE HINGED-PANEL	4080 L/R IN	48"	96"	L/R	3/4"x6 1/2"	1 3/4"		
D06	2	1	POCKET-PANEL	2668 R	30"	80"	R	3/4"x6 1/2"	1 3/4"		
D07	2	1	DOUBLE HINGED-PANEL	3080 L/R IN	36"	96"	L/R	3/4"x6 1/2"	1 3/4"		
D08	2	1	HINGED-PANEL	2880 L IN	32"	96"	L	3/4"x6 1/2"	1 3/4"		
D09	1	1	HINGED-GLASS PANEL	3080 R IN	36"	96"	R	3/4"x13 9/16"	1 3/4"		
D10	2	1	HINGED-PANEL	2880 R IN	32"	96"	R	3/4"x6 1/2"	1 3/4"		
D11	2	1	HINGED-GLASS PANEL	3080 R IN	36"	96"	R	3/4"x7 5/8"	1 3/4"		
D14	1	1	EXT. HINGED-GLASS PANEL	2880 L EX	32"	96"	L	3/4"x7 5/8"	1 3/4"		
D17	2	1	HINGED-PANEL	2668 R IN	30"	80"	R	3/4"x6 1/2"	1 3/4"		
D18	3	1	EXT. DOUBLE HINGED-GLASS PANEL	6080 L/R EX	72"	96"	L/R	3/4"x7 5/8"	1 3/4"		
D19	1	1	POCKET-PANEL	3080 R	36"	96"	R	3/4"x6 1/2"	1 3/4"		
D24	3	1	HINGED-PANEL	2668 L IN	30"	80"	L	3/4"x6 1/2"	1 3/4"		
D30	1	1	EXT. HINGED-CCR04037A AUGUSTINE	3080 R EX	36"	96"	R		1 3/4"		
D34	1	1	POCKET-PANEL	2668 L	30"	80"	L	3/4"x6 1/2"	1 3/4"		

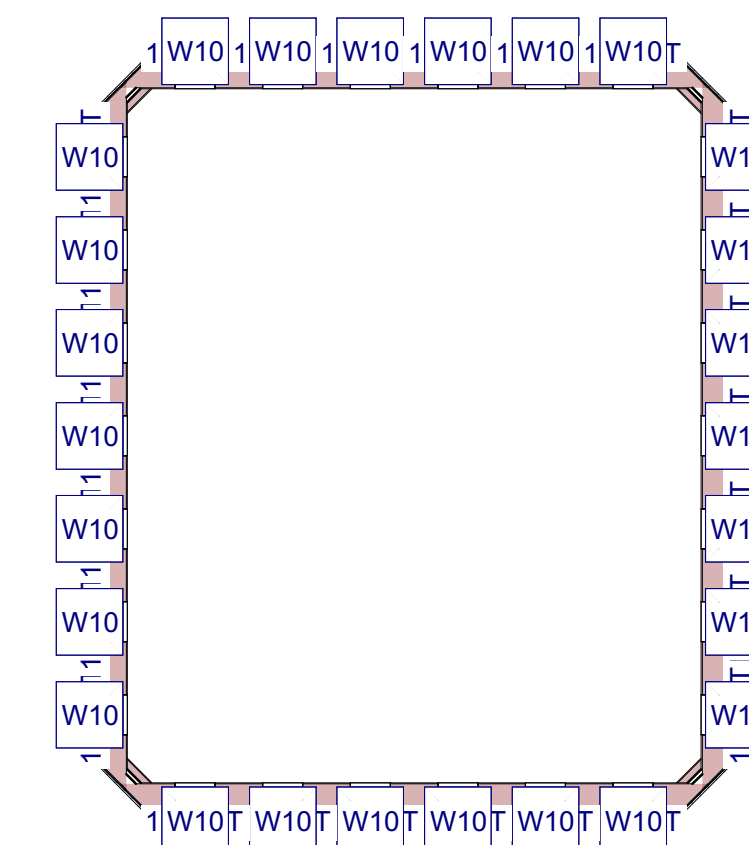
R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
EXCEPTION: EXTERIOR BALCONIES LESS THAN 60 SQUARE FEET (5.6 M2) AND ONLY ACCESSED FROM A DOOR ARE PERMITTED TO HAVE A LANDING THAT IS LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL.
R311.3.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1 1/2 INCHES (38 MM) LOWER THAN THE TOP OF THE THRESHOLD.
EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHERE EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.
R311.3.2 FLOOR ELEVATIONS AT OTHER EXTERIOR DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD. **EXCEPTION:** A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.

		WINDOW SCHEDULE									
NUMBER	QTY	FLOOR	DESCRIPTION	WIDTH	HEIGHT	TEMPERED	EGRESS	COMMENTS	ELEV.		
W01	4	1	SINGLE CASEMENT-HL	30"	54"	YES					
W02	1	1	DOUBLE CASEMENT-LHL/RHR	54"	54"	YES					
W04	3	1	SINGLE AWNING	30"	30"	YES					
W05	1	1	LEFT SLIDING	48"	72"	YES					
W09	1	1	FIXED GLASS-AT	66"	62"	YES					
W10	26	2	FIXED GLASS-CT	20"	24"			FAUX WINDOW			
W12	1	1	FIXED GLASS-AT	96"	92"	YES					
W16	2	1	SINGLE CASEMENT-HR	30"	54"	YES					
W18	2	1	LEFT SLIDING	36"	54"	YES					
W19	2	1	FIXED GLASS-CT	24"	96"	YES					
W24	1	1	SINGLE AWNING	24"	24"	YES					
W26	2	1	LEFT SLIDING	72"	60"	YES	YES				
W27	1	1	RIGHT SLIDING	48"	72"	YES					
W30	1	1	DOUBLE CASEMENT-LHL/RHR	72"	72"	YES					
W31	9	1	FIXED GLASS	14"	14"	YES					
W36	8	1	LEFT SLIDING	42"	72"	YES					
W38	2	1	DOUBLE CASEMENT-LHL/RHR-AT	66"	70"	YES					

LOFT DOOR / WINDOW PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

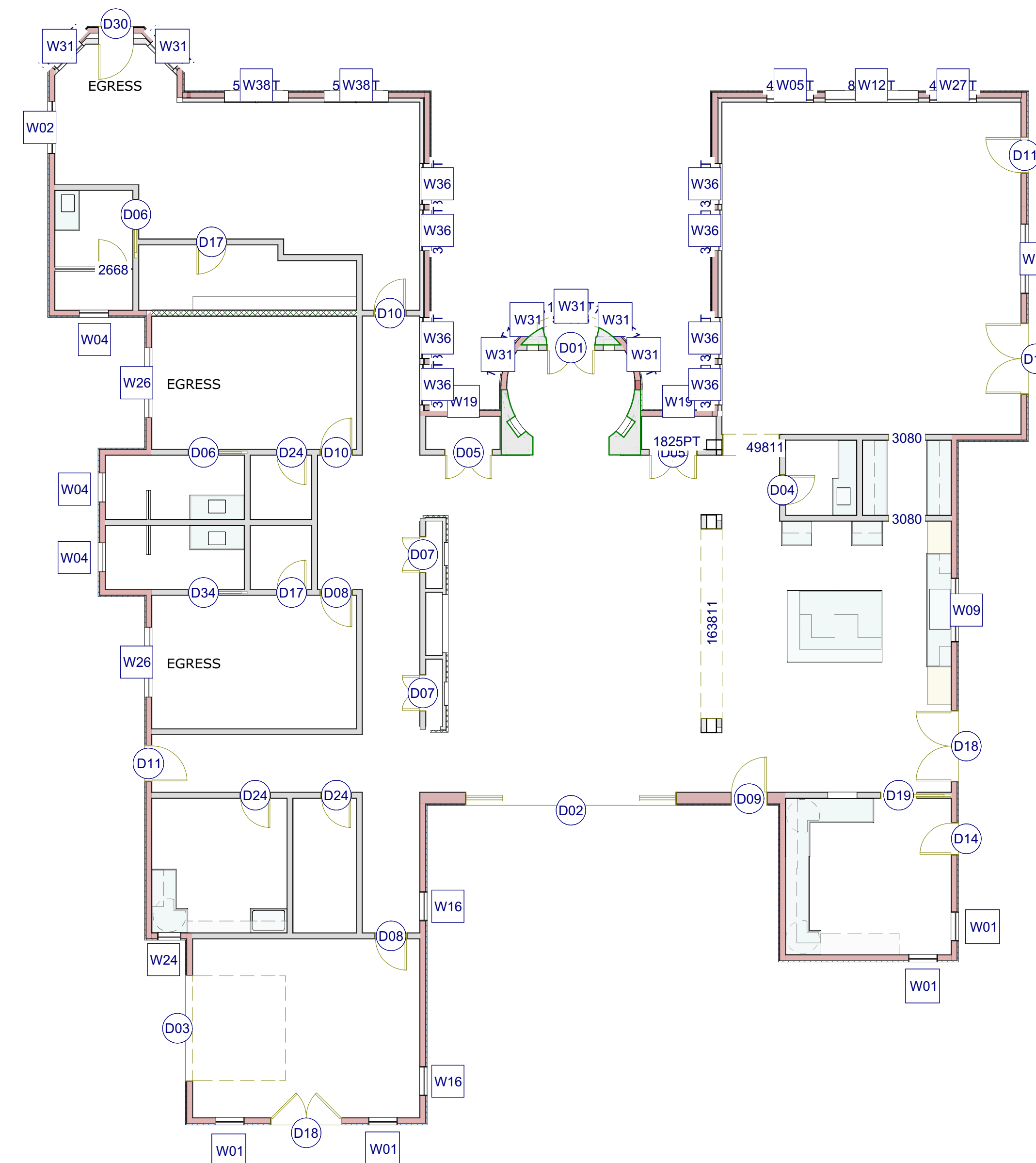
SCALE 1/8"=1'



MAIN FLOOR DOOR / WINDOW PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

SCALE 1/8"=1'



A05

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DATE: 1/31/2023

AKHTER - RESIDENCE

DOOR / WINDOW PLAN
PLANNING APPLICATION PLAN SET

2580 BRIDLE PATH DRIVE
GILROY, CA 95020
AP# 830-17-059

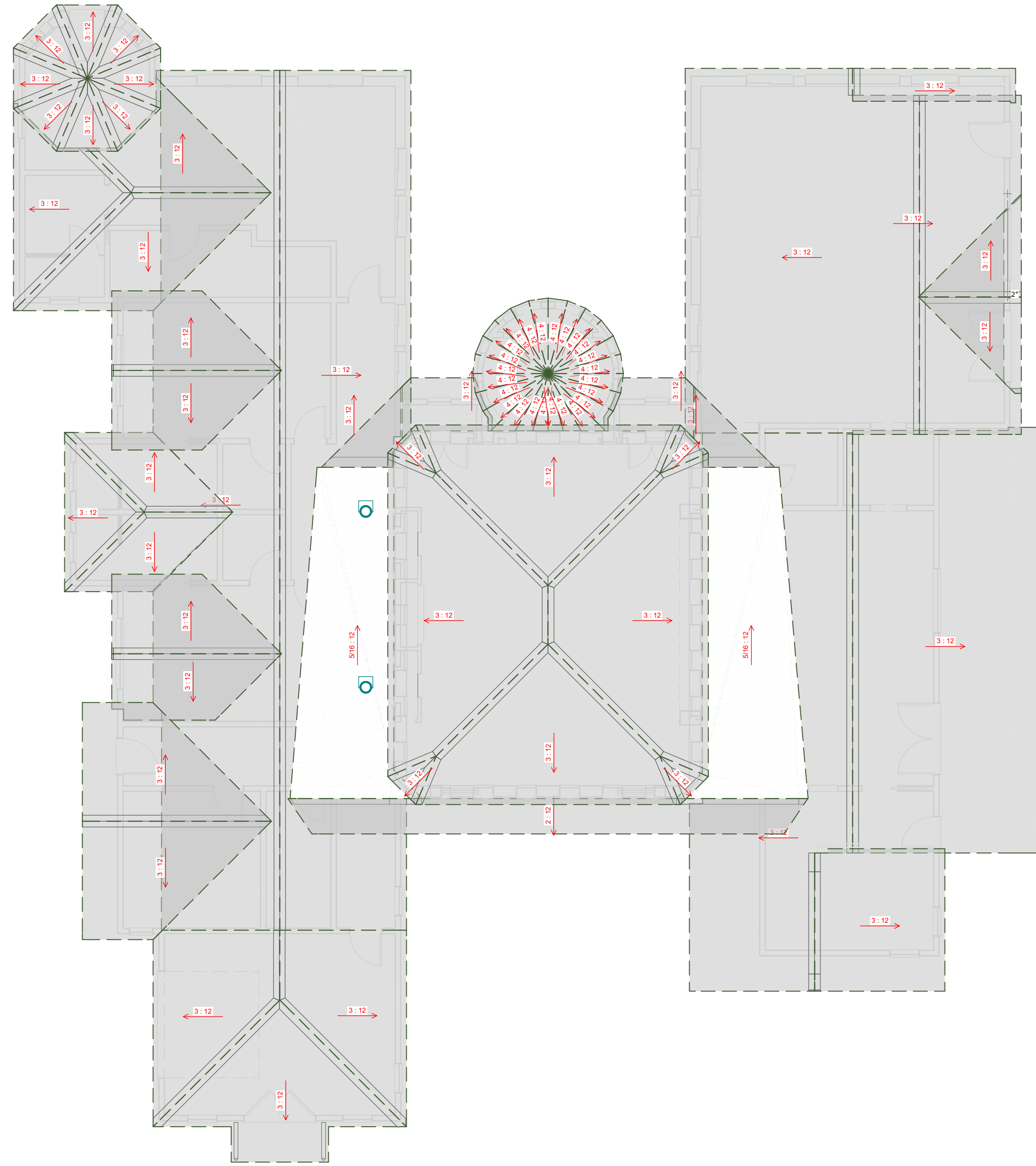
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ROOF PLAN

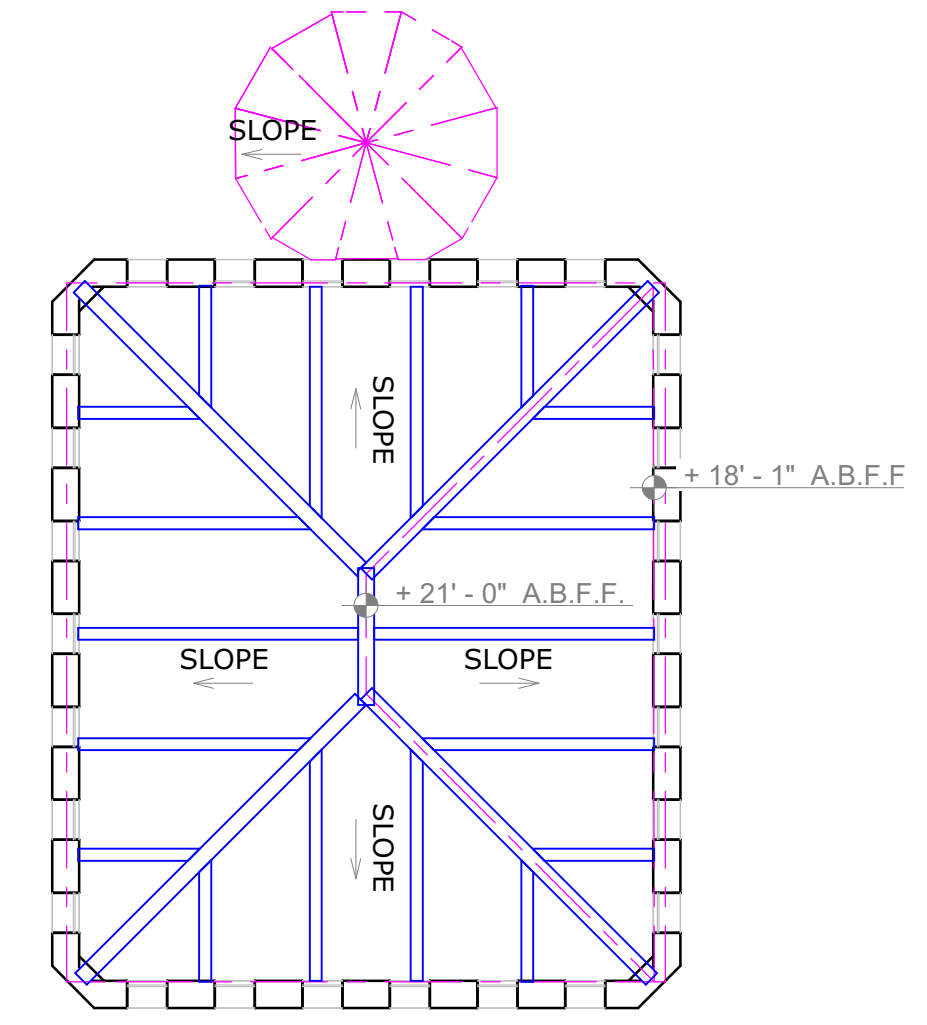
SCALE 1/8"=1'



LOFT RCP PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

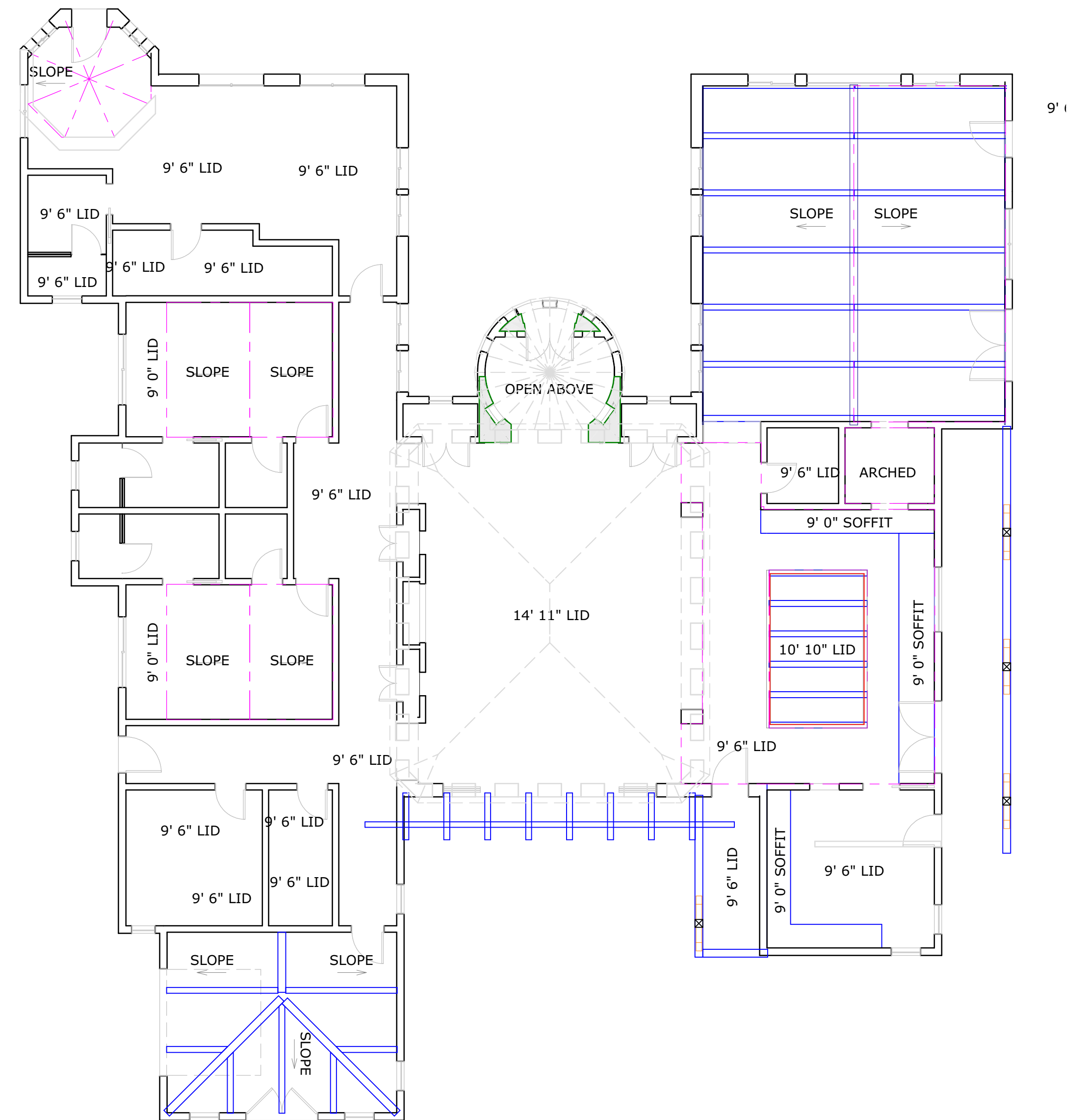
SCALE 1/8"=1'



MAIN FLOOR RCP PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

SCALE 1/8"=1'



A06

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DATE: 1/31/2023

AKHTER - RESIDENCE
 ROOF & RCP PLAN
 PLANNING APPLICATION PLAN SET

2580 BRIDLE PATH DRIVE
 GILROY, CA 95020
 AP# 830-17-059

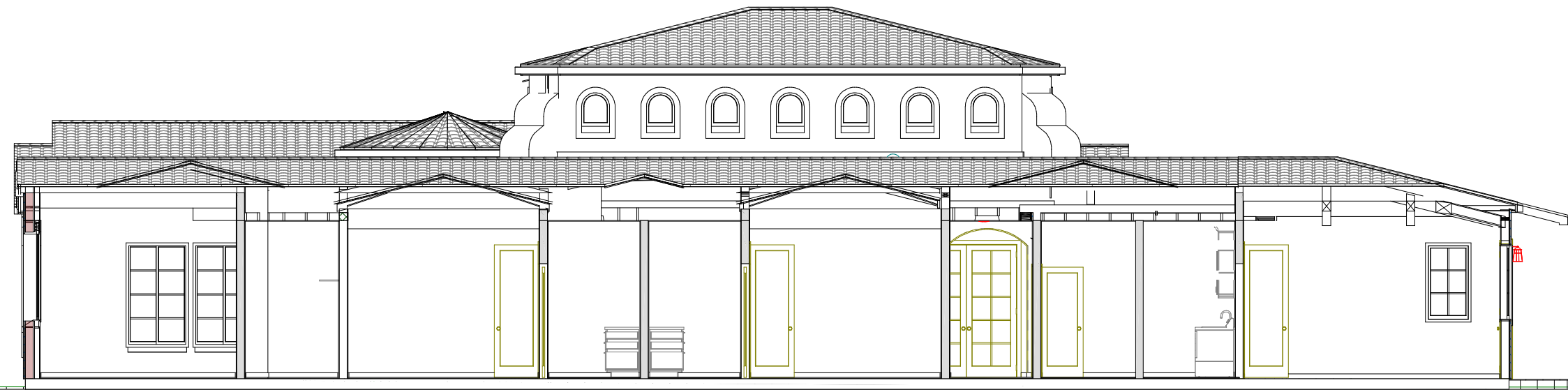
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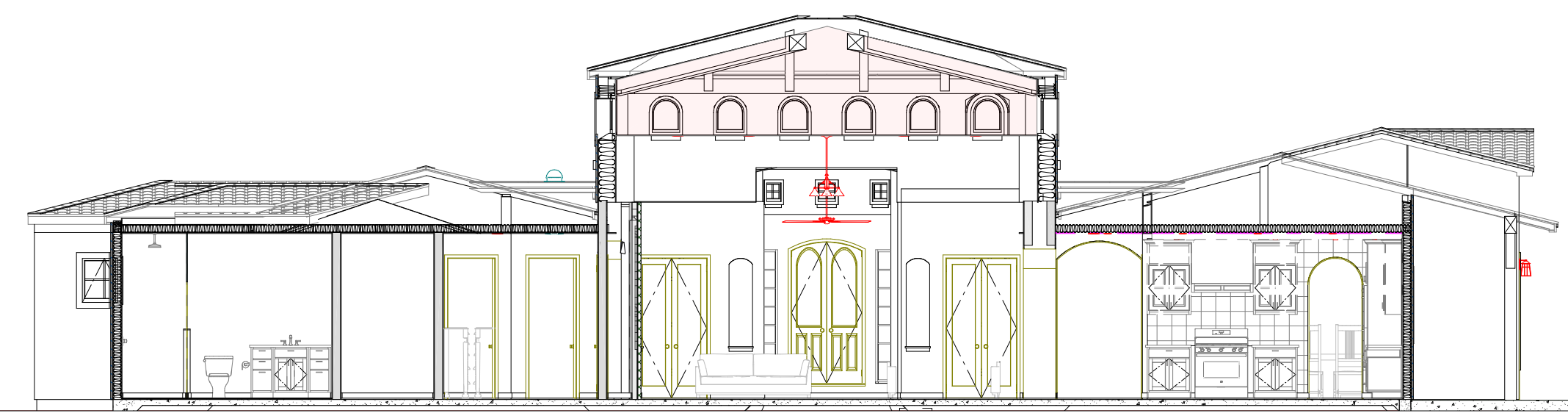
CROSS SECTION #1

SCALE 1/8"=1'



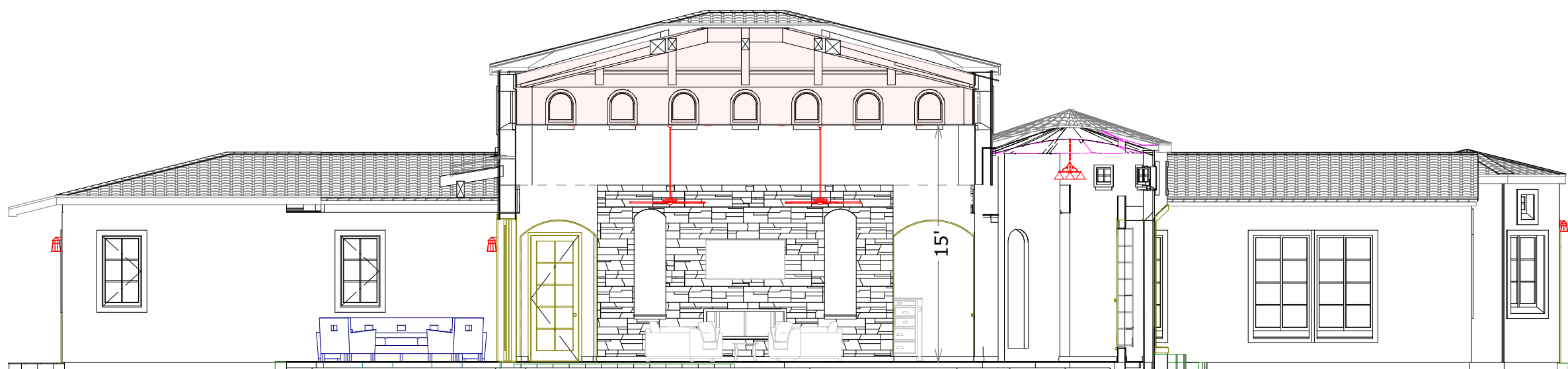
CROSS SECTION #5

SCALE 1/8"=1'



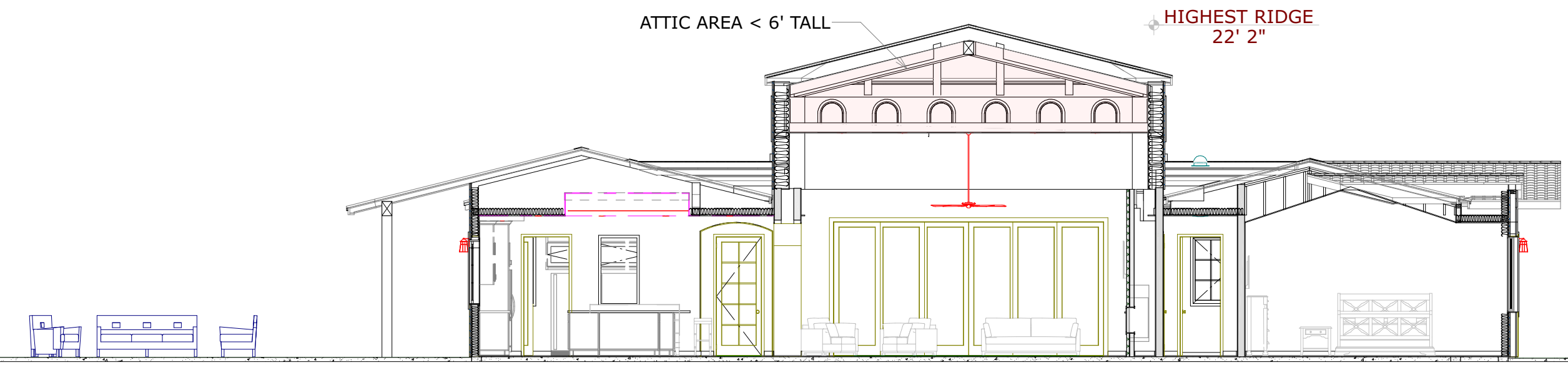
CROSS SECTION #2

SCALE 1/8"=1'



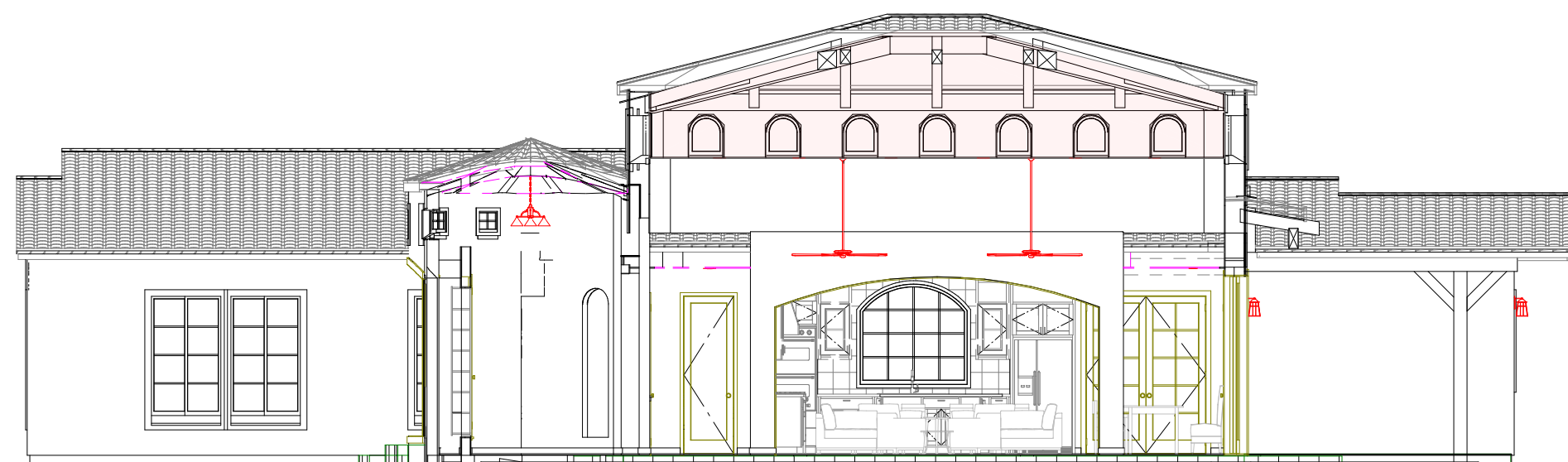
CROSS SECTION #6

SCALE 1/8"=1'



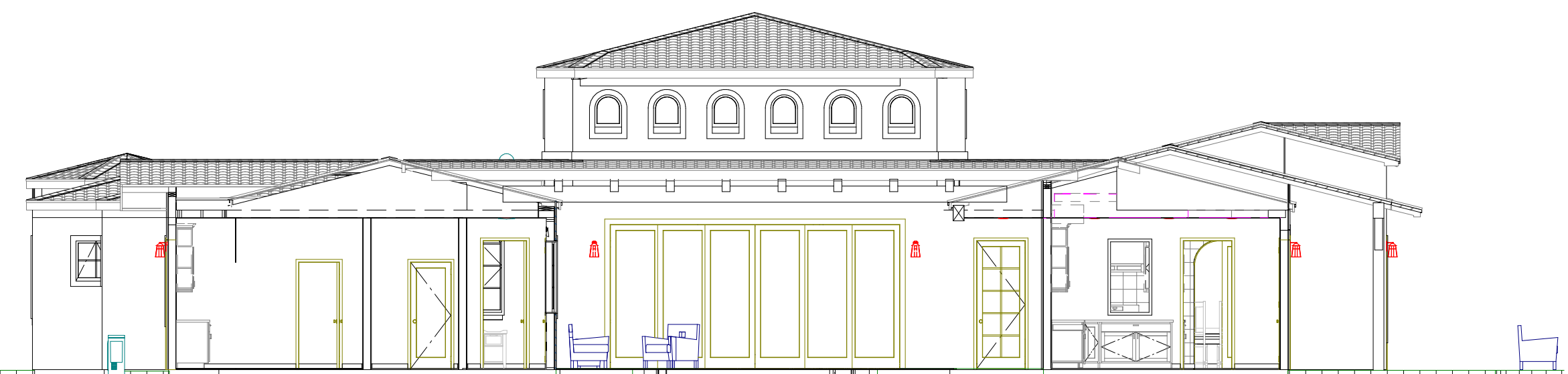
CROSS SECTION #3

SCALE 1/8"=1'



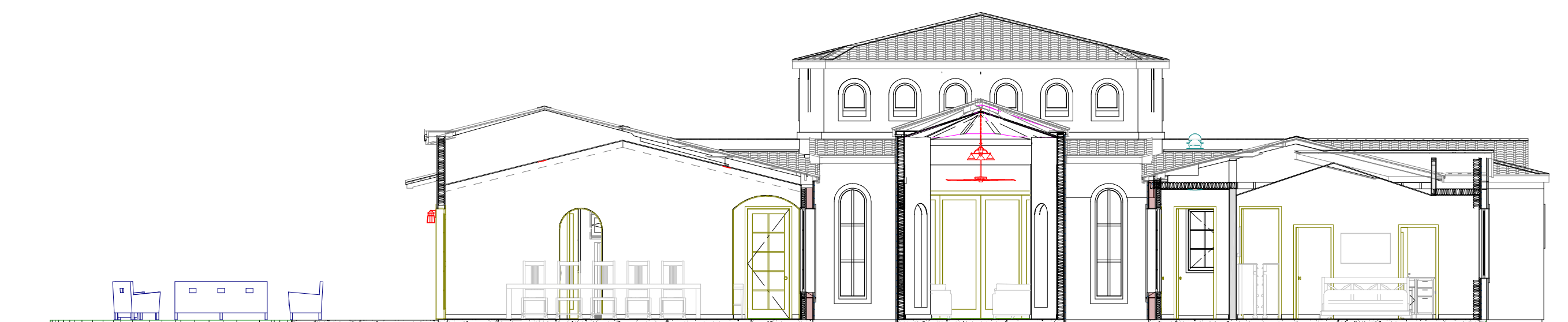
CROSS SECTION #7

SCALE 1/8"=1'



CROSS SECTION #4

SCALE 1/8"=1'



A07

VERSION: 3.0

DATE: 1/31/2023

AKHTER - RESIDENCE

CROSS SECTIONS

PLANNING APPLICATION PLAN SET

2580 BRIDLE PATH DRIVE
GILROY, CA 95020
AP# 830-17-059

REV. #	DATE	NOTE	REV. #	DATE	NOTE
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