CONTACT INFO

OWNER / APPLICANT

SAL AKHTER
2580 BRIDLE PATH DRIVE
GILROY CA 95020
salakhter@gmail.com
(408) 205-9936

DESIGNER

MONTEREY BUILDING DESIGN
PO BOX 222161
CARMEL, CA 93922
info@montereybuildingdesign.com
(831) 620-9170

STRUCTURAL ENGINEER

IDS ENGINEERING, INC.
6280 WEST LAS POSITAS BLVD. SUITE 201
PLEASANTON, CA 94888
stevef@ids-eng.net
925-398-8315

CONTRACTOR

ENERGY ANALYST

PROJECT DESCRIPTION

OWNER PROPOSES TO CONSTRUCT A 4,987 SQFT SINGLE FAMILY RESIDENCE. THE EXTERIOR TO BE STUCCO FINISHED AND THE ROOF TO BE COVERED BY SPANISH TILE TYPE ROOFING.
THERE IS NO PROPOSED LANDSCAPING.

SITE DETAILS

ADDRESS:	2580 BRIDLE PATH DRIVE, GILROY
APN:	AP# 830-17-059
OWNER/APPLICANT:	SAL AKHTER
ZONING:	HS-D1
SITE AREA:	10.03 ACRES
RESIDENCE:	4,670 SQFT
WASTE:	SEPTIC
WATER:	MUNICIPAL
ELECTRICITY/GAS:	PGE
CONSTRUCTION TYPE:	V-B
OCCUPANCY:	R-3
FIRE SUPPRESSION:	YES

NOTES

1. SPECIAL INSPECTION REQUIRED FOR EPOXY REBAR SETTING.
2. OWNER SHALL SCHEDULE THE MANDATORY PRE-CONSTRUCTION SITE INSPECTION IF ISSUING THE PERMIT BETWEEN OCT 15 AND APRIL 15.

PROJECT IS LOCATED WITHIN THE STATE RESPONSE AREA (SRA) AND THE WILDLAND URBAN INTERFACE (WUI).

REQUIRED SPECIAL FEATURES

1. INDOOR AIR QUALITY, BALANCE FAN.
2. IAQ VENTILATION SYSTEM, AS LOW AS 0.3 W/CFM.
2. IAQ VENTILATION SYSTEM, SUPPLY OUTSIDE AIR INLET, FILTER AND H/ERV CORES ACCESSIBLE PER RACM REFERENCE MANUAL.
RECIRCULATING WITH DEMAND CONTROL, OCCUPANCY/MOTION SENSOR.

HERS FEATURE SUMMARY

THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS. ADDITIONAL DETAIL IS PROVIDED BELOW. REGISTERED CF2RS AND CF3RS ARE REQUIRED TO BE COMPLIED IN THE HERS REGISTRY.

BUILDING LEVEL VERIFICATIONS-
KITCHEN RANGE HOOD
HVAC DISTRIBUTION SYSTEM VERIFICATIONS-
DUCT LEAKAGE TESTING
DUCT SEALING REQUIRED IF A DUCT SYSTEM COMPONENT, PLENUM, OR AIR HANDLING UNIT IS ALT
ERED.

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING CODES-

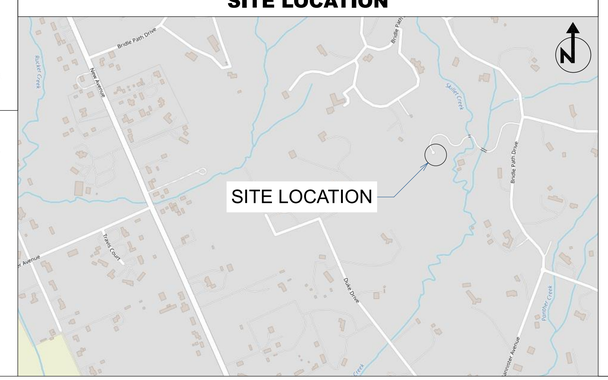
- CALIFORNIA RESIDENTIAL CODE 2022
- CALIFORNIA MECHANICAL CODE 2022
- CALIFORNIA PLUMBING CODE 2022
- CALIFORNIA ELECTRICAL CODE 2022
- CALIFORNIA FIRE CODE 2022
- CALIFORNIA ENERGY CODE 2022
- CALIFORNIA GREEN BUILDING STANDARDS CODE 2022

SITE AREA

SITE COVERAGE CALCULATION		
LOT SIZE	438,012	SQFT
RESIDENCE COVERAGE	4,987	SQFT
HARDSCAPE	3,685	SQFT
TOTAL COVERAGE	8,672	SQFT
PERCENT OF COVERAGE	2.0%	

FLOOR AREA		
LOT SIZE	438,012	SQFT
LIVING AREA	4,987	SQFT
FLOOR AREA TOTAL	4,987	SQFT
FLOOR AREA RATIO	1.1%	

SITE LOCATION



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A01

VERSION: 3.2.1
DATE: 3/28/2025

AHKTER - RESIDENCE

LAYOUT / TITLE PAGE

2580 BRIDLE PATH DRIVE
GILROY,CA 95020
AP# 830-17-059

PLANNING APPLICATION PLAN SET

0 1 2 3 4

REV. #	DATE	NOTE
2	4/5/23	RFI#2

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF MONTEREY BUILDING DESIGN AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY. THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF MONTEREY BUILDING DESIGN. ALL ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY UNFORESEEN CONDITIONS OR CIRCUMSTANCES ARISE, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR THE CONTRACTOR TO NOTIFY MONTEREY BUILDING DESIGN IN WRITING BEFORE THE COMMENCEMENT OF RELATED CONSTRUCTION ACTIVITIES. MONTEREY BUILDING DESIGN ASSUMES NO LIABILITY FOR THE CONSTRUCTION OR MAINTENANCE OF THIS PROJECT.

JEREMY MCCULLOUGH - DESIGNER

MONTEREY
BUILDING DESIGN

GENERAL BUILDING NOTES

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.
WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

CALIFORNIA GREEN BUILDING NOTES:

SEPERATE AND RECYCLE ATLEAST 65% OF ALL CONSTRUCTION WASTE.
ADHESIVES, SEALANTS, CAULKS, PAINTS, STAINS AND OTHER COATINGS SHALL COMPLY WITH VOC LIMITS SET FORTH IN TABLE 4.504.1, TABLE 4.504.2 AND TABLE 4.504.3.
CANTRACTOR SHALL PROVIDE BUILDING DEPARTMENT WITH MANUFACTURERS PRODUCT SPECIFICATIONS UPON REQUEST. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.

CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR ICF SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

WINDOW NOTES:

ALL WINDOWS SHALL CONFORM TO WINDOW SCHEDULE.

DOOR NOTES:

ALL WALK-THRU EXTERIOR DOORS SHALL BE SOLID CORE
INTERIOR DOORS SHALL BE PAINTED.
EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

CONCRETE NOTES:

1 . ALL CONCRETE AND REINFORCEMENT SHALL CONFORM TO THE MORE STRINGENT REQUIREMENTS OF THE LATEST EDITION OF EITHER THE A.C.I., C.R.C., OR C.B.C.
2. ALL CONCRETE SHALL ATTAIN A MINIMUM STRENGTH OF 2500 P.S.I. IN 28 DAYS U.N.O. DESIGN MIXTURE SHALL BE 5-1/2 SACK CEMENT PER CUBIC YARD CONCRETE. COARSE AGGREGATE SHALL BE 3/4" U.N.O. THE USE OF A DESIGN PUMP MIXTURE MAY BE SUBSTITUTED IF THE CEMENT RATIO IS INCREASED TO 6 SACKS U.N.O.
3. ALL CEMENT SHALL BE PORTLAND TYPE I OR TYPE II OF A.S.T.M. (C-150)
4. THERE SHALL BE NO ADMIXTURES USED UNLESS SPECIFIED OR APPROVED BY THE ENGINEER.
5. ALL CONCRETE SHALL BE VIBRATED AND PLACED IN ACCORDANCE WITH A.S.T.M. (C-143) U.N.O.
6. ALL CONCRETE SHALL BE CURED BY KEEPING THE EXPOSED SURFACES CONTINUOUSLY MOIST FOR A 7 DAY PERIOD AND BY USING AN APPROVED CURING COMPOUND AFTER 7 DAY WET CURE.
7. ALL CONSTRUCTION JOINT LOCATIONS SHALL BE APPROVED BY THE ENGINEER.
8. SLABS SHALL NOT EXCEED 20' IN ANY DIRECTION WITHOUT A CONTROL JOINT PERPENDICULAR TO THAT DIRECTION U.N.O.
9. THE ENGINEER SHALL BE NOTIFIED PROMPTLY OF: CONCRETE WHICH SHOWS HONEYCOMBING, SPALLING, CRACKING, OR OTHER SIGNS OF INADEQUATE STRENGTH; LACK, MISPLACEMENT, OR UNDER SIZING OF ANCHOR HARDWARE. ANY UNCERTAINTY ABOUT HARDWARE OR REINFORCEMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PLACING OF CONCRETE.
10. THE BUILDING INSPECTOR AND, WHEN SPECIFIED, ENGINEER SHALL INSPECT REINFORCEMENT AND HARDWARE BEFORE CONCRETE IS PLACED.
11. ALL FALSEWORK AND FORMING DESIGN AND CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. FALSEWORK MUST STAY IN PLACE UNTIL CONCRETE REACHES A STRENGTH OF 2000 P.S.I.
12. CONCRETE CYLINDER SAMPLES SHOULD BE TAKEN THROUGHOUT EACH STAGE OF THE FOUNDATION PLACEMENT AND TESTED FOR COMPRESSIVE STRENGTH WHERE MINIMUM REQUIRED STRENGTH IS GREATER THAN 2500 P.S.I
13. ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS.
14. HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.
15. ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER

STRUCTURAL HARDWARE:

1. ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS.
2. HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.
3. ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER.

SITE CONTROL DURING CONSTRUCTION:

THE APPLICANT AND/OR PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING DUST CONTROL MEASURES: 1. WATER ALL ACTIVE CONSTRUCTION ARES TWICE PER DAY AND USE EROSION CONTROL MEASURES TO PREVENT WATER RUNOFF CONTAINING SILT AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM. 2. COVER TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIAL. 3. PAVE, WATER OR APPLY NON-TOXIC SOIL STABILIZERS ON UNPAVED ACCESS ROADS AND PARKING AREAS. 4. SWEEP PAVED ACCESS ROADS AND PARKING AREAS DAILY. 5. SWEEP STREETS DAILY IF VISIBLE MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.

HOURS OF CONSTRUCTION :

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION.
DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES :
SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

ADDRESS IDENTIFICATION:

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

ROT / DECAY RESISTANCE NOTES:

R317.1 LOCATION REQUIRED
PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1.
1 WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHERE CLOSER THAN 18 INCHES (457 MM) OR WOOD GIRDERS WHERE CLOSER THAN 12 INCHES (305 MM) TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.
2 WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM THE EXPOSED GROUND.
3 SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
4 THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1 /2 INCH (12.7 MM) ON TOPS, SIDES AND ENDS.
5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.
6 WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER. THE IMPERVIOUS MOISTURE BARRIER SYSTEM PROTECTING THE STRUCTURE SUPPORTING FLOORS SHALL PROVIDE POSITIVE DRAINAGE OF WATER THAT INFILTRATES THE MOISTURE-PERMEABLE FLOOR TOPPING.
7 WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS.

R317.1.1 FIELD TREATMENT
FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4.

R317.1.2 GROUND CONTACT
ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES INTENDED FOR HUMAN OCCUPANCY SHALL BE APPROVED PRESSURE-PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT USE, EXCEPT THAT UNTREATED WOOD USED ENTIRELY BELOW GROUNDWATER LEVEL OR CONTINUOUSLY SUBMERGED IN FRESH WATER SHALL NOT BE REQUIRED TO BE PRESSURE-PRESERVATIVE TREATED.

R507.2.3 FASTENERS AND CONNECTORS
METAL FASTENERS AND CONNECTORS USED FOR ALL DECKS SHALL BE IN ACCORDANCE WITH SECTION R317.3 AND TABLE R507.2.3

TABLE R507.2.3

ITEM	MATERIAL	MINIMUM FINISH/COATING	ALTERNATE FINISH/ COATING
NAILS AND TIMBER RIVETS	IN ACCORDANCE WITH ASTM F1667	HOT-DIPPED GALVANIZED PER ASTM A153	STAINLESS STEEL, SILICON BRONZE OR COPPER
BOLTS LAG SCREWS (INCLUDING NUTS AND WASHERS)	IN ACCORDANCE WITH ASTM A307 (BOLTS), ASTM A563 (NUTS), ASTM F844 (WASHERS)	HOT-DIPPED GALVANIZED PER ASTM A153, CLASS C (CLASS D FOR 3 /8-INCH DIAMETER AND LESS) OR MECHANICALLY GALVANIZED PER ASTM B695, CLASS 55 OR 410 STAINLESS STEEL	STAINLESS STEEL, SILICON BRONZE OR COPPER
METAL CONNECTORS	PER MANUFACTURER'S SPECIFICATION	ASTM A653 TYPE G185 ZINC COATED GALVANIZED STEEL OR POST HOT-DIPPED GALVANIZED PER ASTM A123 PROVIDING A MINIMUM AVERAGE COATING WEIGHT OF 2.0 OZ./FT2	STAINLESS STEEL

CBC 2304.10.5.1 FASTENERS AND CONNECTORS FOR PRESERVATIVE-TREATED WOOD
FASTENERS, INCLUDING NUTS AND WASHERS, IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. STAPLES SHALL BE OF STAINLESS STEEL. FASTENERS OTHER THAN NAILS, STAPLES, TIMBER RIVETS, WOOD SCREWS AND LAG SCREWS SHALL BE PERMITTED TO BE OF MECHANICALLY DEPOSITED ZINC-COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM B695, CLASS 55 MINIMUM. CONNECTORS THAT ARE USED IN EXTERIOR APPLICATIONS AND IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL HAVE COATING TYPES AND WEIGHTS IN ACCORDANCE WITH THE TREATED WOOD OR CONNECTOR MANUFACTURER'S RECOMMENDATIONS. IN THE ABSENCE OF MANUFACTURER'S RECOMMENDATIONS, NOT LESS THAN ASTM A653, TYPE G185 ZINC-COATED GALVANIZED STEEL, OR EQUIVALENT, SHALL BE USED. EXCEPTION: PLAIN CARBON STEEL FASTENERS, INCLUDING NUTS AND WASHERS, IN SBX/DOT AND ZINC BORATE PRESERVATIVE-TREATED WOOD IN AN INTERIOR, DRY ENVIRONMENT SHALL BE PERMITTED.

2304.12 PROTECTION AGAINST DECAY AND TERMITES
WOOD SHALL BE PROTECTED FROM DECAY AND TERMITES IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTIONS 2304.12.1 THROUGH 2304.12.7.

Pollution Prevention Planning

Every construction project must have an erosion and sediment control plan to prevent soil and materials from leaving the site. Basic steps for this plan include:

1. Understand local jurisdictional stormwater management requirements and create your plan to match your construction site and project needs.
2. Identify the storm drains and the conveyance system (s) nearest the construction site area and provide plan to protect them from worksite pollutants.
3. Obtain all local jurisdictional permits, including traffic control permits, if needed.
4. Schedule construction activities so that the soil is not exposed for long period of time. Limit grading to small areas; install key sediment control practices before site grading begins.
5. Contact the inspector assigned to your project to answer any questions and ensure compliance. Modify BMPs as job requires.

Photo courtesy USEPA

Prevent Pollution and Avoid Fines (3 C's)

Control: The best line of defense is to use good housekeeping practices and sediment/erosion control BMPs to prevent materials and debris from entering the storm drain.

Contain: Isolate your work area to prevent discharges from leaving the site. Store materials out of the rain and in secondary containment, if necessary.

Capture: Sweep or vacuum up any material that could possibly run offsite. Dispose of wastes properly by checking product labels for disposal requirements.

Additional Tips to Support BMPs:

- Schedule site stabilization activities, such as landscaping, to be completed immediately after the land has been graded to its final contour.
- Inspect & maintain silt fences and straw wattles after each rainstorm. Make sure stormwater is not flowing around these devices or other vegetative buffers. Cover all dirt piles to protect from wind and rain.
- Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles.
- Minimize amount of vegetation cleared from the site. Protect and install vegetative buffers along waterbodies to slow and filter stormwater runoff.
- Properly dispose of all waste materials. Never dump unused or waste product on the ground or in a storm drain. Don't hose off surfaces to clean. Sweep and place waste in dumpster.
- Break up long slopes with sediment barriers. Install structural BMPs to trap sediment on downslope sides of the lot.
- When in doubt, contact local jurisdiction for guidance.

Online Resources

California Storm Water Quality Association - www.cabmphandbooks.com
International BMP Database - www.bmpdatabase.org
California State Water Board - www.waterboards.ca.gov

Stormwater & Education Alliance
sea
www.montereysea.org

Cities of Carmel-by-the-Sea
Del Rey Oaks
Gonzales
Monterey
Pacific Grove
Sand City
Seaside

County of Monterey
Pebble Beach Company
Unified School Districts of Monterey
Monterey
Pacific Grove

5 Harris Ct., Bldg D
Monterey, CA 93940

Phone: (831) 645.4621
Fax: (831) 372.6178
Web: MontereySEA.org

Stormwater & Education Alliance
sea
Monterey Regional Storm Water Program

Got Construction?

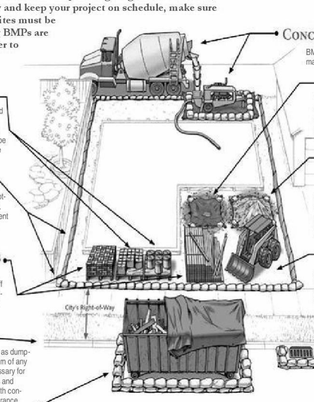
A Storm Water Pollution Prevention Guide for the Construction Industry

MontereySEA.org
(831) 645-4621

Construction Site Best Management Practices

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLU-

The Monterey Regional Stormwater Management Program (MRSWMP) prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are recommended; they are not all-inclusive. Refer to references indicated on the front of this brochure for additional BMPs.



Paint and Stucco
All paint and stucco material stored on the site must be contained and covered. It is illegal to dump unused paint or stucco in the sewer or storm drain system. Do not wash out brushes in the street or dump any residues in the storm drain. Paint brushes and spray guns must be washed/cleaned out into a hazardous materials drum or back into the original container and disposed of properly.

Perimeter Controls
Gravel bags, silt fences and straw wattles (weighted down) are acceptable perimeter controls, and must be used to surround the entire site. Avoid running over perimeter controls with vehicles or heavy equipment as they can damage the materials. Keep extra absorbent materials and/or wet-dry vacuum on site to quickly pick up unintended spills.

Building Materials/Staging Areas
Construction material must be stored on site at all times. Building materials should always be covered when not in use to prevent runoff caused by wind or rain. Flooding must also be prevented by monitoring the site before, during, and after rain events to ensure that BMPs are functioning and that there are no safety issues.

Traffic Control Permits
Prior to staging any materials or equipment in the right-of-way (such as dumpsters or trucks), please contact the applicable local jurisdiction to learn of any temporary encroachment permit or traffic control requirements necessary for right-of-way staging and loading areas, applicable stormwater BMPs and safety plan review requirements. Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles.

Dumpsters
Always cover dumpsters with a rollback tarp. Areas around dumpsters should be swept daily. Perimeter controls around dumpster areas should be provided if pollutants are leaking or discharging from the dumpster.

Concrete Trucks / Pumpers / Finishers
BMPs such as tarps and gravel bags should be implemented to prevent materials and residue from entering into the storm drain system.

Washout Area
The disposal of "wet" construction materials should be handled in the washout area. This includes paint, stucco, and concrete. Use a berm with an impervious liner to contain wet materials and prevent runoff in nearby areas. The washout area must be checked and maintained daily to ensure compliance. All dried materials must be disposed of at the landfill.

Dirt and Grading
Mounds of dirt or gravel should be stored on site and sprayed daily with water to prevent excessive dust. During the rainy season (October 15th—April 15th) these materials should be covered. For those areas that are active and exposed, a wet weather triggered action plan including additional BMPs should be in place to protect the site during a rain event. Sites must have adequate tracking control to prevent the transport of dirt/gravel from the site.

Earthmoving Equipment
All earthmoving equipment should be stored on site. Maintenance of any equipment should be conducted on site, and mud tracks and dirt trails left by equipment leading to and from the site should be cleaned up immediately.

Storm Drains
Storm drains must be protected at all times with perimeter controls, such as gravel bags. Sand bags are typically not used for inlet protection because they do not permit flow-through. Replace ruptured or damaged gravel bags and remove the debris from the right-of-way immediately.

Protecting water resources improves and preserves quality of life for our children and future generations.

Questions? Contact the local Public Works Dept. in the jurisdiction your project resides or the MRSWMP Program Manager.

Photo courtesy of the City of San Diego

Property Location Information

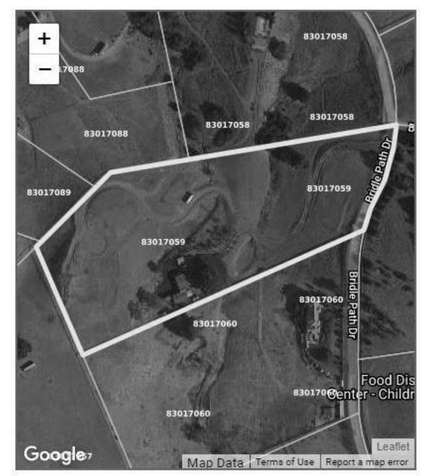
APN: **830-17-059** Assessor's Map
Site Address: **2580 BRIDLE PATH DR GILROY CA 95020**
Recorded Size (Assessor Database): **436,907 sq. ft. / 10 acres**
Computed Size (GIS): **438,012 sq. ft. / 10.1 acres**
TRA: **67011**

Planning and Development Information

General Plan: **Hillsides (100%)**
USA: ***None***
SOI: ***None***
Zoning: **HS-d1 (100%)**
Supervisor District: **1**
Approved Building Site: **Parcel is an Approved Building Site**

Special Area Policies and Information

- HCP Area
- HCP Rural Development Areas: **IN**
- Fire Responsibility Area: SRA (100%)
- Cal Fire SRA Hazard Class: Moderate (78.3%), High (21.7%)
- Wildland Urban Interface: IN
- Fire Protection District: South Santa Clara County Fire Protection District
- Geohazard: County fault rupture hazard zone
- Geohazard: County landslide hazard zone
- Historic Parcel: NO
- FEMA Flood Zone: D (100%)
- Watershed: Central Coast
- Rain isohyet: 18 inches
  Nearest named creek: SKILLET CREEK (0 feet)
  Nearest named lake: Coyote Reservoir (5949 feet)



A1.1

VERSION:	3.2.1
DATE:	3/28/2025

AHKTER - RESIDENCE

NOTES

2580 BRIDLE PATH DRIVE
GILROY,CA 95020
AP# 830-17-059

PLANNING APPLICATION PLAN SET

REV. #	DATE	NOTE
2	4/5/23	RFI#2

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF MONTEREY BUILDING DESIGN AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY. THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF MONTEREY BUILDING DESIGN. ALL ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY UNFORESEEN CONDITIONS OR CIRCUMSTANCES ARISE, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR THE CONTRACTOR TO NOTIFY MONTEREY BUILDING DESIGN IN WRITING BEFORE THE COMMENCEMENT OF RELATED CONSTRUCTION ACTIVITIES. MONTEREY BUILDING DESIGN ASSUMES NO LIABILITY FOR THE CONSTRUCTION OR MAINTENANCE OF THIS PROJECT.

JEREMY MCCULLOUGH - DESIGNER

MONTEREY
BUILDING DESIGN

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.
Exceptions:
1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.
2. [HCD] For purposes of *CALGreen*, live/work units, complying with Section 419 of the *California Building Code*, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS
4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT
4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code*, Article 625.

Exceptions:
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
   1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.
   1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the *California Electrical Code*.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.
When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:

1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.

2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:

a.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:

a.Construction documents shall show locations of future EV spaces.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).
Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location.
EVCS shall comply with at least one of the following options:

1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.
The charging spaces shall be designed to comply with the following:

1.The minimum length of each EV space shall be 18 feet (5486 mm).

2.The minimum width of each EV space shall be 9 feet (2743 mm).

3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).

a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces.
In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements.
1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification.
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage.
Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.
When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:

1.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

2.There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL
4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE
4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.1.4.5 Pre-rinse spray valves.
When installed, shall meet the requirements in the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations),Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019

PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ **5.0 ozf**)	1.00
Product Class 2 (> 5.0 ozf and ≤ **8.0 ozf**)	1.20
Product Class 3 (> 8.0 ozf)	1.28

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings.
Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the *California Plumbing Code*.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations,* Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4..

Notes:

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION
4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.
11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL
4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS
5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

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A1.2

VERSION: 3.2.1
DATE: 3/28/2025

AHKTER - RESIDENCE

NOTES

2580 BRIDLE PATH DRIVE
GILROY,CA 95020
AP# 830-17-059

PLANNING APPLICATION PLAN SET

0 1 2 3 4

REV. #	DATE	NOTE
2	4/5/23	RFI#2

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JEREMY MCCULLOUGH - DESIGNER

ONTEREY
BUILDING DESIGN

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O^3/g ROC).
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES
4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT[1,2]

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[2,3]

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[1]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS[1]

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)
4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhttps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL
4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT
4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
702 QUALIFICATIONS
702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:
1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS
703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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NOTES

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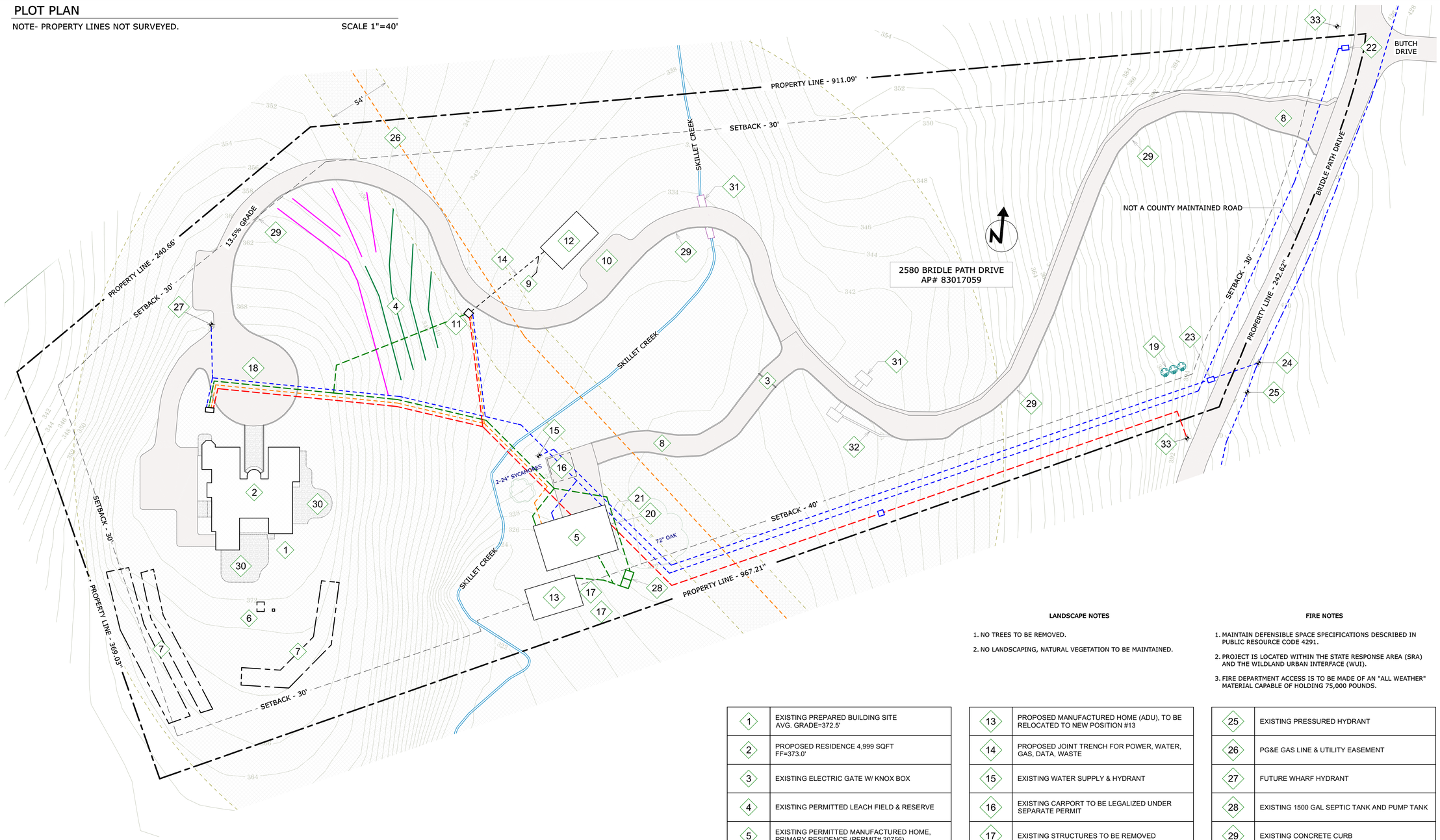
JEREMY MCCULLOUGH - DESIGNER

MONTEREY
BUILDING DESIGN

PLOT PLAN

NOTE- PROPERTY LINES NOT SURVEYED.

SCALE 1"=40'



LANDSCAPE NOTES

1. NO TREES TO BE REMOVED.
2. NO LANDSCAPING, NATURAL VEGETATION TO BE MAINTAINED.

FIRE NOTES

1. MAINTAIN DEFENSIBLE SPACE SPECIFICATIONS DESCRIBED IN PUBLIC RESOURCE CODE 4291.
2. PROJECT IS LOCATED WITHIN THE STATE RESPONSE AREA (SRA) AND THE WILDLAND URBAN INTERFACE (WUI).
3. FIRE DEPARTMENT ACCESS IS TO BE MADE OF AN "ALL WEATHER" MATERIAL CAPABLE OF HOLDING 75,000 POUNDS.

1	EXISTING PREPARED BUILDING SITE AVG. GRADE=372.5'
2	PROPOSED RESIDENCE 4,999 SQFT FF=373.0'
3	EXISTING ELECTRIC GATE W/ KNOX BOX
4	EXISTING PERMITTED LEACH FIELD & RESERVE
5	EXISTING PERMITTED MANUFACTURED HOME, PRIMARY RESIDENCE (PERMIT# 30756)
6	FUTURE SEPTIC TANK & DIVERTER UNDER SEPARATE PERMIT
7	FUTURE LEACH FIELD UNDER SEPARATE PERMIT
8	EXISTING ASPHALT DRIVEWAY
9	PROPOSED 1,500 GAL. SEPTIC TANK
10	EXISTING PARKING AREA
11	EXISTING POWER, GAS & DATA CONNECTIONS
12	PROPOSED MANUFACTURED HOME (ADU), TO BE RELOCATED FROM ORIGINAL POSITION #14

13	PROPOSED MANUFACTURED HOME (ADU), TO BE RELOCATED TO NEW POSITION #13
14	PROPOSED JOINT TRENCH FOR POWER, WATER, GAS, DATA, WASTE
15	EXISTING WATER SUPPLY & HYDRANT
16	EXISTING CARPORT TO BE LEGALIZED UNDER SEPARATE PERMIT
17	EXISTING STRUCTURES TO BE REMOVED
18	EXISTING 75' TURN-AROUND
19	THREE NEW 3000 GAL. WATER TANKS
20	EXISTING ELECTRICAL SERVICE & METER 400 AMP
21	EXISTING GAS SERVICE & METER
22	EXISTING WATER METER
23	EXISTING DBL CHECK VALVE
24	EXISTING CONNECTION TO 6" WATER MAIN "NEW AVENUE WATER COMPANY"

25	EXISTING PRESSURED HYDRANT
26	PG&E GAS LINE & UTILITY EASEMENT
27	FUTURE WHARF HYDRANT
28	EXISTING 1500 GAL SEPTIC TANK AND PUMP TANK
29	EXISTING CONCRETE CURB
30	PROPOSED HARDSCAPE
31	EXISTING CULVERT
32	EXISTING SURFACE RUNOFF
33	EXISTING POWER POLE

A02

VERSION: 3.2.1

DATE: 3/28/2025

AHKTER - RESIDENCE

PLOT PLAN

PLANNING APPLICATION PLAN SET

2580 BRIDLE PATH DRIVE
GILROY,CA 95020
AP# 830-17-059

0 1 2 3 4

REV. #	DATE	NOTE
2	4/5/23	RFI#2

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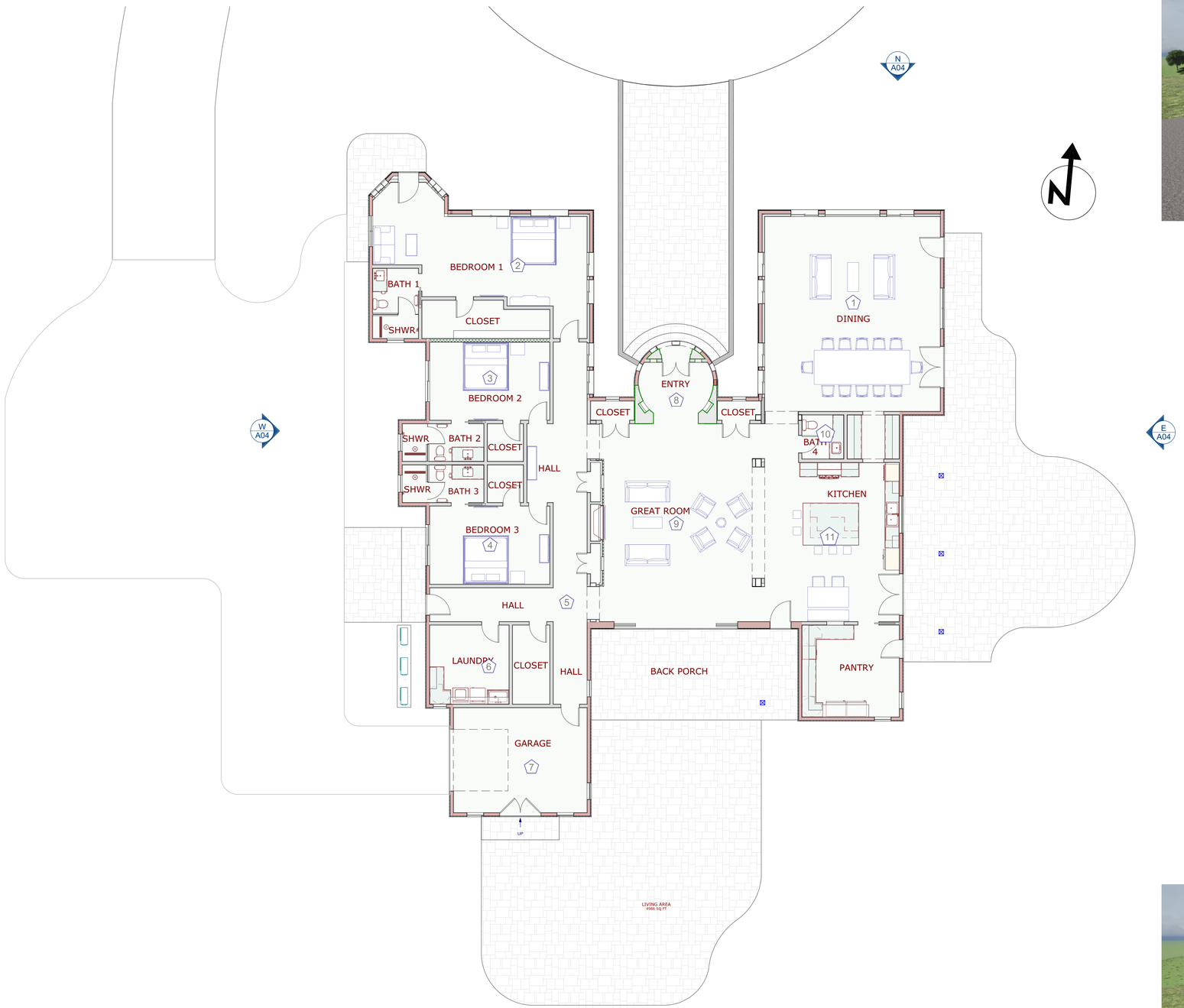
JEREMY MCCULLOUGH - DESIGNER

MONTEREY
BUILDING DESIGN

FLOOR PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING. SCALE 1/8"=1'



FLOOR AREA		
LOT SIZE	438,012	SQFT
LIVING AREA	4,987	SQFT
FLOOR AREA TOTAL	4,987	SQFT
FLOOR AREA RATIO	1.1%	

0' 8" 16' 24' 32' 40'

2580 BRIDLE PATH DR.
Project Address

PLN23-023
Project File Number

830-17-059
APN

Color/Materials Board*

Roof
RED SPANISH TILE
Manufacture & Material
Product Name, Number

Door & Window Frames, Railings
ANODIZED DARK BRONZE FRAME
Manufacture / Number
Color Name, LRV

Trim
"SHERWIN WILLIAMS"- SW 6083 SABLE
Manufacture / Number
Color Name, LRV

Exterior Walls
INTEGRAL COLOR STUCCO- "LA HABRA" 475 VIEJO
Manufacture / Number
Color Name, LRV

Architectural Accents (Ex. Stone Veneer)
N/A
Manufacture / Number
Color Name, LRV

Retaining Walls
SAME AS WALLS
Manufacture / Number
Color Name, LRV

*This information shall also be provided on the elevation drawings in the plans.

1/24/2019

A03

VERSION: 3.2.1
DATE: 3/28/2025

AHKTER - RESIDENCE

FLOOR PLAN

2580 BRIDLE PATH DRIVE
GILROY,CA 95020
AP# 830-17-059

PLANNING APPLICATION SET

0 1 2 3 4

REV. #	DATE	NOTE
2	4/5/23	RFI#2

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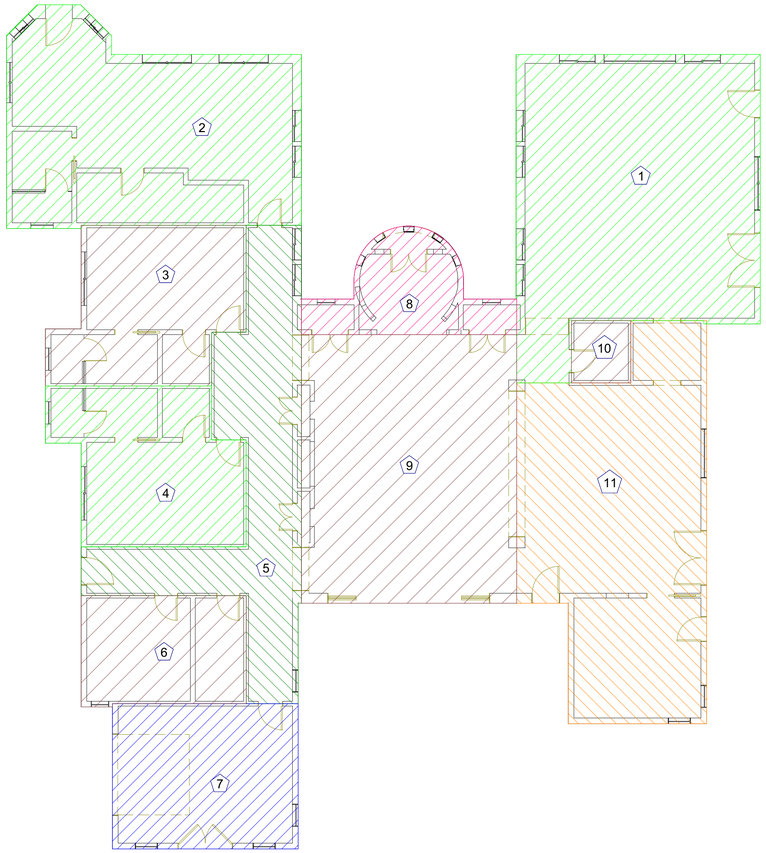
JEREMY MCCULLOUGH - DESIGNER

MONTEREY
BUILDING DESIGN

AREA PLAN

NOTE- AREA TO FACE OF STUCCO. SCALE 1/8"=1'



NOTE SCHEDULE		
1	DINING ROOM	858 SQFT
2	BEDROOM 1	687 SQFT
3	BEDROOM 2	334 SQFT
4	BEDROOM 3	334 SQFT
5	HALL	476 SQFT
6	LAUNDRY	224 SQFT
7	GARAGE	336 SQFT
8	ENTRY	180 SQFT
9	LIVING ROOM	721 SQFT
10	BATH 4	46 SQFT
11	KITCHEN / PANTRY	791 SQFT

A3.1

VERSION: 3.2.1

DATE: 3/28/2025

AHKTER - RESIDENCE

AREA PLAN

2580 BRIDLE PATH DRIVE
GILROY,CA 95020
AP# 830-17-059

PLANNING APPLICATION PLAN SET

0 1 2 3 4

REV. #	DATE	NOTE
2	4/5/23	RFI#2

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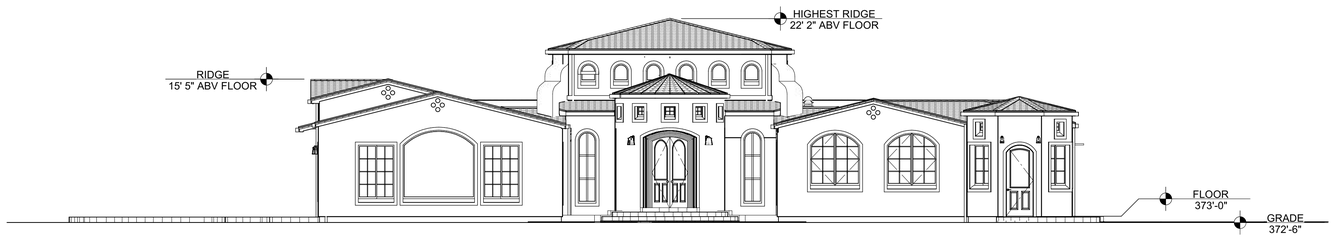
JEREMY MCCULLOUGH - DESIGNER

MONTEREY
BUILDING DESIGN

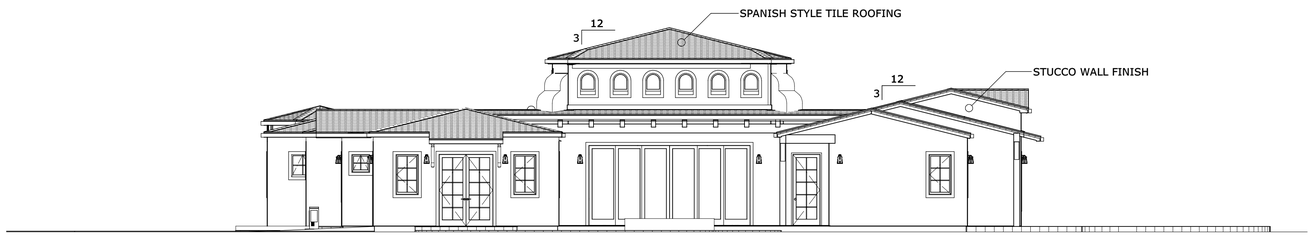
NORTH ELEVATION

SCALE 1/8"=1'



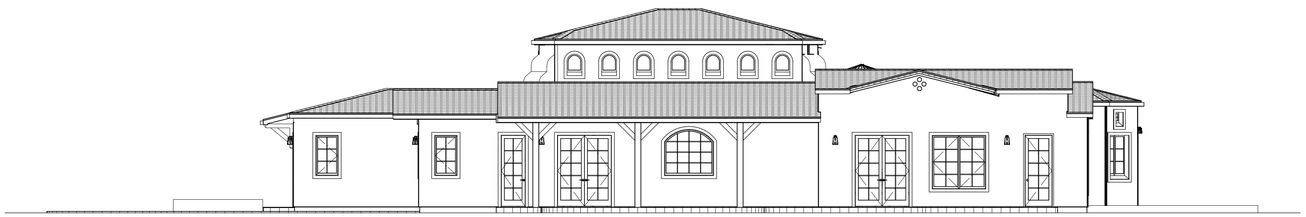
SOUTH ELEVATION

SCALE 1/8"=1'



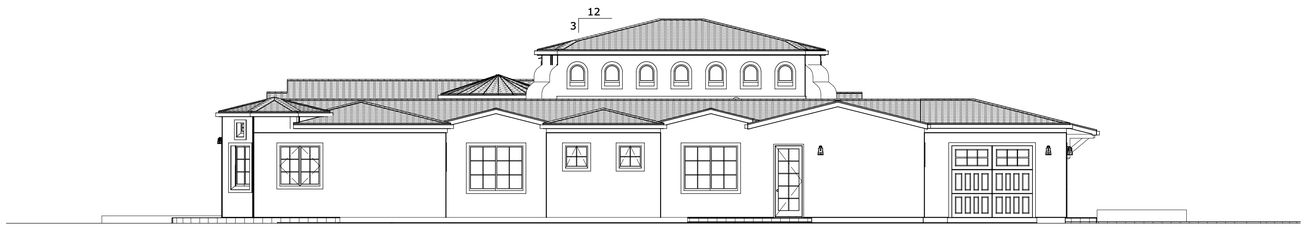
EAST ELEVATION

SCALE 1/8"=1'



WEST ELEVATION

SCALE 1/8"=1'



A04

VERSION:	3.2.1
DATE:	3/28/2025

AHKTER - RESIDENCE

EXTERIOR ELEVATIONS

2580 BRIDLE PATH DRIVE
GILROY,CA 95020
AP# 830-17-059

PLANNING APPLICATION PLAN SET

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REV. #	DATE	NOTE
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JEREMY MCCULLOUGH - DESIGNER

MONTEREY
BUILDING DESIGN

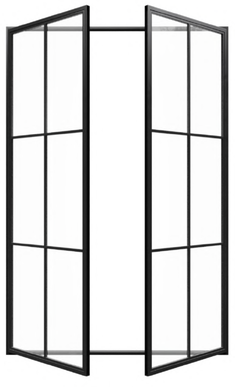
DOOR SCHEDULE

NUMBER	QTY	FLOOR	DESCRIPTION	SIZE	WIDTH	HEIGHT	HINGE SIDE	JAMB SIZE	THICKNESS	ELEV.
D01	1	1	DOUBLE HINGED-CCR04046 CAMINO	4080 L/R IN	48"	96"	L/R	3/4"X6 1/2"	1 3/4"	
D02	1	1	EXT. 3+3-PANEL SLIDER-GLASS PANEL	18090 L/R EX	216"	108"	L/R	3/4"X13 9/16"	1 3/4"	
D03	1	1	GARAGE-GARAGE DOOR P04	9080	108"	96"		3/4"X7 5/8"	1 3/4"	
D04	1	1	HINGED-SLAB	2680 L IN	30"	96"	L	3/4"X6 1/2"	1 3/4"	
D05	2	1	DOUBLE HINGED-SLAB	4080 L/R IN	48"	96"	L/R	3/4"X6 1/2"	1 3/4"	
D06	2	1	POCKET-PANEL	2668 R	30"	80"	R	3/4"X6 1/2"	1 3/4"	
D07	2	1	DOUBLE HINGED-SLAB	3080 L/R IN	36"	96"	L/R	3/4"X6 1/2"	1 3/4"	
D08	2	1	HINGED-SLAB	2880 L IN	32"	96"	L	3/4"X6 1/2"	1 3/4"	
D09	1	1	HINGED-GLASS PANEL	3080 R IN	36"	96"	R	3/4"X13 9/16"	1 3/4"	
D10	2	1	HINGED-SLAB	2880 R IN	32"	96"	R	3/4"X6 1/2"	1 3/4"	
D11	2	1	HINGED-GLASS PANEL	3080 R IN	36"	96"	R	3/4"X7 5/8"	1 3/4"	
D14	1	1	EXT. HINGED-GLASS PANEL	2880 L EX	32"	96"	L	3/4"X7 5/8"	1 3/4"	
D17	2	1	HINGED-SLAB	2668 R IN	30"	80"	R	3/4"X6 1/2"	1 3/4"	
D18	3	1	EXT. DOUBLE HINGED-GLASS PANEL	6080 L/R EX	72"	96"	L/R	3/4"X7 5/8"	1 3/4"	
D19	1	1	POCKET-PANEL	3080 R	36"	96"	R	3/4"X6 1/2"	1 3/4"	
D24	3	1	HINGED-SLAB	2668 L IN	30"	80"	L	3/4"X6 1/2"	1 3/4"	
D30	1	1	EXT. HINGED-CCR04037A AUGUSTINE	3080 R EX	36"	96"	R		1 3/4"	
D34	1	1	POCKET-PANEL	2668 L	30"	80"	L	3/4"X6 1/2"	1 3/4"	

WINDOW SCHEDULE

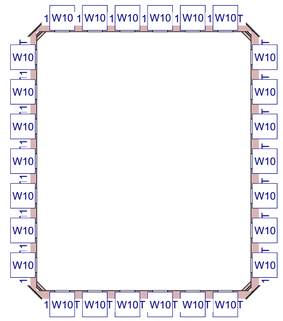
NUMBER	QTY	FLOOR	DESCRIPTION	WIDTH	HEIGHT	TEMPERED	EGRESS	COMMENTS	ELEV.
W01	4	1	SINGLE CASEMENT-HL	30"	54"	YES			
W02	1	1	DOUBLE CASEMENT-LHL/RHR	54"	54"	YES			
W04	3	1	SINGLE AWNING	30"	30"	YES			
W05	1	1	LEFT SLIDING	48"	72"	YES			
W09	1	1	FIXED GLASS-AT	66"	62"	YES			
W10	26	2	FIXED GLASS-RT	20"	24"			FAUX WINDOW	
W12	1	1	FIXED GLASS-AT	96"	92"	YES			
W16	2	1	SINGLE CASEMENT-HR	30"	54"	YES			
W18	2	1	LEFT SLIDING	36"	54"	YES			
W19	2	1	FIXED GLASS-RT	24"	96"	YES			
W24	1	1	SINGLE AWNING	24"	24"	YES			
W26	2	1	LEFT SLIDING	72"	60"	YES	YES		
W27	1	1	RIGHT SLIDING	48"	72"	YES			
W30	1	1	DOUBLE CASEMENT-LHL/RHR	72"	72"	YES			
W31	9	1	FIXED GLASS	14"	14"	YES			
W36	8	1	LEFT SLIDING	42"	72"	YES			
W38	2	1	DOUBLE CASEMENT-LHL/RHR-AT	66"	70"	YES			

R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
EXCEPTION: EXTERIOR BALCONIES LESS THAN 60 SQUARE FEET (5.6 M2) AND ONLY ACCESSED FROM A DOOR ARE PERMITTED TO HAVE A LANDING THAT IS LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL.
R311.3.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 11/2 INCHES (38 MM) LOWER THAN THE TOP OF THE THRESHOLD.
EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHERE EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.
R311.3.2 FLOOR ELEVATIONS AT OTHER EXTERIOR DOORS DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD. EXCEPTION: A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.



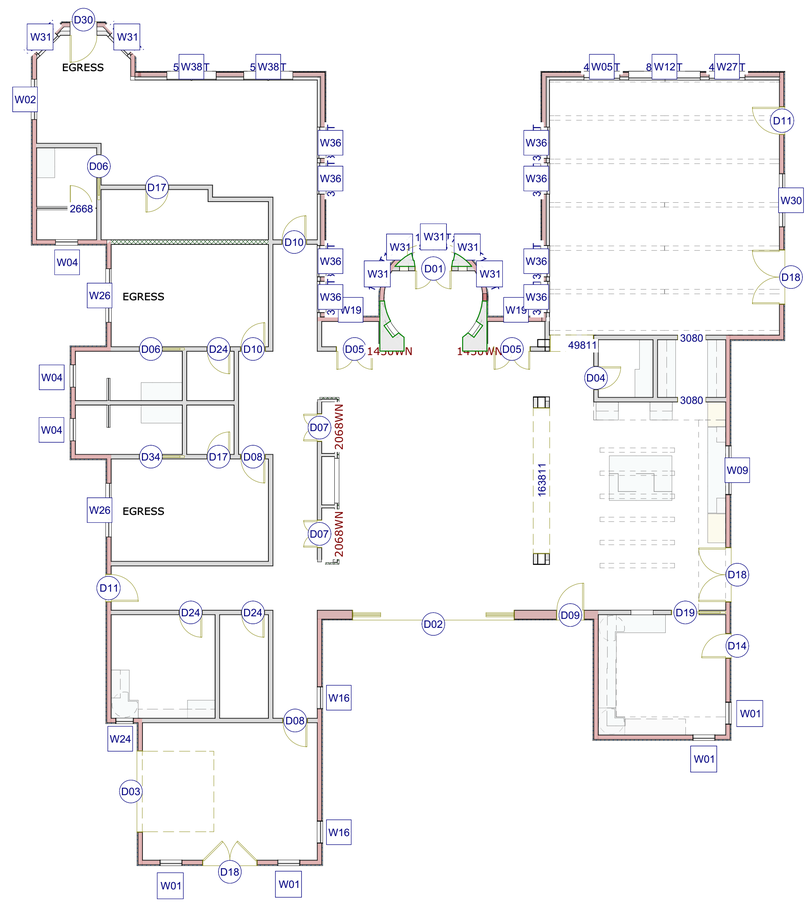
LOFT DOOR / WINDOW PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING. SCALE 1/8"=1'



MAIN FLOOR DOOR / WINDOW PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING. SCALE 1/8"=1'



A05

VERSION: 3.2.1
DATE: 3/28/2025

AHKTER - RESIDENCE

DOOR / WINDOW PLAN

2580 BRIDLE PATH DRIVE
GILROY,CA 95020
AP# 830-17-059

PLANNING APPLICATION PLAN SET

0 1 2 3 4

REV. #	DATE	NOTE
2	4/5/23	RFI#2

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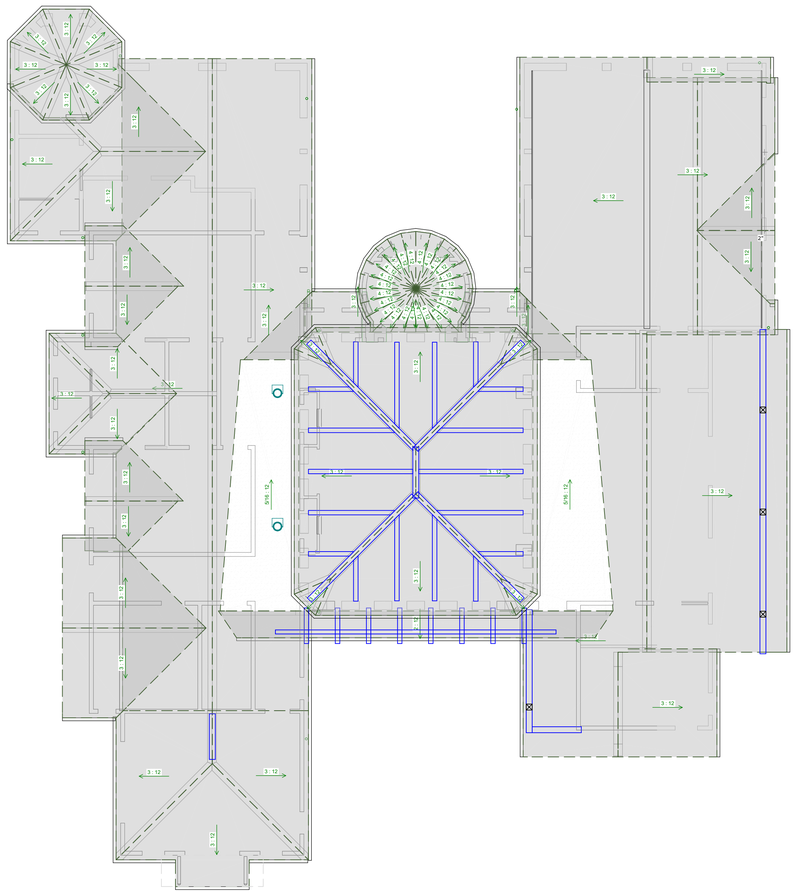
JEREMY MCCULLOUGH - DESIGNER

MONTEREY
BUILDING DESIGN

ROOF PLAN

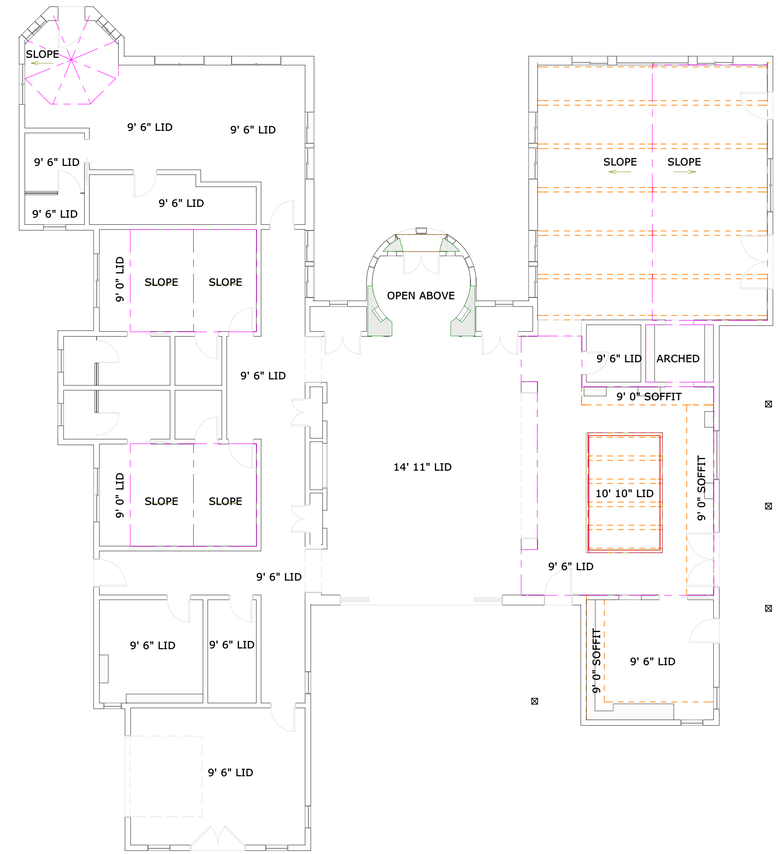
SCALE 1/8"=1'



MAIN FLOOR RCP PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

SCALE 1/8"=1'



A06

VERSION:	3.2.1
DATE:	3/28/2025

AHKTER - RESIDENCE

ROOF & RCP PLAN

2580 BRIDLE PATH DRIVE
GILROY,CA 95020
AP# 830-17-059

PLANNING APPLICATION PLAN SET

0 1 2 3 4

REV. #	DATE	NOTE
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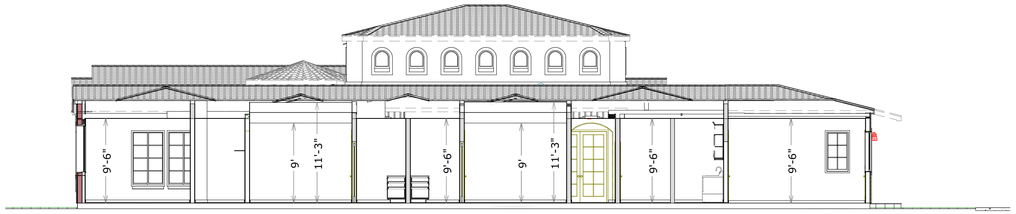
JEREMY MCCULLOUGH - DESIGNER

MONTEREY
BUILDING DESIGN

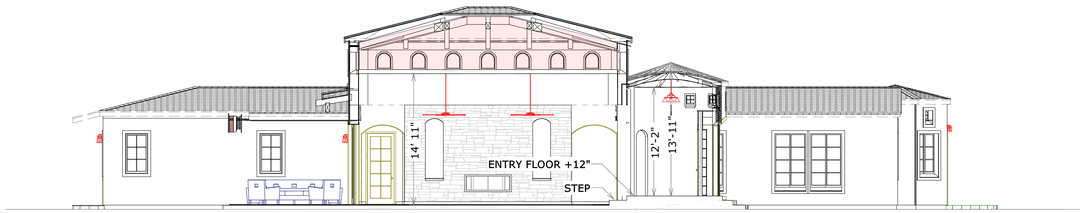
CROSS SECTION #1

SCALE 1/8"=1'



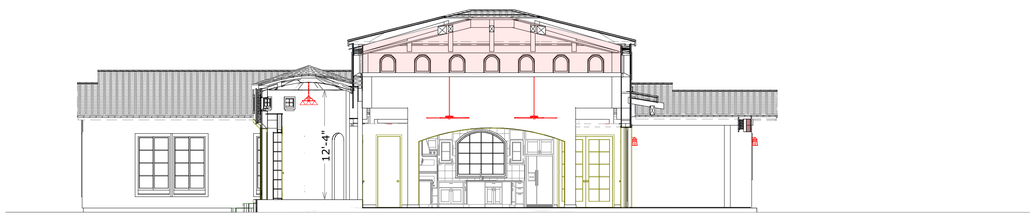
CROSS SECTION #2

SCALE 1/8"=1'



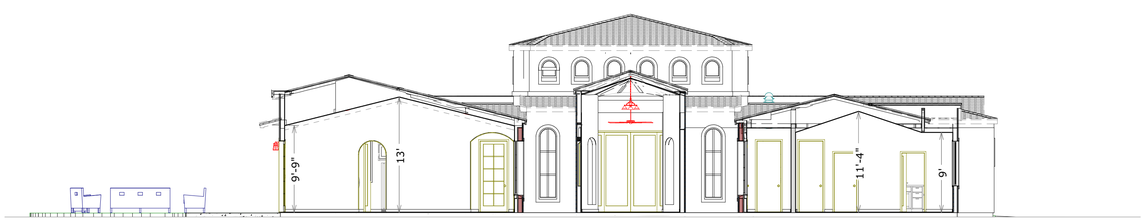
CROSS SECTION #3

SCALE 1/8"=1'



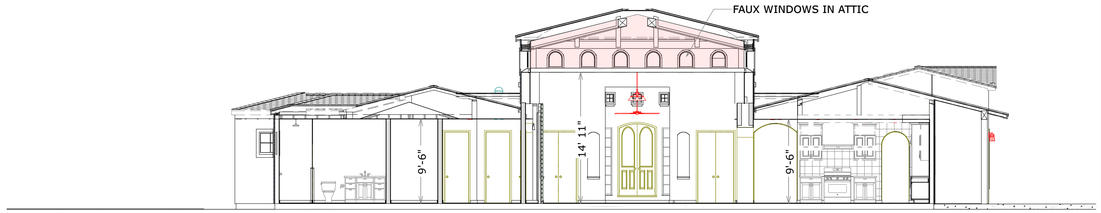
CROSS SECTION #4

SCALE 1/8"=1'



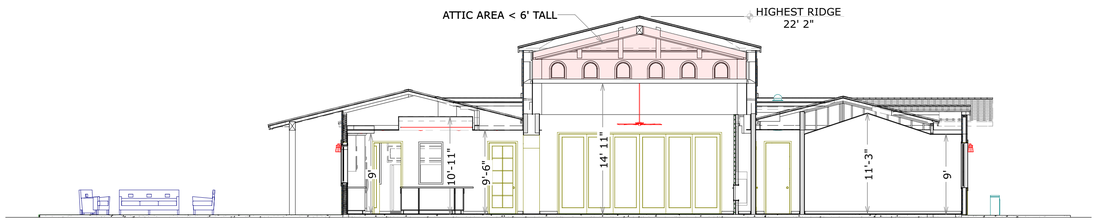
CROSS SECTION #5

SCALE 1/8"=1'



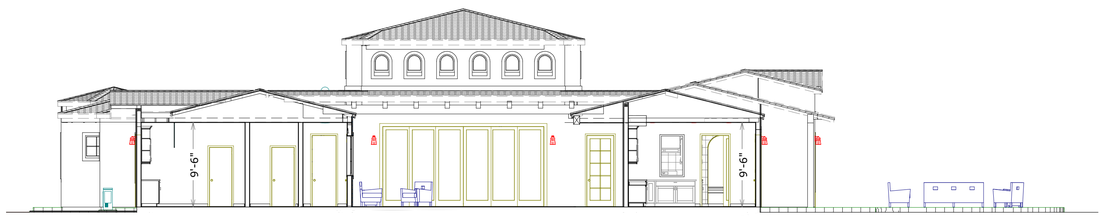
CROSS SECTION #6

SCALE 1/8"=1'



CROSS SECTION #7

SCALE 1/8"=1'



A07

VERSION:	3.2.1
DATE:	3/28/2025

AHKTER - RESIDENCE

CROSS SECTIONS

2580 BRIDLE PATH DRIVE
GILROY,CA 95020
AP# 830-17-059

PLANNING APPLICATION PLAN SET

0 1 2 3 4

REV. #	DATE	NOTE
2	4/5/23	RFI#2

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF MONTEREY BUILDING DESIGN AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY. THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF MONTEREY BUILDING DESIGN. ALL ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY UNFORESEEN CONDITIONS OR CIRCUMSTANCES ARISE, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR THE CONTRACTOR TO NOTIFY MONTEREY BUILDING DESIGN IN WRITING BEFORE THE COMMENCEMENT OF RELATED CONSTRUCTION ACTIVITIES. MONTEREY BUILDING DESIGN ASSUMES NO LIABILITY FOR THE CONSTRUCTION OR MAINTENANCE OF THIS PROJECT.

JEREMY MCCULLOUGH - DESIGNER

MONTEREY
BUILDING DESIGN

COUNTY OF SANTA CLARA
General Construction Specifications

GENERAL CONDITIONS

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOLOGIC UPDATE INVESTIGATION REPORT PREPARED BY **STEVEN F. CONNELLY, C.E.G.** DATED **JUNE 15, 2018** AND GEOLOGIC EVALUATION FOR PROPOSED NEW RESIDENCE BY **TERRASEARCH INC.** DATED **JANUARY 30, 2001** THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS. 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
2. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO
9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY

   DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (4008) 454–2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299–5730.

CONSTRUCTION STAKING

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE–ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299–6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
   A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
   B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1–800–277–2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
RESIDENCE	**20**	**40**	**1.0**
TOTAL	**20**	**40**	**1.0**

NOTES:
1. EARTHWORK QUANTITIES INCLUDE BOTH WORK THAT WAS ALREADY COMPLETED ON THE PROPERTY THAT WAS NOT PERMITTED AND WORK COMPLETED UNDER THE PREVIOUS GRADING PERMIT.
2. EARTHWORK QUANTITIES PROVIDED THAT ARE A PART OF THE UNPERMITTED PREVIOUS GRADING ARE APPROXIMATE AND ARE BASED UPON ENGINEERING JUDGEMENT. RI ENGINEERING MAKES NO CLAIM TO VERIFY THE ACCURACY OF THESE EARTHWORK QUANTITIES.

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP

7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%
10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
14. TOTAL DISTURBED AREA FOR THE PROJECT ________**53,200**________SF.
15. WDID NO._____**TBD**_____.
16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
   A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES.
   B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
   C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
   D. SIGNAGE STATING, "WARNING– THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299–5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT http://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2–INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
5. ALL WORK IN THE COUNTY ROAD RIGHT–OF–WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT – I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN–DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON–TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
   A. 15 MILES PER HOUR (MPH) SPEED LIMIT
   B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
   C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAIN HOTLINE OF 1–800–334–6367.
10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SD8.
13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP–RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT–OF–WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT–OF–WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING;
   A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
   B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT–OF–WAY.
   C. PREVENTION OF DISCHARGE OF WATER RUN–OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT–OF–WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON–HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT–OF–WAY.
19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SITE AND SITUATIONALY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

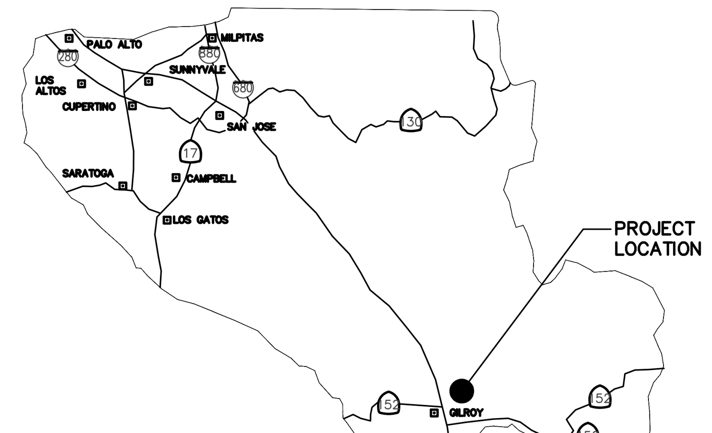
1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2–2009–0047 AND NPDES PERMIT CAS000004/ ORDER NO. 2013–0001–DWQ.
2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS–BUILT PLANS STATEMENT

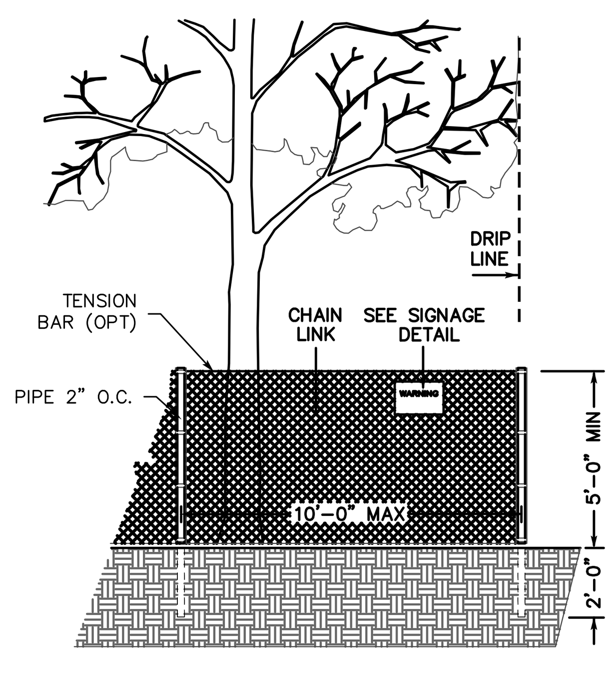
THIS IS A TRUE COPY OF THE AS–BUILT PLANS. THERE (___ WERE) (___ WERE NOT) MINOR FIELD CHANGES – MARKED WITH THE SYMBOL (^). THERE (___WERE) (___ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL △.

DATE ________ SIGNATURE ________

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPYOF THE AS–BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTERCONSTRUCTION.



COUNTY LOCATION MAP



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN–LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
ISSUED BY: ________ DATE: ________
ENCROACHMENT PERMIT NO. ________

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT–OF–WAY WITHUOT AN ENCROACHEMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE PLANNING APPROVAL FILE NO. (PLN18–8208–MOD1) & CONDITIONS OF APPROVAL DATED 5/18/2022

DATE 3/28/2025 — SIGNATURE [signature]

83644
R.C.E. NO.

3–31–27
EXPIRATION DATE

REGISTERED PROFESSIONAL ENGINEER — MARK M. GROFCSIK No. 83644 Exp. 3–31–27 CIVIL — STATE OF CALIFORNIA

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE ________

DARRELL KEITH WONG
63958 — R.C.E. NO.
9/30/2026 — EXPIRATION DATE

LANDS OF SAL AKHTER
SINGLE FAMILY RESIDENCE

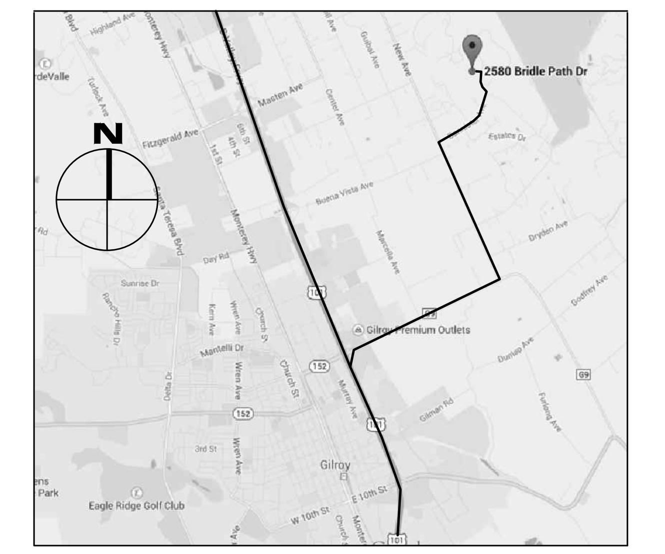
2580 BRIDLE PATH DRIVE
PLN23–023

SCOPE OF WORK

THE SFR PROJECT PROPOSES THE FOLLOWING:

GRADING AND DRAINAGE FOR NEW SINGLE FAMILY RESIDENCE.
CONVERT (E) RESIDENCE TO NON–HABITABLE STRUCTURE.

WORK TO BE COMPLETED UNDER SEPARATE PERMITS
1. DEV22–2374: RELOCATE (E) ADU.
2. PERMIT No. 6201485: PAVING OF DRIVEWAYS AND FIRE TURNOUTS AND TURNAROUNDS. PERMIT TO BE REACTIVATED WITH THE COUNTY.
3. DEV23–0546: GRADING AND STREAM RELOCATION AND REHABILITATION, SLOPE STABILIZATION, REMOVAL OF PONDS AND NATURAL LANDSCAPING



VICINITY MAP

SURVEY MONUMENT PRESERVATION

1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE CONTRACTOR SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

COUNTY OF SANTA CLARA
LAND DEVELOPMENT ENGINEERING & SURVEYING
GRADING / DRAINAGE PERMIT NO. ________
ISSUED BY: ________ DATE: ________

● INDICATES FOUND IRON PIPE AS NOTED
○ INDICATES IRON PIPE TO BE SET

LEGEND

DESCRIPTION — TO BE CONST. — EXISTING

- PROPERTY LINE
- LIMITS OF WORK OR BOUNDARY
- CURB AND GUTTER
- SIDEWALK
- CITY SURVEY MONUMENT
- SEPTIC TIGHT–LINE
- SEPTIC TANK
- STORM SEWER
- STORM DRAIN MANHOLE
- DRAINAGE INLET AT CURB
- ELECTROLIER
- EDGE OF PAVEMENT
- PACING CONFORM OR OVERLAY TO FORM SMOOTH AC TRANSITION

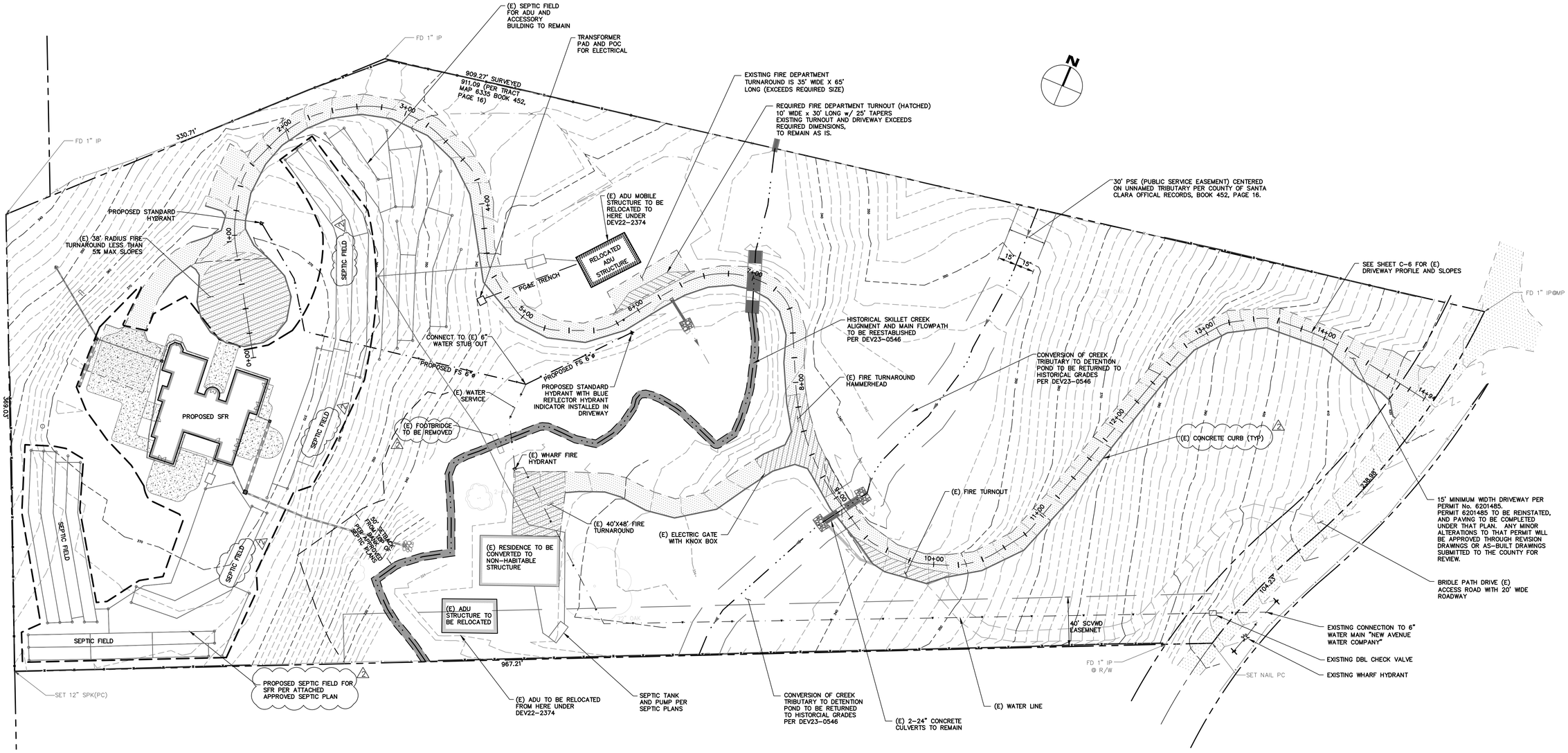
SHEET INDEX

C–0	COVER SHEET
C–1	SITE PLAN
C–2	GRADING AND DRAINAGE PLAN
C–3	SECTIONS
C–4	DRIVEWAY PROFILE
C–5	DETAILS (△2)
C–6	EROSION CONTROL PLAN
BMP–1	BEST MANAGEMENT PRACTICES SHEET 1
BMP–2	BEST MANAGEMENT PRACTICES SHEET 2
SUP–1	PLAN SHEET FROM LDE01–8208G (△2)
SUP–2	APPROVED SEPTIC PLAN

ENGINEER'S NAME: MARK GROFCSIK, RCE 83644
ADDRESS: 303 POTRERO STREET, SUITE 42–202
SANTA CLARA, CA 95060
PHONE NO. (831) 425–3901

Revision	Date	APN / Co. File	Sheet
Revision 1	Date	APN 830–17–059	Sheet 1 of 11
Revision 2	Date		
Revision 3	Date	Co. File PLN23–023	

APPLICANT: SAL AKHTER — ROAD: 2580 BRIDLE PATH DR — COUNTY FILE NO.: PLN23–023 (SFR)



PLAN

40' 0 40' 80'

1 INCH = 40 FEET

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY CARNES AND ASSOCIATES. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE NORTHWESTERLY LINE OF LOT 25, AS SHOWN ON THE MAP RECORDED IN THE BOOK 452 OF MAPS, AT PAGES 16-19, SANTA CLARA COUNTY RECORDS.

BASIS OF ELEVATIONS

TOP OF MONUMENT BOX AT NORTHWESTERLY CORNER OF LOT 25, TRACT 6335, AT THE CENTERLINE OF BRIDLE PATH DRIVE AND BUTCH DRIVE.
EL=424.16

ABBREVIATIONS

℄	CENTERLINE
DTL	DETAIL
DWY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
NTS	NOT TO SCALE
S	SLOPE
SCCO	SANTA CLARA COUNTY
STA	STATION
TYP	TYPICAL

LEGEND

- (E) AB
- ASPHALT DRIVEWAY UNDER PERMIT 6204185 (2)
- PROPOSED AC
- (E) CONCRETE
- (E) FLOWLINE
- (E) RETAINING WALL
- PROPERTY LINE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED SETBACK

IMPERVIOUS AREA CALCULATIONS

NEW IMPRERVIOUS

HOUSE	4,925	SF
CONCRETE FLATWORK	5,060	SF

REPLACED IMPERVIOUS

CONCRETE FLATWORK	1,880	SF

TOTAL NEW AND REPLACED IMPERVIOUS
11,865 SF

FIRE MARSHAL NOTES

PROJECT IS LOCATED WITHIN THE STATE RESPONSE AREA (SRA) AND THE WILDLAND URBAN INTERFACE (WUI).
B.CHAPTER 7A OF THE CBC TO BE MET AT BUILDING PERMIT SUBMITTAL.
C.DEFENSIBLE SPACE TO BE MAINTAINED AT ALL TIMES.
D.PRC-4290 COMPLIANCE WILL BE REVIEWED BY CAL FIRE.
E.SHEET 1 OF 10 REFERENCES THE PREVIOUS CODE CYCLE. THIS PLN REVIEW IS BEING CONDUCTED OFF THE 2022 CFC AND LOCAL ORDINANCE.
F.FIRE SPRINKLERS ARE TO BE LISTED AS A DEFERRED SUBMITTAL.

DRIVEWAY IS OF ALL WEATHER MATERIAL CAPABLE OF HOLDING 75,000 LB FIRE TRUCK LOADING. (IT HAS MULTIPLE TIMES BEEN USED BY CALFIRE AS A STAGING AREA)

1 REVISED PER COUNTY COMMENTS OCTOBER 2023
2 REVISED PER COUNTY COMMENTS MARCH 2025

REGISTERED PROFESSIONAL ENGINEER MARK M. GROFCSIK No. 83644 Exp. 3-31-27 CIVIL STATE OF CALIFORNIA
3/28/2025

RI Engineering, Inc.
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

SINGLE FAMILY RESIDENCE
FOR
SAL AKHTER
2580 BRIDLE PATH DR
GILROY, CALIFORNIA
APN: 830-17-059

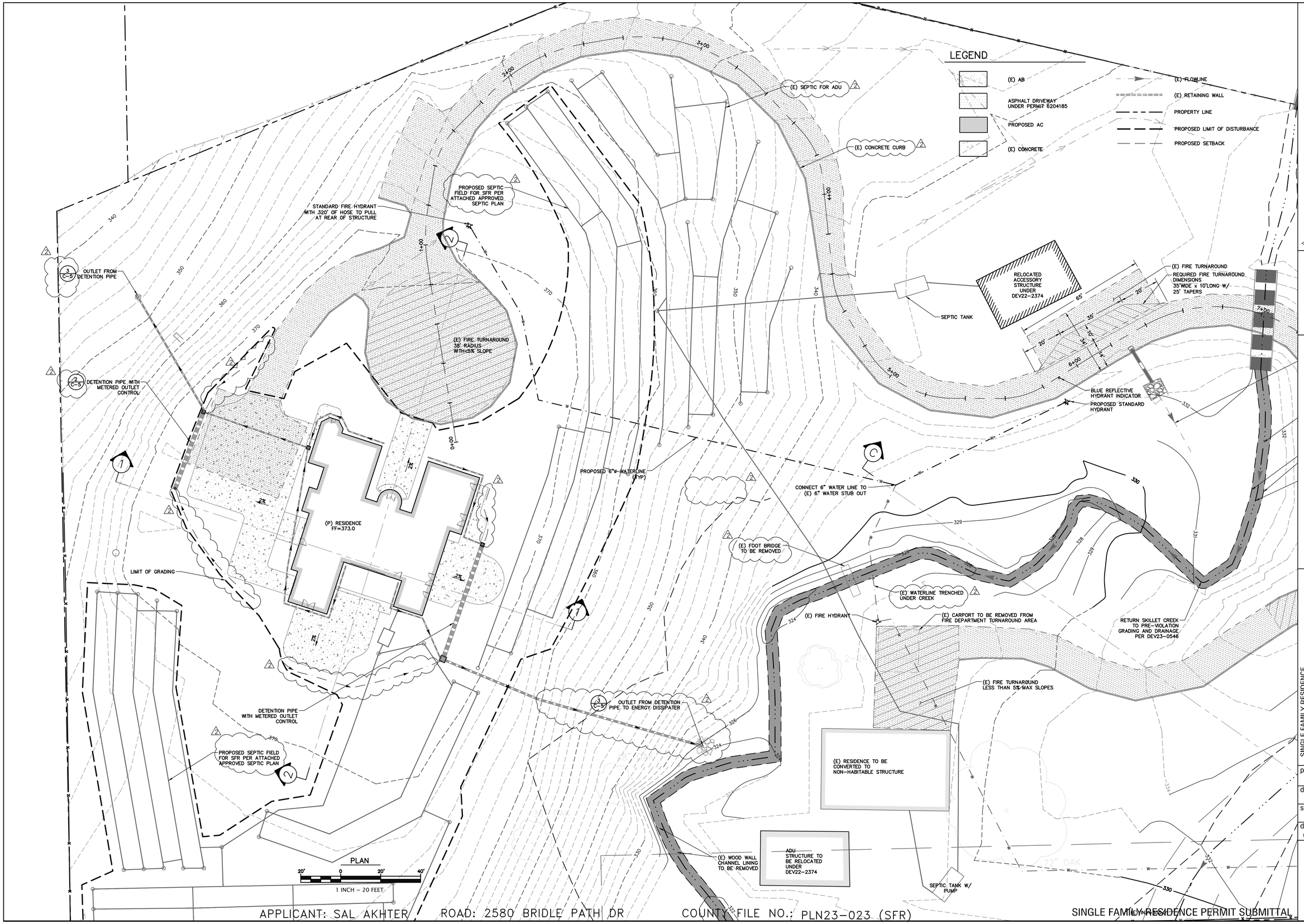
SITE PLAN

project no. 14-067-2
date MARCH 2024
scale AS SHOWN
dwg name CIVIL-SFR PLN23-023

C-1

APPLICANT: SAL AKHTER ROAD: 2580 BRIDLE PATH DR COUNTY FILE NO.: PLN23-023 (SFR)

SINGLE FAMILY RESIDENCE PERMIT SUBMITTAL



APPLICANT: SAL AKHTER ROAD: 2580 BRIDLE PATH DR COUNTY FILE NO.: PLN23-023 (SFR) SINGLE FAMILY RESIDENCE PERMIT SUBMITTAL

1 REVISED PER COUNTY COMMENTS OCTOBER 2023
2 REVISED PER COUNTY COMMENTS MARCH 2025

REGISTERED PROFESSIONAL ENGINEER MARK M. CROFCSIK No. 50944 Exp. 12-31-27 CIVIL STATE OF CALIFORNIA
3/28/2025

RI Engineering, Inc.
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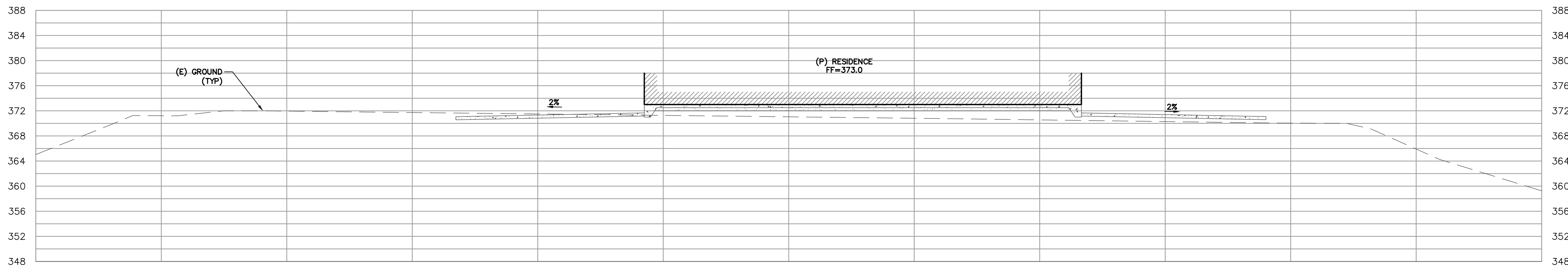
831-425-3901 www.riengineering.com

SINGLE FAMILY RESIDENCE
FOR
SAL AKHTER
2580 BRIDLE PATH DR
GILROY, CALIFORNIA
APN: 830-17-059

GRADING AND DRAINAGE PLAN

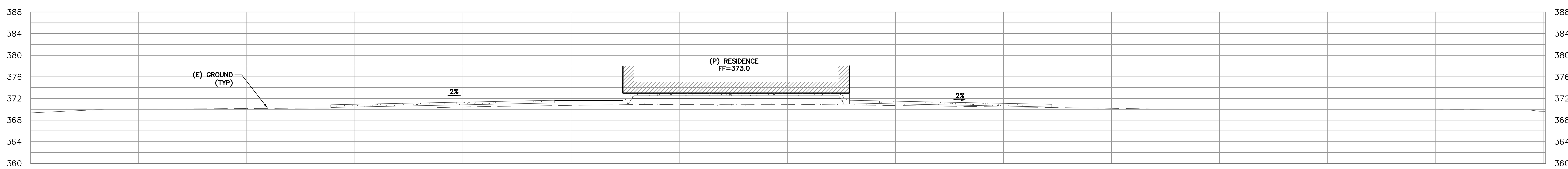
project no. 14-067-2
date MARCH 2024
scale AS SHOWN
dwg name CIVIL-SFR PLN23-023

C-2



SECTION 1–1

SCALE: 1"=20' HORIZONTAL, VERTICAL



SECTION 2–2

SCALE: 1"=20' HORIZONTAL, VERTICAL

1 REVISED PER COUNTY COMMENTS OCTOBER 2023

2 REVISED PER COUNTY COMMENTS MARCH 2025

REGISTERED PROFESSIONAL ENGINEER
MARK M. GROFCSIK
No. 83471
Exp. 3-31-27
CIVIL
STATE OF CALIFORNIA
3/28/2025

RI Engineering, Inc.
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

SINGLE FAMILY RESIDENCE
FOR
SAL AKHTER
2580 BRIDLE PATH DR
GILROY, CALIFORNIA
APN: 830-17-059

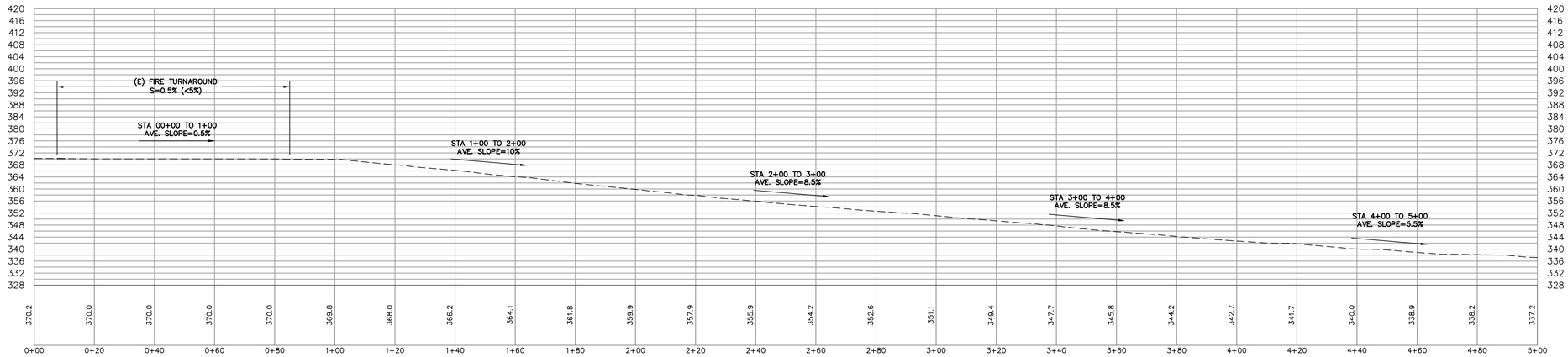
DETAILS AND SECTIONS

project no.	14-067-2
date	MARCH 2024
scale	AS SHOWN
dwg name	CIVIL-SFR PLN23-023

C-3

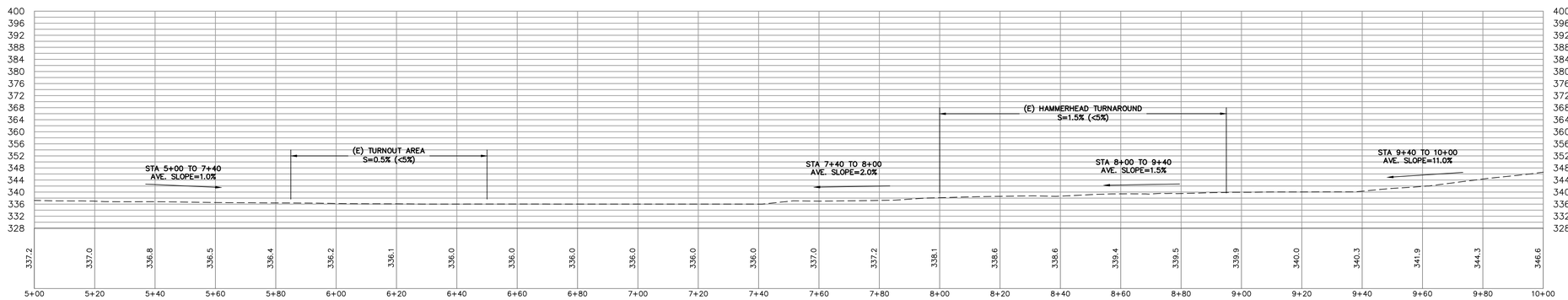
NOTE: ENTIRE DRIVEWAY SLOPE LESS THAN 16%, EXCEPT FOR 160' LONG SECTION AT STATION 13+00 TO 14+40

DRIVEWAY TO BE PAVED UNDER PERMIT No. 6201485



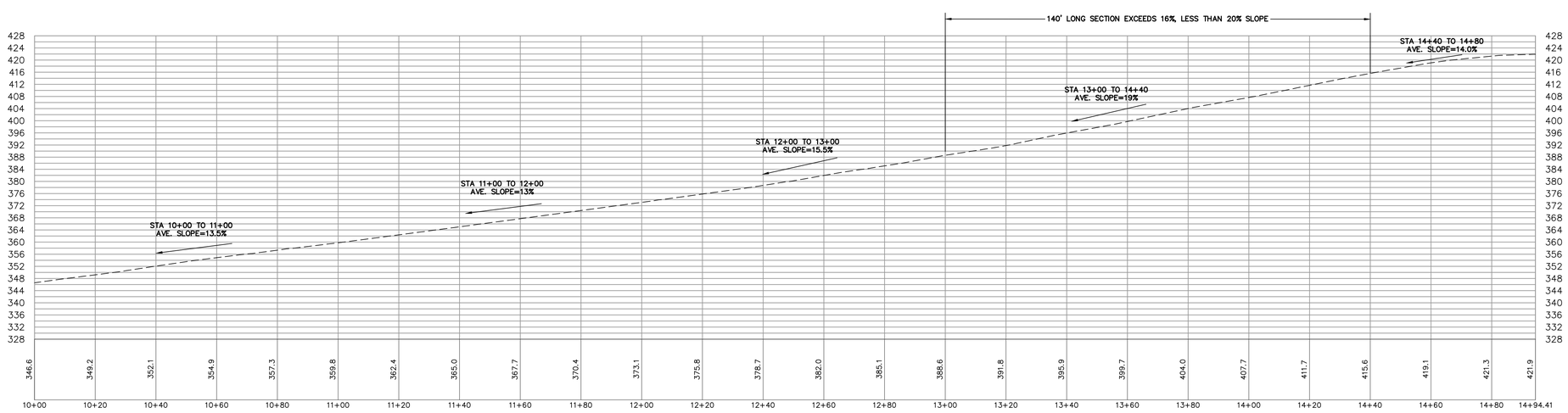
DRIVEWAY PROFILE (STA 0+00 TO 5+00)

SCALE: 1"=20' HORIZONTAL, VERTICAL



DRIVEWAY PROFILE (STA 5+00 TO 10+00)

SCALE: 1"=20' HORIZONTAL, VERTICAL



DRIVEWAY PROFILE (STA 10+00 TO 14+94)

SCALE: 1"=20' HORIZONTAL, VERTICAL

APPLICANT: SAL AKHTER ROAD: 2580 BRIDLE PATH DR COUNTY FILE NO.: PLN23-023 (SFR)

SINGLE FAMILY RESIDENCE PERMIT SUBMITTAL

1 REVISED PER COUNTY COMMENTS OCTOBER 2023

2 REVISED PER COUNTY COMMENTS MARCH 2025

SUBMITTED PROFESSIONAL ENGINEER MARK M. CROFCSIK No. 55844 Exp. 31-27 CIVIL STATE OF CALIFORNIA

3/28/2025

RJ Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060

831-425-3901 www.rjengineering.com

SINGLE FAMILY RESIDENCE
FOR
SAL AKHTER
2580 BRIDLE PATH DR
GILROY, CALIFORNIA
APN: 830-17-059

DRIVEWAY PROFILE

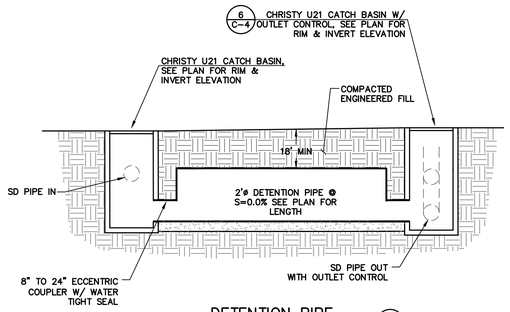
project no. 14-067-2

date MARCH 2024

scale AS SHOWN

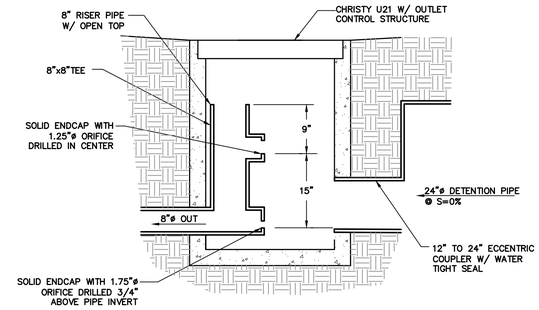
dwg name CIVIL-SFR PLN23-023

C-4



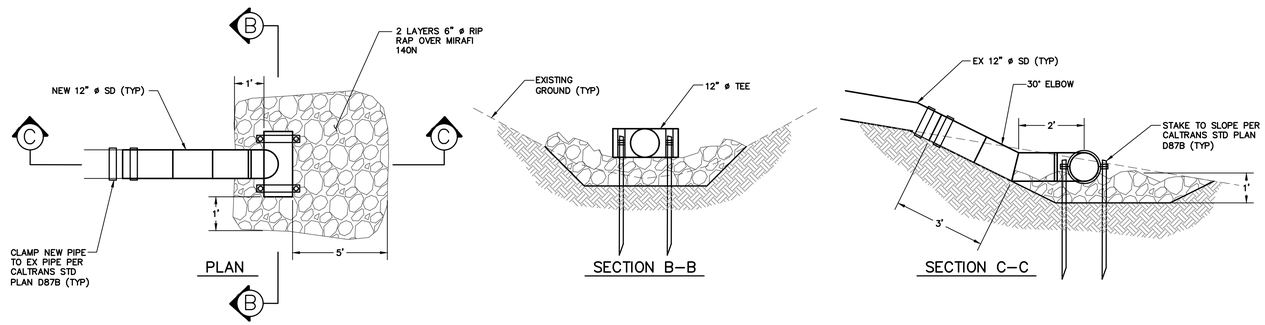
DETENTION PIPE 1 C-5

NTS



DETENTION OUTLET CONTROL STRUCTURE "A" 2 C-5

NTS



ENERGY DISSIPATER DETAIL 3 C-5

NTS

APPLICANT: SAL AKHTER ROAD: 2580 BRIDLE PATH DR COUNTY FILE NO.: PLN23-023 (SFR)

SINGLE FAMILY RESIDENCE PERMIT SUBMITTAL

2 REVISED PER COUNTY COMMENTS OCTOBER 2023

1 REVISED PER COUNTY COMMENTS MARCH 2025

REGISTERED PROFESSIONAL ENGINEER MARK W. GRUFCSIK No. 86944 Exp. 3-31-27 CIVIL STATE OF CALIFORNIA

3/28/2025

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303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.rjengineering.com

SINGLE FAMILY RESIDENCE
FOR
SAL AKHTER
2580 BRIDLE PATH DR
GILROY, CALIFORNIA
APN: 830-17-059

DETAILS

project no. 14-067-2

date MARCH 2024

scale AS SHOWN

dwg name CIVIL-SFR PLN23-023

2

C-5

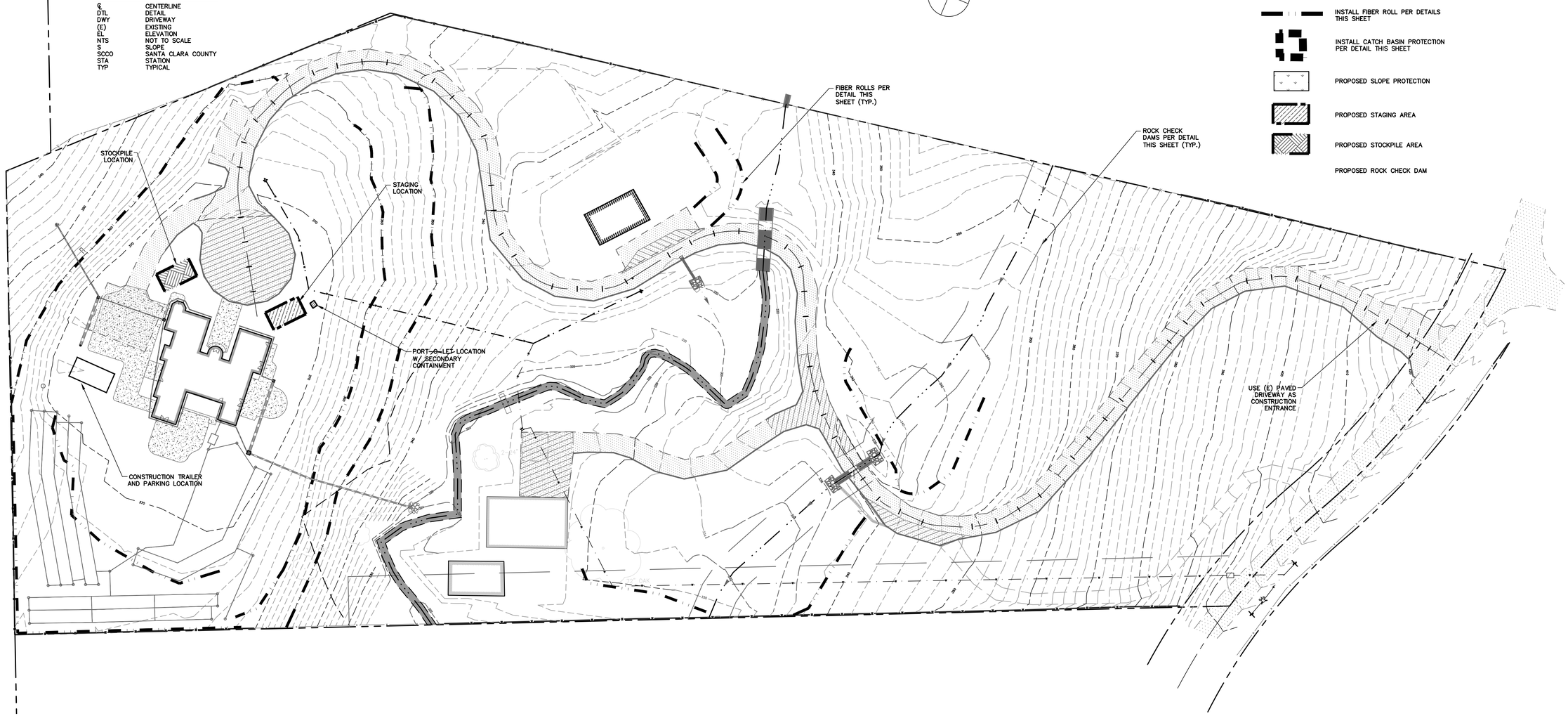
TOTAL AREA OF DISTURBANCE = 40,660 SQFT

ABBREVIATIONS

℄	CENTERLINE
DTL	DETAIL
DWY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
NTS	NOT TO SCALE
S	SLOPE
SCCO	SANTA CLARA COUNTY
STA	STATION
TYP	TYPICAL

EROSION CONTROL LEGEND

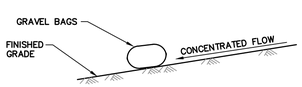
- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- INSTALL CATCH BASIN PROTECTION PER DETAIL THIS SHEET
- PROPOSED SLOPE PROTECTION
- PROPOSED STAGING AREA
- PROPOSED STOCKPILE AREA
- PROPOSED ROCK CHECK DAM



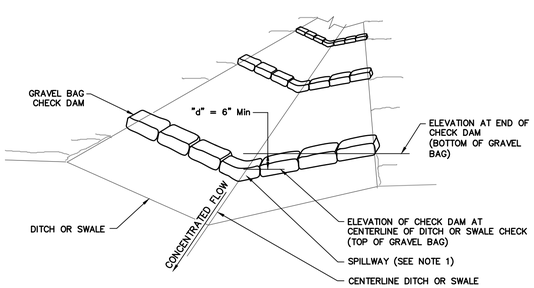
PLAN

40' 0 40' 80'

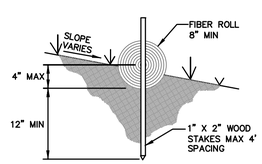
1 INCH = 40 FEET



SECTION

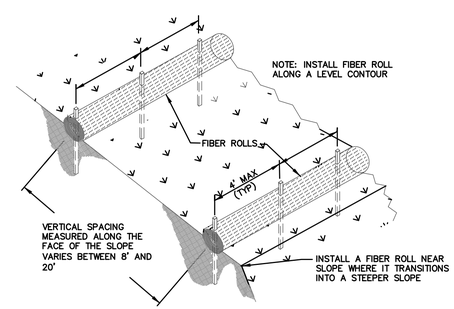


GRAVEL BAG CHECK DAM



FIBER ROLL DETAIL IN SLOPE AREA

NTS



TYPICAL FIBER ROLL INSTALLATION

NTS

EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN. DURING THE PERIOD OF OCTOBER 15TH TO APRIL 15TH, SHOWN MEASURES SHALL BE INSTALLED BY THE TIME OF THE INITIAL "GRADE STAKE" INSPECTION. THERE SHALL BE NO CONSTRUCTION INVOLVING THE REBUILDING AND RE-ALIGNMENT OF WATERWAYS DURING THE RAINY SEASON AND/OR FORECASTED RAIN EVENTS.
2. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
3. ALL DITCHES SHALL BE LINED WITH GRASS OR 4" HAND PLACED COBBLE
4. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED AT A RATE OF 5# BROME SEED PER 1000 SF SEEDING AND WATERING SHALL BE MAINTAINED TO ENSURE GROWTH.
5. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE AND OUTFALL EROSION CONTROLS, E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE RUNOFF SHALL BE RELEASED TO SHEET FLOW
6. PLANTING SHALL BE COMPLETED NOT MORE THAN 90 DAYS AFTER COMPLETION OF GRADING
7. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
8. GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF THE SANTA CLARA COUNTY BUILDING OFFICIAL.
9. IN ADDITION TO NOTE 4 ABOVE, SLOPES GREATER THAN 15' VERTICAL HEIGHT SHALL BE PLANTED WITH SHRUBS IN 2¼" POTS OR LARGER, SPACED AT INTERVALS OF 10' OR LESS ON CENTERS, OR TREES HAVING A ONE GALLON MINIMUM SIZE AT 20' INTERVALS, OR A COMBINATION OF TREES AND SHRUBS AT A SPACING APPROPRIATE TO THE SPECIES. THE PLANS SELECTED AND THE PLANTING METHODS USED SHALL BE SUITABLE FOR THE SOIL AND CLIMATE CONDITIONS OF THE SITE.

EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES ≤ 20% WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES >20%.

APPLICANT: SAL AKHTER ROAD: 2580 BRIDLE PATH DR COUNTY FILE NO.: PLN23-023 (SFR)

SINGLE FAMILY RESIDENCE PERMIT SUBMITTAL

1 REVISED PER COUNTY COMMENTS OCTOBER 2023
2 REVISED PER COUNTY COMMENTS MARCH 2025

REGISTERED PROFESSIONAL ENGINEER MARK M. CROFCSIK No. 57544 Exp. 3-31-27 CIVIL STATE OF CALIFORNIA

3/28/2025

R.I Engineering, Inc.
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.rienginee ring.com

SINGLE FAMILY RESIDENCE
FOR
SAL AKHTER
2580 BRIDLE PATH DR
GILROY, CALIFORNIA
APN: 830-17-059

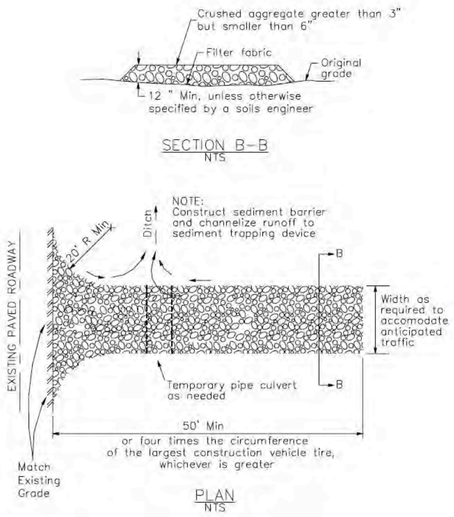
EROSION CONTROL PLAN

project no. 14-067-2
date MARCH 2024
scale AS SHOWN
dwg name CIVIL-SFR PLN23-023

C-6

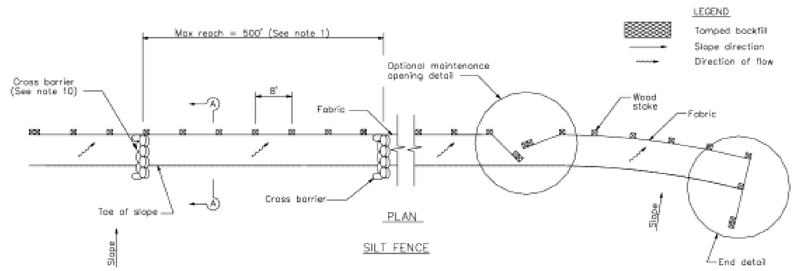
3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



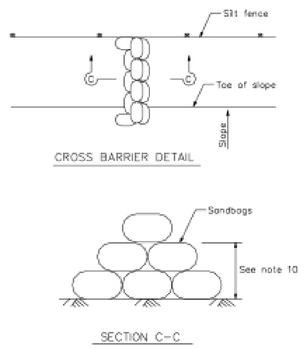
1 Silt Fence

CASQA Detail SE-1



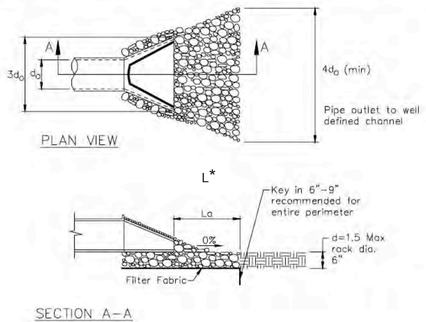
NOTES

1. Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/3 the height of the linear barrier, in no case shall the reach length exceed 500'.
2. The last 8'-0" of fence shall be turned up slope.
3. Stake dimensions are nominal.
4. Dimension may vary to fit field condition.
5. Stakes shall be spaced at 8'-0" maximum and shall be positioned on downstream side of fence.
6. Stakes to overlap and fence fabric to fold around each stake one full turn. Secure fabric to stake with 4 staples.
7. Stakes shall be driven tightly together to prevent potential flow-through of sediment at joint. The tops of the stakes shall be secured with wire.
8. For end stake, fence fabric shall be folded around two stakes one full turn and secured with 4 staples.
9. Minimum 4 staples per stake. Dimensions shown are typical.
10. Cross barriers shall be a minimum of 1/3 and a maximum of 1/2 the height of the linear barrier.
11. Maintenance openings shall be constructed in a manner to ensure sediment remains behind silt fence.
12. Joining sections shall not be placed at sump locations.
13. Sandbag rows and layers shall be offset to eliminate gaps.



4 Velocity Dissipation Devices

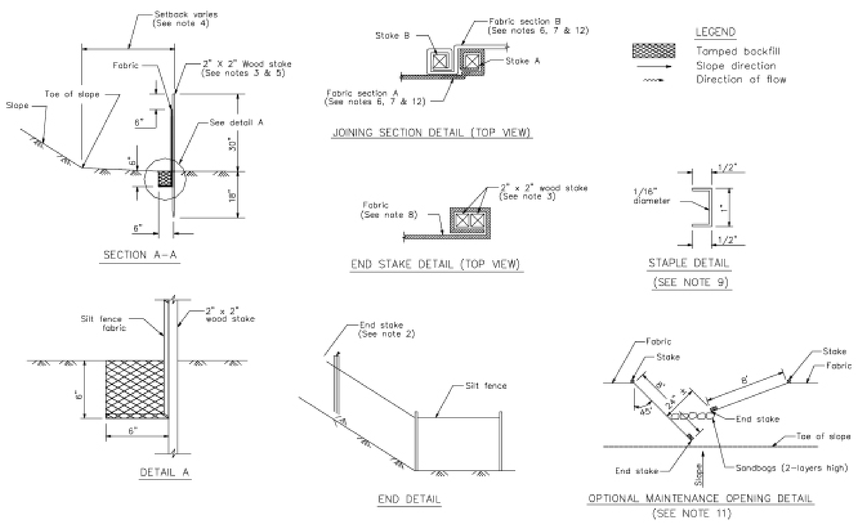
CASQA Detail EC-10



* Length per ABAG Design Standards

2 Silt Fence

CASQA Detail SE-1



Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

STANDARD BEST MANAGEMENT PRACTICE NOTES

1. Solid and Demolition Waste Management: Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
2. Hazardous Waste Management: Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
3. Spill Prevention and Control: Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
4. Vehicle and Construction Equipment Service and Storage: An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
5. Material Delivery, Handling and Storage: In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
6. Handling and Disposal of Concrete and Cement: When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
7. Pavement Construction Management: Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
8. Contaminated Soil and Water Management: Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
9. Sanitary/Septic Water Management: Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
10. Inspection & Maintenance: Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

1. Sediment Control Management:

   Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

   Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

   Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

   Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

   Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures(tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
2. Erosion Control: During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
3. Inspection & Maintenance: Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/ or alternative control measures implemented immediately, within 24 hours of the problem being identified.
4. Project Completion: Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Project Information

STREAM GRADING ABATEMENT
FOR
SAL AKHTER
2580 BRIDLE PATH DR
APN: 830-17-059
PROJECT #14-067-1

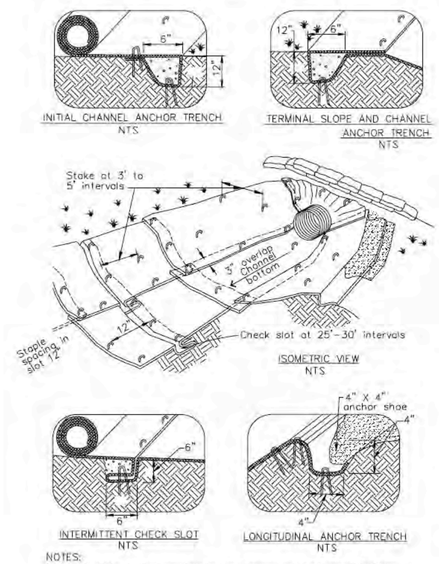
APPLICANT:SAL AKHTER
ROAD:2580 BRIDLE PATH DR.
COUNTY FILE NO. 8208-18GA

Best Management Practices and Erosion Control Details Sheet 1
County of Santa Clara

BMP-1

7 Geotextiles and Mats

CASQA Detail EC-7

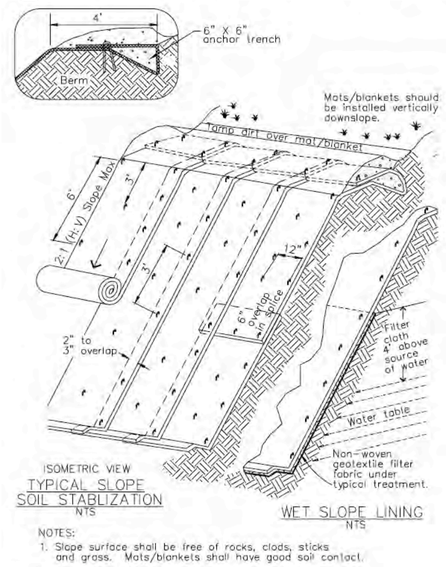


NOTES:
1. Check slots to be constructed per manufacturers specifications.
2. Staking or stapling layout per manufacturers specifications.
3. Install per manufacturer's recommendations.

TYPICAL INSTALLATION DETAIL

5 Geotextiles and Mats

CASQA Detail EC-7

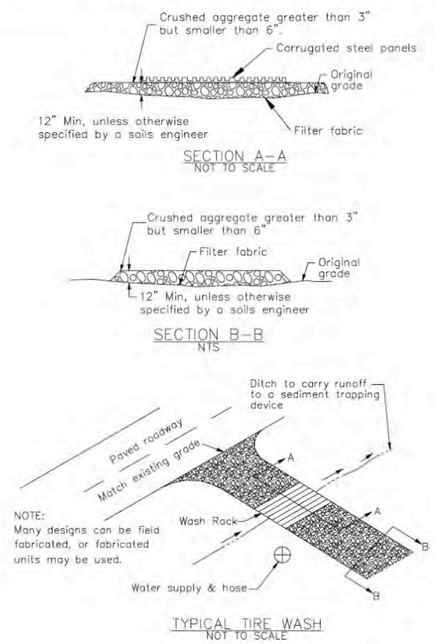


NOTES:
1. Slope surface shall be free of rocks, clods, sticks and grass. Mats/blankets shall have good soil contact.
2. Lay blankets loosely and stake or staple to maintain direct contact with the soil. Do not stretch.
3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

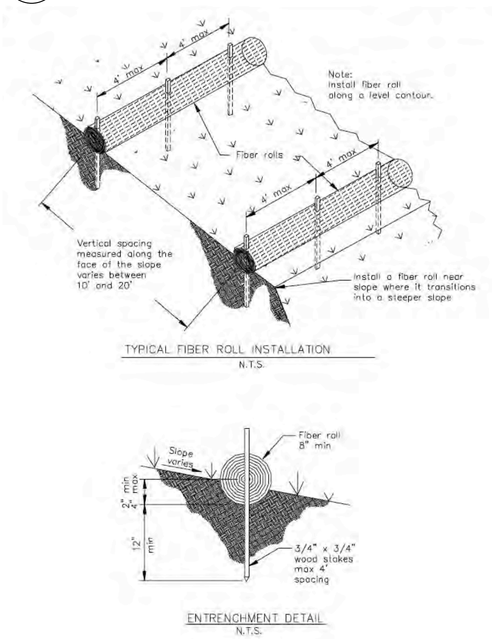
3 Entrance/Outlet Tire Wash

CASQA Detail TC-3



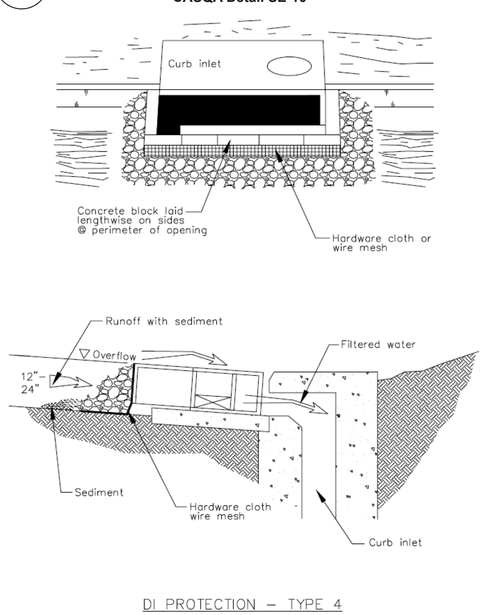
1 Fiber Rolls

CASQA Detail SE-5



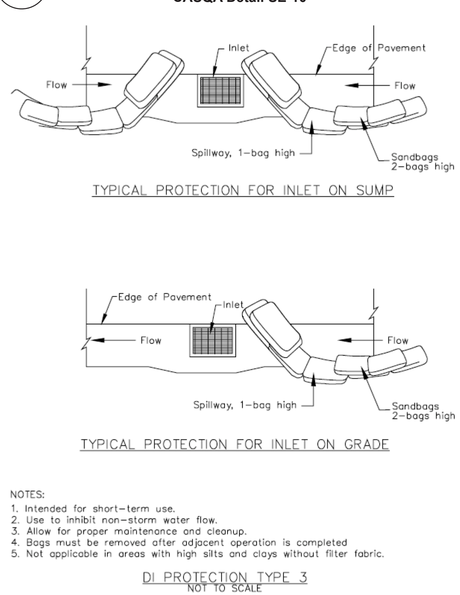
8 Storm Drain Inlet Protection

CASQA Detail SE-10



6 Storm Drain Inlet Protection

CASQA Detail SE-10

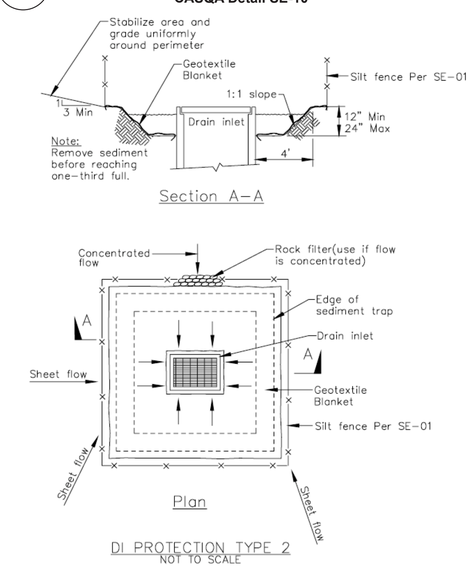


NOTES:
1. Intended for short-term use.
2. Use to inhibit non-storm water flow.
3. Allow for proper maintenance and cleanup.
4. Bags must be removed after adjacent operation is completed
5. Not applicable in areas with high silts and clays without filter fabric.

DI PROTECTION TYPE 3
NOT TO SCALE

4 Storm Drain Inlet Protection

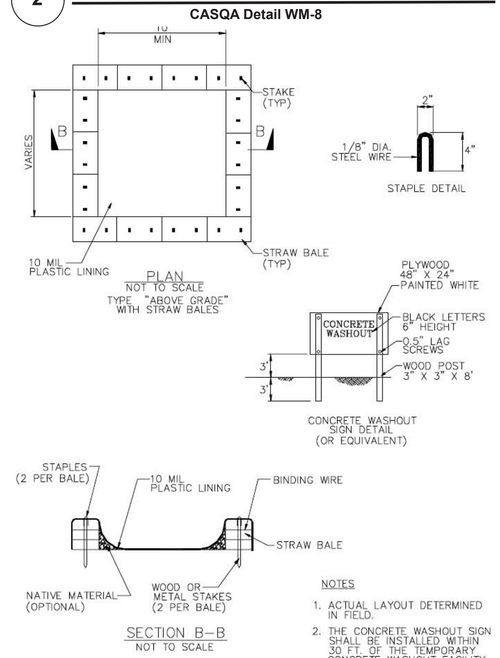
CASQA Detail SE-10



Notes
1. For use in cleared and grubbed and in graded areas.
2. Shape basin so that longest inflow area faces longest length of trap.
3. For concentrated flows, shape basin in 2:1 ratio with length oriented towards direction of flow.

2 Concrete Waste Management

CASQA Detail WM-8



NOTES
1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

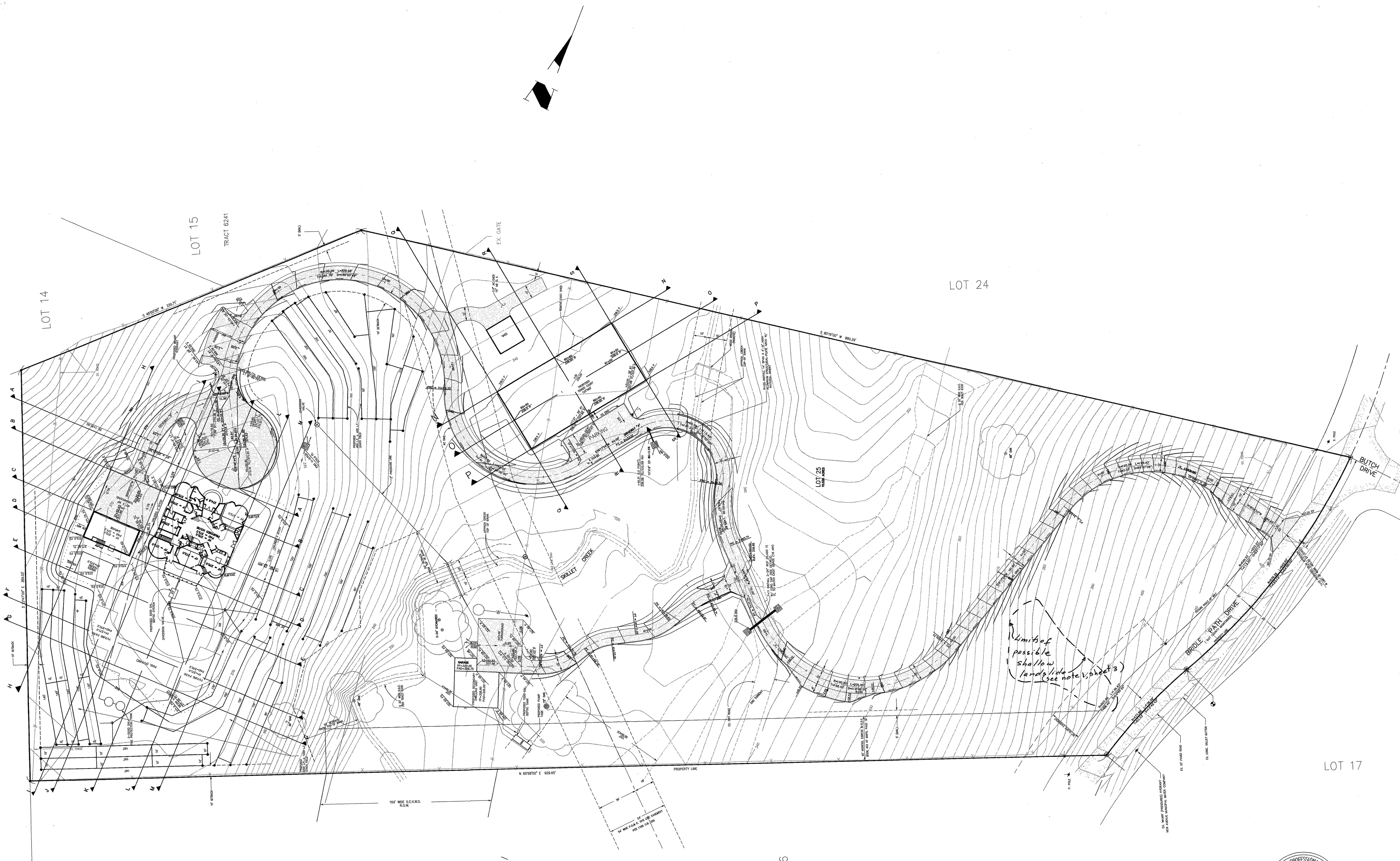
Project Information

APPLICANT:SAL AKHTER
ROAD:2580 BRIDLE PATH DR.
COUNTY FILE NO. 8208-186A

STREAM GRADING ABATEMENT
FOR
SAL AKHTER
2580 BRIDLE PATH DR.
APN: 839-17-059
PROJECT #14-067-1

Best Management Practices and Erosion Control Details Sheet 2
County of Santa Clara

BMP-2



APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

REGISTERED PROFESSIONAL ENGINEER
NINH M. LE
No. C 47518
Exp. 12/31/2005
CIVIL
STATE OF CALIFORNIA
5/28/04

PLAN # 6926 R
SHEET 2 OF 12

CARNES & ASSOCIATES

9505 SUGAR BABE DRIVE
GILROY, CALIFORNIA 95020
408-847-2013

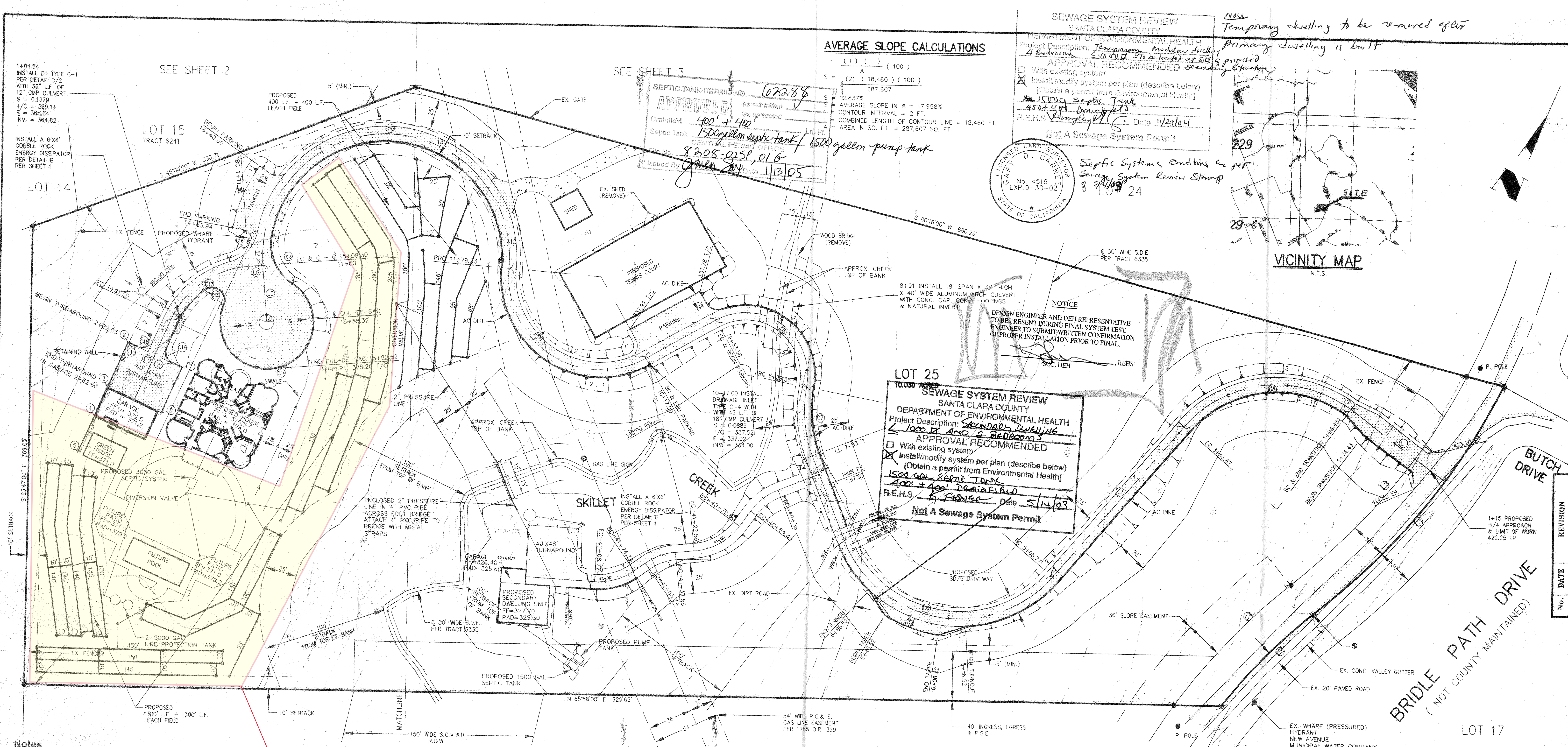
No.	DATE	REVISION
1	8-01-00	REVISE HOUSE & TURNAROUND
2	2-19-02	REVISE SEPTIC SYSTEM AND FIRE PROTECTION
3	3-11-02	REVISE SWAMP CROSSING, CREEK CROSSING, & SECONDARY DWELLING UNIT
4	7-20-03	LOWER HOUSE, DELETE RET. WALL AT TURNAROUND, & REVISE CONC. DIP
5	5-5-04	REVISE PER COUNTY'S COMMENTS 9/8/03

OVERALL SITE PLAN FOR SAL AKHTER
LOT 25, TRACT 6335
CITY OF SANTA CLARA, CALIF.

DATE : 7-30-01
SCALE : 1" = 40'
DRAWN BY : F.D.G.
PROJ. MANAGER : N.L.

SHEET 2 OF 12
Job No. 0012
AKHTERGP2_NINLEE

APPLICANT: SAL AKHTER ROAD NAME: BRIDLE PATH DRIVE CO. FILE NO.: 8208-28-79-01G



AVERAGE SLOPE CALCULATIONS

$$S = \frac{(I)\ (L)}{A}\ (100)$$

$$S = \frac{(2)\ (18,460)\ (100)}{287,607}$$

S = 12.837%

S = AVERAGE SLOPE IN % = 17.958%

I = CONTOUR INTERVAL = 2 FT.

L = COMBINED LENGTH OF CONTOUR LINE = 18,460 FT.

A = AREA IN SQ. FT. = 287,607 SQ. FT.

SEPTIC TANK PERMIT NO. 62288
APPROVED as submitted
Drainfield 400' + 400'
Septic Tank 1500 gallon septic tank / 1500 gallon pump tank
CENTRAL PERMIT OFFICE
File No. 8208-02SP, 016
Issued By [signature] Date 1/13/05

SEWAGE SYSTEM REVIEW
SANTA CLARA COUNTY
DEPARTMENT OF ENVIRONMENTAL HEALTH
Project Description: Temporary modular dwelling 4 Bedrooms ≤4500 ft² - to be located at site of proposed secondary structure
APPROVAL RECOMMENDED
☐ With existing system
☒ Install/modify system per plan (describe below)
[Obtain a permit from Environmental Health]
1500g Septic Tank
400+400 Drainfields
R.E.H.S. [signature] Date 11/29/04
Not A Sewage System Permit

Note
Temporary dwelling to be removed after primary dwelling is built

LICENSED LAND SURVEYOR GARY D. CARNES No. 4516 EXP. 9-30-02 STATE OF CALIFORNIA

Septic Systems conditions as per Sewage System Review Stamp of 5/14/03

NOTICE
DESIGN ENGINEER AND DEH REPRESENTATIVE TO BE PRESENT DURING FINAL SYSTEM TEST. ENGINEER TO SUBMIT WRITTEN CONFIRMATION OF PROPER INSTALLATION PRIOR TO FINAL.
[signature] SCC, DEH, REHS

SEWAGE SYSTEM REVIEW
SANTA CLARA COUNTY
DEPARTMENT OF ENVIRONMENTAL HEALTH
Project Description: Secondary Dwelling ≤ 1000 ft² and 2 Bedrooms
APPROVAL RECOMMENDED
☐ With existing system
☒ Install/modify system per plan (describe below)
[Obtain a permit from Environmental Health]
1500 Gal Septic Tank
400' + 400' Drainfield
R.E.H.S. [signature] Date 5/14/03
Not A Sewage System Permit

Notes

For Main Residence

1. Sewage disposal system to consist of a new 3000 gallon watertight concrete septic tank with watertight access risers to grade, a Bull-Run diversion valve, two Zabel flow dividers, two 1300 lft. drainfields with inspection risers to grade. Effective depth of system is 5.5 ft to 8.0 feet. Slope in drainfield area is 10 to 30% max.
2. System to serve a new 7 bedroom, 8500 sqft. residence. Installation of system to conform to Santa Clara County Sewage Disposal Ordinance. Call Santa Clara County Department of Environmental Health 24 hours min. prior to start of work for inspection. (408) 918- 3400.
3. Drainfields to be installed level and on contours as shown on plan.
4. Spread excess dirt or remove from site.
5. All work is to be performed by an appropriately licensed contractor.
6. Prior to starting construction, contractor shall locate and mark all underground utilities.
7. Water lines to be located 10' min. from drainfields.
8. Owner to change diversion valve annually.
9. The septic tank should be inspected every 2 to 3 years and pumped as necessary.
10. The septic tank shall be installed in undisturbed native soil.
11. A garbage disposal is NOT recommended, if one is installed, use it sparingly
12. Mark caps of all Bull Run valves (D V), Zabel flow dividers (FD) and risers (R) with a permanent marker or label.

For Secondary Dwelling

1. Sewage disposal system to consist of a new 1500 gallon watertight concrete septic tank, a 1500 gal. pump tank, with watertight access risers to grade, a Bull-Run diversion valve, and two 400 lft. drainfields with inspection risers to grade. Effective depth of system is 5.5 ft to 8.0 feet. Slope in drainfield area is 18 to 26% max.
2. System to serve a new 2 bedroom, 1000 sqft. secondary dwelling.
3. Drainfields to be installed level and on contours as shown on plan. Drainfields are shown at 400 lft per field.
4. Spread excess dirt or remove from site.
5. Install an OSI X4S1272-1818 Biotube pump vault, with an OSI P500511, 115 v 2 stage .5 hp pump (or P500512 230 v) in the 1500 gal pump tank, a HV200 BCX hose and valve discharge piping, and a MF3A float assembly. The S1 simplex control panel with a SB4 junction box to be installed at the utility building. (All components to purchased from OSI, 1-800-348-9843).
6. Notify Environmental Concepts and Co. of Santa Clara EHS to schedule pump test (48 hours min. notice prior to pump test.)
7. All electrical work must be done under permit and inspection of the Santa Clara Co. Building Department.
8. All work is to be performed by an appropriately licensed contractor.
9. All pipe for pressure system to be SCH 40 PVC.
10. Prior to starting construction, contractor shall locate any underground utilities.
11. Pump requirements: 47 ft. of total head @ 15 to 20 gpm. (see OSI pump calc. sheet).
12. Pump tank should be inspected and tested (by installer) every 1 to 2 years to insure proper operation.
13. Prior to starting construction, contractor shall locate and mark any underground utilities.
14. Water lines to be located 10' min. from drainfields.
15. Owner to change diversion valve annually.
16. The septic tank should be inspected every 2 to 3 years and pumped as necessary.
17. The tanks shall be installed in undisturbed native soil.
18. A garbage disposal is NOT recommended, if one is installed, use it sparingl
19. Mark caps of all Bull Run valves (D V) and risers (R) with a permanent marker or label.

SEWAGE SYSTEM REVIEW
SANTA CLARA COUNTY
DEPARTMENT OF ENVIRONMENTAL HEALTH
Project Description: SFD not to exceed 8800 ft² & 7 bedrooms.
APPROVAL RECOMMENDED
☐ With existing system
☒ Install/modify system per plan (describe below)
[Obtain a permit from Environmental Health]
3000 gal. tank w/1300LF + 1300LF of drainfield.
R.E.H.S. Chris Card Date 4-30-03
Not A Sewage System Permit

Pump Selection for a Non-Pressurized System

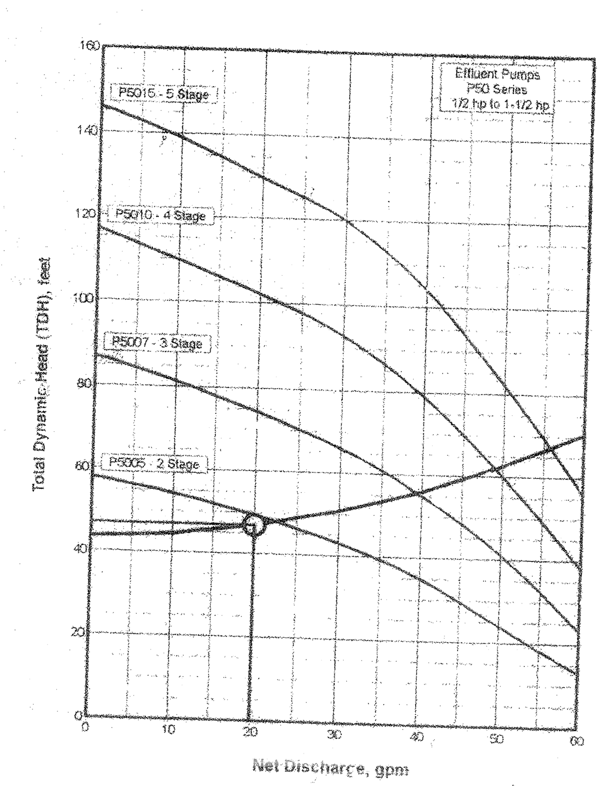
Input Parameters

Design Flow Rate	20	gpm
Distributing Valve Model	None	
Lift to Discharge	43.5	feet
Transport Length	350.0	feet
Transport Line Size	2.00	inches
Transport Pipe Class/Schedule	40	
Discharge Assembly Size	2.00	inches
Flow Meter	None	inches
'Add-on' Friction Losses	0.0	feet

Calculations

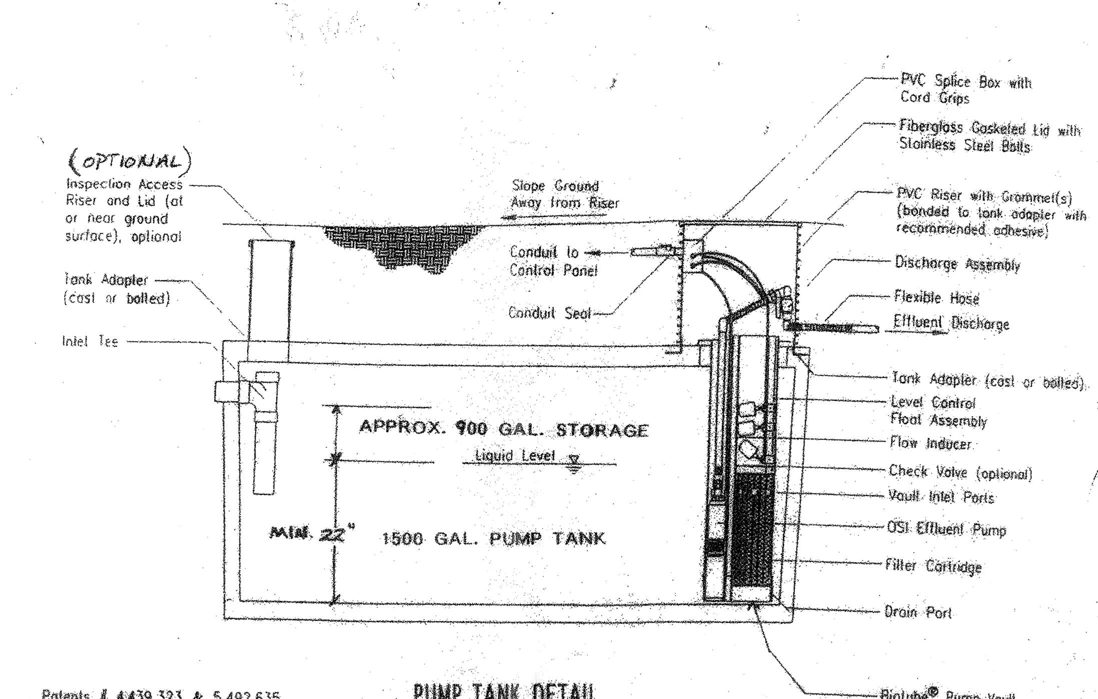
Head Loss Through Distributing Valve	0.0	feet
Head Loss in Transport Pipe	2.6	feet
Head Loss Through Discharge	0.8	feet
Head Loss Through Flow Meter	0.0	feet
'Add-on' Friction Losses	0.0	feet
Total Flow Rate	**20.0**	**gpm**
TDH	**46.9**	**feet**

Akhter, Bridle Path Dr., Gilroy



OSI Orenco System Incorporated
814 AIRWAY AVENUE SUTHERLIN, OREGON 97479
TOLL FREE: (800) 348-9843
TELEPHONE: (541) 459-4449
FACSIMILE: (541) 459-2884
www.orenco.com

Effluent Pumping System



PUMP TANK DETAIL

Patents # 4,439,323 & 5,492,635
Foreign Patents Pending
© 1997, Orenco Systems, Inc.

Orenco Systems® Incorporated
814 AIRWAY AVENUE SUTHERLIN, OREGON 97479-9012
TELEPHONE: (541) 459-4449
FACSIMILE: (541) 459-2884

EDW-TD-1 Rev. 1.0 (2/98)

REGISTERED ENVIRONMENTAL HEALTH SPECIALIST MICHAEL R. BATZ NO. 5487

CARNES & ASSOCIATES
9505 SUGAR BABE DRIVE
GILROY, CALIFORNIA 95020
408-847-2013

No.	DATE	REVISION
1	8-01-00	REVISE HOUSE & TURNAROUND
2	2-19-02	REVISE SEPTIC SYSTEM AND FIRE PROTECTION
3	3-11-02	REVISE SWAMP CROSSING, CREEK CROSSING, & SECONDARY DWELLING UNIT
4	3-13-03	ADD SEPTIC PUMP TANK DETAILS
5	4-15-03	REVISE SEPTIC SYSTEM

SITE PLAN FOR SAL AKHTER LOT 25, TRACT 6335 CITY OF SANTA CLARA, CALIF.

DATE: 8-20-01
SCALE: 1" = 40'
DRAWN BY: F.D.G.
PROJ. MANAGER: G.C.
SHEET 1 OF 3
Job No. 0012 AKHTERSP1XY

APPLICANT: SAL AKHTER

ROAD NAME: BRIDLE PATH DRIVE

CO. FILE NO.: 8208-28-79-01G

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