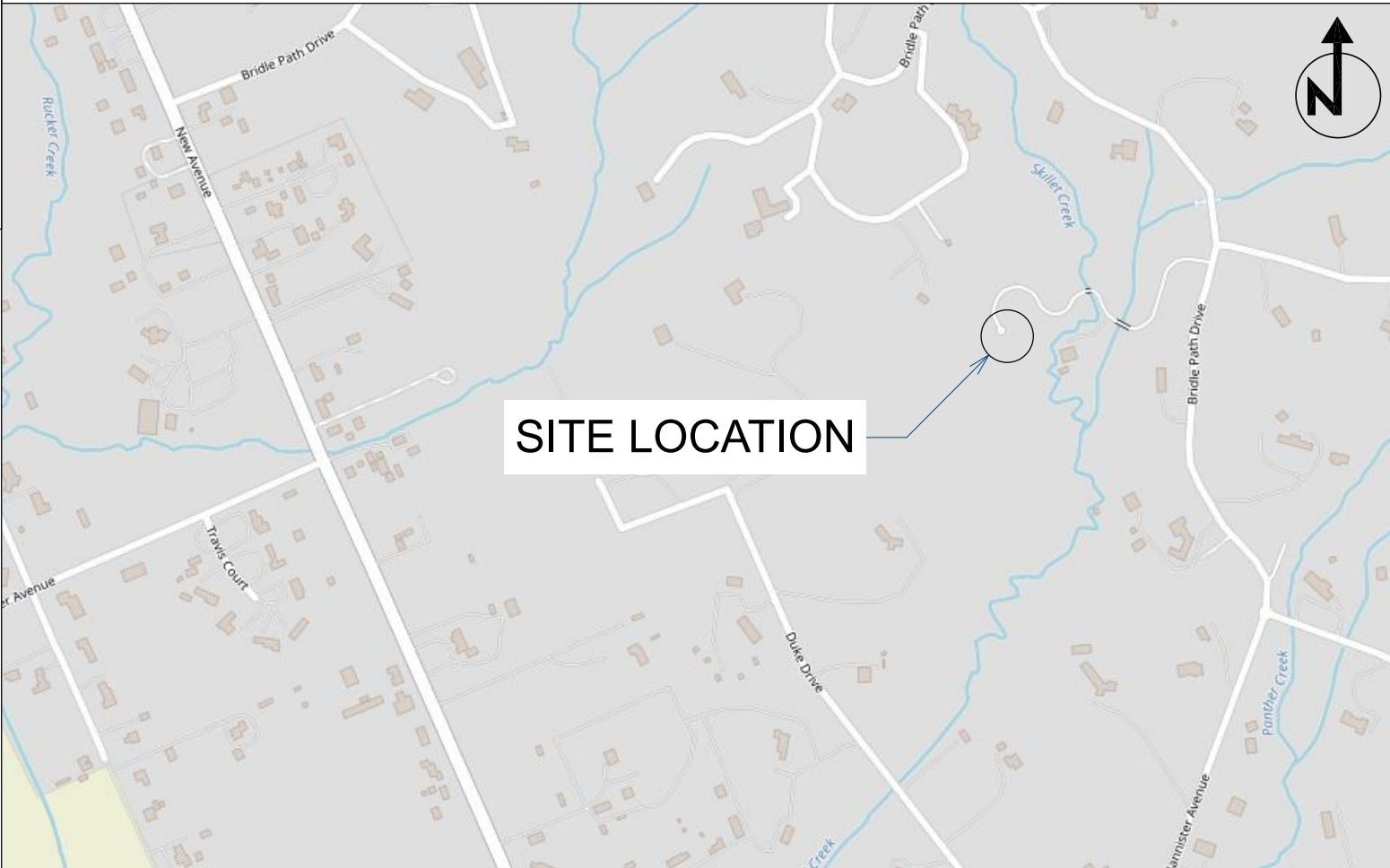


CONTACT INFO		PROJECT DESCRIPTION		PAGE INDEX																																											
OWNER / APPLICANT		OWNER PROPOSES TO CONSTRUCT A 4,987 SQFT SINGLE FAMILY RESIDENCE. THE EXTERIOR TO BE STUCCO FINISHED AND THE ROOF TO BE COVERED BY SPANISH TILE TYPE ROOFING. THERE IS NO PROPOSED LANDSCAPING.		A01	LAYOUT / TITLE PAGE																																										
DESIGNER				A02	PLOT PLAN																																										
MONTEREY BUILDING DESIGN PO BOX 222161 CARMEL, CA 93922 info@montereybuildingdesign.com (831) 620-9170				A03	FLOOR PLAN																																										
STRUCTURAL ENGINEER				A3.1	AREA PLAN																																										
IDS ENGINEERING, INC. 6280 WEST LAS POSITAS BLVD. SUITE 201 PLEASANTON, CA 94888 stevef@ids-eng.net 925-398-8315				A04	EXTERIOR ELEVATIONS																																										
CONTRACTOR		SITE DETAILS		A05	DOOR / WINDOW PLAN																																										
ENERGY ANALYST		ADDRESS: 2580 BRIDLE PATH DRIVE, GILROY APN: AP# 830-17-059 OWNER/APPLICANT: SAL AKHTER ZONING: HS-D1 SITE AREA: 10.03 ACRES RESIDENCE: 4,670 SQFT WASTE: SEPTIC WATER: MUNICIPAL ELECTRICITY/GAS: PGE CONSTRUCTION TYPE: V-B OCCUPANCY: R-3 FIRE SUPPRESSION: YES		A06	ROOF & RCP PLAN																																										
				A07	CROSS SECTIONS																																										
				C-0	CIVIL- COVER SHEET																																										
				C-1	CIVIL- SITE PLAN																																										
				C-1	SITE PLAN																																										
NOTES		SITE AREA		C-2	GRADING AND DRAINAGE PLAN																																										
<p>1. SPECIAL INSPECTION REQUIRED FOR EPOXY REBAR SETTING.</p> <p>2. OWNER SHALL SCHEDULE THE MANDATORY PRE-CONSTRUCTION SITE INSPECTION IF ISSUING THE PERMIT BETWEEN OCT 15 AND APRIL 15.</p> <p>PROJECT IS LOCATED WITHIN THE STATE RESPONSE AREA (SRA) AND THE WILDLAND URBAN INTERFACE (WUI).</p>		<table><tr><th colspan="3">SITE COVERAGE CALCULATION</th></tr><tr><td>LOT SIZE</td><td>438,012</td><td>SQFT</td></tr><tr><td>RESIDENCE COVERAGE</td><td>4,987</td><td>SQFT</td></tr><tr><td>HARDSCAPE</td><td>3,685</td><td>SQFT</td></tr><tr><td></td><td></td><td></td></tr><tr><td>TOTAL COVERAGE</td><td>8,672</td><td>SQFT</td></tr><tr><td>PERCENT OF COVERAGE</td><td>2.0%</td><td></td></tr><tr><td colspan="3"></td></tr><tr><th colspan="3">FLOOR AREA</th></tr><tr><td>LOT SIZE</td><td>438,012</td><td>SQFT</td></tr><tr><td>LIVING AREA</td><td>4,987</td><td>SQFT</td></tr><tr><td></td><td></td><td></td></tr><tr><td>FLOOR AREA TOTAL</td><td>4,987</td><td>SQFT</td></tr><tr><td>FLOOR AREA RATIO</td><td>1.1%</td><td></td></tr></table>		SITE COVERAGE CALCULATION			LOT SIZE	438,012	SQFT	RESIDENCE COVERAGE	4,987	SQFT	HARDSCAPE	3,685	SQFT				TOTAL COVERAGE	8,672	SQFT	PERCENT OF COVERAGE	2.0%					FLOOR AREA			LOT SIZE	438,012	SQFT	LIVING AREA	4,987	SQFT				FLOOR AREA TOTAL	4,987	SQFT	FLOOR AREA RATIO	1.1%		C-3	DETAILS AND SECTIONS
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REQUIRED SPECIAL FEATURES				C-4	DRIVEWAY PROFILE																																										
HERS FEATURE SUMMARY				C-5	DETAILS																																										
THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS. ADDITIONAL DETAIL IS PROVIDED BELOW. REGISTERED CF2RS AND CF3RS ARE REQUIRED TO BE COMPLIED IN THE HERS REGISTRY.				C-6	EROSAION CONTROL PLAN																																										
BUILDING LEVEL VERIFICATIONS- KITCHEN RANGE HOOD HVAC DISTRIBUTION SYSTEM VERIFICATIONS- DUCT LEAKAGE TESTING DUCT SEALING REQUIRED IF A DUCT SYSTEM COMPONENT, PLENUM, OR AIR HANDLING UNIT IS ALTERED.				BMP1	BEST MANAGMENT PRACTICES																																										
ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING CODES-				BMP-2	BEST MANAGMENT PRACTICES																																										
- CALIFORNIA RESIDENTIAL CODE 2022 - CALIFORNIA MECHANICAL CODE 2022 - CALIFORNIA PLUMBING CODE 2022 - CALIFORNIA ELECTRICAL CODE 2022 - CALIFORNIA FIRE CODE 2022 - CALIFORNIA ENERGY CODE 2022 - CALIFORNIA GREEN BUILDING STANDARDS CODE 2022				S	OVERALL SITE PLAN																																										

A01

VERSION: 3.2.2

DATE: 5/4/2025

AHKTER - RESIDENCE

LAYOUT / TITLE PAGE

2580 BRIDLE PATH DRIVE  
GILROY, CA 95020  
AP# 830-17-059

PLANNING APPLICATION PLAN SET

4

3

2

1

0

REV. #	DATE	NOTE
2	4/5/23	RFI#2

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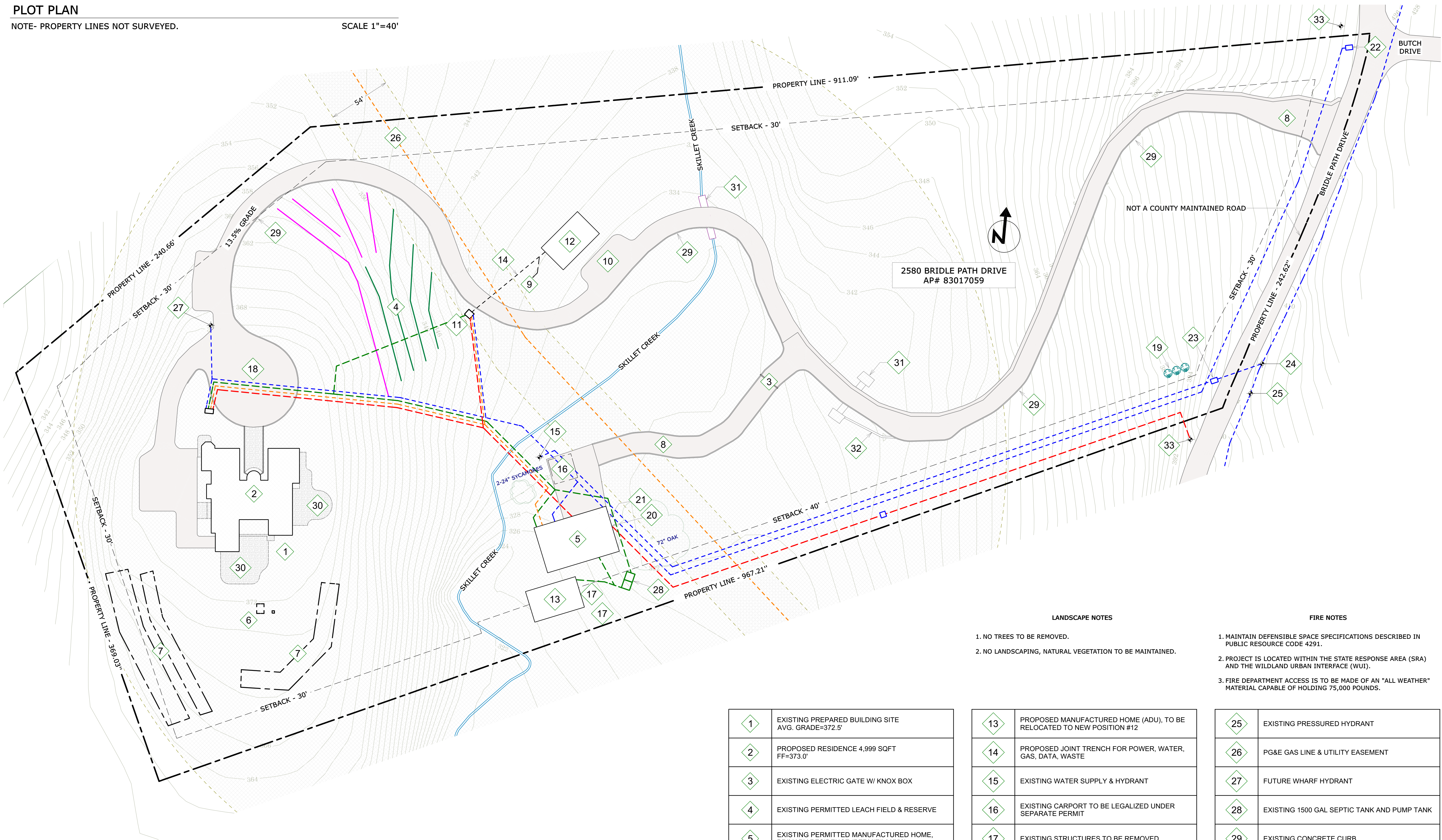
JEREMY MCCULLOUGH - DESIGNER

MONTEREY BUILDING DESIGN

PLOT PLAN

NOTE- PROPERTY LINES NOT SURVEYED.

SCALE 1"=40'



LANDSCAPE NOTES

- 1. NO TREES TO BE REMOVED.
- 2. NO LANDSCAPING, NATURAL VEGETATION TO BE MAINTAINED.

FIRE NOTES

- 1. MAINTAIN DEFENSIBLE SPACE SPECIFICATIONS DESCRIBED IN PUBLIC RESOURCE CODE 4291.
- 2. PROJECT IS LOCATED WITHIN THE STATE RESPONSE AREA (SRA) AND THE WILDLAND URBAN INTERFACE (WUI).
- 3. FIRE DEPARTMENT ACCESS IS TO BE MADE OF AN "ALL WEATHER" MATERIAL CAPABLE OF HOLDING 75,000 POUNDS.

1	EXISTING PREPARED BUILDING SITE AVG. GRADE=372.5'
2	PROPOSED RESIDENCE 4,999 SQFT FF=373.0'
3	EXISTING ELECTRIC GATE W/ KNOX BOX
4	EXISTING PERMITTED LEACH FIELD & RESERVE
5	EXISTING PERMITTED MANUFACTURED HOME. PRIMARY RESIDENCE (PERMIT# 30756)
6	FUTURE SEPTIC TANK & DIVERter UNDER SEPARATE PERMIT
7	FUTURE LEACH FIELD UNDER SEPARATE PERMIT
8	EXISTING ASPHALT DRIVEWAY
9	PROPOSED 1,500 GAL. SEPTIC TANK
10	EXISTING PARKING AREA
11	EXISTING POWER, GAS & DATA CONNECTIONS
12	PROPOSED MANUFACTURED HOME (ADU), TO BE RELOCATED FROM ORIGINAL POSITION #13

13	PROPOSED MANUFACTURED HOME (ADU), TO BE RELOCATED TO NEW POSITION #12
14	PROPOSED JOINT TRENCH FOR POWER, WATER, GAS, DATA, WASTE
15	EXISTING WATER SUPPLY & HYDRANT
16	EXISTING CARPORT TO BE LEGALIZED UNDER SEPARATE PERMIT
17	EXISTING STRUCTURES TO BE REMOVED
18	EXISTING 75' TURN-AROUND
19	THREE NEW 3000 GAL. WATER TANKS
20	EXISTING ELECTRICAL SERVICE & METER 400 AMP
21	EXISTING GAS SERVICE & METER
22	EXISTING WATER METER
23	EXISTING DBL CHECK VALVE
24	EXISTING CONNECTION TO 6" WATER MAIN "NEW AVENUE WATER COMPANY"

25	EXISTING PRESSURED HYDRANT
26	PG&E GAS LINE & UTILITY EASEMENT
27	FUTURE WHARF HYDRANT
28	EXISTING 1500 GAL SEPTIC TANK AND PUMP TANK
29	EXISTING CONCRETE CURB
30	PROPOSED HARDSCAPE
31	EXISTING CULVERT
32	EXISTING SURFACE RUNOFF
33	EXISTING POWER POLE

A02

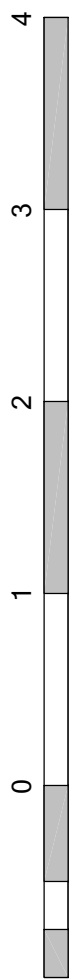
VERSION: 3.2.2  
DATE: 5/4/2025

AHKTER - RESIDENCE

PLOT PLAN

2580 BRIDLE PATH DRIVE  
GILROY, CA 95020  
AP# 83017-059

PLANNING APPLICATION PLAN SET



REV. #	DATE	NOTE
2	4/5/23	RFI#2

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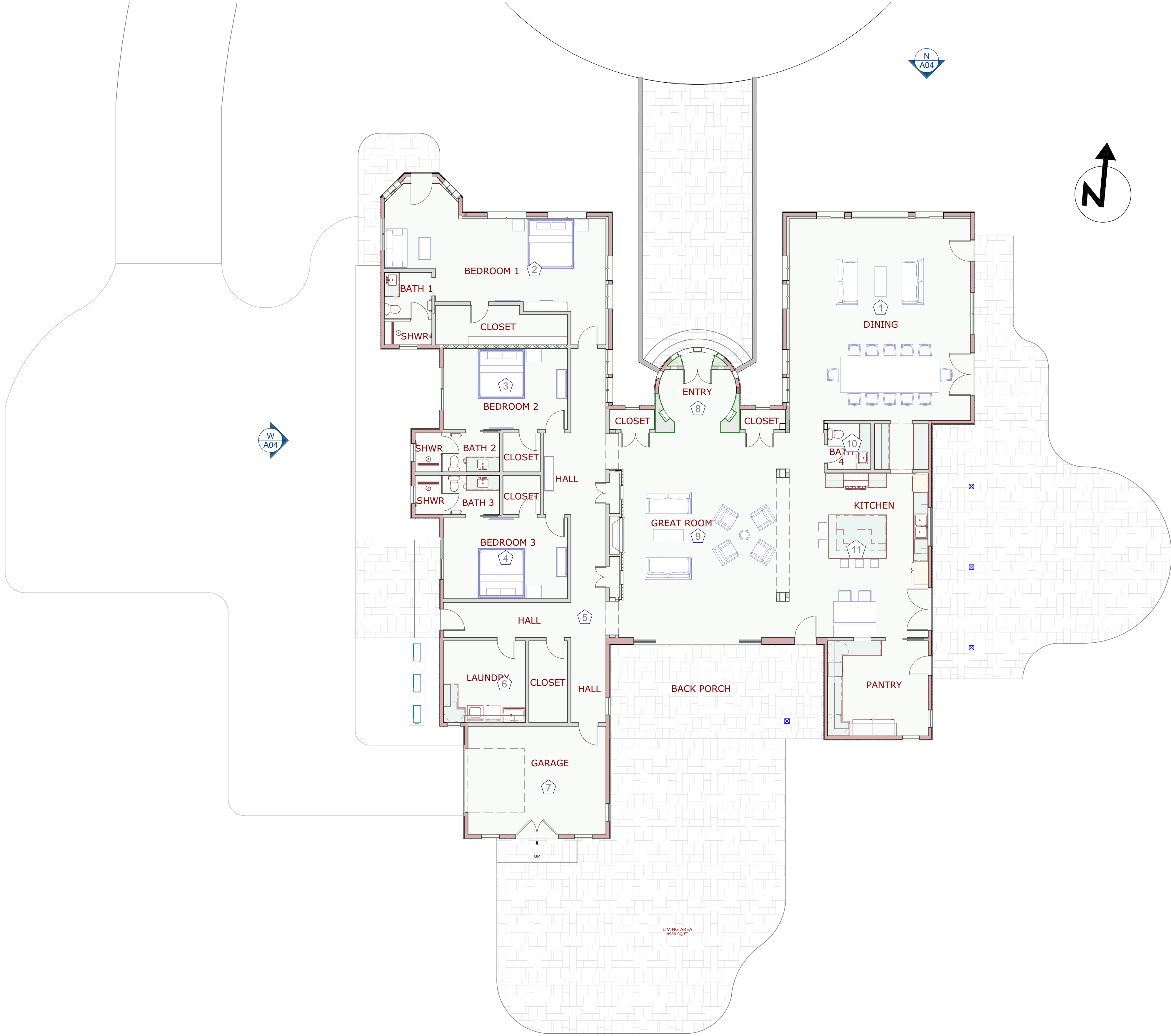
JEREMY MCCULLOUGH - DESIGNER



FLOOR PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

SCALE 1/8"=1'



2580 BRIDLE PATH DR.

Project Address 830-17-059

APN

PLN23-023

Project File Number

Color/Materials Board\*

Roof

EAGLE ROOFING- LMC "SANTA CRUZ BLEND" 8402

Manufacture & Material  
Product Name, Number

Door & Window Frames, Railings

ANODIZED DARK BRONZE FRAME

Manufacture / Number  
Color Name, LRV

Trim

"SHERWIN WILLIAMS"- SW 6083 SABLE

Manufacture / Number  
Color Name, LRV

Exterior Walls

INTEGRAL COLOR STUCCO- "LA HABRA" 696 SOUTHERN MOSS

Manufacture / Number  
Color Name, LRV

Architectural Accents (Ex. Stone Veneer)

N/A

Manufacture / Number  
Color Name, LRV

Retaining Walls

SAME AS WALLS

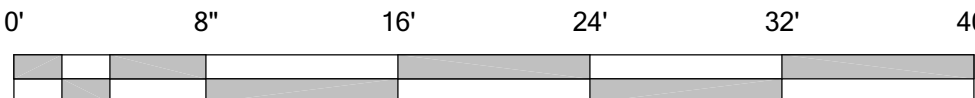
Manufacture / Number  
Color Name, LRV

\*This information shall also be provided on the elevation drawings in the plans.

1/24/2019



FLOOR AREA	
LOT SIZE	438,012 SQFT
LIVING AREA	4,987 SQFT
FLOOR AREA TOTAL	4,987 SQFT
FLOOR AREA RATIO	1.1%



A03

VERSION: 3.2.2

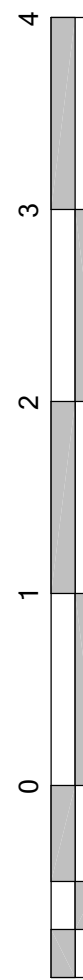
DATE: 5/4/2025

AHKTER - RESIDENCE

FLOOR PLAN

2580 BRIDLE PATH DRIVE  
GILROY, CA 95020  
AP# 830-17-059

PLANNING APPLICATION PLAN SET



REV. #	DATE	NOTE
2	4/5/23	RFI#2

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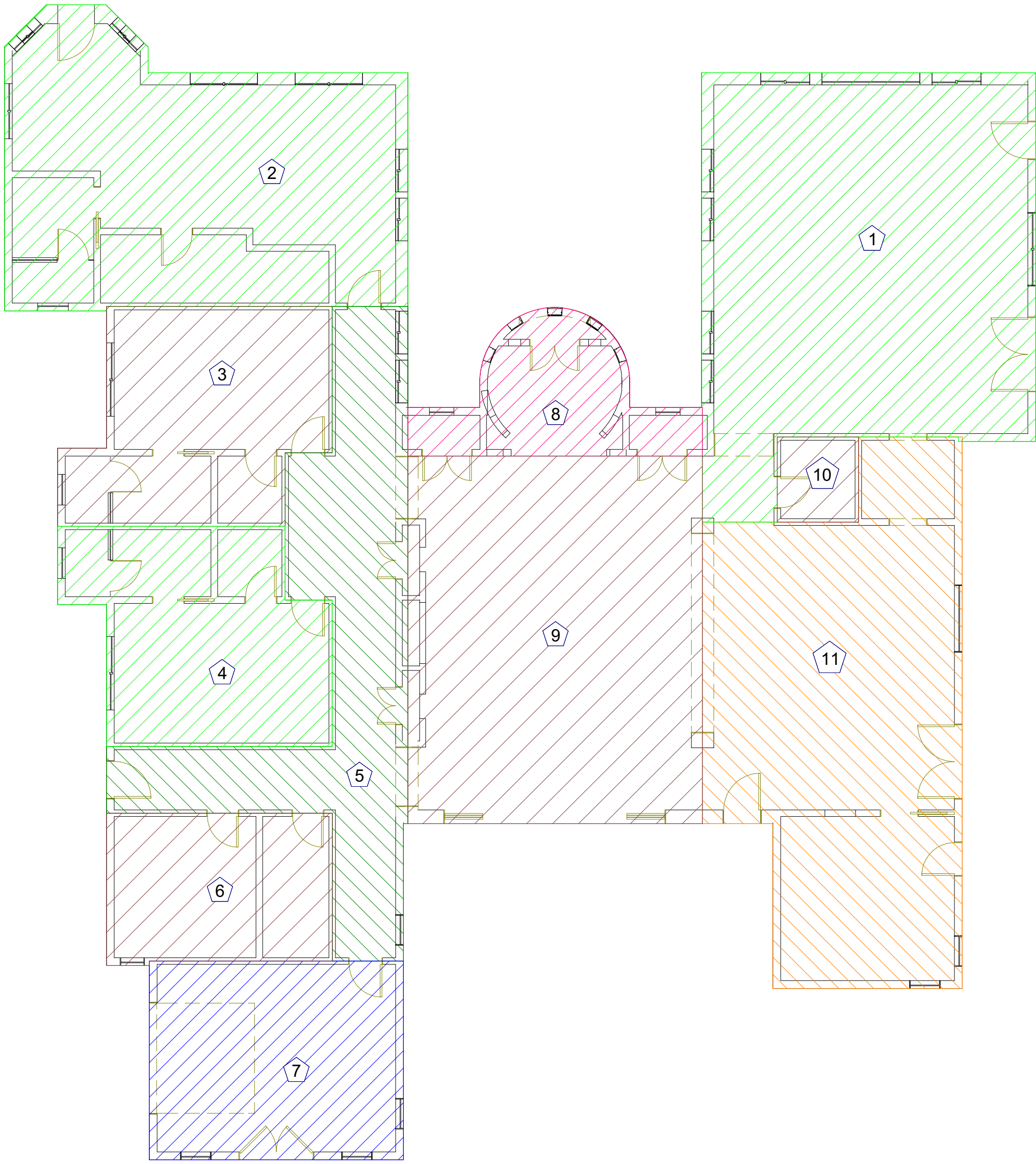
JEREMY MCCULLOUGH - DESIGNER



AREA PLAN

NOTE- AREA TO FACE OF STUCCO.

SCALE 1/8"=1'



NOTE SCHEDULE		
1	DINING ROOM	858 SQFT
2	BEDROOM 1	687 SQFT
3	BEDROOM 2	334 SQFT
4	BEDROOM 3	334 SQFT
5	HALL	476 SQFT
6	LAUNDRY	224 SQFT
7	GARAGE	336 SQFT
8	ENTRY	180 SQFT
9	LIVING ROOM	721 SQFT
10	BATH 4	46 SQFT
11	KITCHEN / PANTRY	791 SQFT

A3.1

VERSION: 3.2.2

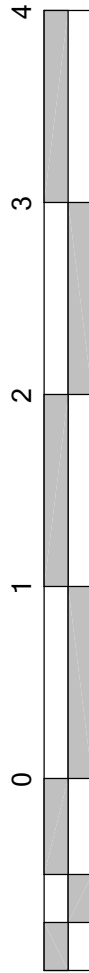
DATE: 5/4/2025

AHKTER - RESIDENCE

AREA PLAN

2580 BRIDLE PATH DRIVE  
GILROY, CA 95020  
AP# 830-17-059

PLANNING APPLICATION PLAN SET



REV. # DATE NOTE

2 4/5/23 RFI#2

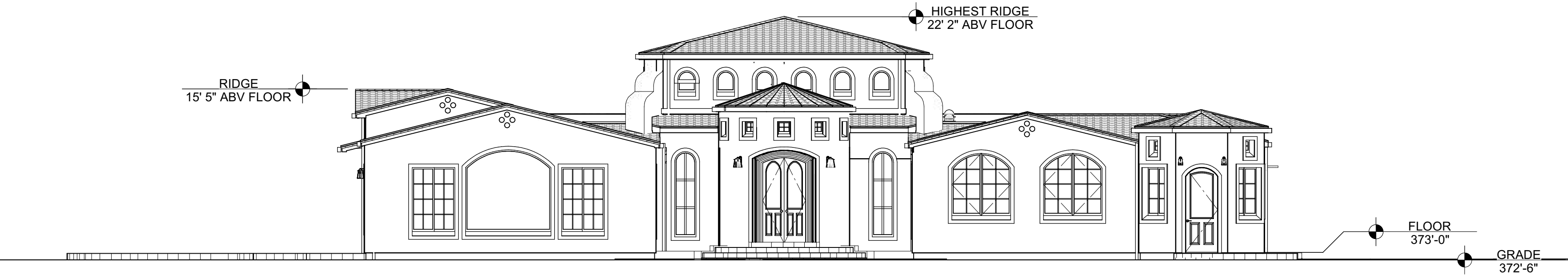
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JEREMY MCCULLOUGH - DESIGNER



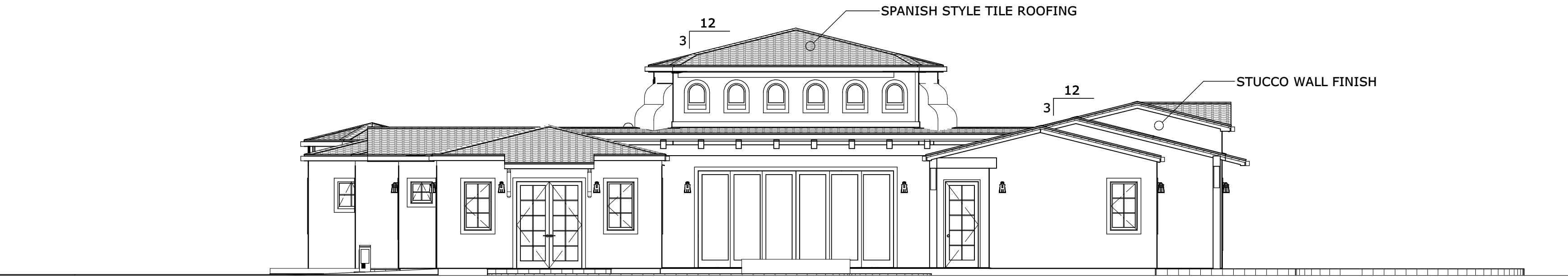
NORTH ELEVATION

SCALE 1/8"=1'



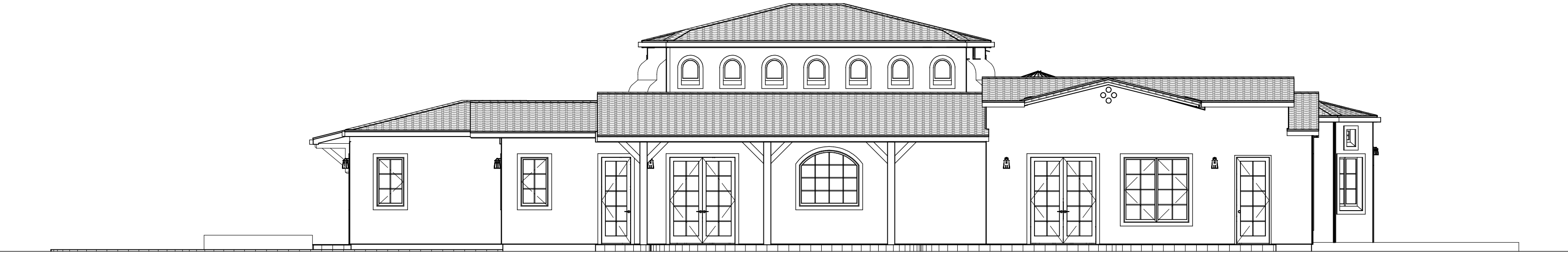
SOUTH ELEVATION

SCALE 1/8"=1'



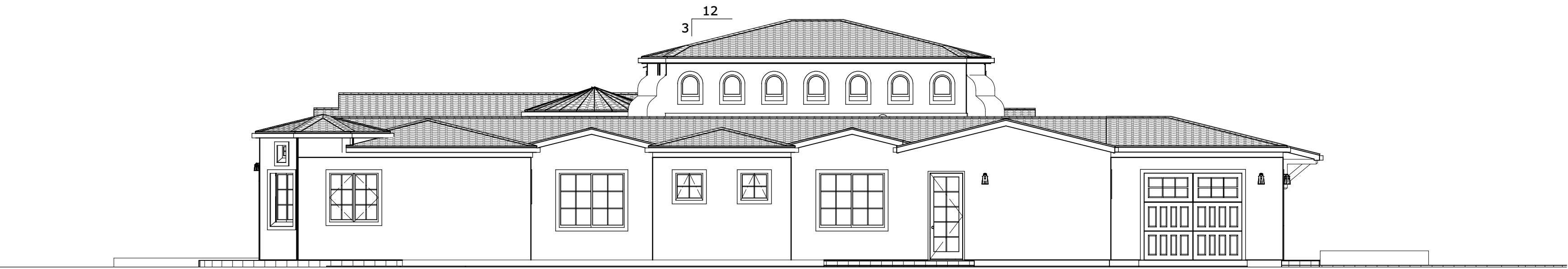
EAST ELEVATION

SCALE 1/8"=1'



WEST ELEVATION

SCALE 1/8"=1'



A04

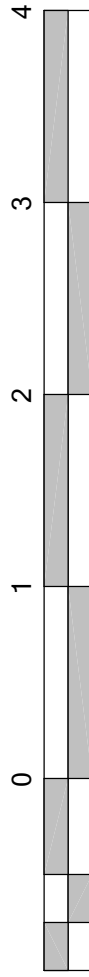
VERSION: 3.2.2  
DATE: 5/4/2025

AHKTER - RESIDENCE

EXTERIOR ELEVATIONS

2580 BRIDLE PATH DRIVE  
GILROY, CA 95020  
AP# 830-17-059

PLANNING APPLICATION PLAN SET

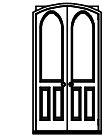

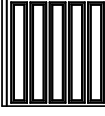
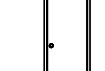
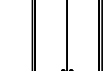




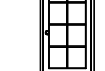

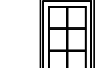



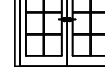




REV. #	DATE	NOTE
2	4/5/23	RFI#2

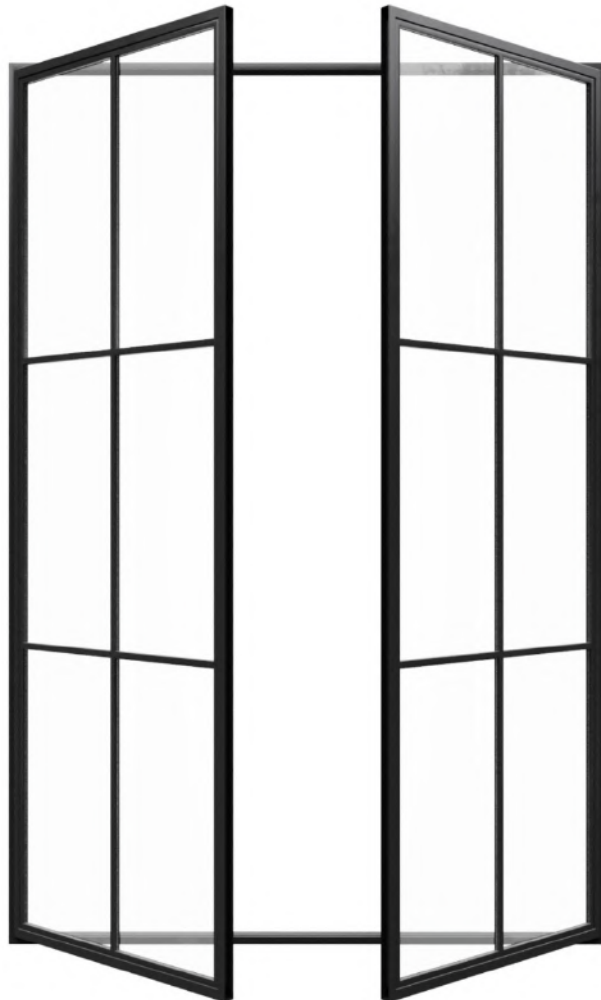
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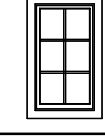

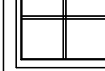
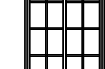





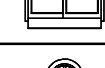

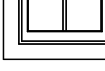

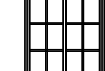



JEREMY MCCULLOUGH - DESIGNER



DOOR SCHEDULE										
NUMBER	QTY	FLOOR	DESCRIPTION	SIZE	WIDTH	HEIGHT	HINGE SIDE	JAMB SIZE	THICKNESS	ELEV.
D01	1	1	DOUBLE HINGED-CCR04046 CAMINO	4080 L/R IN	48"	96"	L/R	3/4"x6 1/2"	1 3/4"	
D02	1	1	EXT. 3+3-PANEL SLIDER-GLASS PANEL	18090 L/R EX	216"	108"	L/R	3/4"x13 9/16"	1 3/4"	
D03	1	1	GARAGE-GARAGE DOOR P04	9080	108"	96"		3/4"x7 5/8"	1 3/4"	
D04	1	1	HINGED-SLAB	2680 L IN	30"	96"	L	3/4"x6 1/2"	1 3/4"	
D05	2	1	DOUBLE HINGED-SLAB	4080 L/R IN	48"	96"	L/R	3/4"x6 1/2"	1 3/4"	
D06	2	1	POCKET-PANEL	2668 R	30"	80"	R	3/4"x6 1/2"	1 3/4"	
D07	2	1	DOUBLE HINGED-SLAB	3080 L/R IN	36"	96"	L/R	3/4"x6 1/2"	1 3/4"	
D08	2	1	HINGED-SLAB	2880 L IN	32"	96"	L	3/4"x6 1/2"	1 3/4"	
D09	1	1	HINGED-GLASS PANEL	3080 R IN	36"	96"	R	3/4"x13 9/16"	1 3/4"	
D10	2	1	HINGED-SLAB	2880 R IN	32"	96"	R	3/4"x6 1/2"	1 3/4"	
D11	2	1	HINGED-GLASS PANEL	3080 R IN	36"	96"	R	3/4"x7 5/8"	1 3/4"	
D14	1	1	EXT. HINGED-GLASS PANEL	2880 L EX	32"	96"	L	3/4"x7 5/8"	1 3/4"	
D17	2	1	HINGED-SLAB	2668 R IN	30"	80"	R	3/4"x6 1/2"	1 3/4"	
D18	3	1	EXT. DOUBLE HINGED-GLASS PANEL	6080 L/R EX	72"	96"	L/R	3/4"x7 5/8"	1 3/4"	
D19	1	1	POCKET-PANEL	3080 R	36"	96"	R	3/4"x6 1/2"	1 3/4"	
D24	3	1	HINGED-SLAB	2668 L IN	30"	80"	L	3/4"x6 1/2"	1 3/4"	
D30	1	1	EXT. HINGED-CCR04037A AUGUSTINE	3080 R EX	36"	96"	R		1 3/4"	
D34	1	1	POCKET-PANEL	2668 L	30"	80"	L	3/4"x6 1/2"	1 3/4"	

**R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS** THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).  
EXCEPTION: EXTERIOR BALCONIES LESS THAN 60 SQUARE FEET (5.6 M2) AND ONLY ACCESSED FROM A DOOR ARE PERMITTED TO HAVE A LANDING THAT IS LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL.  
**R311.3.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS** LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 11/2 INCHES (38 MM) LOWER THAN THE TOP OF THE THRESHOLD.  
EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHERE EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.  
**R311.3.2 FLOOR ELEVATIONS AT OTHER EXTERIOR DOORS** OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD. EXCEPTION: A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.

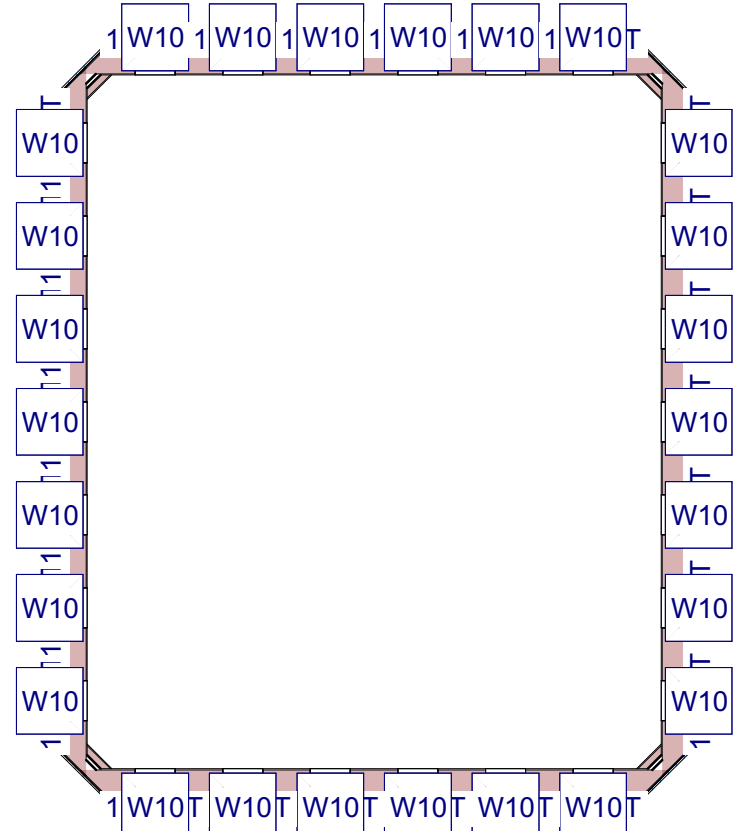


WINDOW SCHEDULE									
NUMBER	QTY	FLOOR	DESCRIPTION	WIDTH	HEIGHT	TEMPERED	EGRESS	COMMENTS	ELEV.
W01	4	1	SINGLE CASEMENT-HL	30"	54"	YES			
W02	1	1	DOUBLE CASEMENT-LHL/RHR	54"	54"	YES			
W04	3	1	SINGLE AWNING	30"	30"	YES			
W05	1	1	LEFT SLIDING	48"	72"	YES			
W09	1	1	FIXED GLASS-AT	66"	62"	YES			
W10	26	2	FIXED GLASS-RT	20"	24"			FAUX WINDOW	
W12	1	1	FIXED GLASS-AT	96"	92"	YES			
W16	2	1	SINGLE CASEMENT-HR	30"	54"	YES			
W18	2	1	LEFT SLIDING	36"	54"	YES			
W19	2	1	FIXED GLASS-RT	24"	96"	YES			
W24	1	1	SINGLE AWNING	24"	24"	YES			
W26	2	1	LEFT SLIDING	72"	60"	YES	YES		
W27	1	1	RIGHT SLIDING	48"	72"	YES			
W30	1	1	DOUBLE CASEMENT-LHL/RHR	72"	72"	YES			
W31	9	1	FIXED GLASS	14"	14"	YES			
W36	8	1	LEFT SLIDING	42"	72"	YES			
W38	2	1	DOUBLE CASEMENT-LHL/RHR-AT	66"	70"	YES			

### LOFT DOOR / WINDOW PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

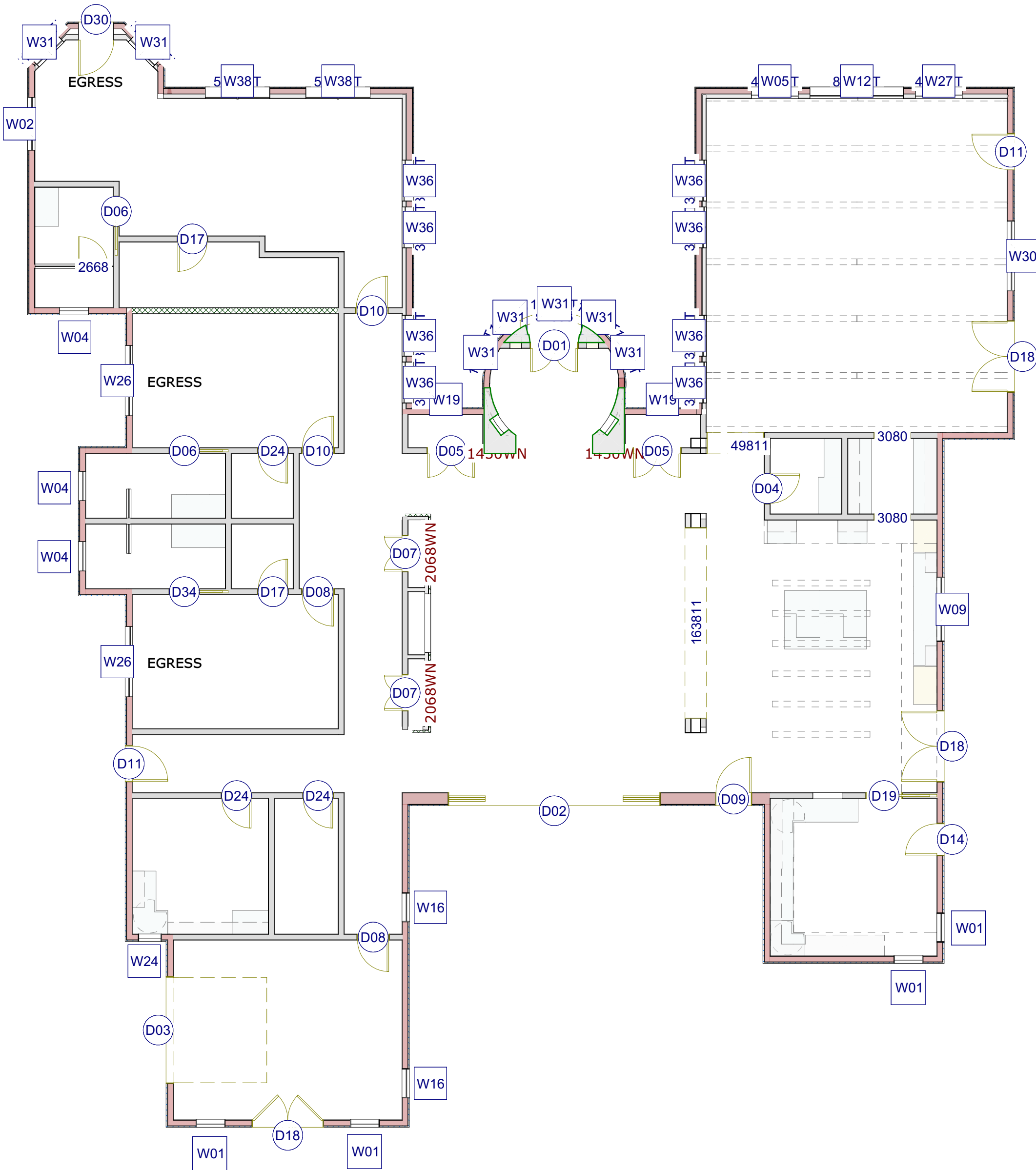
SCALE 1/8"=1'



### MAIN FLOOR DOOR / WINDOW PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

SCALE 1/8"=1'



A05

VERSION: 3.2.2

DATE: 5/4/2025

## AHKTER - RESIDENCE

### DOOR / WINDOW PLAN

2580 BRIDLE PATH DRIVE  
GILROY, CA 95020  
AP# 830-17-059

PLANNING APPLICATION PLAN SET



REV. # DATE NOTE

2 4/5/23 RFI#2

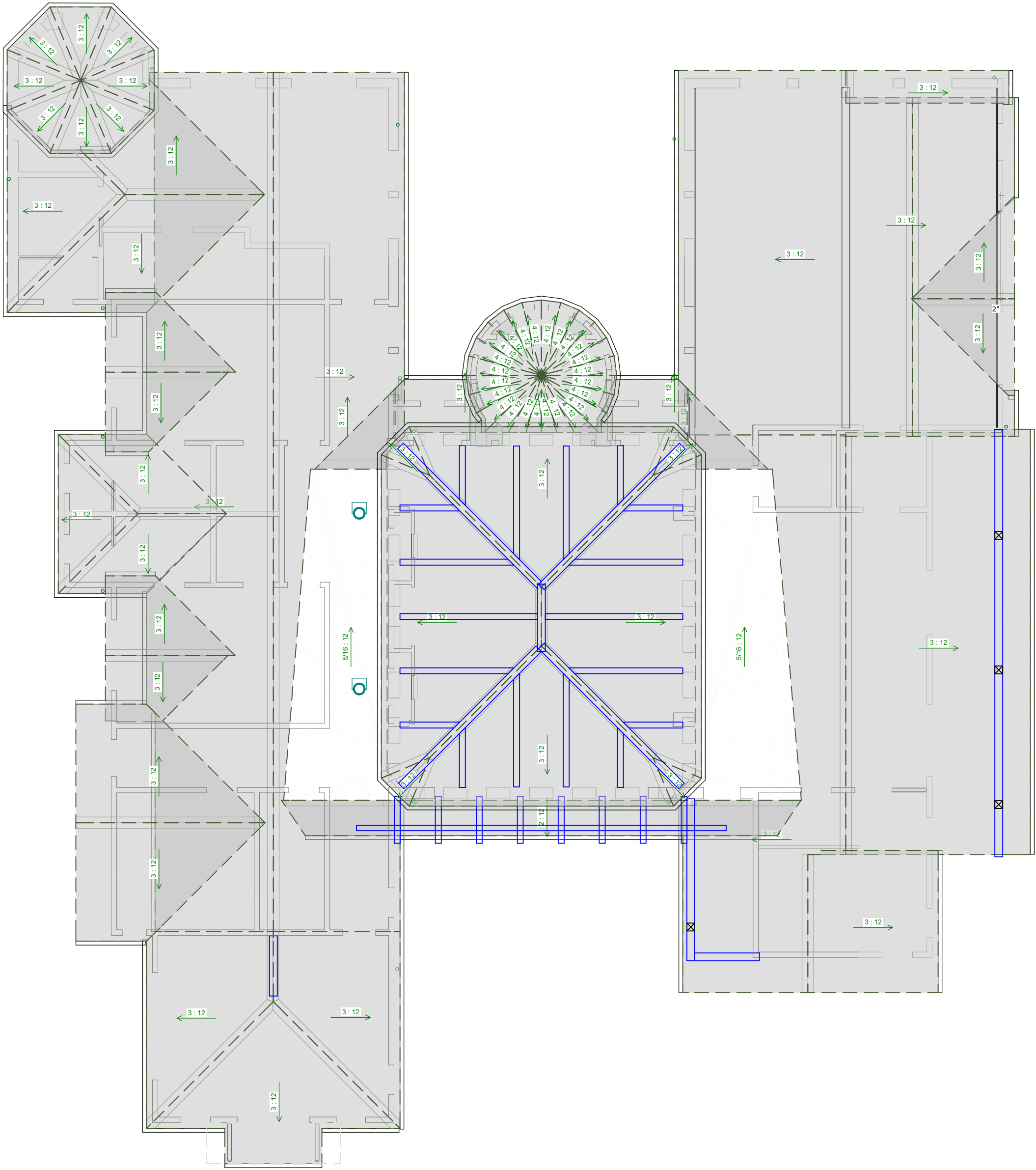
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JEREMY MCCULLOUGH - DESIGNER



ROOF PLAN

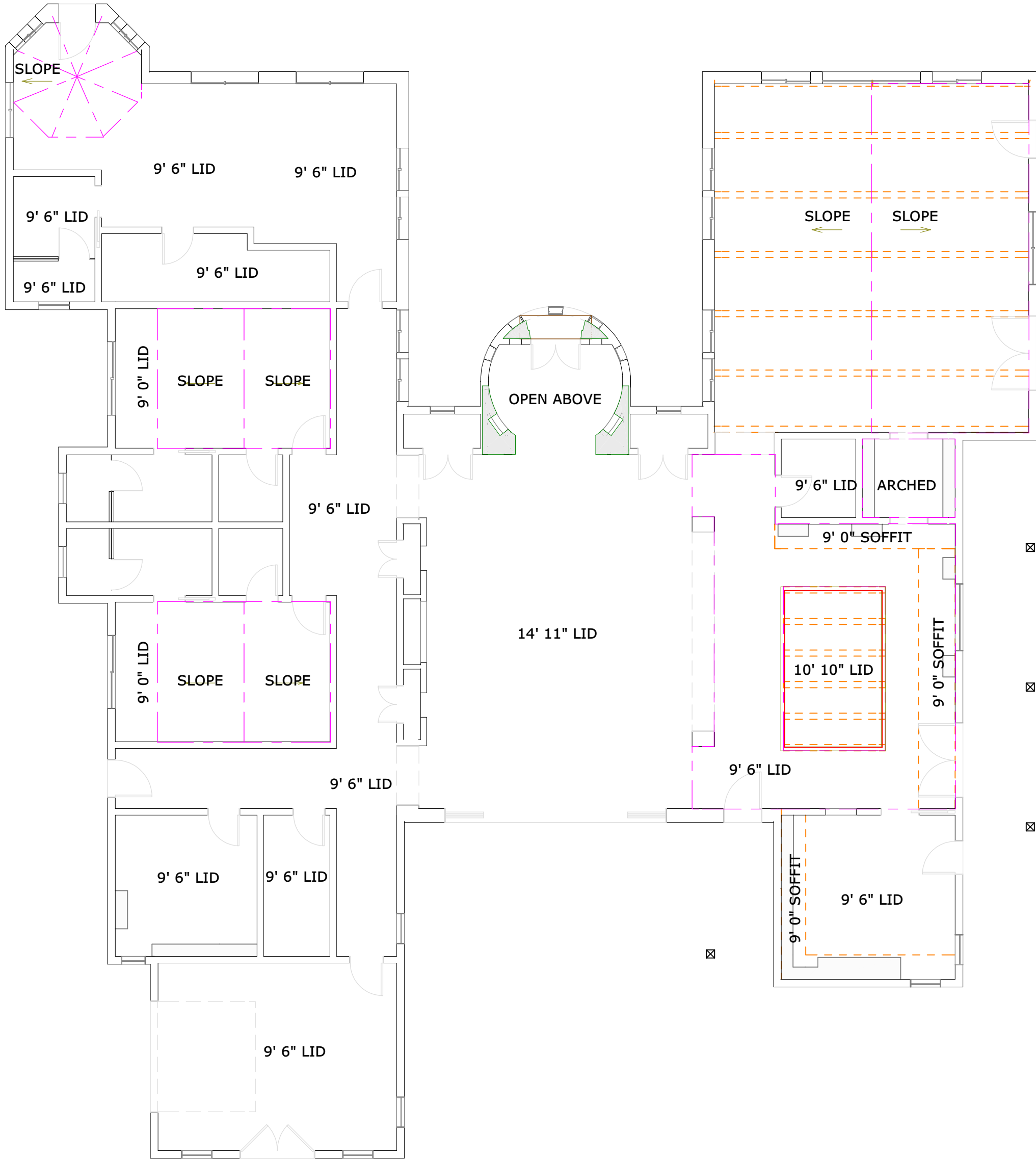
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MAIN FLOOR RCP PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

SCALE 1/8"=1'



A06

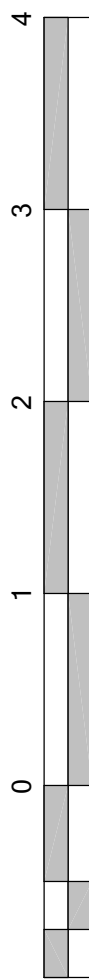
VERSION: 3.2.2  
DATE: 5/4/2025

AHKTER - RESIDENCE

ROOF & RCP PLAN

2580 BRIDLE PATH DRIVE  
GILROY, CA 95020  
AP# 830-17-059

PLANNING APPLICATION PLAN SET



REV. # DATE NOTE

2	4/5/23	RFI#2

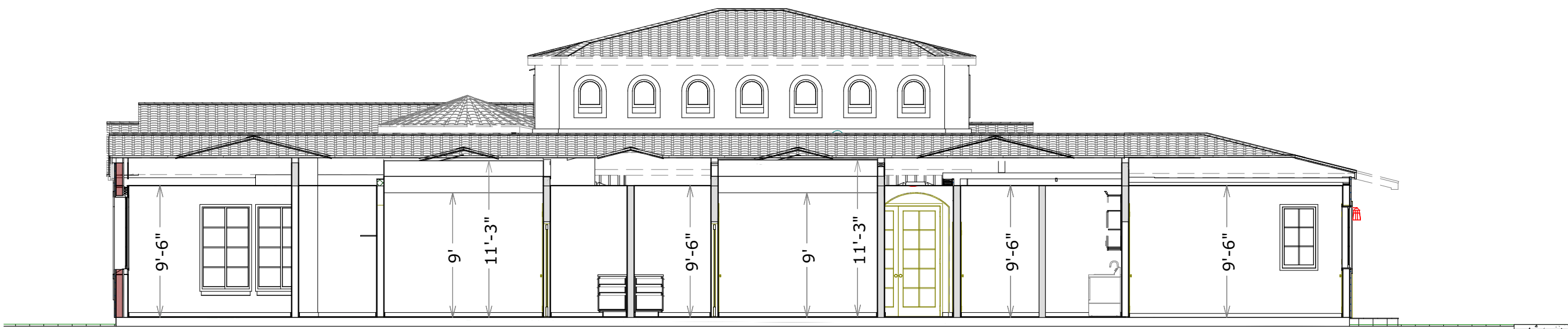
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JEREMY MCCULLOUGH - DESIGNER



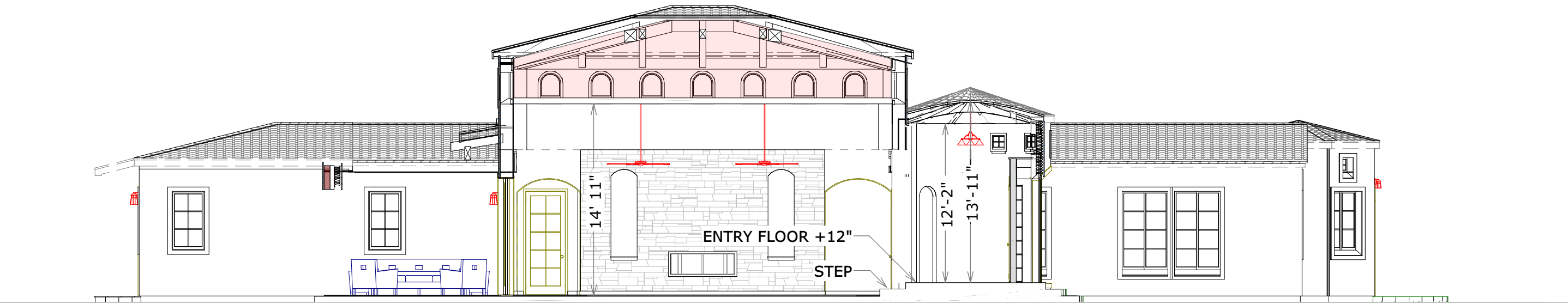
CROSS SECTION #1

SCALE 1/8"=1'



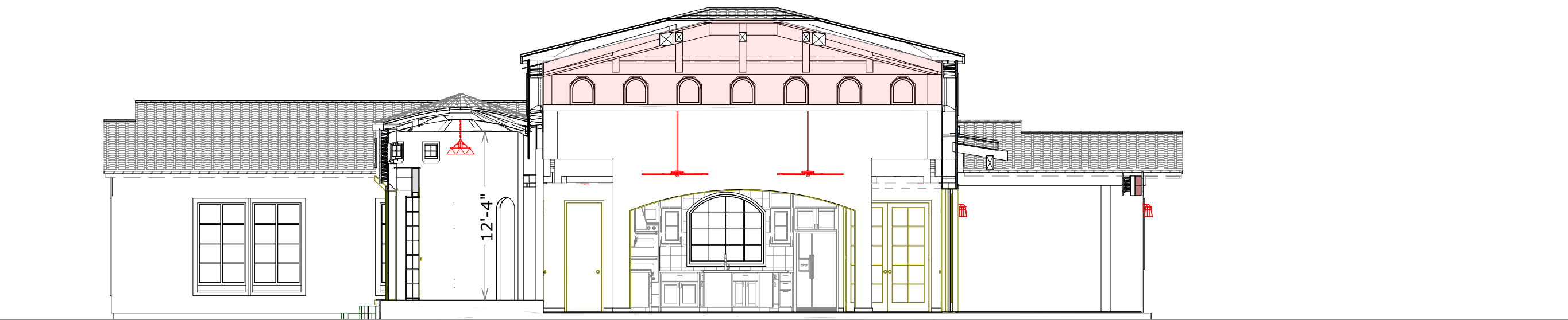
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SCALE 1/8"=1'



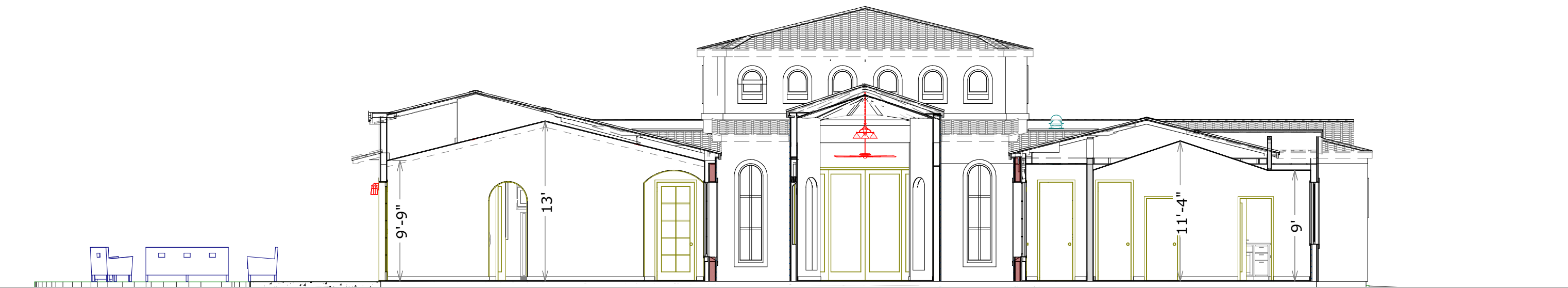
CROSS SECTION #3

SCALE 1/8"=1'



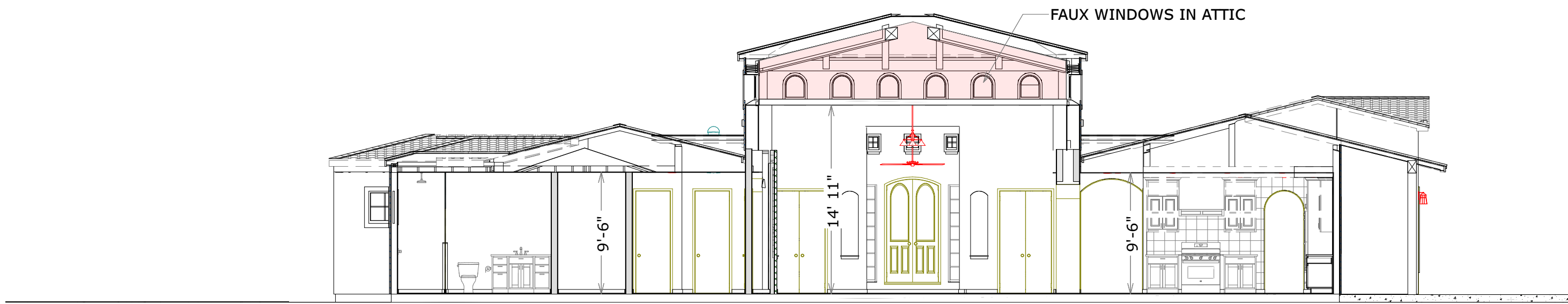
CROSS SECTION #4

SCALE 1/8"=1'



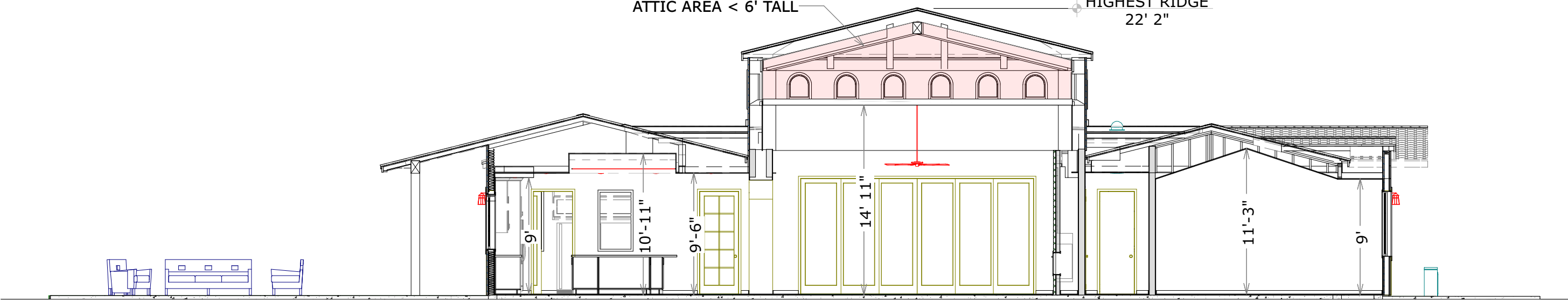
CROSS SECTION #5

SCALE 1/8"=1'



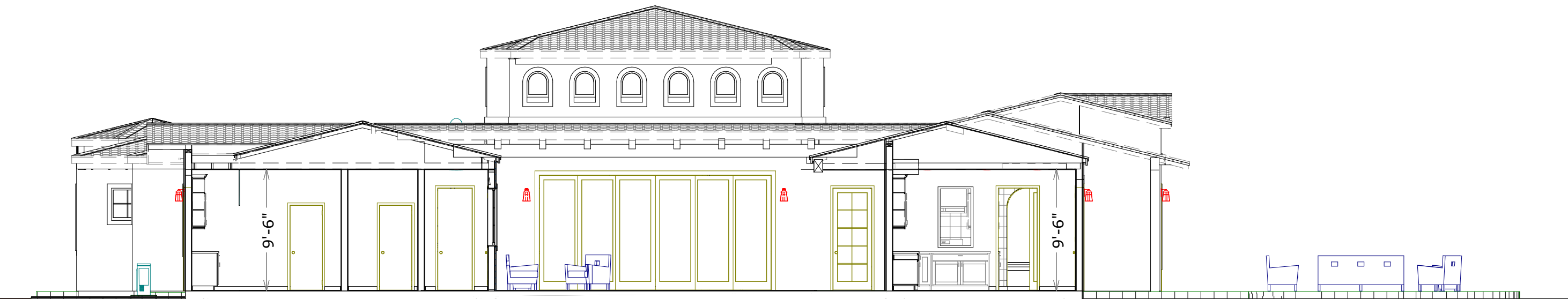
CROSS SECTION #6

SCALE 1/8"=1'



CROSS SECTION #7

SCALE 1/8"=1'



A07

VERSION: 3.2.2

DATE: 5/4/2025

AHKTER - RESIDENCE

CROSS SECTIONS

2580 BRIDLE PATH DRIVE  
GILROY, CA 95020  
AP# 830-17-059

PLANNING APPLICATION PLAN SET



REV. # DATE NOTE

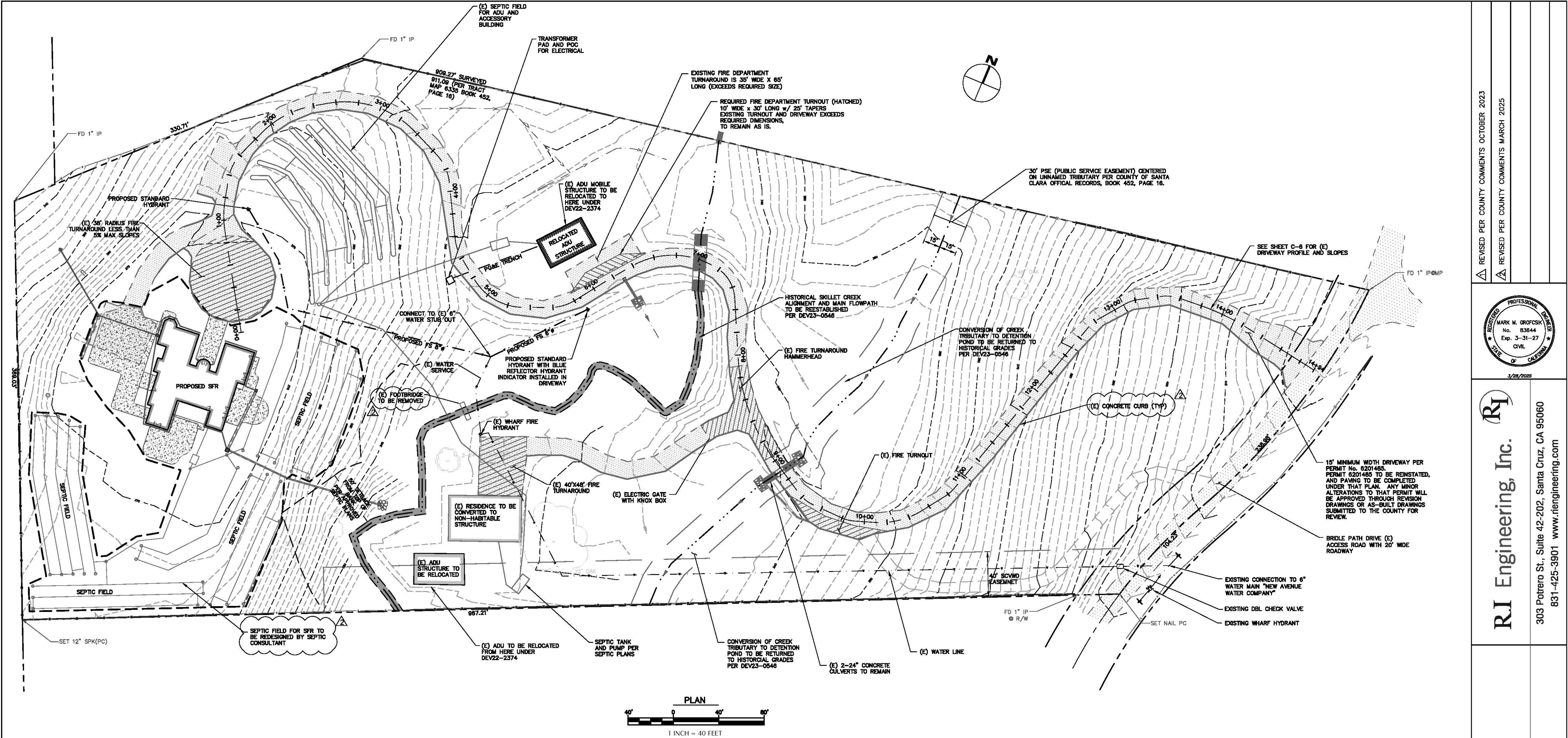
2	4/5/23	RFI#2

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JEREMY MCCULLOUGH - DESIGNER







**TOPOGRAPHIC SURVEY**

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY CARNES AND ASSOCIATES, RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

**BASIS OF BEARINGS**

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE NORTHWESTERLY LINE OF LOT 25, AS SHOWN ON THE MAP RECORDED IN THE BOOK 452 OF MAPS, AT PAGES 16-19, SANTA CLARA COUNTY RECORDS.

**BASIS OF ELEVATIONS**

TOP OF MONUMENT BOX AT NORTHWESTERLY CORNER OF LOT 25, TRACT 6335, AT THE CENTERLINE OF BRIDLE PATH DRIVE AND BUTCH DRIVE.  
EL=424.16

ABBREVIATIONS	
CL	CENTERLINE
DTL	DETAIL
DWY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
NTS	NOT TO SCALE
S	SLOPE
SCOD	SANTA CLARA COUNTY
STA	STATION
TYP	TYPICAL

LEGEND	
	(E) AB
	(E) CONCRETE
	PROPOSED AC
	ASPHALT DRIVEWAY UNDER PERMIT 6204185
	(E) FLOWLINE
	(E) RETAINING WALL
	PROPERTY LINE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED CREEK CENTERLINE
	PROPOSED SETBACK

IMPERVIOUS AREA CALCULATIONS		
NEW IMPERVIOUS		
HOUSE	4,925	SF
CONCRETE FLATWORK	5,060	SF
REPLACED IMPERVIOUS		
CONCRETE FLATWORK	1,880	SF
TOTAL NEW AND REPLACED IMPERVIOUS		
	11,865	SF

**FIRE MARSHAL NOTES**

PROJECT IS LOCATED WITHIN THE STATE RESPONSE AREA (SRA) AND THE MIDLAND URBAN INTERFACE (MUI).

B.CHAPTER 7A OF THE CBC TO BE MET AT BUILDING PERMIT SUBMITTAL.

C.DEFENSIBLE SPACE TO BE MAINTAINED AT ALL TIMES.

D.FIRE-4290 COMPLIANCE WILL BE REVIEWED BY CAL FIRE.

E.SHEET 1 OF 10 REFERENCES THE PREVIOUS CODE CYCLE. THIS PLAN REVIEW IS BEING CONDUCTED OFF THE 2022 CFC AND LOCAL ORDINANCE.

F.FIRE SPRINKLERS ARE TO BE LISTED AS A DEFERRED SUBMITTAL.

DRIVEWAY IS OF ALL WEATHER MATERIAL CAPABLE OF HOLDING 75,000 LB FIRE TRUCK LOADING. (IT HAS MULTIPLE TIMES BEEN USED BY CALFIRE AS A STAGING AREA)

REVISED PER COUNTY COMMENTS OCTOBER 2023

REVISED PER COUNTY COMMENTS MARCH 2025

PROFESSIONAL SEAL

MARK M. GROFCSKI

No. 83644

Exp. 3-31-27

CIVIL

STATE OF CALIFORNIA

3/28/2025

RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060

831-425-3901 www.riengineering.com

SINGLE FAMILY RESIDENCE

FOR

SAL AKHTER

2580 BRIDLE PATH DR

GILROY, CALIFORNIA

APN: 830-17-059

SITE PLAN

project no.

14-067-2

date

MARCH 2024

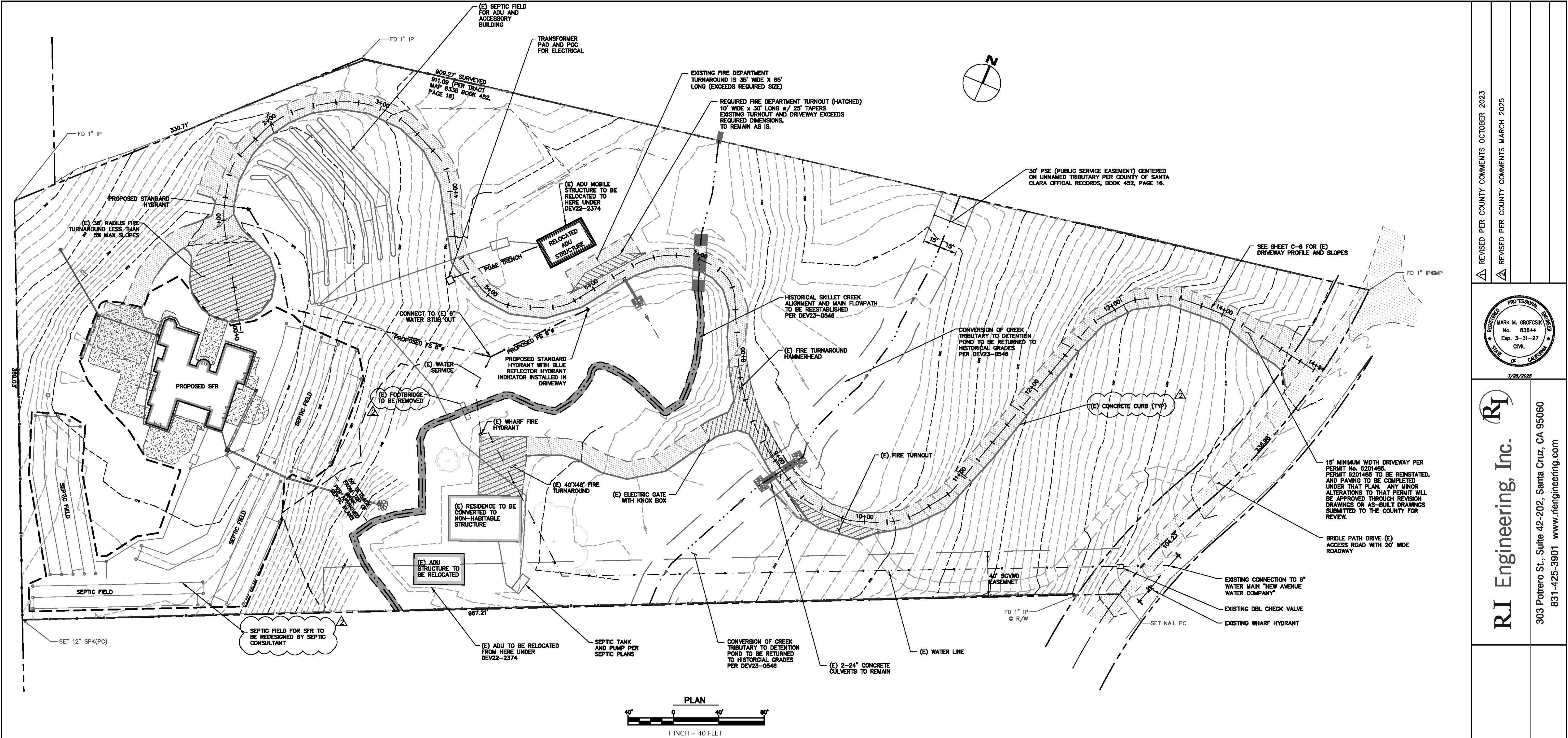
scale

AS SHOWN

dwg name

CIVIL-SFR PLN23-023

C-1



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NTS	NOT TO SCALE
S	SLOPE
SCOD	SANTA CLARA COUNTY
STA	STATION
TYP	TYPICAL

LEGEND	
	(E) AB
	ASPHALT DRIVEWAY UNDER PERMIT 6204185
	PROPOSED AC
	(E) CONCRETE
	(E) FLOWLINE
	(E) RETAINING WALL
	PROPERTY LINE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED CREEK CENTERLINE
	PROPOSED SETBACK

IMPERVIOUS AREA CALCULATIONS		
NEW IMPERVIOUS		
HOUSE	4,925	SF
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REPLACED IMPERVIOUS		
CONCRETE FLATWORK	1,880	SF
TOTAL NEW AND REPLACED IMPERVIOUS		
	11,865	SF

**FIRE MARSHAL NOTES**

PROJECT IS LOCATED WITHIN THE STATE RESPONSE AREA (SRA) AND THE WILDLAND URBAN INTERFACE (WUI).  
B.CHAPTER 7A OF THE CBC TO BE MET AT BUILDING PERMIT SUBMITTAL.  
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REVISED PER COUNTY COMMENTS OCTOBER 2023

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STATE OF CALIFORNIA

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SINGLE FAMILY RESIDENCE

FOR

SAL AKHTER

2580 BRIDLE PATH DR

GILROY, CALIFORNIA

APN: 830-17-059

SITE PLAN

project no.

14-067-2

date

MARCH 2024

scale

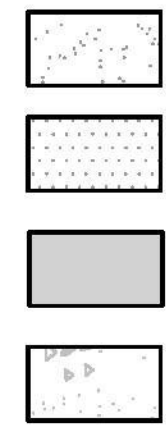
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dwg name

CIVIL-SFR PLN23-023

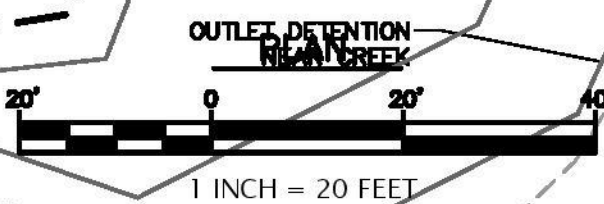
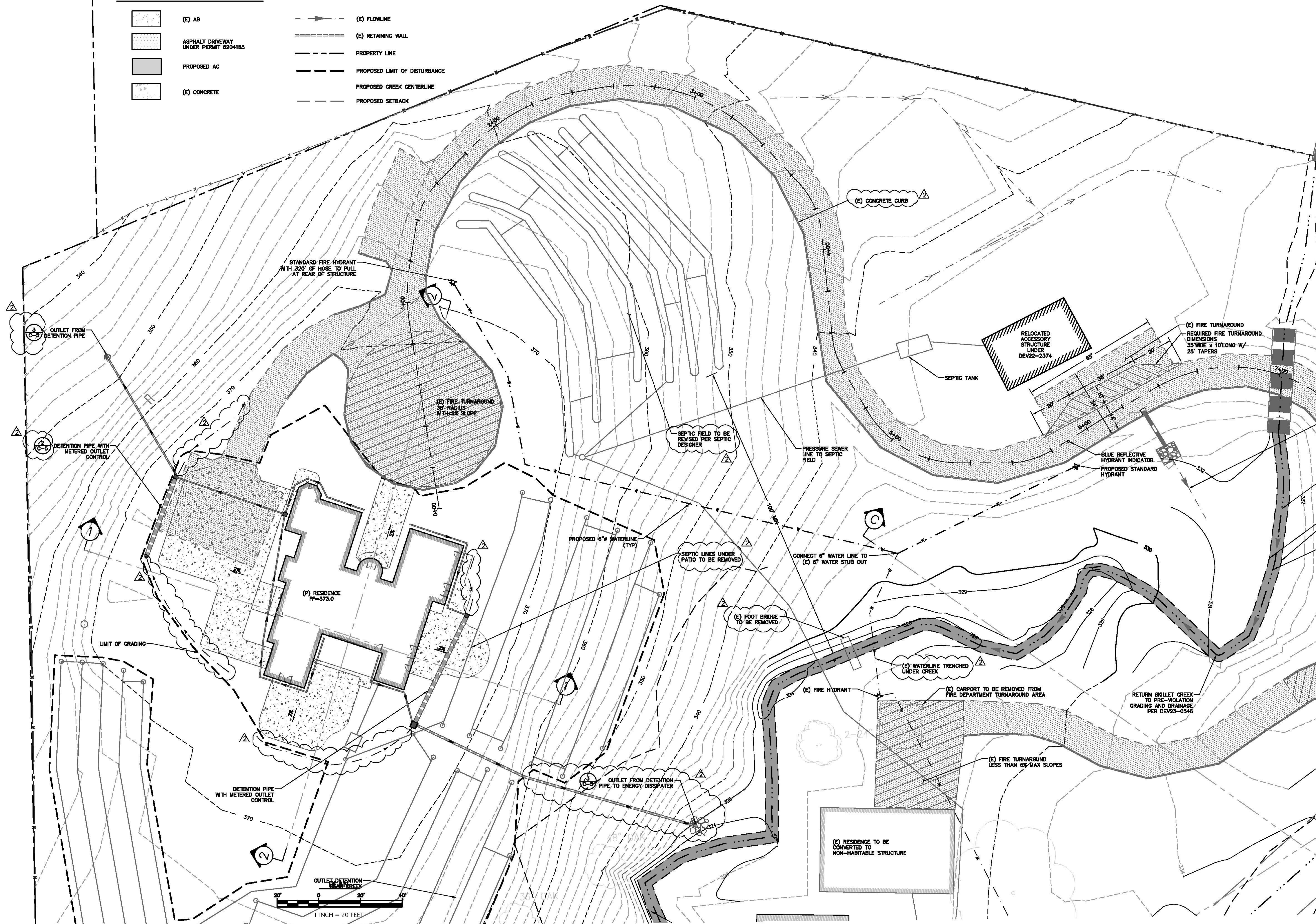
C-1

# LEGEND



(E) AB  
 ASPHALT DRIVEWAY  
 UNDER PERMIT 82041BS  
 PROPOSED AC  
 (E) CONCRETE

(E) FLOWLINE  
 (E) RETAINING WALL  
 PROPERTY LINE  
 PROPOSED LIMIT OF DISTURBANCE  
 PROPOSED CREEK CENTERLINE  
 PROPOSED SETBACK



APPLICANT: SAL AKHTER

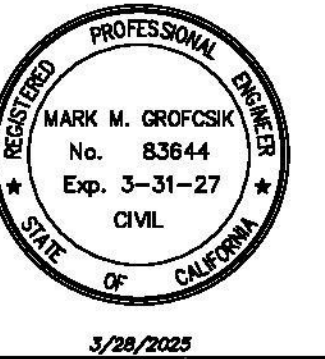
ROAD: 2580 BRIDLE PATH DR

COUNTY FILE NO.: PLN23-023 (SFR)

SINGLE FAMILY RESIDENCE PERMIT SUBMITTAL

REVISD PER COUNTY COMMENTS OCTOBER 2023

REVISD PER COUNTY COMMENTS MARCH 2025



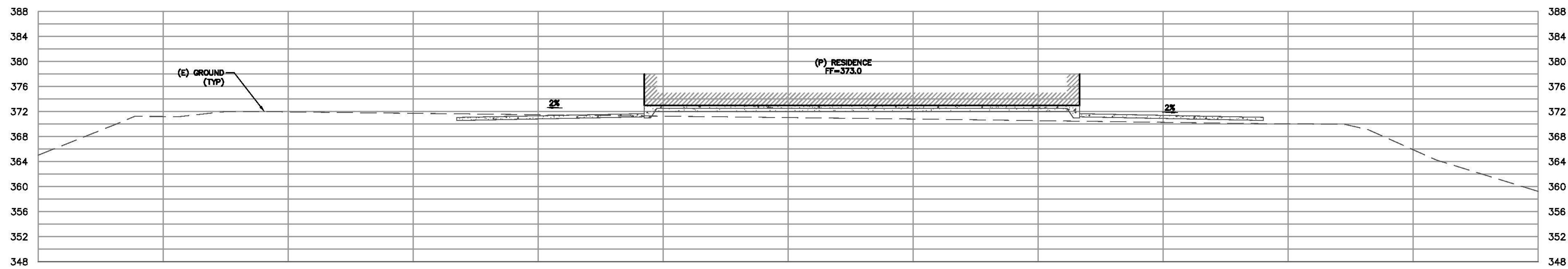
**RI Engineering, Inc.**

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 831-425-3901 www.riengineering.com

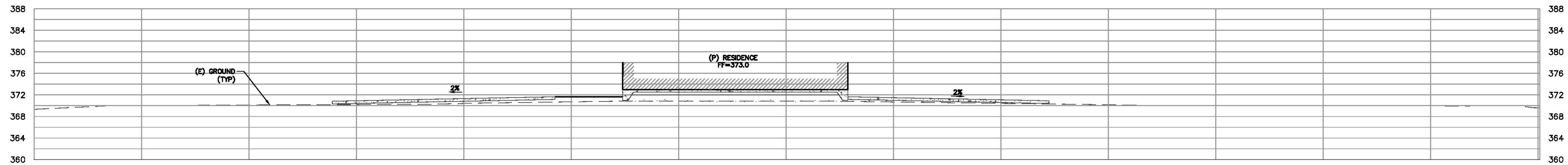
SINGLE FAMILY RESIDENCE  
 FOR  
 SAL AKHTER  
 2580 BRIDLE PATH DR  
 GILROY, CALIFORNIA  
 APN: 880-17-059  
**GRADING AND DRAINAGE PLAN**

project no.  
 14-067-2  
 date  
 MARCH 2024  
 scale  
 AS SHOWN  
 dwg name  
 CIVIL-SFR PLN23-023

**C-2**



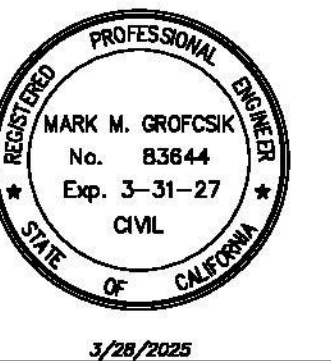
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SCALE: 1"=20' HORIZONTAL, VERTICAL



SECTION 2-2  
SCALE: 1"=20' HORIZONTAL, VERTICAL

REVISD PER COUNTY COMMENTS OCTOBER 2023

REVISD PER COUNTY COMMENTS MARCH 2025



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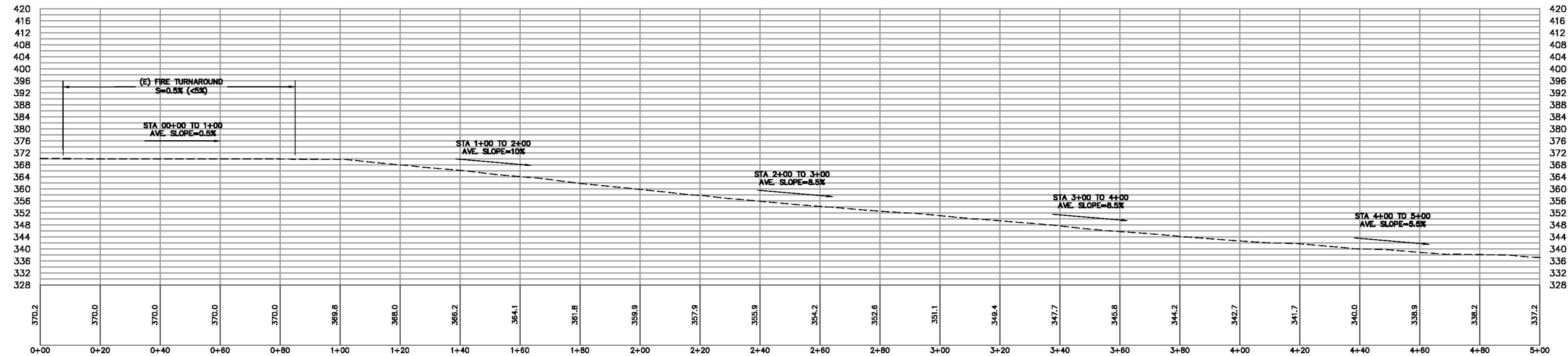
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
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SINGLE FAMILY RESIDENCE  
FOR  
SAL AKHTER  
2580 BRIDLE PATH DR  
GILROY, CALIFORNIA  
APN: 830-17-059

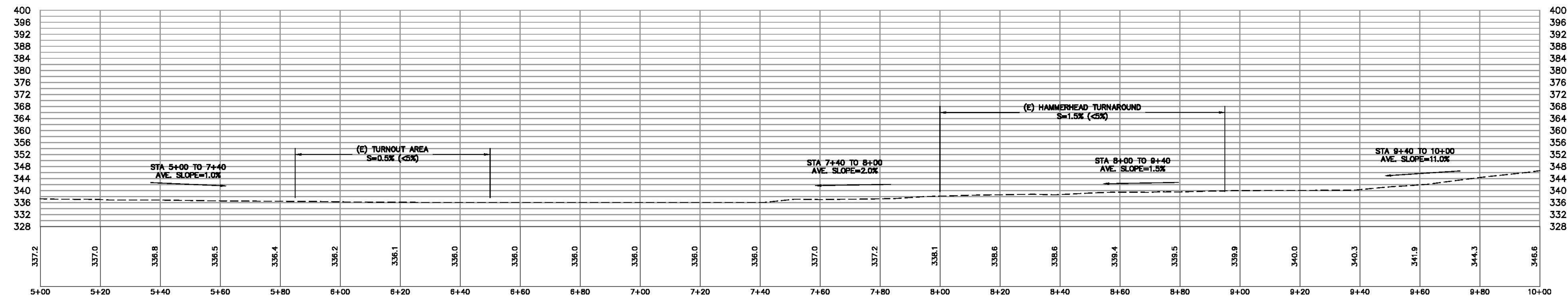
DETAILS AND SECTIONS

project no.  
14-067-2  
date  
MARCH 2024  
scale  
AS SHOWN  
dwg name  
CIVIL-SFR PLN23-023

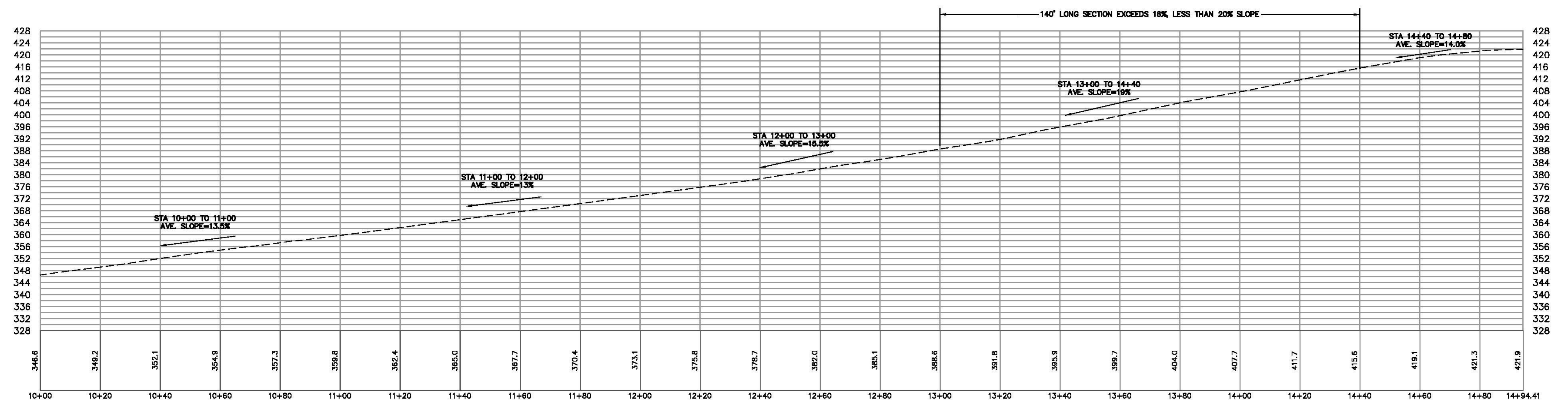
C-3



DRIVEWAY PROFILE (STA 0+00 TO 5+00)  
SCALE: 1"=20' HORIZONTAL, VERTICAL



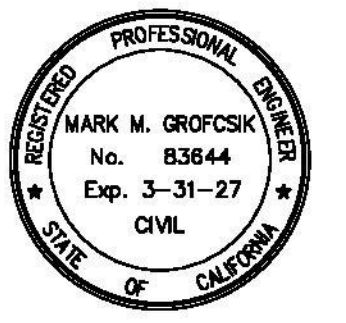
DRIVEWAY PROFILE (STA 5+00 TO 10+00)  
SCALE: 1"=20' HORIZONTAL, VERTICAL



DRIVEWAY PROFILE (STA 10+00 TO 14+94)  
SCALE: 1"=20' HORIZONTAL, VERTICAL

NOTE: ENTIRE DRIVEWAY SLOPE LESS THAN 18%, EXCEPT FOR 180' LONG SECTION AT STATION 13+00 TO 14+40  
DRIVEWAY TO BE PAVED UNDER PERMIT No. 6201485

REVISD PER COUNTY COMMENTS OCTOBER 2023  
REVISD PER COUNTY COMMENTS MARCH 2025



3/28/2025

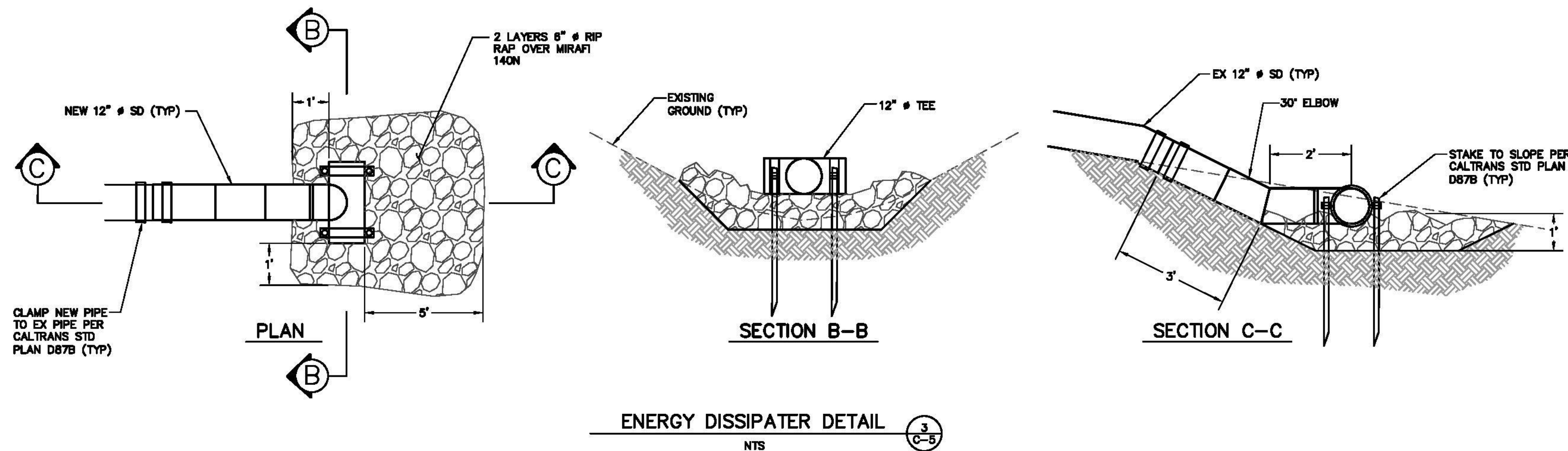
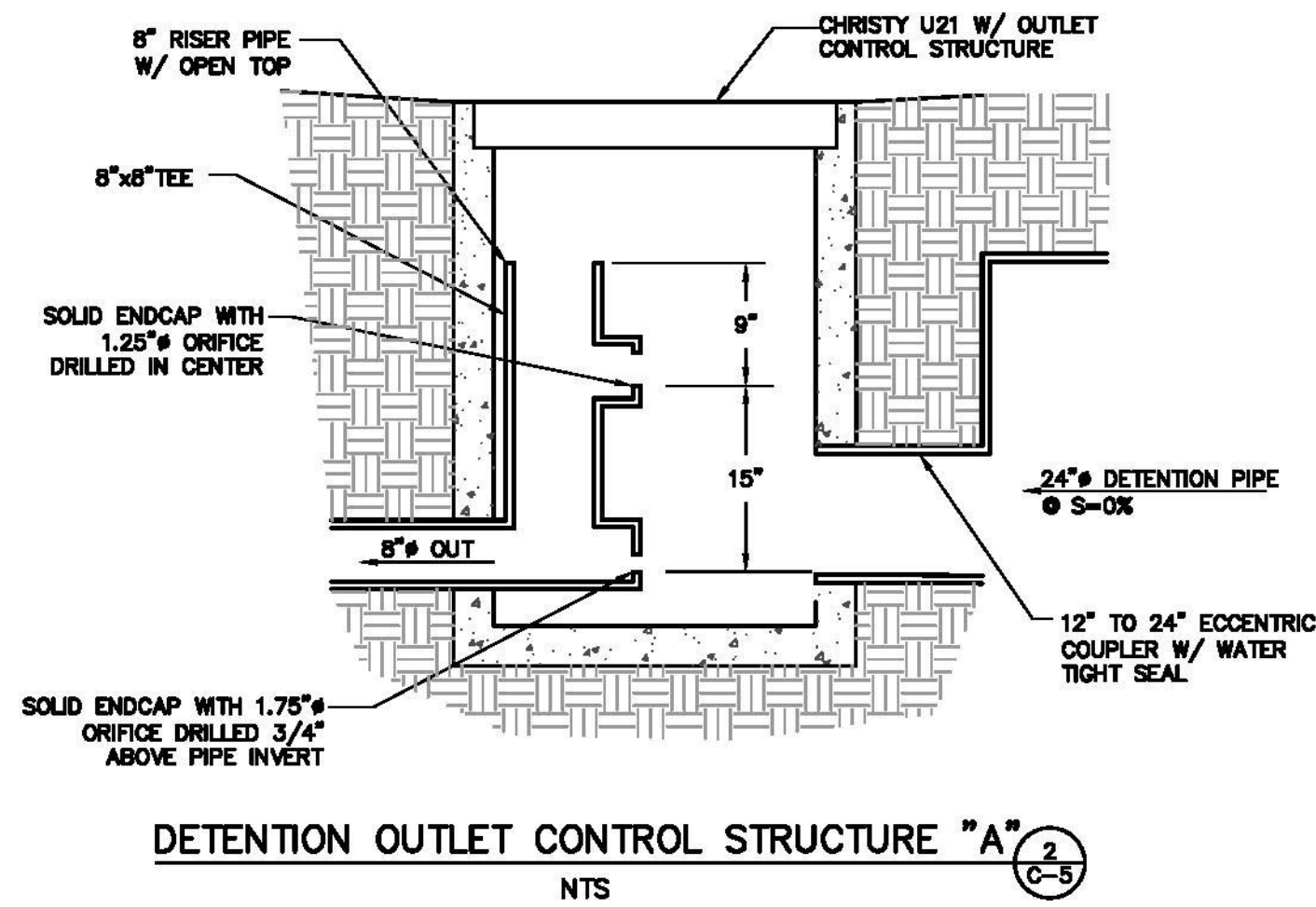
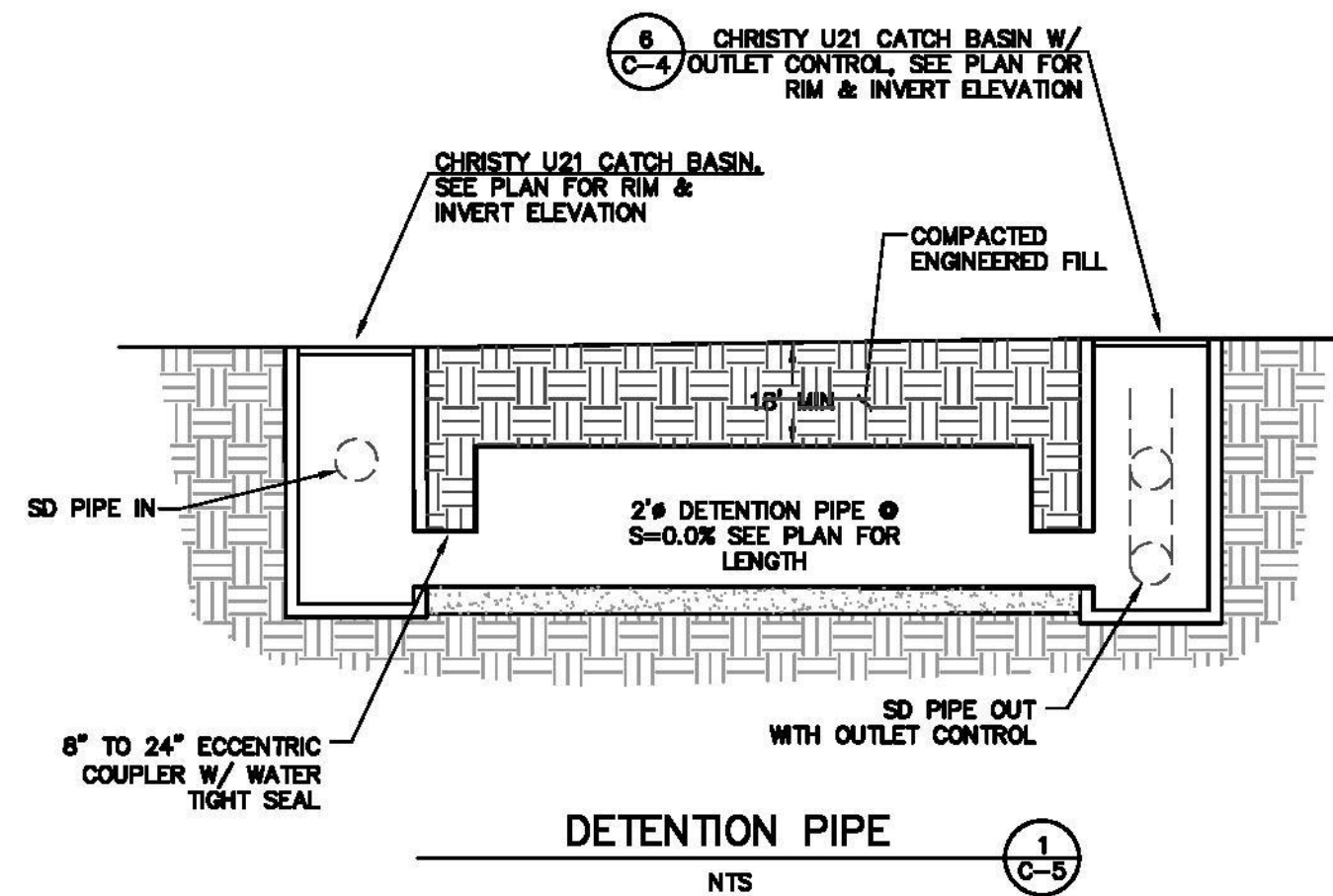


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SINGLE FAMILY RESIDENCE  
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SAL AKHTER  
2580 BRIDLE PATH DR  
GILROY, CALIFORNIA  
APN: 830-17-059  
DRIVEWAY PROFILE

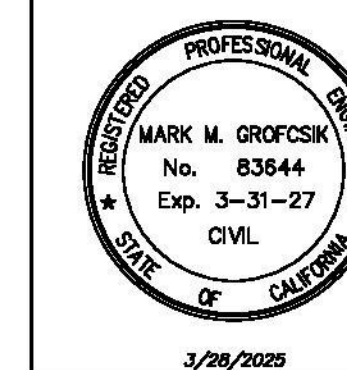
project no.  
14-067-2  
date  
MARCH 2024  
scale  
AS SHOWN  
dwg name  
CIVIL-SFR PLN23-023

C-4



REVISED PER COUNTY COMMENTS OCTOBER 2023

REVISED PER COUNTY COMMENTS MARCH 2025



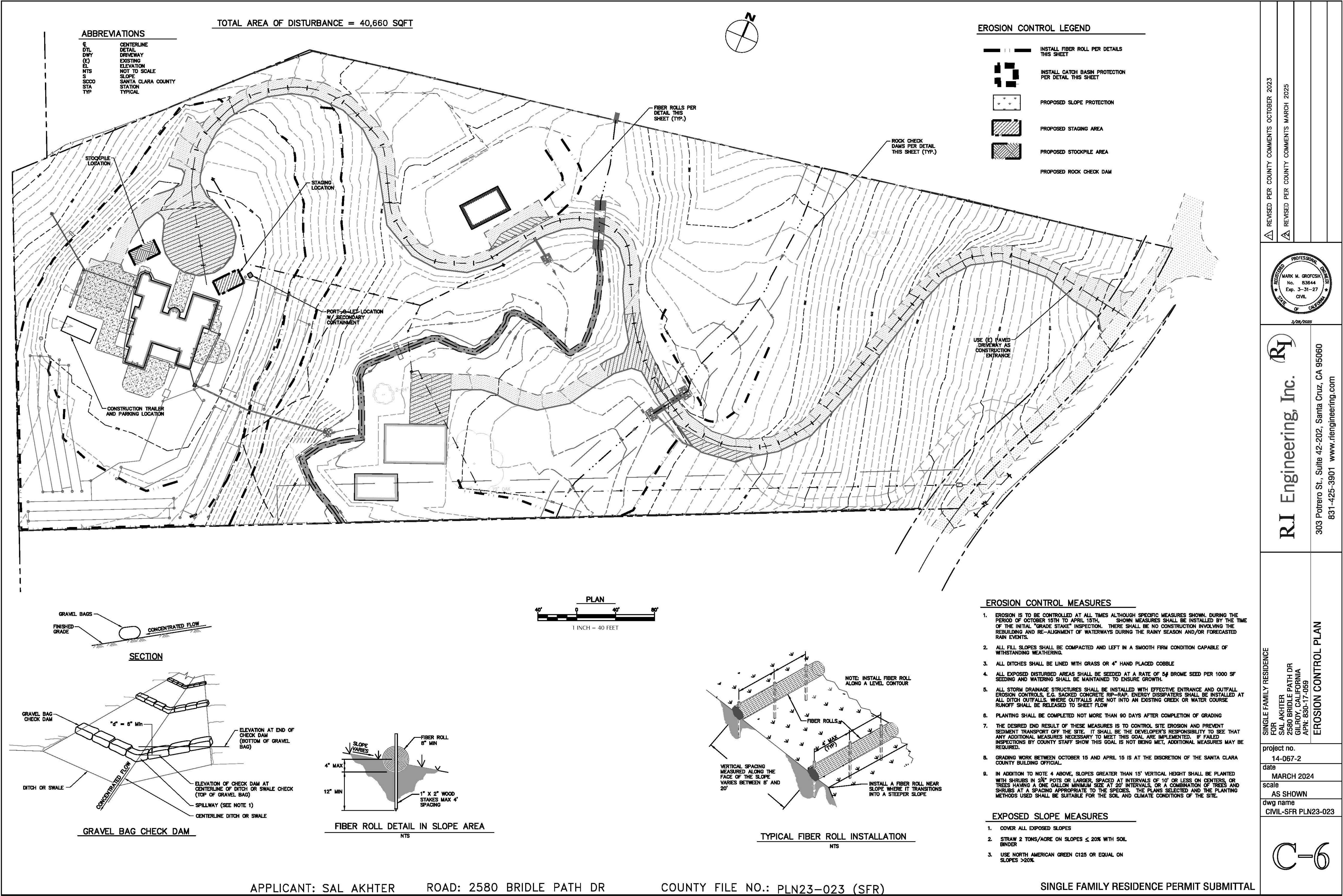
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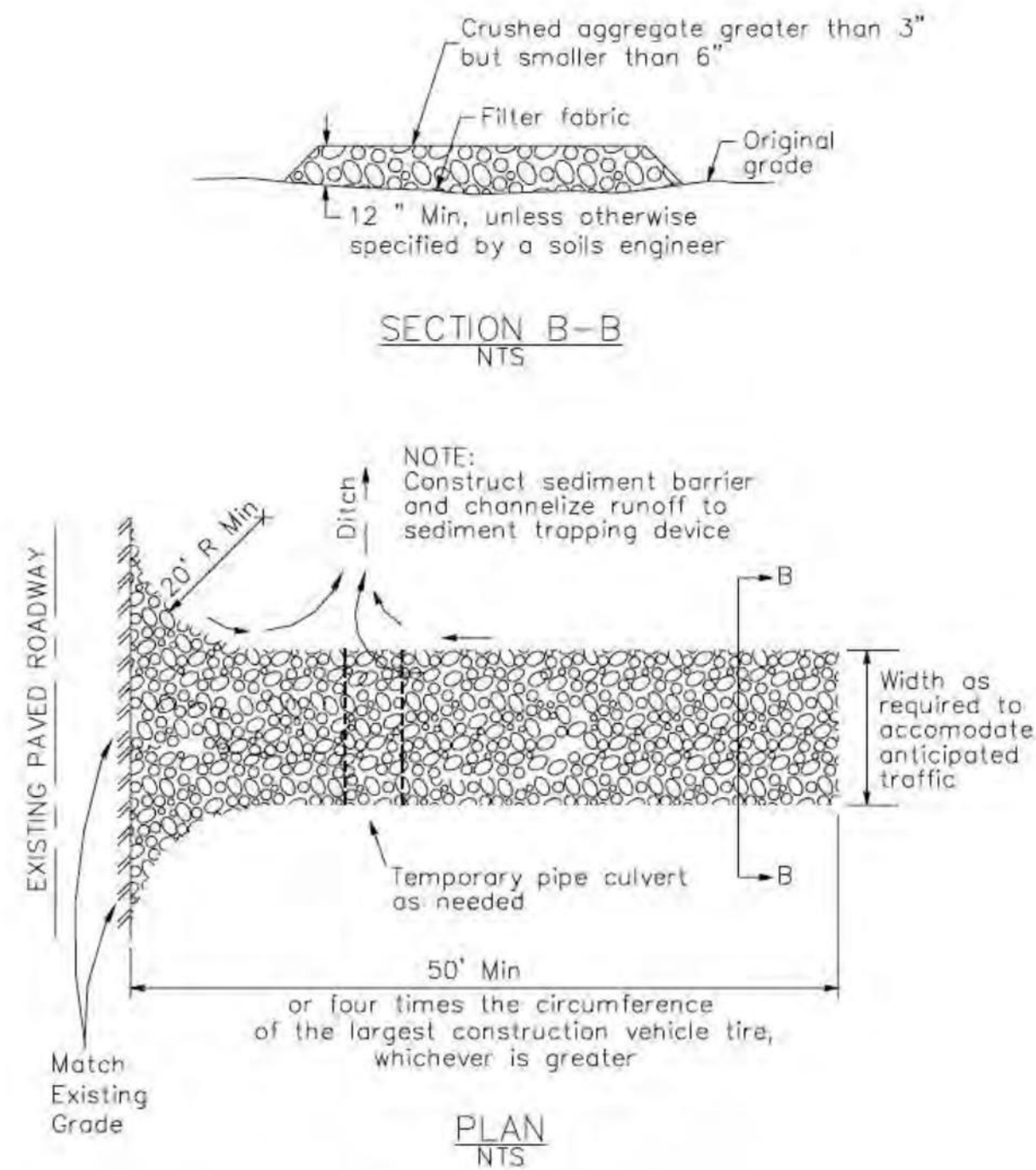
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date  
MARCH 2024  
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dwg name  
CIVIL-SER PLN23-023

**C-5**



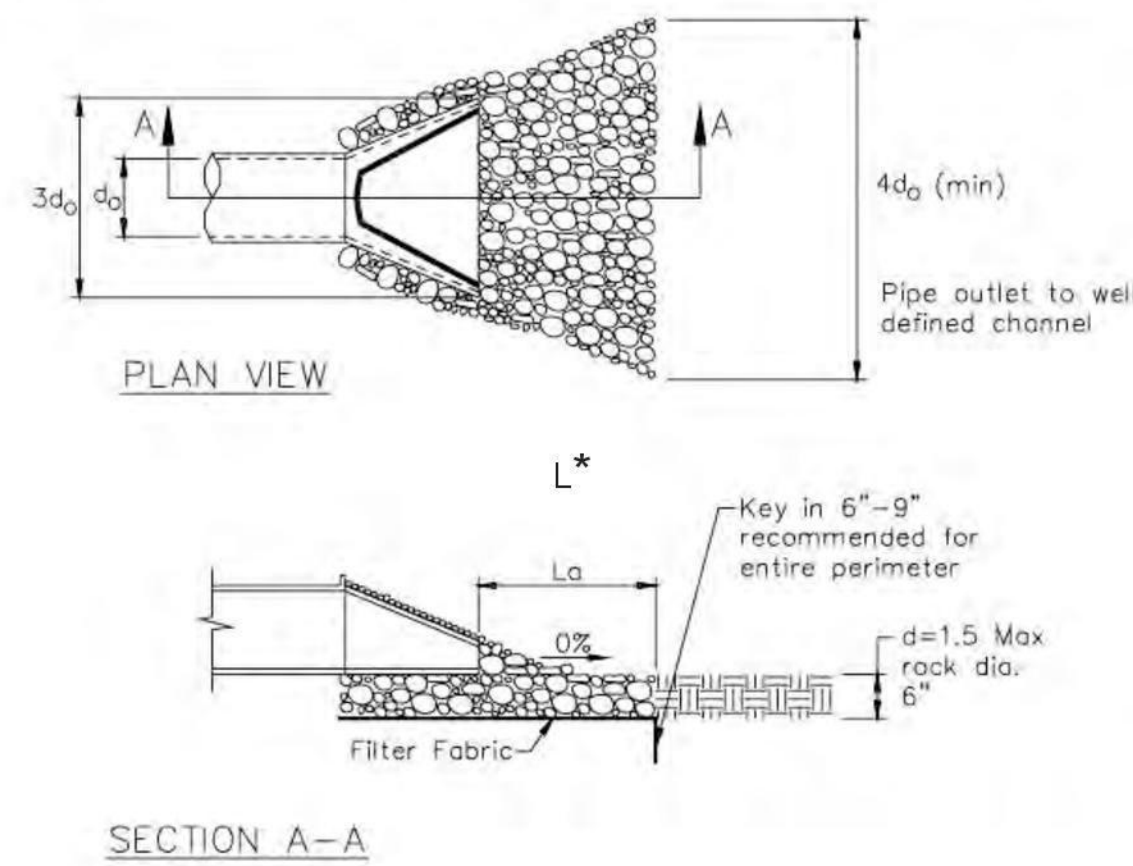
3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



4 Velocity Dissipation Devices

CASQA Detail EC-10

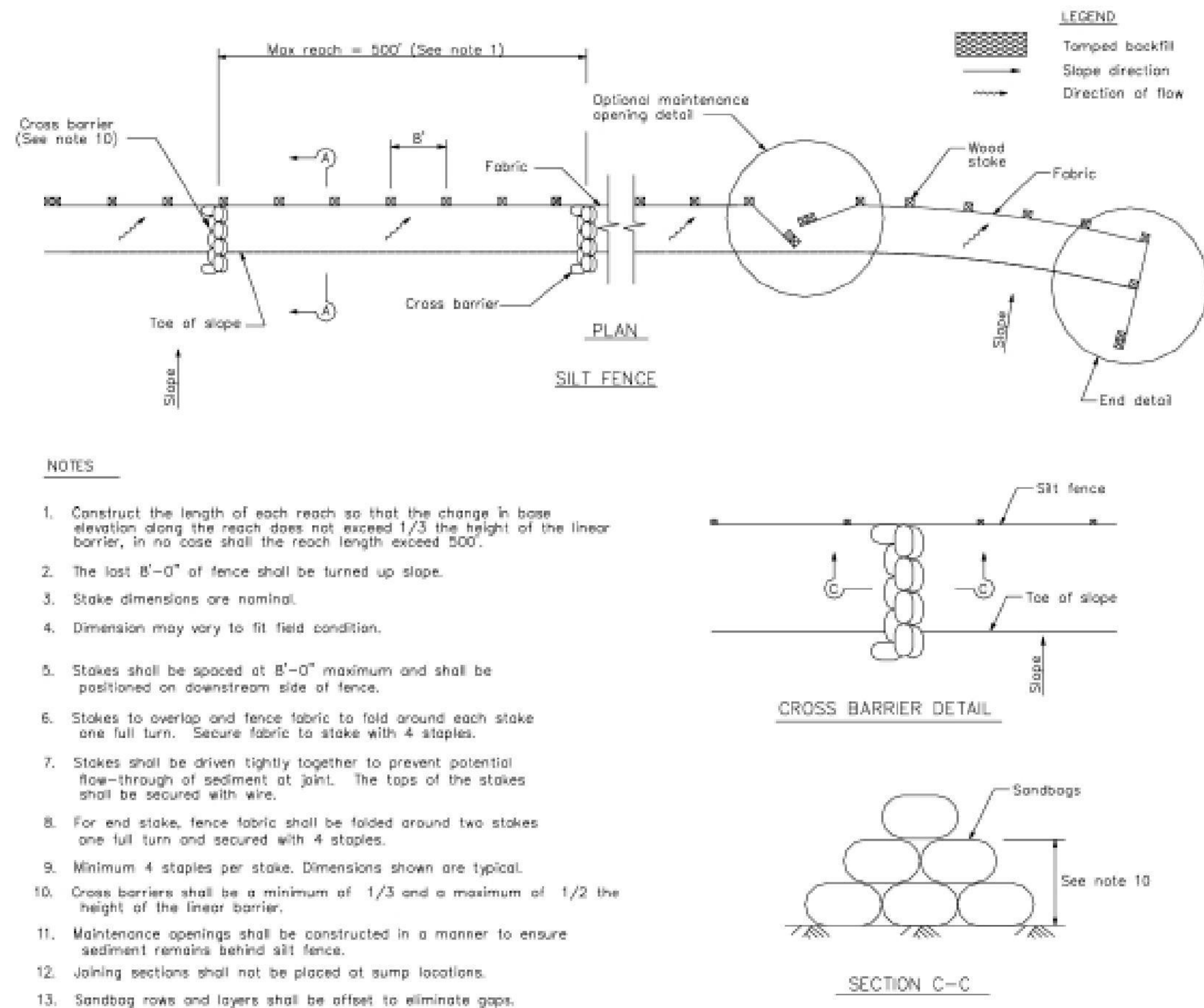


\* Length per ABAG Design Standards

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.  
Available from [www.cabmphandbooks.com](http://www.cabmphandbooks.com).

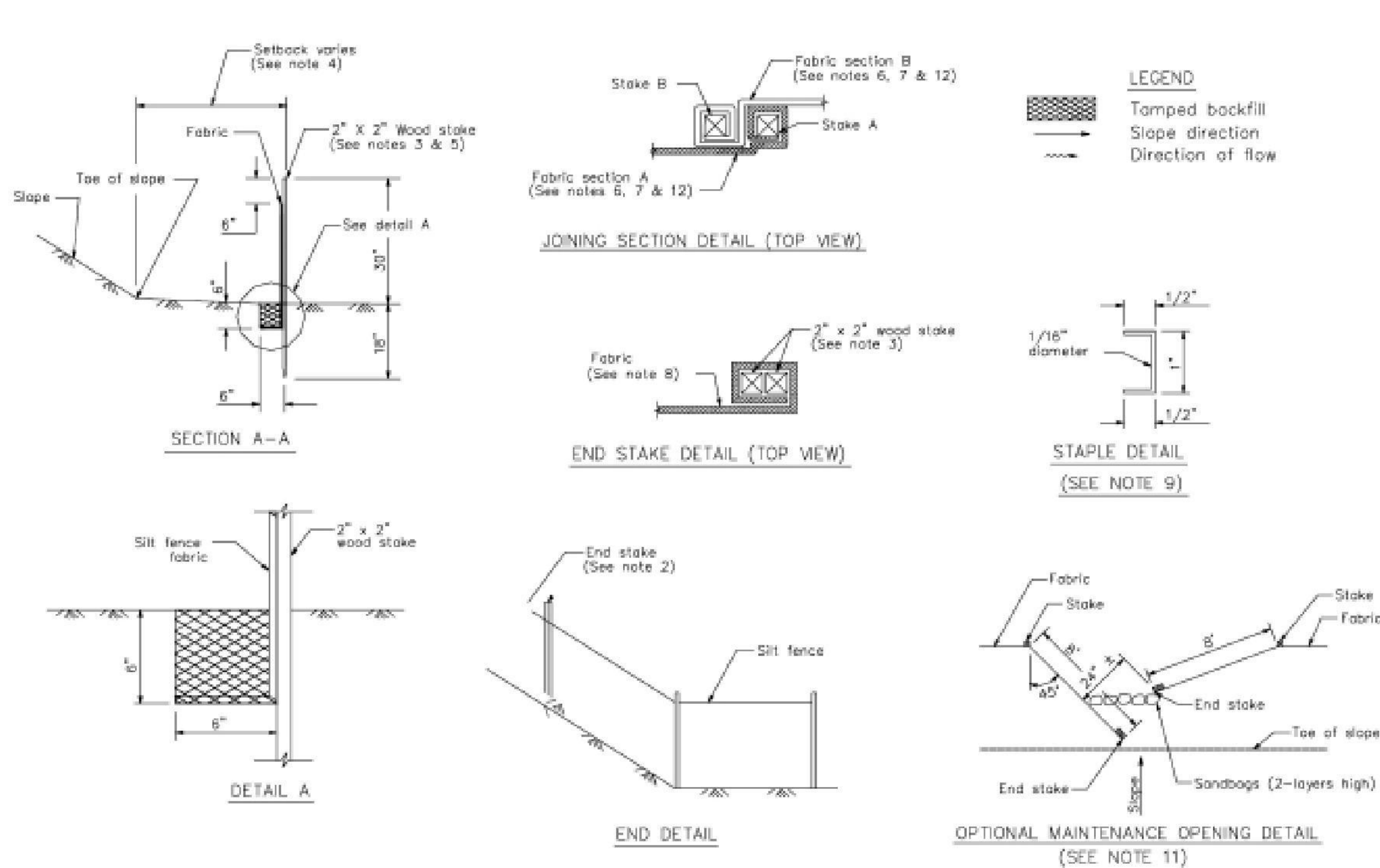
1 Silt Fence

CASQA Detail SE-1



2 Silt Fence

CASQA Detail SE-1



STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**

**Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

**Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber rolls or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

**Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

**Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

**Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Project Information

APPLICANT: SAL AKHTER  
FOR ROAD: 2580 BRIDLE PATH DR.  
COUNTY FILE NO. 8208-18GA

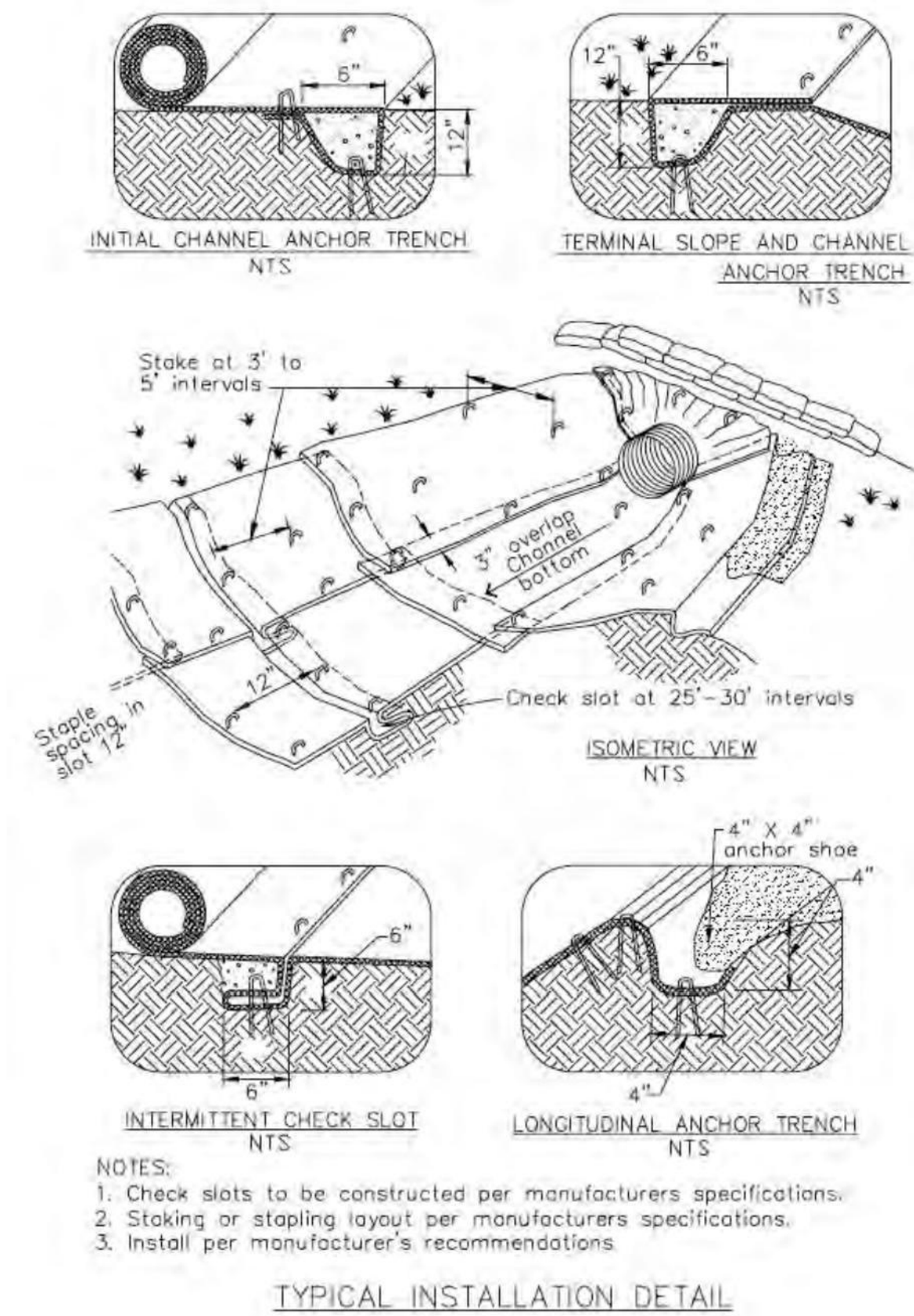
STREAM GRADING ABATEMENT  
FOR SAL AKHTER  
2580 BRIDLE PATH DR  
APN: 830-17-059  
PROJECT #14-067-1



7

### Geotextiles and Mats

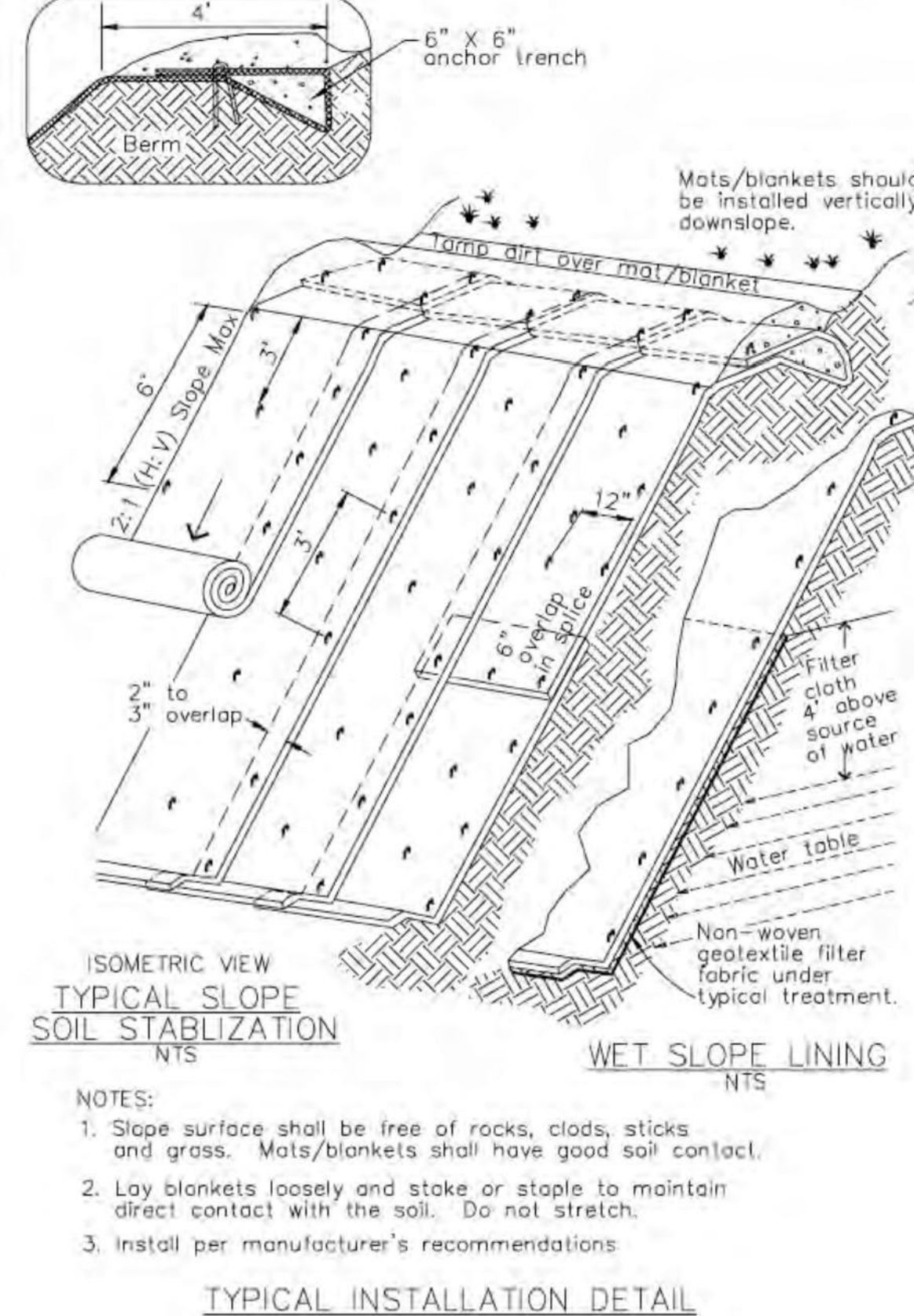
CASQA Detail EC-7



5

### Geotextiles and Mats

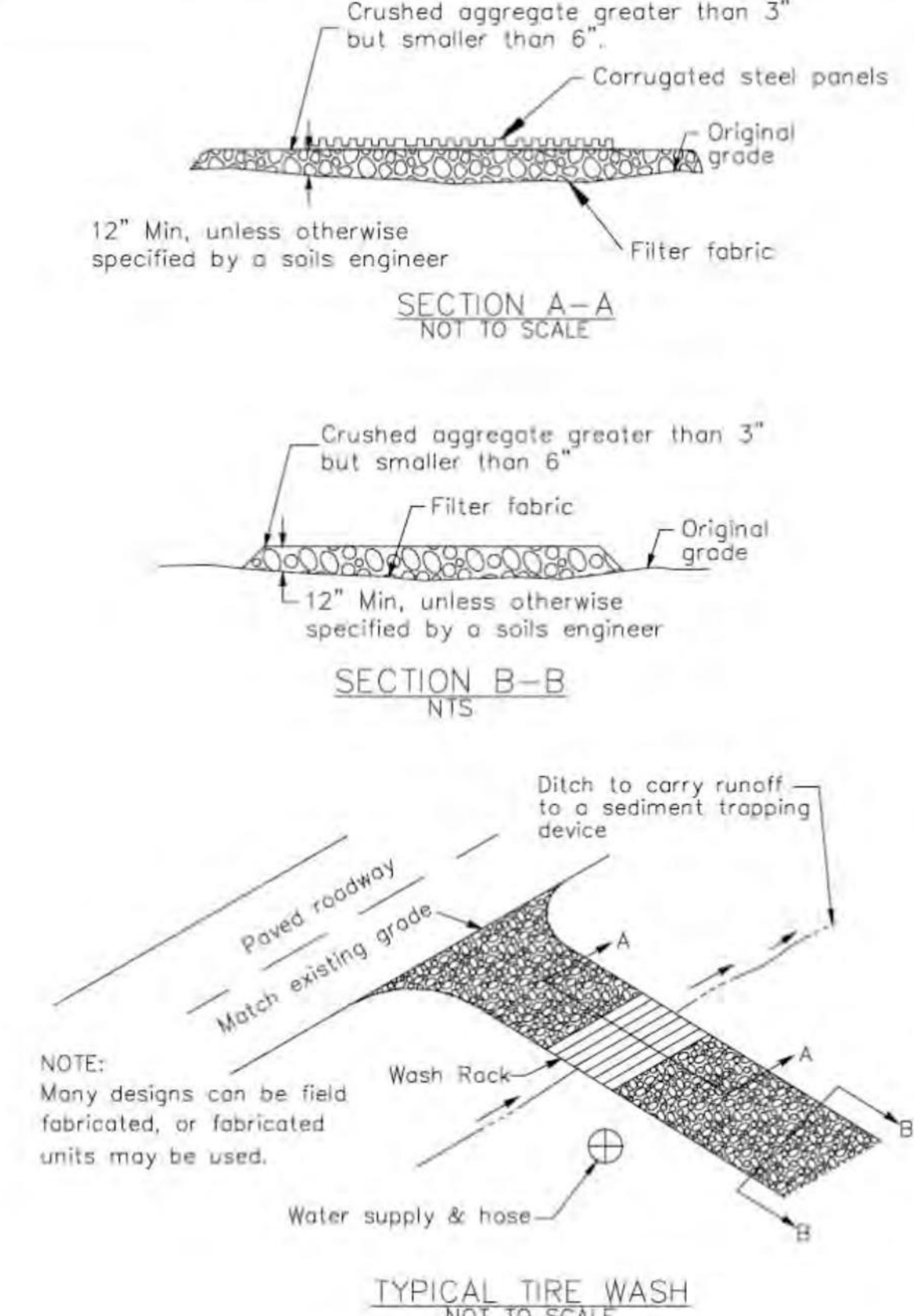
CASQA Detail EC-7



3

### Entrance/Outlet Tire Wash

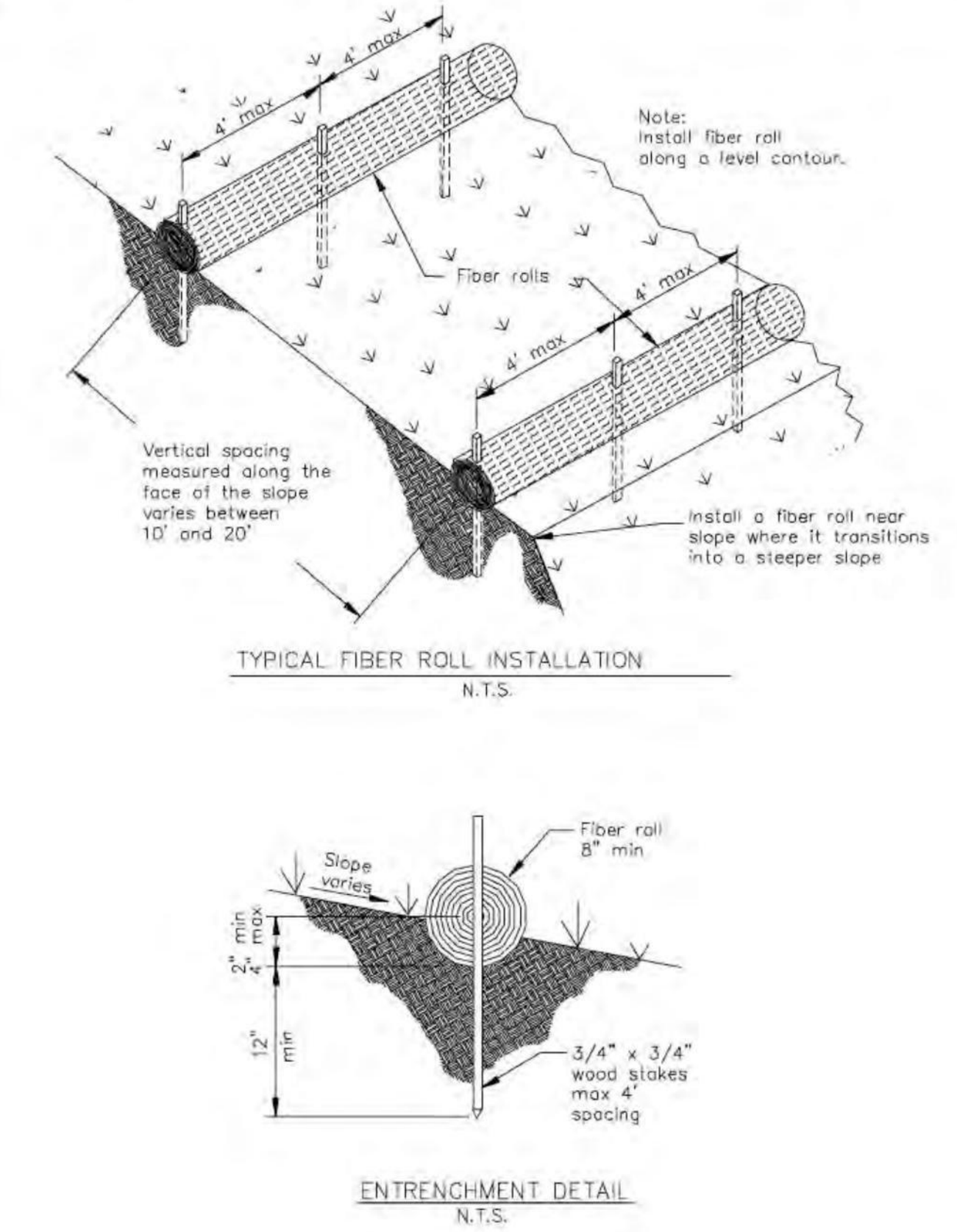
CASQA Detail TC-3



1

### Fiber Rolls

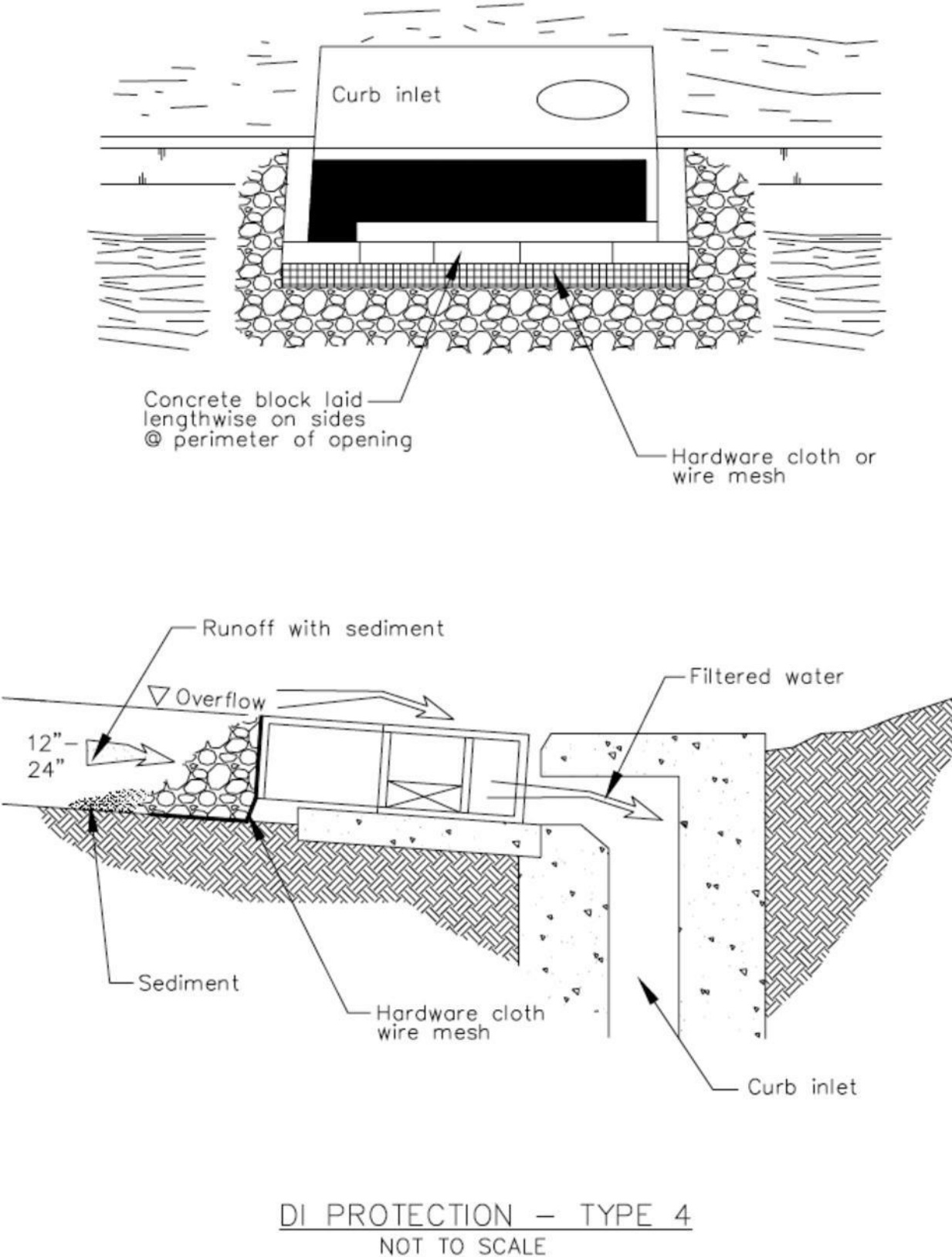
CASQA Detail SE-5



8

### Storm Drain Inlet Protection

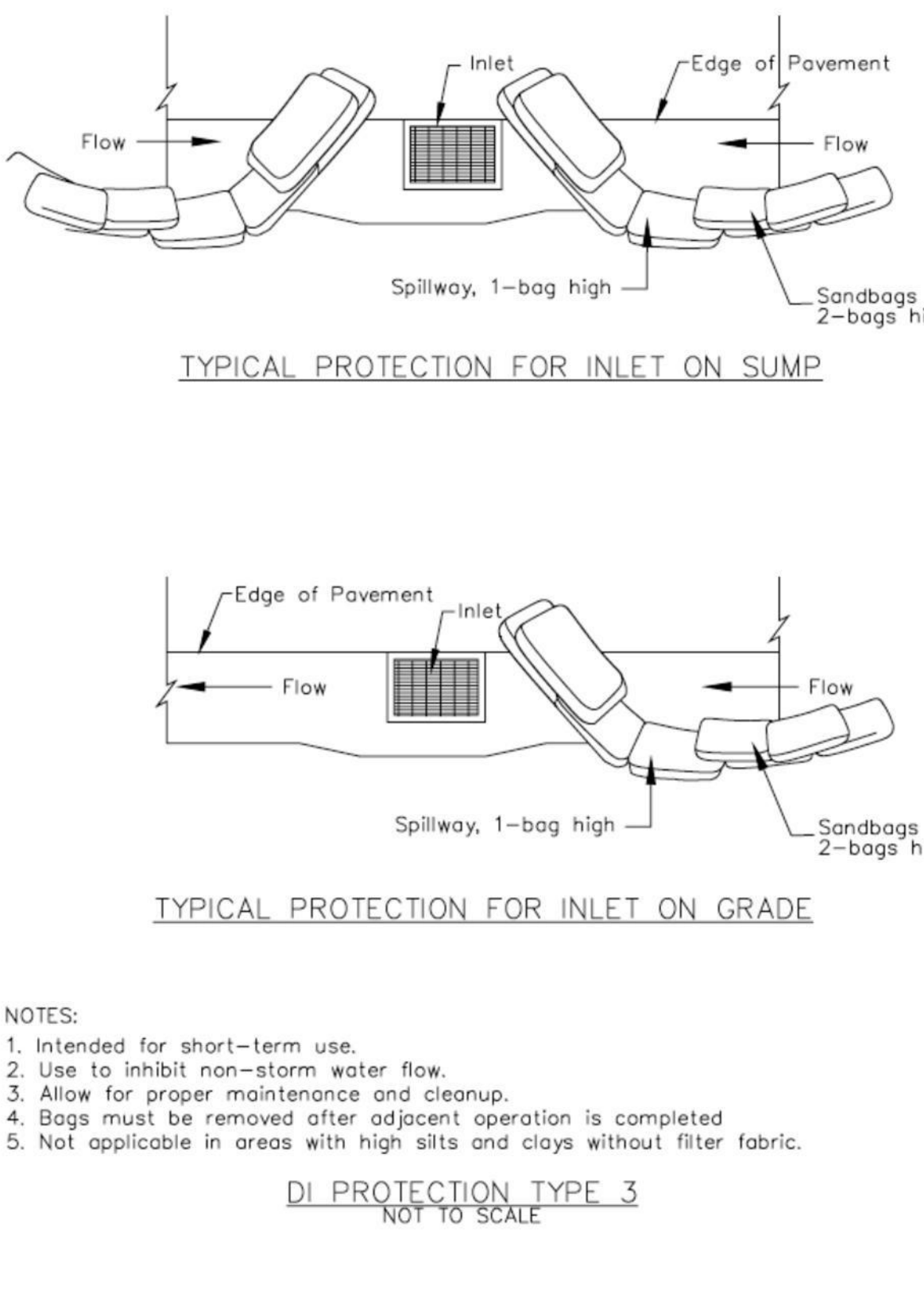
CASQA Detail SE-10



6

### Storm Drain Inlet Protection

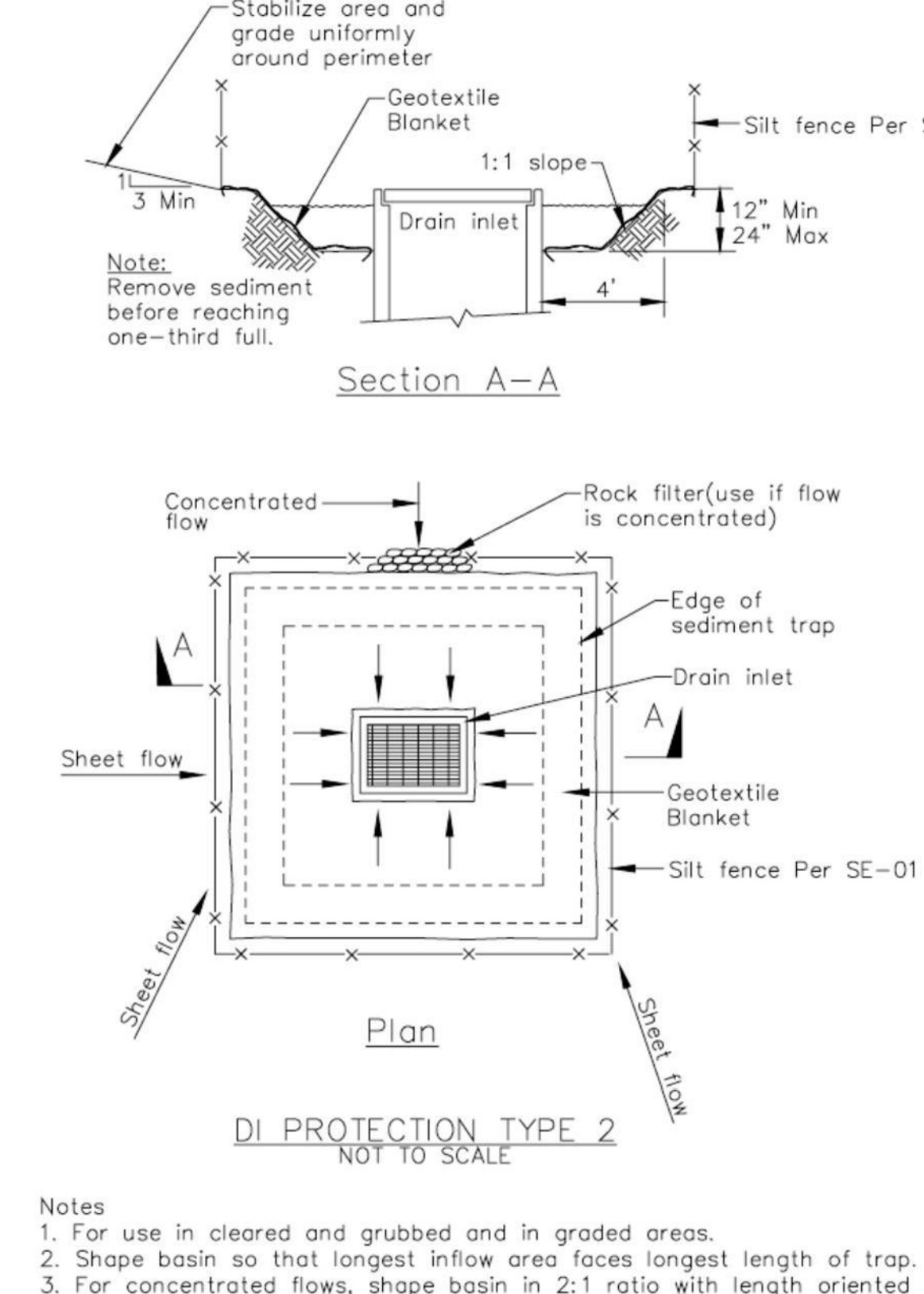
CASQA Detail SE-10



4

### Storm Drain Inlet Protection

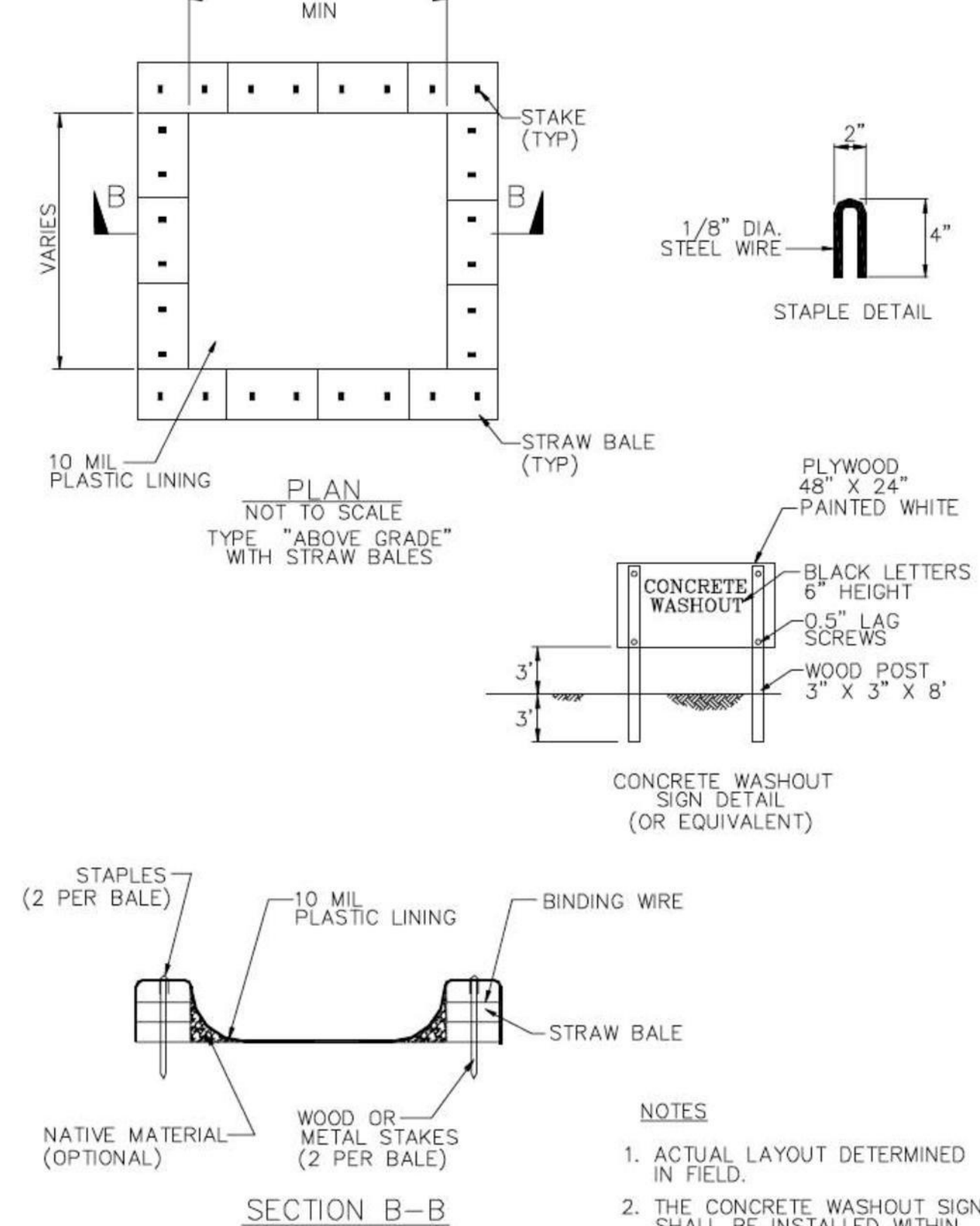
CASQA Detail SE-10



2

### Concrete Waste Management

CASQA Detail WM-8



Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.  
Available from [www.cabmphandbooks.com](http://www.cabmphandbooks.com).





PLAN # 6926 R  
SHEET 2 OF 12

APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERS



CARNES & ASSOCIATES  
9505 SUGAR BABE DRIVE  
GILROY, CALIFORNIA 95020  
408-847-2013

NO.	DATE	REVISION
1	8-01-06	REUSE HOUSE & TURNAROUND
2	2-19-02	REUSE SEPTIC SYSTEM
3	3-11-02	REUSE STAMP CROSSING, CREEK CROSSING, & SECONDARY CHALLENGE UNIT
4	7-20-03	WALL AT TURNAROUND
5	5-0-04	REUSE STAMP CROSSING COMMENTS 9/2/03

OVERALL SITE PLAN  
FOR SAL AKHTER  
LOT 25, TRACT 6335  
CITY OF SANTA CLARA, CALIF.

DATE :	7-30-01
SCALE :	1" = 40'
DRAWN BY :	P.D.G.
PROJ. MANAGER :	N.L.

APPLICANT: SAL AKHTER

ROAD NAME: BRIDLE PATH DRIVE

CO. FILE NO.: 8208-28-79-01G