







CONTACT INFO PROJECT DESCRIPTION **PAGE INDEX** OWNER / APPLICANT OWNER PROPOSES TO CONSTRUCT A 4,987 SQFT SINGLE FAMILY SAL AKHTER A01 LAYOUT / TITLE PAGE RESIDENCE. THE EXTERIOR TO BE STUCCO FINISHED AND THE ROOF 2580 BRIDLE PATH DRIVE TO BE COVERED BY SPANISH TILE TYPE ROOFING. GILROY CA 95020 THERE IS NO PROPOSED LANDSCAPING. salakhter@gmail.com (408) 205-9936 A02 PLOT PLAN **DESIGNER** MONTEREY BUILDING DESIGN PO BOX 222161 A03 FLOOR PLAN CARMEL, CA 93922 info@montereybuildingdesign.com (831) 620-9170 A3.1 AREA PLAN STRUCTURAL ENGINEER IDS ENGINEERING, INC. 6280 WEST LAS POSITAS BLVD. SUITE 201 A04 EXTERIOR ELEVATIONS PLEASANTON, CA 94888 stevef@ids-eng.net 925-398-8315 A05 DOOR / WINDOW PLAN SITE DETAILS **CONTRACTOR** ADDRESS: 2580 BRIDLE PATH DRIVE, GILROY A06 **ROOF & RCP PLAN**

	ADDITIOO.	2000 BINDLE I ATTI BINVE, GILLY
	APN:	AP# 830-17-059
	OWNER/APPLICANT:	SAL AKHTER
	ZONING:	HS-D1
	SITE AREA:	10.03 ACRES
ENERGY ANALYST	RESIDENCE:	4,670 SQFT
ENERGY ANALYST	WASTE:	SEPTIC
	WATER:	MUNICIPAL
	ELECTRICITY/GAS:	PGE
	CONSTRUCTION TYPE:	V-B
	OCCUPANCY:	R-3
	FIRE SUPPRESSION:	YES

1. SPECIAL INSPECTION REQUIRED FOR EPOXY REBAR SETTING.	
2. OWNER SHALL SCHEDULE THE MANDATORY PRE-CONSTRUCTION S	SITE
INSPECTION IF ISSUING THE PERMIT BETWEEN OCT 15 AND APRIL	. 15.

NOTES

PROJECT IS LOCATED WITHIN THE STATE RESPONSE AREA (SRA) AND THE WILDLAND URBAN INTERFACE (WUI).

REQUIRED SPECIAL FEATURES

1. INDOOR AIR QUALITY, BALANCE FAN. 2. IAQ VENTILATION SYSTEM, AS LOW AS 0.3 W/CFM. 2. IAQ VENTILATION SYSTEM, SUPPLY OUTSIDE AIR INLET, FILTER AND H/ERV CORES ACCESSIBLE PER RACM REFERENCE MANUAL. RECIRCULATING WITH DEMAND CONTROL, OCCUPANCY/MOTION SENSOR.

HERS FEATURE SUMMARY

THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS. ADDITIONAL DETAIL IS PROVIDED BELOW. REGISTERED CF2RS AND CF3RS ARE REQUIRED TO BE COMPLIED IN THE HERS REGISTRY.

BUILDING LEVEL VERIFICATIONS-KITCHEN RANGE HOOD

HVAC DISTRIBUTION SYSTEM VERIFICATIONS-DUCT LEAKAGE TESTING

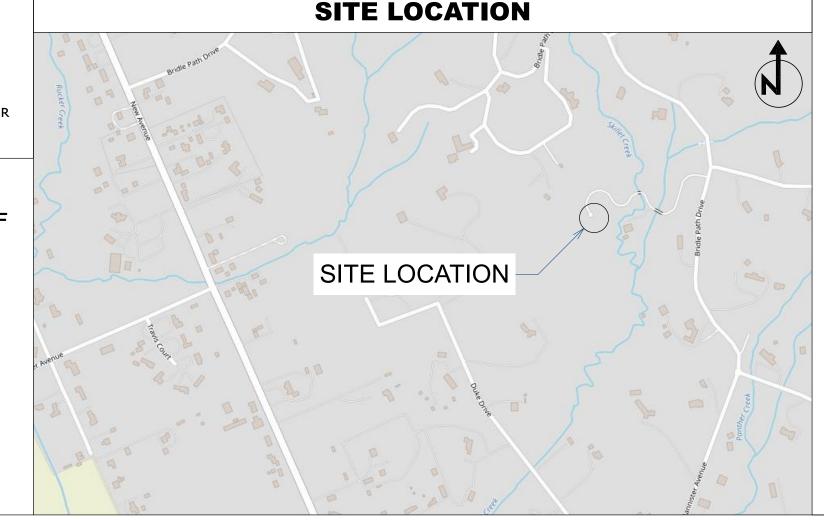
DUCT SEALING REQUIRED IF A DUCT SYSTEM COMPONENT, PLENUM, OR

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING CODES-

- CALIFORNIA RESIDENTIAL CODE 2022
- CALIFORNIA MECHANICAL CODE 2022
- CALIFORNIA PLUMBING CODE 2022
- CALIFORNIA ELECTRICAL CODE 2022 - CALIFORNIA FIRE CODE 2022
- CALIFORNIA ENERGY CODE 2022
- CALIFORNIA GREEN BUILDING STANDARDS CODE 2022

LOT SIZE	438,012 SQFT
RESIDENCE COVERAGE	4,987 SQFT
HARDSCAPE	3,685 SQFT
TOTAL COVERAGE	8,672 SQFT
PERCENT OF COVERAGE	2.0%
FLOOR AF	REA
LOT SIZE	438,012 SQFT
LIVING AREA	4,987 SQFT
FLOOR AREA TOTAL	4,987 SQFT

SITE AREA



A	21
VERSION:	3.2.2
DATE:	5/4/2025

		PLANN	0
REV. #	DATE		NOTE
2	4/5/23		RFI#2

THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF MONTEREY BUILDING DESIGN AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF MONTEREY BUILDING DESIGN. ALL ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE TH ACCURACY OF THESE PLANS. IF ANY UNFORESEEN CONDITIONS OR CIRCUMSTANCES ARISE, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR THE IN WRITING BEFORE THE COMMENCEMENT OF RELATED CONSTRUCTION ACTIVITIES. MONTEREY BUILDING DESIGN ASSUMES NO LIABILITY FOR THE

CONSTRUCTION OR MAINTENANCE OF THIS PROJEC JEREMY MCCULLOUGH - DESIGNER



DETAILS C-5 **SITE LOCATION** C-6 **EROSAION CONTROL PLAN** BEST MANAGMENT PRACTICES BMP1 BEST MANAGMENT PRACTICES OVERALL SITE PLAN

A07

C-0

C-1

C-1

C-2

C-3

C-4

CROSS SECTIONS

CIVIL- SITE PLAN

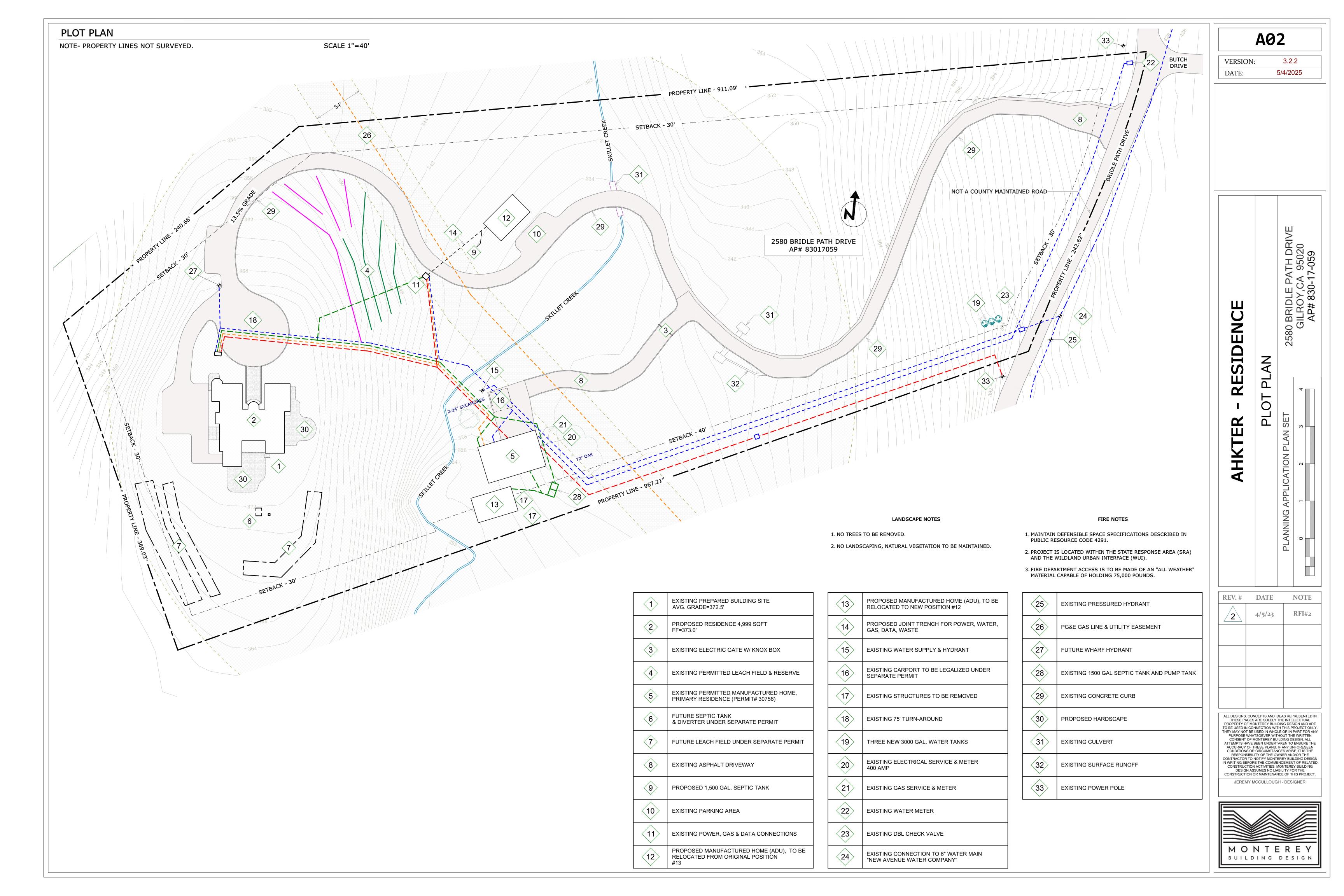
SITE PLAN

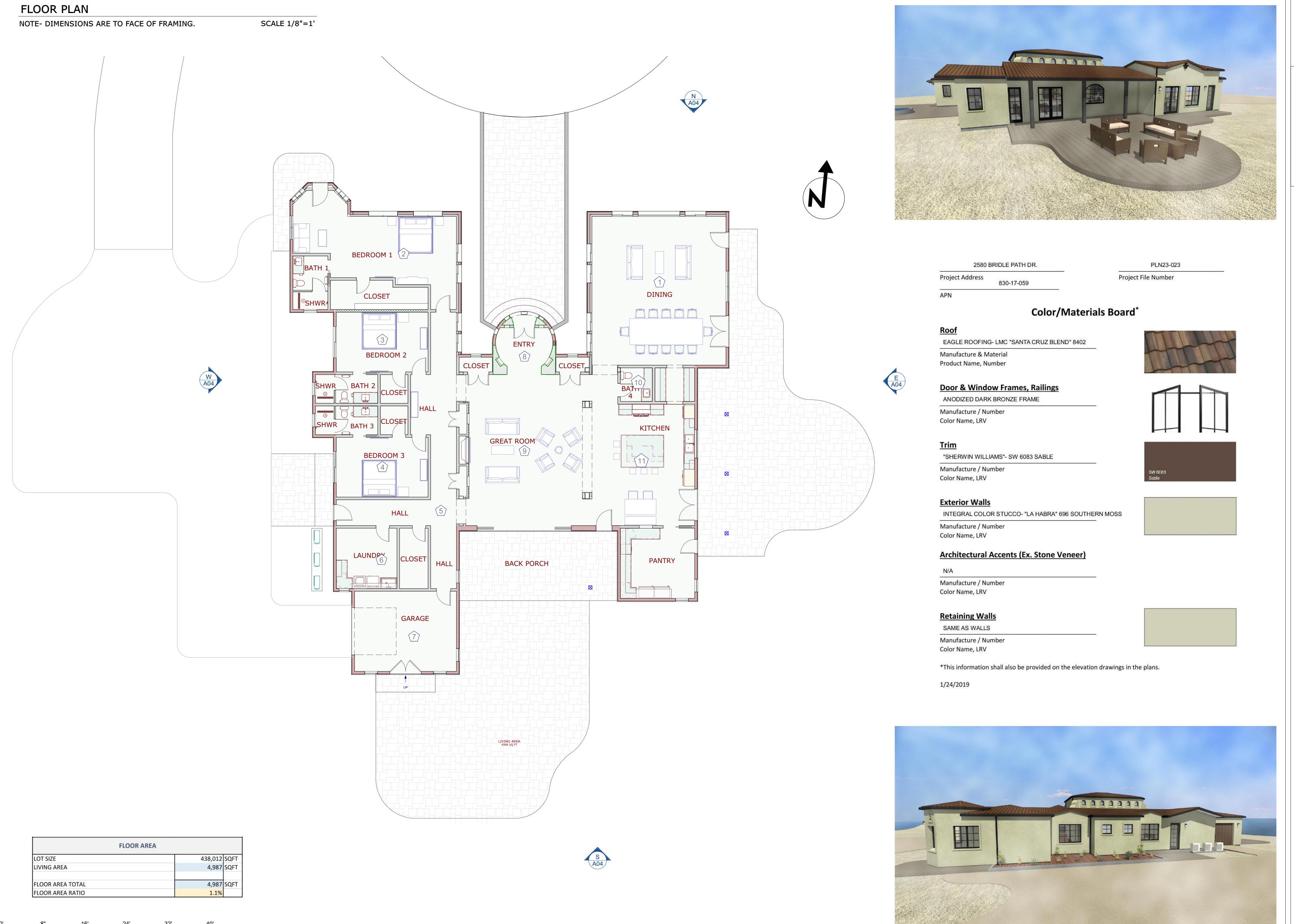
CIVIL- COVER SHEET

GRADING AND DRAINAGE PLAN

DETAILS AND SECTIONS

DRIVEWAY PROFILE





A03

3.2.2 **VERSION:** 5/4/2025 DATE:

RESIDENCE PLAN

¥

DATE **NOTE** RFI#2 4/5/23

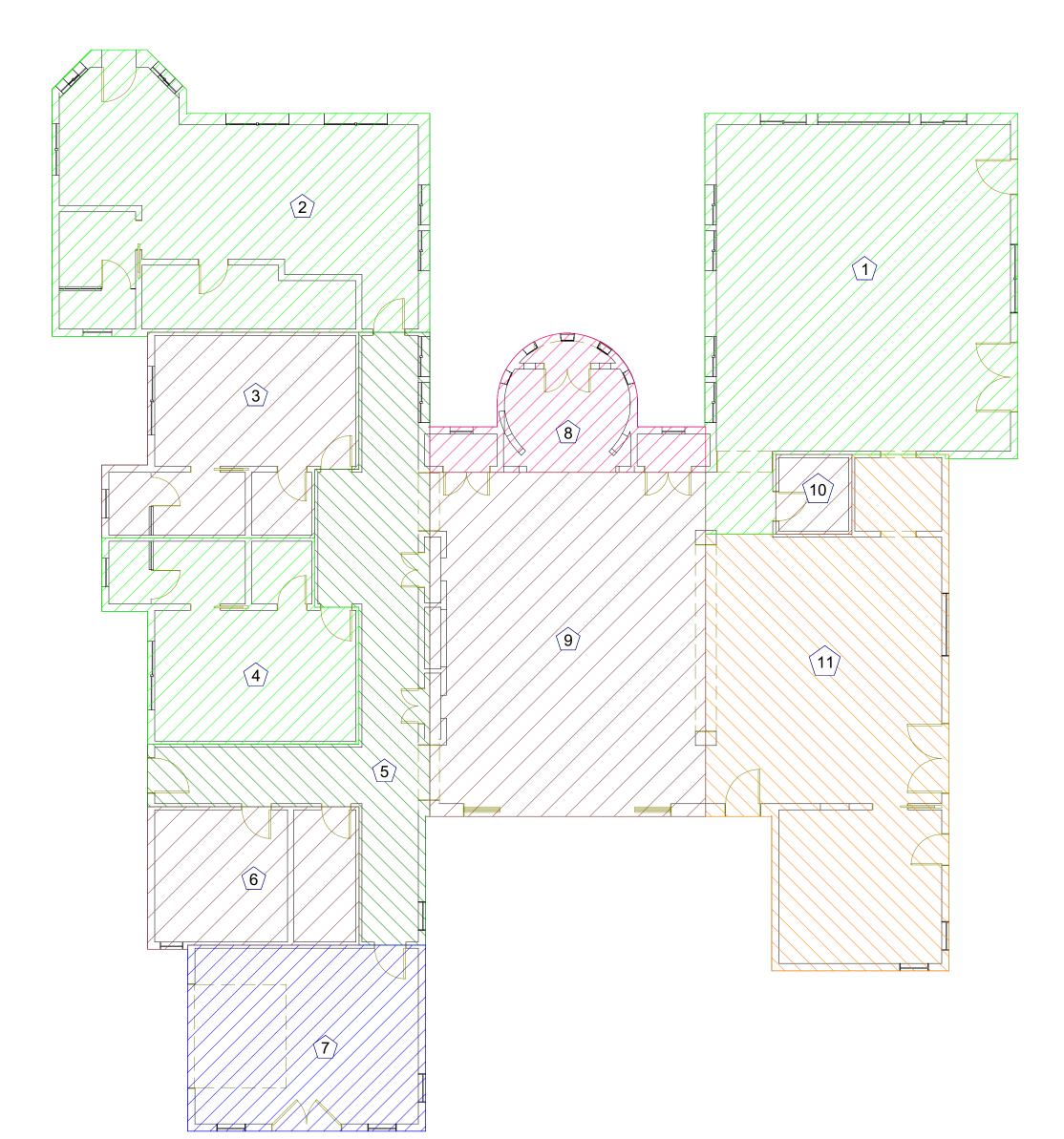
ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF MONTEREY BUILDING DESIGN AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY. THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF MONTEREY BUILDING DESIGN. ALL ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY UNFORESEEN CONDITIONS OR CIRCUMSTANCES ARISE, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR THE CONTRACTOR TO NOTIFY MONTEREY BUILDING DESIGN IN WRITING BEFORE THE COMMENCEMENT OF RELATED CONSTRUCTION ACTIVITIES. MONTEREY BUILDING DESIGN ASSUMES NO LIABILITY FOR THE CONSTRUCTION OR MAINTENANCE OF THIS PROJECT.

JEREMY MCCULLOUGH - DESIGNER





NOTE- AREA TO FACE OF STUCCO.



SCALE 1/8"=1'

	NOTE SCHEDULE	
1	DINING ROOM	858 SQFT
2	BEDROOM 1	687 SQFT
3	BEDROOM 2	334 SQFT
4	BEDROOM 3	334 SQFT
5	HALL	476 SQFT
6	LAUNDRY	224 SQFT
7	GARAGE	336 SQFT
8	ENTRY	180 SQFT
9	LIVING ROOM	721 SQFT
10)	BATH 4	46 SQFT
11)	KITCHEN / PANTRY	791 SQFT

A3.1

VERSION: 3.2.2

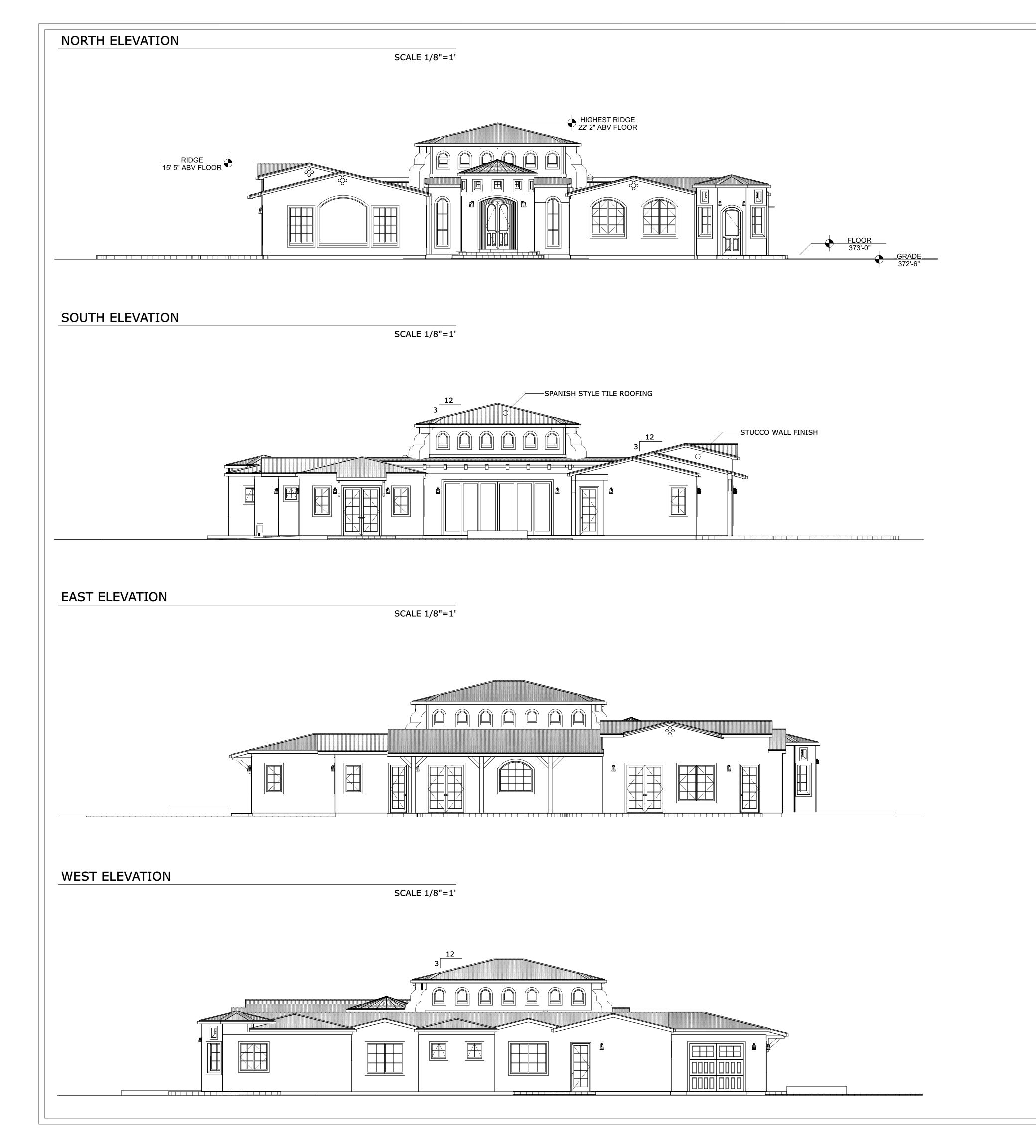
DATE: 5/4/2025

AHKTER - RESIDENCE

REV. #	DATE		NOTE
2	4/5/23		RFI#2
ALL DESIGNS	, CONCEPTS AND IE	DEAS REP	RESENTED IN

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF MONTEREY BUILDING DESIGN AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY. THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF MONTEREY BUILDING DESIGN. ALL ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY UNFORESEEN CONDITIONS OR CIRCUMSTANCES ARISE, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR THE CONTRACTOR TO NOTIFY MONTEREY BUILDING DESIGN IN WRITING BEFORE THE COMMENCEMENT OF RELATED CONSTRUCTION ACTIVITIES. MONTEREY BUILDING DESIGN ASSUMES NO LIABILITY FOR THE CONSTRUCTION OR MAINTENANCE OF THIS PROJECT.













A04

3.2.2 VERSION: 5/4/2025 DATE:

RESIDENCE ELEVATIONS EXTERIOR **AHKTER**

2580 BRIDLE PATH DRIVE GILROY,CA 95020 AP# 830-17-059

REV. #	DATE	NOTE
2	4/5/23	RFI#2
		DEAC DEDDESENTED I

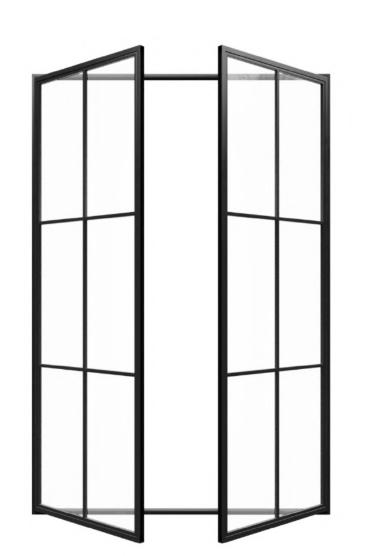
ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF MONTEREY BUILDING DESIGN AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY. THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF MONTEREY BUILDING DESIGN. ALL ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY UNFORESEEN CONDITIONS OR CIRCUMSTANCES ARISE, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR THE CONTRACTOR TO NOTIFY MONTEREY BUILDING DESIGN IN WRITING BEFORE THE COMMENCEMENT OF RELATED CONSTRUCTION ACTIVITIES. MONTEREY BUILDING DESIGN ASSUMES NO LIABILITY FOR THE CONSTRUCTION OR MAINTENANCE OF THIS PROJECT.

JEREMY MCCULLOUGH - DESIGNER



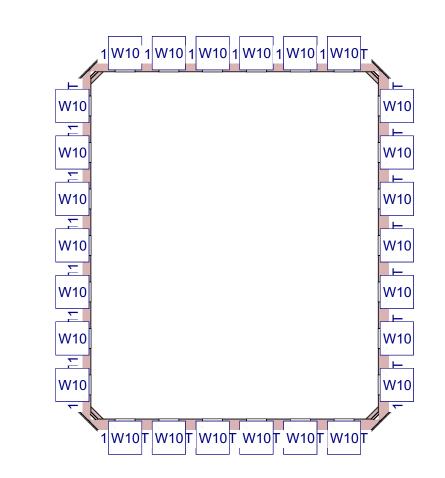
NUMBER	Іоту	FI OOR	DESCRIPTION	DOOR SIZE	SCHEDUL WIDTH	E IHFIGHT	HINGE SIDE	I IAMB SIZE	THICKNESS	IFI FV.
D01		1	DOUBLE HINGED-CCR04046 CAMINO		48"	96"	L/R	3/4"X6 1/2"	1 3/4"	
D02	1	1	EXT. 3+3-PANEL SLIDER-GLASS PANEL	18090 L/R EX	216"	108"	L/R	3/4"X13 9/ 16"	1 3/4"	
D03	1	1	GARAGE-GARAGE DOOR P04	9080	108"	96"		3/4"X7 5/8"	1 3/4"	
D04	1	1	HINGED-SLAB	2680 L IN	30"	96"	L	3/4"X6 1/2"	1 3/4"	•
D05	2	1	DOUBLE HINGED-SLAB	4080 L/R IN	48"	96"	L/R	3/4"X6 1/2"	1 3/4"	••
D06	2	1	POCKET-PANEL	2668 R	30"	80"	R	3/4"X6 1/2"	1 3/4"	
D07	2	1	DOUBLE HINGED-SLAB	3080 L/R IN	36"	96"	L/R	3/4"X6 1/2"	1 3/4"	•
D08	2	1	HINGED-SLAB	2880 L IN	32"	96"	L	3/4"X6 1/2"	1 3/4"	
D09	1	1	HINGED-GLASS PANEL	3080 R IN	36"	96"	R	3/4"X13 9/ 16"	1 3/4"	
D10	2	1	HINGED-SLAB	2880 R IN	32"	96"	R	3/4"X6 1/2"	1 3/4"	
D11	2	1	HINGED-GLASS PANEL	3080 R IN	36"	96"	R	3/4"X7 5/8"	1 3/4"	
D14	1	1	EXT. HINGED-GLASS PANEL	2880 L EX	32"	96"	L	3/4"X7 5/8"	1 3/4"	
D17	2	1	HINGED-SLAB	2668 R IN	30"	80"	R	3/4"X6 1/2"	1 3/4"	•
D18	3	1	EXT. DOUBLE HINGED-GLASS PANEL	6080 L/R EX	72"	96"	L/R	3/4"X7 5/8"	1 3/4"	
D19	1	1	POCKET-PANEL	3080 R	36"	96"	R	3/4"X6 1/2"	1 3/4"	
D24	3	1	HINGED-SLAB	2668 L IN	30"	80"	L	3/4"X6 1/2"	1 3/4"	
D30	1	1	EXT. HINGED-CCR04037A AUGUSTINE	3080 R EX	36"	96"	R		1 3/4"	
D34	1	1	POCKET-PANEL	2668 L	30"	80"	L	3/4"X6 1/2"	1 3/4"	

NIIMBED	ОТУ	EI OOD	DESCRIPTION	WINDOW WIDTH	/ SCHEDUL HEIGHT	E TEMDEDED	ECDECC	COMMENTS	ELEV.
NUMBER	QTY	FLOOR	DESCRIPTION	WIDIH	HEIGHT	TEMPERED	EGRESS	COMMENTS	IELEV.
W01	4	1	SINGLE CASEMENT-HL	30"	54"	YES			
W02	1	1	DOUBLE CASEMENT-LHL/RHR	54"	54"	YES			
W04	3	1	SINGLE AWNING	30"	30"	YES			
W05	1	1	LEFT SLIDING	48"	72"	YES			
W09	1	1	FIXED GLASS-AT	66"	62"	YES			
W10	26	2	FIXED GLASS-RT	20"	24"			FAUX WINDOW	
W12	1	1	FIXED GLASS-AT	96"	92"	YES			
W16	2	1	SINGLE CASEMENT-HR	30"	54"	YES			
W18	2	1	LEFT SLIDING	36"	54"	YES			
W19	2	1	FIXED GLASS-RT	24"	96"	YES			
W24	1	1	SINGLE AWNING	24"	24"	YES			
W26	2	1	LEFT SLIDING	72"	60"	YES	YES		
W27	1	1	RIGHT SLIDING	48"	72"	YES			
W30	1	1	DOUBLE CASEMENT-LHL/RHR	72"	72"	YES			
W31	9	1	FIXED GLASS	14"	14"	YES			
W36	8	1	LEFT SLIDING	42"	72"	YES			
W38	2	1	DOUBLE CASEMENT-LHL/RHR-AT	66"	70"	YES			



LOFT DOOR / WINDOW PLAN

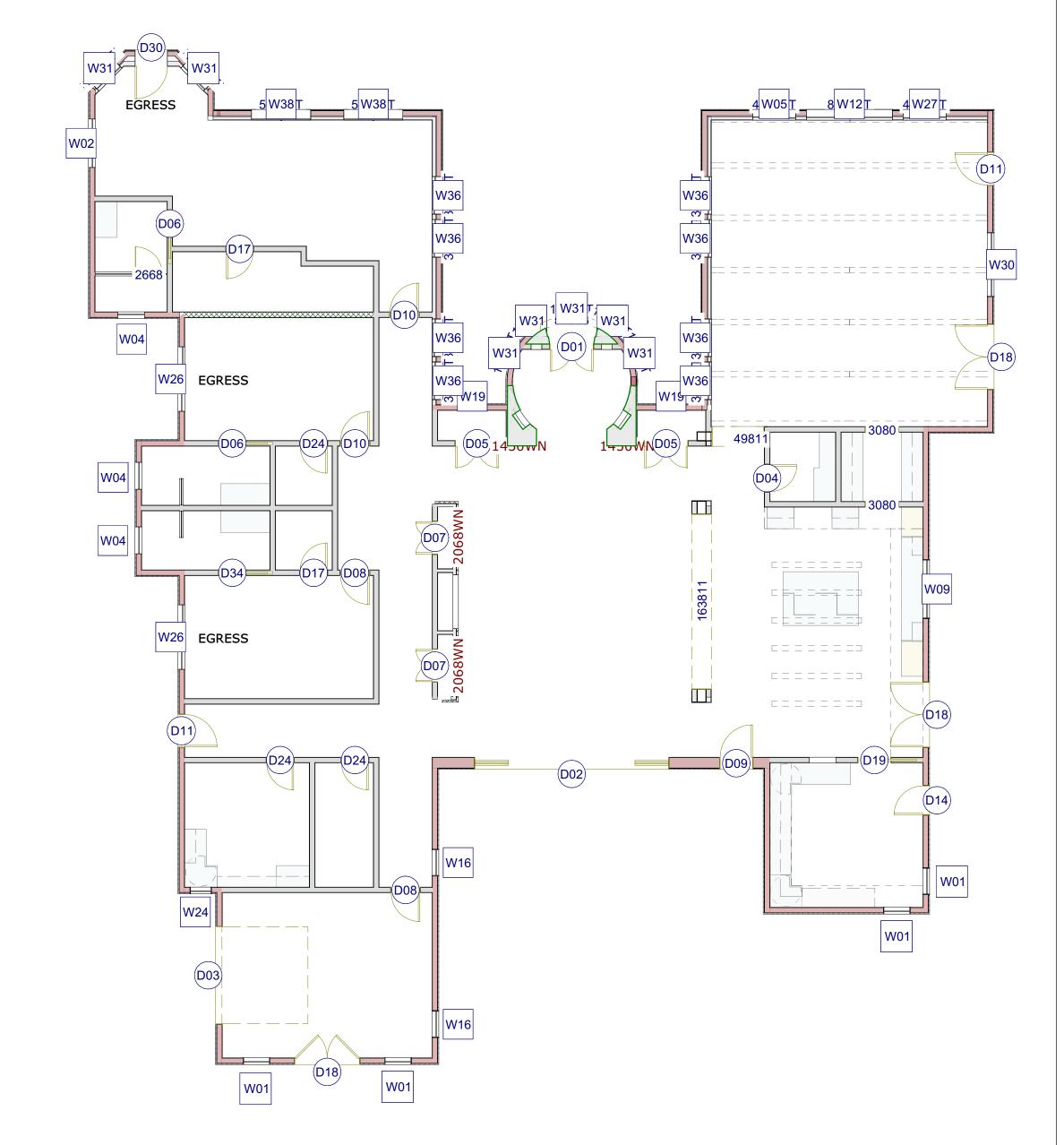
NOTE- DIMENSIONS ARE TO FACE OF FRAMING. SCALE 1/8"=1'



MAIN FLOOR DOOR / WINDOW PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING.

SCALE 1/8"=1'



A05

VERSION: 3.2.2

DATE: 5/4/2025

AHKTER - RESIDENCE
DOOR / WINDOW PLAN

REV. # DATE NOTE

2 4/5/23 RFI#2

THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF MONTEREY BUILDING DESIGN AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY. THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF MONTEREY BUILDING DESIGN. ALL ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY UNFORESEEN CONDITIONS OR CIRCUMSTANCES ARISE, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR THE CONTRACTOR TO NOTIFY MONTEREY BUILDING DESIGN IN WRITING BEFORE THE COMMENCEMENT OF RELATED CONSTRUCTION ACTIVITIES. MONTEREY BUILDING DESIGN ASSUMES NO LIABILITY FOR THE CONSTRUCTION OR MAINTENANCE OF THIS PROJECT.

ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN



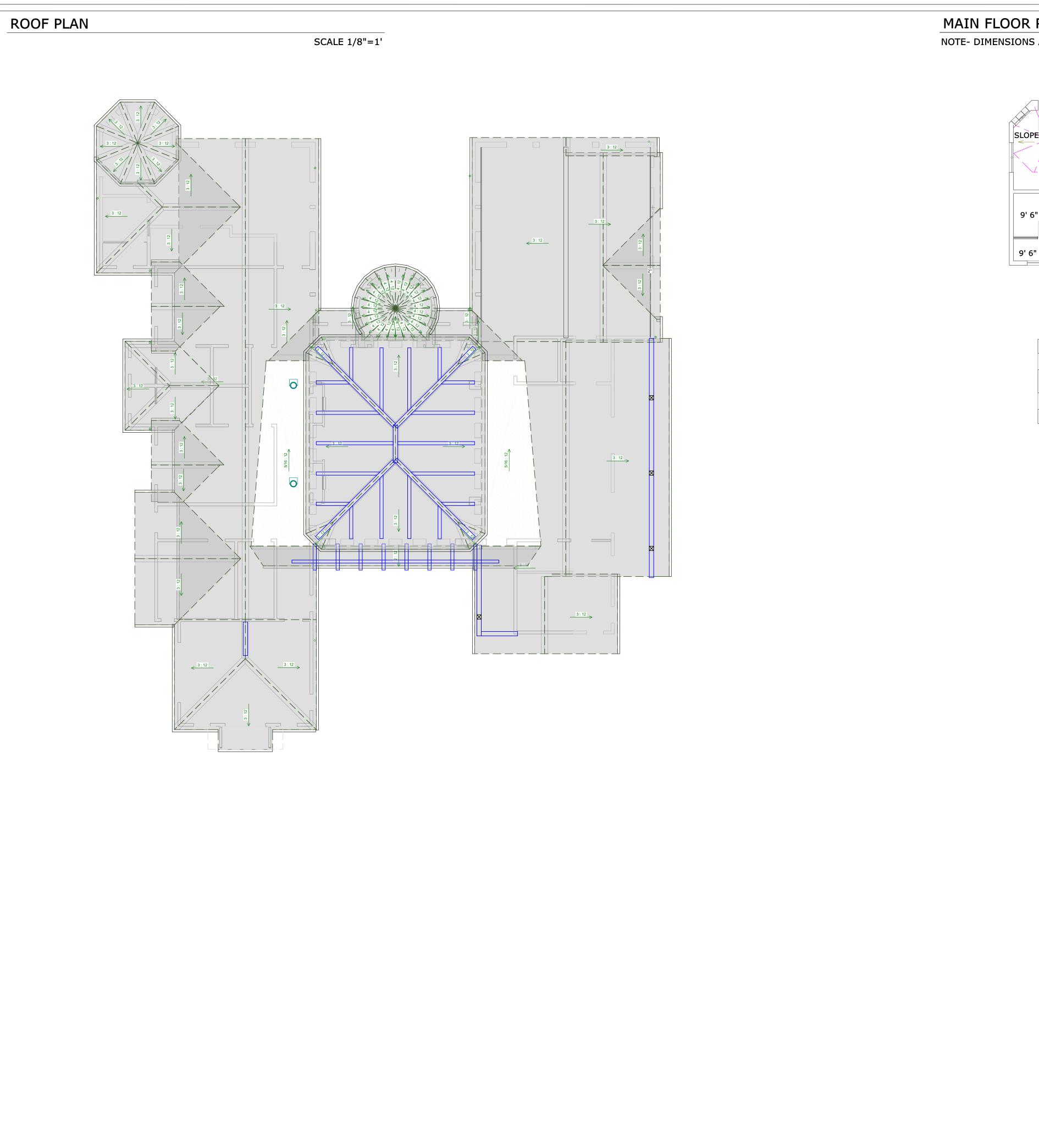
R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT). EXCEPTION: EXTERIOR BALCONIES LESS THAN 60 SQUARE FEET (5.6 M2) AND ONLY ACCESSED FROM A DOOR ARE PERMITTED TO HAVE A LANDING THAT IS LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. R311.3.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS LANDINGS OR FINISHED FLOORS AT THE REQUIRED

PERMITTED TO HAVE A LANDING THAT IS LESS THAN 60 SQUARE FEET (5.6 MZ) AND ONLY ACCESSED FROM A DOOR ARE PERMITTED TO HAVE A LANDING THAT IS LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL.

R311.3.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 11/2 INCHES (38 MM) LOWER THAN THE TOP OF THE THRESHOLD.

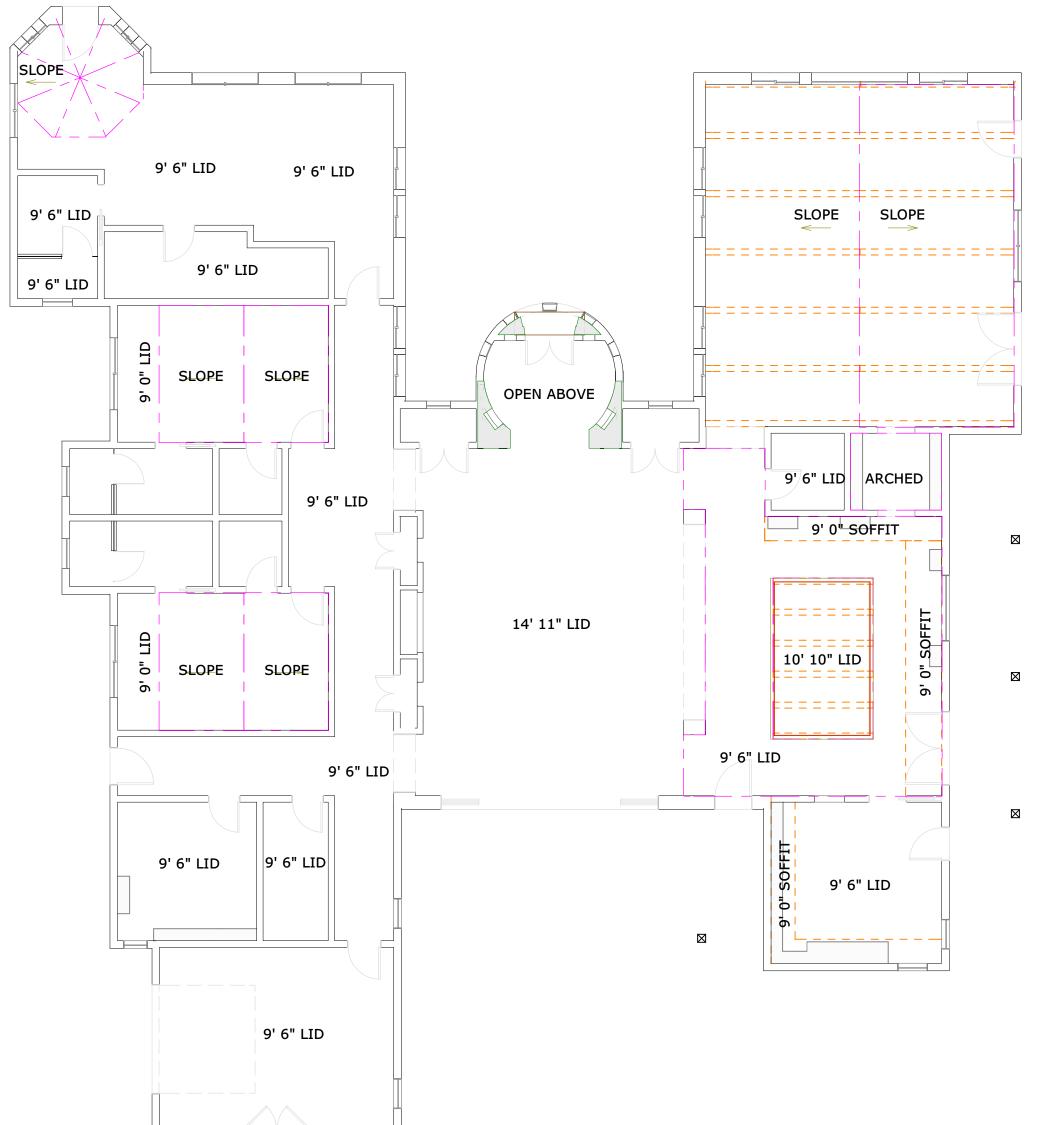
EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHERE EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.

R311.3.2 FLOOR ELEVATIONS AT OTHER EXTERIOR DOORS DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD. EXCEPTION: A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.



MAIN FLOOR RCP PLAN

NOTE- DIMENSIONS ARE TO FACE OF FRAMING. SCALE 1/8"=1'



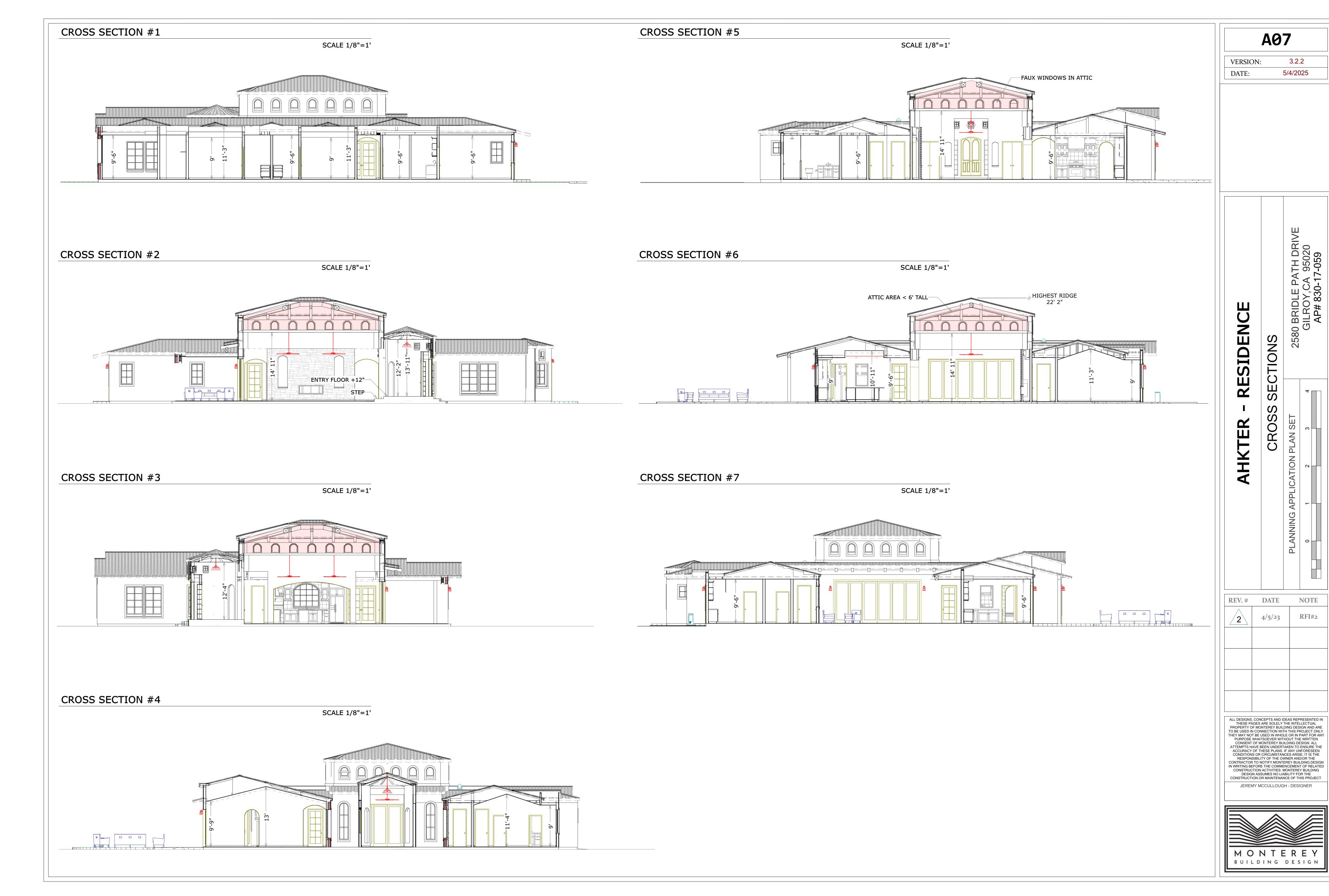
A06					
3.2.2					
5/4/2025					
	3.2.2				

AHKTER - RESIDENCE	ROOF & RCP PLAN	2580 BRIDLE PA	GILROY,CA AP# 830-1
М	& RCI		4
TER -	300F	LAN SET	е —
AHK		APPLICATION PLAN SET	2
			-
		PLANNING	0

REV. #	DATE	NOTE
2	4/5/23	RFI#2

PROPERTY OF MONTEREY BUILDING DESIGN AND ARE
TO BE USED IN CONNECTION WITH THIS PROJECT ONLY.
THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY
PURPOSE WHATSOEVER WITHOUT THE WRITTEN
CONSENT OF MONTEREY BUILDING DESIGN. ALL
ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE
ACCURACY OF THESE PLANS. IF ANY UNFORESEEN
CONDITIONS OR CIRCUMSTANCES ARISE, IT IS THE
RESPONSIBILITY OF THE OWNER AND/OR THE
CONTRACTOR TO NOTIFY MONTEREY BUILDING DESIGN
IN WRITING BEFORE THE COMMENCEMENT OF RELATED
CONSTRUCTION ACTIVITIES. MONTEREY BUILDING
DESIGN ASSUMES NO LIABILITY FOR THE
CONSTRUCTION OR MAINTENANCE OF THIS PROJECT. JEREMY MCCULLOUGH - DESIGNER





COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOLOGIC UPDATE INVESTIGATION REPORT PREPARED BY

STEVEN F. CONNELLY, C.E.G. DATED JUNE 15, 2018 AND GEOLOGIC DATED JANUARY 30, 2001 THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS. 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL

- WORK MUST BE TO THE SATISFACTION OF THE COUNTY. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES
- CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO
- 9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (4008) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

OF WORK AND SITE.

BUILDING FOUNDATION.

CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY TREE PROTECTION PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR

GENERAL INSPECTION. 48 HOURS FOR ASPHALT CONCRETE INSPECTION.

- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES. PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE

SITE PREPARATION (CLEARING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE
- NOTED ON THE PLANS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING

- UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL
- CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY
- CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL
- CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL
- COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

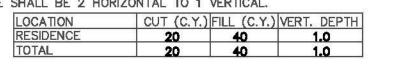
RETAINING WALLS

REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL

SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE, WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION, TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY, EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
- NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS. 5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING
- AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL, MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.



 EARTHWORK QUANTITIES INCLUDE BOTH WORK THAT WAS ALREADY COMPLETED ON THE PROPERTY THAT WAS NOT PERMITTED AND WORK COMPLETED UNDER THE PREVIOUS GRADING PERMIT. 2. EARTHWORK QUANTITIES PROVIDED THAT ARE A PART OF THE UNPERMITTED PREVIOUS GRADING ARE APPROXIMATE AND ARE BASED UPON ENGINEERING JUDGEMENT. RI ENGINEERING MAKES NO CLAIM TO VERIFY THE ACCURACY OF THESE EARTHWORK QUANTITIES.

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP 7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
- 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE. 9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%
- 10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION. 11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY
- ENGINEER FOR BUILDING OCCUPANCY. 12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR
- TO THE CONSTRUCTION OF ANY PAVED AREA. 13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
- 14. TOTAL DISTURBED AREA FOR THE PROJECT 53,200 SF.
- 16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

- FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
- FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
- FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES. SIGNAGE STATING. "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT
- http://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY. 2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR. 3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES
- 2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING. 3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES
- AND LOCAL RESIDENTS 4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS. SEWER. WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
- 2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

APPLICANT: SAL AKHTER

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- 3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY
- POWDER SWEEPING IS PROHIBITED. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER
- 6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR
- PROPER OPERATION OF THE VEHICLE. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PFR HOUR.
- 8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- 9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
- 15 MILES PER HOUR (MPH) SPEED LIMIT 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAIN HOTLINE OF 1-800-334-6367.
- 10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING. 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE
- 12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SD8. 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF
- SHALL BE RELEASED TO SHEET FLOW. 14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND
- REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE 15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
- 16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR. 17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT. CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE
- LIMITED TO THE FOLLOWING: A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND
 - EQUIPMENT LAYDOWN / STAGING AREAS. B. PREVENTION OF TRACKING OF MUD. DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. 18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES,
- INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY. 19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY
- TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SITE AND SITUATIONALY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

- 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CASO00004/ ORDER NO. 2013-0001-DWQ. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED
- ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE
- FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW. 4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL
- PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (___ WERE) (___ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (^). THERE (___WERE) WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL A.

AFTERCONSTRUCTION.

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPYOF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER

ROAD: 2580 BRIDLE PATH DR



COUNTY LOCATION MAP

10'-0" MAX

EXISTING TREE PROTECTION DETAILS

PRIOR TO THE COMMENCEMENT OF ANY GRADING. TREE PROTECTIVE FENCING

SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN

2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL

TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE

5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE

REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA

CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL

SHALL BE INCORPORATED INTO THE GRADING PLANS.

IN A VISUALLY PROMINENT LOCATION.

ENCROACHMENT PERMIT NO.

ISSUED BY: ___

OF PORTABLE TOILETS.

DATE 3/28/2025

(CHAIN-LINK OR EQUIVALENT STRENGTH / DURABILITY).

THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.

CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES

ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION

FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO

CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER

COUNTY PLANNING OFFICE." SHALL BE SECURELY ATTACHED TO THE FENCE

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY

STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT

WITHUOT AN ENCROACHEMENT PERMIT, INCLUDING THE

ENGINEER'S STATEMENT

FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM

PIPE 2" O.C.

INSPECTION.

LANDS OF SAL AKHTER SINGLE FAMILY RESIDENCE 2580 BRIDLE PATH DRIVE -PROJECT LOCATION SCOPE OF WORK

THE SFR PROJECT PROPOSES THE FOLLOWING:

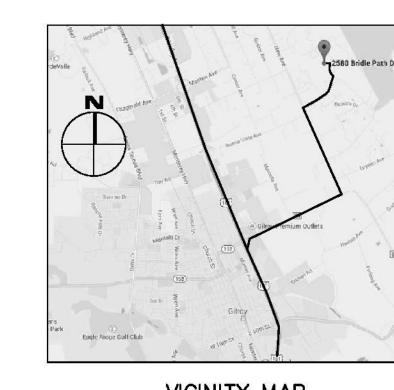
DEV22-2374: RELOCATE (E) ADU.
PERMIT No. 6201485: PAVING OF DRIVEWAYS AND FIRE TURNOUTS AND TURNAROUNDS. PERMIT TO BE REACTIVATED WITH THE COUNTY. 3. DEV23-0546: GRADING AND STREAM RELOCATION AND REHABILITATION, SLOPE STABILIZATION, REMOVAL OF PONDS AND NATURAL LANDSCAPING

PLN23-023

GRADING AND DRAINAGE FOR NEW SINGLE FAMILY RESIDENCE.

CONVERT (E) RESIDENCE TO NON-HABITABLE STRUCTURE.

WORK TO BE COMPLETED UNDER SEPARATE PERMITS



VICINITY MAP

SURVEY MONUMENT PRESERVATION

R.C.E. NO.

3-31-27

EXPIRATION DATE

- THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY
- THE CONTRACTOR SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

COUNTY	OF SANTA CLARA
LAND DEVELOPMENT	ENGINEERING & SURVEYING
RADING / DRAINAGE P	PERMIT NO.
SSUED BY:	DATE:

<u>∕</u>2∖

INDICATES FOUND IRON PIPE AS NOTED

LEGEND

TO BE CONST. EXISTING

\$---

VIIV

INDICATES IRON PIPE TO BE SET

DESCRIPTION

LIMITS OF WORK OR BOUNDARY

PROPERTY LINE

CURB AND GUTTER

SEPTIC TIGHT-LINE

SEPTIC TANK

ELECTROLIER

EDGE OF PAVEMENT

STORM SEWER

CITY SURVEY MONUMENT

STORM DRAIN MANHOLE

DRAINAGE INLET AT CURB

	C-0	COVER SHEET					
100	C-1	SITE PLAN					
	C-2	GRADING AND DRAINAGE PLAN					
38	C-3	SECTIONS					
30	C-4	DRIVEWAY PRO	FILE				
	C-5	DETAILS					
	C-6	EROSION CONT	- 0 0 0				
8	BMP-1 BEST MANAGEMENT PRACTICES SHEET 1						
	BMP-2	BEST MANAGEN	MENT PRACTICES SHEET 2				
(In the second contract second contract to the	ROM LDE01-8208G				
250		49 A 2 A 2 A 2 A 2 A 2 A 2 A 2 A 2 A 2 A	MARK GROFCSIK, RCE 83644				
	ADDRE	ESS:	303 POTRERO STREET, SUITE 42-202 SANTA CLARA, CA 95060				
	PHONE	E NO	(831) 425-3901				
12	Revisi	on 1 Date	APN Sheet				
7.9	Revisi	on 2 Date	830-17-059 1 Co. File of				
13	Romisi	on 3 Date	PLN23-023 10				

SHEET INDEX

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE

SIGNATURE

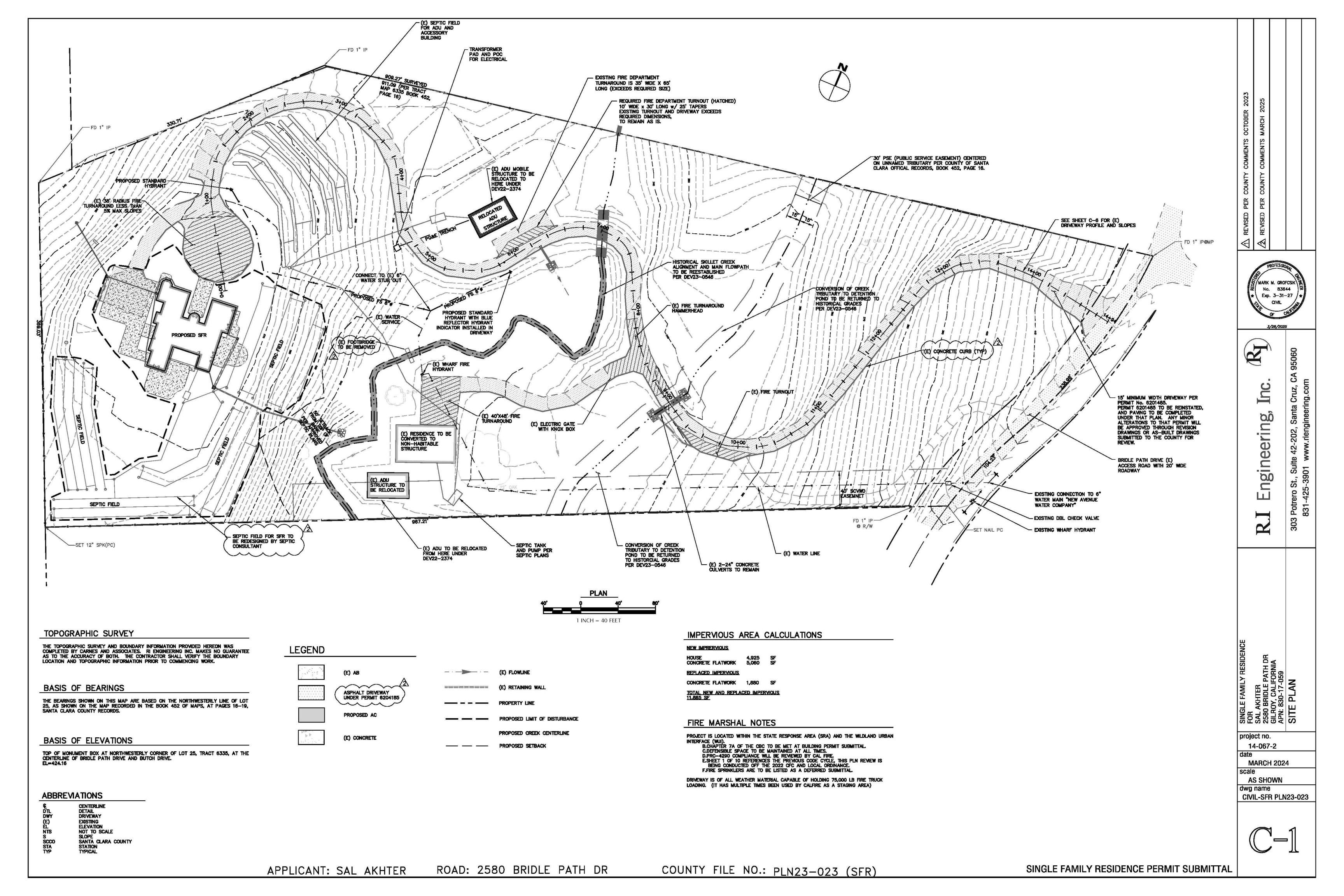
PLANNING APPROVAL FILE NO. (PLN18-8208-MOD1) & CONDITIONS OF APPROVAL DATED 5/18/2022

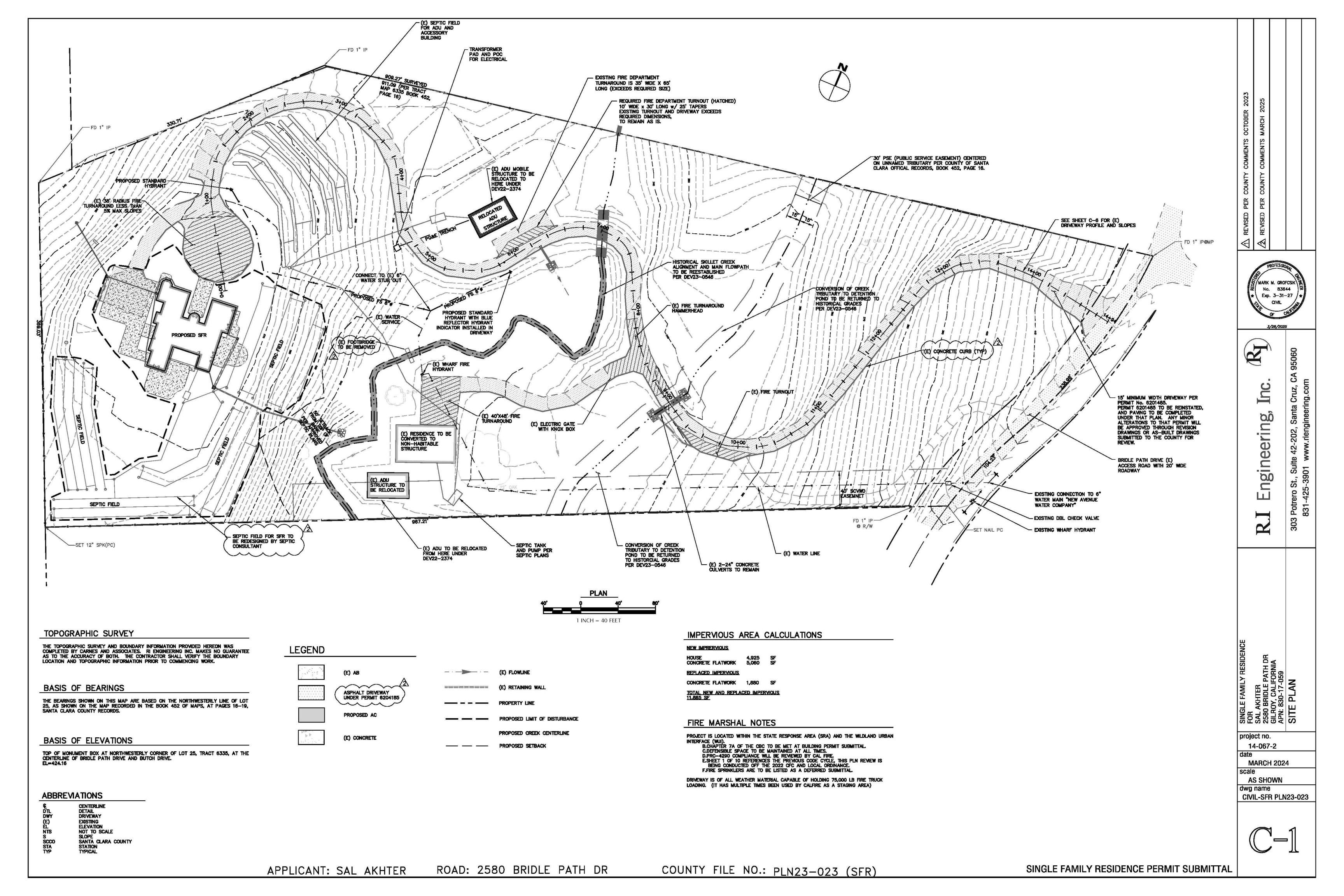
No. 83644

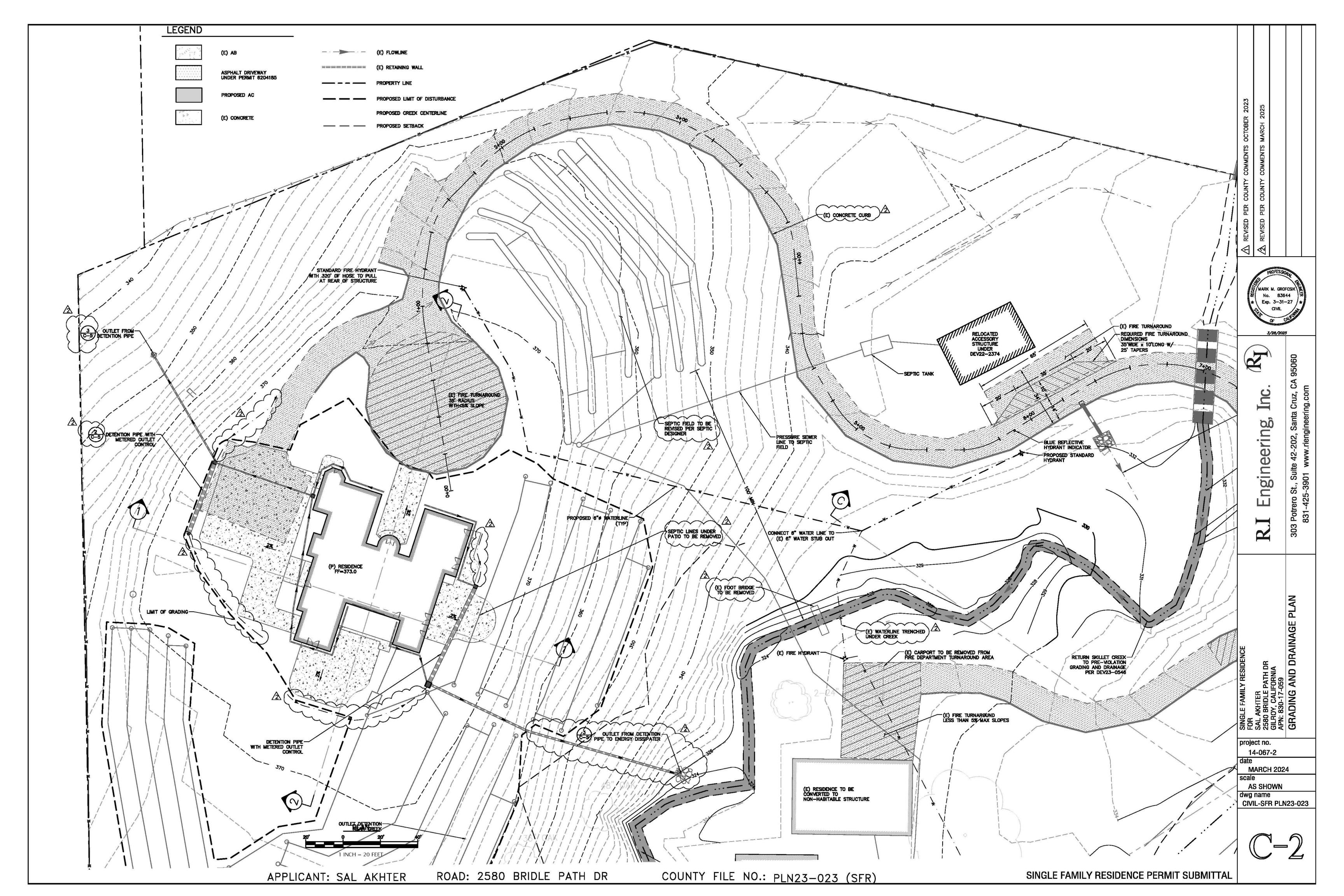
Exp. 3-31-27

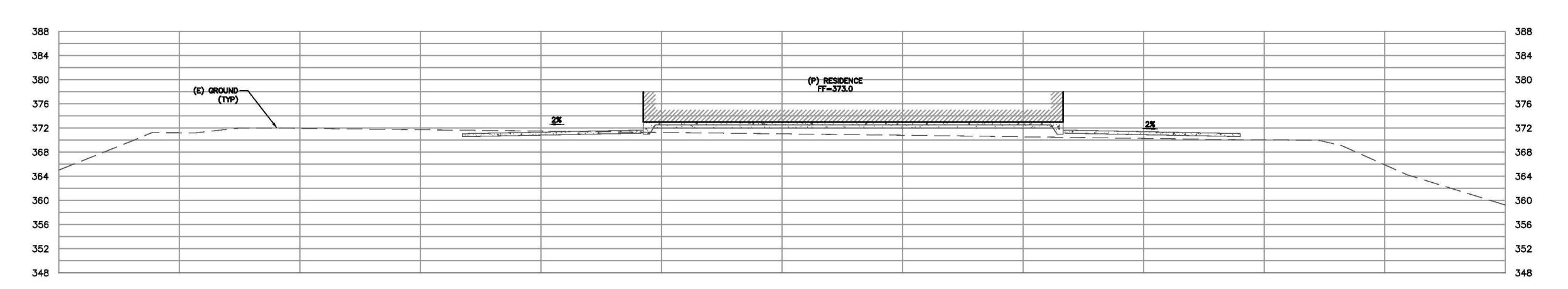
DATE	DARRELL KEITH WONG	
	63958	9/30/2026
	R.C.E. NO.	EXPIRATION DATE

COUNTY FILE NO .: PLN23-023 (SFR)

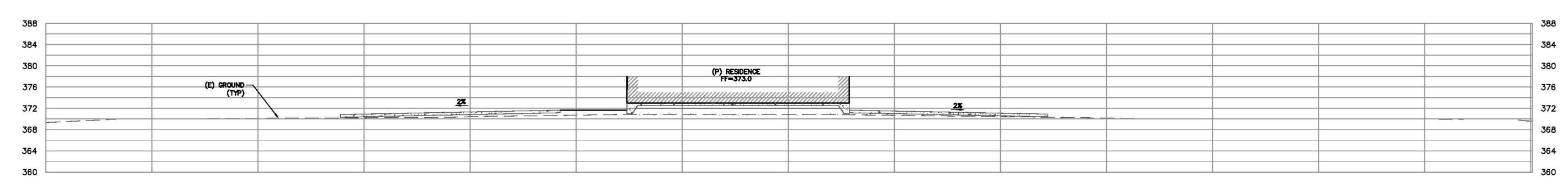




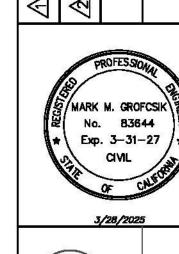




SECTION 1-1
SCALE: 1"=20' HORIZONTAL, VERTICAL



SECTION 2-2 SCALE: 1"=20' HORIZONTAL, VERTICAL

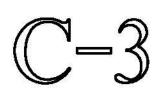


R Engineering,

RI

project no. 14-067-2 **MARCH 2024**

AS SHOWN
dwg name
CIVIL-SFR PLN23-023



NOTE: ENTIRE DRIVEWAY SLOPE LESS THAN 18%, EXCEPT FOR 180' LONG SECTION AT STATION 13+00 TO 14+40 DRIVEWAY TO BE PAVED UNDER PERMIT No. 6201485 412 404 400 400 (E) FIRE TURNAROUND S=0.5% (<5%) 392 STA 00+00 TO 1+00 AVE. SLOPE=0.5% AVE_SLOPE=8.5%

AVE_SLOPE=8.5% 376 376 372 352 352 340 336 332 328 DRIVEWAY PROFILE (STA 0+00 TO 5+00) **★** Exp. 3-31-27 SCALE: 1"=20' HORIZONTAL, VERTICAL 400 396 R 392 388 388 384 384 380 376 372 372 (E) HAMMERHEAD TURNAROUND \$=1.5% (<5%) 364 360 356 (E) TURNOUT AREA S=0.5% (<5%) 352 STA 7+40 TO 8+00 AVE. SLOPE=2.0% STA 8+00 TO 9+40 STA 5+00 TO 7+40 AVE. SLOPE=1.0% AVE. SLOPE=1.5% 344 332 Engir 5+20 9+80 DRIVEWAY PROFILE (STA 5+00 TO 10+00)

SCALE: 1"=20" HORIZONTAL, VERTICAL -140' LONG SECTION EXCEEDS 18%, LESS THAN 20% SLOPE-STA 14+40 TO 14+80 AVE. SLOPE=14.0% 424 424 408 404 396 STA 12+00 TO 13+00 AVE. SLOPE=15.5% 392 384 380 STA 11+00 TO 12+00 AVE. SLOPE=13% 376 372 360 356 352 project no. 340 336 14-067-2 336 332 332 328 **MARCH 2024 AS SHOWN** CIVIL-SFR PLN23-023 14+80 14+94.41 DRIVEWAY PROFILE (STA 10+00 TO 14+94)

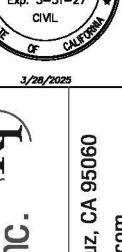
SCALE: 1"=20" HORIZONTAL, VERTICAL COUNTY FILE NO .: PLN23-023 (SFR) ROAD: 2580 BRIDLE PATH DR SINGLE FAMILY RESIDENCE PERMIT SUBMITTAL APPLICANT: SAL AKHTER

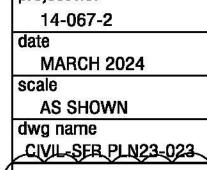
No. 83644

neering,

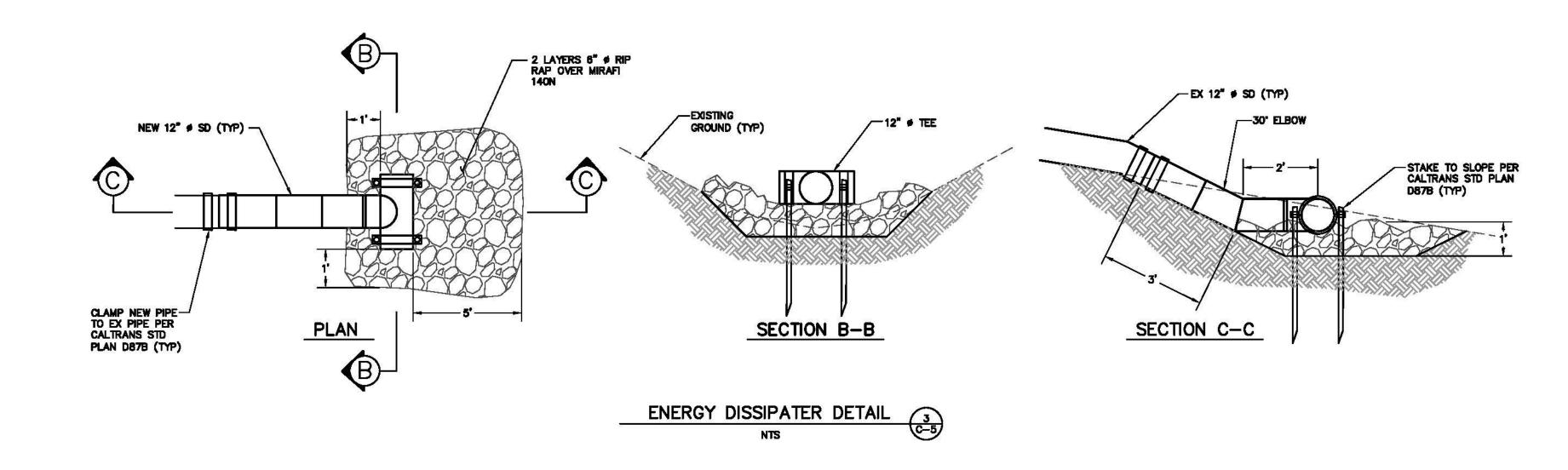


R.





SINGLE FAMILY RESIDENCE PERMIT SUBMITTAL



CHRISTY U21 CATCH BASIN.
SEE PLAN FOR RIM &
INVERT ELEVATION

8" TO 24" ECCENTRIC — COUPLER W/ WATER TIGHT SEAL

2's detention PIPE & S=0.0% See Plan For Length

SD PIPE OUT-

COMPACTED ENGINEERED FILL

-CHRISTY U21 W/ OUTLET CONTROL STRUCTURE

24" DETENTION PIPE S=0%

12" TO 24" ECCENTRIC COUPLER W/ WATER TIGHT SEAL

8" RISER PIPE -W/ OPEN TOP

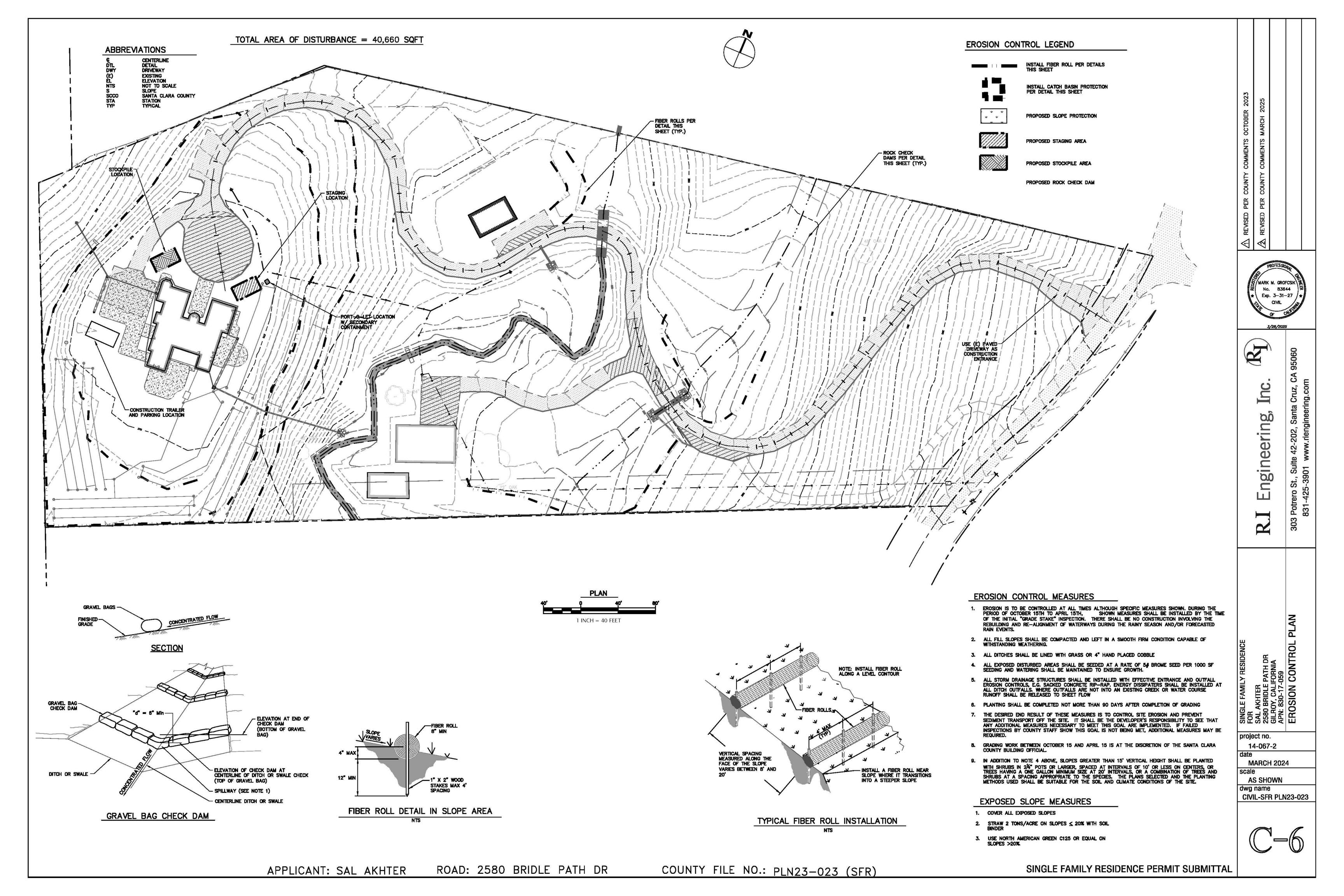
SOLID ENDCAP WITH --1.25" ORIFICE DRILLED IN CENTER

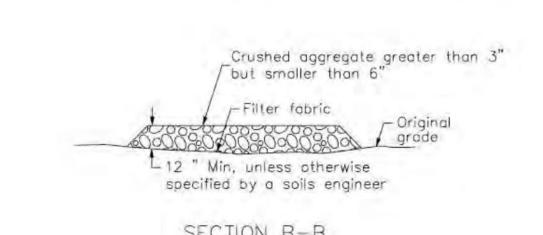
SOLID ENDCAP WITH 1.75"#— ORIFICE DRILLED 3/4" ABOVE PIPE INVERT

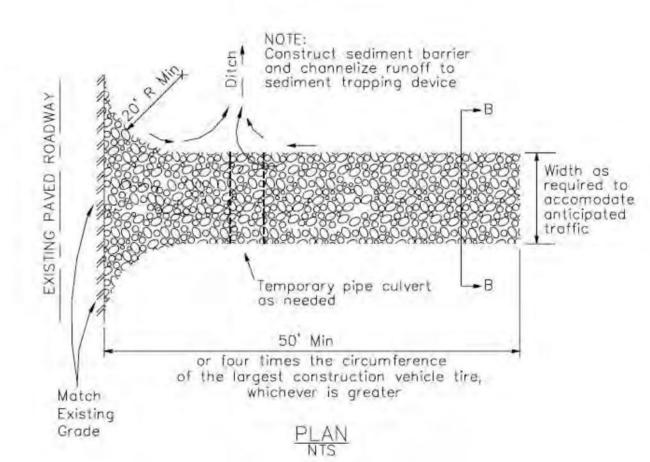
DETENTION OUTLET CONTROL STRUCTURE "A"

NTS

OTHER







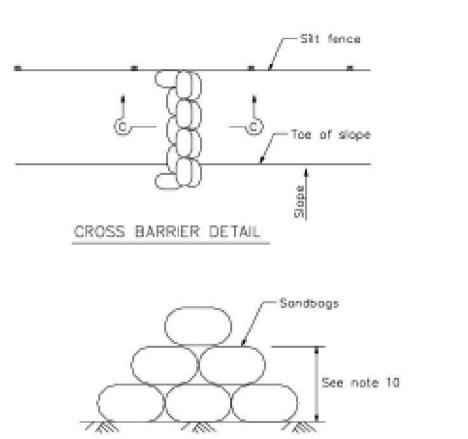
CASQA Detail SE-1 LEGEND Tomped backfill Max reach = 500' (See note 1) Slope direction Direction of flow Optional maintenance opening detail Cross borrier (See note 10) stoke Fabric ----

Silt Fence

Cross barrier PLAN SILT FENCE -End detail

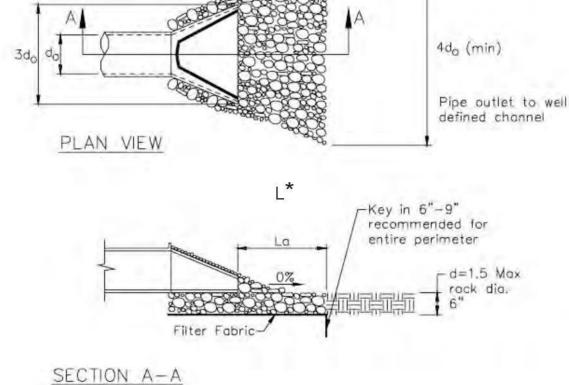
NOTES

- 1. Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/3 the height of the linear borrier, in no case shall the reach length exceed 500
- 2. The lost B'-0" of fence shall be turned up slope.
- 3. Stake dimensions are naminal.
- 4. Dimension may very to fit field condition.
- 5. Stakes shall be spaced at B'-0" maximum and shall be positioned on downstream side of fence.
- 6. Stakes to overlap and fence fabric to fold around each stake one full turn. Secure fabric to stake with 4 stoples.
- 7. Stakes shall be driven tightly together to prevent potential flow-through of sediment at joint. The tops of the stakes
- 8. For end stake, fence fabric shall be folded around two stakes one full turn and secured with 4 staples.
- Minimum 4 staples per stake. Dimensions shown are typical.
- 10. Cross barriers shall be a minimum of 1/3 and a maximum of 1/2 the height of the linear barrier.
- 11. Maintenance openings shall be constructed in a manner to ensure
- sediment remains behind silt fence. Joining sections shall not be placed at sump locations.
- 13. Sandbag rows and layers shall be offset to eliminate gaps.



SECTION C-C

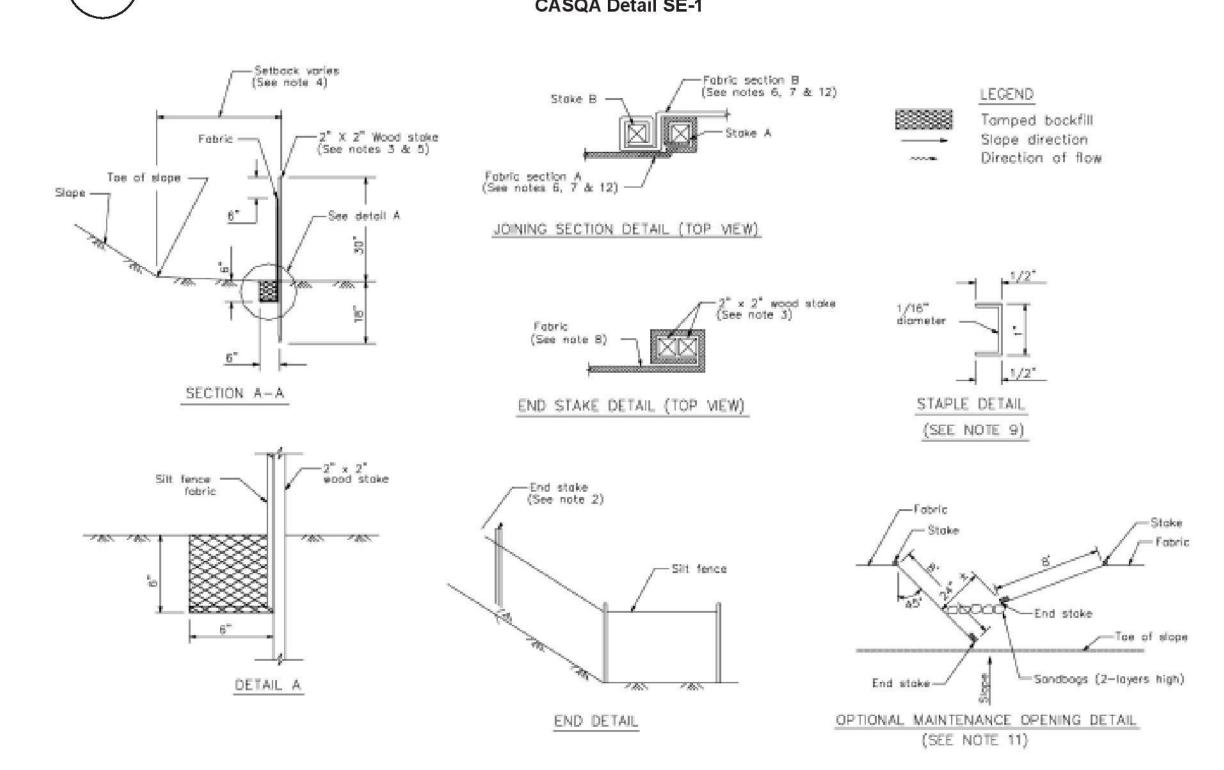
Velocity Dissipation Devices



CASQA Detail EC-10

* Length per ABAG Design Standards

Silt Fence



1. Solid and Demolition Waste Management: Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or

STANDARD BEST MANAGEMENT PRACTICE NOTES

- 2. <u>Hazardous Waste Management</u>: Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- 3. Spill Prevention and Control: Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- 4. Vehicle and Construction Equipment Service and Storage: An area shall be designated for the maintenance, where onsite maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- 5. Material Delivery, Handling and Storage: In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- 6. <u>Handling and Disposal of Concrete and Cement</u>: When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- . <u>Pavement Construction Management</u>: Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- 3. Contaminated Soil and Water Management: Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or
- . <u>Sanitary/Septic Water Management</u>: Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or
- 10. Inspection & Maintenance: Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

1. Sediment Control Management

Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

<u>Dust Control</u>: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

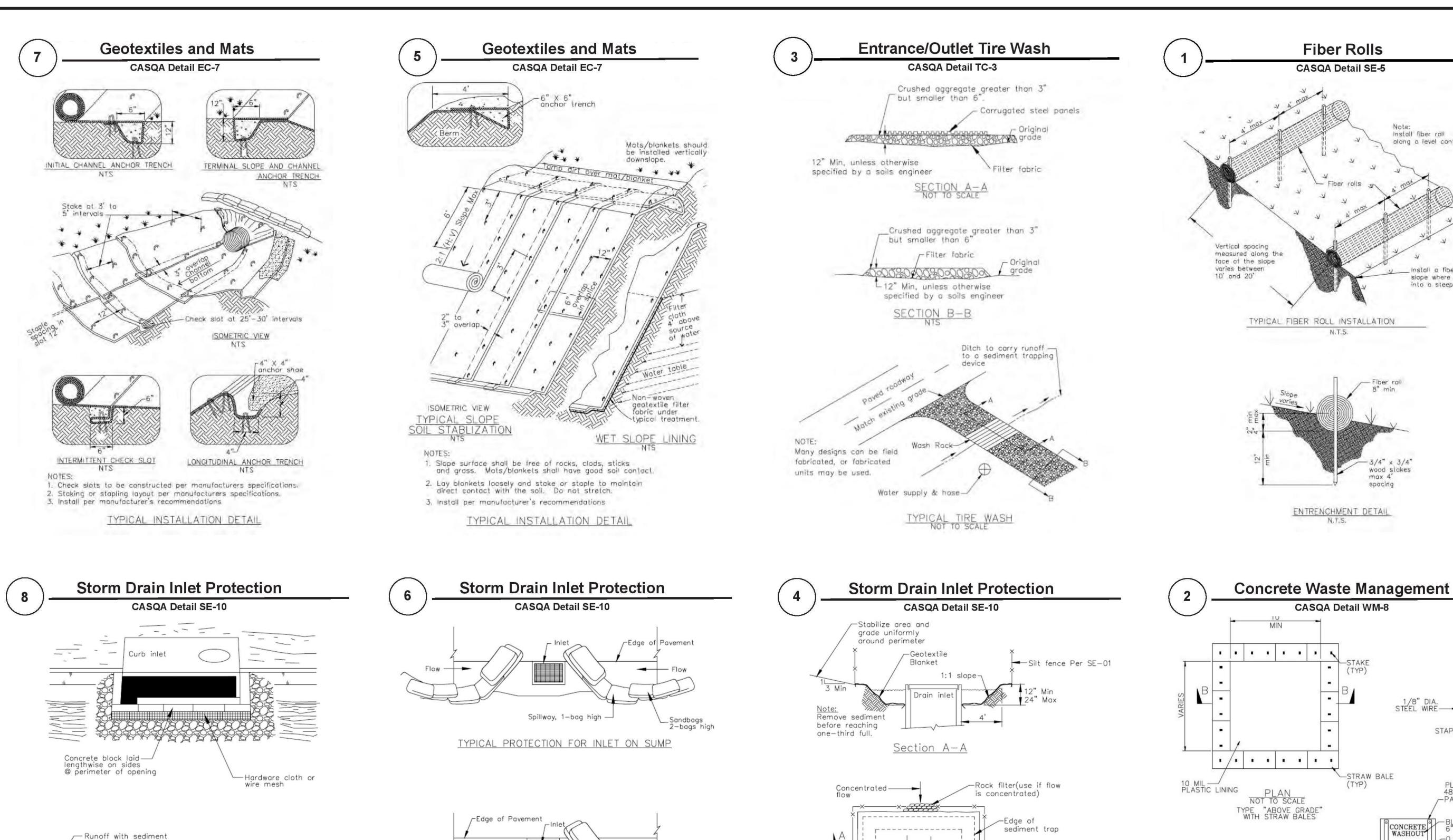
Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures(tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.

- 2. Erosion Control: During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- 3. <u>Inspection & Maintenance</u>: Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/ or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- 4. Project Completion: Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- 5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- 6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

APPLICANT:SAL AKHTER ROAD:2580 BRIDLE PATH DR. COUNTY FILE NO. 8208-18GA Information Project

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.





Sandbags 2—bags high

Spillway, 1-bag high -

TYPICAL PROTECTION FOR INLET ON GRADE

1. Intended for short-term use.

2. Use to inhibit non-storm water flow. Allow for proper maintenance and cleanup.

4. Bags must be removed after adjacent operation is completed

5. Not applicable in areas with high silts and clays without filter fabric.

Sheet flow

towards direction of flow.

—Filtered water

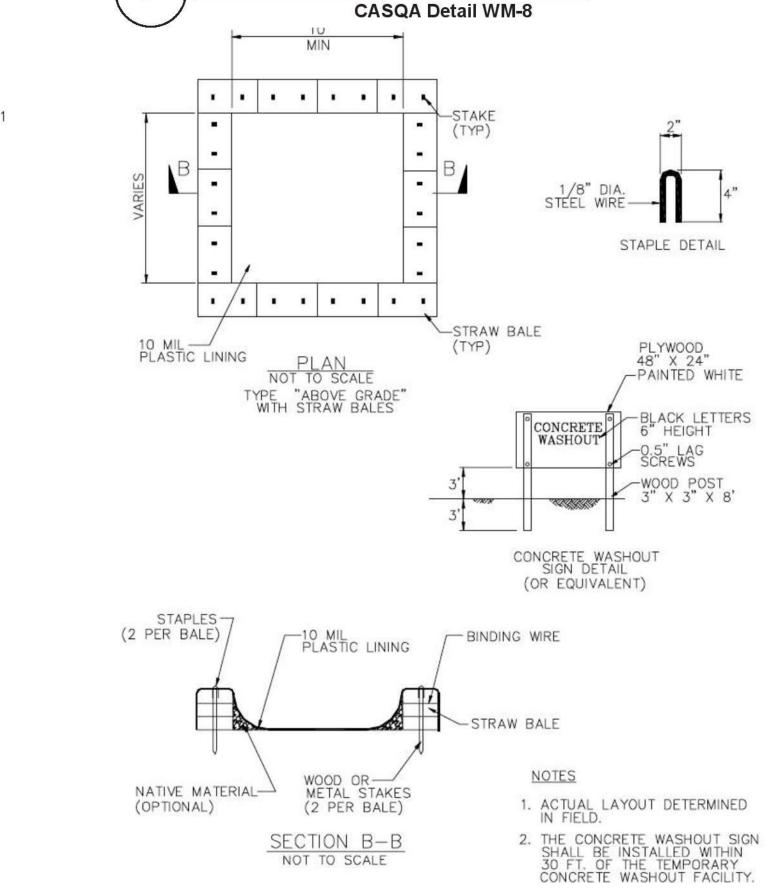
-Sediment

Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

-Hardware cloth wire mesh

DI PROTECTION - TYPE 4
NOT TO SCALE

Source for Graphics: California Stormwater BMP Handbook, California



Install fiber roll along a level contour.

_install a fiber roll near

into a steeper slope

slope where it transitions

:SAL AKHTER BRIDLE PATH DR. LE NO. 8208-18GA APPLICANT: ROAD: 2580 ECOUNTY FILE Information Project

Blanket

For use in cleared and grubbed and in graded areas.
 Shape basin so that longest inflow area faces longest length of trap.

3. For concentrated flows, shape basin in 2:1 ratio with length oriented

Silt fence Per SE-01

