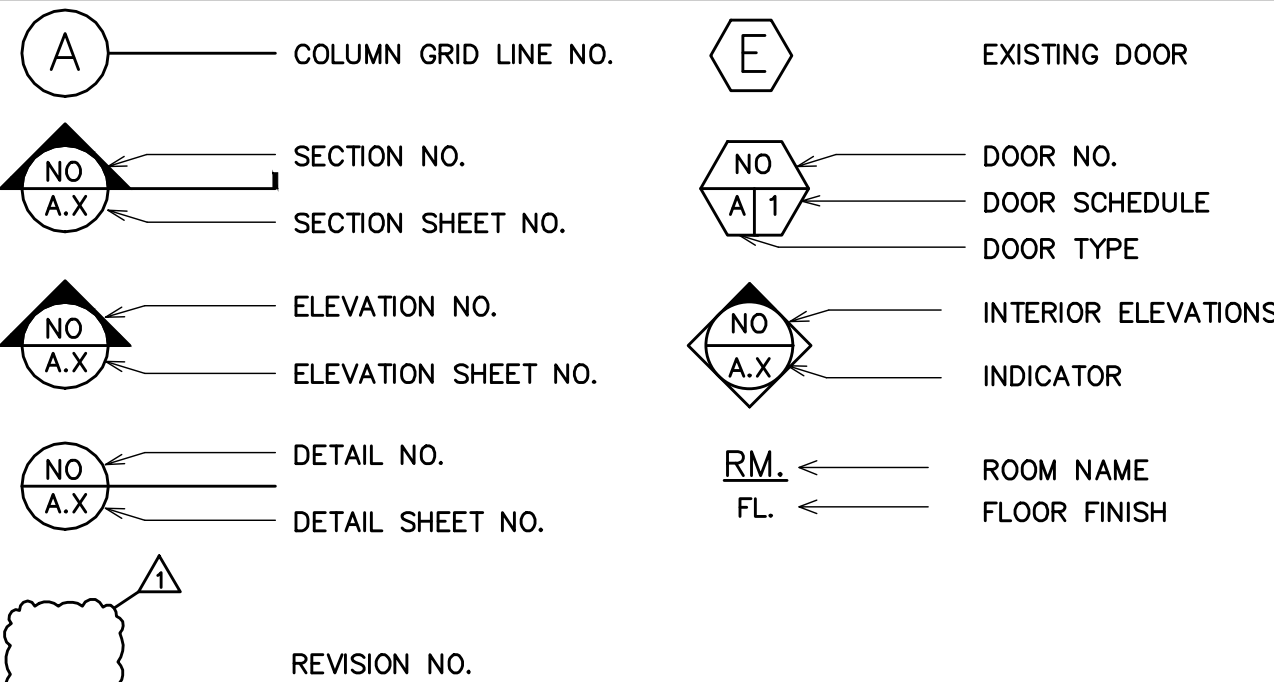


GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAILS OR SPECIFY MATERIALS AND/OR MANUFACTURERS.
- THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND/OR CUT-SHEETS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS.
- FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE.
- ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE CONSTRUCTION DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER/ARCHITECT FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA RESIDENTIAL CODE (CRC) AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.
- THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION.
- ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME.
- NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLECT TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS.
- THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WILL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOWS SUCH STORAGE TO BE PLACED.
- GENERAL CONTRACTOR AND OWNER ARE REQUIRED TO SIGN THE STRUCTURAL SPECIAL INSPECTION FORM OF THE EXPOXY HOLDOWN ANCHOR BOLTS BEFORE THE BUILDING PERMIT IS ISSUED BY CITY.
- THE LIST OF DEFERRED ITEMS WILL PROVIDED ON THE COVER SHEET. THE DEFERRED ITEMS SHALL NOT BE CONSTRUCTED OR INSTALLED UNTIL REVIEWED AND APPROVED BY CITY.
- UNDER SPECIAL INSPECTION TITLE ALL WORK REQUIRING SPECIAL INSPECTION PER 2019 CBC CHAPTER 17. ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.
- RETROFIT HOLDOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION(S).

SYMBOLS



BLDG DATA

LOT SIZE: 31,798.8 S.F.

CURRENT ZONING: RHS--sr

CURRENT USE: SFH

PROPOSED USE: SFH

PROPOSED BUILDING FLOOR AREA:

(E) FLOOR AREA 4220 SF

PROPOSED FLOOR AREA NO CHANGE

(N) FRONT PORCH 80 SF

(N) BALCONY 13 SF

TOTAL COVERED AREA: 3,165 SF

BUILDING:

OCCUPANCY: R3/U1

CONSTRUCTION TYPE: VB

STORY (IES): 2

AUTO. FIRE SPRINKLER: YES

DESIGN COMPLY WITH :

COUNTY/CITY OF Los Alto Hills ZONING ORDINACE

2019 CALIFORNIA BUILDING CODE

2019 CALIFORNIA RESIDENTIAL CODE

2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA MECHANICAL CODE

2019 CALIFORNIA PLUMBING CODE

2019 CALIFORNIA FIRE CODE

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

2019 CALIFORNIA ENERGY CODE

SHEET INDEX

ARCHITECTURAL

A0.1 TITLE SHEET

A0.5 SITE PLAN

A1.0 EXISTING 1ST FLOOR DEMO. PLAN

A1.1 FLOOR PLAN NOTES

A1.2 PROPOSED 1ST & BASEMENT FLOOR PLAN

A1.3 EXISTING 2ND FLOOR DEMO. PLAN

A1.4 PROPOSED 2ND FLOOR PLAN

A1.4 PROPOSED ROOF PLAN

A2.0 PROPOSED & EXISTING ELEV.

A2.1 PROPOSED & EXISTING ELEV.

A2.2 PROPOSED & EXISTING ELEV.

A2.3 STAIR DETAILS

A2.4 SECTIONS

CIVIL

C-0 TOPOGRAPHIC SURVEY

C-1 EXISTING GRADING PLAN

LANDSCAPE

L1.0 LANDSCAPING PLAN

Annie's Residence Remodeling

11470 Page Mill Road, Los Alto Hills, CA
(APN): 351-01-043

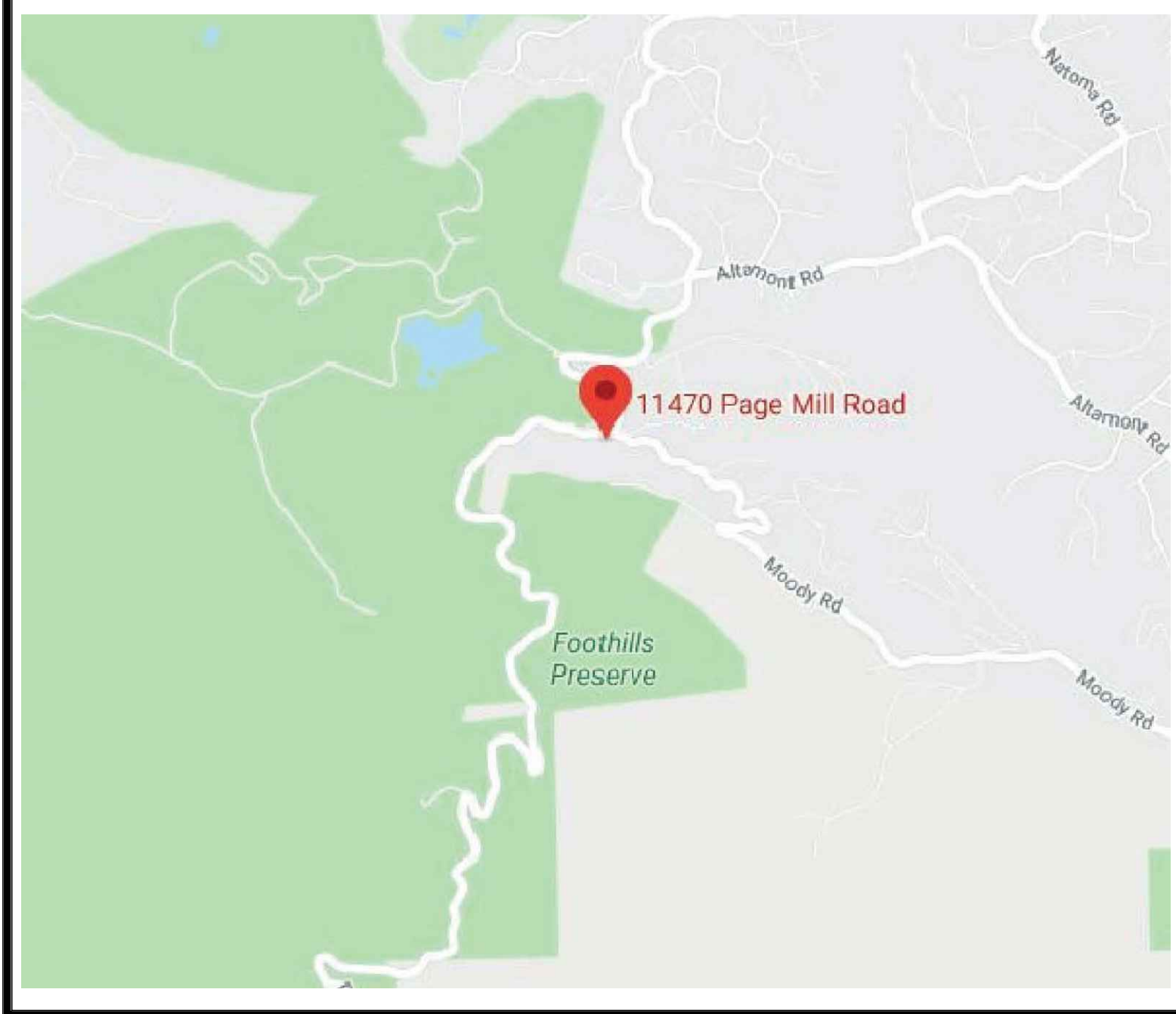
SCOPE OF WORK

- NEW REMODELING TO EXISTING S.F.H.
- NEW EXTERIOR FINISH TO BE STUCCO AND MATCH EXISTING COLOR.
- INTERIOR REMODELING INCLUDES ALL ROOMS WITH NEW LAYOUT AND FINISHES. REMODEL KITCHEN, ADD NEW PANTRY PORCH.
- RELATD MECH/PLUMBING/HVAC SYSTEM.
- EXISTING GAS METER TO REMAIN, ELECTRICAL PANEL TO UPGRADE TO 200AMP.

REVISION #3 SCOPE OF WORK:

- REVISED ROOF PLAN WITH PARTIAL NEW ROOF LAYOUT AND ROOF FINISHES
- REVISED EXTERIOR WINDOW AND PATIO DOOR LAYOUT, AND EXTERIOR WALL FINISH MATERIAL.
- REVISED LAYOUT TO BEDROOMS AND BATHROOM ON 1ST AND 2ND FLOOR
- REVISED STAIR LAYOUT TO BASEMENT AREA
- REVISED LIGHTING LAYOUT

VICINITY MAP



Santa Clara County REBUILD Determination and Points Allocation ¹

A. Existing Residence

	New/modified or Existing L.F. ² Removed L.F.		Ratio	Maximum Points	Resulting Points
1a Footings ³	224.5	88	0.39		
1b Slab - structural slabs and basement areas	Existing Area 2328.7	Replaced/ Modified Area 0	Ratio 0.00		
Subtotal				25	9.80
2 Walls - interior and exterior in linear feet ⁴	Existing L.F. ² 751	New/modified or Removed L.F. 208.6	Ratio 0.28	Maximum Points 50	Resulting Points 13.89
3 Roof ⁵	Existing S.F. 3689	Roof S.F. 1114.2	Ratio 0.30	Maximum Points 25	Resulting Points 7.55
Existing Residence Subtotal					31.24

B. Proposed Additions

	Area in S.F.	Ratio 1 pt/ 40 S.F. ⁸	Sub-Total Points
First floor and upper story additions ^{6,7}	0	0.00	0

C. Cumulative rebuild points from permits issued within last 2 years:

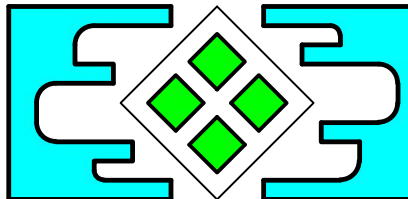
TOTAL POINT ALLOCATION ⁹	31.24
-------------------------------------	-------

Footnotes

- See County Ordinance # NS-1100.113
- L.F. = Lineal Feet measured to outside face or end of wall or footing. Lengths of intersecting walls or footings at corners may not be double counted.
- Lineal Feet of rectangular footings shall be taken on the longest length. Lineal feet shall also include thickened slab areas for bearing walls.
- All non-bearing & bearing walls (including framed openings) measured along the double top plate. Includes walls removed between house and addition. Modified walls are walls where the double top plates are altered; the greatest length of either new/modified or demolished walls shall be used.
- Includes all California framing, eaves, rakes, attached outdoor covered areas enclosed by more than 50% of the perimeter and substantial changes to roof framing (i.e. going from a flat ceiling to vaulted ceiling) that substantially changes the roof structural system.
- Points for additions and points for removal of existing roof structures both count, unless the existing roof framing is to remain in place as part of or under the second story addition.
- Additions great than 2000 sq. ft. are automatically considered a rebuild, regardless of the points accumulated due to work on the existing structure.
- Any remaining fraction of points shall be considered one (1) whole point.
- The project will be classified as a "REBUILD" if the total points exceed 55.

Rebuild_Spreadsheet (2).xls

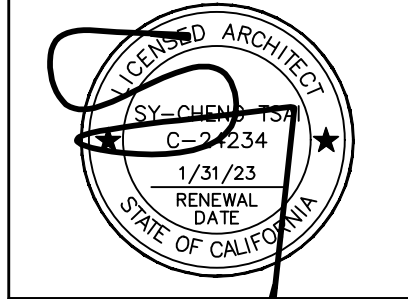
Date Modified: Jan 2019



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2050 CONCOURSE DRIVE, #60 TEL (408) 321-9988
SAN JOSE, CA 95131-1892 FAX (408) 321-9987

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SY-CHENG TSAI C-24234

**Annie's Residence
Remodeling**

11470 Page Mill Road, Los Alto Hills, CA

TITLE SHEET

DATE: 06/20/2022

JOB NO. TS211148

ISSUE & REVISION

	01/20/22	ROA	Change
1			
2			
3	06/20/22	Owner	Rev
4			
5			
6			
7			
8			
9			
10			

SHEET NO.

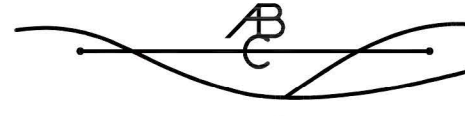
A0.1

DRAWN BY:

TOPOGRAPHICAL LAND SURVEY

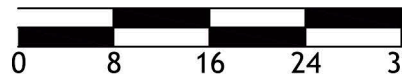
LANDS OF BALKENHOL TRUSTS
PER GRANT DEED DOCUMENT #20860545
11470 PAGE MILL ROAD, LOS ALTOS HILLS
SANTA CLARA COUNTY, CALIFORNIA
APN: 351-01-043 SEPTEMBER 2016

CONSISTING OF ONE SHEET



American Baseline Company

1736 Ravizza Avenue, Santa Clara, CA 95051
408/394-9281, americanbaseline.com



SCALE : 1 Inch = 16 Feet

PRELIMINARY DRAFT

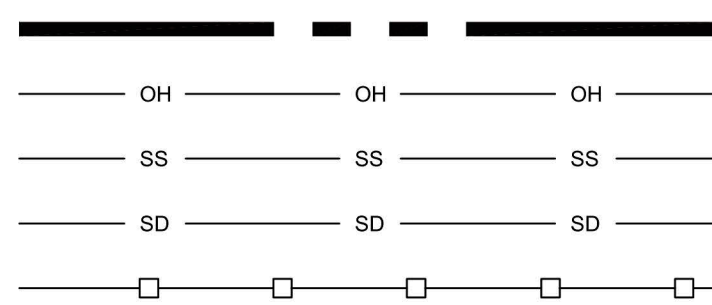


SLOPE/AREA CALCULATIONS






WHERE:
S = AVERAGE SLOPE OF AN AREA IN %
I = THE CONTOUR INTERVAL IN FEET
L = COMBINED LENGTH OF CONTOUR LINES IN FEET
An = AREA IN ACRES
THEN:
 $S = .0023 \text{ I } L / A_n = 29.9\%$
 $S = .0023 \times 5 \times 1,902' / 0.731 \text{ ACRES} = 29.9\%$

$$\text{LUF} = (0.731)\{1-[0.02143(29.9-10)]\} = 0.419$$

LEGEND



PROPERTY LINE
OVERHEAD UTILITY LINE
SANITARY SEWER LINE
STORM RAIN LINE
WOOD FENCE

AD	AREA DRAIN
APN	ASSESSOR'S PARCEL NUMBER
AC	ASPHALT
CB	CATCH BASIN
CO	CLEANOUT
CONC	CONCRETE
DW	DRIEWAY
EB	ELECTRIC BOX
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
	FIRE HYDRANT
GRD	GROUND
GA	GUY ANCHOR
GR	GAS METER
	GAS VALVE
IV	IRRIGATION VALVE
	JOINT POLE
MB	MAIL BOX
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
	STREET LIGHT
T	TREE
WH	WATER METER
	WATER VALVE
P	WOOD POST

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHICAL SURVEY MADE BY ME OR BY RESPONSIBLE CHARGES UNDER MY DIRECTION IN CONFORMANCE WITH THE PROFESSION OF LAND SURVEYING AT THE REQUEST OF SC DESIGN IN AUGUST 2016.

REFERENCES

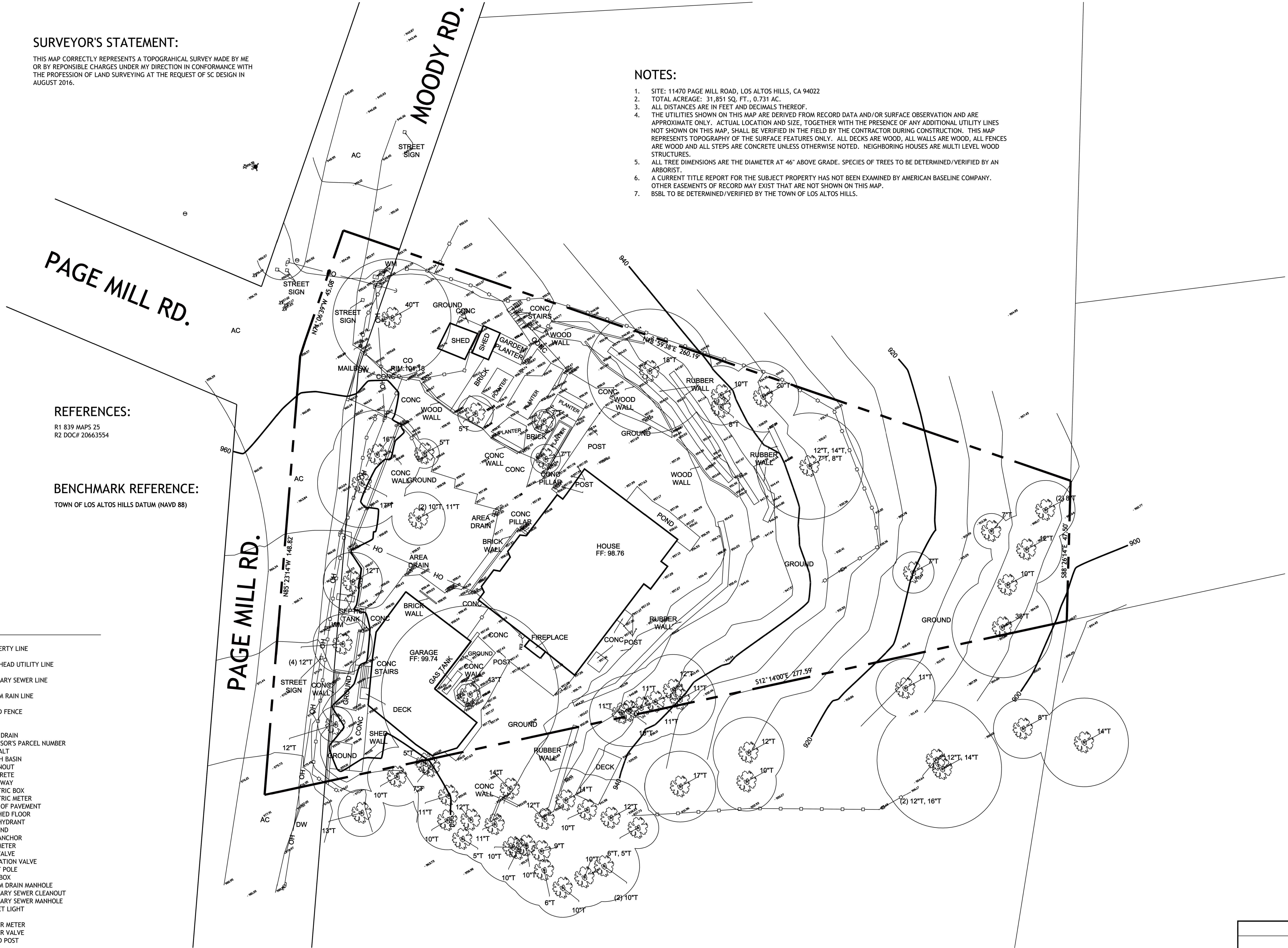
R1 839 MAPS 25
R2 DOC# 20663554

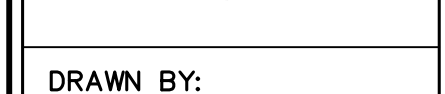
BENCHMARK REFERENCE

TOWN OF LOS ALTOS HILLS DATUM (NAVD 88)

NOTES:

1. SITE: 11470 PAGE MILL ROAD, LOS ALTOS HILLS, CA 94022
2. TOTAL ACREAGE: 31,851 SQ. FT., 0.731 ACRES
3. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
4. THE UTILITIES SHOWN ON THIS MAP ARE DERIVED FROM RECORD DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS MAP, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. ALL DECKS ARE WOOD, ALL WALLS ARE WOOD, ALL FENCES ARE WOOD AND ALL STEPS ARE CONCRETE UNLESS OTHERWISE NOTED. NEIGHBORING HOUSES ARE MULTI LEVEL WOOD STRUCTURES.
5. ALL TREE DIMENSIONS ARE THE DIAMETER AT 46" ABOVE GRADE. SPECIES OF TREES TO BE DETERMINED/VERIFIED BY AN ARBORIST.
6. A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY AMERICAN BASELINE COMPANY. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
7. BBSL TO BE DETERMINED/VERIFIED BY THE TOWN OF LOS ALTOS HILLS.



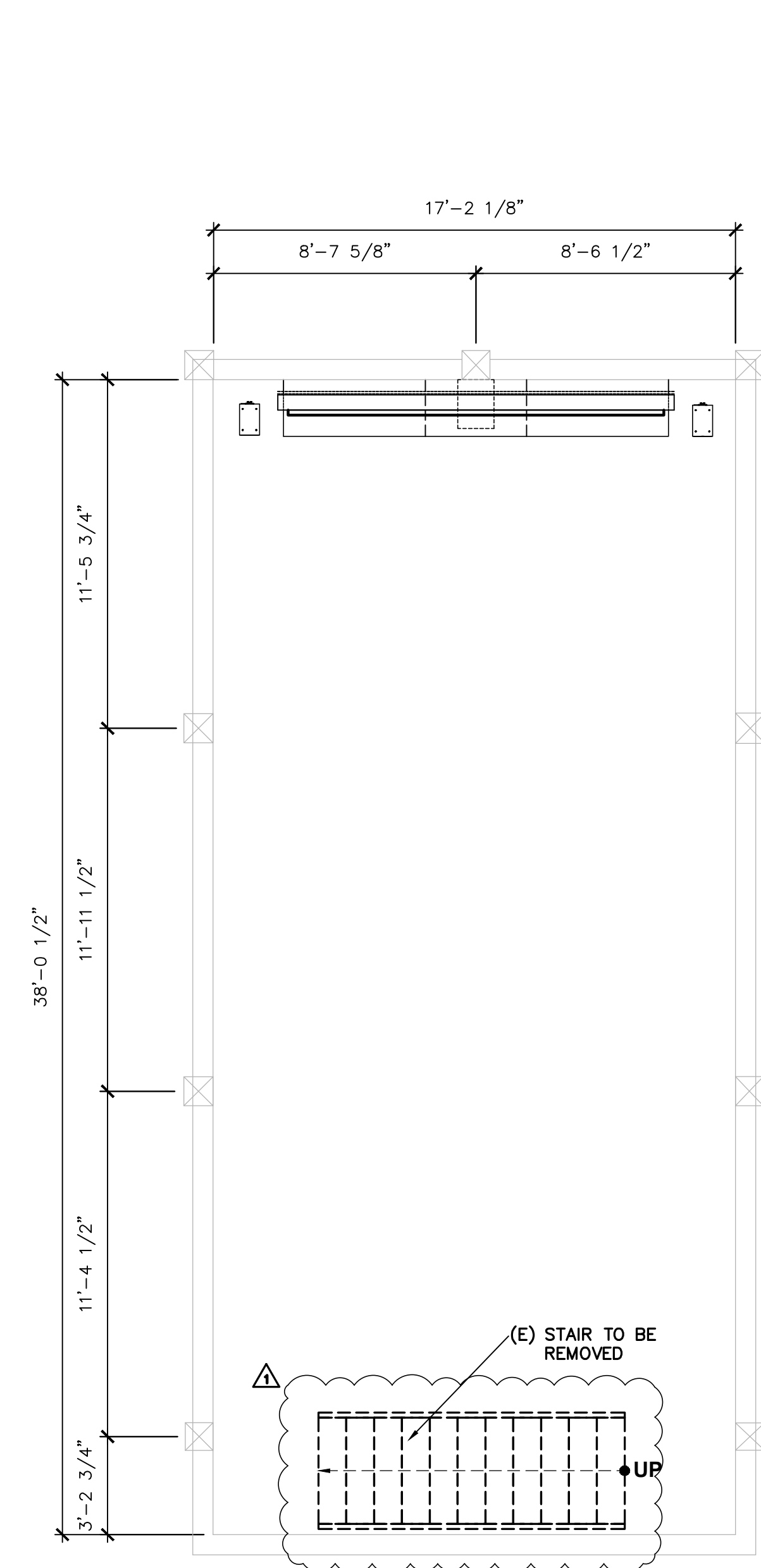


DEMOLITION NOTES

1. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS INDICATED ON TSCGI DRAWINGS OR AS OTHERWISE DIRECTED BY THE OWNER.
2. THE CONTRACTOR IS TO VIEW AND VERIFY ACTUAL CONDITIONS AT ALL LOCATIONS WHERE ALTERATIONS TO THE EXISTING BUILDING OCCUR. WHEN WALLS, PARTITIONS, AND OTHER WORK EXISTS WHERE NEW WORK IS INDICATED, ALL SUCH EXISTING WORK SHALL BE REMOVED. VERIFY ALL SUCH CONDITIONS AT THE SITE.
3. THE CONTRACTOR SHALL REPORT TO ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.
4. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING OVERTIME WORK REQUIRED.
5. THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE BUILDING LANDLORD INCLUDING, BUT NOT LIMITED TO FLOOR COVERING, CEILING GRID AND TILE, LIGHT FIXTURES, DOORS, WINDOWS, FRAMES, HARDWARE, CABINETRY, PLUMBING FIXTURES, ELECTRICAL AND AIR CONDITIONING EQUIPMENT, PERIPHERAL ENCLOSURES, ETC.
6. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY PLASTIC DROP CLOTH BARRIERS TO PROTECT ADJACENT BUILDING PROPERTY WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
7. THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES TO INCLUDE CORNER BEADS, STOPS, ETC., FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES, AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW, FINISHED, INSTALLATION. THESE DEFECTIVE SURFACES SHALL BE REPAIRED OR, IF BEYOND REPAIR, THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING AND INSTALL NEW SURFACES TO THE SATISFACTION OF TSCGI AND THE OWNER.
8. THE GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES AND WHERE AS A RESULT OF DEMOLITION, FINISHED SURFACES DO NOT ALIGN, THE EXISTING SURFACE SHALL BE CUT AND PATCHED.
9. ALL DAMAGED EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS IN MATERIAL, FIRE-RATING, FINISH, AND COLOR, UNLESS OTHERWISE NOTED.
10. ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE OWNER OR AS OTHERWISE DIRECTED.
11. IN ALL AREAS WHERE DEMOLITION (REMOVAL OF TILE, PARTITIONS, ETC. CAUSES AN UNEVENNESS IN THE SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB TO RECEIVE NEW FINISH FLOORING.
12. ALL EXPOSED LIGHT FIXTURES, WIRING, SWITCHES, CONDUIT, AND METAL MOLDING NOT BEING REUSED SHALL BE REMOVED AND EITHER STORED OR DISPOSED OF BY THE GENERAL CONTRACTOR AS INSTRUCTED BY THE OWNER.
13. THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER DEMOLITION AS REQUIRED.
14. THE GENERAL CONTRACTOR SHALL CAP OFF BEHIND FINISHED SURFACES ALL PROJECT PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS THAT ARE BEING ABANDONED.
15. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING OR EQUIPMENT. VERIFY WITH TENANT REUSE OF EXISTING CABLING PRIOR TO REMOVAL.
16. ALL "EXISTING TO REMAIN", "EXISTING", "RELOCATED", OR "NEW" ITEMS INSTALLED BY THE GENERAL CONTRACTOR, IN ADDITION TO BEING AMPLY PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION, SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF TSCGI PRIOR TO BEING TURNED OVER TO THE OWNER.
17. REFER TO ENGINEERING DRAWINGS FOR REMOVAL AND/OR RELOCATION IF REQUIRED OF HAVOC DUCTS, DIFFUSERS, SPRINKLER HEADS, EXIT LIGHTS, ETC.

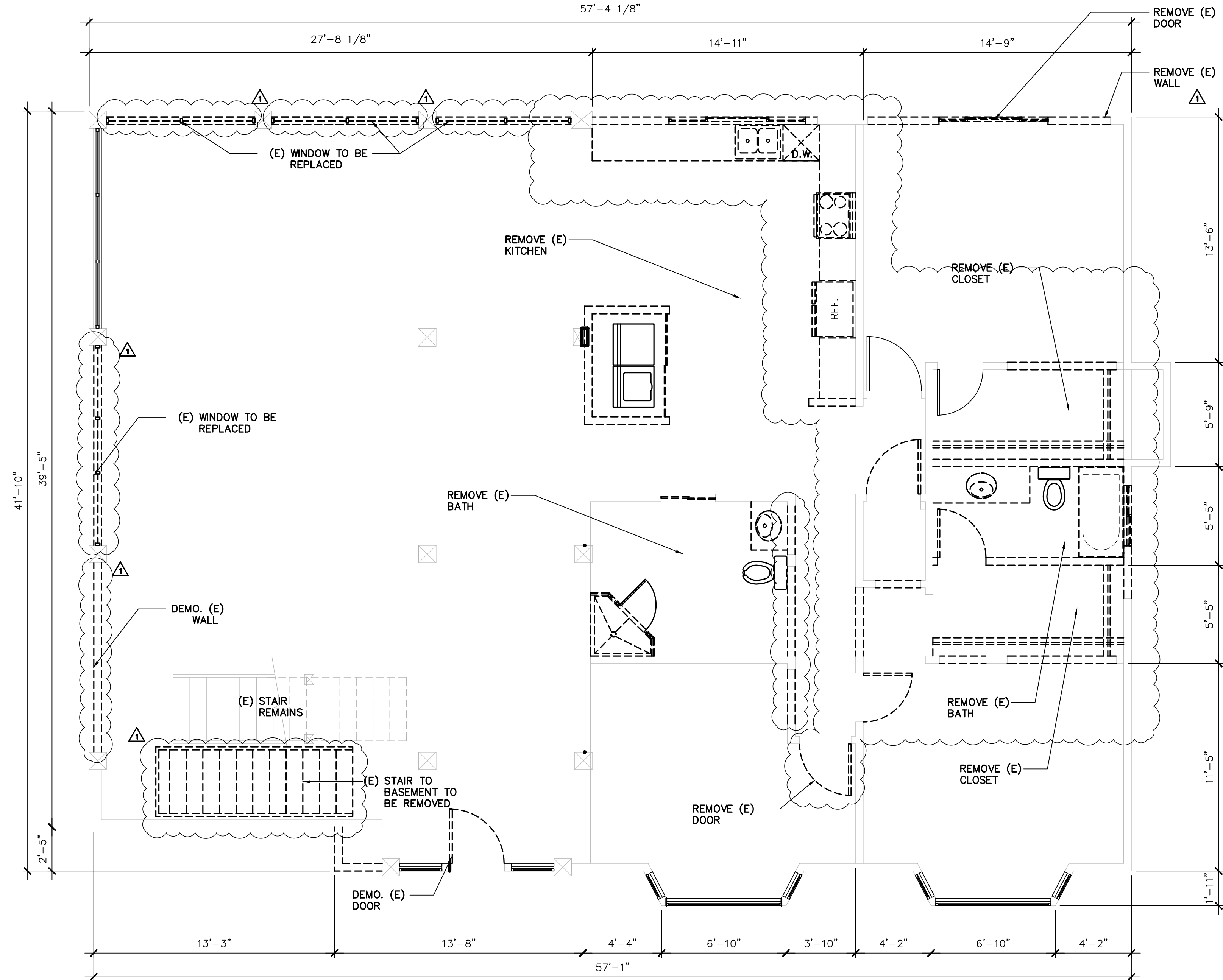
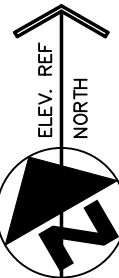
GENERAL DEMOLITION NOTES

1. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS OF THE PROJECT AND THE CONTRACT DOCUMENTS IN ORDER THAT DEMOLITION WORK WILL INCLUDE DEMOLISHING ALL ITEMS INCIDENTALS, WHETHER CALLED FOR OR NOT.
2. THE GENERAL CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS TO COORDINATED WITH EXISTING BUILDING CONDITIONS. ANY VARIANCE OR DISCREPANCY THAT ARISE FROM ABOVE REVIEW SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
3. CONDUIT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES.
4. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
5. ANY STRUCTURAL SUPPORT, BRACING AND SHORING NEED TO HAVE ENGINEER REVIEW PRIOR TO COMMENCE THE WORK.
6. LOCATE EXISTING UNDERGROUND UTILITIES IN AREA TO AVOID DAMAGE BY DEMOLITION.
7. ALL DEMOLITION WORK TO BE PERFORM CAREFULLY, ITEMS TO BE REMOVED NEED TO REMOVE, DUMP AT LEGAL DUMP SITE, CLEAN THE WORK AREA AND PREPARE THE AREA TO RECEIVE NEW WORK AS SPECIFIED ON THE DRAWINGS.
8. BACKFILL AREAS EXCAVATED AND OPEN PITS AND HOLES CAUSED BY A RESULT OF DEMOLITION.
9. ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
10. UNLESS WHERE NOTED OTHERWISE, IMMEDIATELY REMOVE DEMOLISHED MATERIAL FROM SITE. LEAVE SITE IN CLEAN CONDITION.
11. DO NOT BURN OR BURY MATERIALS ON SITE.
12. REMOVE AND PROMPTLY DISPOSE OF CONTAMINATED, VERMIN INFESTED, OR DANGEROUS MATERIALS ENCOUNTERED. REPORT TO ARCHITECT AND RELATED AGENCIES AS REQUIRED.
13. CONDUIT OPERATIONS WITH MINIMUM INTERFERENCE TO USE AND THOROUGH PUBLIC WAY. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
14. DO NOT CLOSE OR OBSTRUCT ROADWAYS OR SIDEWALKS WITHOUT PERMITS.
15. ANY PIPE, CONDUIT, OR CABLE ORIGINALLY CONNECTED TO THE REMOVED ITEMS TO BE DISCONNECTED AND CAPPED PROPERLY. IF THE ITEMS IS PART OF A SYSTEM THEN NEED TO RE-CONNECT TO EXISTING SYSTEM AND KEEP IN A WORKING CONDITION.
16. THE LOCATION OF DISCONNECTED AND/OR CAPPED LINES SHALL IDENTIFIED ON SITE AND MARKED ON THE PROJECT RECORD DOCUMENTS FOR FUTURE REFERENCE.



BASEMENT FLOOR DEMO. PLAN

SCALE : 1/8" = 1'-0"

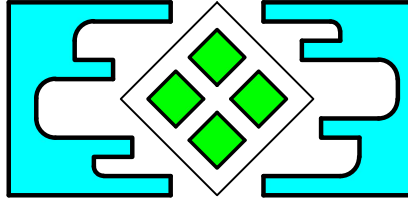
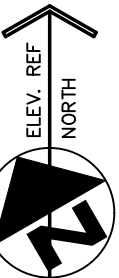


LEGEND

- EXISTING WALLS TO REMAIN REPAIR AS REQUIRED
- EXISTING WINDOWS WALLS AND DOORS TO BE REMOVED

1ST FLOOR DEMO. PLAN

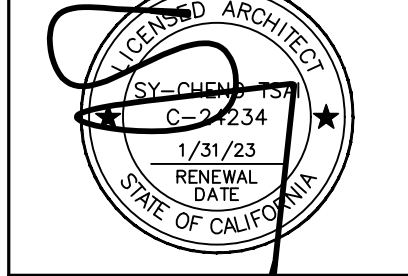
SCALE : 1/8" = 1'-0"



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SAN JOSE, CA 95131-1892 FAX (408) 321-9987

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SY-CHENG TSAI C-24234

Annie's Residence
Remodeling
11470 Page Mill Road, Los Alto Hills, CA

EXISTING 1ST
FLOOR DEMO.
PLAN

DATE: 06/20/2022

JOB NO. TS211148

ISSUE & REVISION

	01/20/22	ROA Change
1		
2		
3	06/20/22	Owner Rev
4		
5		
6		
7		
8		
9		
10		

SHEET NO.

A1.0

DRAWN BY:

	EXISTING CONSTRUCTION TO REMAIN
	(N) FURRED WALL / COLUMN.
	NEW WOOD FRAMING WALL OUT OF 2X4 WOOD STUDS @ 16" O.C. AND IN THE EXTERIOR STUCCO 7/8" MIN. STUCCO O/ METAL LATH O/ TWO LAYERS OF GRADE 'D' BLDG. PAPER O/ PLYWOOD.
	NEW 2X4 WOOD STUDS @ 16" O.C. W/ 1/2" THK. GYP. BD. ON THE BOTH SIDES
	NEW 2X4 WOOD STUDS @ 16" O.C. W/ 1/2" THK. GYP. BD. ON THE BOTH SIDES USE WONDER BD. OR DUROCK AS BACKING MATERIAL AND WATER PROOFED MATERIAL.
	ONE HOUR RATED WALL 2X4 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. @ GARAGE INTERIOR SIDE.

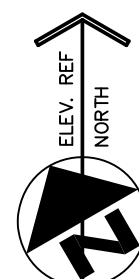
		VENTILATION	LIGHTING	
ROOM NAME AND LOCATION	ROOM SIZE (S.F.)	AREA REQ'D – (4%) OR 5 S.F. MIN.	AREA REQ'D – (8%) OR 10 S.F. MIN.	PROVIDED WINDOW AREA (S.F.)
1st FL. (E) DINING ROOM	206	9	18	436
1st FL. (E) LIVING ROOM	454	19	38	342
1st FL. (N) KITCHEN	469	19	38	86
1st FL. (E) HALLWAY	189	8	16	61
1st FL. (E) BEDROOM #1	142	6	12	49
1st FL. (E) BEDROOM #2	172	7	14	49
1st FL. (N) BEDROOM #3	193	8	16	96

This architectural floor plan depicts a multi-room residential or institutional building. The layout includes the following rooms and features:

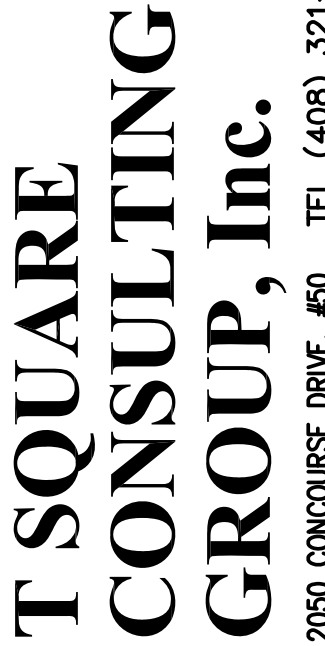
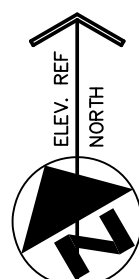
- (E) LIVING ROOM:** Located in the lower-left quadrant, featuring a fireplace and a large window.
- (E) DINING ROOM:** Adjacent to the living room, containing a dining table and chairs.
- (N) KITCHEN:** Located in the upper-middle section, equipped with a sink, stove, and refrigerator.
- (E) BEDROOM 1, 2, & 3:** Three bedrooms are distributed across the plan, each with a bed and storage space.
- (N) BATH #1, #2, & #3:** Three bathrooms are included, each with a toilet, sink, and bathtub/shower area.
- (N) POWDER:** A small bathroom located near the center of the plan.
- (N) LAUNDRY:** A dedicated laundry room with a sink and storage.
- (E) HALLWAY:** A central hallway providing access to most rooms.
- (E) FAU:** A Furniture Area located near the center-right.
- (N) CLOSET:** Multiple closets are provided for storage in the bedrooms and bathrooms.

The plan is heavily annotated with dimensions (e.g., 11'-11 1/2", 14'-6 1/2", 15'-1 7/8") and structural details (e.g., doors, windows, stairs). It also includes a north arrow and a scale bar.

SCALE : $1/4" = 1'-0"$



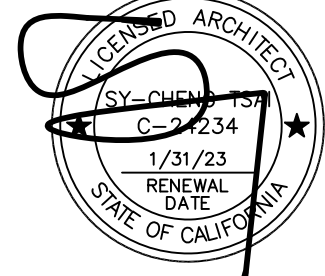
SCALE : 1/4" = 1'-0"



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All information is to be verified by all persons, companies and project representatives that will utilize these. Should any error, conflict or inconsistency appear in the drawings, this office must be notified for instructions prior to proceeding with any construction.



SY-CHENG TSAI	C-24234
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Annie's Residence Remodeling

**PROPOSED
1ST &
BASEMENT
FLOOR PLAN**

DATE: 06/20/2022

JOB NO. TS211148

ISSUE & REVISION
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	01/20/22	ROA Change
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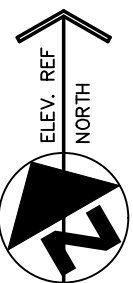
SHEET NO.

A1.2

DRAWN BY:

- THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS INDICATED ON TSGCI DRAWINGS OR AS OTHERWISE DIRECTED BY THE OWNER.
- THE CONTRACTOR IS TO VIEW AND VERIFY ACTUAL CONDITIONS AT ALL LOCATIONS WHERE ALTERATIONS TO THE EXISTING BUILDING OCCUR, WHEN WALLS, PARTITIONS, AND OTHER WORK EXISTS WHERE NEW WORK IS INDICATED. ALL SUCH EXISTING WORK SHALL BE REMOVED. VERIFY ALL SUCH CONDITIONS AT THE SITE.
- THE CONTRACTOR SHALL REPORT TO ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.
- THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE PERIOD OF THE BUILDING FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING OVERTIME WORK REQUIRED.
- THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE BUILDING LANDLORD INCLUDING, BUT NOT LIMITED TO FLOOR COVERING, CEILING GRID AND TILE, LIGHT FIXTURES, DOORS, WINDOWS, FRAMES, HARDWARE, CABINETRY, PLUMBING FIXTURES, ELECTRICAL AND AIR CONDITIONING EQUIPMENT, PERIPHERAL ENCLOSURES, ETC.
- THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY PLASTIC DROP CLOTH BARRIERS TO PROTECT ADJACENT BUILDING PROPERTY WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
- THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES TO INCLUDE CORNER BEADS, STOPS, ETC., FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES, AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW, FINISHED, INSTALLATION. THESE DEFECTIVE SURFACES SHALL BE REPAIRED OR, IF BEYOND REPAIR, THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING AND INSTALL NEW SURFACES TO THE SATISFACTION OF TSGCI AND THE OWNER.
- THE GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES AND WHERE AS A RESULT OF DEMOLITION, FINISHED SURFACES DO NOT ALIGN, THE EXISTING SURFACE SHALL BE CUT AND PATCHED.
- ALL DAMAGED EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS IN MATERIAL, FIRE-RATING, FINISH, AND COLOR, UNLESS OTHERWISE NOTED.
- ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE OWNER OR AS OTHERWISE DIRECTED.
- IN ALL AREAS WHERE DEMOLITION (REMOVAL OF TILE, PARTITIONS, ETC. CAUSES AN UNEVENNESS IN THE SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB TO RECEIVE NEW FINISH FLOORING.
- ALL EXPOSED LIGHT FIXTURES, WIRING, SWITCHES, CONDUIT, AND METAL MOLDING NOT BEING REUSED SHALL BE REMOVED AND EITHER STORED OR DISPOSED OF BY THE GENERAL CONTRACTOR AS INSTRUCTED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER DEMOLITION AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL CAP OFF BEHIND FINISHED SURFACES ALL PROJECT PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS THAT ARE BEING ABANDONED.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING OR EQUIPMENT. VERIFY WITH TENANT REUSE OF EXISTING CABLING PRIOR TO REMOVAL.
- ALL "EXISTING TO REMAIN", "EXISTING", "RELOCATED", OR "NEW" ITEMS INSTALLED BY THE GENERAL CONTRACTOR, IN ADDITION TO BEING AMPLY PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION, SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF TSGCI PRIOR TO BEING TURNED OVER TO THE OWNER.
- REFER TO ENGINEERING DRAWINGS FOR REMOVAL AND/OR RELOCATION IF REQUIRED OF HAVOC DUCTS, DIFFUSERS, SPRINKLER HEADS, EXIT LIGHTS, ETC.

- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS OF THE PROJECT AND THE CONTRACT DOCUMENTS IN ORDER THAT DEMOLITION WORK WILL INCLUDE DEMOLISHING ALL ITEMS INCIDENTALS, WHETHER CALLED FOR OR NOT.
2. THE GENERAL CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS TO COORDINATED WITH EXISTING BUILDING CONDITIONS. ANY VARIANCE OR DISCREPANCY THAT ARISE FROM ABOVE REVIEW SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
3. CONDUIT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES.
4. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
5. ANY STRUCTURAL SUPPORT, BRACING AND SHORING NEED TO HAVE ENGINEER REVIEW PRIOR TO COMMENCE THE WORK.
6. LOCATE EXISTING UNDERGROUND UTILITIES IN AREA TO AVOID DAMAGE BY DEMOLITION.
7. ALL DEMOLITION WORK TO BE PERFORM CAREFULLY, ITEMS TO BE REMOVED NEED TO REMOVE, DUMP AT DESIGNATED DUMP SITE, CLEAN THE WORK AREA AND PREPARE THE AREA TO RECEIVE NEW WORK AS SPECIFIED ON THE DRAWINGS.
8. BACKFILL AREAS EXCAVATED AND OPEN PITS AND HOLES CAUSED BY A RESULT OF DEMOLITION.
9. ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
10. UNLESS WHERE NOTED OTHERWISE, IMMEDIATELY REMOVE DEMOLISHED MATERIAL FROM SITE. LEAVE SITE IN CLEAN CONDITION.
11. DO NOT BURN OR BURY MATERIALS ON SITE.
12. REMOVE AND PROMPTLY DISPOSE OF CONTAMINATED, VERMIN INFESTED, OR DANGEROUS MATERIALS ENCOUNTERED. REPORT TO ARCHITECT AND RELATED AGENCIES AS REQUIRED.
13. CONDUIT OPERATIONS WITH MINIMUM INTERFERENCE TO USE AND THOROUGH PUBLIC WAY. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
14. DO NOT CLOSE OR OBSTRUCT ROADWAYS OR SIDEWALKS WITHOUT PERMITS.
15. ANY PIPE, CONDUIT, OR CABLE ORIGINALLY CONNECTED TO THE REMOVED ITEMS TO BE DISCONNECTED AND CAPPED PROPERLY. IF THE ITEMS IS PART OF A SYSTEM THEN NEED TO RE-CONNECT TO EXISTING SYSTEM AND KEEP IN A WORKING CONDITION.
16. THE LOCATION OF DISCONNECTED AND/OR CAPPED LINES SHALL IDENTIFIED ON SITE AND MARKED ON THE PROJECT RECORD DOCUMENTS FOR FUTURE REFERENCE.





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FAX (408) 321-9987

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SY-CHENG TSAI

C-42254

SY-CHENG TSAI

C-42254

ANNE'S RESIDENCE

11470 PAGE MILL ROAD, LOS ALTO HILLS, CA

ANNE'S RESIDENCE

11470 PAGE MILL ROAD, LOS ALTO HILLS, CA

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WALL LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- (N) FURRED WALL / COLUMN.
- NEW WOOD FRAMING WALL OUT OF 2X4 WOOD STUDS @ 16" O.C. AND IN THE EXTERIOR STUCCO 7/8" MIN. STUCCO O/ METAL LATH O/ TWO LAYERS OF GRADE 'D' BLDG. PAPER O/ PLYWOOD.
- NEW 2X4 WOOD STUDS @ 16" O.C. W/ 1/2" THK. GYP. BD. ON THE BOTH SIDES
- NEW 2X4 WOOD STUDS @ 16" O.C. W/ 1/2" THK. GYP. BD. ON THE BOTH SIDES USE WONDER BD. OR DUROCK AS BACKING MATERIAL AND WATER PROOFED MATERIAL.
- ONE HOUR RATED WALL 2X4 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYP. BD. @ GARAGE INTERIOR SIDE.
- S.G. SAFETY GLAZING WINDOW/TEMPERED GLASS
- CRAWL ACCESS 18"x24" MIN. (2016 CRC R408)
- ATTIC ACCESS 22"x30" MIN. (2016 CRC R807)
ATTIC ACCESS 36"x36" MIN. WHEN FURNACE AT ATTIC.
A HEAD ROOM CLEAR HEIGHT IN A ATTIC AT LEAST 30" AT THE ATTIC ACCESS.

LEGEND

- VIEW DIRECTION
- 2

A9.1

SECTION NUMBER
- 1

A9.1

SHEET WHERE OCCURS
- 1

A9.1

TYP. DETAIL NUMBER
- 1

A9.1

SHEET WHERE OCCURS
- NO

A.X

EXTERIOR ELEVATION NO.
- NO

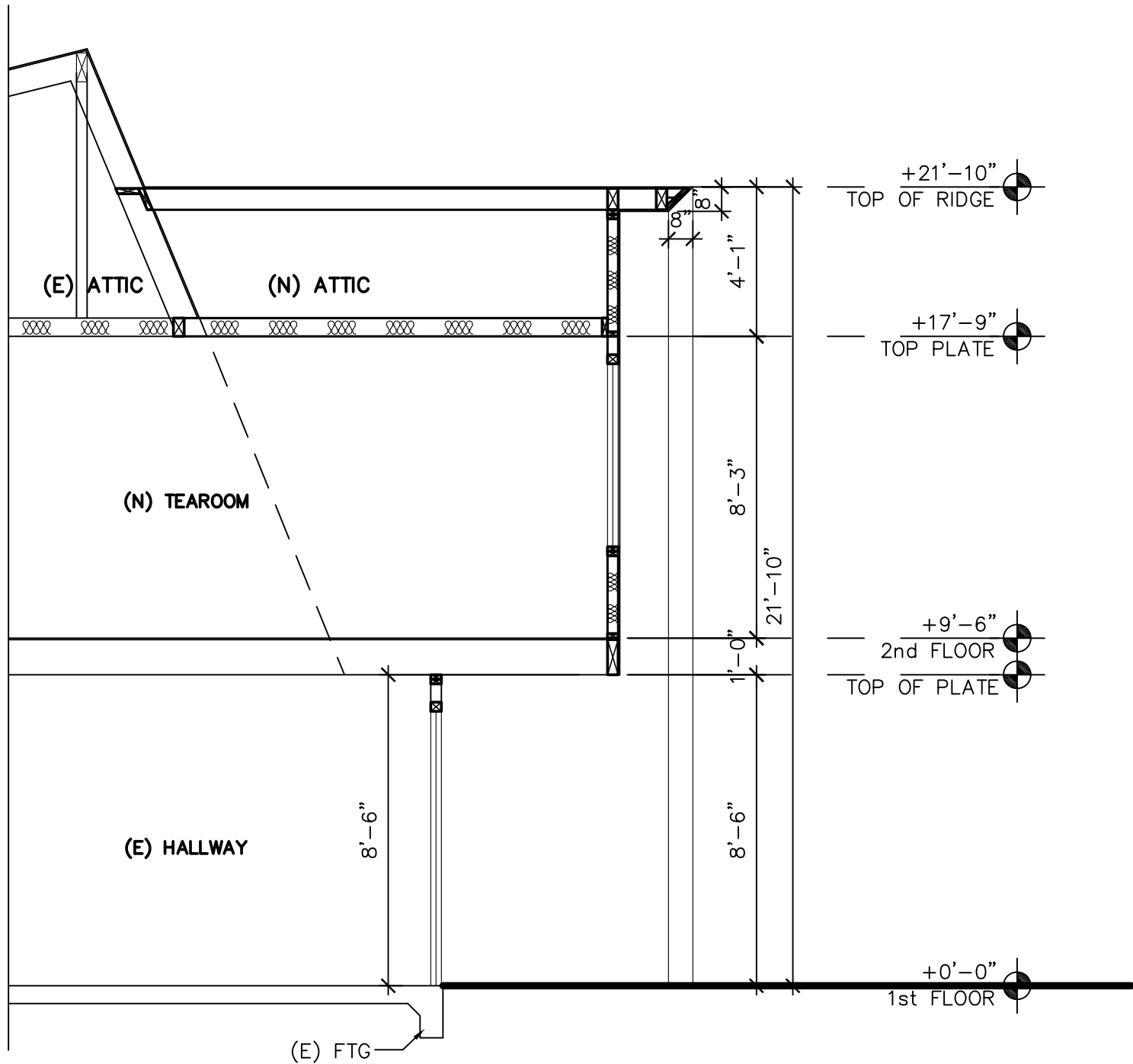
A.X

ELEVATION SHEET NO.

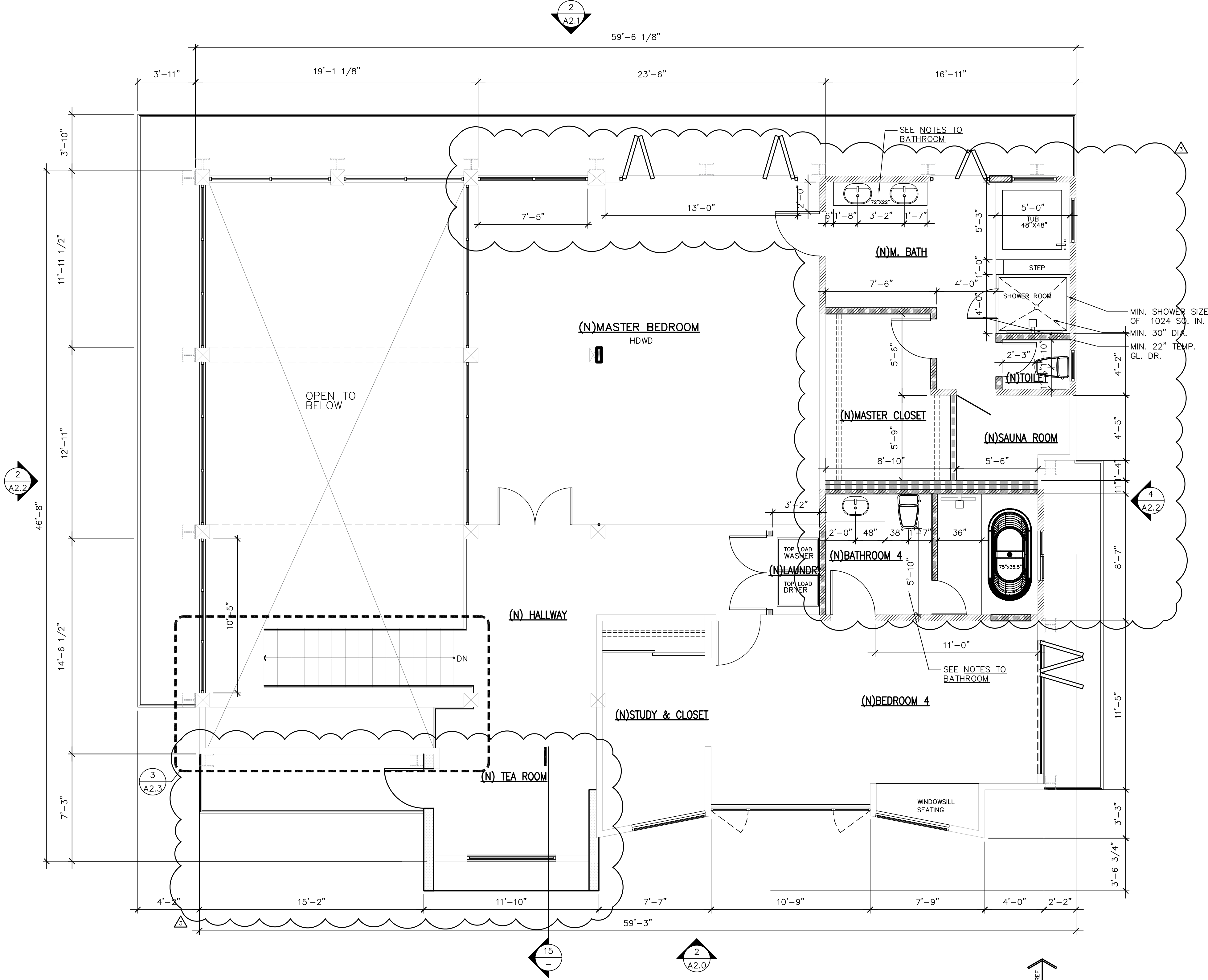
WINDOW LIGHT / VENT CAL

ROOM NAME AND LOCATION	ROOM SIZE (S.F.)	VENTILATION		LIGHTING	
		AREA REQ'D - (4%) OR 5 S.F. MIN.	AREA REQ'D - (8%) OR 10 S.F. MIN.	PROVIDED WINDOW AREA (S.F.)	
2nd FL. (N) M. BEDROOM	535	22	44	163	
2nd FL. (N) HALLWAY	156	7	14	83	
2nd FL. (N) TEAROOM	106	5	10	29	
2nd FL. (N) BEDROOM #4	243	10	20	116	

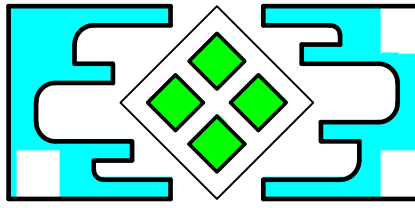
SEE NOTES ON SHEET A-2.1



15 1/4"=1'-0" DETAIL

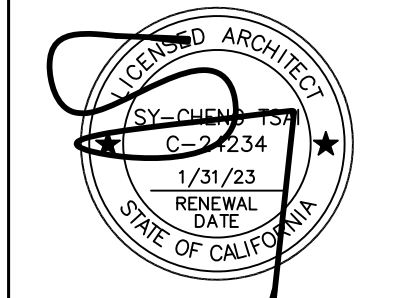


PROPOSED 2ND FLOOR PLAN SCALE : 1/4" = 1'-0"



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SY-CHENG TSAI C-24234

Annie's Residence
Remodeling
11470 Page Mill Road, Los Alto Hills, CA

PROPOSED 2ND FLOOR PLAN

DATE: 06/20/2022

JOB NO. TS211148

ISSUE & REVISION

	01/20/22	ROA Change
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3	06/20/22	Owner Rev
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SHEET NO.

A1.4

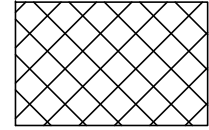
DRAWN BY:

ROOF NOTES:

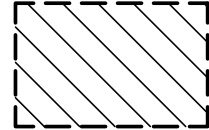
- ALL ROOFING TO BE CLASS "A".
- ALL NEW FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT IN ACCORDANCE WITH CRC R905.2.5.
- ROOF SLOPE TO MEET EXISTING ROOF OR MEET THE SLOPE OF MAIN HOUSE.
- COOL ROOF SPECIFICATION, IF "COOL ROOF" IS SPECIFIED BY TITLE 24 REPROT. THE ASPHALT SHINGLE TO BE THE FOLLOWING:
 - OWNERS CORNING: DURATION PREMINUM COOL ROOF.
 - GAF: TIMBERLINE COOL SERIES.
 - CERTAIN TEED: LANDMARK SOLARIS OR PRESIDENTIAL SOLARIS.
 - EQUAL PRODUCES CERTIFICATED BY COOL ROOF RATING COUNCIL AND MEET TITLE 24 REQUIREMENTS.
- ASPHALT SHINGLE COLOR TO MATCH EXISTING BUILDING OR SIMILAR TO MAIN BUILDNG.

NOTES

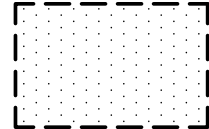
* ALL ROOF MATERIAL ARE COMP. SHINGLE.



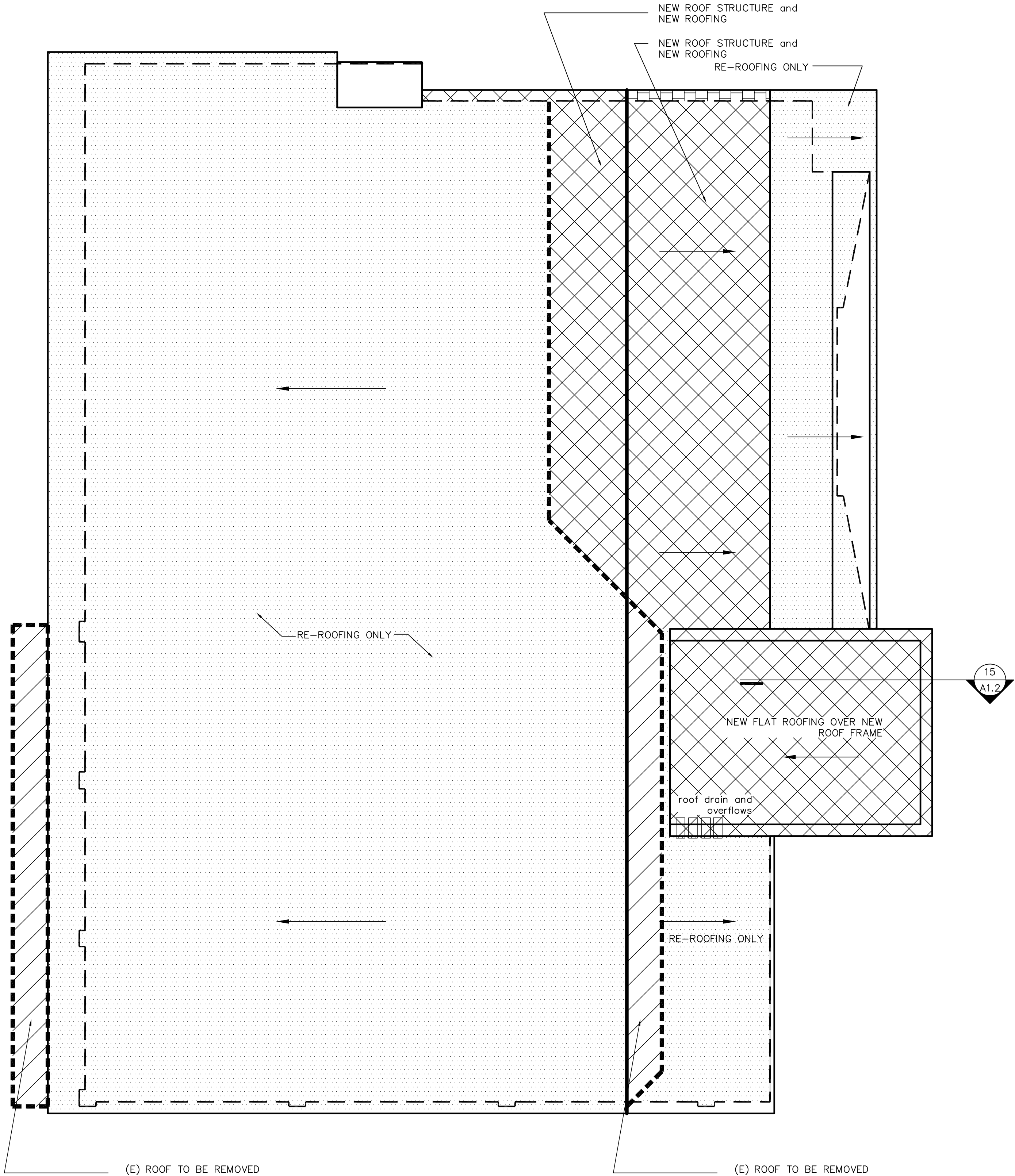
AREA OF NEW ROOF - METAL ROOF COVERING
(STRUCTURE & FRAMING)



AREA OF ROOF TO BE REMOVED
(STRUCTURE & FRAMING)

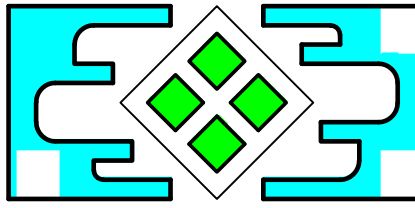
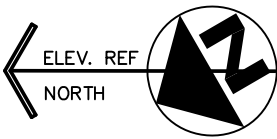


AREA OF RE-ROOFING ONLY -
METAL ROOF COVERING



PROPOSED ROOF PLAN

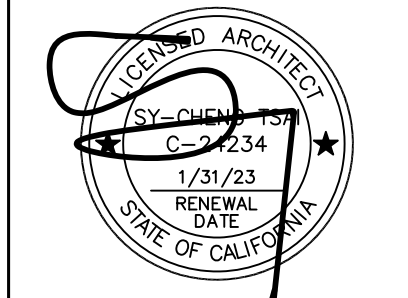
SCALE : 1/4" = 1'-0"



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SY-CHENG TSAI C-24234

**Annie's Residence
Remodeling**
11470 Page Mill Road, Los Alto Hills, CA

PROPOSED
ROOF PLAN

DATE: 06/20/2022

JOB NO. TS211148

ISSUE & REVISION

	01/20/22	ROA Change
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3	06/20/22	Owner Rev
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SHEET NO.

A1.5

DRAWN BY:

ELEVATION NOTES:

1. EXTERIOR STUCCO FINISH:
- A. STUCCO IS 3-COAT SYSTEM, 7/8-INCH MINIMUM. [CRC R703.6.2]

B. INSTALL 26 GAGE GALVANIZED WEEP. [CRC 703.5.2.1]

C. TWO LAYERS OF GRADE "D" BUILDING PAPER UNDER STUCCO OVER PLYWOOD SHEATHING. [CRC R703.6.3]

D. PROVIDE WEEP SCREED AT FOUNDATION PLATE LONE ON ALL STUCCO WALLS [2019 CRC R703.2.1]

E. WEEP SCREED SHALL BE 4" ABOVE EARTH AND 2" ABOVE PAVED AREA.

F. CRAWL SPACE VENTS DO NOT INSTALLED IN SHEAR WALLS.
2. NEW WINDOWS SHALL MEET THE FOLLOWING SPECIFICATION:
- A. NEW WINDOW FRMAE TO BE YINYL, COLOR TO BE SELECTED.

B. WINDOW GLAZING TO HAVE 0.31 U-FACTOR AND 0.27 SHGC

C. SLIDING GALLSS DOOR TO HAVE SAME U-FACTOR AND SHGC VAUE.
3. BUILDING ADDRESS TO BE:
- A. MIN. 4" LETTER.

B. COLOR TO BE CONTRAST WITH BACKGROUND COLOR.

C. VISIBLE FRON STREET.

1 7/8" corrugated metal roofing sheets



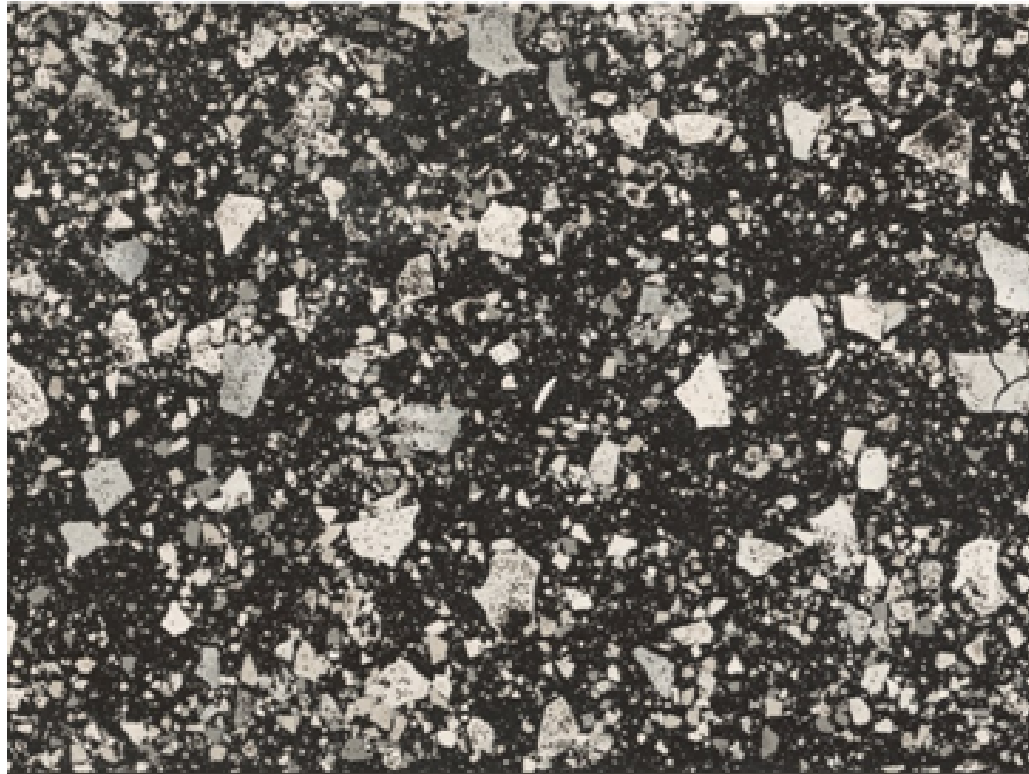
Western state metal roofing

2 NEW TECHWOOD

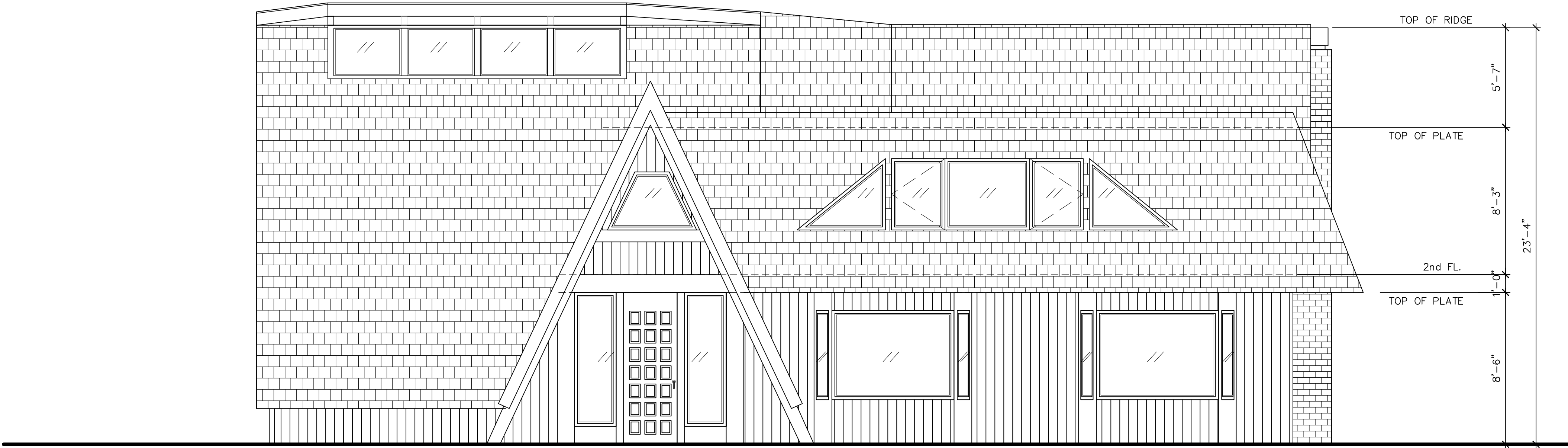


EUROPEAN SIDING NORWEGIAN BOARD
UH46 BRAZILIAN IPE

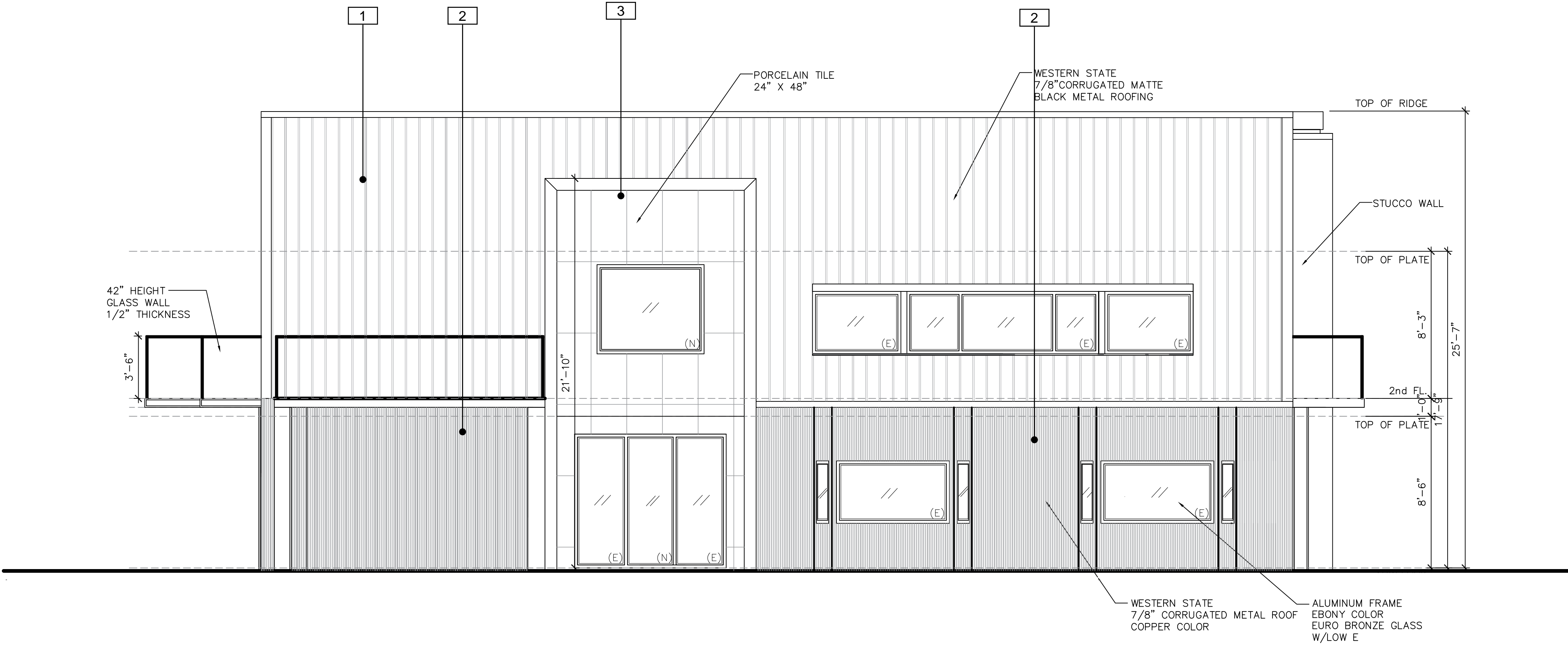
3 Specceramics



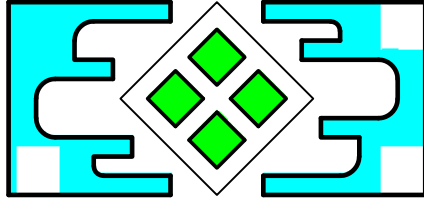
Venice Villa Terrazzo porcelain
Graphite



1 1/4"=1'-0" EXISTING FRONT ELEVATION



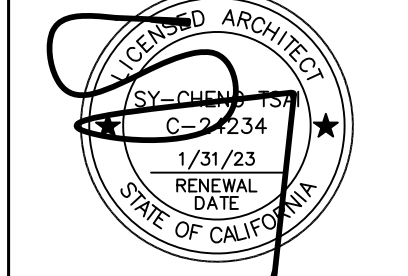
2 1/4"=1'-0" PROPOSED FRONT ELEVATION



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SAN JOSE, CA 95131-1892 FAX (408) 321-9987

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SY-CHENG TSAI C-24234

Annie's Residence
Remodeling
11470 Page Mill Road, Los Alto Hills, CA

EXISTING &
PROPOSED
ELEVATIONS

DATE: 06/20/2022

JOB No. TS211148

ISSUE & REVISION

	01/20/22	ROA Change
1		
2		
3	06/20/22	Owner Rev
4		
5		
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7		
8		
9		
10		

SHEET NO.

A2.0


DRAWN BY:

ELEVATION NOTES:

1. EXTERIOR STUCCO FINISH:
- A. STUCCO IS 3-COAT SYSTEM, 7/8-INCH MINIMUM. [CRC R703.6.2]
- B. INSTALL 26 GAGE GALVANIZED WEEP. [CRC 703.5.2.1]
- C. TWO LAYERS OF GRADE "D" BUILDING PAPER UNDER STUCCO OVER PLYWOOD SHEATHING. [CRC R703.6.3]
- D. PROVIDE WEEP SCREED AT FOUNDATION PLATE LONE ON ALL STUCCO WALLS [2019 CRC R703.2.1]
- E. WEEP SCREED SHALL BE 4" ABOVE EARTH AND 2" ABOVE PAVED AREA.
- F. CRAWL SPACE VENTS DO NOT INSTALLED IN SHEAR WALLS.
2. NEW WINDOWS SHALL MEET THE FOLLOWING SPECIFICATION:
- A. NEW WINDOW FRMAE TO BE YINYL, COLOR TO BE SELECTED.
- B. WINDOW GLAZING TO HAVE 0.31 U-FACTOR AND 0.27 SHGC
- C. SLIDING GALLSS DOOR TO HAVE SAME U-FACTOR AND SHGC VAUE.
3. BUILDING ADDRESS TO BE:
- A. MIN. 4" LETTER.
- B. COLOR TO BE CONTRAST WITH BACKGROUND COLOR.
- C. VISIBLE FRON STREET.

1

7/8" corrugated metal roofing sheets



Western state metal roofing

2

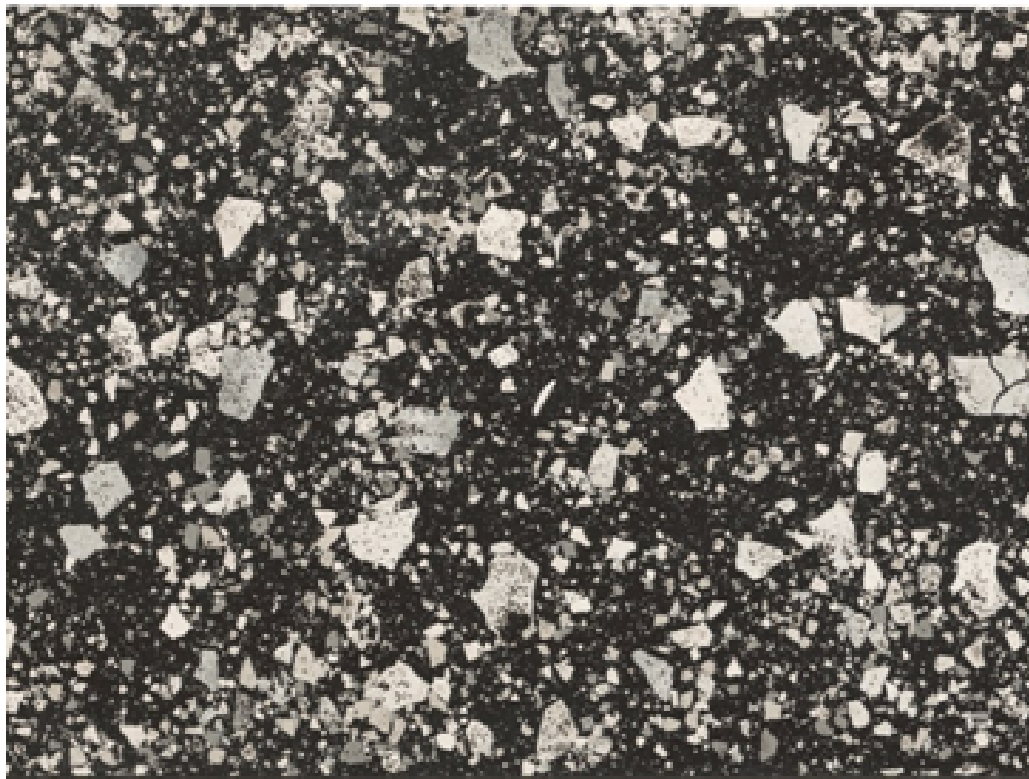
NEW TECHWOOD



EUROPEAN SIDING NORWEGIAN BOARD
UH46 BRAZILIAN IPE

3

Specceramics



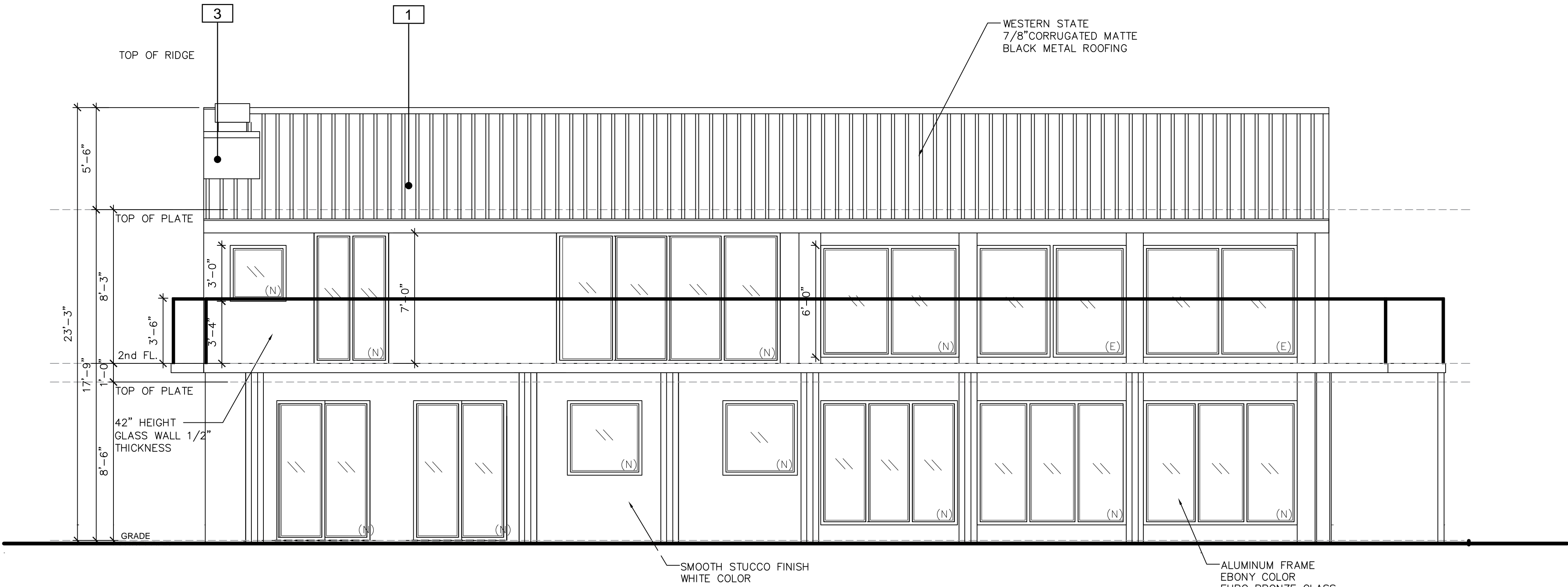
Venice Villa Terrazzo porcelain
Graphite



1

1/4"=1'-0"

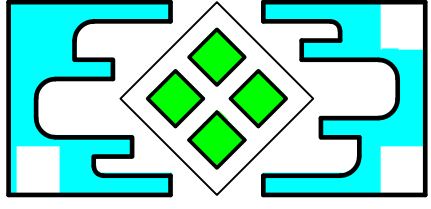
EXISTING REAR ELEVATION



2

1/4"=1'-0"

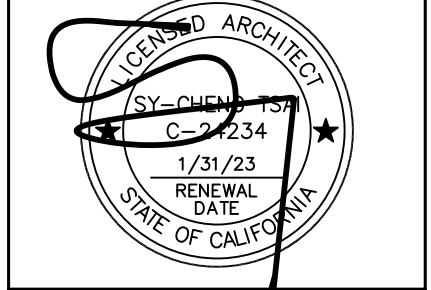
PROPOSED REAR ELEVATION



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**Annie's Residence
Remodeling**

11470 Page Mill Road, Los Alto Hills, CA

EXISTING &
PROPOSED
ELEVATIONS

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JOB NO. TS211148

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SHEET NO.

A2.1

DRAWN BY:

ELEVATION NOTES:

1.

EXTERIOR STUCCO FINISH:

A.

STUCCO IS 3-COAT SYSTEM, 7/8-INCH MINIMUM. [CRC R703.6.2]

B.

INSTALL 26 GAGE GALVANIZED WEEP. [CRC 703.5.2.1]

C.

TWO LAYERS OF GRADE "D" BUILDING PAPER UNDER STUCCO OVER PLYWOOD SHEATHING. [CRC R703.6.3]

D.

PROVIDE WEEP SCREED AT FOUNDATION PLATE LONE ON ALL STUCCO WALLS [2019 CRC R703.2.1]

E.

WEEP SCREED SHALL BE 4" ABOVE EARTH AND 2" ABOVE PAVED AREA.

F.

CRAWL SPACE VENTS DO NOT INSTALLED IN SHEAR WALLS.

2.

NEW WINDOWS SHALL MEET THE FOLLOWING SPECIFICATION:

A.

NEW WINDOW FRMAE TO BE VINYL, COLOR TO BE SELECTED.

B.

WINDOW GLAZING TO HAVE 0.31 U-FACTOR AND 0.27 SHGC.

C.

SLIDING GALLSS DOOR TO HAVE SAME U-FACTOR AND SHGC VAUE.

3.

BUILDING ADDRESS TO BE:

A.

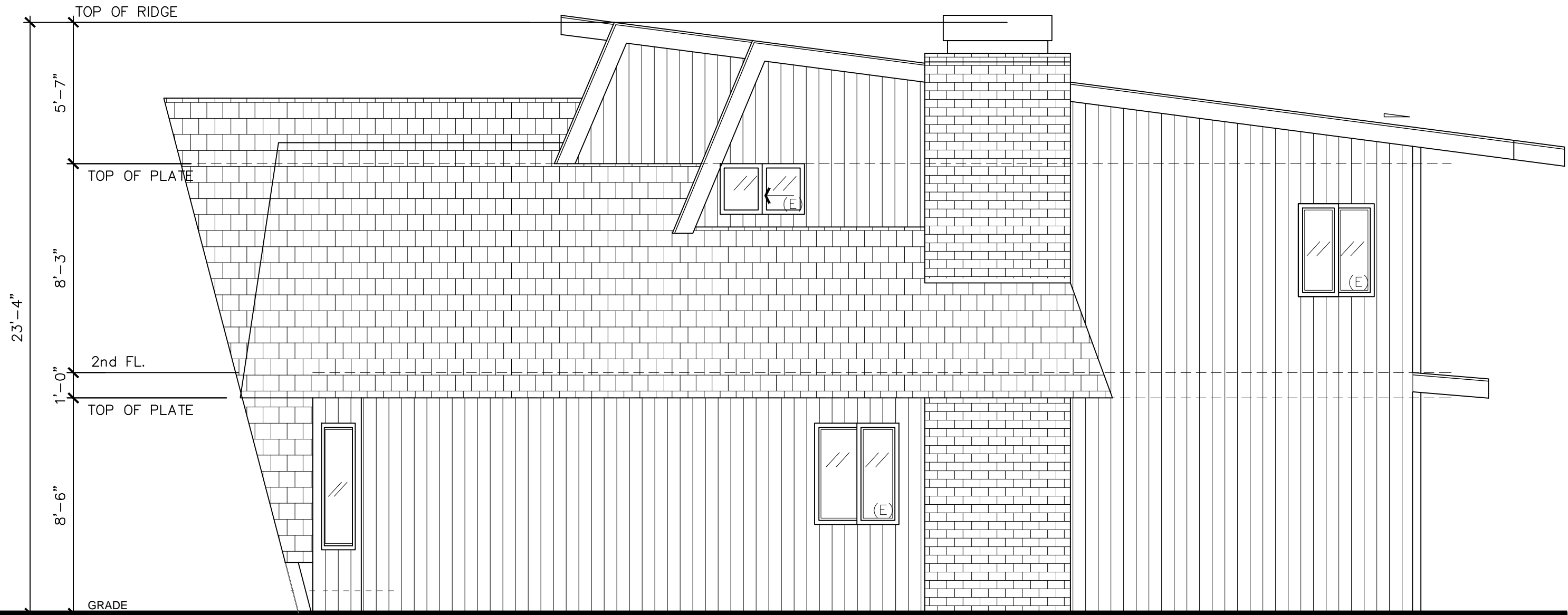
MIN. 4" LETTER.

B.

COLOR TO BE CONTRAST WITH BACKGROUND COLOR.

C.

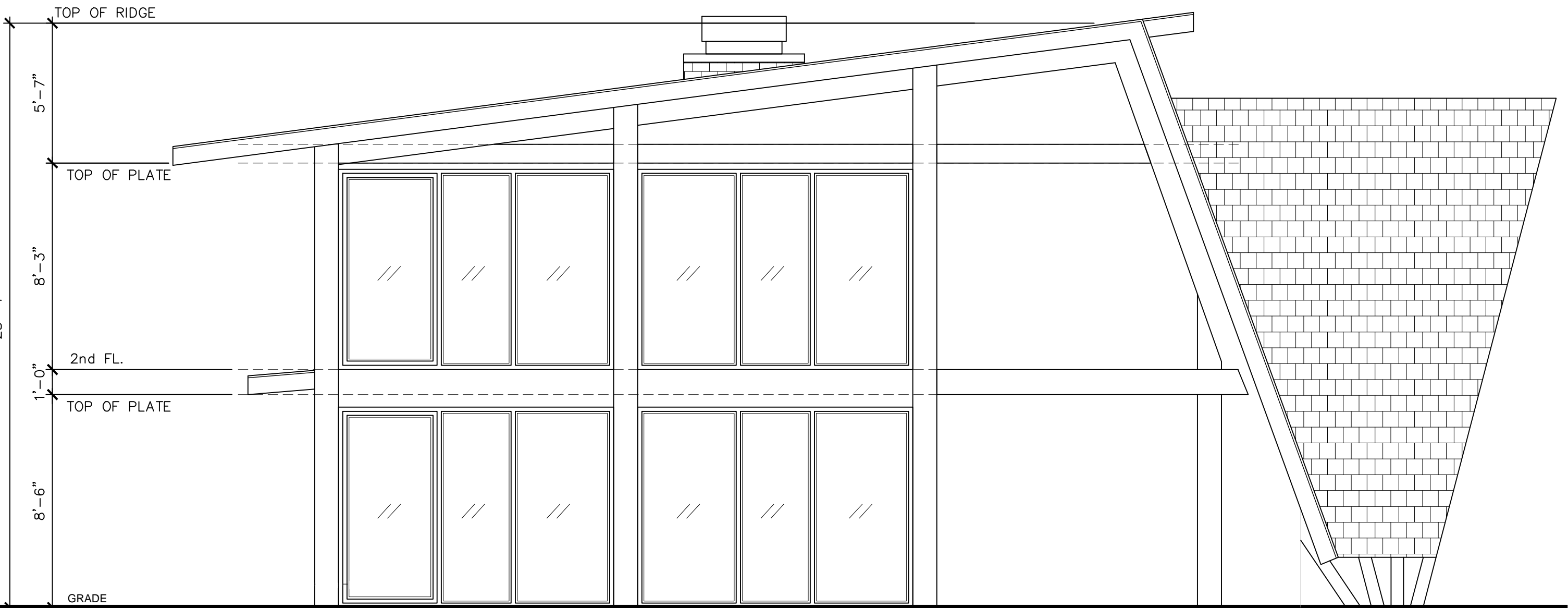
VISIBLE FRON STREET.



3

1/4"=1'-0"

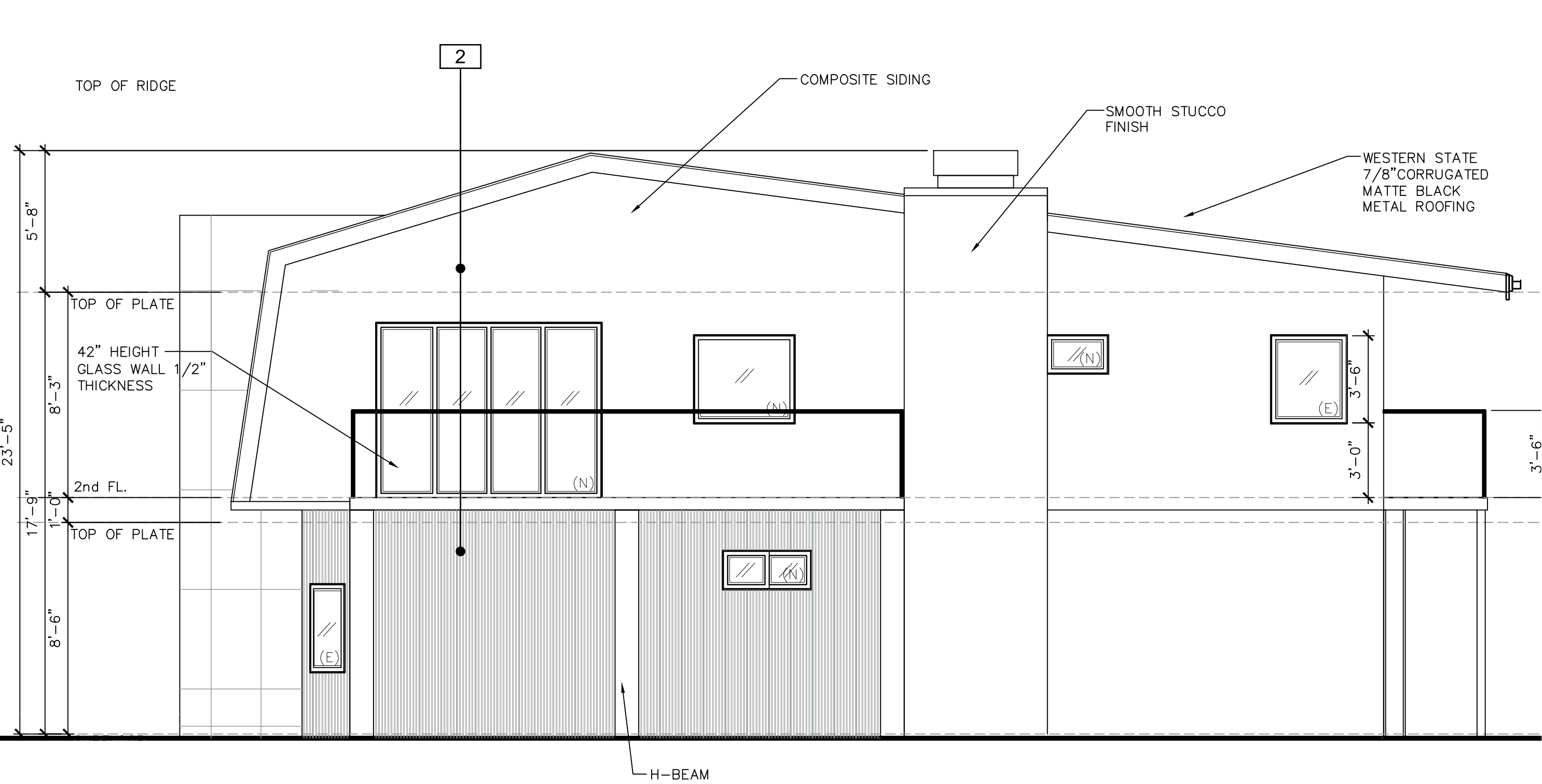
EXISTING RIGHT ELEVATION



1

1/4"=1'-0"

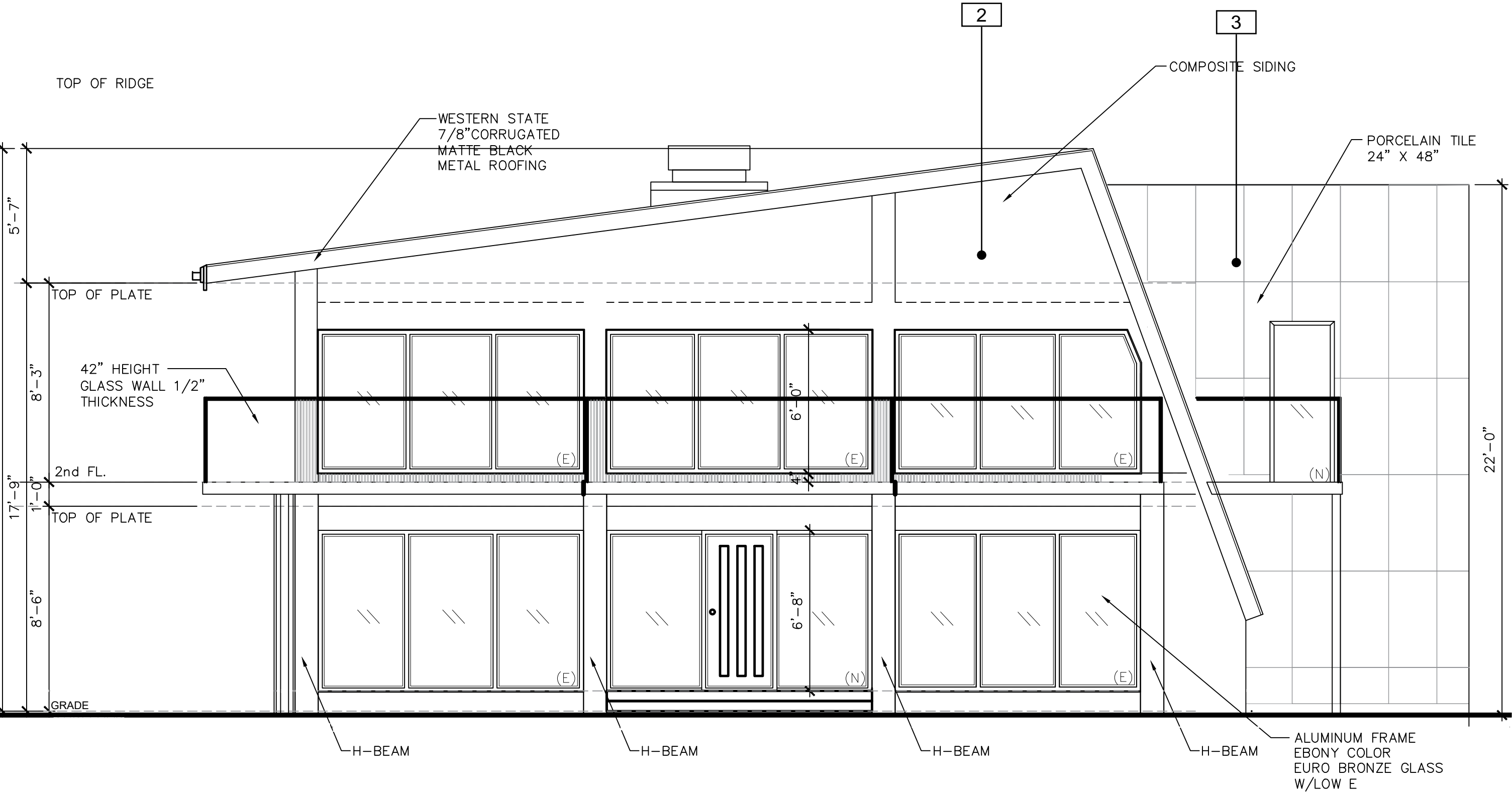
EXISTING LEFT ELEVATION



4

1/4"=1'-0"

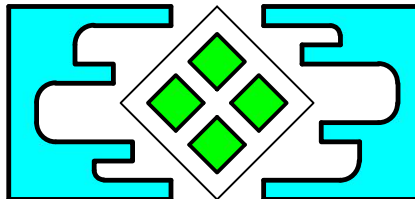
PROPOSED RIGHT ELEVATION



2

1/4"=1'-0"

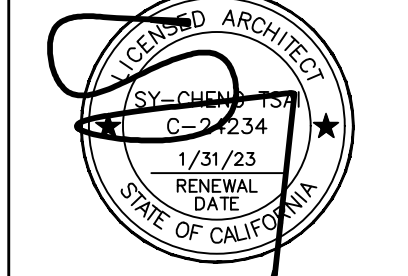
PROPOSED LEFT ELEVATION



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Annie's Residence
Remodeling
11470 Page Mill Road, Los Alto Hills, CA

EXISTING &
PROPOSED
ELEVATIONS

DATE: 06/20/2022

JOB NO. TS211148

ISSUE & REVISION

	01/20/22	ROA Change
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3	06/20/22	Owner Rev
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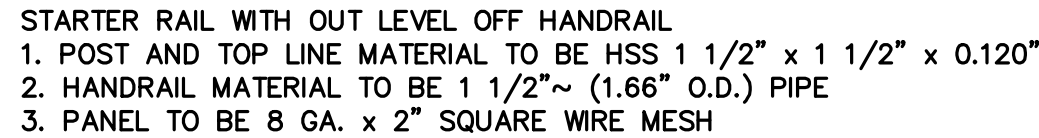
SHEET NO.

A2.2

DRAWN BY:

13 $3/4"=1'-0"$

10 $3/4" = 1'-0"$

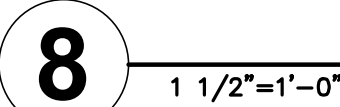


7 $1/2'' = 1' - 0''$

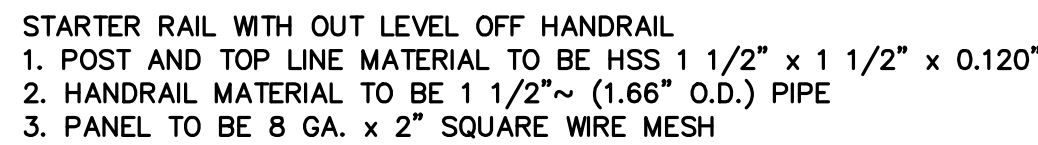


7 $1/2'' = 1' - 0''$

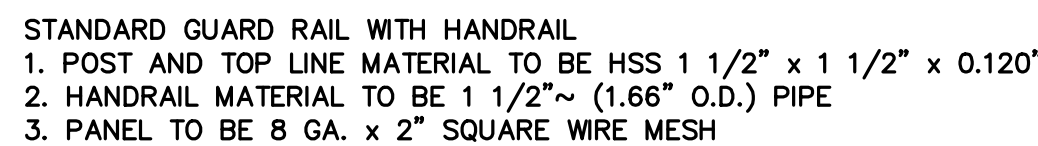
- NOTE: CHECK W/ STRUC. DWG. FOR FRAMING



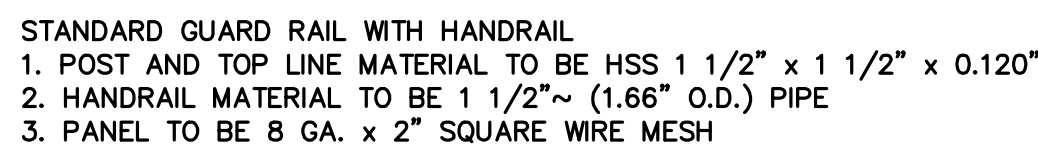
R-STAIR-DTL-18



11 $\frac{3}{4}" = 1' - 0"$



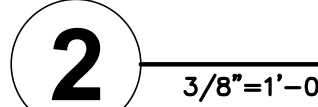
9 $3/4" = 1' - 0"$



1 $\frac{3}{8}'' = 1' - 0$

Diagram showing the elevation view of a 12' x 12' window unit. The unit is divided into 12 vertical panes. Dimensions include a total width of 12' (12 x 11" panes + 11" TREAD) and a total height of 12' (12 x 11" panes + 11" TREAD). Callouts 7, 8, 11, and 12 indicate specific features or components.

1 $\frac{3}{8}'' = 1' - 0$

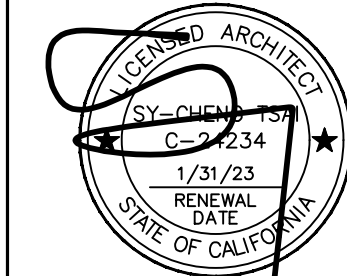


3 $3/8" = 1' - 0"$

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Annie's Residence Remodeling

11470 Page Mill Road, Los Alto Hills, CA

DATE: 06/20/2022

JOB NO. TS211148

JOB NO. TS211148

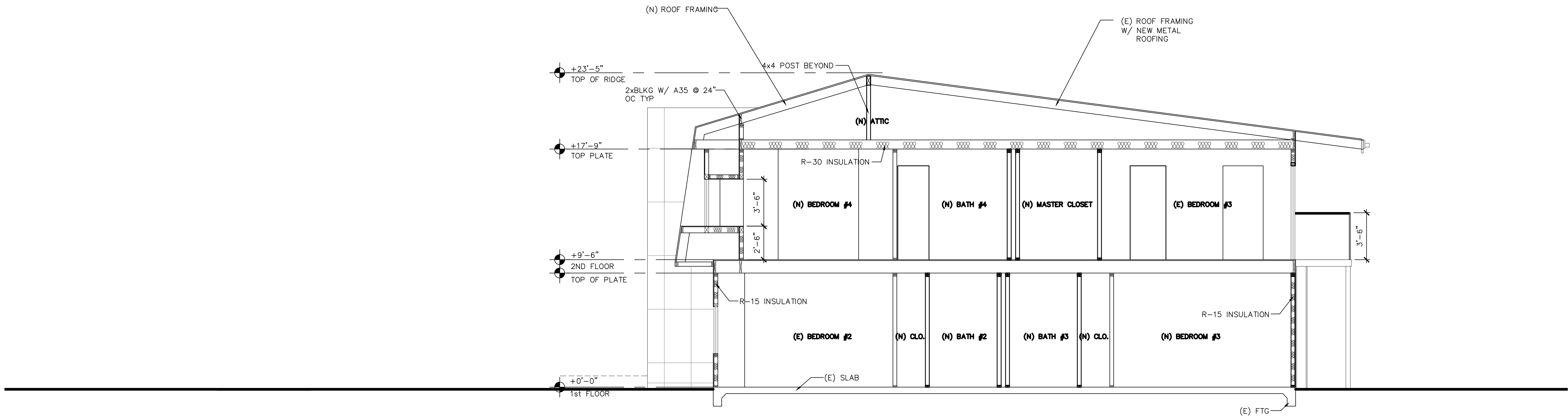
ISSUE & REVISION

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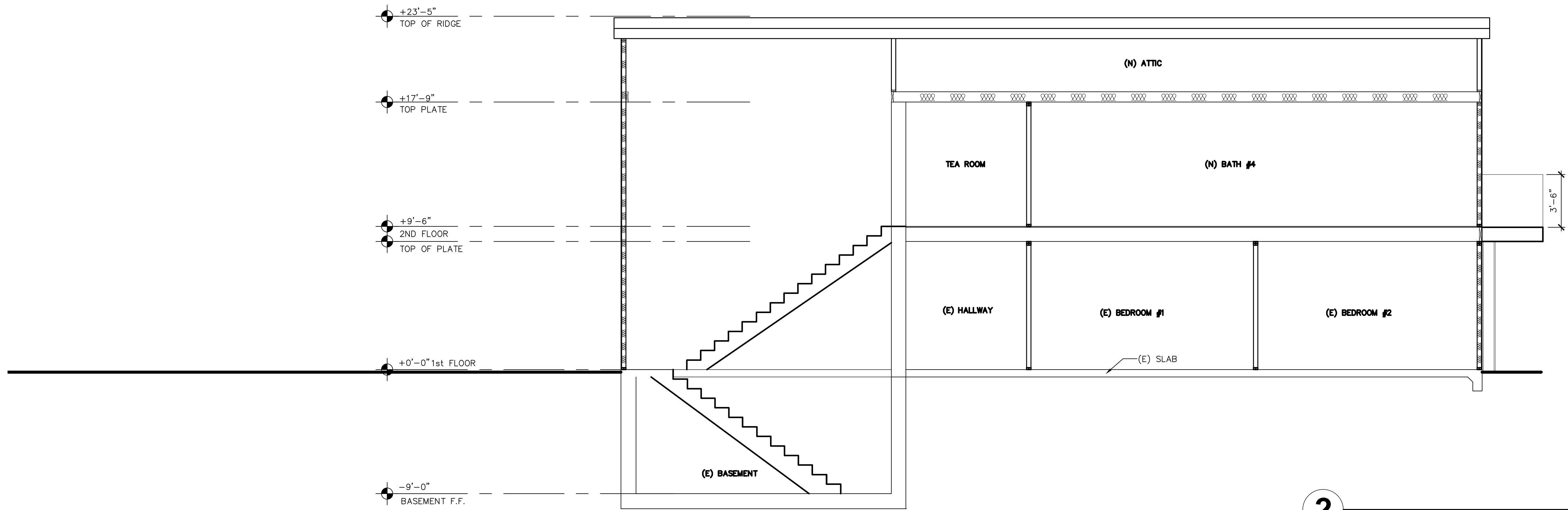
SHEET NO.

A2.3

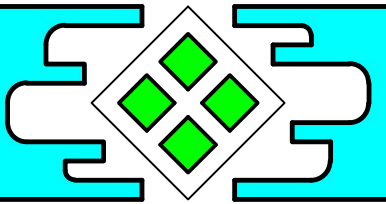
DRAWN BY:



1 1/4"=1'-0" SECTION



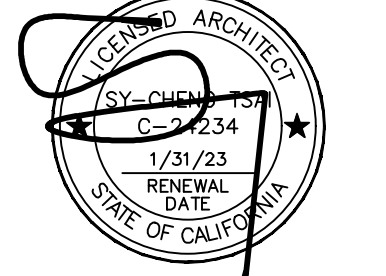
2 1/4"=1'-0" SECTION



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**Annie's Residence
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11470 Page Mill Road, Los Alto Hills, CA

SECTIONS

DATE: 06/20/2022

JOB NO. TS211148

ISSUE & REVISION

	01/20/22	ROA Change
1		
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3	06/20/22	Owner Rev
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SHEET NO.

A2.4

DRAWN BY:

TOPOGRAPHICAL LAND SURVEY

LANDS OF BALKENHOL TRUSTS
PER GRANT DEED DOCUMENT #20860545
11470 PAGE MILL ROAD, LOS ALTOS HILLS
SANTA CLARA COUNTY, CALIFORNIA
APN: 351-01-043 SEPTEMBER 2016

CONSISTING OF ONE SHEET



American Baseline Company

1736 Ravizza Avenue, Santa Clara, CA 9505
408/394-9281, americanbaseline.com



SCALE : 1 Inch = 16 Feet

PRELIMINARY DRAFT

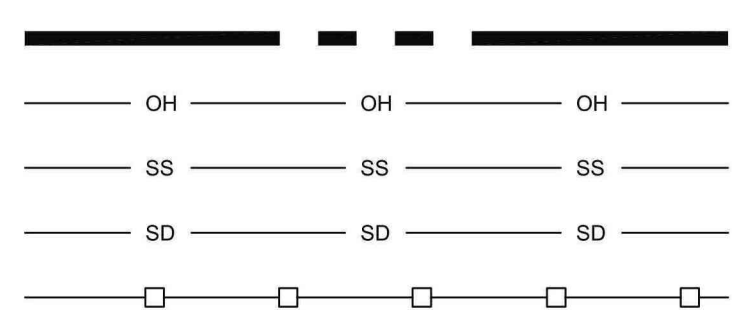


SLOPE/AREA CALCULATIONS







WHERE:
 S = AVERAGE SLOPE OF AN AREA IN %
 L = THE CONTOUR INTERVAL IN FEET
 L = COMBINED LENGTH OF CONTOUR LINES IN FEET
 A_n = AREA IN ACRES
 THEN:
 $S = .0023 \text{ } l \text{ } L / A_n = 29.9\%$
 $S = .0023 \times 5 \times 1,902' / 0.731 \text{ ACRES} = 29.9\%$

$$\text{LUF} = (0.731)\{1 - [0.02143(29.9 - 10)]\} = 0.41$$

LEGEND



PROPERTY LINE
OVERHEAD UTILITY LINE
SANITARY SEWER LINE
STORM RAIN LINE
WOOD FENCE

AD	AREA DRAIN
APN	ASSESSOR'S PARCEL NUMBER
AC	ASPHALT
CB	CATCH BASIN
CO	CLEANOUT
CONC	CONCRETE
DIW	DRIVEWAY
EB	ELECTRIC BOX
EP	ELECTRIC METER
EF	EDGE OF PAVEMENT
FF	FINISHED FLOOR
	FIRE HYDRANT
GND	GROUND
GA	GUY ANCHOR
GM	GAS METER
	GAS VALVE
IV	IRRIGATION VALVE
	JOINT POLE
MB	MAIL BOX
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
	STREET LIGHT
	TREE
WM	WATER METER
	WATER VALVE
P	WOOD POST

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHICAL SURVEY MADE BY ME OR BY REPOSIBLE CHARGES UNDER MY DIRECTION IN CONFORMANCE WITH THE PROFESSION OF LAND SURVEYING AT THE REQUEST OF SC DESIGN IN AUGUST 2016.

REFERENCES

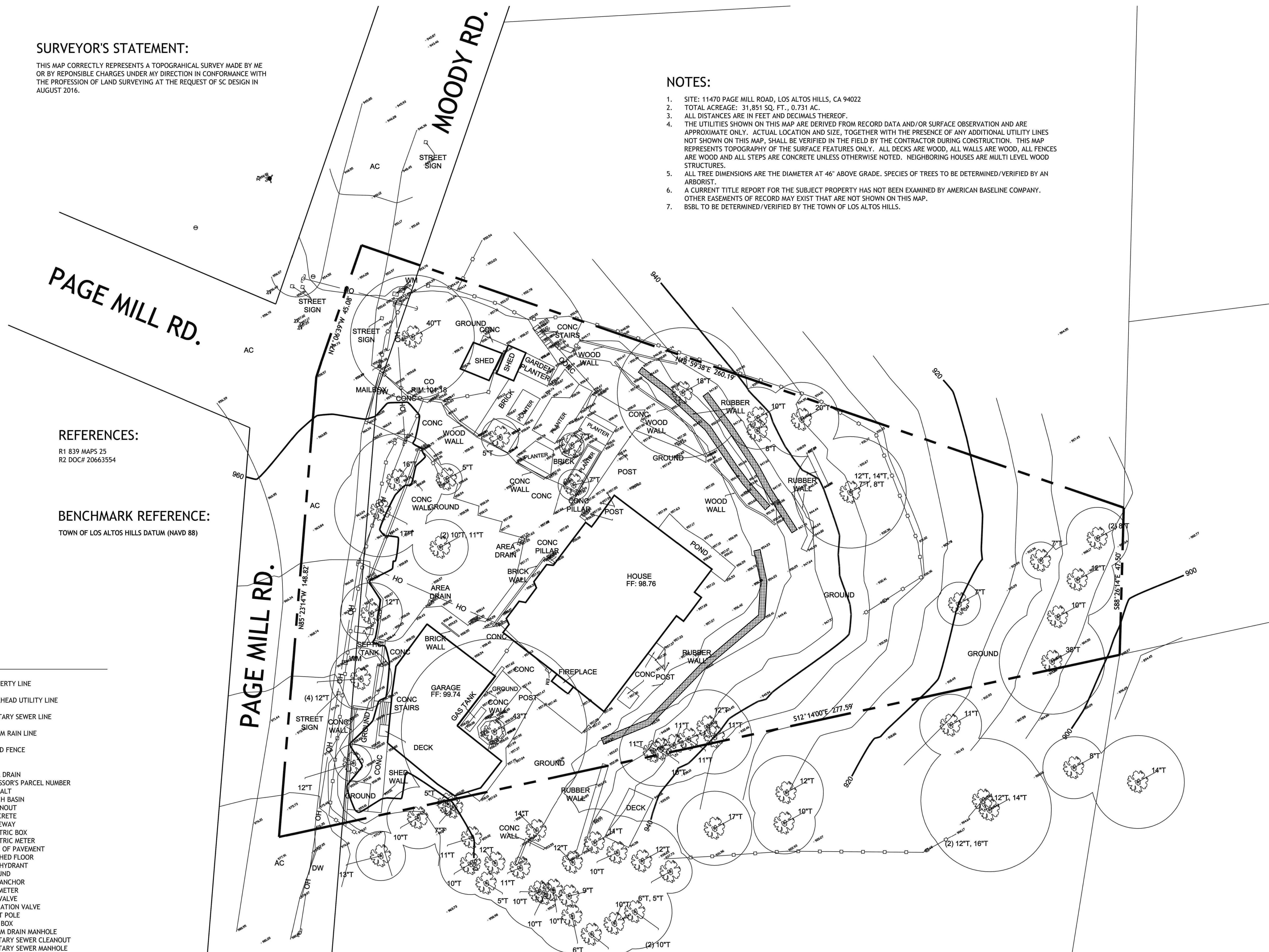
R1 839 MAPS 25
R2 DOC# 2066355

BENCHMARK REFERENCE

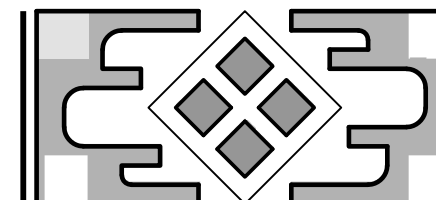
TOWN OF LOS ALTOS HILLS DATUM (NAVD 88)

NOTES:

1. SITE: 11470 PAGE MILL ROAD, LOS ALTOS HILLS, CA 94022
2. TOTAL ACREAGE: 31,851 SQ. FT., 0.731 AC.
3. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
4. THE UTILITIES SHOWN ON THIS MAP ARE DERIVED FROM RECORD DATA AND/OR SURFACE OBSERVATION AND ARE ADAPTED TO THE ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS MAP, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. ALL DECKS ARE WOOD, ALL WALLS ARE WOOD, ALL FENCE ARE WOOD AND ALL STEPS ARE CONCRETE UNLESS OTHERWISE NOTED. NEIGHBORING HOUSES ARE MULTI LEVEL WOOD STRUCTURES.
5. ALL "TREE DIMENSIONS ARE THE DIAMETER AT 46" ABOVE GRADE. SPECIES OF TREES TO BE DETERMINED/VERIFIED BY AN ARBORIST.
6. A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY AMERICAN BASELINE COMPANY. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
7. BBSL TO BE DETERMINED/VERIFIED BY THE TOWN OF LOS ALTOS HILLS.



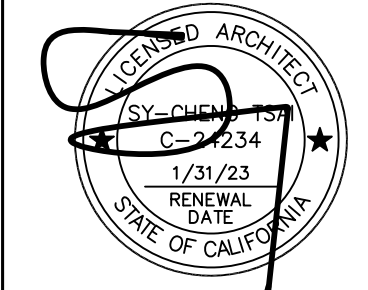
**GRADING PLAN FOR REFERENCE ONLY, ALL EXISTING
GRADING TO REMAINS UN CHANGED, NO NEW GRADING
WORK PROPOSED ON SITE**



**T SQUARE
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UNO, Inc.
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SY-CHENG TSAI C-24234

Annie's Residence Remodeling

11470 Page Mill Road, Los Altos Hills, CA

EXISTING GRADING PLAN

DATE: 06/20/2022

JOB NO. TS211148

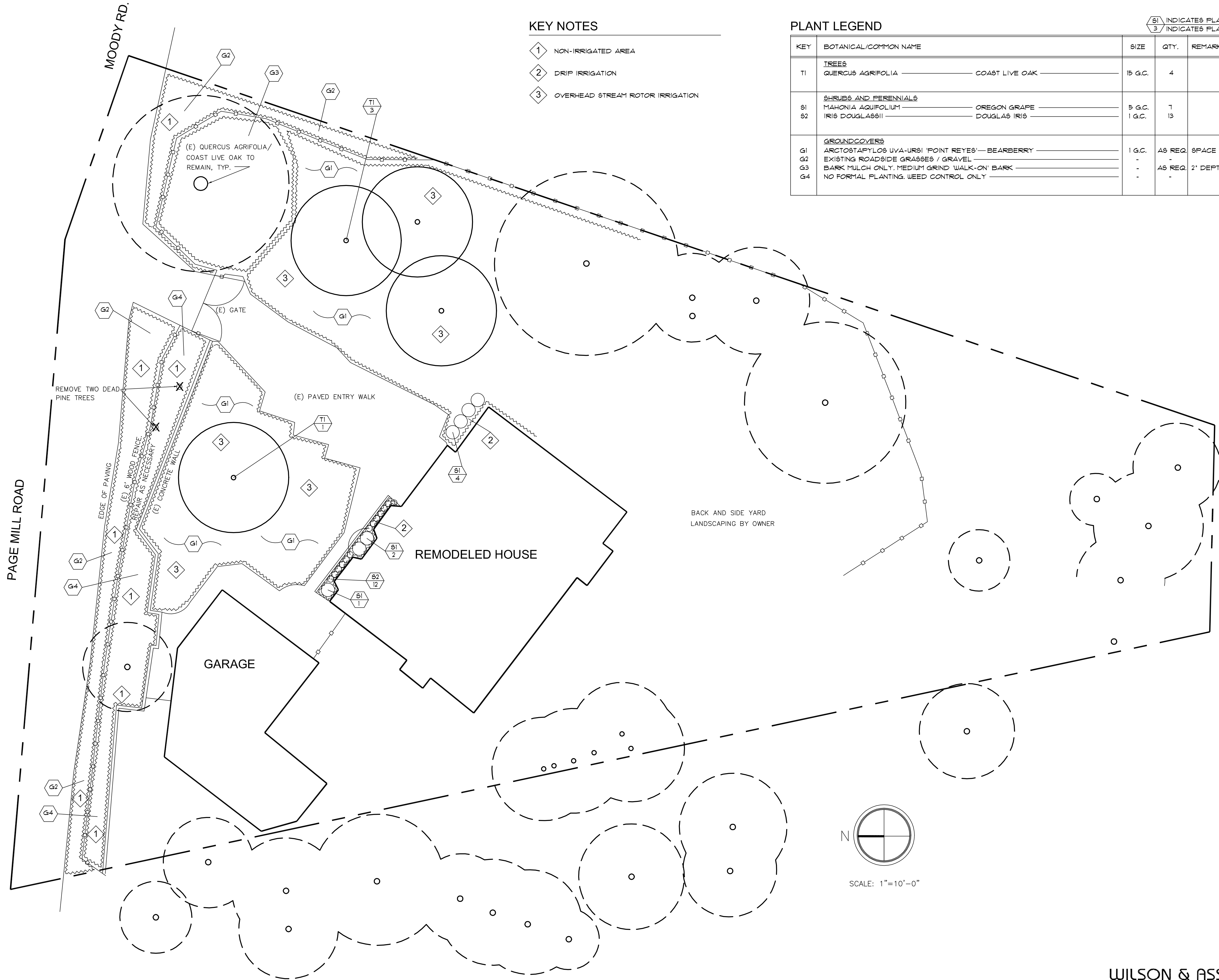
ISSUE & REVISION

	01/20/22	ROA Change
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SHEET NO.

C-1

DRAWN BY:



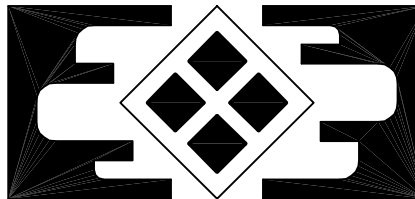
KEY NOTES

- 1 NON-IRRIGATED AREA
- 2 DRIFT IRRIGATION
- 3 OVERHEAD STREAM ROTOR IRRIGATION

PLANT LEGEND

KEY	BOTANICAL/COMMON NAME	SIZE	QTY.	REMARKS
TI	TREES QUERCUS AGRIFOLIA _____ COAST LIVE OAK _____	15 G.C.	4	
S1 S2	SHRUBS AND PERENNIALS MAHONIA AQUIFOLIUM _____ OREGON GRAPE _____ IRIS DOUGLASSII _____ DOUGLAS IRIS _____	5 G.C. 1 G.C.	1 13	
G1 G2 G3 G4	GROUNDCOVERS ARCTOSTAPHYLOS UVA-URSI 'POINT REYES'— BEARBERRY _____ EXISTING ROADSIDE GRASSES / GRAVEL _____ BARK MULCH ONLY, MEDIUM GRIND 'WALK-ON' BARK _____ NO FORMAL PLANTING, WEED CONTROL ONLY _____	1 G.C. - - -	AS REQ. - AS REQ. -	SPACE TRI. @ 3' O.C. 2' DEPTH

S1 INDICATES PLANT KEY
3 INDICATES PLANT QUANTITY



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**Annie's Residence
Remodeling**
11470 Page Mill Road, Los Alto Hills, CA

LANDSCAPE
PLAN

DATE: 01/12/2023

JOB NO.

ISSUE & REVISION

1		
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SHEET NO.

L1.0

DRAWN BY: CW

WILSON & ASSOCIATES
LANDSCAPE ARCHITECTURE
815 SAN DIEGO ROAD • BERKELEY, CA 94707
PH: 510-644-9602 • E: cwilson815@gmail.com