

General Construction Specifications

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY Archimedes Engineering Co. AND DATED MAY 3, 2021. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS, 6) ANY CONFLICTS BETWEEN THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
2. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND SPECIFICATIONS. THE DEVELOPER OR THE DEVELOPER'S PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER RECLAMATION DISTRICT FOR ANY TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED 15 FEET (4.57M) VERTICAL CLEARANCE FOR ROADWAY AREA.
6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNDER AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
9. UPON DISCOVERY OF OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE BURIAL SITE MAY BE MADE WITHOUT THE WRITTEN APPROVAL OF THE PLANNING OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18).
10. THESE PLANS AND THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY, A SHALL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE IDENTIFIED AND IDENTIFICATION MARKED BY THE DEVELOPER'S ENGINEER OR CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
2. A. THE PROPERTY LINE STAKES SHALL BE IDENTIFIED BY THE DEVELOPER'S ENGINEER. CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER AND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND SECURE ACCESS TO THE SITE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF CONSTRUCTION AND CONSTRUCTION PROCEDURES TO DETERMINE COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDING OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL.
4. CONTRACTOR SHALL ADVISE PERMIT INSPECTION UNIT, SANTA CLARA COUNTY (PHONE (408) 298-6688 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
5. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
6. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH A LIST OF ALL ANNUAL AND PERMANENT INSPECTION SUBJECT ENGINEERS OR LAND SURVEYORS, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

1. CONTRACTOR SHALL NOTIFY UTA (UNDERGROUND SERVICE ALERT) AT 1-800-272-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCEPTABLE VERIFICATION AS TO SIZE, LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES SHALL BE THE INDIVIDUAL CONTRACTOR'S RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE UTILITY COMPANY AND WATER AND GAS RECORDS INDICATE NO GAS AREAS.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS, THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS AND BRIDGES, AND SHALL BE 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 85 AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGH TYPE PAVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.
5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SUBGRADE MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR UNDERGROUND BACKFILL, BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARD TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHUOT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL IS TO BE PLACED, THE SURFACE SHALL BE BENCHMARKED TO THE EXISTING GRADE. VEGETATION SHALL BE REMOVED TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHMARKED AND THE FILL KEYED IN TO THE EXISTING STABLE SLOPE. FILL SHALL BE PLACED IN LAYERS TO MATCH THE EXISTING FILL. THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS FOLLOWS THESE CONSTRUCTION NOTES: FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 18" IN THICKNESS. EACH LIFT SHALL BE THOROUGHLY MIXED BY DISC OR OTHER MEANS TO ENSURE UNIFORMITY. FILL SHALL BE PLACED TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTING TO ENSURE UNIFORMITY. FILL SHALL BE PLACED TO A MINIMUM OF 2% COMPACTED TO WITHSTAND WEATHERING IN THE AREAS) DELINEATED ON THE PLAN. NO EXCESS CUT MATERIAL SHALL BE SPREAD OR STOCKPILED ON THE SITE.
2. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREAS) DELINEATED ON THE PLAN. NO EXCESS CUT MATERIAL SHALL BE SPREAD OR STOCKPILED ON THE SITE.
3. NO EXCESS CUT MATERIAL SHALL BE SPREAD OR STOCKPILED ON THE SITE.
4. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
5. MAXIMUM SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.

EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.

8. ALL MATERIALS FOR FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.

9. THE UPPER 8" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.

10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.

11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.

12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.

13. GRADATION BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.

14. TOTAL DISTURBED AREA FOR THE PROJECT 29.196 SF

15. WIDED NO N/A

16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREE SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
 - A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIFLINE OF THE TREE OR GRASS OR TREE CANOPY.
 - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 - C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 - D. SIGNAGE STATING, "WARNING: THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 298-0700. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov/>" SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURED IN-PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT). ALL DRIVEWAY OR COMMON ACCESS DRIVEWAYS IN EXCESS OF 15' LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
2. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PUBLIC SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
3. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY ROAD SYSTEM.
4. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAYS, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC.

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

COUNTY OF SANTA CLARA
LAND DEVELOPMENT ENGINEERING & SURVEYING

GRADING / DRAINAGE PERMIT NO. _____

ISSUED BY: _____ DATE: _____

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN FULLY OPERATIONAL WINDSHIELDS.
3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. SWEEP STREETS DAILY ON ADJACENT AREAS IF VISIBLE SOIL MATERIAL IS CARRIED ONTO OR NEAR PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE RESOURCES MEASUREMENT SYSTEM (CARMS) REGULATIONS AND CALIFORNIA REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR AND ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
8. POST A SIGN THAT IS AT LEAST 14 SQUARE FEET MINIMUM 2 INCHES LETTER HIGH VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
 - A. 15 MILES PER HOUR (MPH)
 - B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
 - C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING SUDS COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367

1. CAPABLE OF WITHSTANDING WEATHERING.

2. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDING WITH BROOME SEED SPREAD AT THE RATE OF 100 LBS PER ACRE. SEEDING SHALL BE COMPLETED IMMEDIATELY. SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.

3. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.

4. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE AND EXIT. EROSION CONTROL SHALL BE MAINTAINED. CURB-RAP, DITCH, AND DITCH-OUTLET DISSEMPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS, WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.

5. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDING IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.

6. PERMANENT LANDSCAPING SHALL BE DONE ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE COUNTY ENGINEER.

7. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO APPROXIMATE 15TH OF EVERY YEAR.

8. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT EROSION, DISCHARGE OF POLLUTANTS, AND UNDESIRABLE CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE, BMPs SHALL INCLUDE, BUT NOT LIMITED TO:

9. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/ STAGING AREAS.

10. PREVENTION OF TRAILER, EQUIPMENT, MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.

11. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.

12. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS WASTE, EXCAVATED MATERIALS, AND WASTE, ARE LOCATED OUTSIDE OF THE CURB, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.

13. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO MAINTAIN THE SITE AND CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE PERMITS MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES. THE MAINTENANCE OF THE FACILITIES SHALL BE THE DUTY OF THE HEIR, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAGE212008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAG500004/ ORDER NO. 2013-0001-DWG. DROP INLETS SHALL BE CONSTRUCTED STANDARD TYPE 5 UNLESS OTHERWISE NOTED. THE PUBLIC UTILITY DEPARTMENT SHALL BE NOTIFIED PRIOR TO THE CONSTRUCTION OF THE LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 90° SINGLE CURB LINE TO ACCEPT WATER AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
4. FOR AN INTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES THE DEVELOPER SHALL INSTALLATION OF DRAINAGE CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE INTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE () WERE () WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (*). THERE () WERE () WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS

ISSUED BY: _____ DATE: _____

ENCROACHMENT PERMIT NO. _____



1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND IDENTIFY ALL EXISTING SURVEY MONUMENTS AND RECORDS. ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES, OR ANY OTHER PERSONS, SHALL NOT REMOVE, MOVE, OR DESTROY ANY OTHER PERMANENT SURVEY MONUMENT. SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY CLERK'S OFFICE. THE SURVEYOR SHALL IDENTIFY AND MARK ALL PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT CAN BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE SURVEYOR SHALL SUBMIT TO THE COUNTY CLERK'S OFFICE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THE TREE PROTECTIVE FENCING IS PROPERLY IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL, CONSTRUCTED OF STURDY MATERIAL (WOOD, METAL OR EQUIVALENT STRENGTH DURABLE).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD. ANY DAMAGE TO THE FENCE OR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICIAL" SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO.

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OR ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE	Darrell K.H. Wong, PE	
	63958	9/30/2024
	R.C.E. NO.	EXPIRATION DATE



1. Construct a single family residence of 1513 square feet of living area.
2. Construct a 49 square foot covered porch and a 742 square foot deck.
3. Construct a 441 square foot detached garage.
4. Construct a driveway and fire truck turnaround to serve the residence.
5. Construct a new OWTS to serve the residence.

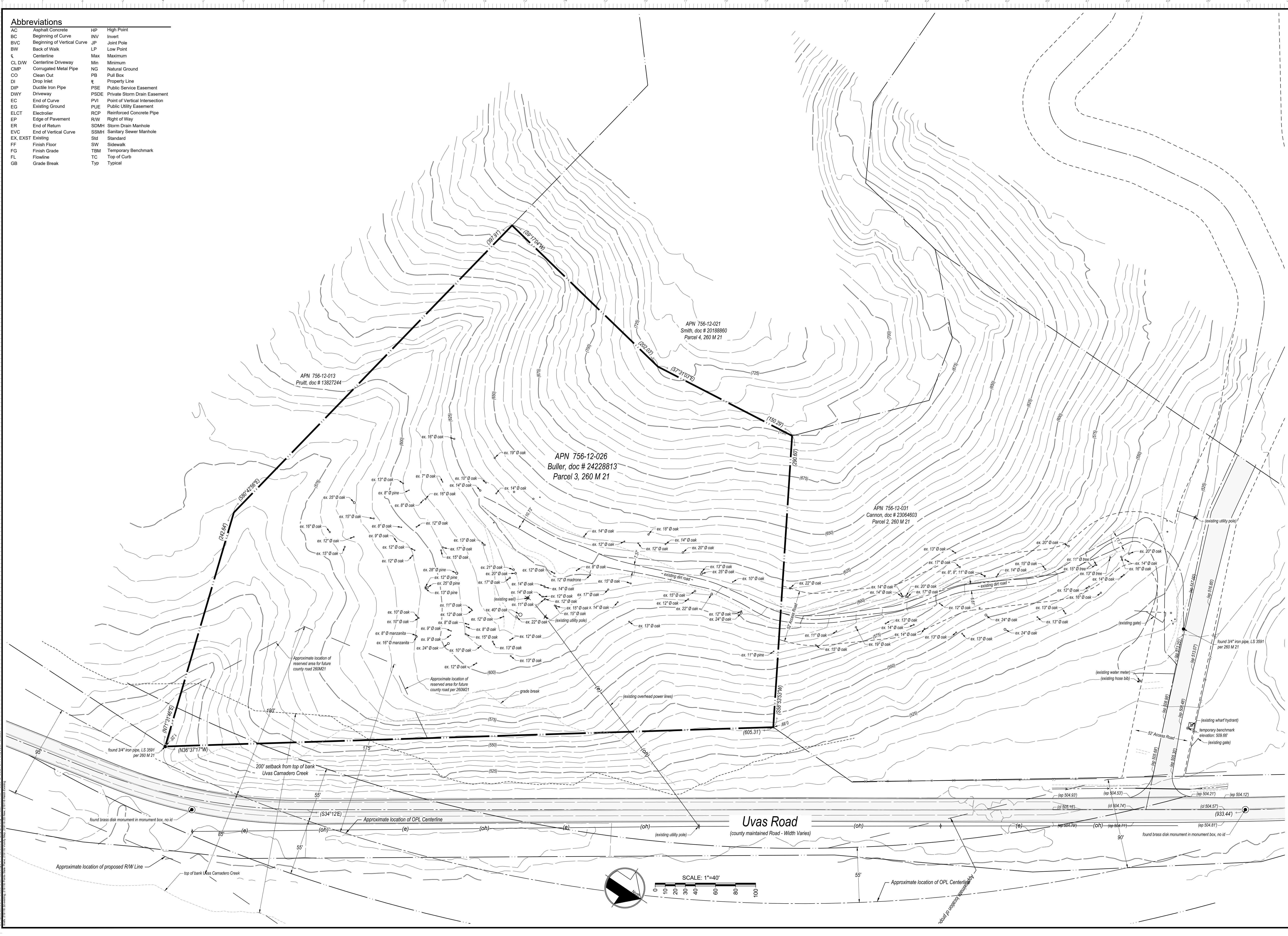
AC	Asphalt Concrete
AB	Aggregate Base
BLD	Building
BW	Back of Sidewalk
℄	Centerline
CMP	Corrugated Metal Pipe
EG	Existing Grade
EP	Edge of Pavement
EX	Existing
FF	Finish Floor
FG	Finish Grade
FL	Flow Line
GB	Grade Break
HP	High Point
INV	Invert
MAX	Maximum
MIN	Minimum
NG	Natural Ground
℄	Property Line
PSE	Public Service Easement
PSDE	Private Storm Drain Easement
RCP	Reinforced Concrete Pipe
SW	Sidewalk
TYP	Typical
WV	Water Valve

LEGEND		
PROPOSED	EXISTING	DESCRIPTION
----	----	PROPERTY LINE
----	----	CENTER LINE
SD	(SD)	STORM DRAIN
SS	(SS)	SANITARY SEWER
W	(W)	WATER MAIN
	(G)	GAS
E	(E)	ELECTRIC
	(T)	TELEPHONE
	---x---x---x---x---	FENCE, TYPE AS SHOWN
		BENCH MARK
		MONUMENT, TYPE AS SHOWN
		REVISION
		SECTION - DETAIL SHEET NO.
--- 2.2% ---	--- (2.1%) ---	SWALE SLOPE
		DROP INLET
		FIRE HYDRANT
		GATE VALVE
		JOINT POWER POLE

Sheet Index	
1	Cover Sheet/Title Sheet
C2	Existing Topography
C3	Site Plan
C4	Off-Site Plan and Profile
C5	Grading and Drainage Plan
C6	Profile, Sections, & Details

ENGINEER: David L. Faria
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381 ex. 222
davidf@mhengineering.com

Revision 1	Date	APN 756-12-026 Co. File PLN23-046	Sheet 1 of 6
Revision 2	Date		
Revision 3	Date		



Abbreviations			
AC	Asphalt Concrete	HP	High Point
BC	Beginning of Curve	INV	Invert
BVC	Beginning of Vertical Curve	JP	Joint Pole
BW	Back of Walk	LP	Low Point
CL	Centerline	Max	Maximum
CL D/W	Centerline Driveway	Min	Minimum
CMP	Corrugated Metal Pipe	NG	Natural Ground
CO	Clean Out	PB	Pull Box
DI	Drop Inlet	PL	Property Line
DIP	Ductile Iron Pipe	PSE	Public Service Easement
DWY	Driveway	PSDE	Private Storm Drain Easement
EC	End of Curve	PVI	Point of Vertical Intersection
EG	Existing Ground	PUE	Public Utility Easement
ELCT	Electroclit	RCP	Reinforced Concrete Pipe
EP	Edge of Pavement	R/W	Right of Way
ER	End of Return	SDMH	Storm Drain Manhole
EVC	End of Vertical Curve	SSMH	Sanitary Sewer Manhole
EX, EXST	Existing	Std	Standard
FF	Finish Floor	SW	Sidewalk
FG	Finish Grade	TBM	Temporary Benchmark
FL	Flowline	TC	Top of Curb
GB	Grade Break	Typ	Typical

08/07/2024 11:44:21
FOR PLANCHECK ONLY

PROFESSIONAL LAND SURVEYOR
DAVID L. FARIA
EXP 3-31-2026
NO. 9840
STATE OF CALIFORNIA

FOR PLANCHECK ONLY
signature and seal are provided upon approval

MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Buller - Existing Topography

Uvas Road - APN 756-12-026

DATE: 12/19/2024	JOB NO: 219116
SCALE: 1" = 40'	SHEET: C2
DRAWN BY: DF	OF: 6
CHECKED BY: DF	

Vicinity Map

Applicant/Owner:

Ronit Buller
22191 McCellan Road
Cupertino, CA 95014
408.489.3405
ronit.buller@gmail.com

Engineer:

David L. Faria, RCE 92432
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
davidf@mhengineering.com

Project Information:

APN 756-12-026
Present Use: Vacant
Proposed Use: Residential
Present Zoning: HS-sf
Existing Improvements: As Shown
Water: ex well
Sanitary Sewer: Proposed OWTS
Gas & Electric: ex PGE and propane
Fire Responsibility Area: SRA
Wildland Urban Interface: VHZWUI
HCP Area: Rural Development >= 2 acres
Gross Area: 4.913 ac

Tree Removal Summary

#	Species	Size
1	Oak	21"
2	Oak	20"
3	Oak	17"
4	Oak	14"
5	Oak	14"
6	Oak	12"
7	Oak	15"
8	Oak	22"
9	Oak	12"
10	Oak	15"
11	Oak	22"
12	Oak	12"
13	Oak	24"
14	Oak	11"
15	Oak	19"
16	Oak	13"
17	Oak	12"
18	Oak	16"
19	Oak	20"
20	Oak	8"
21	Oak	14"
22	Oak	14"
23	Oak	13"
24	Madrone	12"
25	Pine	11"
26	Pine	13"
27	Pine	10"
28	Oak	17"
29	Oak	21"
30	Oak	22"

Benchmark: Elevations on these plans are based upon the southeasterly corner of wharf pad located along the access road near the point of connection with Uvas Road.
Elevation= 509.66' (assumed)

Flood Zone: The parcel lies wholly in Zone D, areas in which flood hazards are undetermined, but possible, per FEMA FIRM 06085C0604H, effective 5/18/2009!

Underground Utility Note: Observed surface evidence of utility lines including facilities, appurtenances and markings were used in depicting the location of underground utilities shown on these plans. However, lacking excavation, the exact location and depth of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

Topography Note: Topography shown from field surveys conducted by MH engineering in November of 2019

Boundary Note: Property lines shown on this plan are based on record data and boundary monumentation measured to date per Book 260 of Maps, Page21.

Downspout Note: All rainwater is to be routed to the west side of the structure to the downspouts as shown on the plans.

Fire Notes:

- Property is in wildland urban interface very high(VHZWUI).
- Property is in the State Responsibility Area
- All proposed driveways to be made of an all weather surface capable of supporting 75,000 lbs.
- Fire sprinklers to be a deferred submittal.
- Defensible space shall be maintained at all times.

SLOPE CALCS:

S= I L (100)

A

S= SLOPE

I= CONTOUR INTERVAL

L= CONTOUR LINEAR LENGTH

A= AREA IN SQUARE FEET

I= 5 FT

L= 3,472 FT

A= 46,072 SF

S= 37.7%

Notes:

- No fencing or gates are proposed.
- No landscaping is proposed.
- All non improved disturbed areas to be hydroseeded.

Arborist Trees to be removed

#	Size	Type	Recommendation
1	20"	black oak	Remove
2	18"	black oak	Remove
3	14"	black oak	Remove
4	11"	black oak	Remove
5	16"	black oak	Remove
6	20"	black oak	Remove
16	13"	black oak	Remove
18	8,7,10"	black oak	Remove
21	12"	black oak	Remove
28	22"	black oak	Remove
29	18"	coast live oak	Remove
30	17"	valley oak	Remove
31	21"	black oak	Remove
32	21"	coast live oak	Remove
33	22"	coast live oak	Remove
34	18"	coast live oak	Remove
36	13"	coast live oak	Remove
37	16"	coast live oak	Remove
39	13"	coast live oak	Remove
40	10"	black oak	Remove
41	12"	madrone	Remove
42	22"	coast live oak	Remove
43	20"	coast live oak	Remove
51	20"	black oak	Remove
52	24"	black oak	Remove
53	13"	black oak	Remove

Impervious Area Summary

Proposed Residence	1,513 SF
Proposed Detached Garage	441 SF
Proposed Covered Patio	49 SF
Proposed Walkway	156 SF
Proposed Driveway	12,365 SF
Total New Impervious Area	14,524 SF

Proposed Floor Area

Proposed Residence	1,513 SF
Proposed Attached Garage	441 SF
Total Floor Area	1,954 SF

Earthwork Quantities

	Cut	Fill	Max Cut	Max Fill
Building Pad	515 cy	548 cy	8.00'	8.00'
Driveway	2,873 cy	5 cy	10.00'	4.00'
Total	3,388 cy	553 cy		

Area of Disturbance = 29,196 SF

Tree Planting

Quantity	Species	Size
11	Coast Live Oaks	24" Box
11	Valley Oaks	24" Box
11	Black Oaks	24" Box
33	California Native Trees	24" Box

Planting Note: Locations per arborist report suggestions.

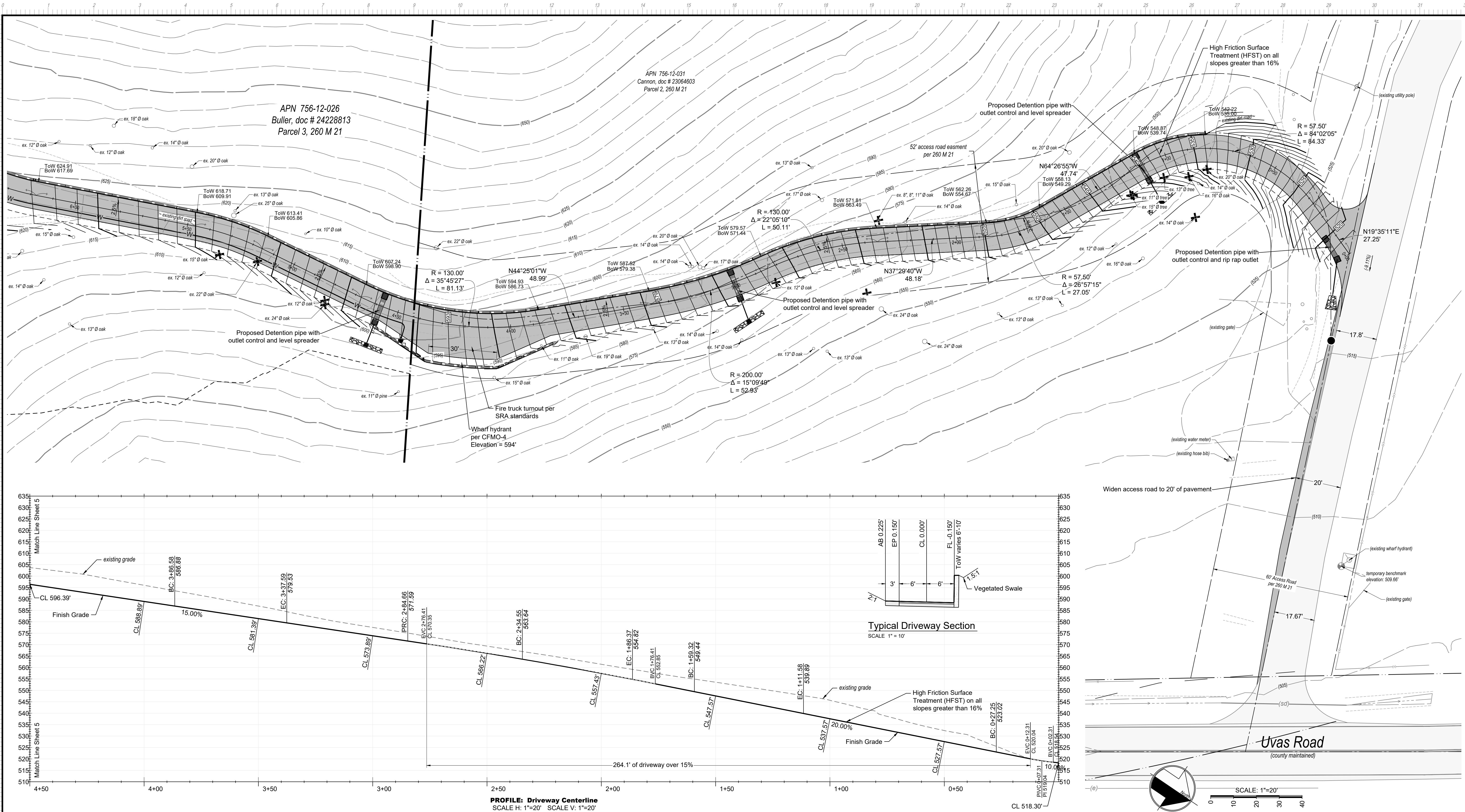


MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Buller - Site Plan
Uvas Road - APN 756-12-026

DATE: 12/19/2024
SCALE: 1" = 40'
JOB NO:
219116
SHEET
C3
OF
6

DRAWN BY: DF
CHECKED BY: DF



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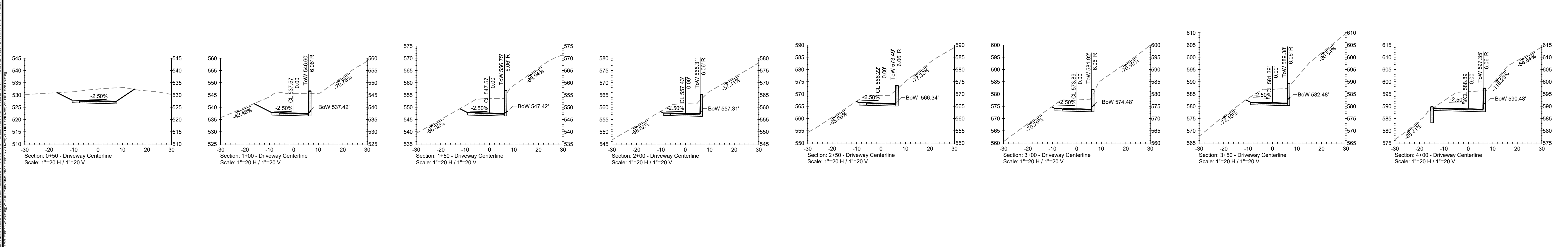
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signature and seal must appear on all drawings

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16075 Vineyard Boulevard
Morgan Hill, CA 95037

Off-Site Plan and Profile

Uvas Road - APN 756-12-026

DATE: 12/19/2024	JOB NO: 219116	SHEET: C4
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OF 6		

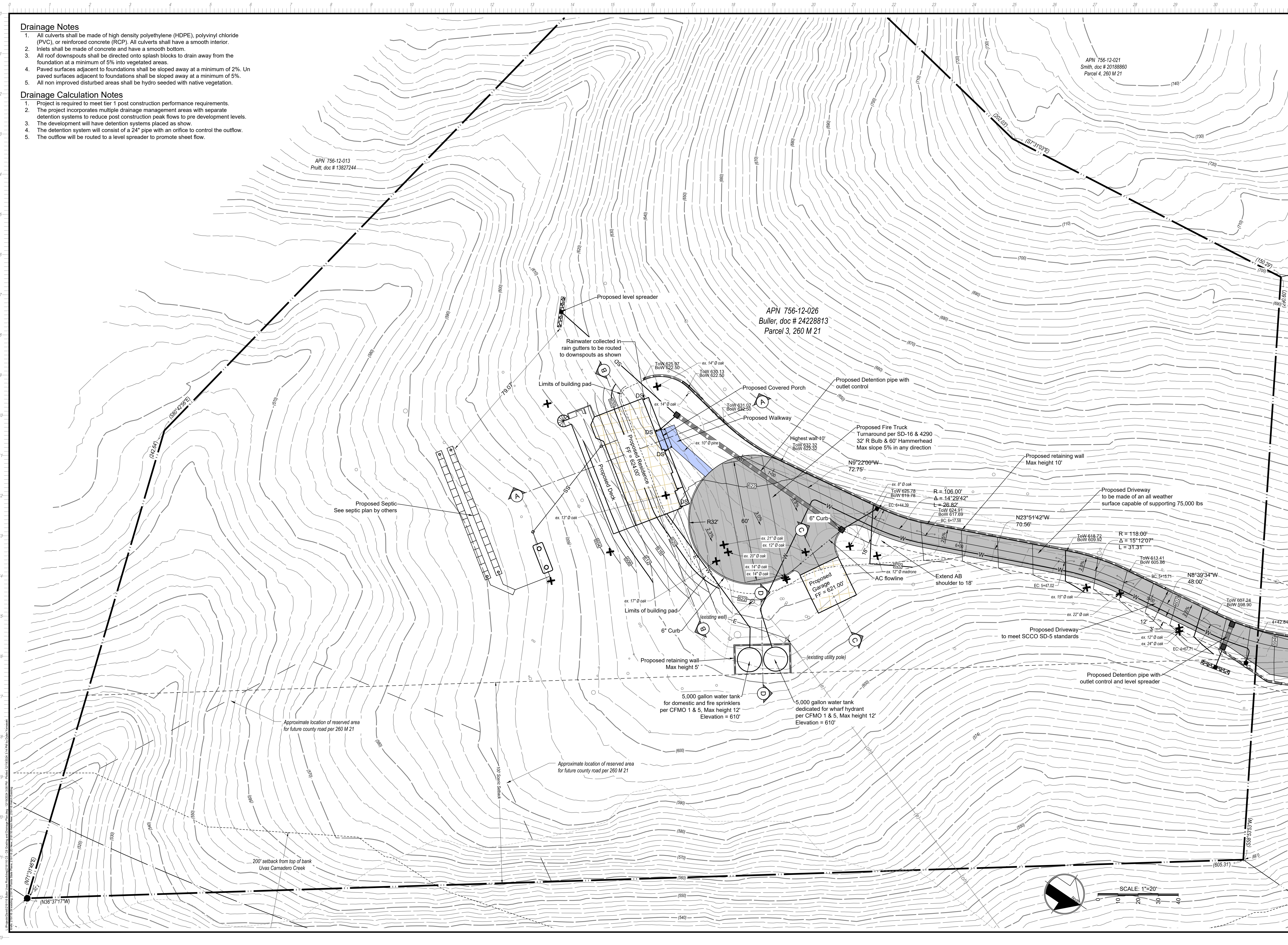


Drainage Notes

1. All culverts shall be made of high density polyethylene (HDPE), polyvinyl chloride (PVC), or reinforced concrete (RCP). All culverts shall have a smooth interior.
2. Inlets shall be made of concrete and have a smooth bottom.
3. All roof downspouts shall be directed onto splash blocks to drain away from the foundation at a minimum of 5% into vegetated areas.
4. Paved surfaces adjacent to foundations shall be sloped away at a minimum of 2%. Un paved surfaces adjacent to foundations shall be sloped away at a minimum of 5%.
5. All non improved disturbed areas shall be hydro seeded with native vegetation.

Drainage Calculation Notes

1. Project is required to meet tier 1 post construction performance requirements.
2. The project incorporates multiple drainage management areas with separate detention systems to reduce post construction peak flows to pre development levels.
3. The development will have detention systems placed as show.
4. The detention system will consist of a 24" pipe with an orifice to control the outflow.
5. The outflow will be routed to a level spreader to promote sheet flow.

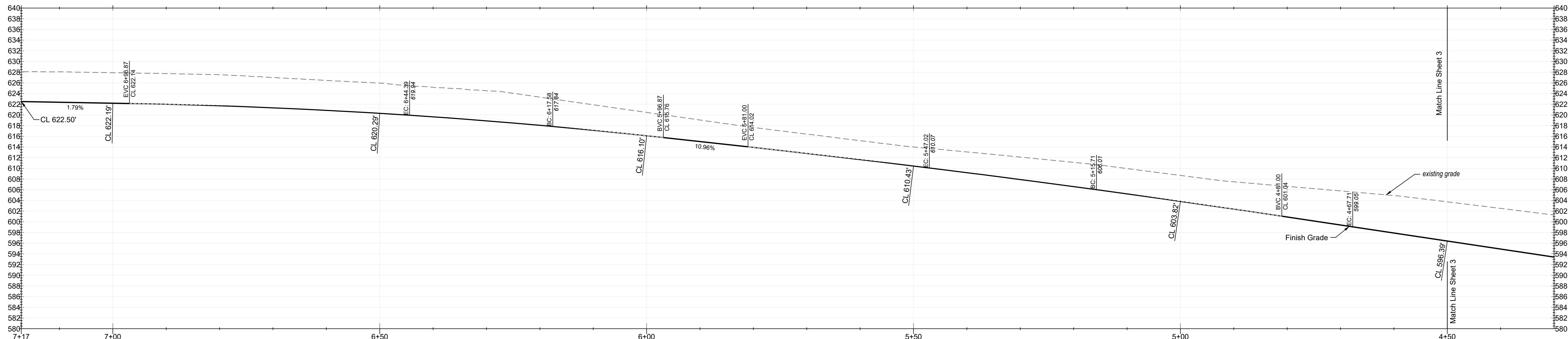


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FOR PLANCHHECK ONLY
REGISTERED PROFESSIONAL ENGINEER
DAVID L. FARRA
No. 92432
EXP. 06-30-2025
CIVIL
STATE OF CALIFORNIA
FOR PLANCHHECK ONLY
signature and seal are provided upon approval

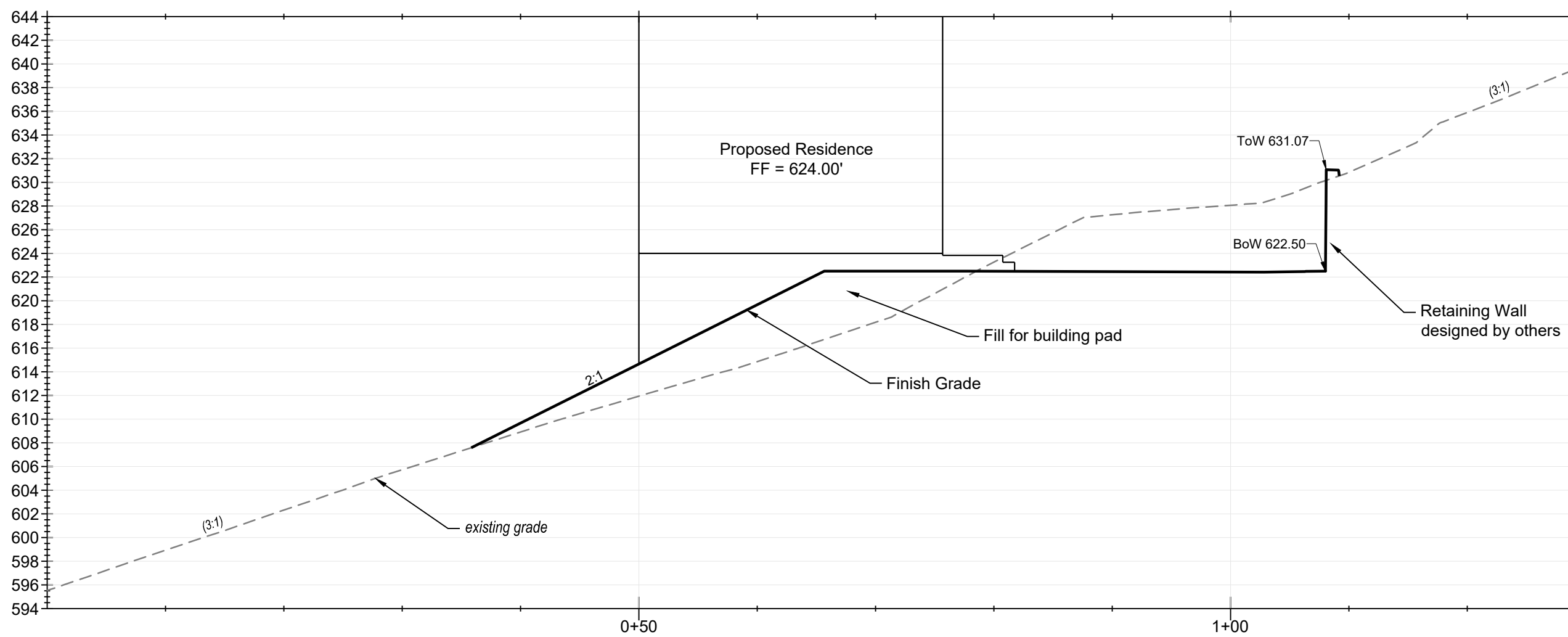
MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Grading and Drainage Plan
Uvas Road - APN 756-12-026

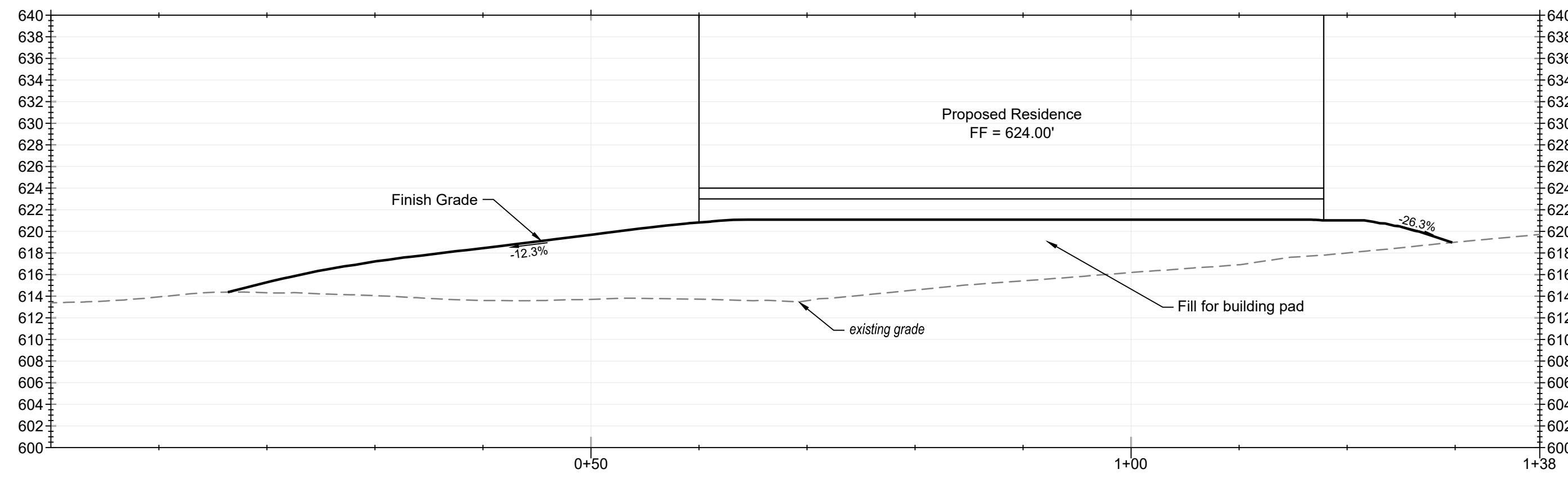
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219116
SHEET
C5
OF
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DRAWN BY: DF
CHECKED BY: DF



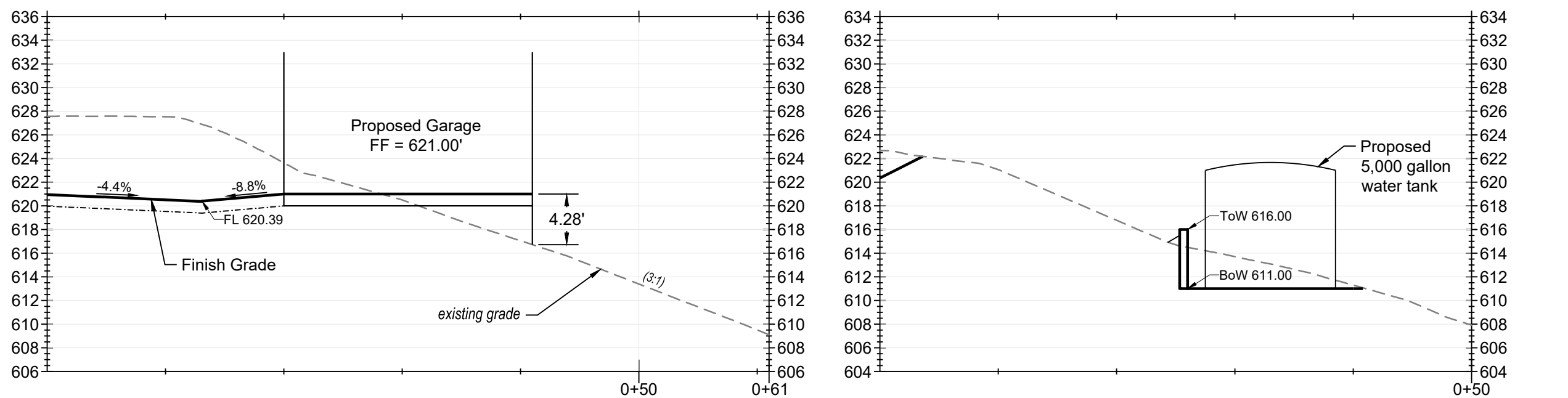
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SCALE H: 1"=20' SCALE V: 1"=20'



PROFILE: A-A
SCALE H: 1"=10' SCALE V: 1"=10'

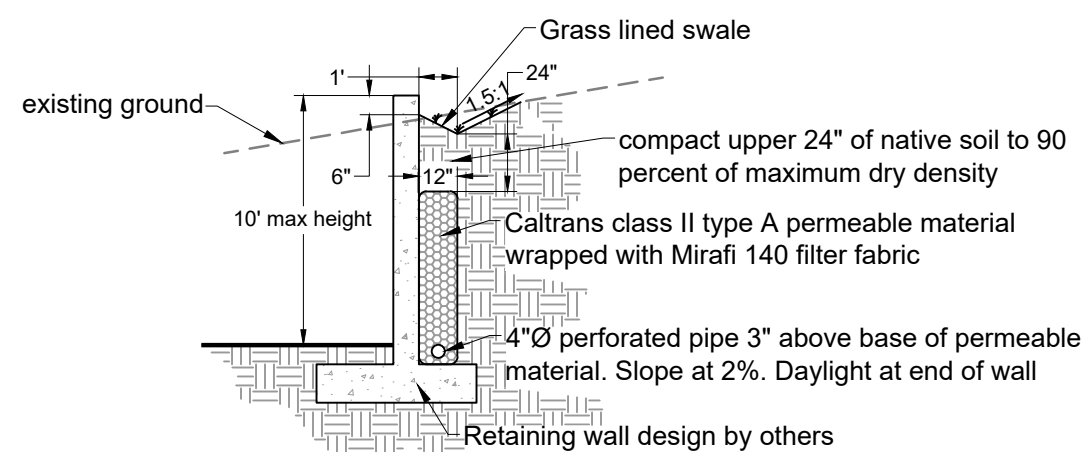
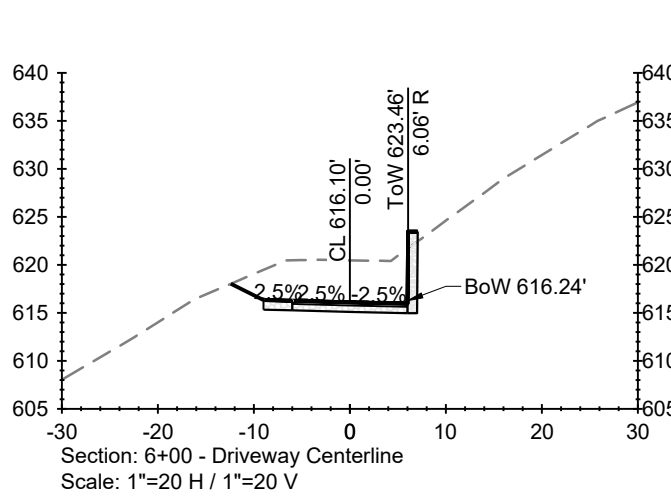
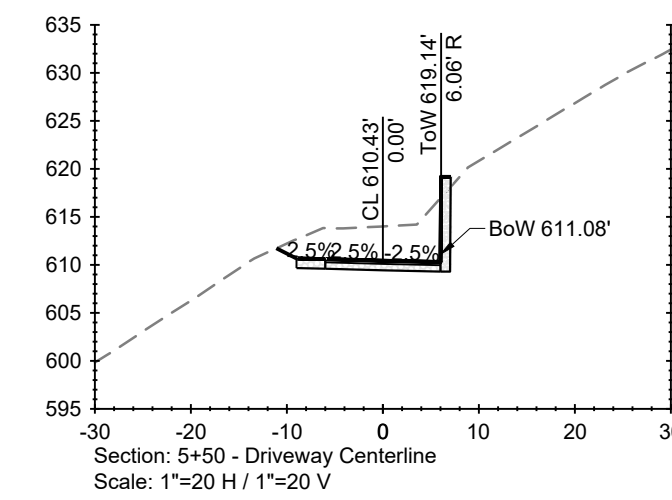
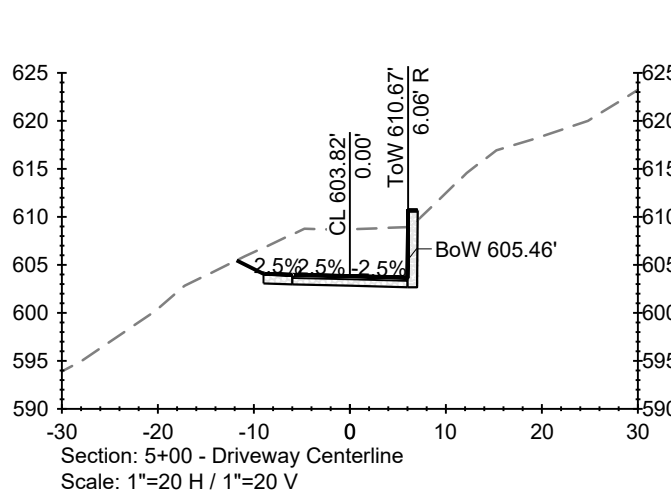
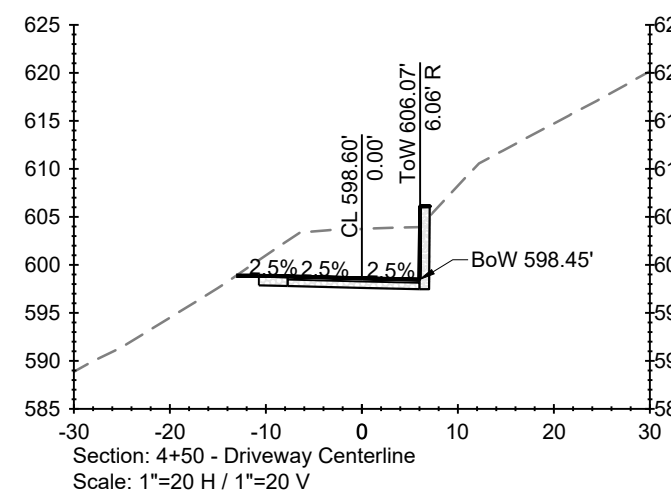


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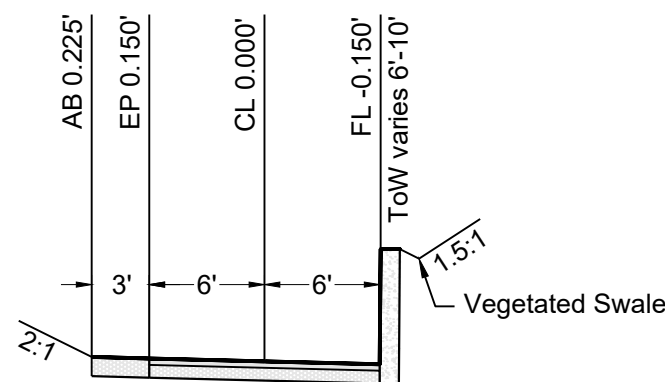


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PROFILE: D-D
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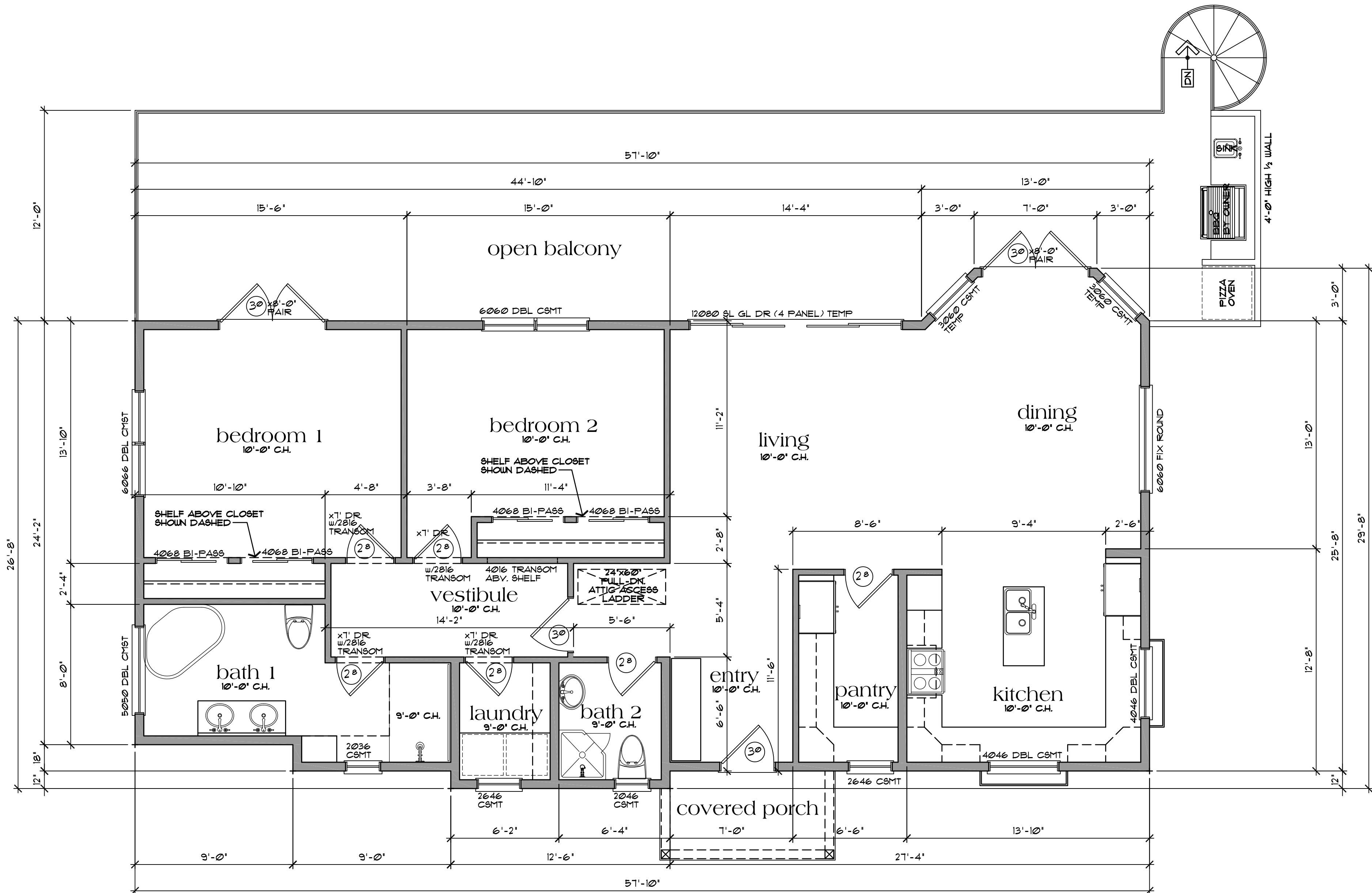


Retaining Wall Drainage Detail
N.T.S.



Typical Driveway Section
SCALE 1" = 10'

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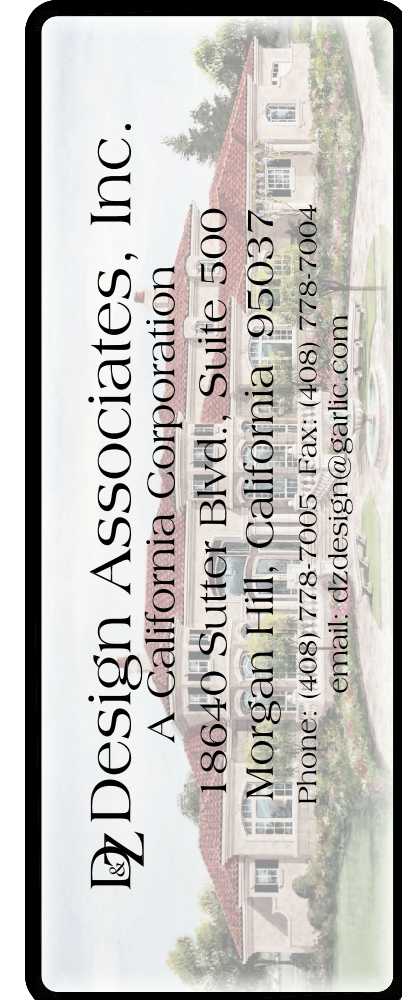
Floor Plan

1513 sq. ft. Living Area
762 sq. ft. Covered Porch/Open Balcony

scale: 1/4"=1'-0"

NO./ DATE/ REVISION

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DAZ WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DAZ. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DAZ. ANY REUSE OR MODIFICATION OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF DAZ. DAZ ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.



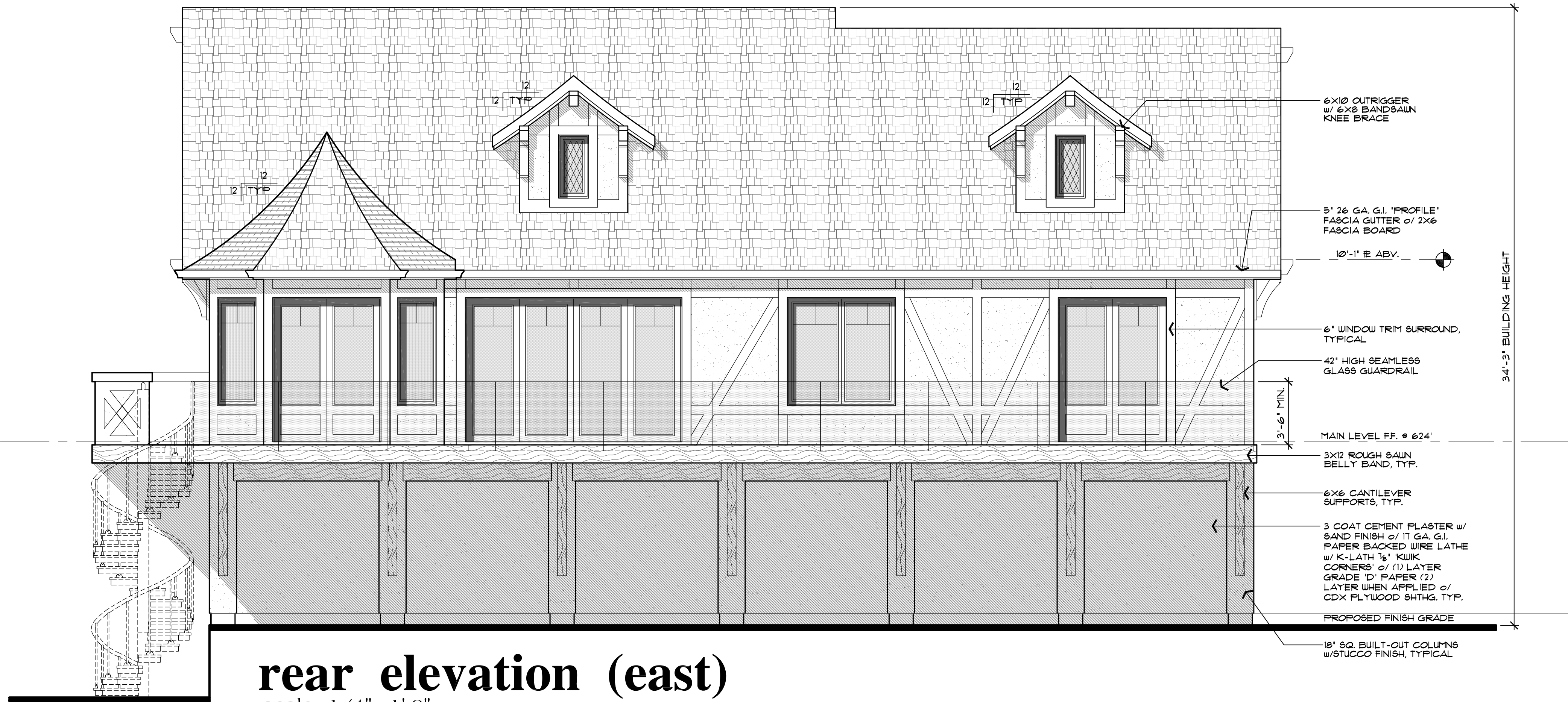
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JOB ADDRESS	Uvas Road Morgan Hill, California

DATE	SEPT. 28, 2020
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PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	SEZ
JOB NO.	DZ0320
SHEET	

A2



front elevation (west)
scale: 1/4"=1'-0"



rear elevation (east)
scale: 1/4"=1'-0"

NO./ DATE/ REVISION
4-19-2023 PLANNING

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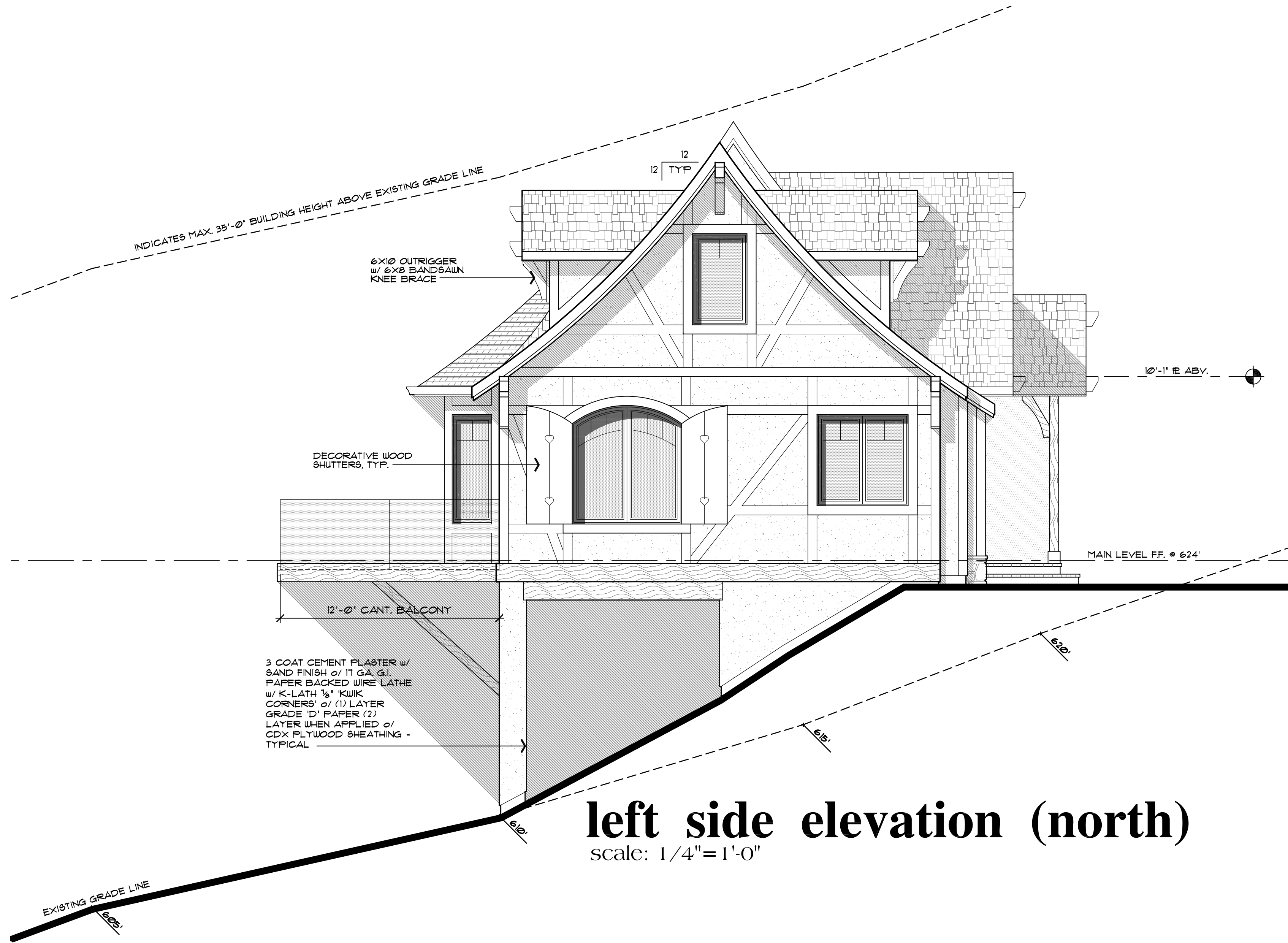


DRAWING TITLE
Exterior Elevation
JOB TITLE
Buller Residence
JOB ADDRESS
Custom Home Uvas Road Morgan Hill, California

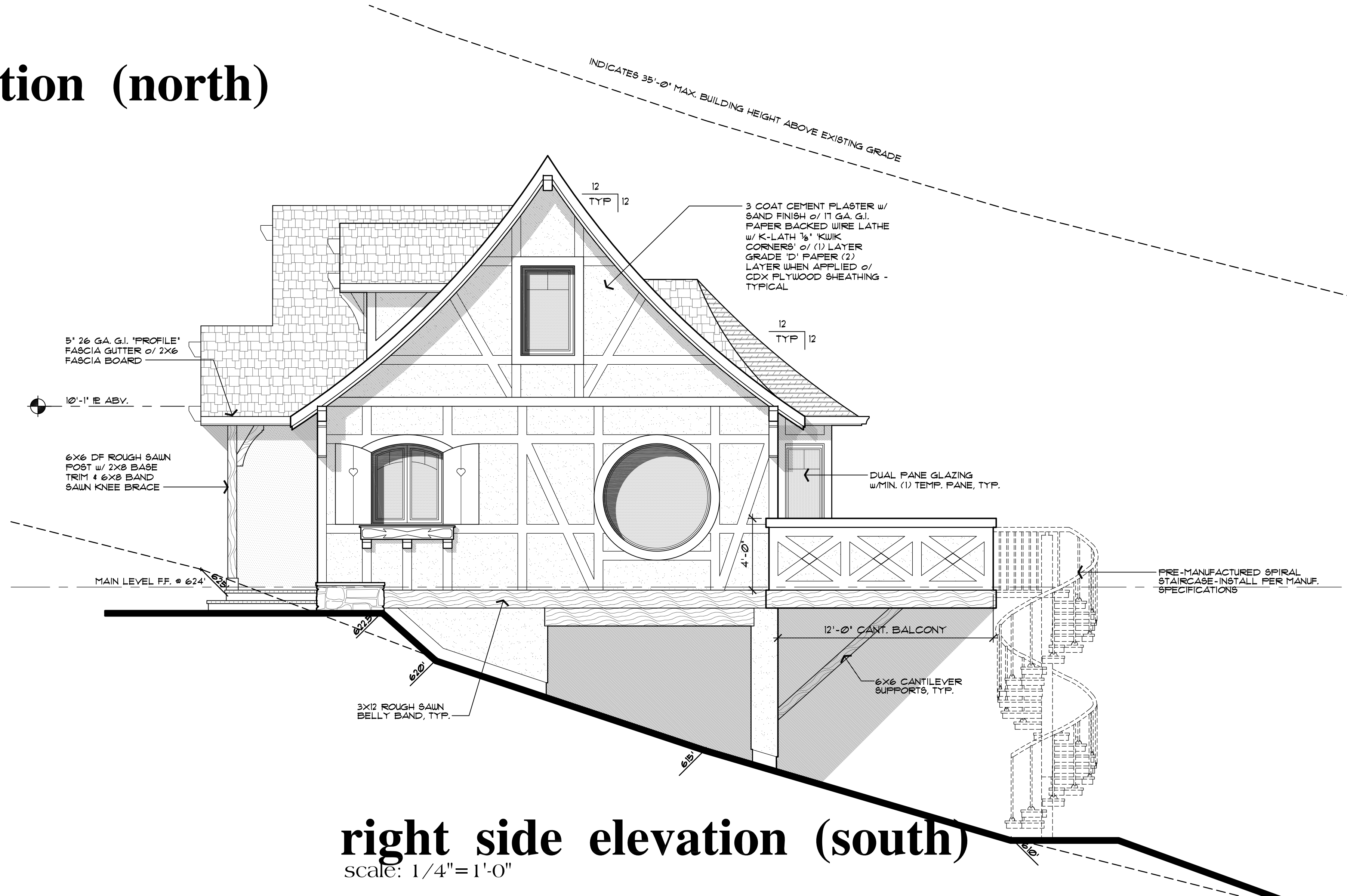
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SEPT. 28, 2020
SCALE
1/4"=1'-0"
PROJECT MANAGER
SCOTT ZAZULETA
DRAWN
SEZ
JOB NO.
DZ0320
SHEET

A3.1

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left side elevation (north)
scale: 1/4"=1'-0"



right side elevation (south)
scale: 1/4"=1'-0"

NO./ DATE/ REVISION
4-19-2023 PLANNING

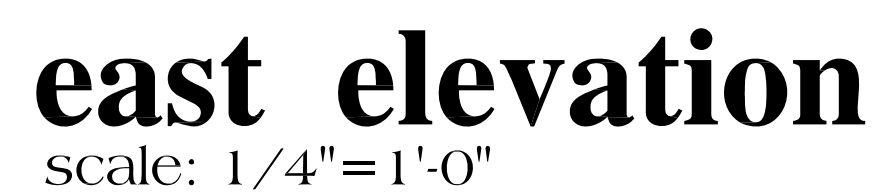
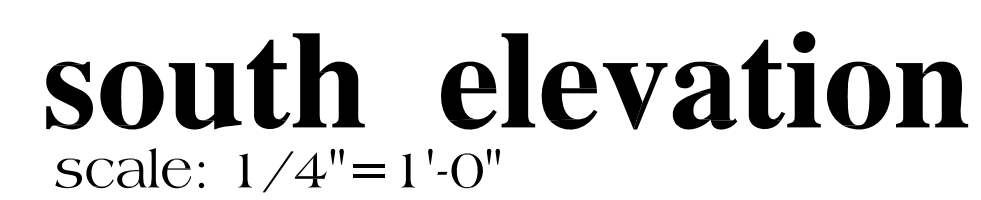
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DRAWING TITLE	Exterior Elevation
JOB TITLE	Buller Residence Custom Home
JOB ADDRESS	Uvas Road Morgan Hill, California

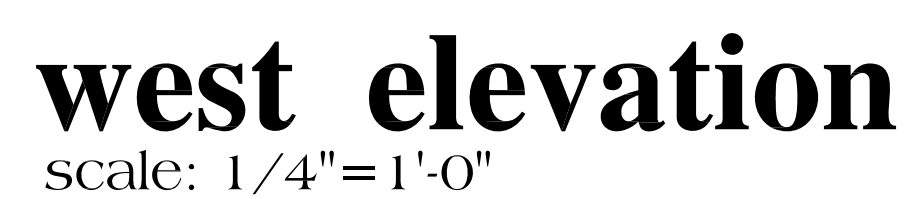
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A3.2



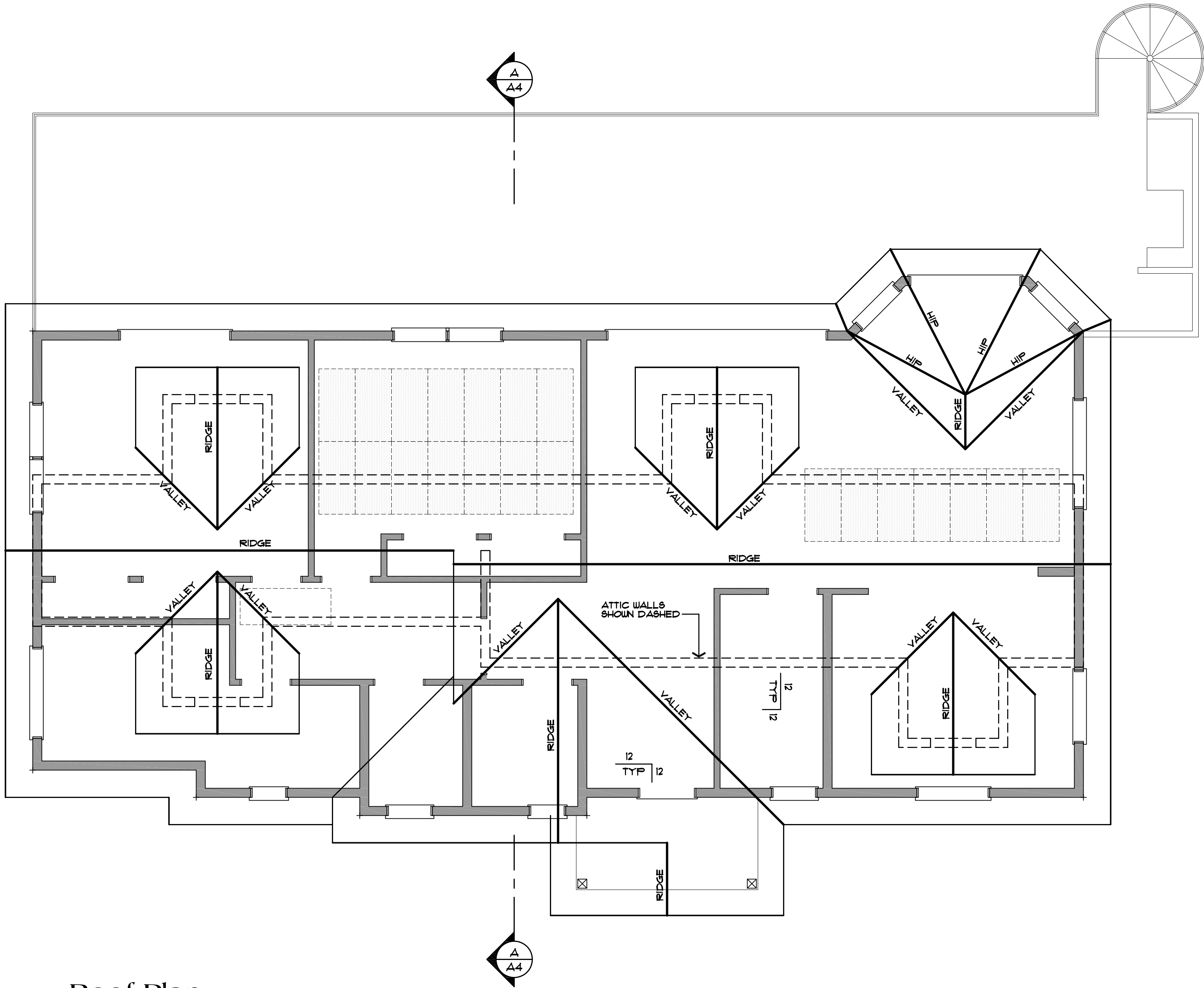
441 sq. ft.

scale: 1/4"=1'-0"



A3.3

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Roof Plan

scale: 1/4"=1'-0"

ROOF PLAN NOTES:

- ROOF SLOPE IS TO BE AS NOTED
- ARROWS INDICATE DIRECTION OF ROOF SLOPE.
- MAIN LEVEL PLATE HEIGHT IS TO BE 10'-0" UNO.
- OVERHANGS ARE TO BE 18" AT EAVES & 18" AT RAKES (UNO.)
- PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER CBC TYPICAL
- INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
- PROVIDE 5" 26 GA. G.I. FASCIA GUTTER w/ DOWNSPOUTS

NO./ DATE/ REVISION

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DZ Design Associates, Inc.

A California Corporation

18646 Sutter Blvd., Suite 500

Morgan Hill, California 95037

Phone: (408) 778-7005 Fax: (408) 778-7004

Website: dzdesign@dzdesign.com

DRAWING TITLE

Roof Plan

JOB TITLE

Buller Residence

Custom Home

JOB ADDRESS

Uvas Road

Morgan Hill, California

DATE

SEPT. 28, 2020

SCALE

1/4"=1'-0"

PROJECT MANAGER

SCOTT ZAZULETA

DRAWN

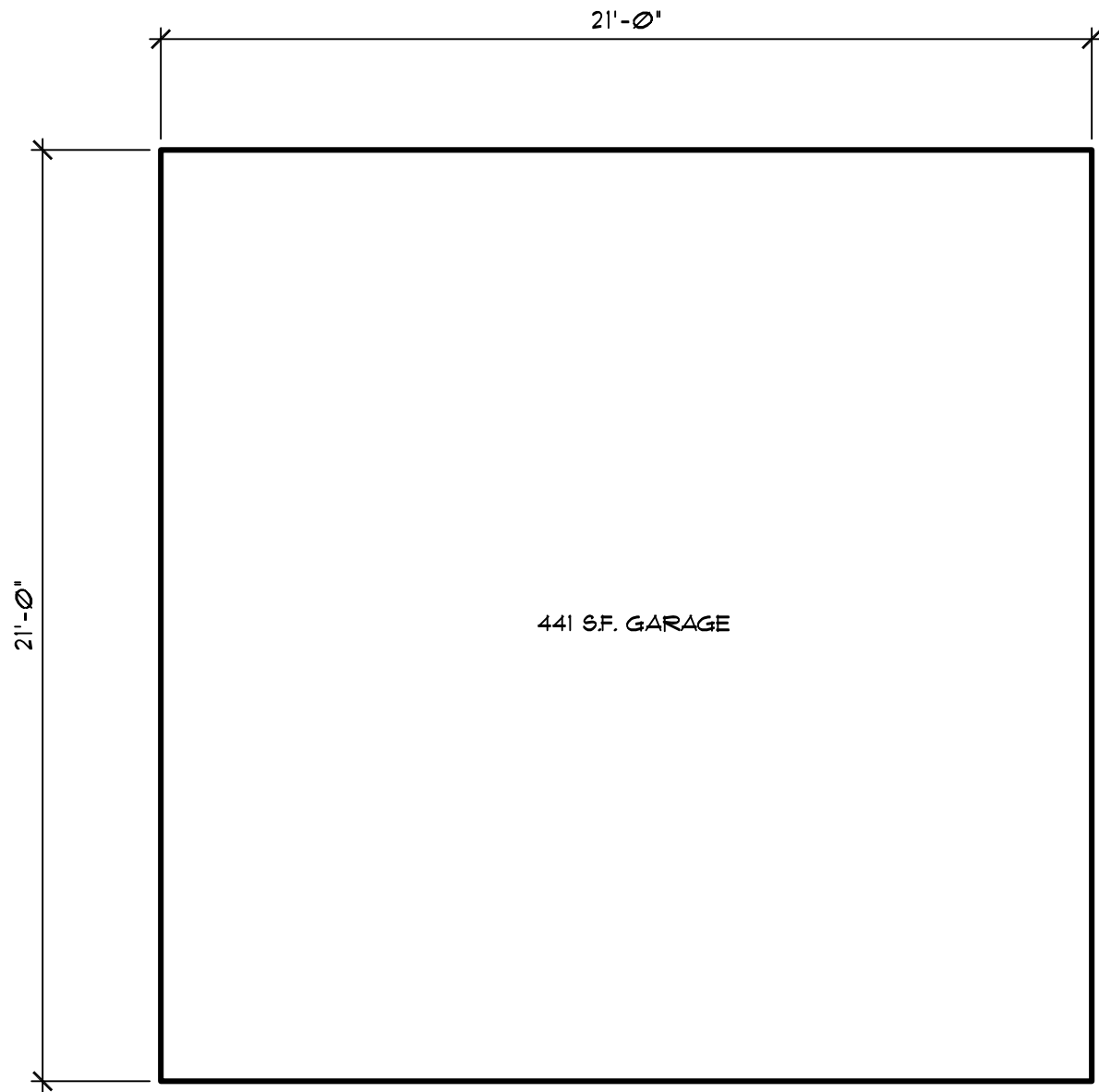
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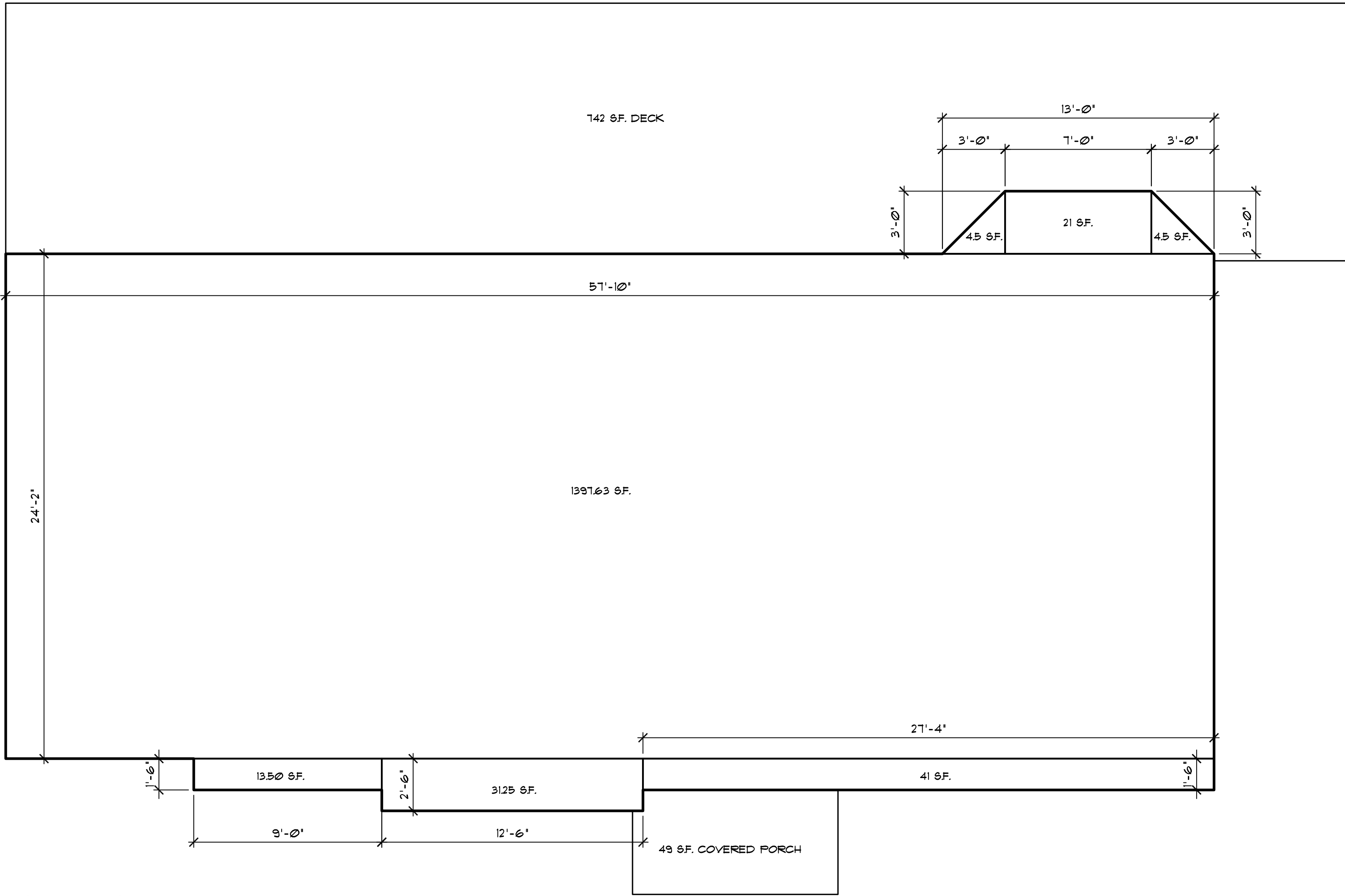
DZ0320

SHEET

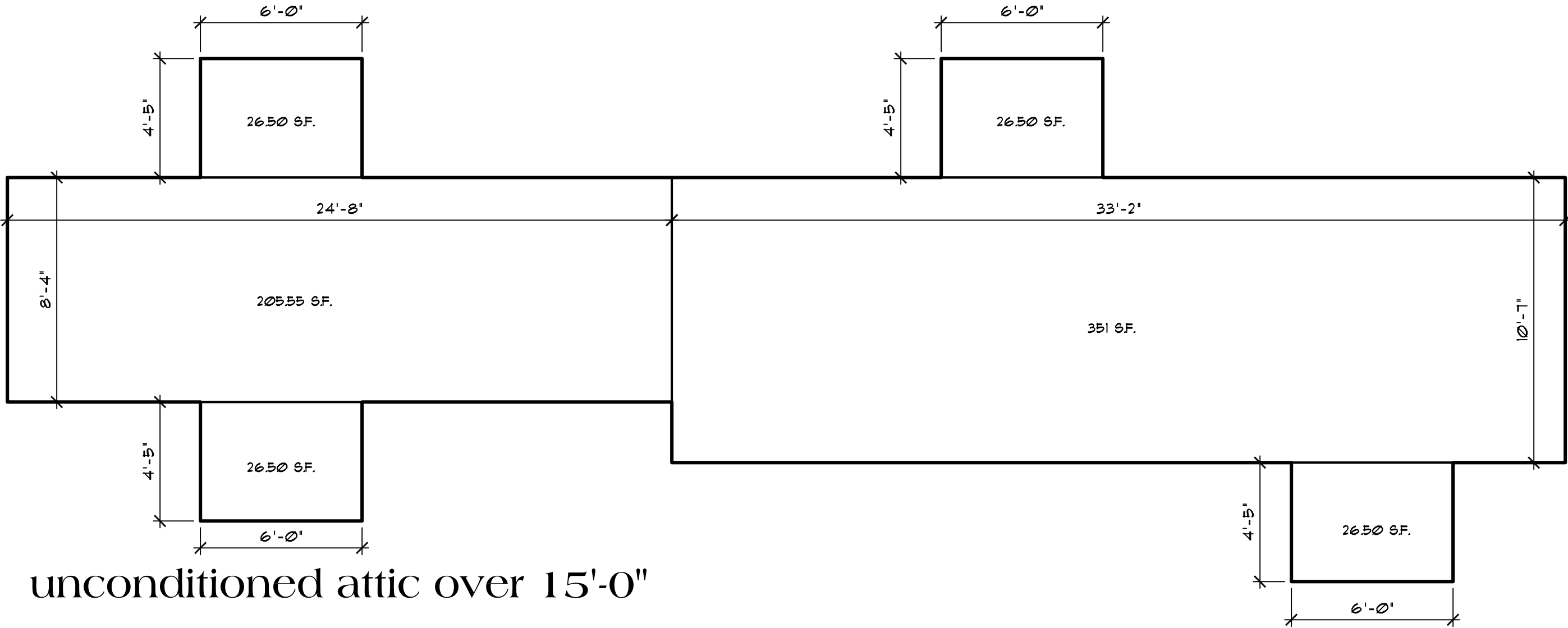
A5



detached garage



Floor Plan



unconditioned attic over 15'-0"

NO./ DATE/ REVISION

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DRAWING TITLE
Floor Area Diagram
JOB TITLE
Buller Residence Custom Home
JOB ADDRESS
Uvas Road Morgan Hill, California

DATE
SEPT. 28, 2020
SCALE
1/4" = 1'-0"
PROJECT MANAGER
SCOTT ZAZUETA
DRAWN
SEZ
JOB NO.
DZ0320
SHEET