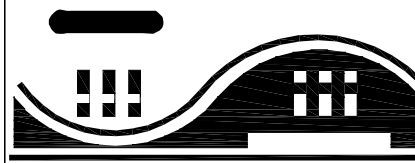


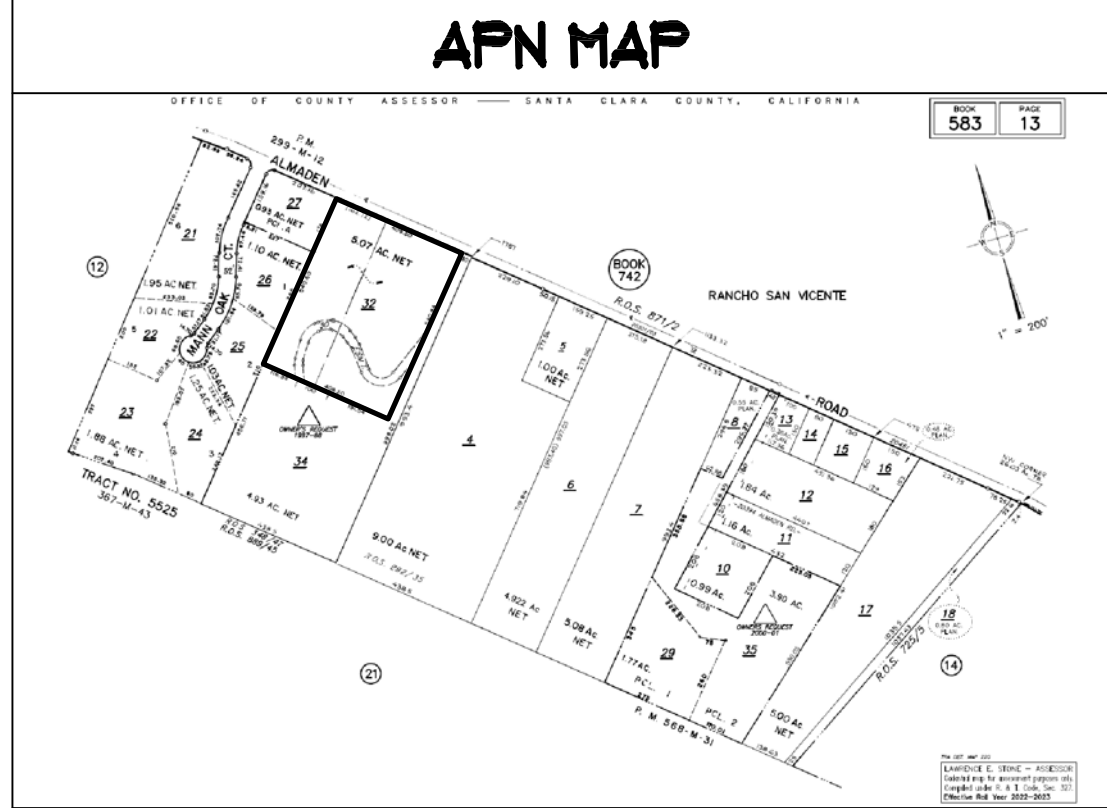
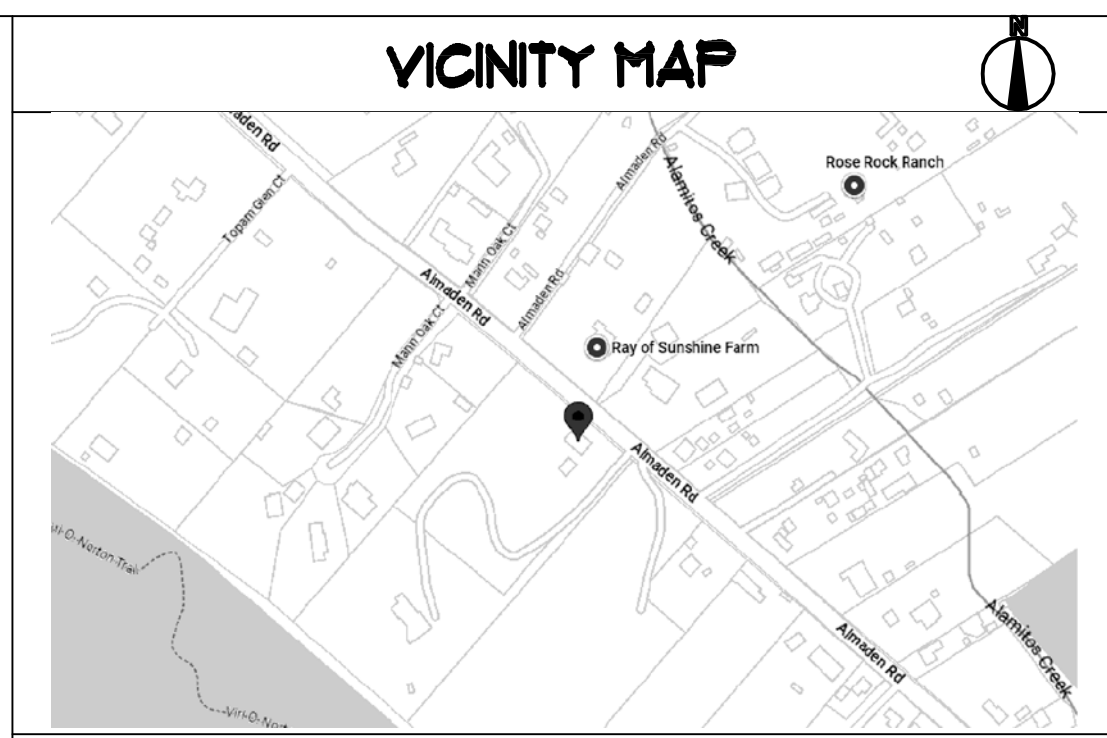
CMU FENCE

20181 ALMADEN RD SAN JOSE CA 95120

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 1659 Scott Blvd Suite 36
 Santa Clara, CA 95050
 Tel: (408) 230-8051
 Fax: (408) 246-6336
 Email: markdesigns@cbglobal.net



Mark Design Group



PROJECT DATA

HOMEOWNER: SURABHI RAMAN D
 TELEPHONE: 408-761-2324
 APN: 583-13-032
 ZONING PROPERTY: RR-D1-SR (100%)
 LOT AREA: 221,257 SQ.FT. / 5.1 ACRES

SCOPE OF WORK

ABATE VIOLATION # VIO22-0175. THE SCOPE OF WORK INCLUDES:

- CONSTRUCT A 3 FOOT HEIGHT CONCRETE MASONRY (CMU) FENCE OVER EXISTING 3 FOOT HEIGHT CONCRETE RETAINING WALL
- INSTALL NEW 6 FOOT HEIGHT AUTOMATIC METAL GATE

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE - TITLE 24 PART 2
- 2022 CALIFORNIA RESIDENTIAL CODE - TITLE 24 PART 2.5
- 2022 CALIFORNIA FIRE CODE - TITLE 24 PART 4

SHEET	INDEX	DATE	REVISION	BY
A1	COVER SHEET - PROJECT DATA - ENLARGED SITE PLANS			
1 OF 2	SITE PLAN - SURVEY MAP			
2 OF 2	ENLARGED SURVEY MAP - AREA OF WORK			
A2	DRAINAGE PLAN			
A3	ELEVATION - DETAILS			

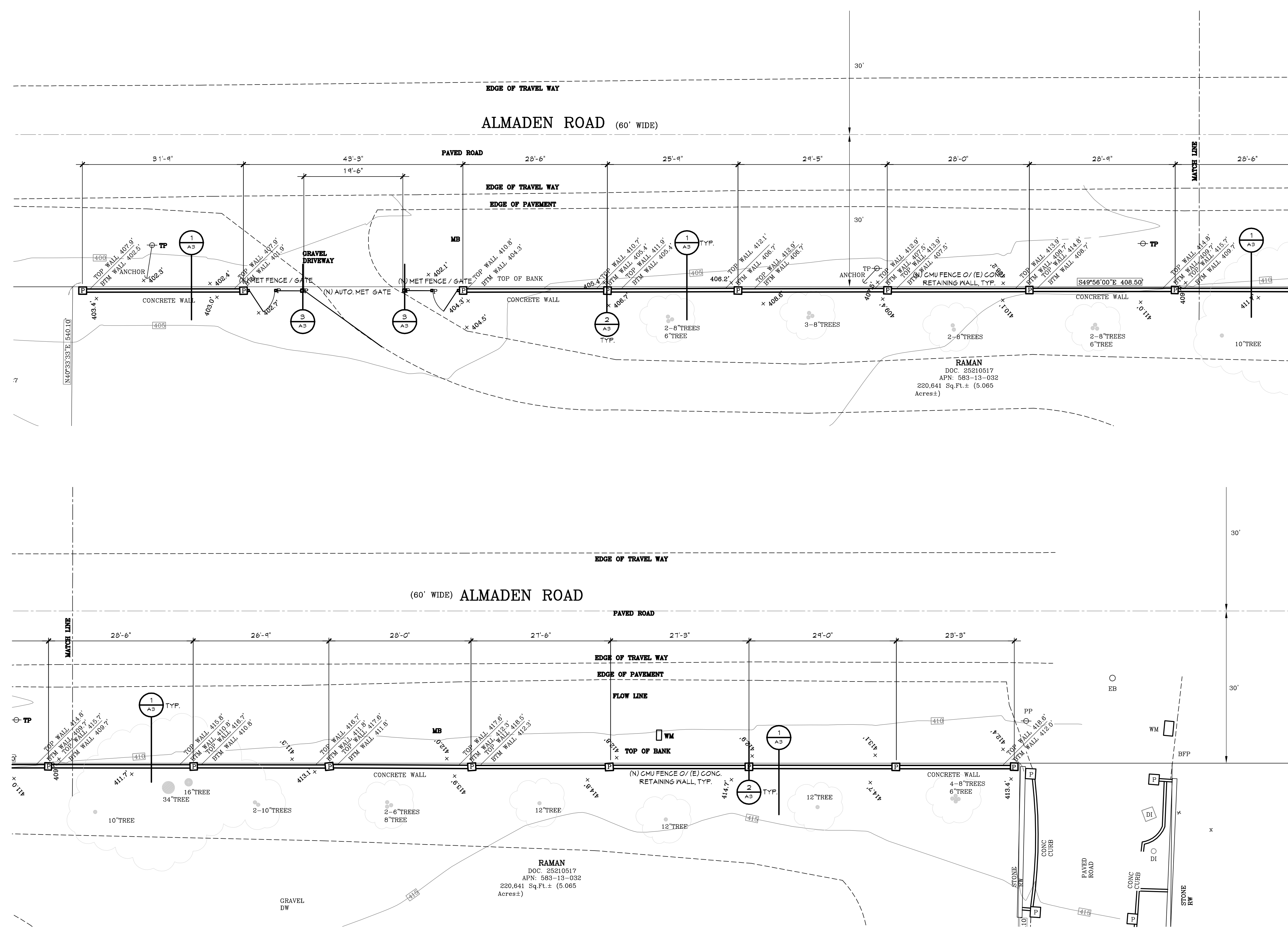
PROJECT DATA SITE PLAN

FENCE CONSTRUCTION
 20181 ALMADEN ROAD
 SAN JOSE CA 95120

DATE	REVISION	BY
05-09-2023		

SCALE: AS NOTED
 DRAWN BY: IL
 CHECK BY: gts

SHEET
A1



ENLARGED SITE PLAN SCALE: 1" = 10'-0"

LOT 2
TRACT 5525
APN: 583-13-025

LOT 1
APN: 583-13-026

APN: 583-13-027

APN: 583-13-034

APN: 583-13-004



AREA OF WORK

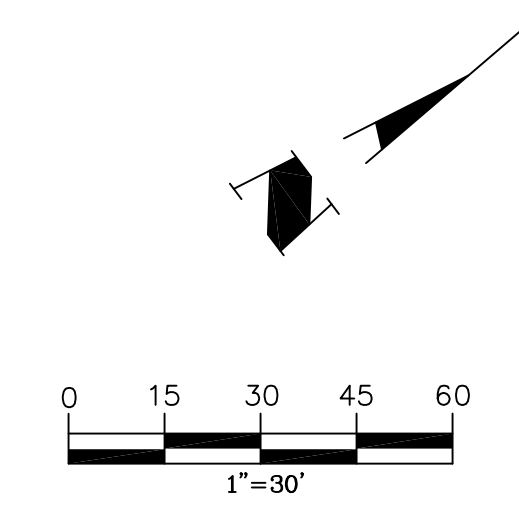
SITE PLAN

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP, IF SHOWN, ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP, IF SHOWN, ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.

LEGEND

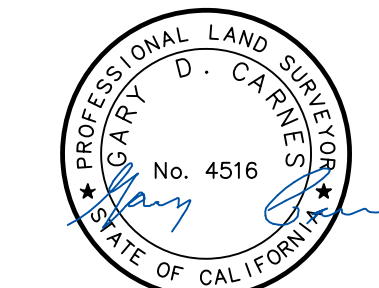
- PROPERTY BOUNDARY
- LOT LINE
- CENTER LINE
- EASEMENT LINE
- PAVEMENT
- CONCRETE/LIP OF GUTTER
- CENTER LINE
- FLOW LINE



APN: 742-06-015

APN: 742-06-044

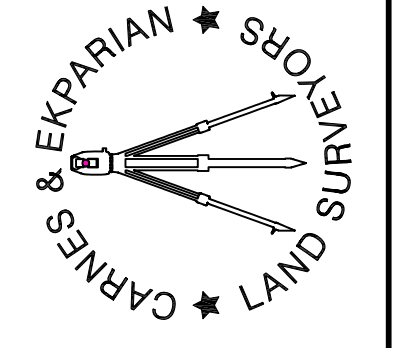
APN: 742-06-043



ABBREVIATIONS

- A ANCHOR
- AC ASPHALT
- BFP BACK FLOW PREVENTER
- BRW BRICK RETAINING WALL
- BS BRICK STEPS
- CC CONCRETE CURB
- CMP CORRUGATED METAL PIPE
- CS CONCRETE STEP
- CONC CONCRETE
- DI DRAIN INLET
- EB ELECTRICAL BOX
- FH FIRE HYDRANT
- G GAS METER
- ICV IRRIGATION CONTROL VALVE
- MB MAIL BOX
- P PILLAR
- PA PAVERS
- PP POWER POLE
- P+T POWER & TELEPHONE POLE
- RRW ROCK RETAINING WALL
- RW RETAINING WALL
- ST SEPTIC TANK
- TS TILE STEP
- TELCOM TELECOMMUNICATIONS
- TP TELEPHONE POLE
- WM WATER METER
- WP WOOD PLANTER

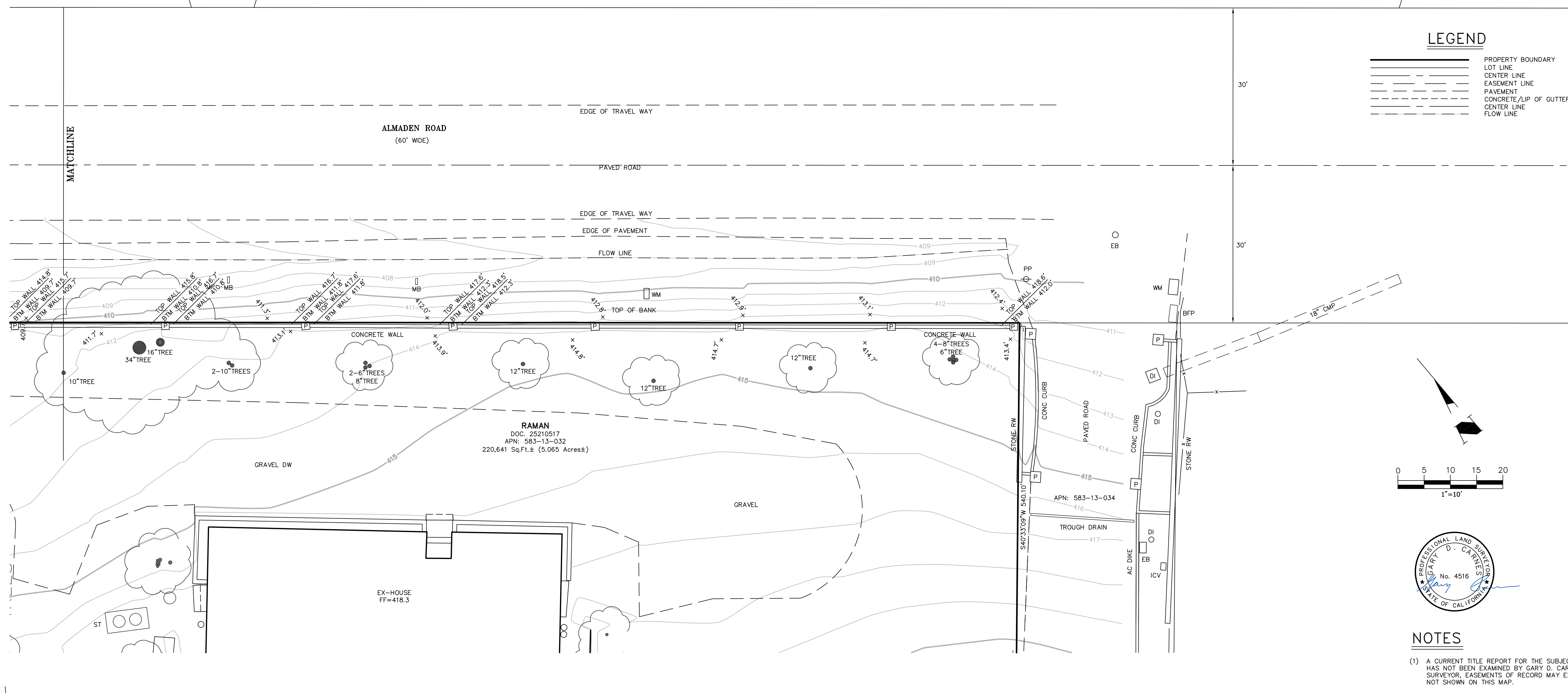
Carnes & Ekparian, Inc.
LAND SURVEYORS
9505 SUGAR BABE DRIVE GILROY, CA 95020
T: (408) 847-2013 F: (408) 846-7248
EMAIL: OFFICE@CE-PLS.COM



No.	DATE	REVISION

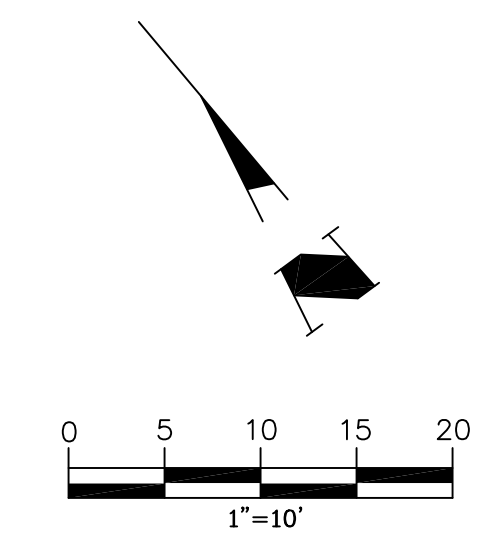
**LIMITED TOPOGRAPHIC MAP
FOR SURABHI RAMAN
20181 ALMADEN ROAD
COUNTY OF SANTA CLARA, CA.**

SHEET	DATE :	05/04/2023
1	SCALE :	1" = 30'
OF	DRAWN BY :	T.W.
2	PROJ. MANAGER :	G.C.
Job No. 22080	DWG:RAMAN	



LEGEND

---	PROPERTY BOUNDARY
- - - -	LOT LINE
- - - -	CENTER LINE
- - - -	EASEMENT LINE
- - - -	PAVEMENT
- - - -	CONCRETE/LIP OF GUTTER
- - - -	CENTER LINE
- - - -	FLOW LINE

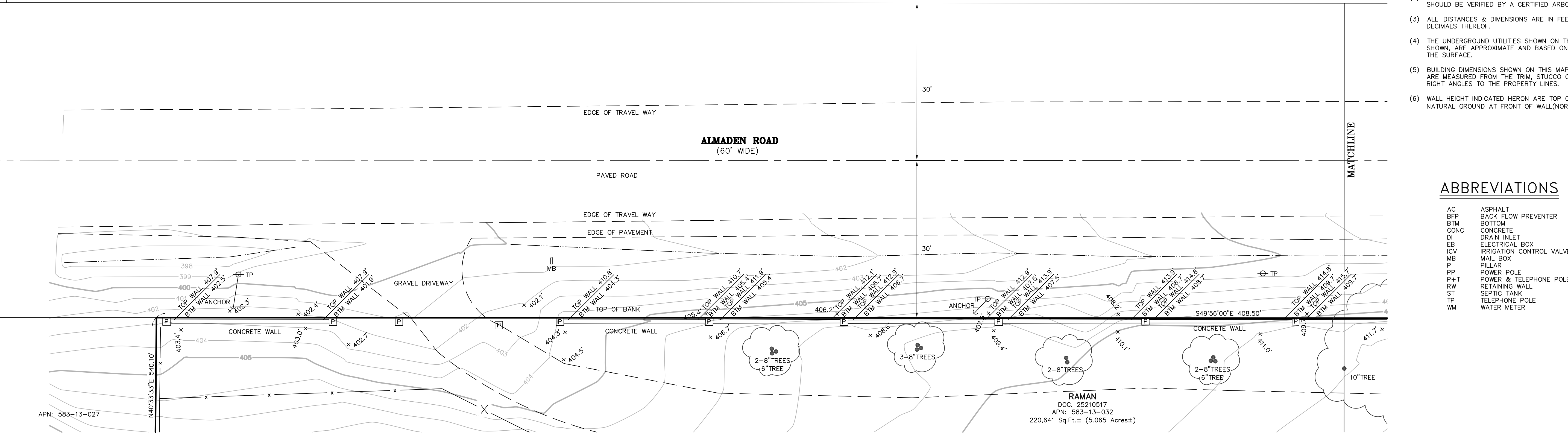


NOTES

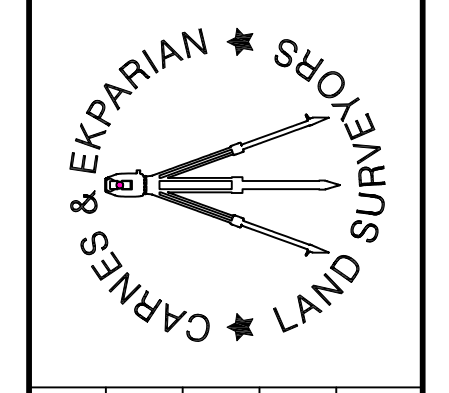
- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR, EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP, IF SHOWN, ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP, IF SHOWN, ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.
- (6) WALL HEIGHT INDICATED HEREON ARE TOP OF WALL TO NATURAL GROUND AT FRONT OF WALL(NORTH SIDE)

ABBREVIATIONS

AC	ASPHALT
BFP	BACK FLOW PREVENTER
BTM	BOTTOM
CONC	CONCRETE
DI	DRAIN INLET
EB	ELECTRICAL BOX
ICV	IRRIGATION CONTROL VALVE
MB	MAIL BOX
P	PILLAR
PP	POWER POLE
P+T	POWER & TELEPHONE POLE
RW	RETAINING WALL
ST	SEPTIC TANK
TP	TELEPHONE POLE
WM	WATER METER



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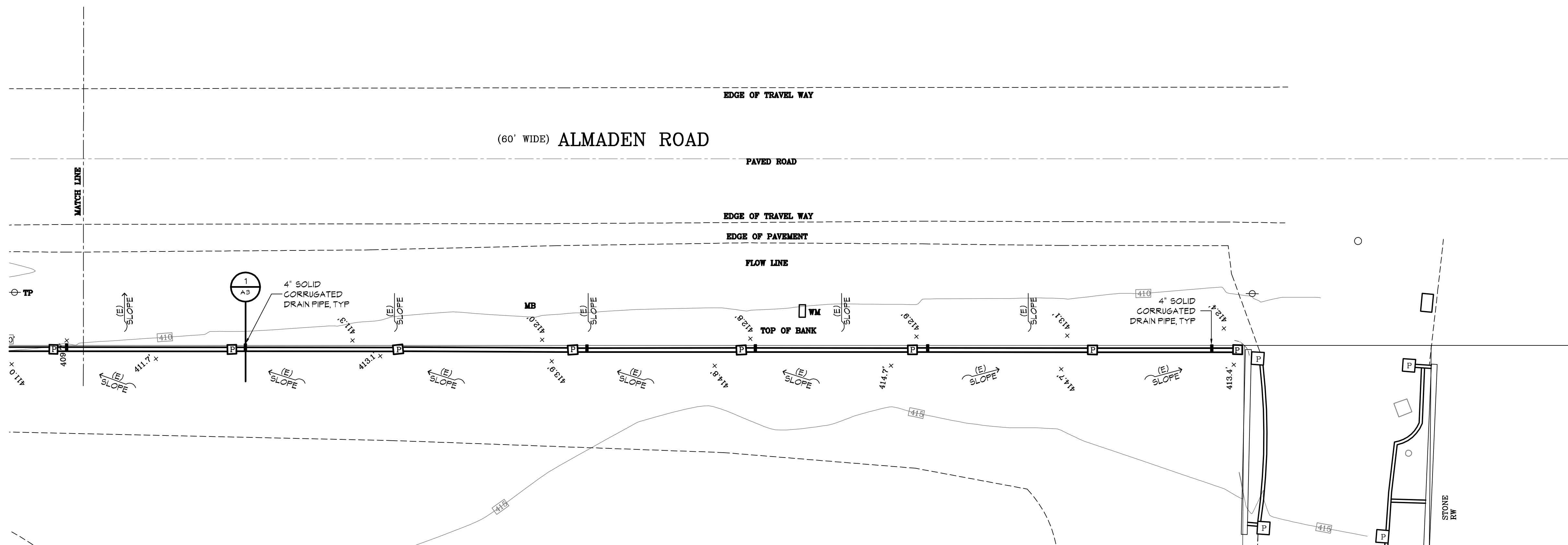
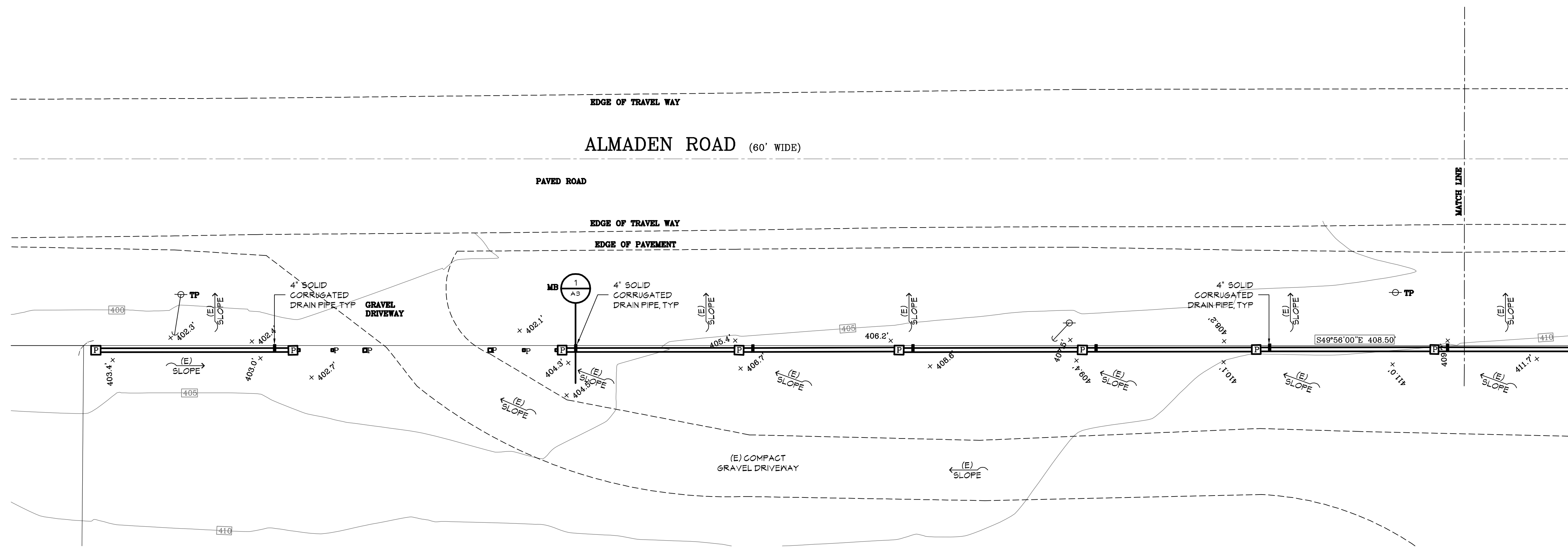


REVISION	DATE	No.

LIMITED TOPOGRAPHIC MAP
FOR SURABHI RAMAN
20181 ALMADEN ROAD
COUNTY OF SANTA CLARA, CA.

SHEET	DATE :	04/06/2023
2	SCALE :	1" = 10'
OF	DRAWN BY :	J.H.
2	PROJ. MANAGER :	G.C.

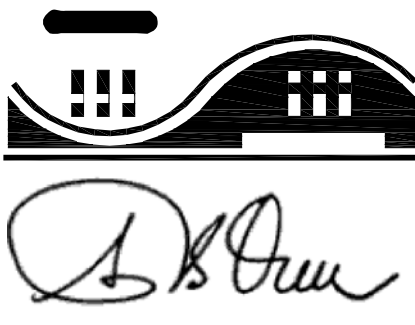
Job No. 22030
 DWG:RAMAN LIM TP



DRAINAGE PLAN SCALE: 1" = 10'-0"



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 Email: markdesign@scglobal.net



DRAINAGE PLAN

FENCE CONSTRUCTION
 20181 ALMADEN ROAD
 SAN JOSE CA 95120

DATE	REVISION	BY

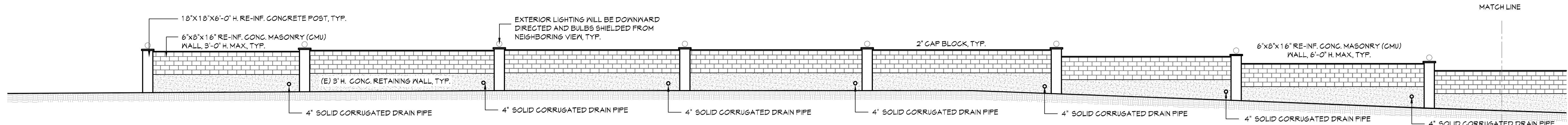
DATE: 05-09-2023

SCALE: AS NOTED

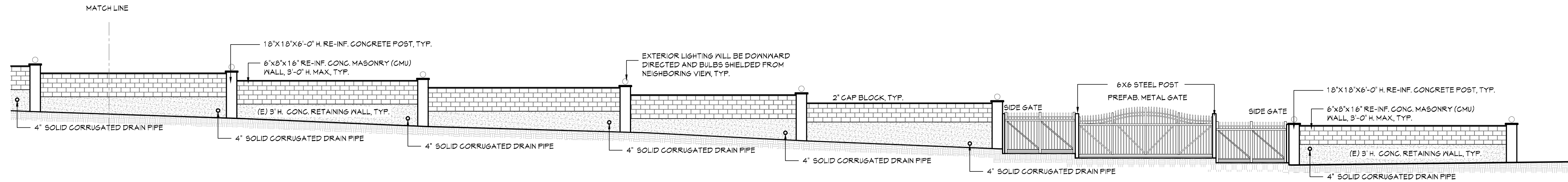
DRAWN BY: lt

CHECK BY: qts

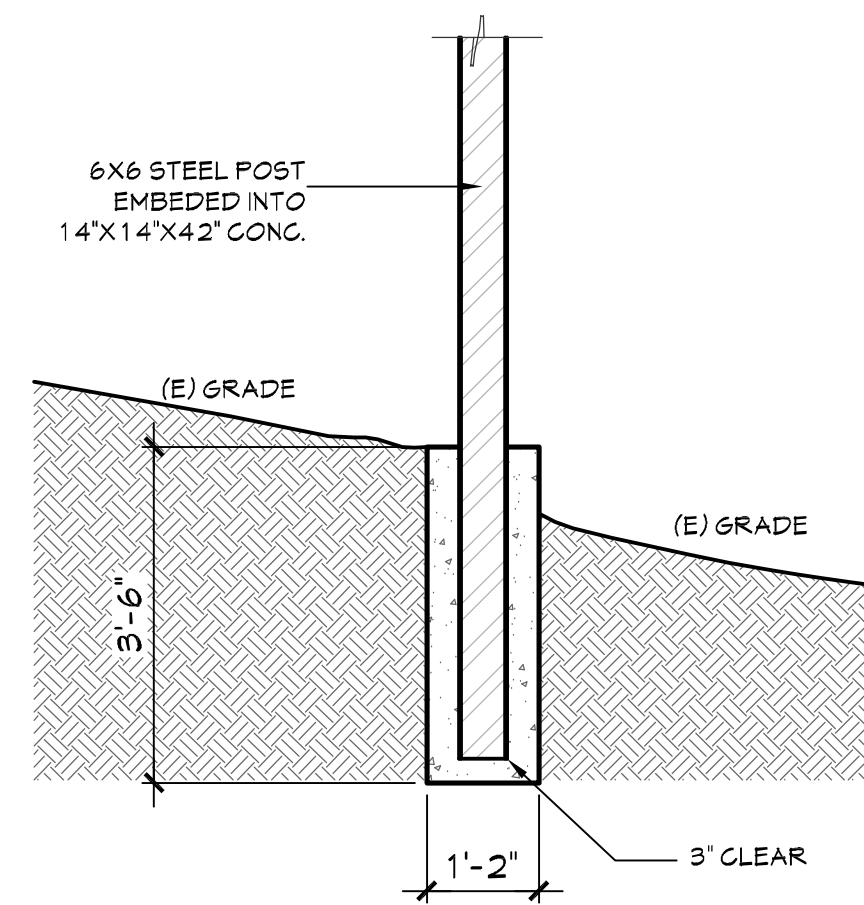
SHEET



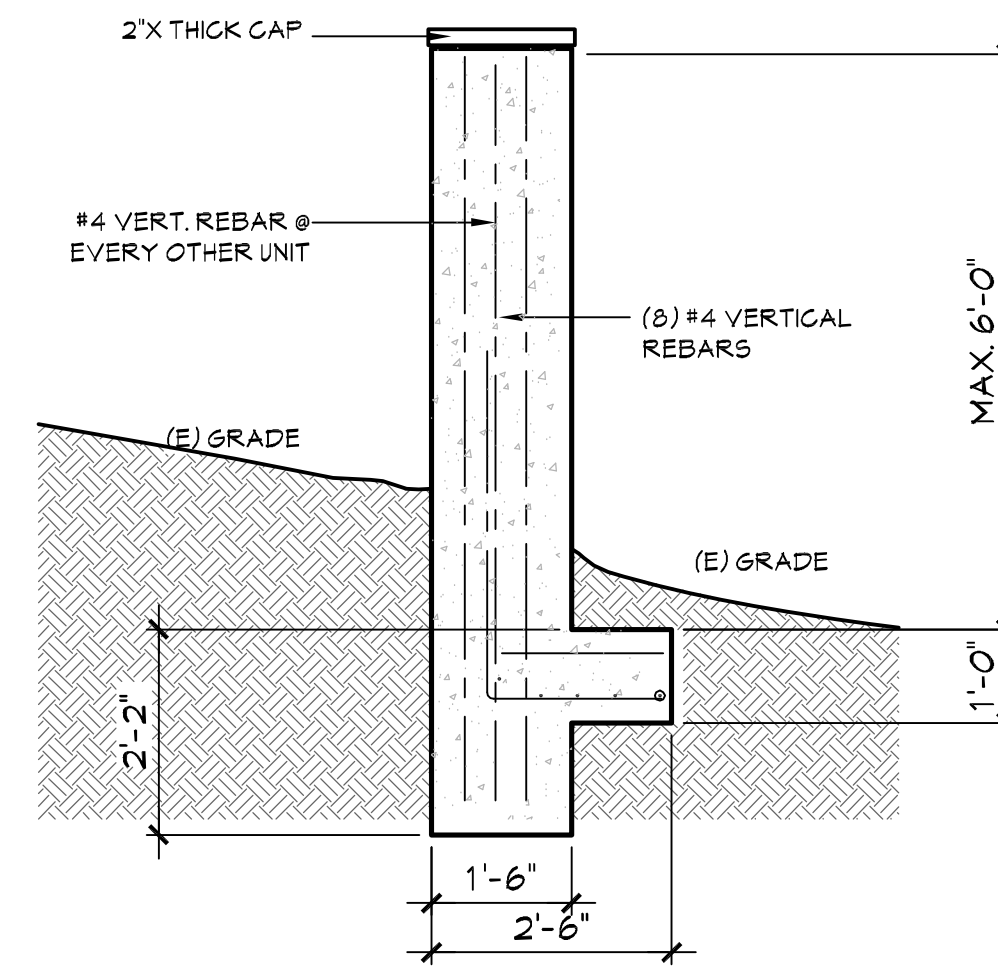
FRONT ELEVATION - LEFT TO RIGHT SCALE: 1/8" = 1'-0"



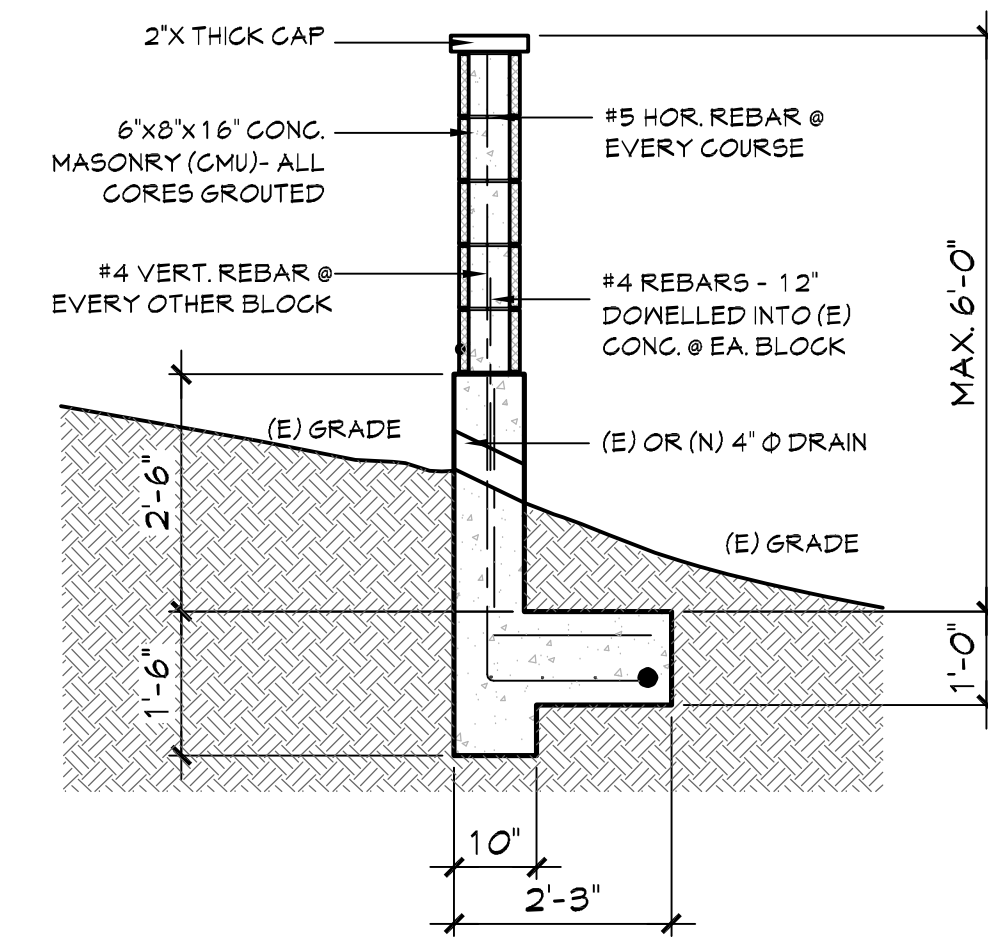
FRONT ELEVATION - LEFT TO RIGHT SCALE: 1/8" = 1'-0"



STEEL POST DET SCALE: 1/2" FILE: 3

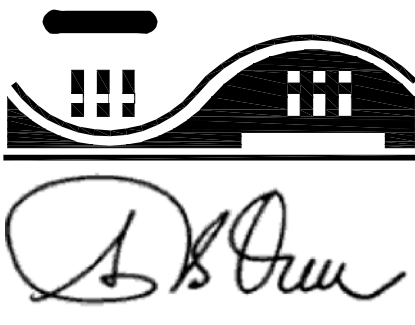


CONCRETE POST DET SCALE: 1/2" FILE: 2



WALL DET SCALE: 1/2" FILE: 1

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 Santa Clara, CA 95050
 Tel: (408) 230-8051
 Fax: (408) 246-6336
 Email: markdesign@escglobal.net



ELEVATIONS - DETAILS

FENCE CONSTRUCTION
 20181 ALMADEN ROAD
 SAN JOSE CA 95120

DATE	REVISION	BY

DATE: 05-09-2023
 SCALE: AS NOTED
 DRAWN BY: it
 CHECK BY: qts