

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN ON BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS INC.

Kenneth D. Wilson 12/20/2022
KENNETH D. WILSON LS 5571 DATE

BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON ELEVATION OF 500.00' AT CONTROL POINT #101.

GENERAL NOTES

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

IF NO INDICATION OF SEWER LINES ARE SHOWN, THEN THERE WERE NO VISIBLE MARKINGS OR INDICATIONS OF ANY SEWER APPURTENANCES ON THE SITE. OTHER RECORDS MAY EXIST THAT PROVIDE EVIDENCE OF SEWER LATERAL LOCATIONS.

SETBACK LINES NOTE

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

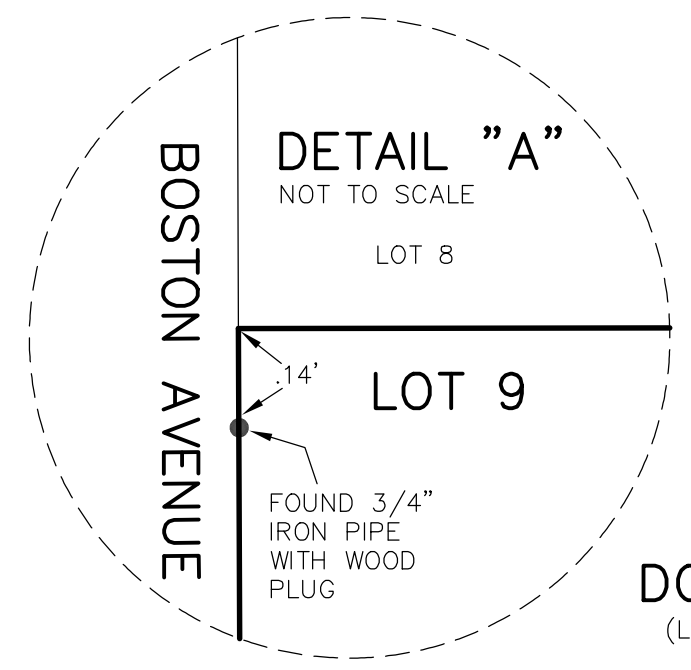
TITLE REPORT NOTE

A CURRENT TITLE REPORT WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY. EASEMENTS MAY EXIST ON THIS PROPERTY WHICH ARE NOT SHOWN. A CURRENT TITLE REPORT IS REQUIRED IN ORDER TO DETERMINE THE EXISTENCE OF ANY EASEMENTS OF RECORD. THE BOUNDARY WAS DETERMINED FROM THE CURRENT VESTING DEED.

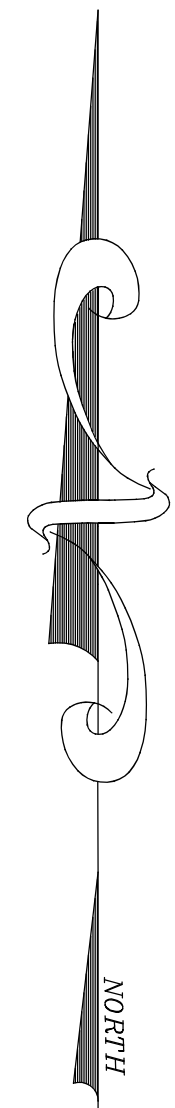
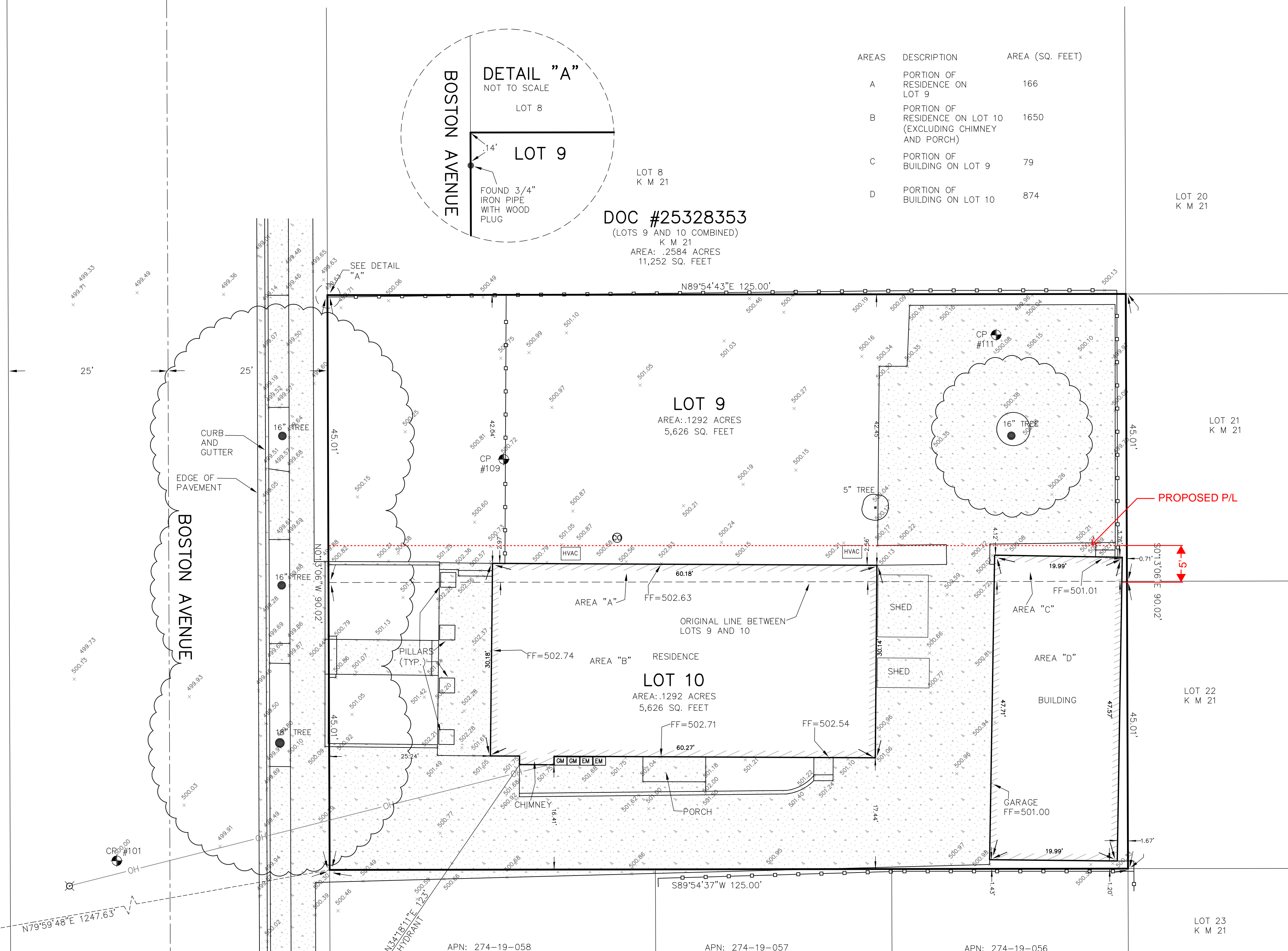
LEGEND

- FOUND 1" IRON PIPE WITH NAIL AND UNREADABLE TAG IN MONUMENT WELL UNLESS OTHERWISE NOTED
- SET 5/8" REBAR WITH CAP LS 5571
- PROPERTY LINE
- - - EASEMENT LINE
- TIE LINE
- SS- UG SEWER LINE
- W- UG WATER LINE
- G- UG GAS LINE
- PH- UG PHONE LINE
- E- UG ELEC LINE
- OH- OVERHEAD LINE
- UTILITY BOX COM PH TRFC IRR
- ⊗ TRAFFIC SIGNAL
- ⊗ LAMP POST
- CHAIN LINK
- WIRE FENCE
- GUYWIRE
- CONCRETE
- PAVERS
- BUILDING
- ⊗ JP JOINT POLE
- ⊗ PP POWER POLE
- ⊗ UP UTILITY POLE
- ⊗ TP TELEPHONE POLE
- ⊗ BOLLARD
- ⊗ VALVE
- ⊗ HCP SYMBOL
- ⊗ SIGN
- TRAFFIC ARROWS
- ⊗ SANITARY SEWER MANHOLE
- ⊗ STORM DRAIN MANHOLE
- ⊗ COMMUNICATION MANHOLE
- ⊗ PERC TEST
- ⊗ FIRE HYDRANT
- ⊗ SEWER CLEANOUT
- ⊗ SURVEY CONTROL POINT
- ⊗ ELEC METER
- ⊗ GAS METER
- ⊗ WATER METER
- ⊗ LIGHT POLE AND LIGHT
- ⊗ DROP INLET
- ⊗ MAILBOX

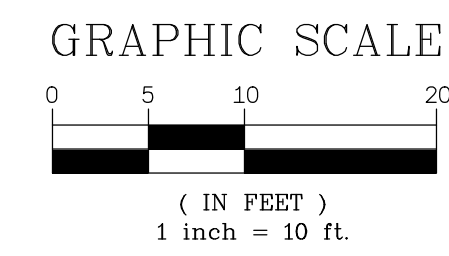
AREAS	DESCRIPTION	AREA (SQ. FEET)
A	PORTION OF RESIDENCE ON LOT 9	166
B	PORTION OF RESIDENCE ON LOT 10 (EXCLUDING CHIMNEY AND PORCH)	1650
C	PORTION OF BUILDING ON LOT 9	79
D	PORTION OF BUILDING ON LOT 10	874



DOC #25328353
(LOTS 9 AND 10 COMBINED)
K M 21
AREA: .2584 ACRES
11,252 SQ. FEET



BASIS OF BEARINGS
S01S00° E (S07S1° E, K M 21)
S07S00° E (S07S1° E, K M 21)
N79°59'48" E 1247.63'
S89°54'37" W 125.00'



CONTROL POINTS

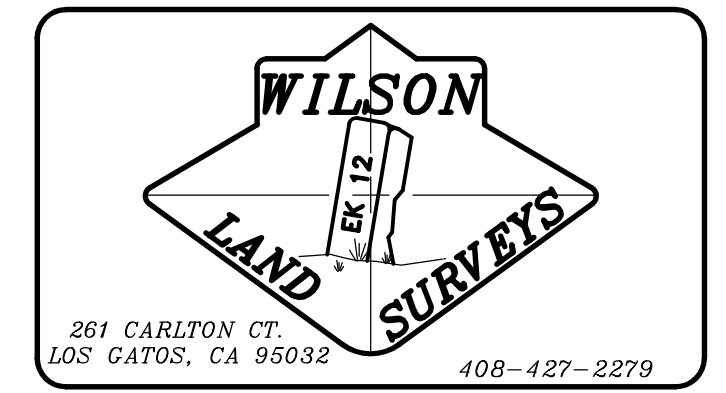
Point	Northing	Easting	Elevation	Description
101	5117.7782	6165.1143	500.00	CP N+T
109	5180.7127	6225.6817	500.72	CP SPIKE
111	5200.2356	6302.7984	500.08	CP CHIS X

This map was prepared on an instrument of service for the preparation of plans and specifications for construction on the site shown on the map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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TOPOGRAPHIC SURVEY
AS REQUESTED BY:
JOHN CROSS

LEGAL DESCRIPTION: LOTS 9 AND 10, INTERURBAN PARK TRACT, K M 21, CITY OF SAN JOSE, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

APN: 274-19-061
DATE: DECEMBER 2022
SITE ADDRESS: 124 BOSTON AVE, SAN JOSE, CA 95128

DRAWN BY: ARD	SCALE: 1"=10'	JOB NUMBER: N-214	PROJECT: J-035	SHEET: 1 OF 1
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