

Applicant/Owner:

Paul and Jennifer Hanson
1570 W. Edmundson Ave.
Morgan Hill, CA 95037
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Engineer:

David L. Faria, PE 92432
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
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davidf@mhengineering.com

Project Information:

APN: 773-21-029
Present Use: Rural Residential
Present Zoning: RR-d1-sr
Existing Improvements: As Shown
Water: Onsite well
Sanitary Sewer: Septic System
Gas & Electric: PG&E
Fire Responsibility Area: SRA
Wildland Urban Interface: IN
HCP Areas: IN
Gross Area: 8.59 ac
Net Area: 8.32 ac

Boundary Note:

Property lines shown on this plan are based on that certain Parcel Map, which map was filed for record in the office of the county recorder of the county of Santa Clara, State of California, on June 11, 1971, in Book 284 of Maps, at Page 44.

Flood Zone:

The property lies wholly in Zone D per FEMA Firm Panel 06085C0606H, effective May 18, 2009.

Basis of Bearings:

The bearing of North 41°03' East of the centerline of Edmundson Avenue per that certain parcel map filed for record on June 11, 1971 in Book 284 of Maps at Page 44, Santa Clara County Recorder's Office.

Impervious Area Summary	
Proposed Barn	6,000 SF
Driveway	24,670 SF
Total New Impervious Area	30,670 SF

Proposed Floor Area	
Proposed Barn	6,000 SF
Total Floor Area	6,000 SF

Earthwork Quantities					
	Cut	Fill	Net	Max Cut	Max Fill
Barn Pad	4,586 cy	1,535 cy	3051 cy (cut)	10.70'	9.00'
Driveway	5 cy	53 cy	48 cy (fill)	0.70'	1.70'
SW Treatment Area	349 cy	0 cy	349 cy (cut)	4.00'	0.00'
Total	4,940 cy	1,588 cy	3,352 cy (cut)		

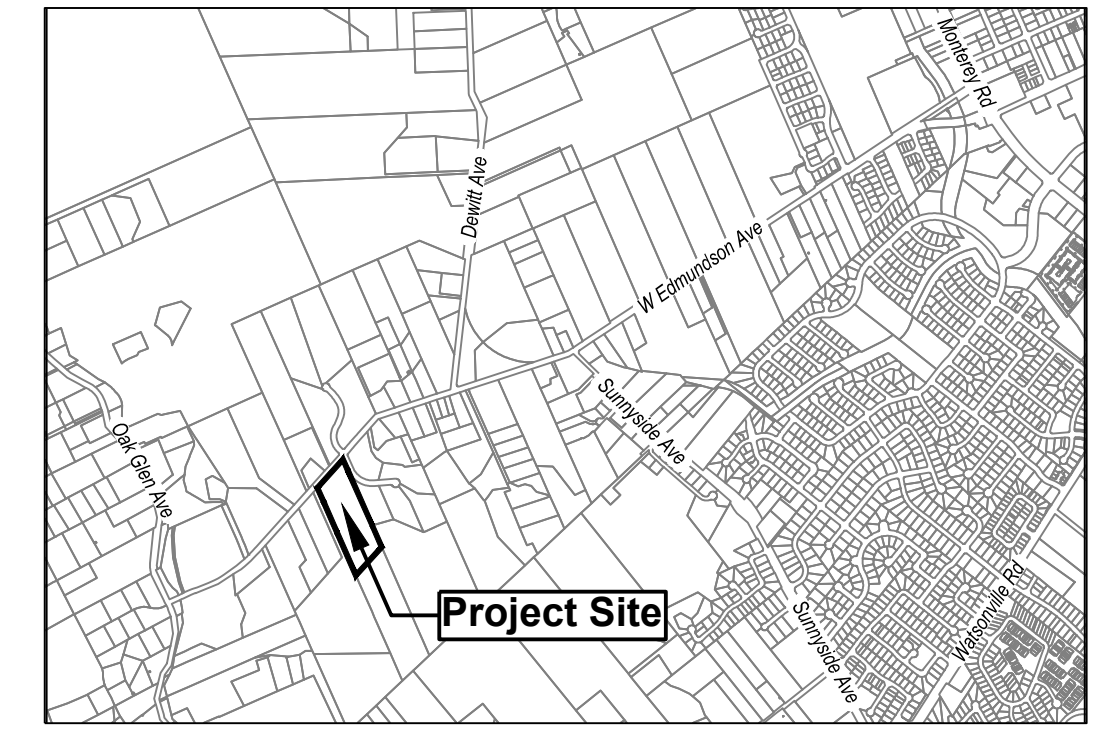
LEGEND

- (ex structure)
- (ex pavement)
- Proposed AB
- Proposed Structure
- Existing Contour
- Limit of Disturbance

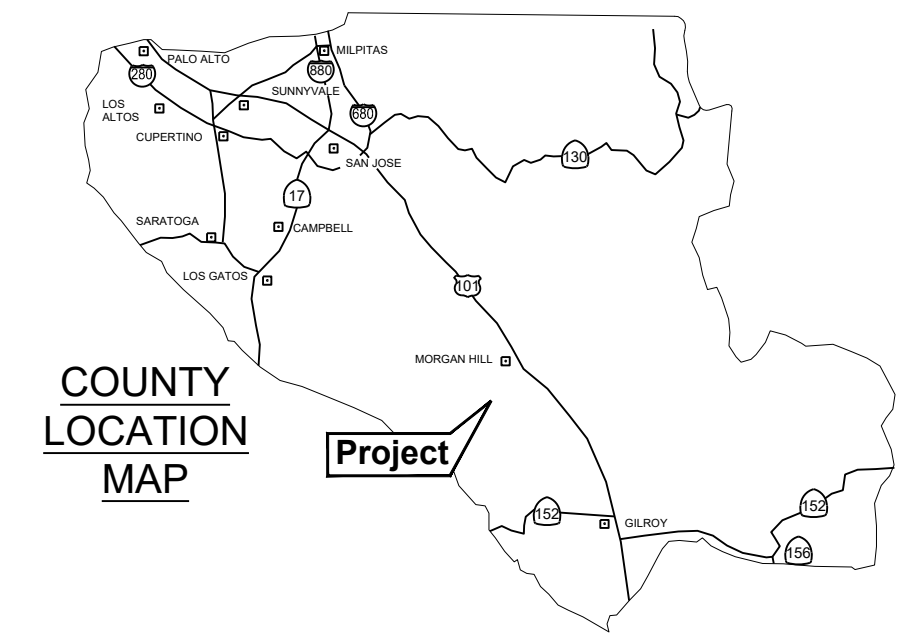
Fire Notes:

- Fire Sprinklers shall be a deferred submittal.
- Property is located in the State Response Area.
- Property is in Wildland Urban Interface (WUI).
- Structures to meet WUI construction requirements.
- Property to maintain defensible space at all times.
- Driveway width will be maintained at 12' minimum with a clear height of 13' 6".
- Existing driveway capable of supporting 75,000 lbs.
- All proposed driveways to be made of an all weather surface capable of supporting 75,000 lbs.
- All proposed driveways shall have a max. slope of 16%.

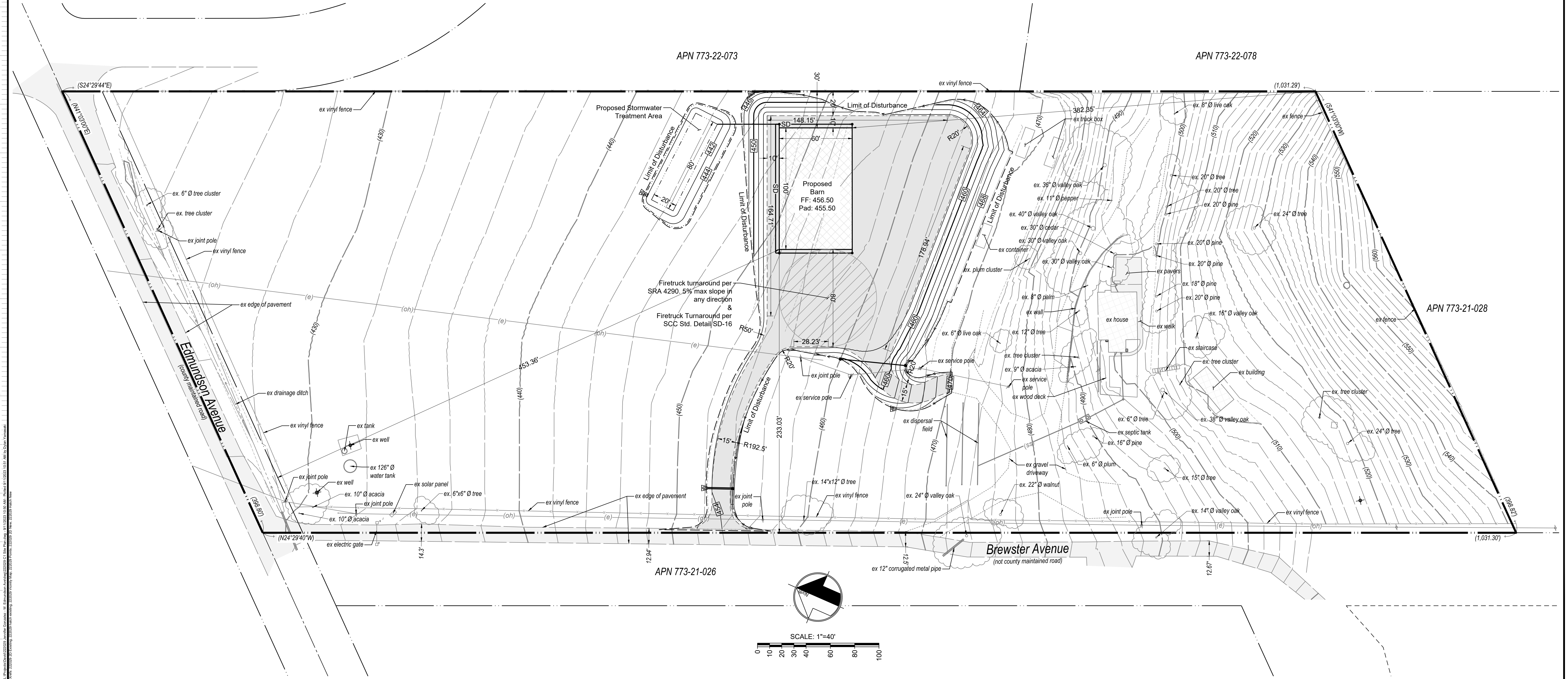
Area of Disturbance = 48,732 SF



VICINITY MAP



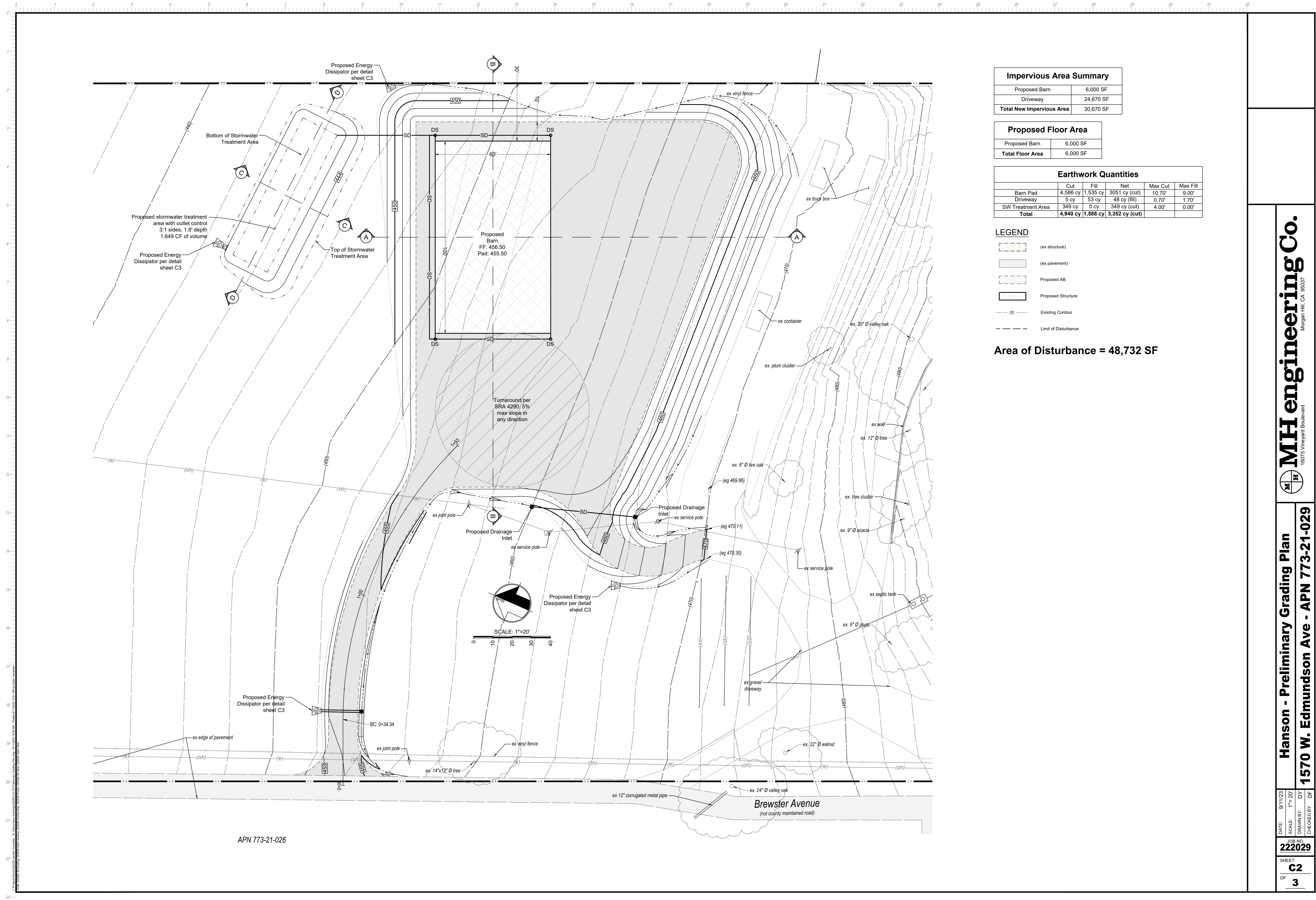
COUNTY LOCATION MAP



MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Hanson - Site Plan
1570 W. Edmundson Ave - APN 773-21-029

DATE: 9/11/23
SCALE: 1"=40'
DRAWN BY: DY
CHECKED BY: DF
JOB NO: 222029
SHEET: C1
OF: 3



Impervious Area Summary	
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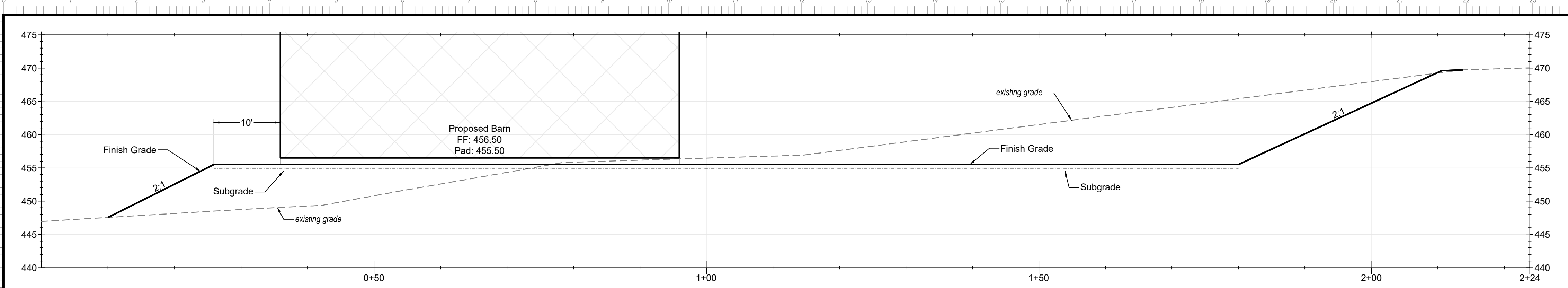
Area of Disturbance = 48,732 SF

APN 773-21-026

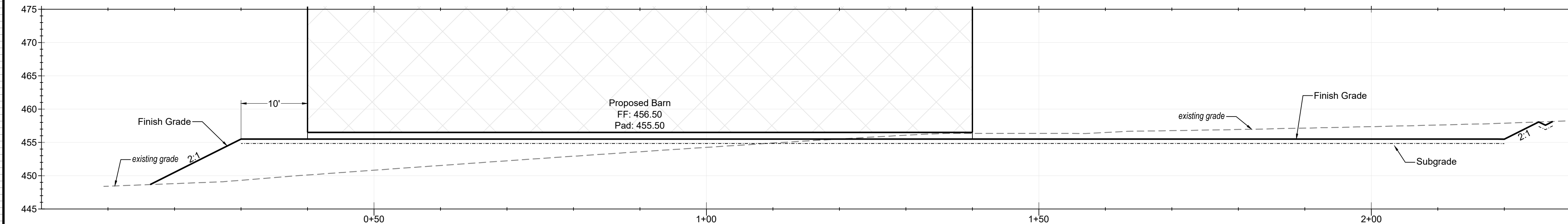
MH engineering Co.
Morgan Hill, CA 95037

Hanson - Preliminary Grading Plan
1570 W. Edmundson Ave - APN 773-21-029

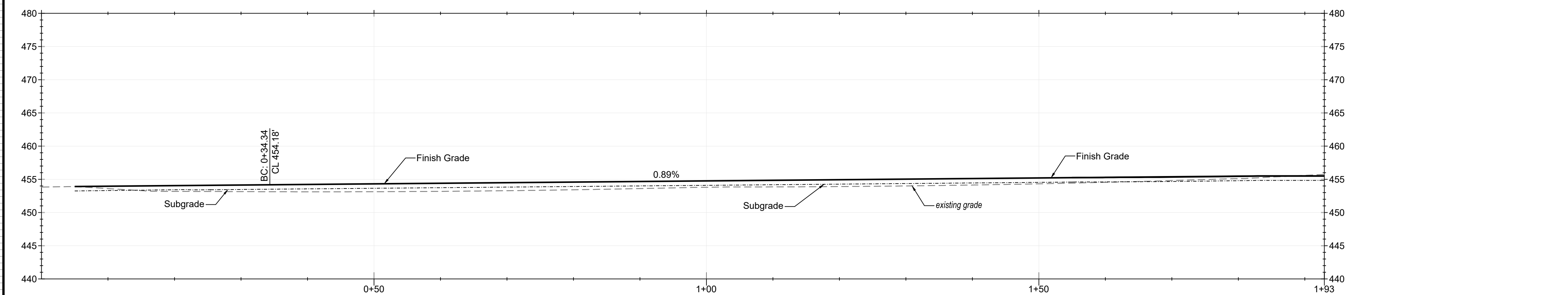
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CHECKED BY: DF
JOB NO: **222029**
SHEET: **C2**
OF: **3**



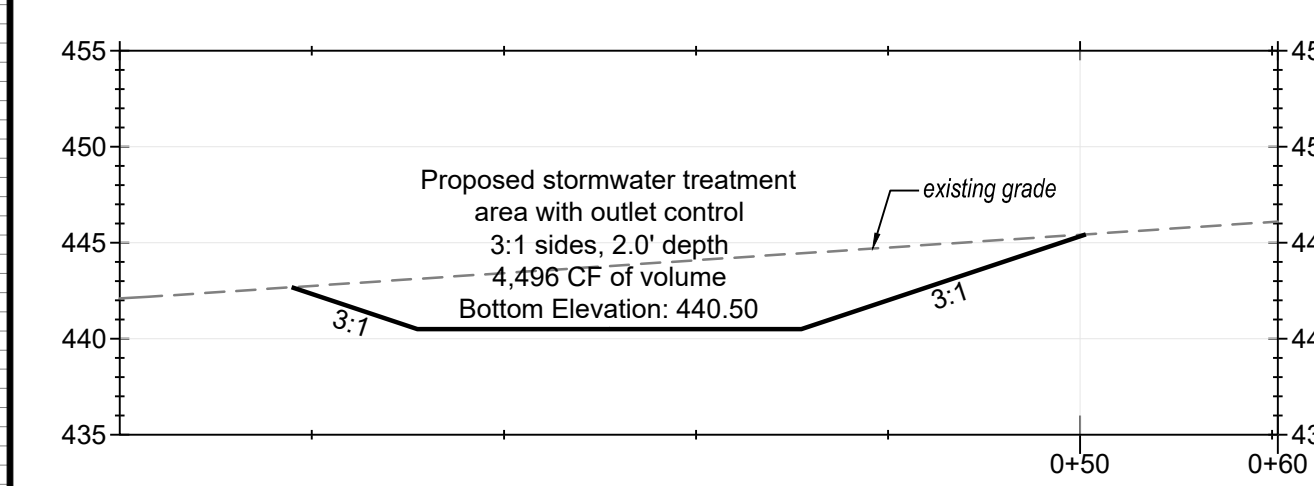
PROFILE: A-A
SCALE H: 1"=10' SCALE V: 1"=10'



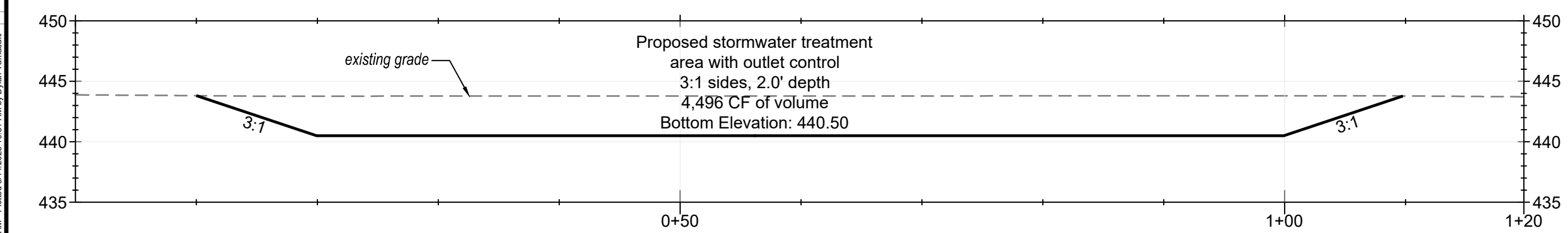
PROFILE: B-B
SCALE H: 1"=10' SCALE V: 1"=10'



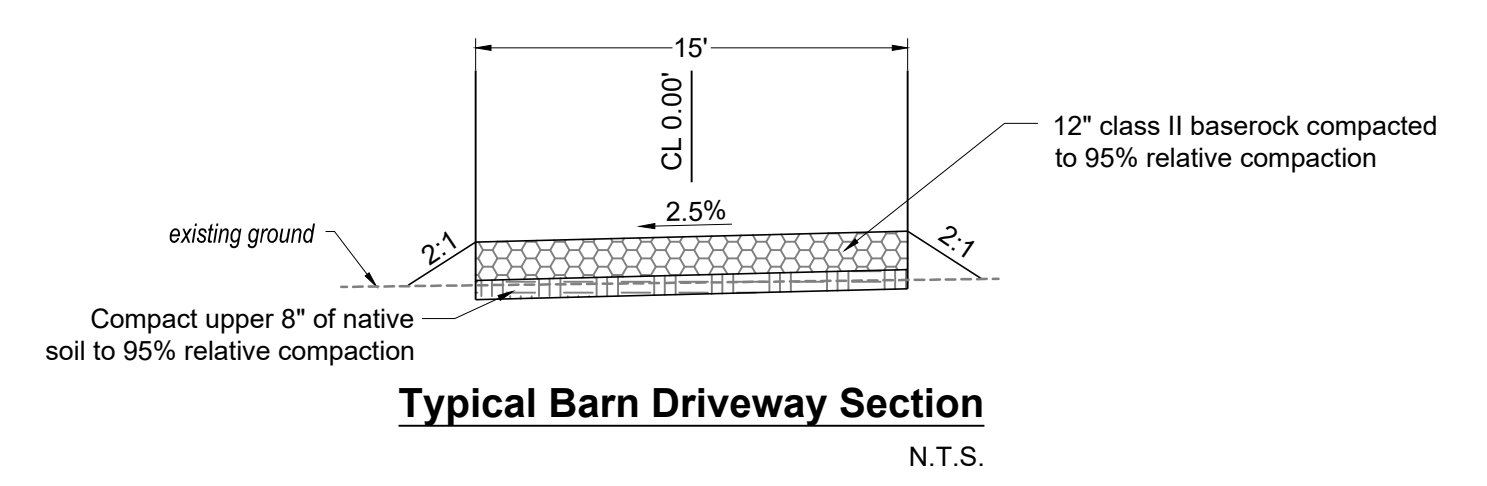
PROFILE: Barn Driveway
SCALE H: 1"=10' SCALE V: 1"=10'



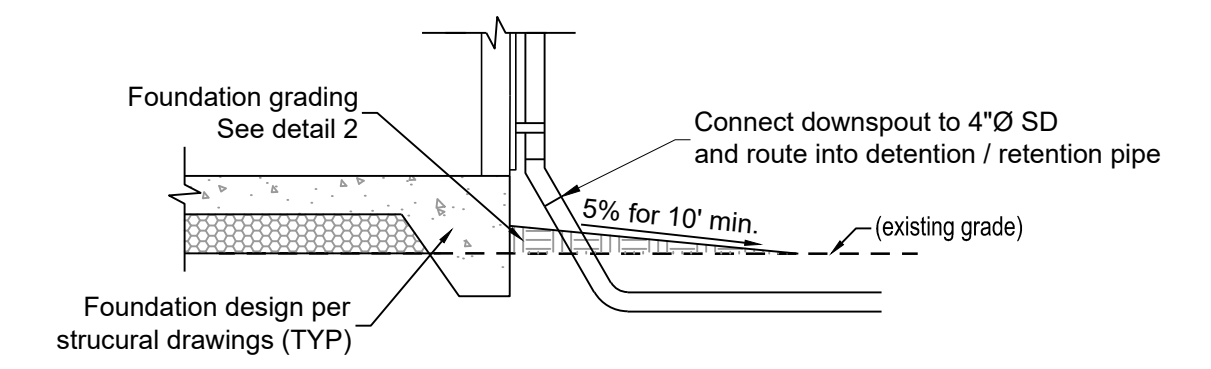
PROFILE: C-C
SCALE H: 1"=10' SCALE V: 1"=10'



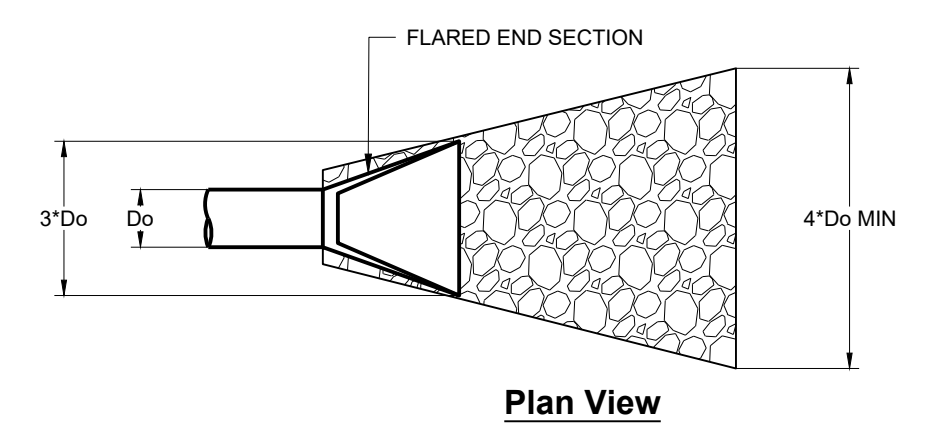
PROFILE: D-D
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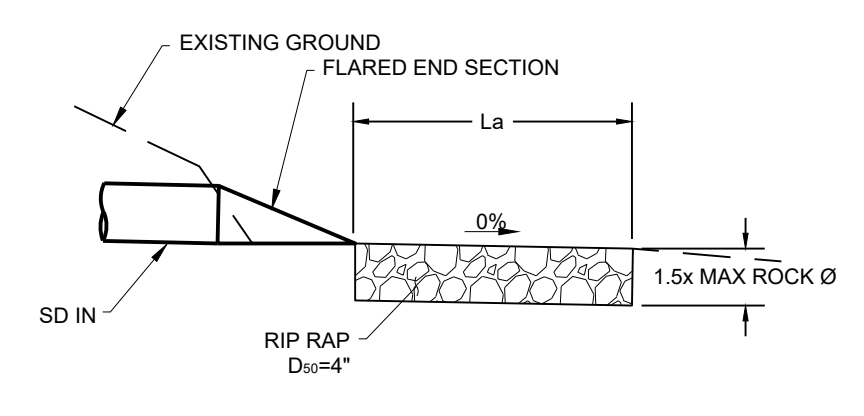
Typical Barn Driveway Section
N.T.S.



Downspout Detail
N.T.S.

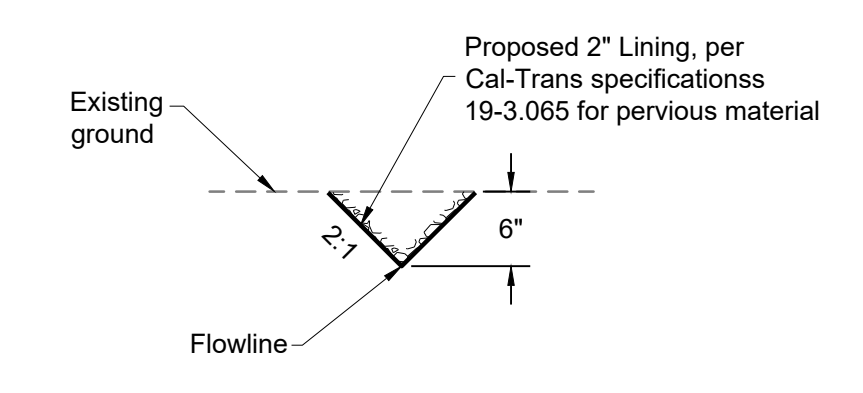


Plan View

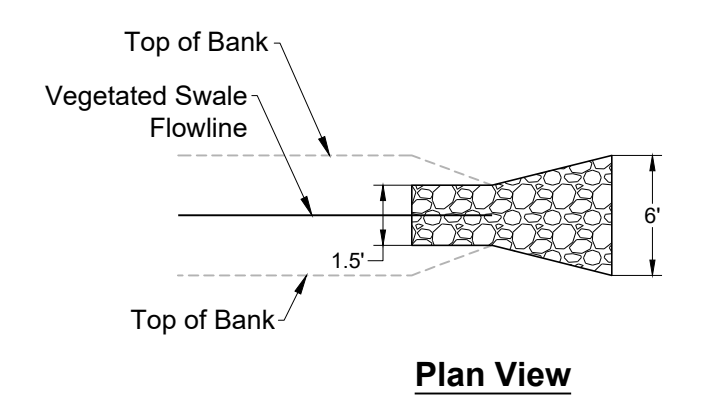


Section View

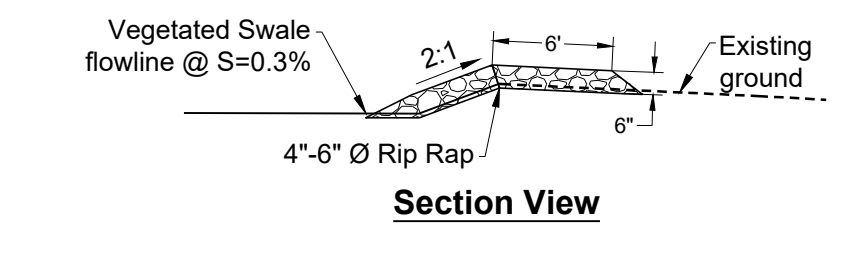
Rip - Rap Pad Detail
N.T.S.



Typical Lined-Ditch Section
N.T.S.



Plan View



Section View

Proposed Energy Dissipator
N.T.S.