

**Applicant/Owner:**

Paul and Jennifer Hanson  
1570 W. Edmondson Ave.  
Morgan Hill, CA 95037  
408.859.0553  
paul@tvbwelding.com  
jennifer@tvbwelding.com

**Engineer:**

David L. Faria, PE 92432  
MH Engineering  
16075 Vineyard Blvd.  
Morgan Hill, CA 95037  
408.779.7381  
davidl@mhengineering.com

**Project Information:**

APN: 773-21-029  
Present Use: Rural Residential  
Present Zoning: RR-d1-sr  
Existing Improvements: As Shown  
Water: Onsite well  
Sanitary Sewer: Septic System  
Gas & Electric: PG&E  
Fire Responsibility Area: SRA  
Wildland Urban Interface: IN  
Occupancy Type: U  
Construction Type: II-B  
HCP Area: IN  
Gross Area: 8.59 ac  
Net Area: 8.32 ac

**Boundary Note:**

Property lines shown on this plan are based on that certain Parcel Map, which map was filed for record in the office of the county recorder of the county of Santa Clara, State of California, on June 11, 1971, in Book 284 of Maps, at Page 44.

**Flood Zone:**

The property lies wholly in Zone D per FEMA Firm Panel 06085C0606H, effective May 18, 2009.

**Basis of Bearings:**

The bearing of North 41°03' East of the centerline of Edmondson Avenue per that certain parcel map filed for record on June 11, 1971 in Book 284 of Maps at Page 44, Santa Clara County Recorder's Office.

Impervious Area Summary	
Proposed Barn	4,960 SF
Driveway	26,696 SF
<b>Total New Impervious Area</b>	<b>31,656 SF</b>

Proposed Floor Area	
Proposed Barn	4,960 SF
<b>Total Floor Area</b>	<b>4,960 SF</b>

Earthwork Quantities					
	Cut	Fill	Net	Max Cut	Max Fill
Barn Pad	1,715 cy	1,455 cy	260 cy (cut)	5.90'	9.20'
Driveway	20 cy	701 cy	681 cy (fill)	1.00'	4.90'
SW Treatment Area	416 cy	0 cy	416 cy (cut)	3.50'	0.00'
<b>Total</b>	<b>2,151 cy</b>	<b>2,156 cy</b>	<b>5 cy (fill)</b>		

**LEGEND**

- (ex structure)
- (ex pavement)
- Proposed AC
- Proposed AB
- Proposed Structure
- Existing Contour
- Limit of Disturbance

**Area of Disturbance = 54,632 SF**

**Fire Notes:**

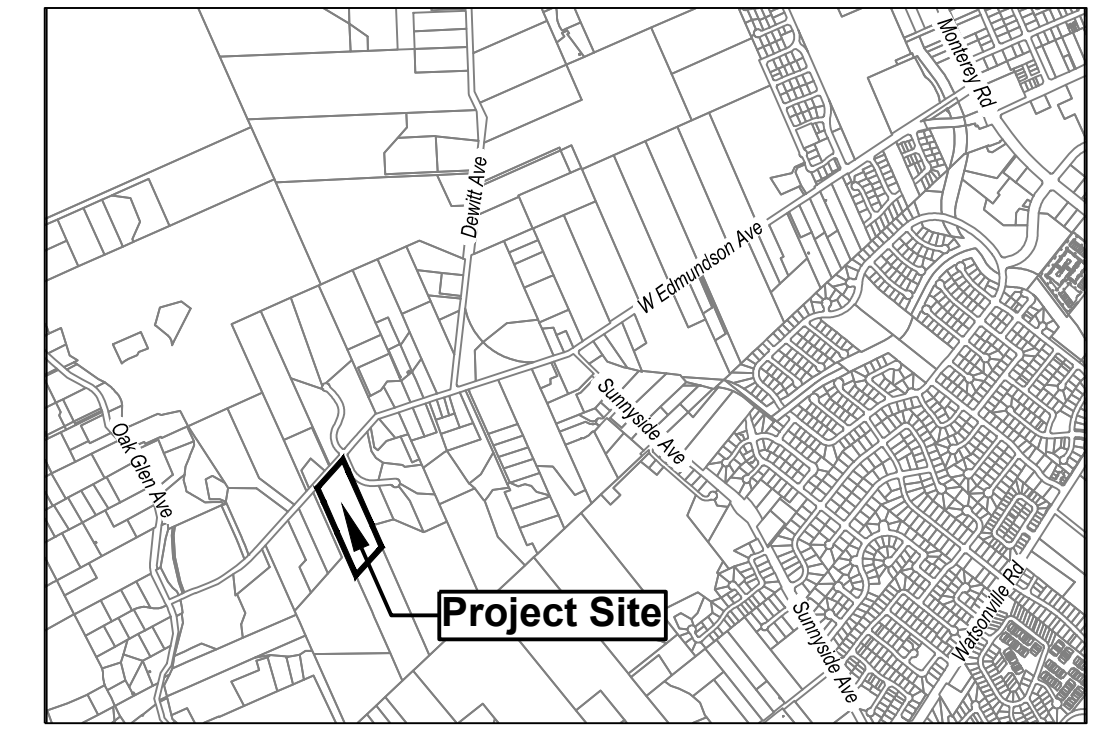
- Fire Sprinklers are not proposed.
- Property is located in the State Response Area.
- Property is in Wildland Urban Interface (WUI).
- Structures to meet WUI construction requirements.
- Property to maintain defensible space at all times.
- Driveway width will be maintained at 12' minimum with a clear height of 13' 6".
- Existing driveway capable of supporting 75,000 lbs.
- All proposed driveways to be made of an all weather surface capable of supporting 75,000 lbs.
- All proposed driveways shall have a max. slope of 16%.

**Tree Notes:**

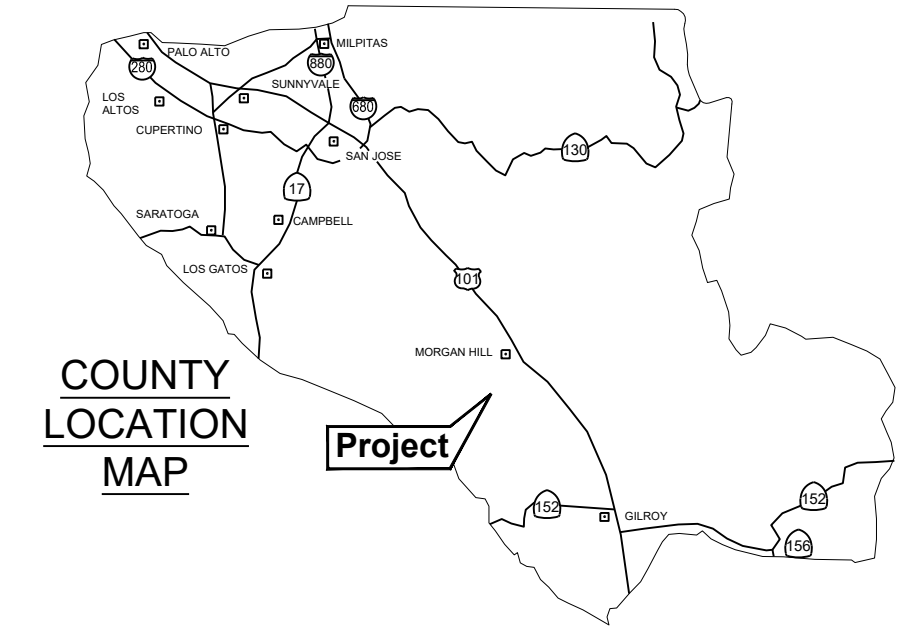
No trees proposed to be removed.

**Landscaping Notes:**

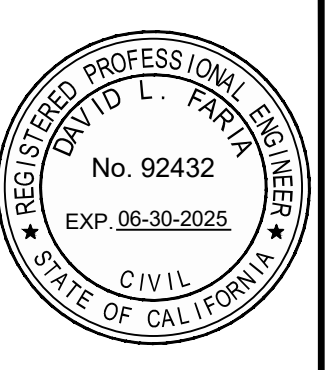
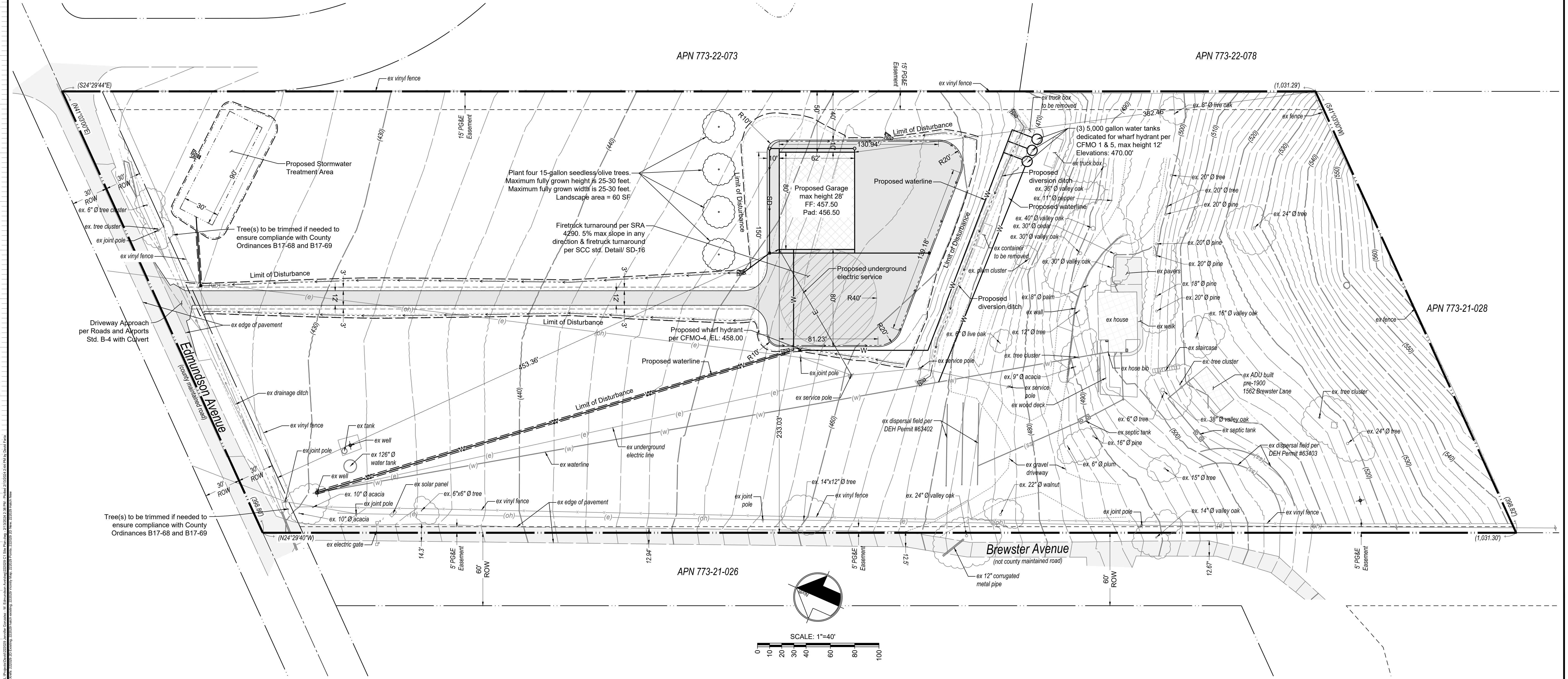
- Four seedless olive trees are to be planted at the location shown on the site plan.
- The expected maximum height of the trees is 25 to 30 feet.
- The expected maximum width of the trees is 25 to 30 feet.
- Total landscaping area is 60 square feet.
- All non improved disturbed area is to be hydroseeded.



VICINITY MAP



COUNTY LOCATION MAP



**MH engineering Co.**  
16075 Vineyard Boulevard  
Morgan Hill, CA 95037

**Hanson - Site Plan**  
1560 W. Edmondson Ave - APN 773-21-029

DATE: 1/19/24  
SCALE: 1"=40'  
DRAWN BY: DY  
CHECKED BY: DF  
JOB NO: 222029  
SHEET: C1  
OF: 3

**Impervious Area Summary**

Proposed Barn	4,960 SF
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<b>Total New Impervious Area</b>	<b>31,656 SF</b>

**Proposed Floor Area**

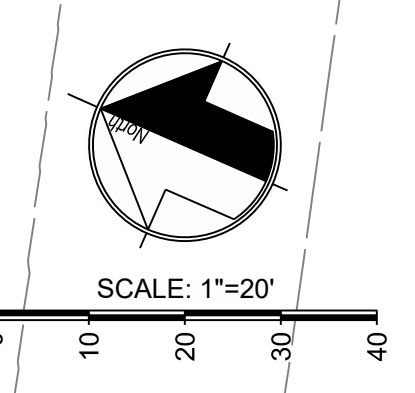
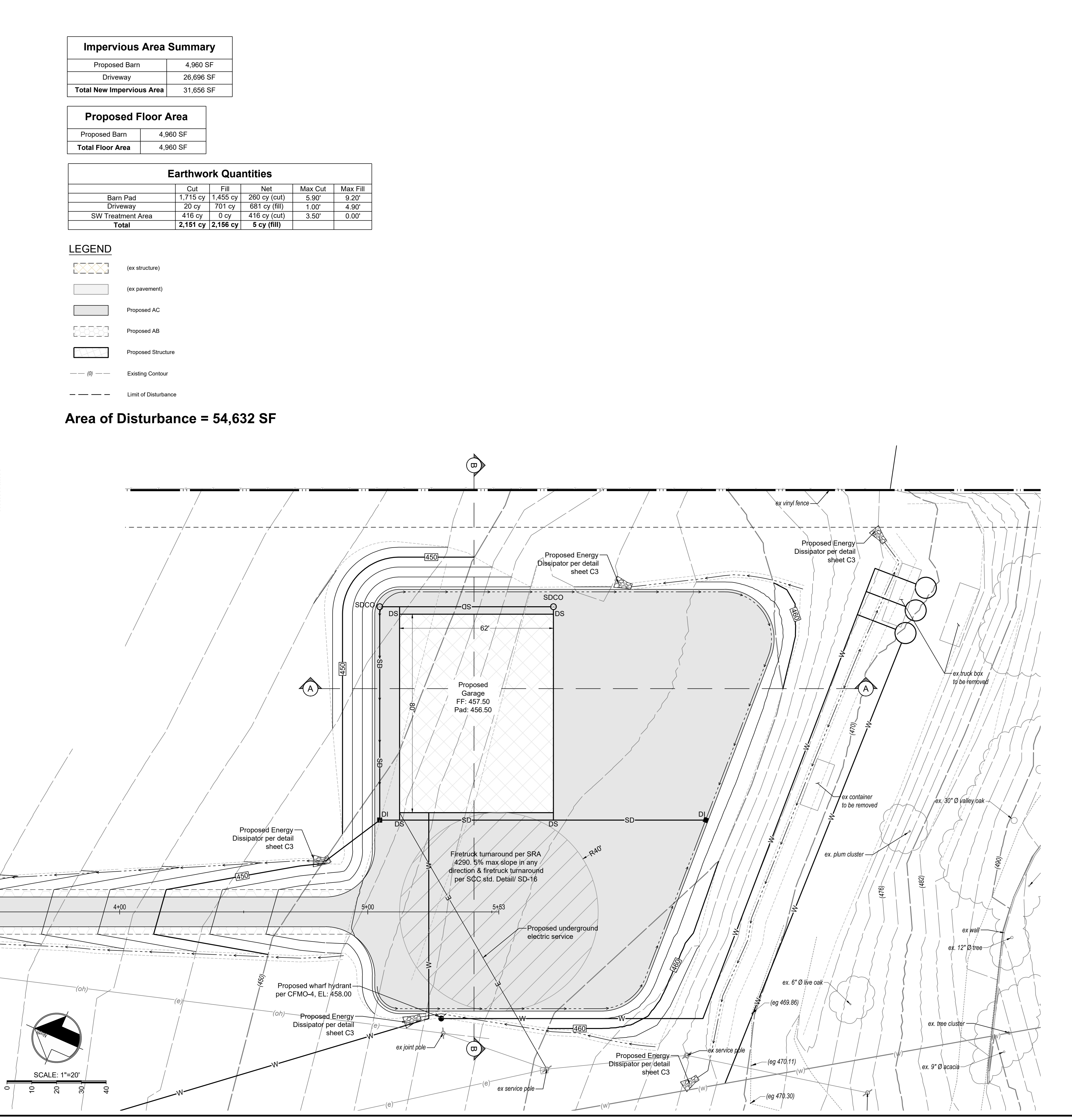
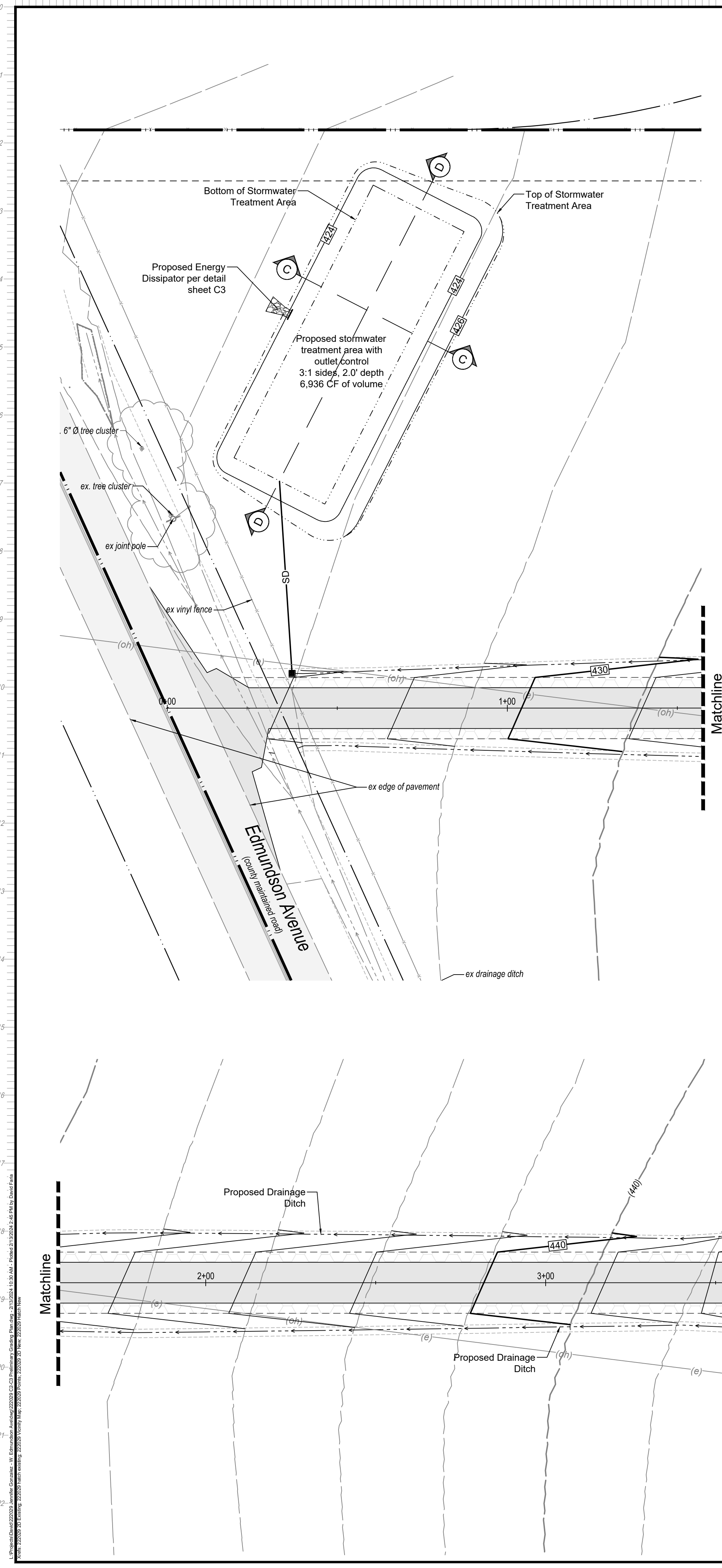
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<b>Total Floor Area</b>	<b>4,960 SF</b>

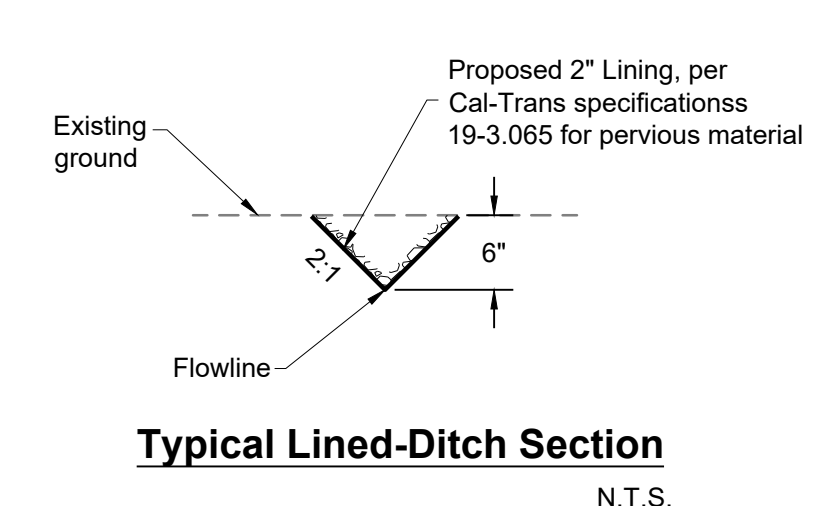
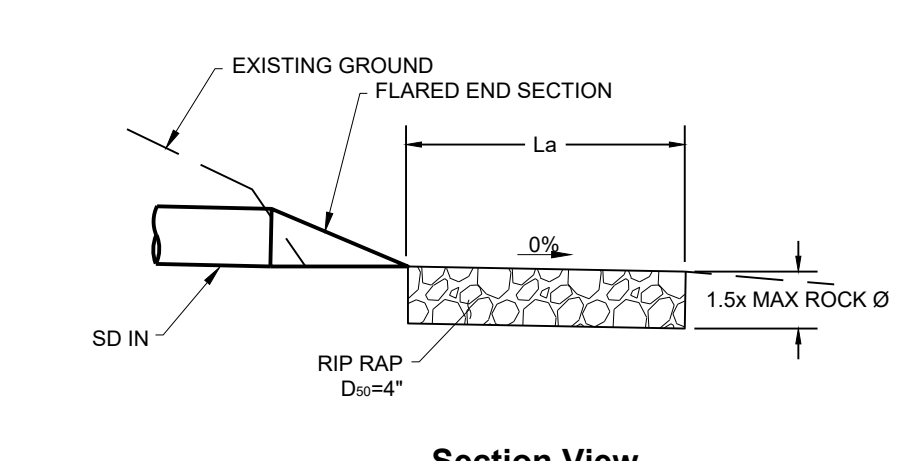
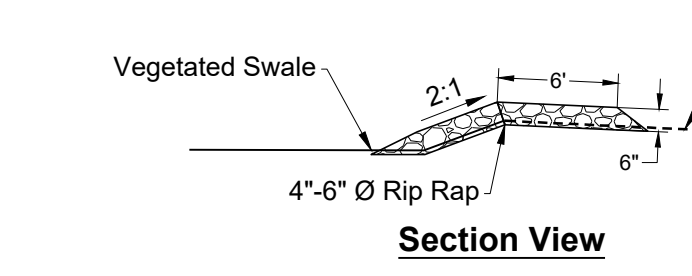
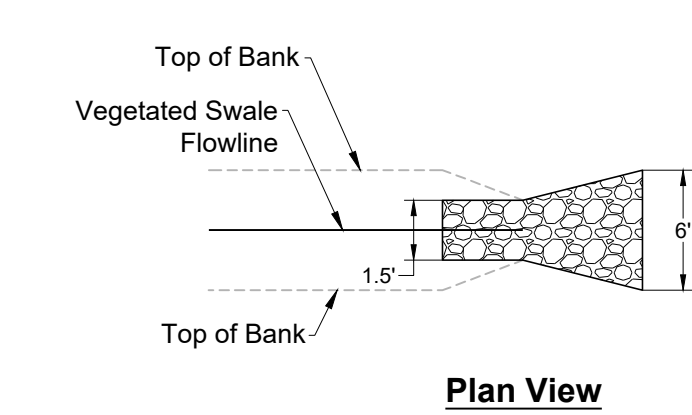
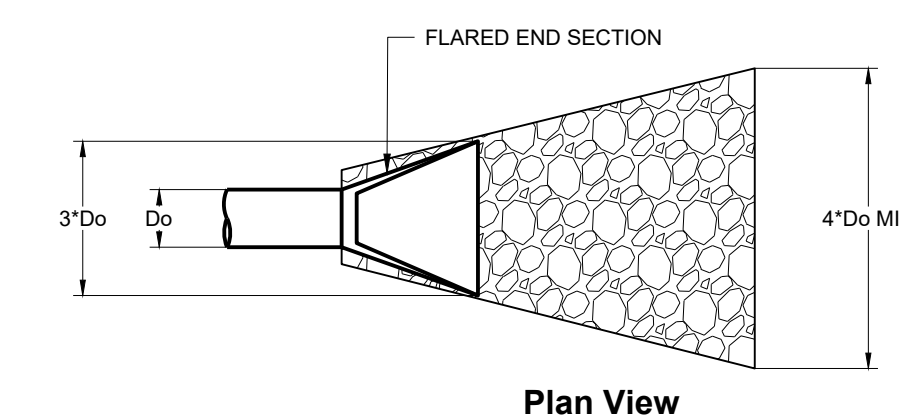
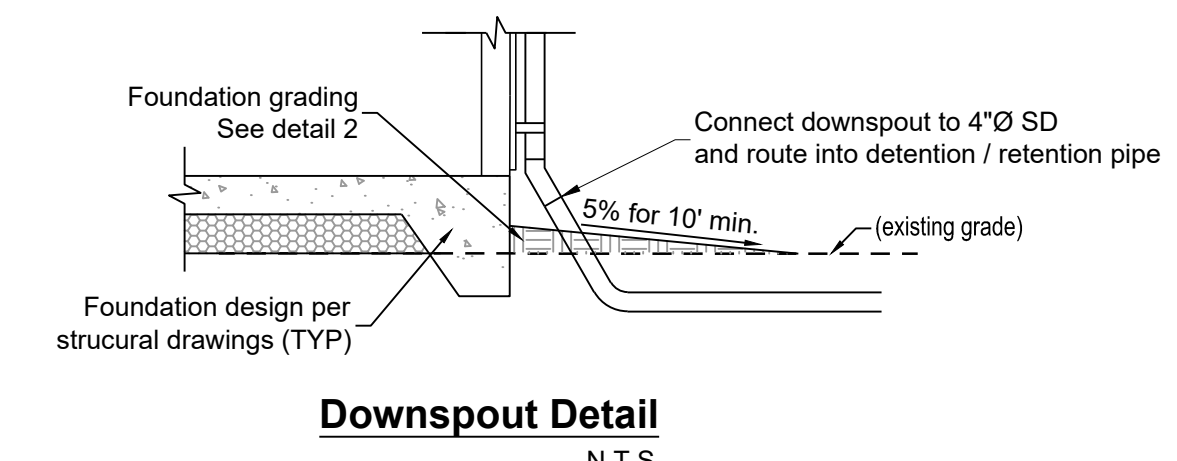
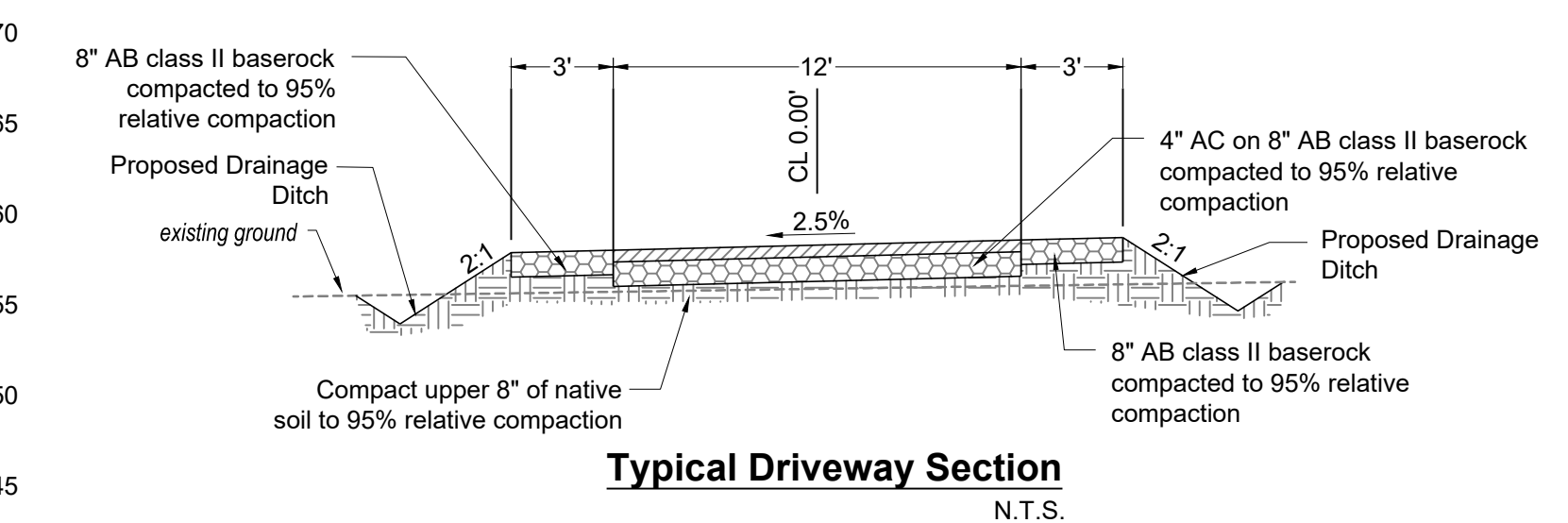
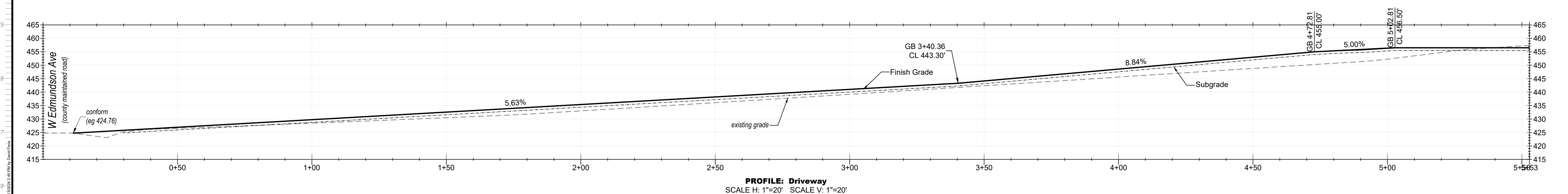
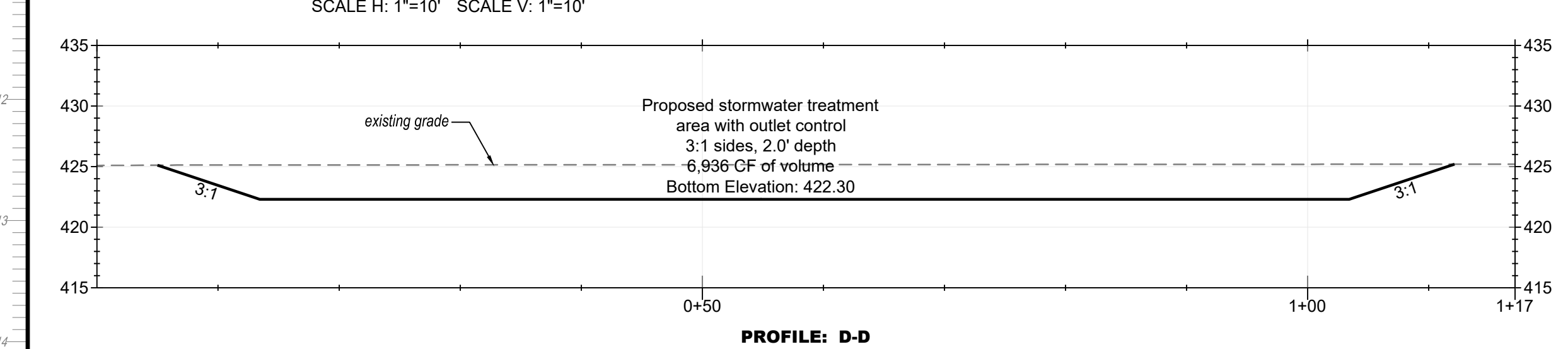
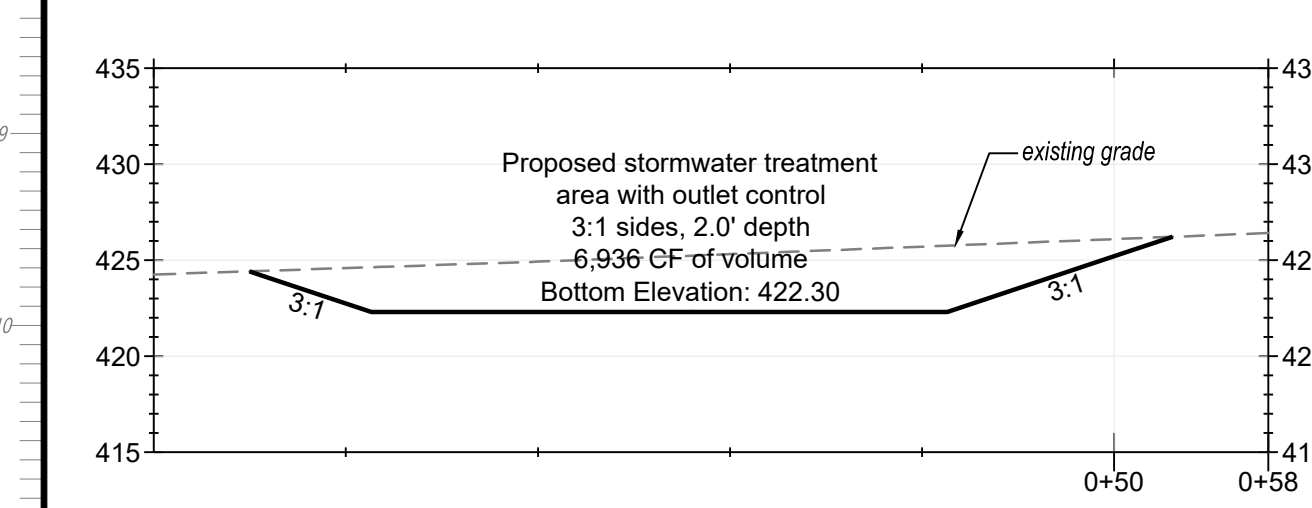
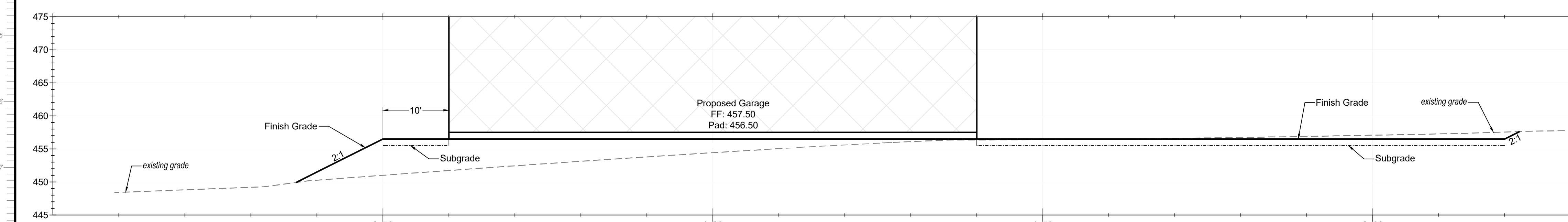
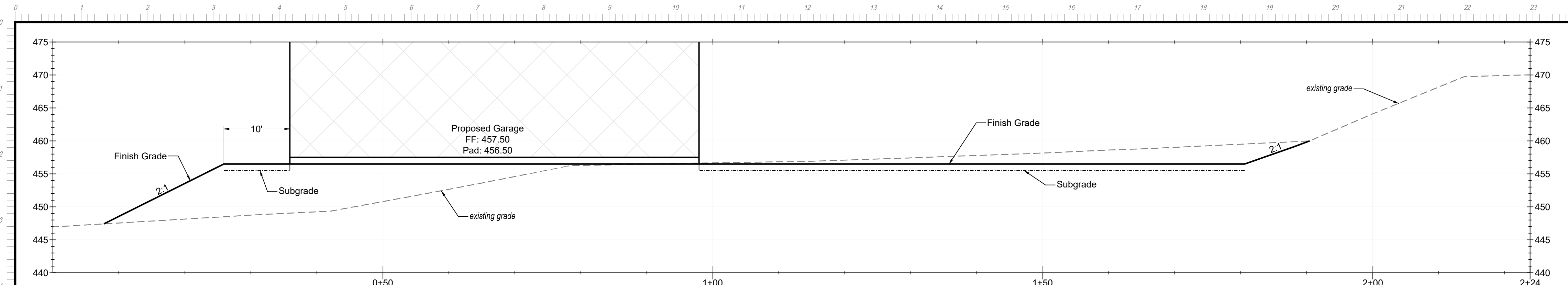
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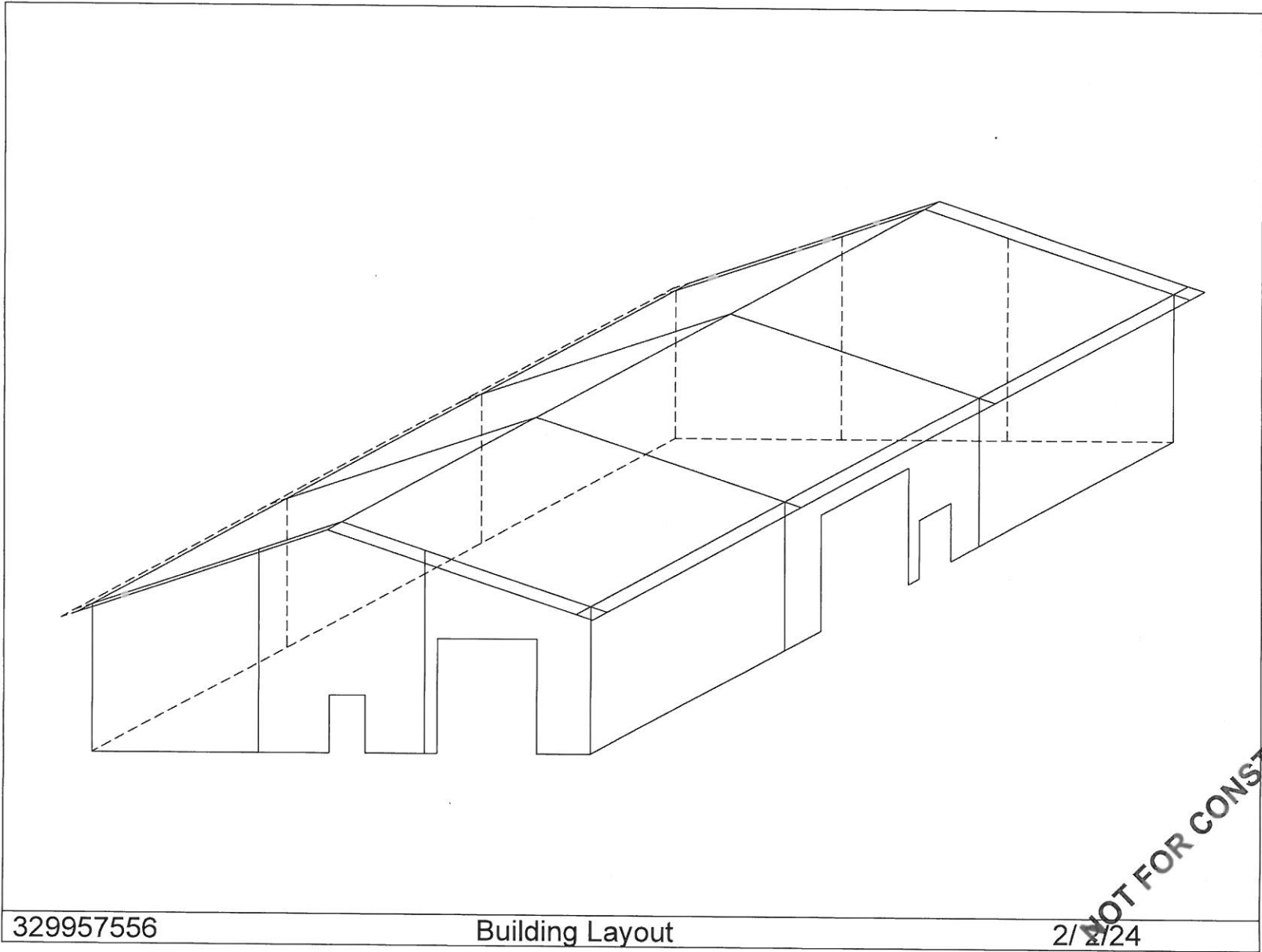


02/13/2024 10:36 AM  
**FOR PLANCHUCK ONLY**  
REGISTERED PROFESSIONAL ENGINEER  
DAVID L. FARRAR  
No. 92432  
EXP. 06-30-2025  
CIVIL  
STATE OF CALIFORNIA  
**FOR PLANCHUCK ONLY**  
regular and possible past sponsor

**MH engineering Co.**  
16075 Vineyard Boulevard  
Morgan Hill, CA 95037

**Preliminary Grading Plan - Sections**  
**1560 W. Edmondson Ave - APN 773-21-029**

DATE: 1/19/24  
SCALE: as noted  
DRAWN BY: DY  
CHECKED BY: DF  
JOB NO: **222029**  
SHEET: **C3**  
OF: **3**

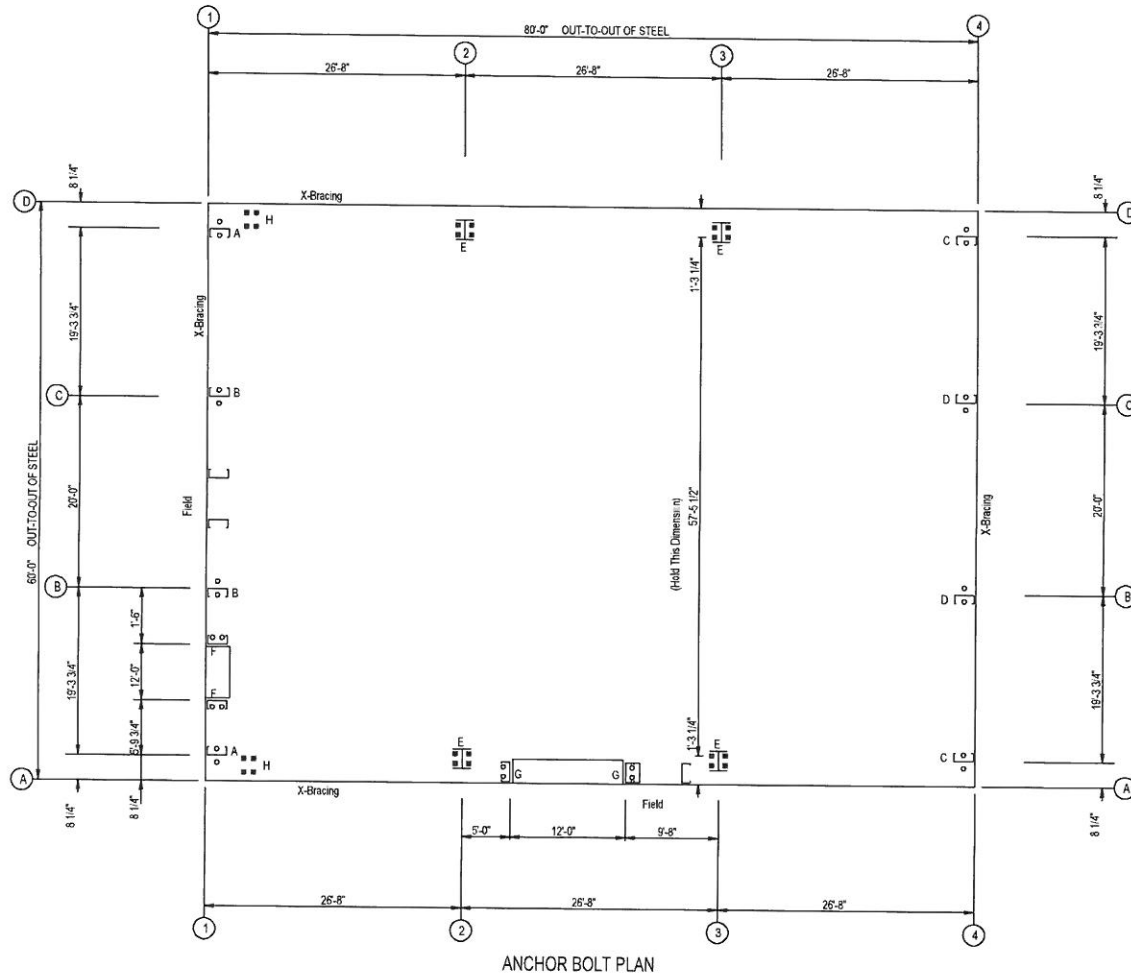


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Building Layout

2/24

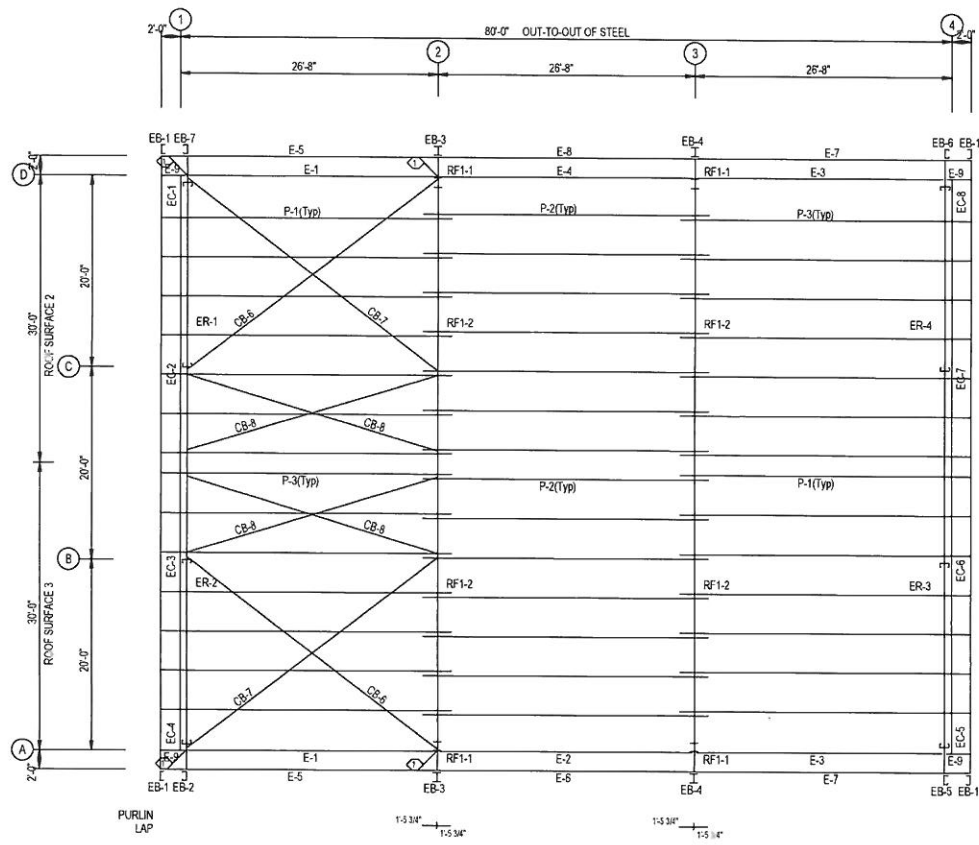
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○ Dia= 5/8"  
 ⊗ Dia= 3/4"

ANCHOR BOLT PLAN

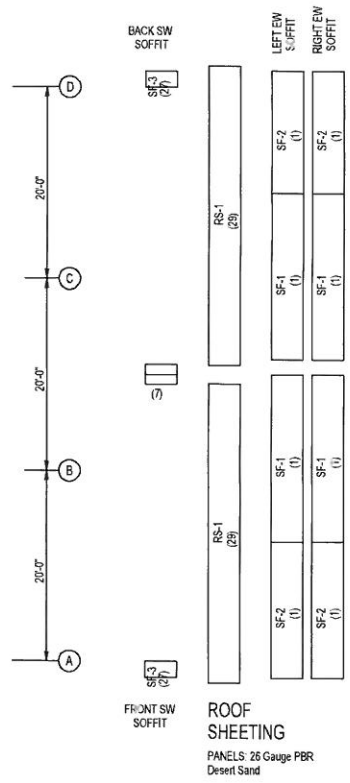
NOT FOR CONSTRUCTION



ROOF FRAMING PLAN

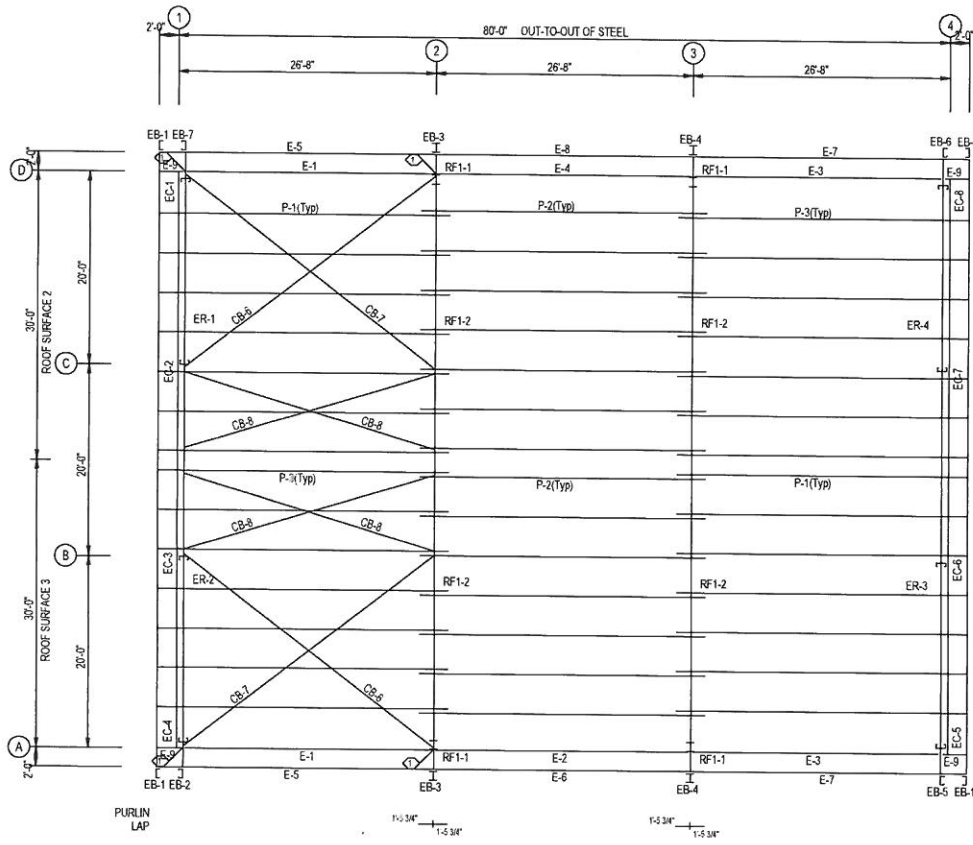
EXTENSION/CANOPY BOLTS				
ROOF PLAN				
MARK	QUAN	TYPE	DIA	LENGTH
EB-2	5	A325	1 1/2"	11'-3"
EB-3	4	A325	1 1/2"	11'-3"
EB-4	4	A325	1 1/2"	11'-3"
EB-5	6	A325	1 1/2"	11'-3"
EB-6	6	A325	1 1/2"	11'-3"
EB-7	6	A325	1 1/2"	11'-3"

SPECIAL BOLTS				
P-1 OF P-3 (1)				
ID	QUAN	TYPE	DIA	LENGTH
1	4	A325	3/4"	11'-3"



ROOF SHEETING  
 PANELS: 26 Gauge PBR  
 Desert Sand

**NOT FOR CONSTRUCTION**

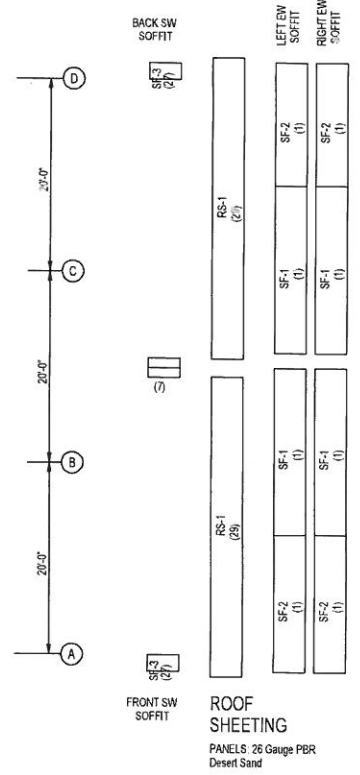


ROOF FRAMING PLAN

EXTENSIVE/CANOPY BOLTS				
ROOF PLAN				
MARK	QUAN	TYPE	DIA	LENGTH
EB-2	6	A325	1/2"	1'1/4"
EB-3	4	A325	1/2"	1'1/4"
EB-4	4	A325	1/2"	1'1/4"
EB-5	6	A325	1/2"	1'1/4"
EB-6	6	A325	1/2"	1'1/4"
EB-7	6	A325	1/2"	1'1/4"

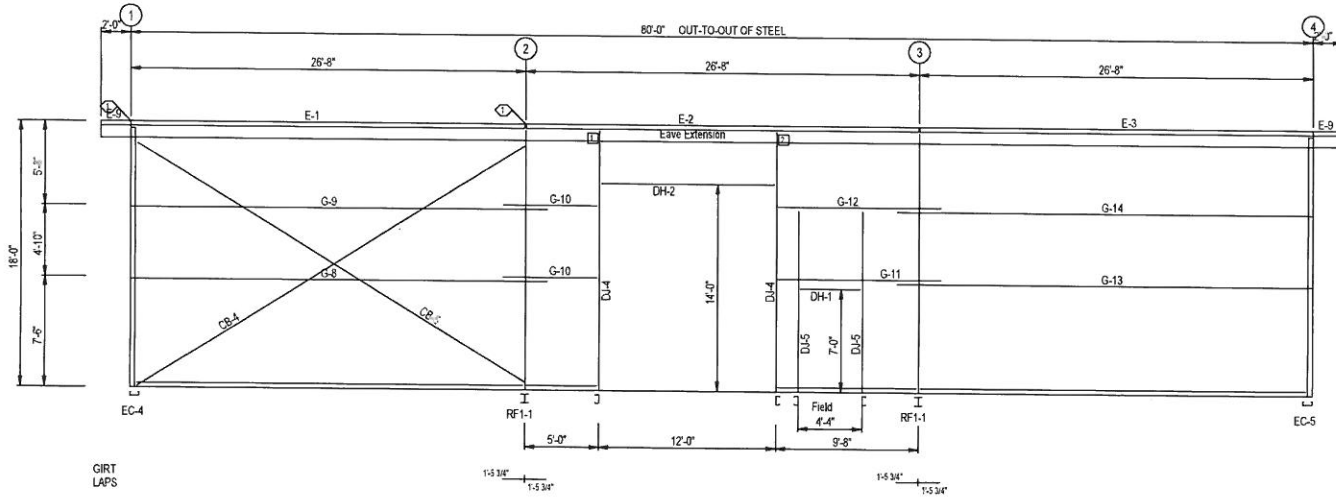
  

SPECIAL BOLTS					
ROOF PLAN					
Q ID	QUAN	TYPE	DIA	LENGTH	V-SH
1	4	A325	1/2"	1'1/4"	0

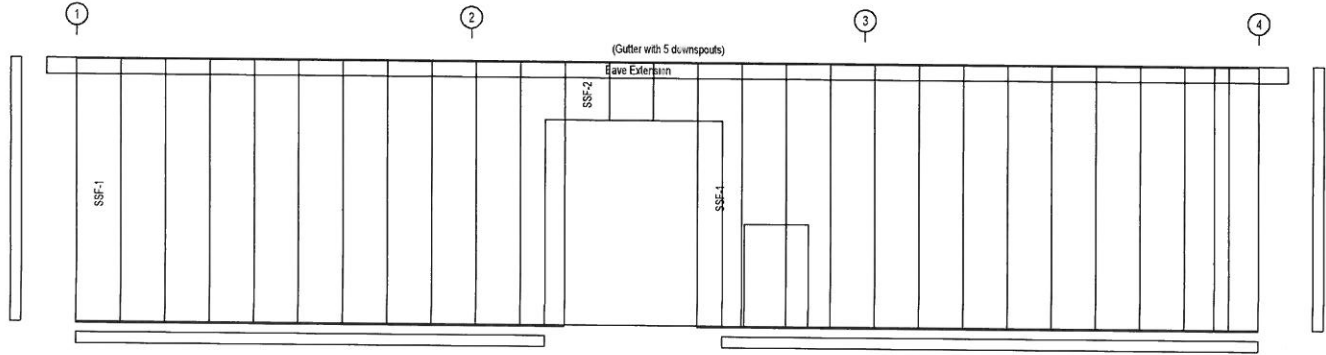


ROOF SHEETING  
 PANELS: 26 Gauge PBR  
 Desert Sand

NOT FOR CONSTRUCTION



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL SHEETING & TRIM: FRAME LINE A

PANELS: 26 Gauge PBR - Polar White

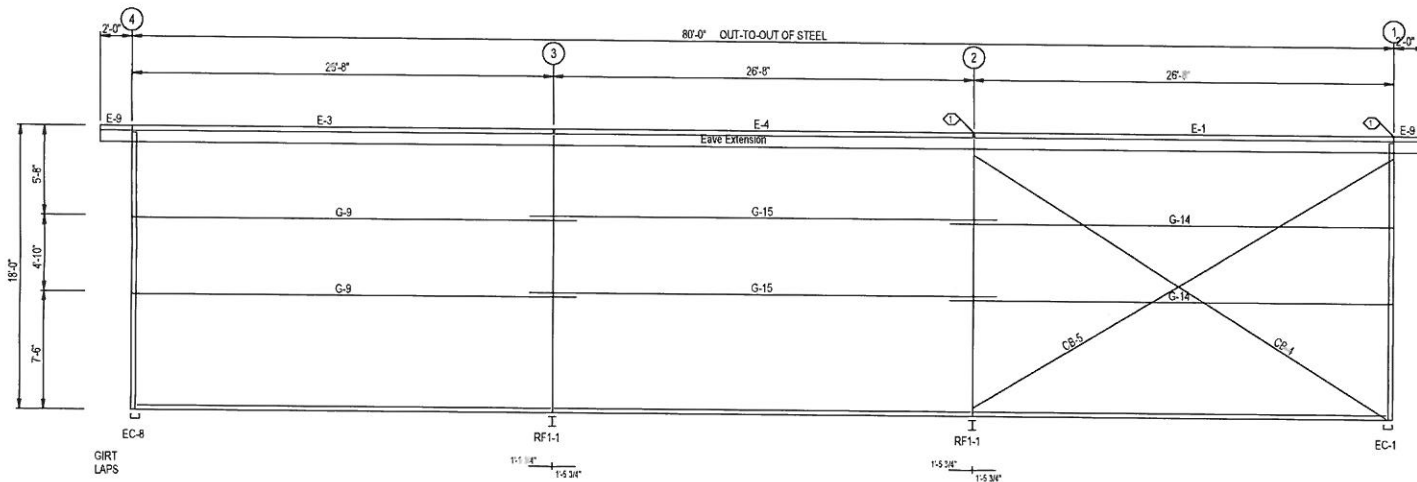
SPECIAL BOLTS					
Q. ID	QUAN.	TYPE	DIA.	LENGTH	W/SH.
1	4	AXS	1/2"	1-1/2"	3

CONNECTION PLATES	
ID	MATERIAL
1	SS587 L
2	SS587 R

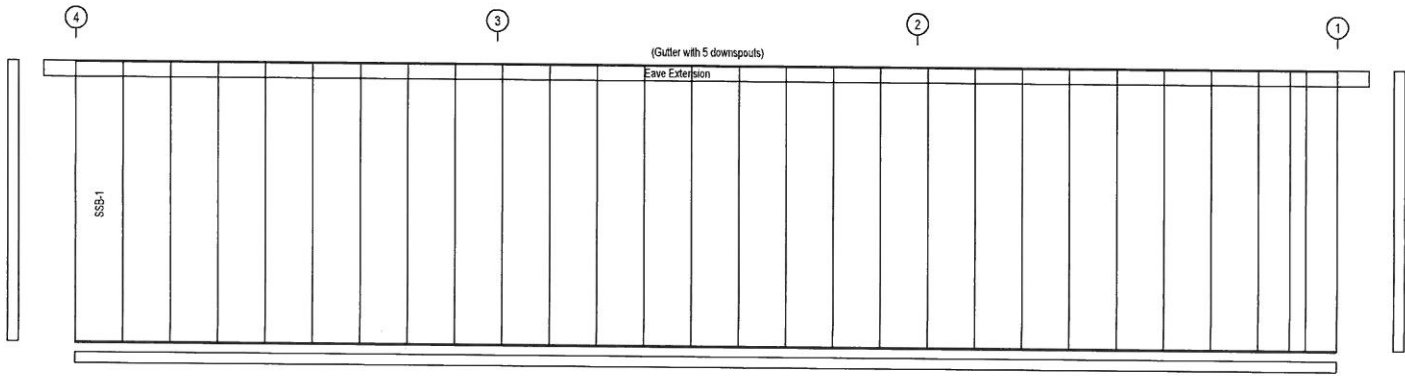
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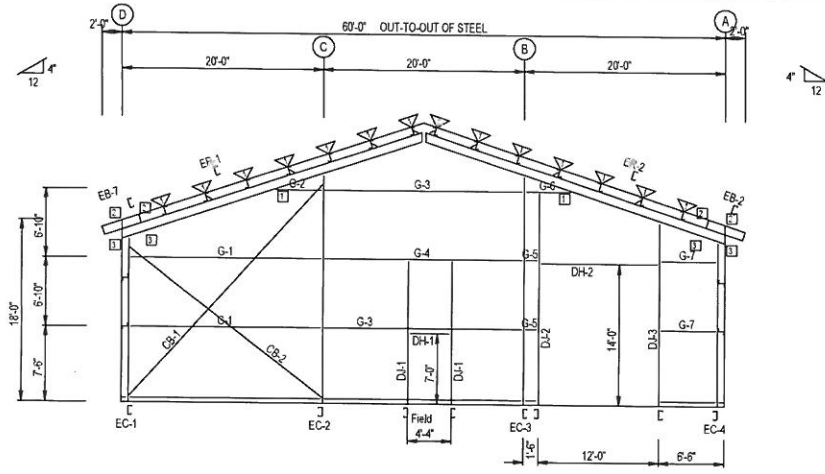
SIDEWALL FRAMING: FRAME LINE D

SPECIAL BOLTS					
O. ID	QUAN	TYPE	DIA	LENGTH	WASH
1	4	A325	1/2"	1-1/4"	0

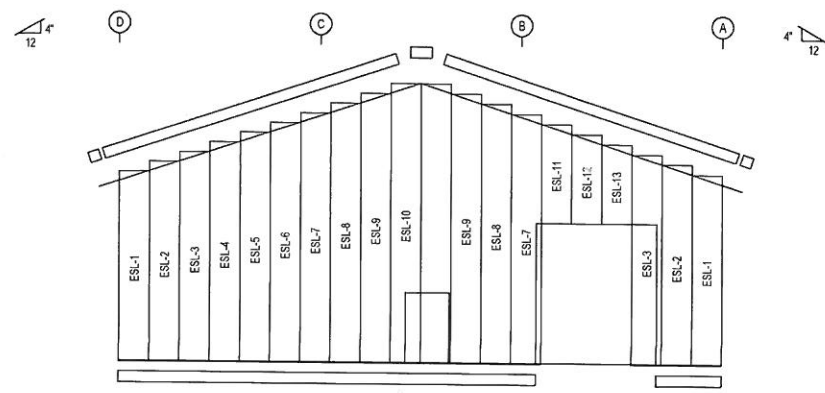


SIDEWALL SHEETING & TRIM: FRAME LINE D  
 PANELS: 2<sup>nd</sup> Gauge PBR - Polar White

NOT FOR CONSTRUCTION



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

PANEL® 26 Gauge PBR - Polar White

BOLT TABLE				
FRAME LINE 1				
LOCATION	QUAN	TYPE	DIAM	LENGTH
ER-TIER-2	4	A325	5/8"	1'-0"
Columns/Pt	4	A325	1/2"	1'-1/4"

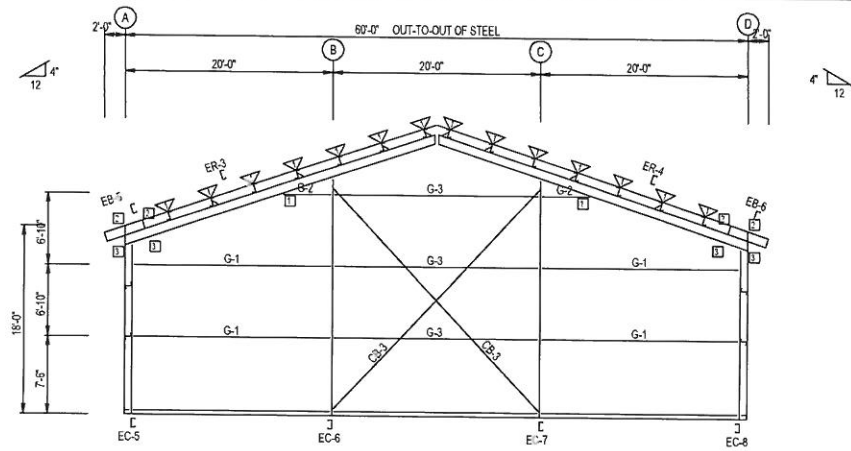
  

FLANGE BRACE TABLE		
FRAME LINE 1		
▽ ID	PART	LENGTH
FB31.3	L2" x 1/4"	2'-7 1/4"

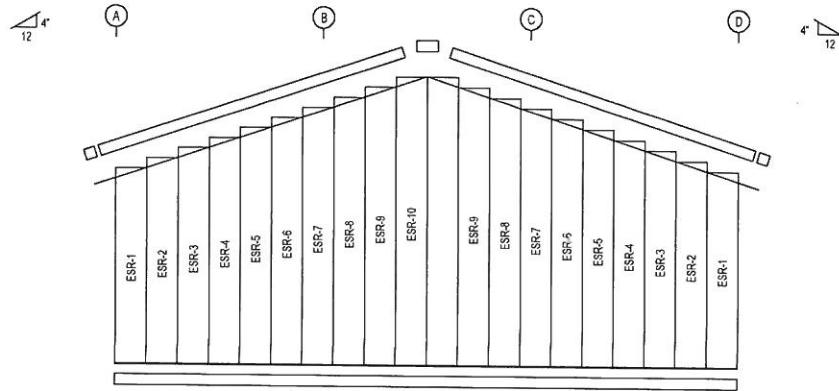
  

CONNECTION PLATES	
FRAME LINE 1	
ID	MATERIAL
1	SC513
2	1/1"
3	1/2"

NOT FOR CONSTRUCTION



ENDWALL FRAMING: FRAME LINE 4



ENDWALL SHEETING & TRIM: FRAME LINE 4

PANELS: 26 Gauge PBR - Polar White

BOLT TABLE FRAME LINE 4				
LOCATION	QUAN	TYPE	DIA	LE/STH
ER-3/ER-4	4	A325	5/8"	1 3/4"
Columns/Raf	4	A325	1/2"	1 1/4"

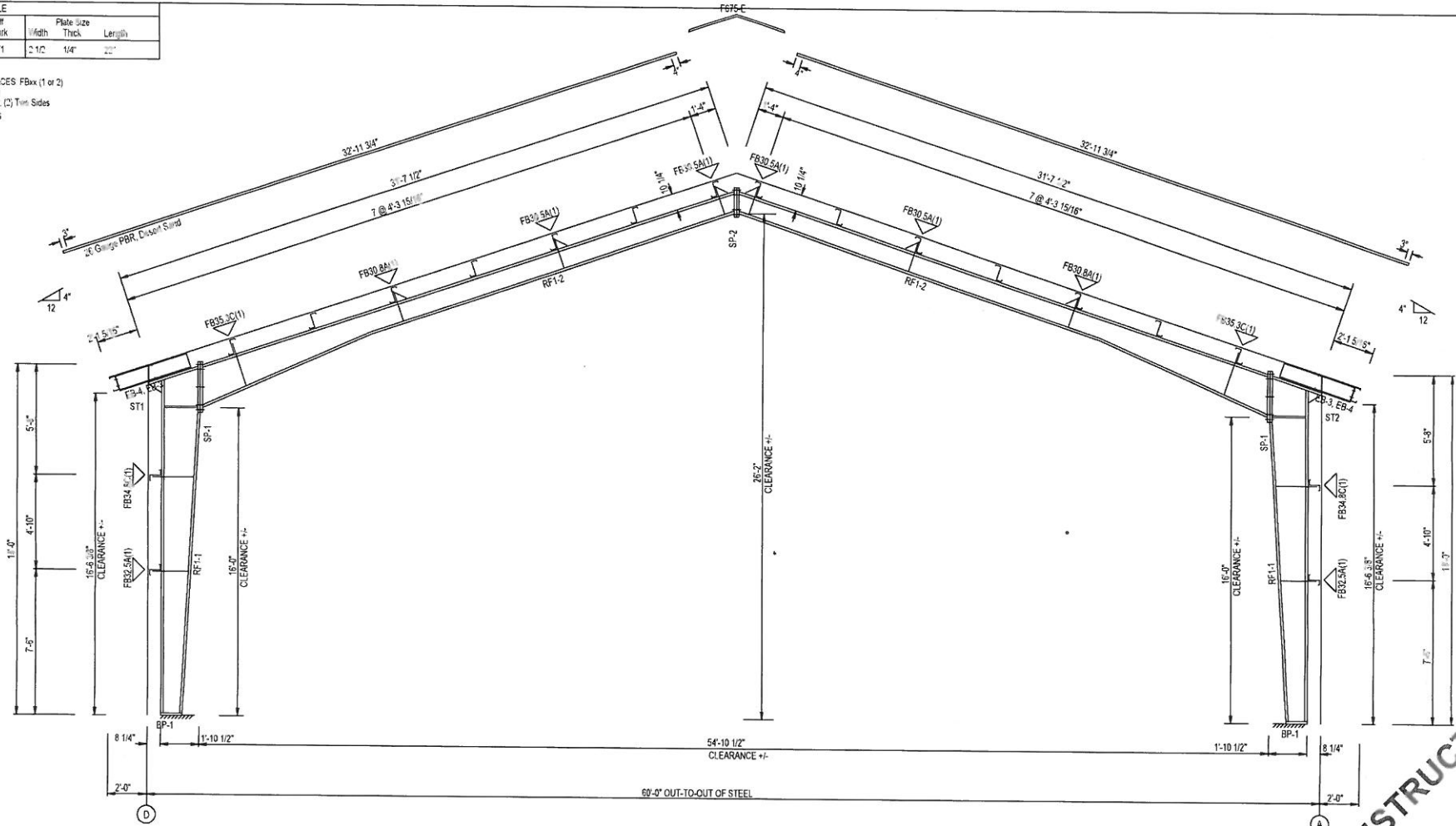
FLANGE BRACE TABLE FRAME LINE 4		
▽ ID	PART	LENGTH
FE11.3	L 1/2" X 1/4"	2'-7 1/4"

CONNECTOR PLATES FRAME LINE 4	
ID	MATERIAL
1	SCC73
2	11
3	12

NOT FOR CONSTRUCTION

STIFFENER TABLE				
Mark	Stiffener Mark	Width	Plate size Thick	Length
RF1-1	ST1	2'-1 1/2"	1/4"	2'-0"

▽ FLANGE BRACES FBxx (1 or 2)  
 xx=ler@Q(W)  
 (1) One Side, (2) Two Sides  
 A - L2x2x1/4G  
 C - L2x2x1/8



RIGID FRAME ELEVATION: FRAME LINE 2 3

NOT FOR CONSTRUCTION