

Applicant/Owner:

Jared O'Neill  
2800 Roop Road  
Gilroy, CA 95020  
408.691.0076  
joneill@westernsiteservices.com

Engineer:

David L. Faria, RCE 92432  
MH Engineering  
16075 Vineyard Blvd.  
Morgan Hill, CA 95037  
408.779.7381  
davidl@mhengineering.com

Project Information:

APN 835-24-094  
Present Use: Residential  
Existing Zoning: A-20Ac-d1  
Existing Improvements: As Shown  
Water: ex  
Sanitary Sewer: ex OWTS  
Gas & Electric: ex PGE  
Fire Responsibility Area: SRA  
Wildland Urban Interface: No  
HCP Area: Rural >= 2 acres  
Hazard Zone(s): Liquefaction  
Gross Area: 5.4 ac  
Net Area: 5.4 ac

**Boundary Note:** Property lines shown on this plan are based on record data and boundary monumentation measured to date.

**Flood Zone:** The property lies partially in Zone D (65%), areas in which flood hazards are undetermined, but possible, and partially in Zone A (35%), areas within the 1% annual flood boundaries with no base flood elevation per FEMA Firm Panel 06085C0641H, effective May 18, 2009.

**Basis of Bearings:** The bearings shown on this map are based on the centerline of Roop Road as found monumented and recorded as North 40° 18' West, on that map thereof recorded in Book O of Maps at Pages 28-29, Santa Clara County Records.

**Benchmark:** Elevations shown on this plan are based on Santa Clara Valley Water District Benchmark BM428, aluminum disk in aluminum monument box on the southerly side of Roop Road just north of Sugar Babe Drive. Unincorporated City of Gilroy. ELEVATION = 310.84'. (NAVD88)

Grading Violation Descriptions:

The grading violation consists of 687 cubic yards of cut and 2,397 cubic yards of fill to create all weather access pathways and a building pad for a detached garage.

- Violation A was constructed for parking and storage of a horse trailer and equipment. It was briefly used to store new port-o-lets and they have since been removed. The AB fill was found to be an average of 2" in depth.
- Violation B was constructed to provide and all weather access pathway to access the horse pasture. The AB fill was found to be an average of 2" in depth.
- Violation C was graded prior to the current ownership and was constructed to provide a building pad for a detached garage and an area of outdoor storage.
- Violation D was constructed to provide a rear yard patio and lawn area.
- Violation E was constructed to provide all weather access to the existing well. The AB fill was found to be an average of 2" in depth.
- Violation F was constructed to provide all weather access to the chicken coop and animal shelter. The AB fill was found to be an average of 2" in depth.
- Violation G was constructed to provide all weather access from the chick coop to the existing well. The AB fill was found to be an average of 2" in depth.

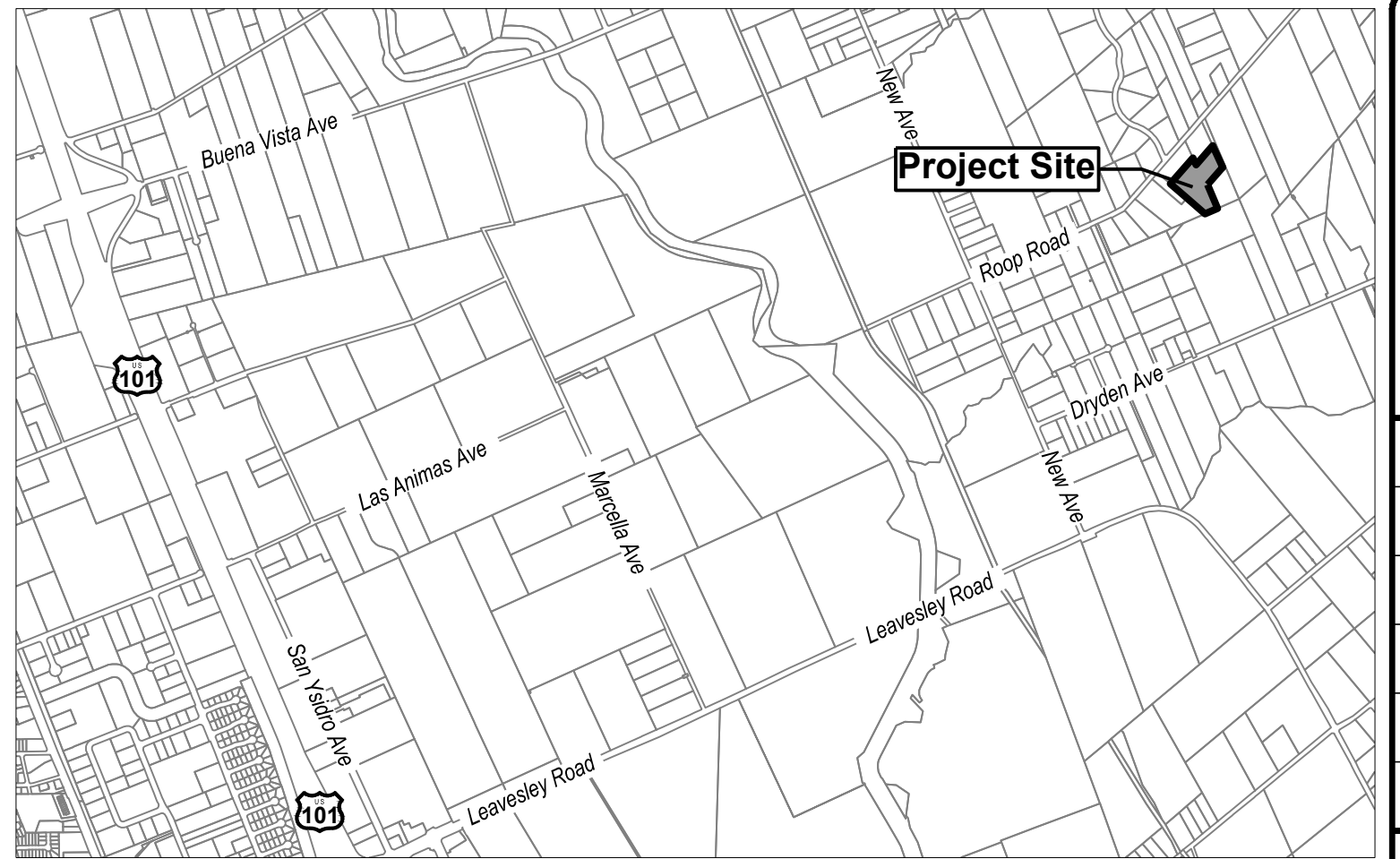
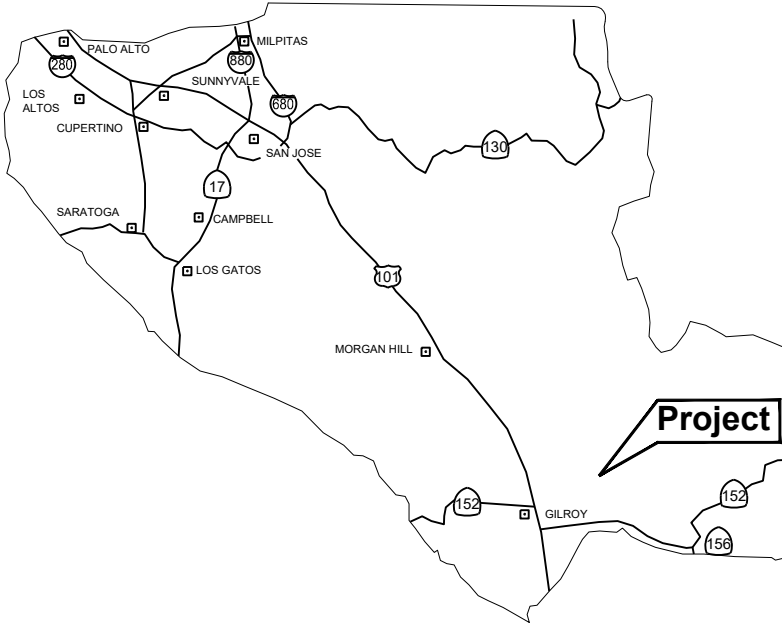
Proposed Grading Description:

- Violation A is to be legalized for an all weather parking area for the horse trailer.
- Violation B is to be legalized to provide an all weather access path to the horse pasture.
- A portion of Violation C is to be legalized for the accessory structure pad. The affected leach lines are proposed to be abandoned. Additional testing will be performed to determine the replacement of the affected OWTS.
- Violation D is to be legalized for rear patio and lawn area. The grading over the leach filed is to be reduced to less than 12 inches of fill.
- Violation E is to be legalized to provide an all weather access path to the existing well.
- Violation F is to be legalized to provide all weather access to the animal structures.
- Violation G is to be removed to eliminate access over the existing leach field.

Proposed Building Violation Description:

- The accessory garage is to be legalized with a building permit.
- The shade structure to the NE is to be removed.
- The livestock shelter is to be legalized with a building permit or a reduction to below 144 SF.

COUNTY LOCATION MAP



Vicinity Map

Fire Notes:

- Fire Sprinklers shall be a deferred submittal.
- Existing residence does not have fire sprinklers.
- Property is located in the State Response Area.
- Property to maintain defensible space at all times.
- Property is not in the Wildland Urban Interface (WUI).
- Driveway width will be maintained at 12' minimum with a clear height of 13' 6".
- Existing driveway capable of supporting 75,000 lbs and is made of an all weather material.

Tree Note:

- No trees have been or are proposed to be removed.

Proposed Floor Area

Proposed Detached Garage	1,780 SF
<b>Total Floor Area</b>	<b>1,780 SF</b>

LEGEND

	(ex building)
	(ex pavement)
	Grading Violation Area
	Pre-Grading Violation Contour
	Grading Violation Contour
	Proposed Contour

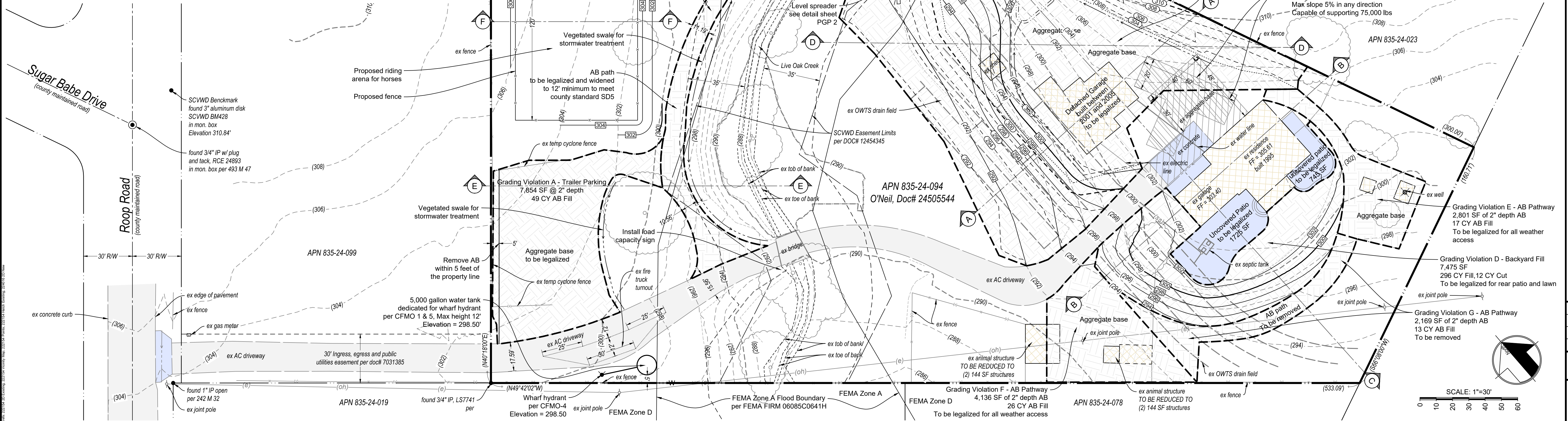
Earthwork Quantities

	Cut	Fill	Max Cut	Max Fill
Violation A	0 cy	49 cy	0.00'	0.17'
Violation B	0 cy	21 cy	0.00'	0.17'
Violation C to remain	675 cy	897 cy	5.00'	8.25'
Violation C to be removed	0 cy	1,091 cy	6.00'	8.25'
Violation D	12 cy	296 cy	1.00'	3.00'
Violation E	0 cy	17 cy	0.00'	0.17'
Violation F	0 cy	26 cy	0.00'	0.17'
Violation G	0 cy	13 cy	0.00'	0.17'
Proposed Riding Arena	118 cy	463 cy	2.50'	4.00'
<b>Total</b>	<b>687 cy</b>	<b>2,397 cy</b>		

Impervious Area Summary

Proposed Patios	2,470 SF
Proposed Detached Garage	1,780 SF
Proposed AB to be legalized	17,383 SF
Animal Structures to Remain	720 SF
<b>Total New Impervious Area</b>	<b>22,353 SF</b>

Area of Disturbance = 58,493 SF

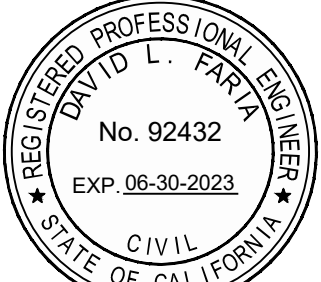


APPLICANT: O'Neill

ROAD: Roop Road

COUNTY FILE NO.:

11/01/2024 4:07 PM  
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FOR PLANCHHECK ONLY  
signature shall be provided upon approval

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REVISIONS	BY		

FARIA ENGINEERING & SURVEYING  
PLANNING \* BUILDING \* SEPTIC

david@fsengineering.com

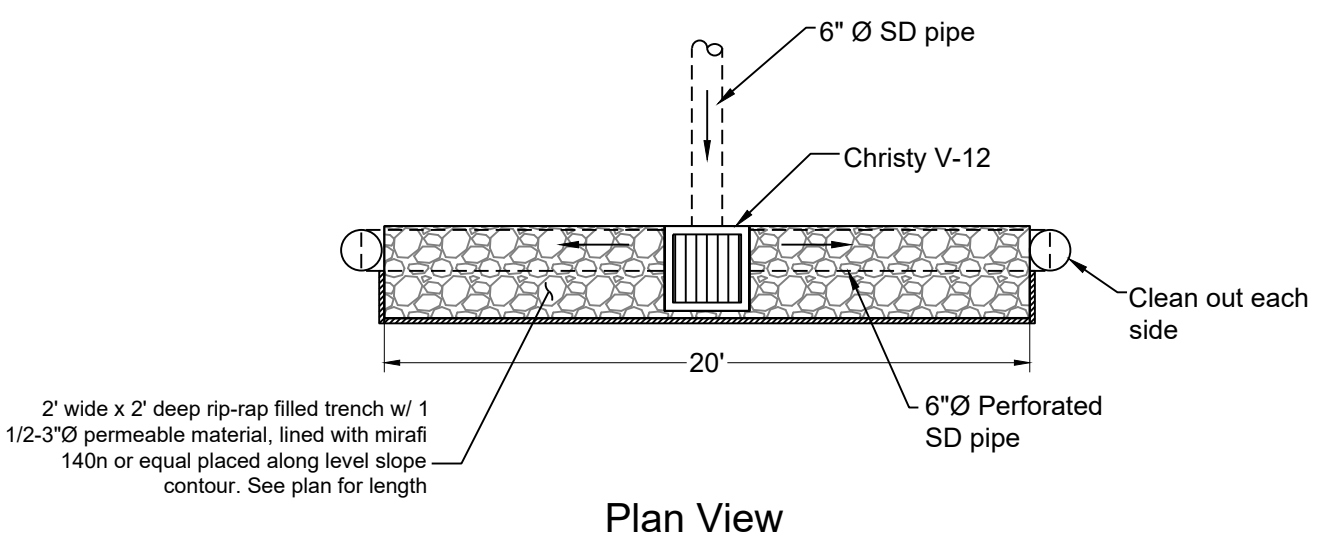
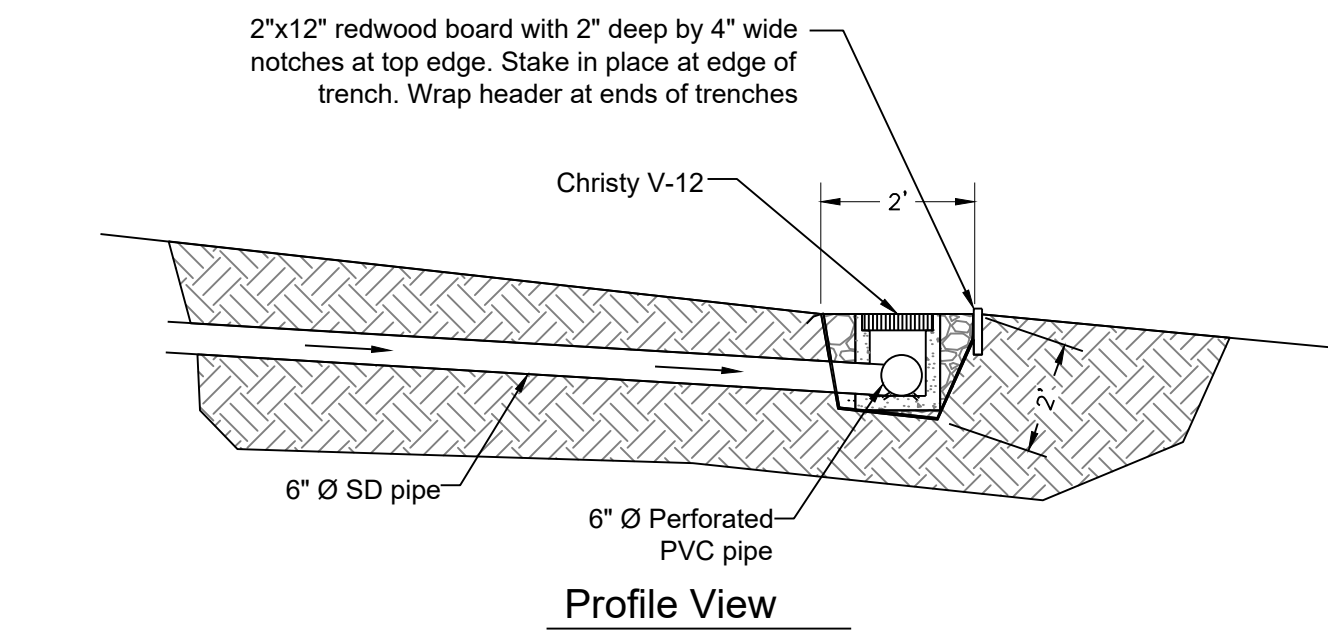
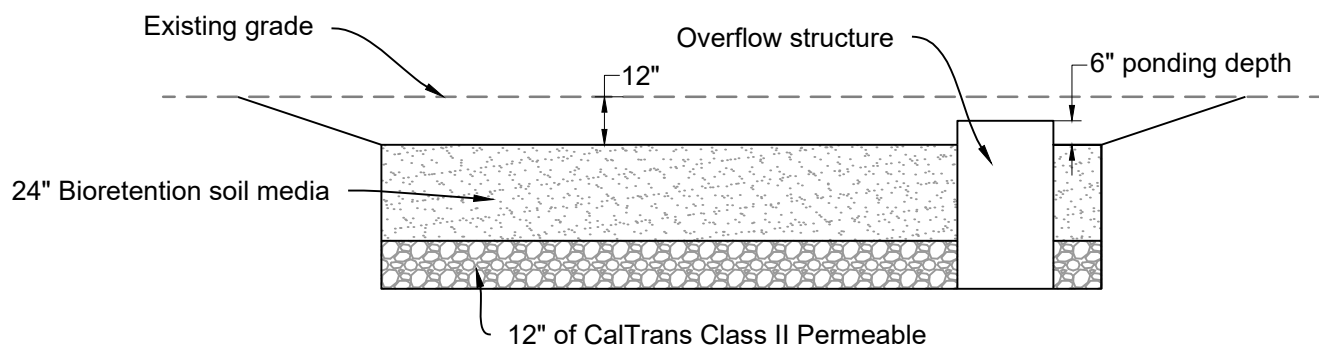
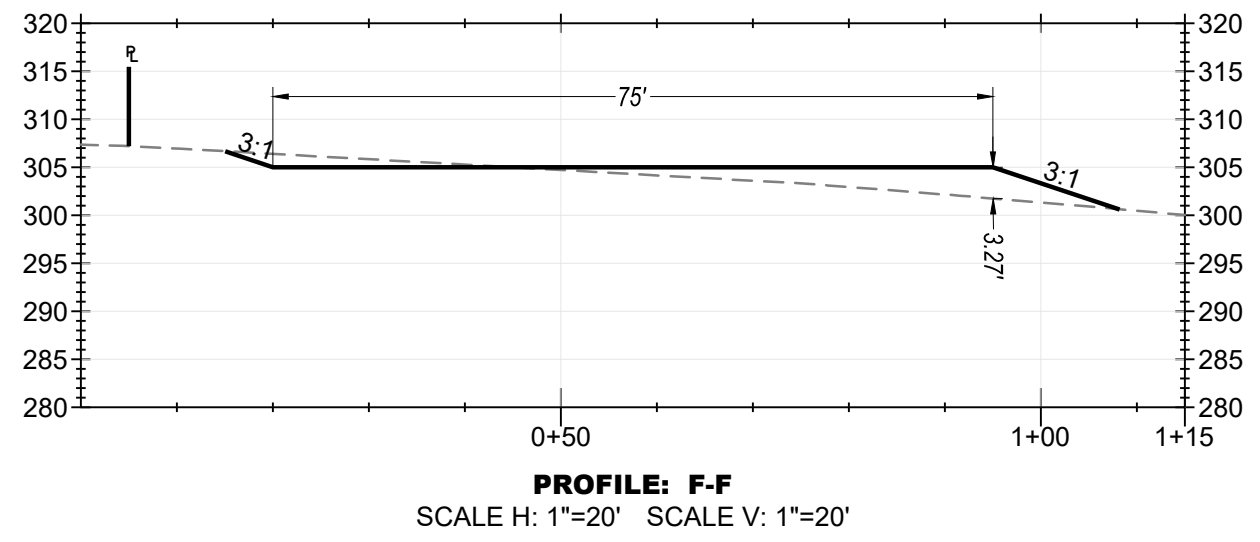
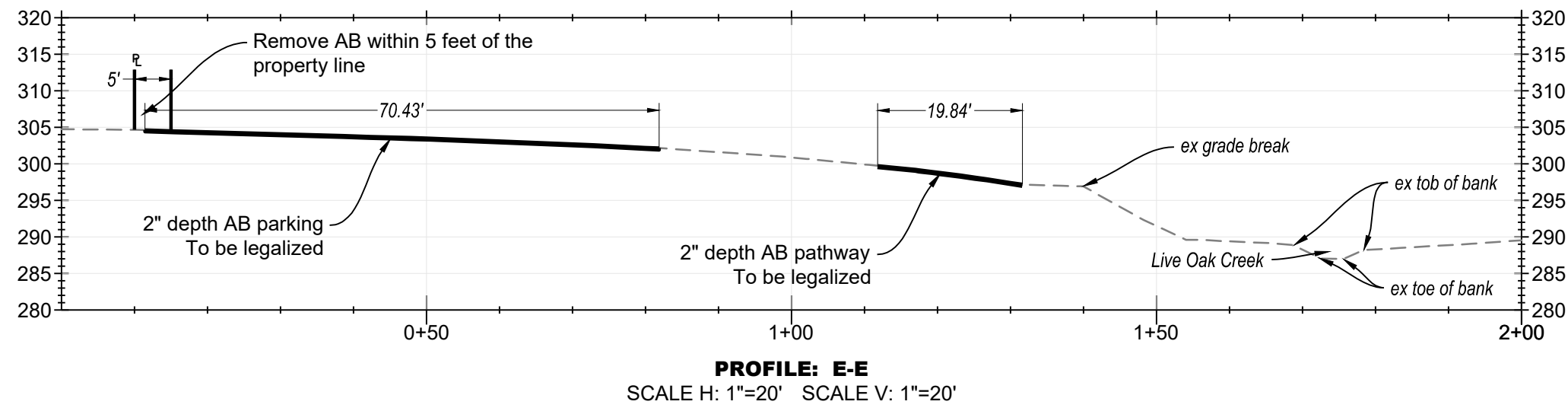
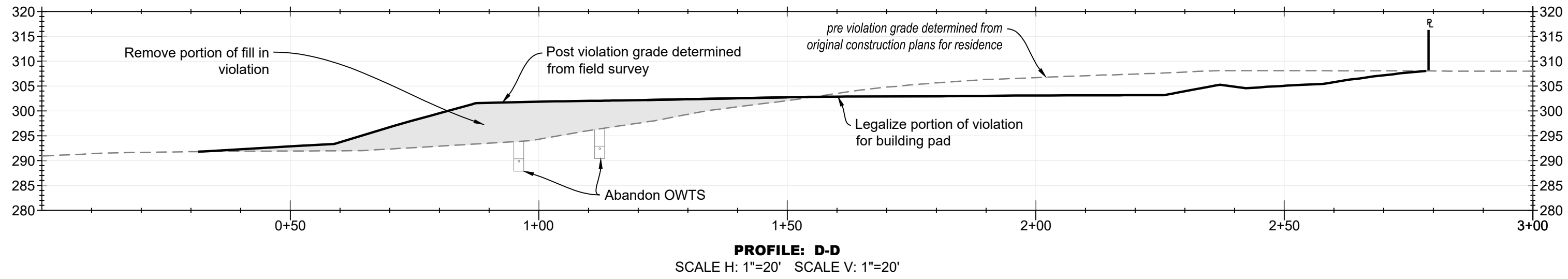
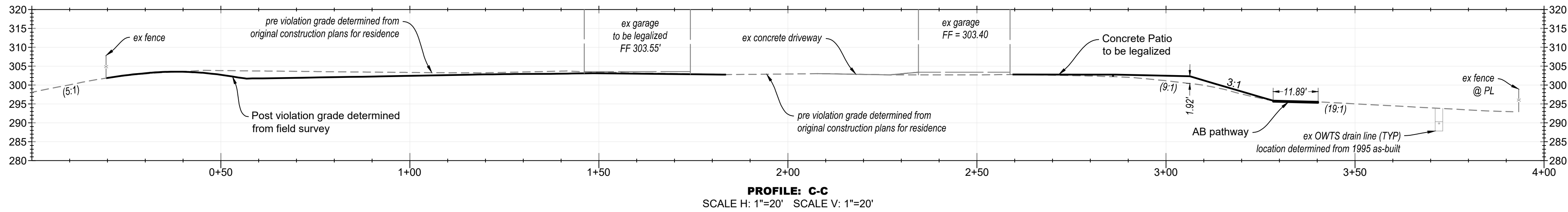
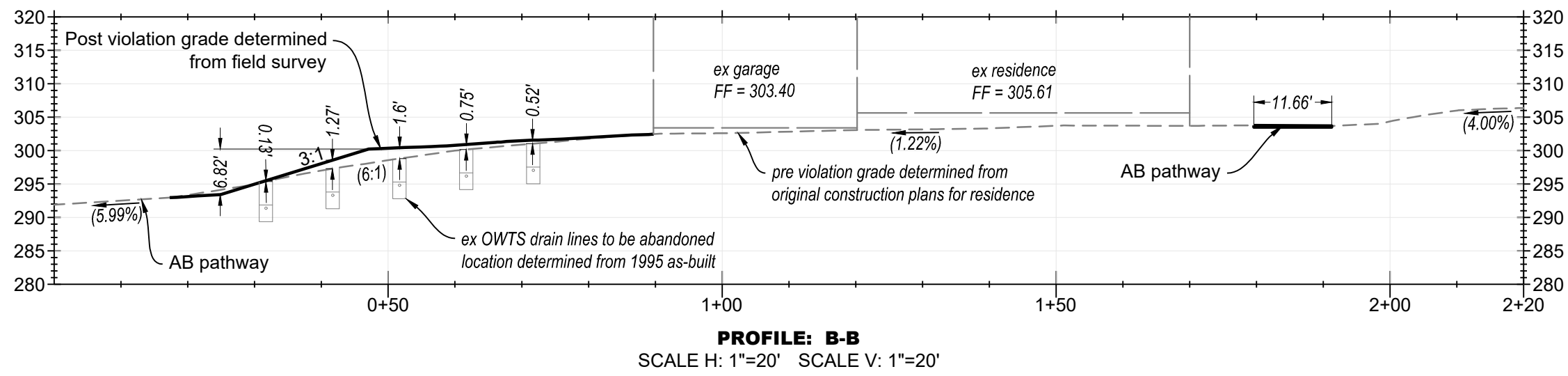
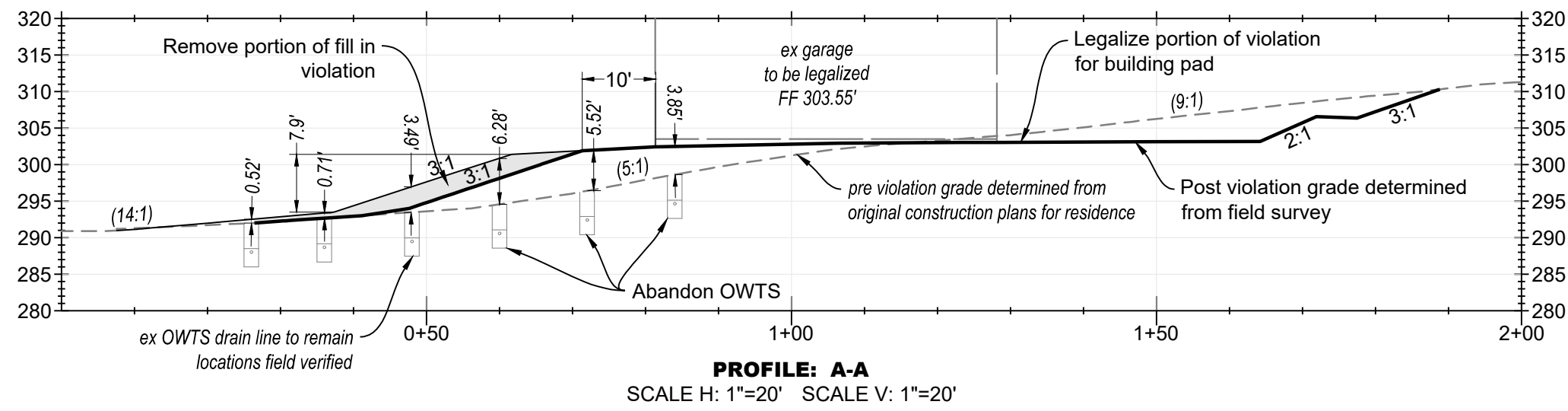
6502 515-1650

Preliminary Grading Plan  
Roop Road - APN 835-24-094

DATE: 10/28/2024  
SCALE:  
DRAWN BY: DF  
CHECKED BY: DF  
JOB NO.  
**224016**  
SHEET NO.  
**PGP 1**  
OF  
**3**



11/10/2024 4:07 PM  
FOR PLANCHECK ONLY  
REGISTERED PROFESSIONAL ENGINEER  
DAVID L. FARIA  
No. 92432  
EXP. 06-30-2023  
CIVIL  
STATE OF CALIFORNIA  
FOR PLANCHECK ONLY  
signature and seal are provided upon approval  
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**Level Spreader Detail**  
N.T.S.

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REGISTERED PROFESSIONAL ENGINEER DAVID L. FARIA No. 92432 EXP. 06-30-2023 CIVIL STATE OF CALIFORNIA	
FOR PLANCHECK ONLY	
signature and seal are provided upon approval	
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REVISIONS	BY
FARIA ENGINEERING & SURVEYING PLANNING • BUILDING • SEPTIC dave@fariaengineering.com (602) 515-1600	
Sections and Details Roop Road - APN 835-24-094	
DATE:	10/28/2024
SCALE:	
DRAWN BY:	DF
CHECKED BY:	DF
JOB NO.	224016
SHEET NO.	PGP 2
OF	3



**Sizing Calculations**  
Existing Three Bedroom Single Family Residence

**Adjusted Stabilized Percolation Rate**  
P1 = 46.00, P2 = 14.85, P3 = 48.00, P4 = 42.00, P5 = 21.47

Adjusted Average Stabilized Percolation Rate = 34.46 MPI  
Wastewater Application Rate = 0.52 GPD/SQFT

1. Wastewater design flow = 450 GPD  
2. Adjusted Stabilized percolation rate = 35 MPI  
3. Wastewater application rate = 0.52 GPD/SQFT  
4. Width of Trench = 24 Inches  
5. Rock below perforated drain pipe = 24 Inches  
6. Infiltration area per linear foot = 6

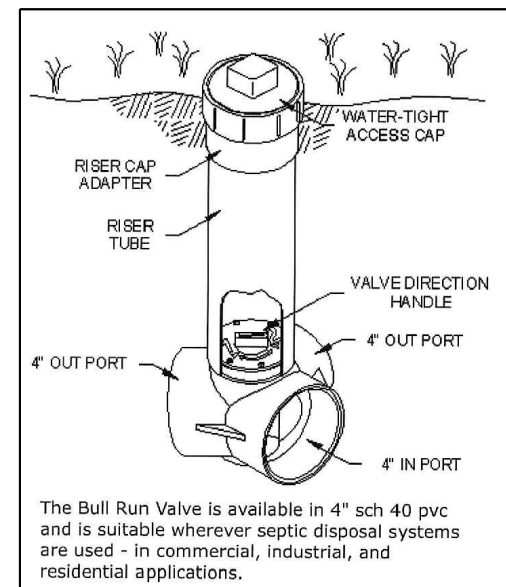
**Design Calculations**  
450 GPD / 0.52" = 145 LF

**Dispersal Field Required = 145 LF + 145 LF**  
**Dispersal Field Proposed = 239 LF + 204 LF**

- Construction Notes**
- The septic tank must pass the water tightness test required by DEH.
  - Remove existing diverter valve and replace with 45" elbow.
  - Tap into existing tightline as shown.
  - Install Bull Run diversion valve in location shown. The diversion valve shall be enclosed (covered) by a Oldcastle Precast Underground box (10"x16") or equal with waterproof cover.
  - Each outlet of the diversion valve shall connect to a 4" PVC pipe as shown.
  - Install dual dispersal fields each side of the diversion valve as shown.
  - Each dispersal trench shall be separated 10 feet apart measured from center to center.
  - Install inspection port at end of each trench and cover each riser with a utility box for ease of access and protection from damage.
  - No portion of the dispersal field shall be within 100 feet of a well.

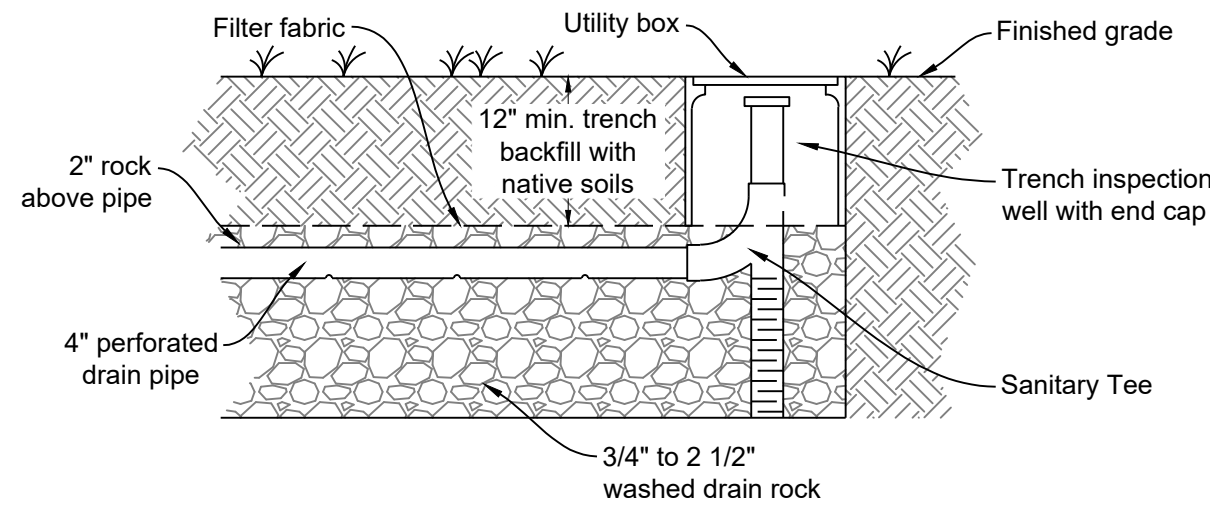
### Water Tightness Testing

Testing must be witnessed by a representative of the County Department of Environmental Health Services. Testing shall be done with the risers in place and the inlet and outlet pipes plugged. The tank shall be filled with water to a level of two (2) inches into the risers and monitored for a one (1) hour period with no measurable drop in the water level.

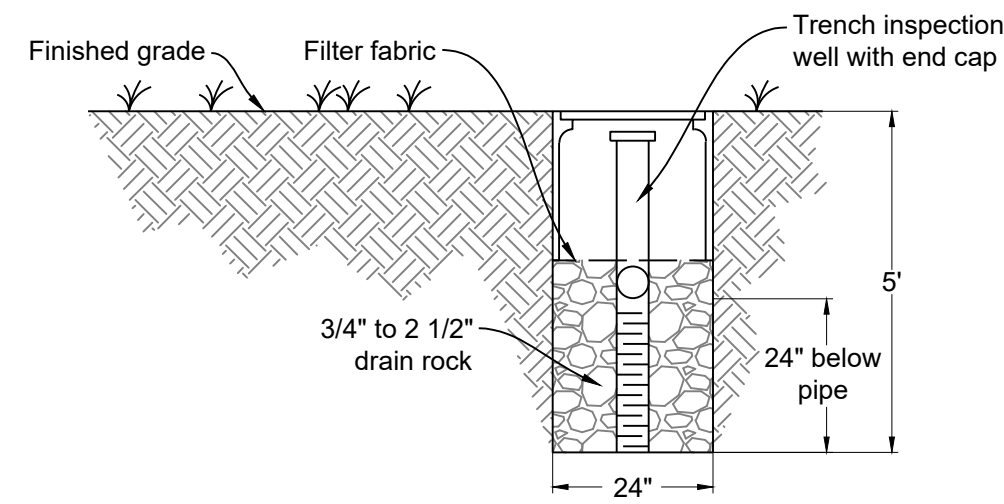


**OPERATING THE VALVE**  
The direction control handle should be rotated periodically to direct effluent to one or the other of two septic fields. After removing the screw cap at the top of the riser tube, the valve handle can be turned with the valve key furnished.

### Diverter Valve Detail



**Trench Detail - Side View**



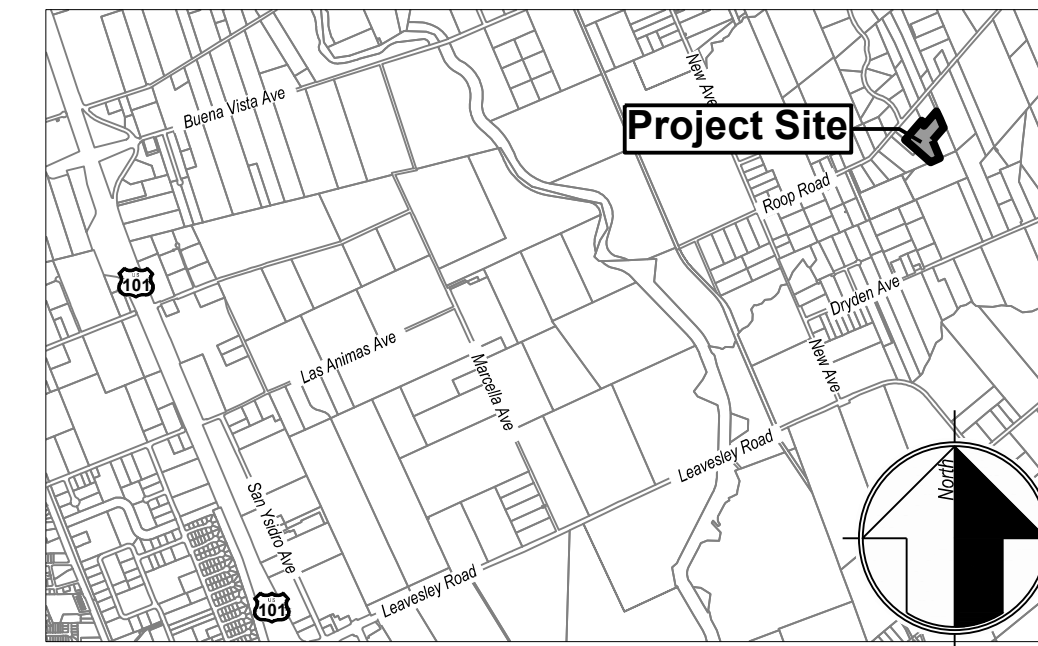
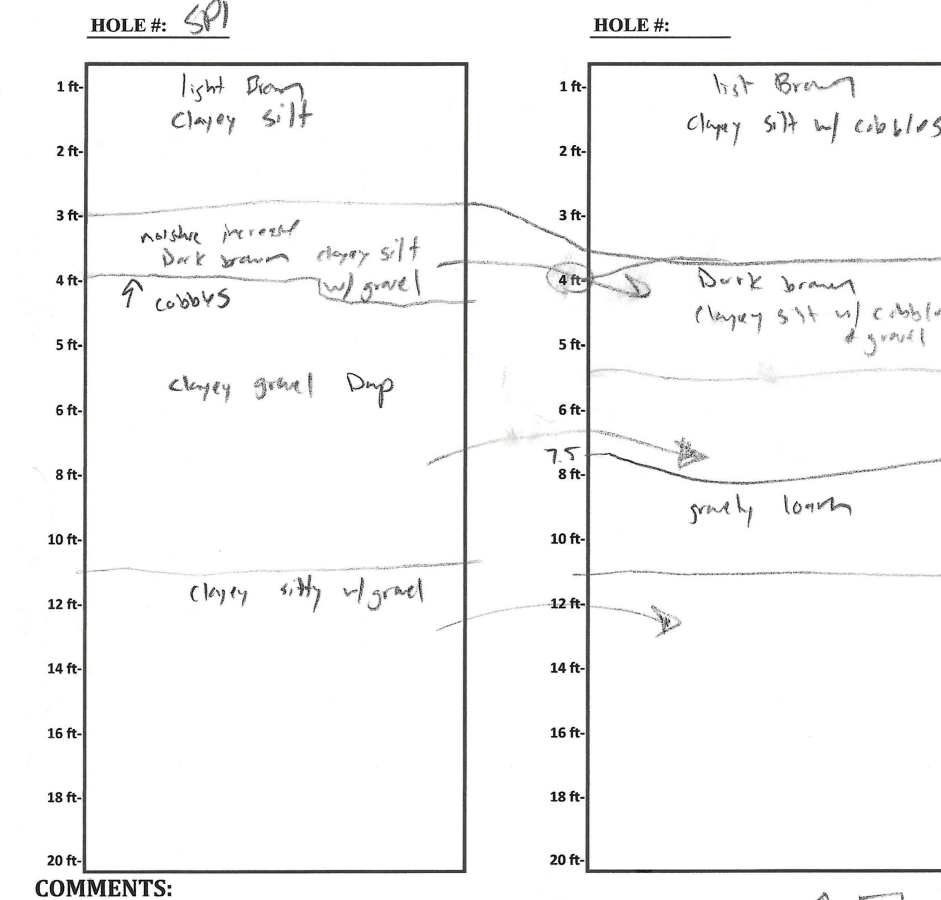
**Trench Detail - End View**

### FARIA ENGINEERING & SURVEYING

Table 1: Proposed Septic System	Table 2: Proposed Septic System
Time	Time
1:00	1:00
2:00	2:00
3:00	3:00
4:00	4:00
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24:00	24:00

### SOIL PROFILE RESULTS CONVENTIONAL SYSTEMS

SR #: 0376872  
DATE OF INSPECTION: 10/28/2024  
APN #: 835-24-023  
OWNER: Jared O'Neill  
APPLICANT: David Faria  
SITE ADDRESS: 2800 Roop Road  
CONDUCTED BY: David Faria / Faria & Faria  
CHECKED BY: Raymond Chung



**Vicinity Map**

### Applicant/Owner:

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2800 Roop Road  
Gilroy, CA 95020  
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### Engineer:

David L. Faria, RCE 92432  
MH Engineering  
16075 Vineyard Blvd.  
Morgan Hill, CA 95037  
408.779.7381  
davidl@mhengineering.com

### Project Information:

APN  
Present Use: Residential  
Present Zoning: A-20Ac-d1  
Existing Improvements: As Shown  
Water: ex  
Sanitary Sewer: ex OWTS  
Gas & Electric: ex PGE  
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HCP Area: No  
Wildland Urban Interface: Rural >= 2 acres  
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Gross Area: 5.4 ac  
Net Area: 5.4 ac

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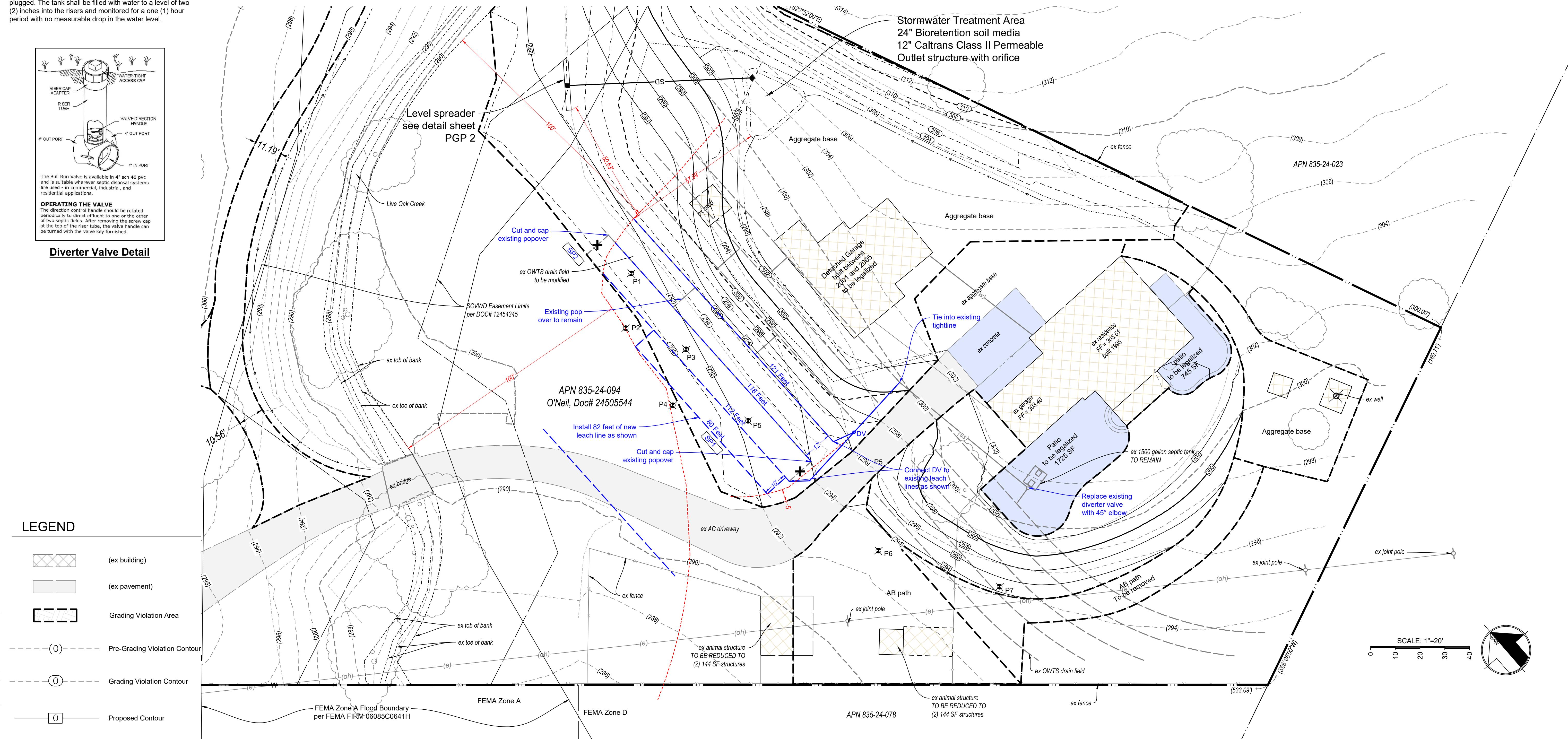
REGISTERED PROFESSIONAL ENGINEER  
DAVID L. FARIA  
No. 92432  
EXP. 06-30-2023  
CIVIL  
STATE OF CALIFORNIA

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signature and seal required per code

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6020 515-1600  
davidl@mhengineering.com

## OWTS Plan Roop Road - APN 835-24-094



APPLICANT: O'Neill

ROAD: Roop Road

COUNTY FILE NO.:



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2800 Roop Road  
Project Address  
835-24-094  
APN

Project File Number

Color/Materials Board

Roof  
Dunne Edwards, Warm White, LRV 93  
Manufacture & Material  
Product Name, Number

WARM WHITE

Door & Window Frames, Railings  
Dunne Edwards, Warm White, LRV 93  
Manufacture / Number  
Color Name, LRV

WARM WHITE

Trim  
Manufacture / Number  
Color Name, LRV

(insert sample here)

Exterior Walls  
Dunne Edwards, Storm Cloud, LRV 21  
Manufacture / Number  
Color Name, LRV

STORM CLOUD

Architectural Accents (Ex. Stone Veneer)  
Manufacture / Number  
Color Name, LRV

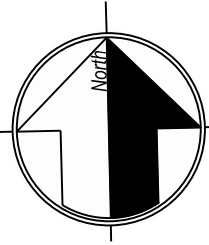
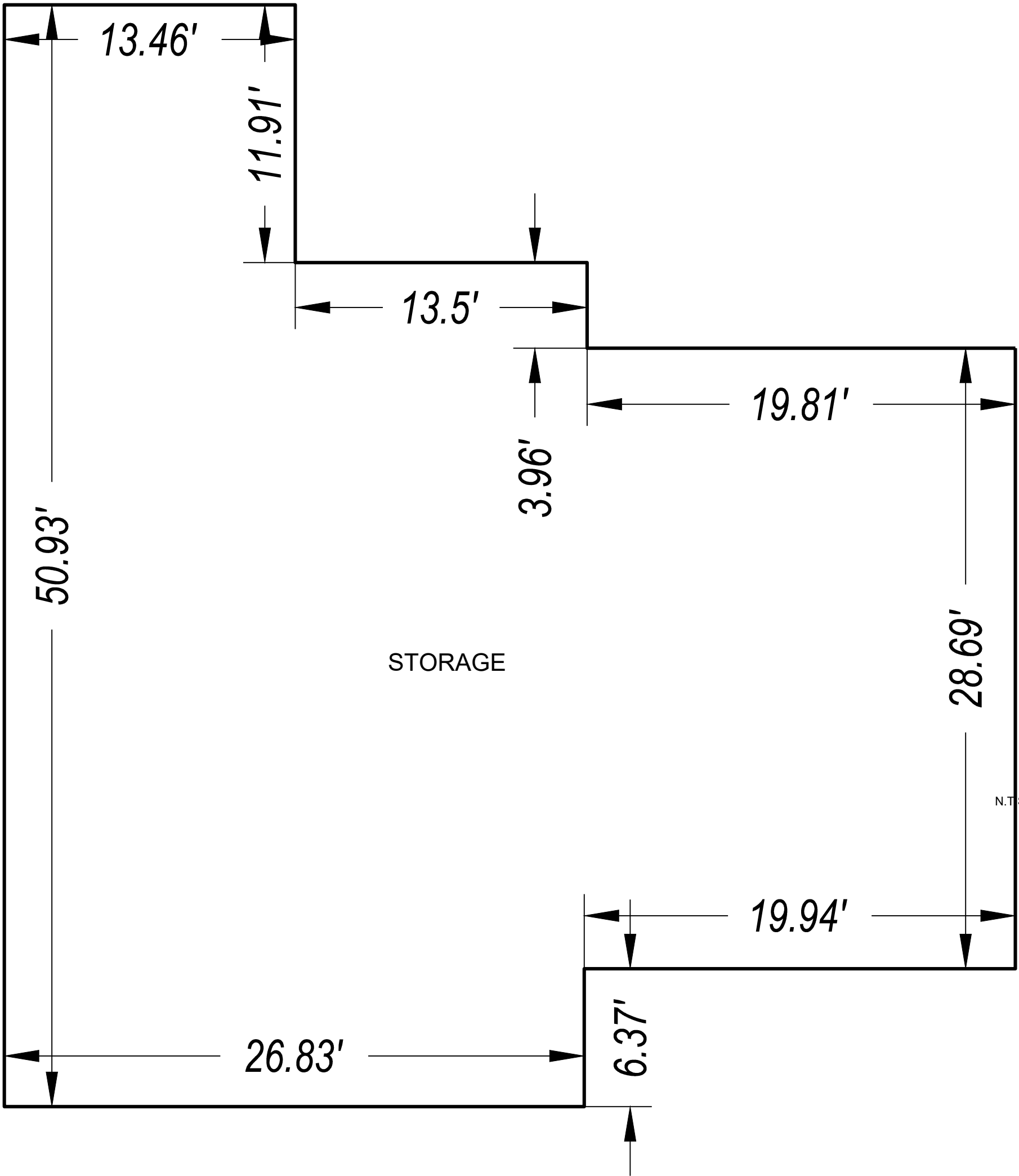
(insert sample here)

Retaining Walls  
Manufacture / Number  
Color Name, LRV

(insert sample here)

\*This information shall also be provided on the elevation drawings in the plans.  
1/24/2019

MATERIAL BOARD



FLOOR PLAN - ACCESSORY STRUCTURE - 1,780 SF  
SCALE 1" = 5'-0"



NORTH ELEVATION  
N.T.S.

Maximum building height = 16' 0"



EAST ELEVATION  
N.T.S.

Maximum building height = 16' 0"



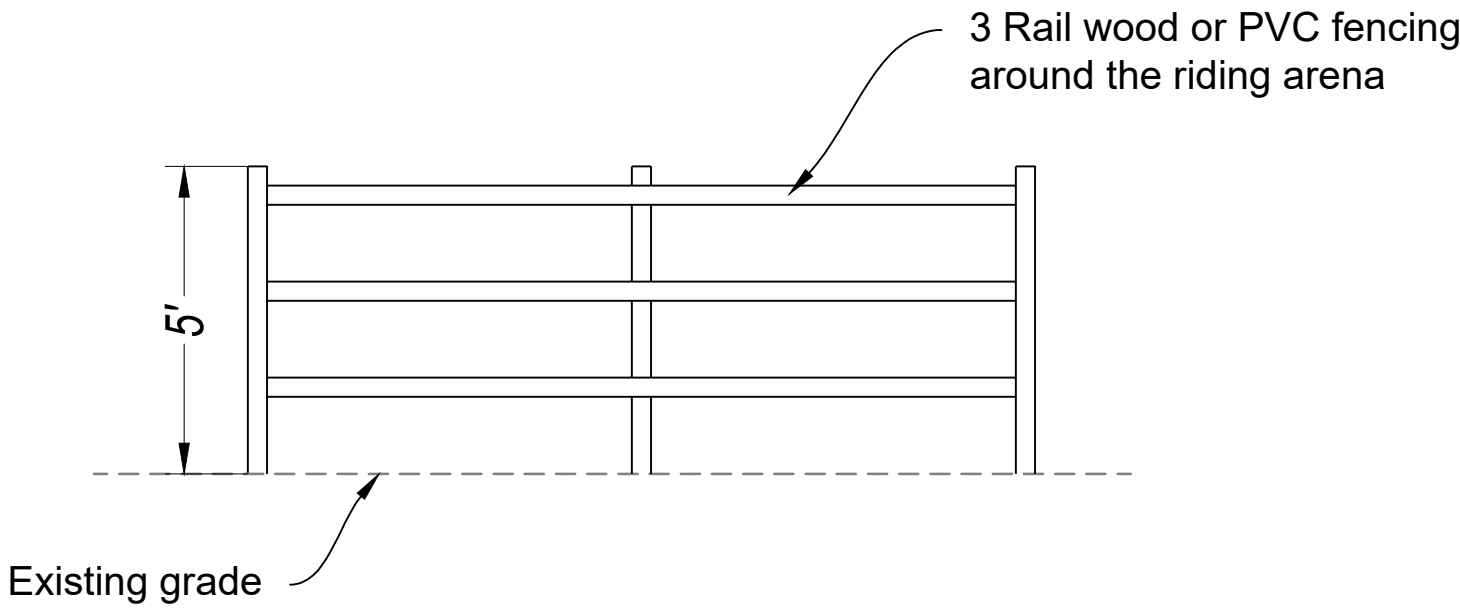
SOUTH ELEVATION  
N.T.S.

Maximum building height = 16' 0"



WEST ELEVATION  
N.T.S.

Maximum building height = 16' 0"



Riding Arena Fencing Detail  
N.T.S.

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BY

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6029 515-7600  
dave@fariaengineering.com

Floor Plan and Elevations  
Roop Road - APN 835-24-094

DATE: 10/28/2024  
SCALE:  
DRAWN BY: DF  
CHECKED BY: DF  
JOB NO. 224016  
SHEET NO. PGP 4  
OF 3

APPLICANT: O'Neill

ROAD: Roop Road

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