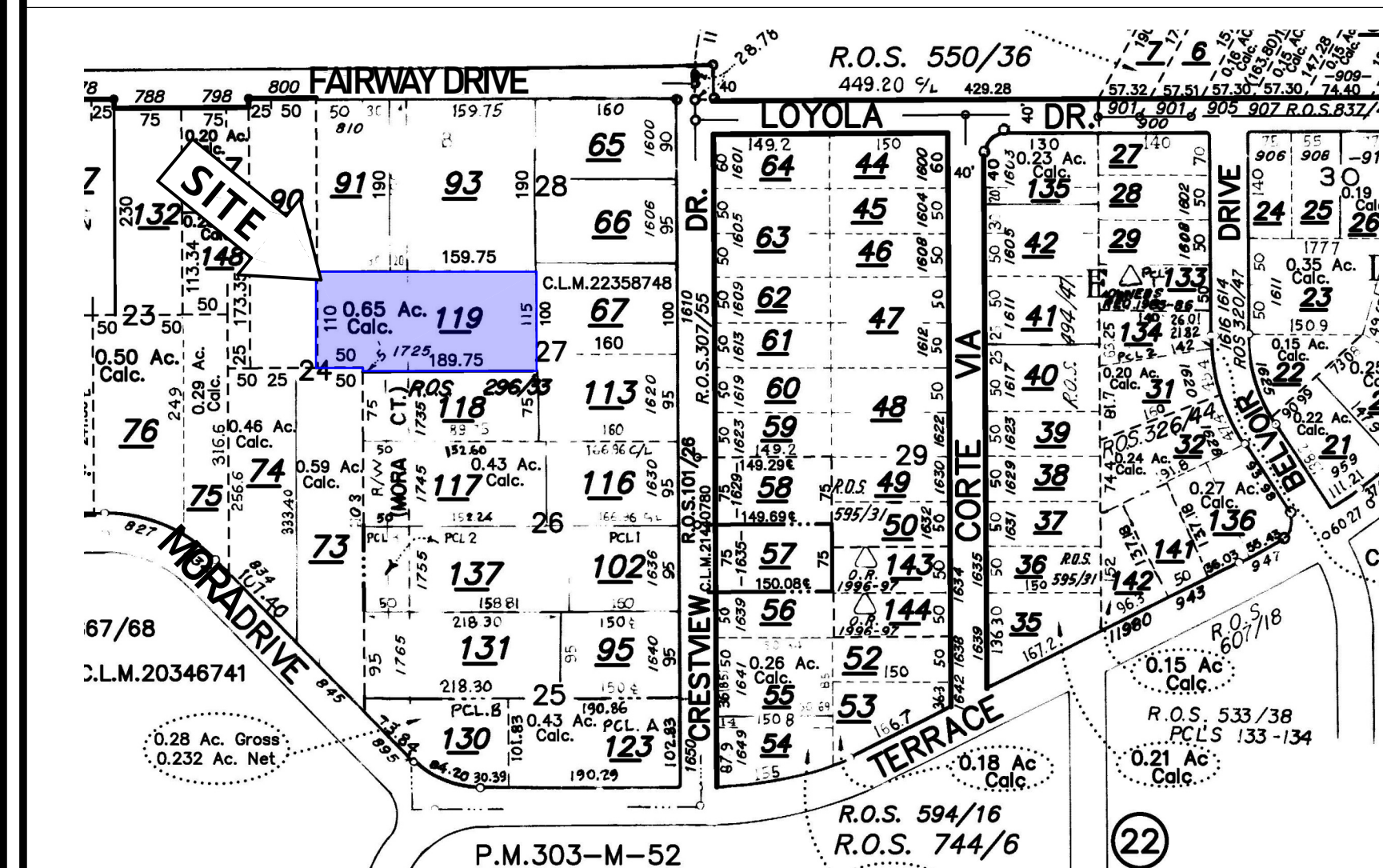


SITE PLAN

DATE: 03.18.2023
REVISED: 10.02.2023
JOB#: 230144
SCALE: AS NOTED

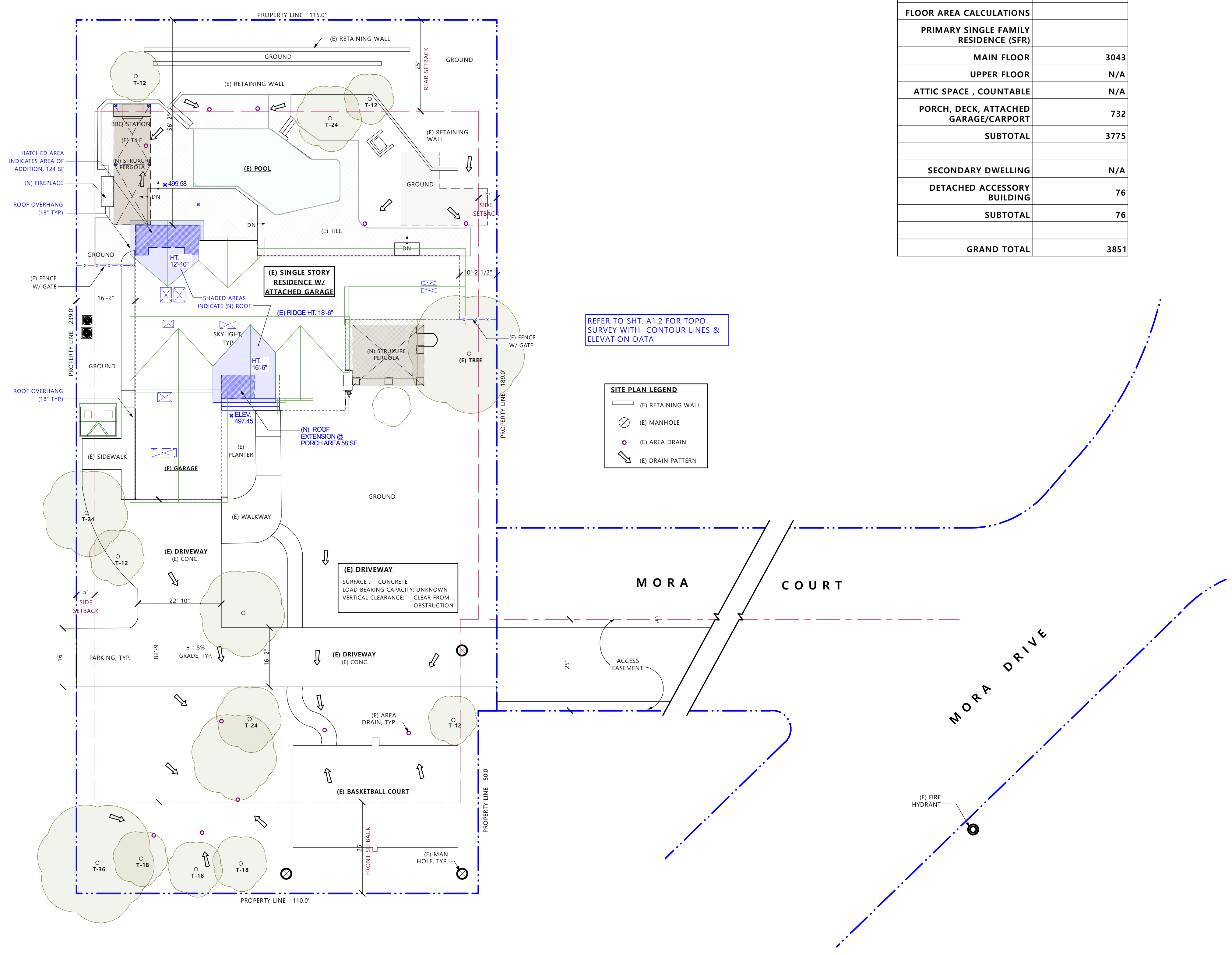
A1.1

VICINITY MAP



-n1 ZONING FAR SUMMARY INFO.

GROSS LOT AREA	27289
NET LOT AREA	17289
MAX ALLOWED FAR (-N1)	3500 + 1729 = 5229
FLOOR AREA CALCULATIONS	
PRIMARY SINGLE FAMILY RESIDENCE (SFR)	
MAIN FLOOR	3043
UPPER FLOOR	N/A
ATTIC SPACE, COUNTABLE	N/A
PORCH, DECK, ATTACHED GARAGE/CARPORT	732
SUBTOTAL	3775
SECONDARY DWELLING	N/A
DETACHED ACCESSORY BUILDING	76
SUBTOTAL	76
GRAND TOTAL	3851



REFER TO SHT. A1.2 FOR TOPO SURVEY WITH CONTOUR LINES & ELEVATION DATA

SITE PLAN LEGEND

- (E) RETAINING WALL
- (M) MANHOLE
- (A) AREA DRAIN
- (D) DRAIN PATTERN

NOTE:
ALL PARCELS LOCATED WITHIN THE WUI ARE TO MEET CHAPTER 7A OF THE CBC. PROPERTIES LOCATED ARE TO ALSO MEET PRC-4290. ALL PARCELS LOCATED WITHIN THE SRA, OR WITHIN THE LOCAL RESPONSE AREA (LRA) AND THE VERY HIGH FIRE HAZARD SEVERITY ZONES (VHFHSZ) ARE TO MEET PRC-4290

SITE INFORMATION

APN # 331-11-119
ADDRESS 1725 MORA COURT, LOS ALTOS, CA 94024
LOT SIZE 27,289 SF
ZONING R1E-2
CONSTRUCTION TYPE V-B
BUILT 1957 / 1980
(E) MAIN RESIDENCE FLOOR AREA 2,919 SF
(E) GARAGE 571 SF
PROPOSED ADDITION 124 SF
TOTAL MAIN RES. FLOOR AREA 3,614 SF
ROOF EXTENSION @ FRONT PORCH 161 SF
(N) PERGOLA 670 SF
(E) ACCESSORY SHED 76 SF

MAXIMUM FAR FOR ABOVE 10,000 SF LOT AREA :
[(3,500 SF. OF FLOOR AREA) + (10% REMAINED OF LOT AREA)] TO A MAXIMUM TOTAL FLOOR AREA OF 5,700 SQUARE FEET. = [(3,500) + (10% (17,235))] = 5,229 SF

NEW PROPOSED FAR : [EXISTING FAR + GARAGE/PORCH + ACCESS BLDG + ADDITION AREA] = 2,919 + 732 + 76 + 124 = 3,851 SF
MAX Lot Coverage : N/A

REAR YARD AREA (64.5' X 115') 7,417.5 SF
30% REAR YARD COVERAGE ALLOWED 2,225.25 SF
PROPOSED REAR YARD COVERAGE: 128 SF

FLOOD ZONE D
SEPTIC N/A
FIRE SPRINKLER NO
SRA / WUI NO
NO GRADING PROPOSED

SCOPE OF WORK

- REMODEL KITCHEN
- REMODEL BATHROOM
- REMODEL LAUNDRY ROOM
- REMOVE FIREPLACE-EXPLORE STORAGE OPTIONS
- NEW FLOORING THROUGHOUT
- REORGANIZE GARAGE
- EXTERIOR UPDATE/REFRESH
- EXPLORE THE POTENTIAL OF AN ADDITION TO ACCOMMODATE A NEW HALLWAY/ENTRANCE TO THE PRIMARY SUITE
- EXPLORE RECONFIGURING THE "FLEX ROOM"/ DINING ROOM/TV ROOM AND WOULD ALLOW A WINE ROOM

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 GREEN BUILDING STANDARDS
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES, AND REGULATIONS.

PROJECT CONSULTANT

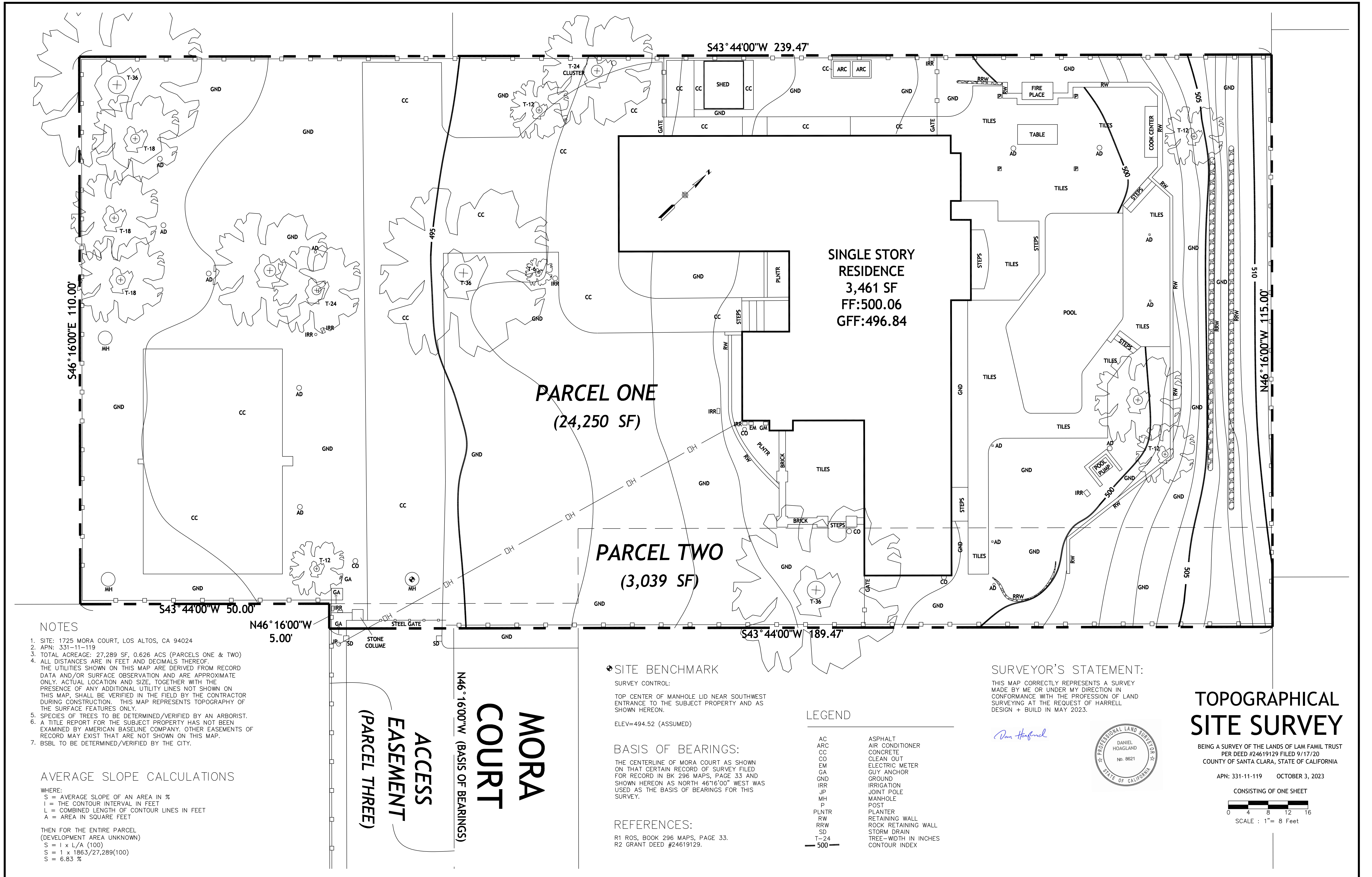
PROJECT DESIGNER BROOKE NICHOLSON 650.230.2900
PROJECT STRUCTURAL ENGINEER FRANCISCO DUARTE 510.427.8747
PROJECT TITLE 24 CONSULTANT LUKE MORTON 619.721.3180
PROJECT ARBORIST N/A

SHEET INDEX

A1.1 BSA PLAN
A1.2 TOPO SURVEY
A1.3 FAR DIAGRAM & CALCUS

ABBREVIATIONS

@ ANCHOR BOLT	EM ELECTRIC METER	MAN. MANUAL	S. SINK
A.B. ADJACENT	EP ELECTRICAL PANEL	MAX. MAXIMUM	S.A. SUPPLY AIR
ADJ. ABOVE FINISHED FLOOR	EQ. EQUAL	M.B. MACHINE BOLT	SB. SETBACK
A.F.F. ABOVE FINISHED FLOOR	E.W. EACH WAY	M.C. MEDICINE CABINET	SAN. SANITARY
ALUM. ALUMINUM	EXT. EXTERIOR	MECH. MECHANICAL	SCH. SCHEDULE
A.P. ACCESS PANEL	F.A.U. FORCED AIR UNIT	MEMB. MEMBRANE	SDG. SIDING
APPROX. APPROXIMATE	FDN. FOUNDATION	MFR. MANUFACTURER	SECT. SECTION
A.D. AREA DRAIN	FIN. FINISH	MIN. MINIMUM	SFTY. SAFETY
BD. BOARD	FLR. FLOOR	MLDG. MOULDING	S.G. SINGLE GLAZED
BLKG. BLOCKING	FLSHG. FLASHING	MTD. MOUNTED	SHTHG. SHEATHING
BM. BEAM	FLSHG. FLUORESCENT	MTL. METAL	SIM. SIMILAR
BRZ. BRONZE	F.F. FACE OF FINISH	MW. MICROWAVE	SKYLIT. SKYLIGHT
B.S. BOTH SIDES	FTG. FOOTING	(N) NEW	S.O.G. SLAB ON GRADE
BSBD. BASEBOARD	GA. GAUGE	N/A NOT APPLICABLE	STD. STANDARD
CAB. CABINET	GALV. GALVANIZED	N.I.C. NOT IN CONTRACT	STO. STORAGE
CIR. CIRCLE	G.D. GARBAGE DISPOSAL	N.T.S. NOT TO SCALE	SUR. SURFACE
C.L. CENTER LINE	G.M. GAS METER	O. OVER	S.Y.M. SYMMETRICAL
CLG. CEILING	GL. GLASS	O.A. OVEN	T.&G. TONGUE & GROOVE
CLKG. CAULKING	G.L.B. GLUE LAM BEAM	O.C. ON CENTER	T.C. TRASH COMPACTOR
CLR. CLEAR	G.F.C.I. GROUND FAULT CIRCUIT INTERRUPT	O.H. OVERHANG	T.B. TOWEL BAR
CLOS. CLOSET	GR. GRADE	O.P. OWNER PROVIDED	T.B.D. TO BE DETERMINED
C.M.U. CONCRETE MASONRY UNIT	HDR. HEADER	OPNG. OPENING	TEMP. TEMPERED GLASS
C.O. CLEAN OUT	H.H. HOSE BIB	OVHD. OVERHEAD	THERM. THERMOSTAT
COM. COMMON	HORIZ. HORIZONTAL	PERM. PERMANENT	T.P. TOILET PAPER
CONC. CONCRETE	HNGR. HANGER	PFD. PREFERRED	T.S. TUBE STEEL
COMP. COMPOSITION	HT. HEIGHT	PL. PLATE	TYP. TYPICAL
CONT. CONTINUOUS	HTR. HEATER	P.L. PROPERTY LINE	UNFIN. UNFINISHED
CTR. CENTER	H.W. HOT WATER	PLYWD. PLYWOOD	U.O.N. UNLESS OTHERWISE NOTED
DBL. DOUBLE	INFO. INFORMATION	PNL. PANEL	V.V. VALVE
DEMOL. DEMOLISH	INSUL. INSULATION	PREFAB. PREFABRICATED	V.B. VAPOR BARRIER
DET. DETAIL	INT. INTERIOR	P.T. PRESSURE TREATED	V.F. VERIFY IN FIELD
D.G. DUAL GLAZED	JST. JOIST	P.U.D. PUBLIC UTILITY DISTRICT	V.P. VENT PIPE
D.H. DOUBLE HUNG	JT. JOINT	R. RANGE	W.P. WATER PROOF
DIA. DIAMETER	LAM. LAMINATE	R.A. RETURN AIR	W/ WITH
DMPR. DAMPER	LAV. LABORATORY	RDWD. REDWOOD	W/O WITHOUT
DN. DOWN	L.I.F. LOCATE IN FIELD	RECP. RECEPTACLE	W.C. WATER CLOSET
DR. DOOR	LMBR. LUMBER	REF. REINFORCED(ING)	W.D. WOOD
D.S. DOWN SPOUT	LNDRY. LAUNDRY	REQ'D. REQUIRED	W.D. WARMING DRAWER
DW. DISHWASHER	LT. LIGHT	R.H. ROBE HOOK	W.H. WATER HEATER
DWR. DRAWER	L.V.L. LAMINATED VENEER LUMBER	R.O. ROUGH OPENING	WIN. WINDOW
(E) EXISTING		R.R. ROOF RAFTER	W.P. WEATHERPROOF
ELEV. ELEVATION			W.S. WEATHER STRIPPING
E.F. EACH FACE			W.W.F. WELDED WIRE FABRIC



NOTES

- SITE: 1725 MORA COURT, LOS ALTOS, CA 94024
- APN: 331-11-119
- TOTAL ACRES: 27,289 SF, 0.626 ACS (PARCELS ONE & TWO)
- ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF. THE UTILITIES SHOWN ON THIS MAP ARE DERIVED FROM RECORD DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS MAP, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY.
- SPECIES OF TREES TO BE DETERMINED/VERIFIED BY AN ARBORIST.
- A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY AMERICAN BASELINE COMPANY. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- BSBL TO BE DETERMINED/VERIFIED BY THE CITY.

AVERAGE SLOPE CALCULATIONS

WHERE:
 S = AVERAGE SLOPE OF AN AREA IN %
 I = THE CONTOUR INTERVAL IN FEET
 L = COMBINED LENGTH OF CONTOUR LINES IN FEET
 A = AREA IN SQUARE FEET

THEN FOR THE ENTIRE PARCEL (DEVELOPMENT AREA UNKNOWN)
 S = 1 x L/A (100)
 S = 1 x 1863/27,289(100)
 S = 6.83 %

◆ SITE BENCHMARK

SURVEY CONTROL:
 TOP CENTER OF MANHOLE LID NEAR SOUTHWEST ENTRANCE TO THE SUBJECT PROPERTY AND AS SHOWN HEREON.

ELEV=494.52 (ASSUMED)

BASIS OF BEARINGS:

THE CENTERLINE OF MORA COURT AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD IN BK 296 MAPS, PAGE 33 AND SHOWN HEREON AS NORTH 46°16'00" WEST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

REFERENCES:

R1 ROS, BOOK 296 MAPS, PAGE 33.
 R2 GRANT DEED #24619129.

LEGEND

AC	ASPHALT
ARC	AIR CONDITIONER
CC	CONCRETE
CO	CLEAN OUT
EM	ELECTRIC METER
GA	GUY ANCHOR
GND	GROUND
IRR	IRRIGATION
JP	JOINT POLE
MH	MANHOLE
P	POST
PLNTR	PLANTER
RW	RETAINING WALL
RRW	ROCK RETAINING WALL
SD	STORM DRAIN
T-24	TREE-WIDTH IN INCHES
500	CONTOUR INDEX

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE PROFESSION OF LAND SURVEYING AT THE REQUEST OF HARRELL DESIGN + BUILD IN MAY 2023.

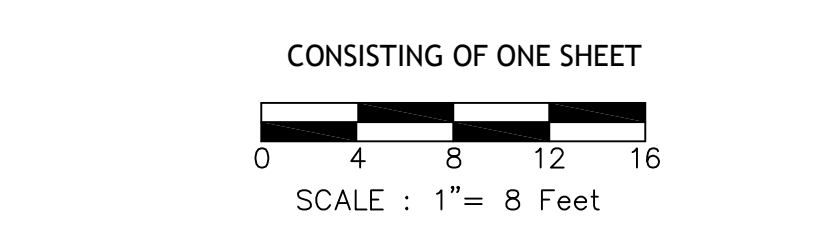
Dan Hoagland

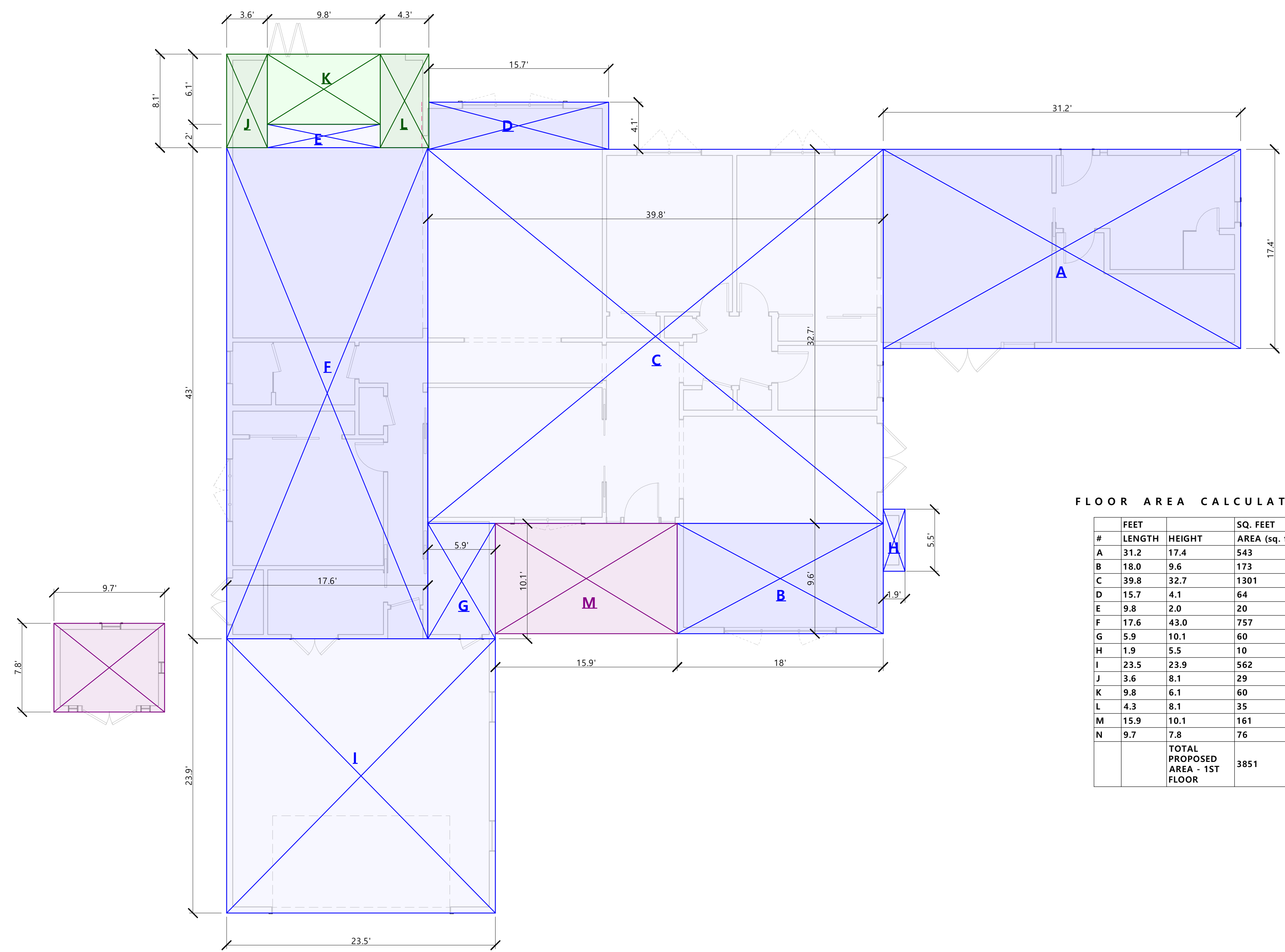


TOPOGRAPHICAL SITE SURVEY

BEING A SURVEY OF THE LANDS OF LAM FAMILY TRUST
 PER DEED #24619129 FILED 9/17/20
 COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

APN: 331-11-119 OCTOBER 3, 2023





FLOOR AREA CALCULATIONS

#	FEET	FEET	SQ. FEET
	LENGTH	HEIGHT	AREA (sq. feet)
A	31.2	17.4	543
B	18.0	9.6	173
C	39.8	32.7	1301
D	15.7	4.1	64
E	9.8	2.0	20
F	17.6	43.0	757
G	5.9	10.1	60
H	1.9	5.5	10
I	23.5	23.9	562
J	3.6	8.1	29
K	9.8	6.1	60
L	4.3	8.1	35
M	15.9	10.1	161
N	9.7	7.8	76
	TOTAL PROPOSED AREA - 1ST FLOOR		3851

1 FLOOR AREA DIAGRAM & CALCULATIONS
SCALE: 3/16" = 1'-0"