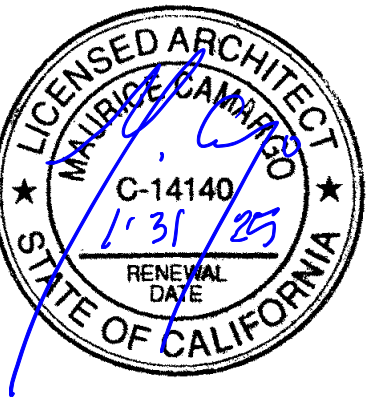


ISLAM RESIDENCE

3655 PLEASANT KNOLL CT.
SAN JOSE, CA. 95148



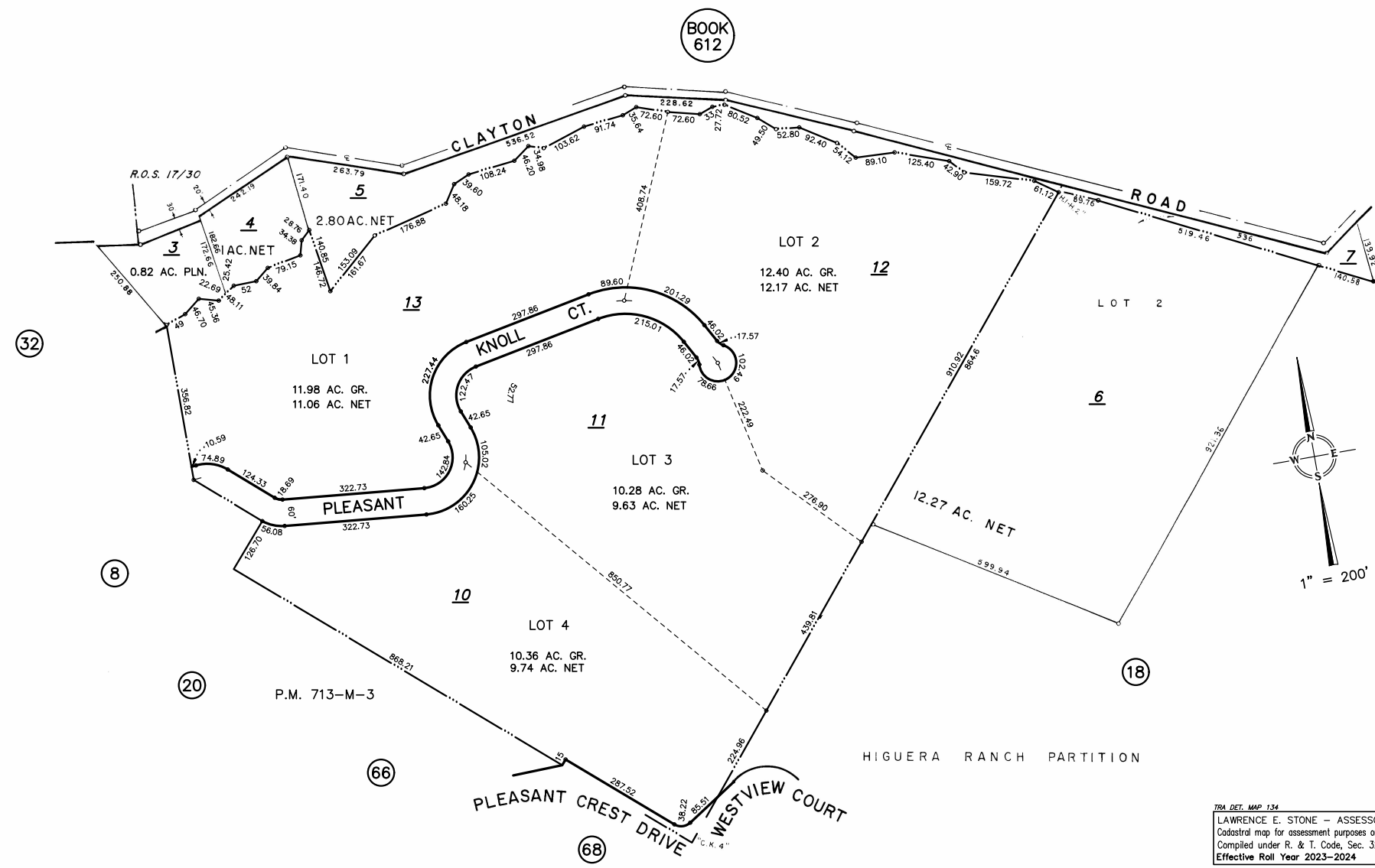
PARCEL MAP

PROJECT SCOPE / APPLICABLE CODES

VICINITY MAP

OFFICE OF COUNTY ASSESSOR — SANTA CLARA COUNTY, CALIFORNIA

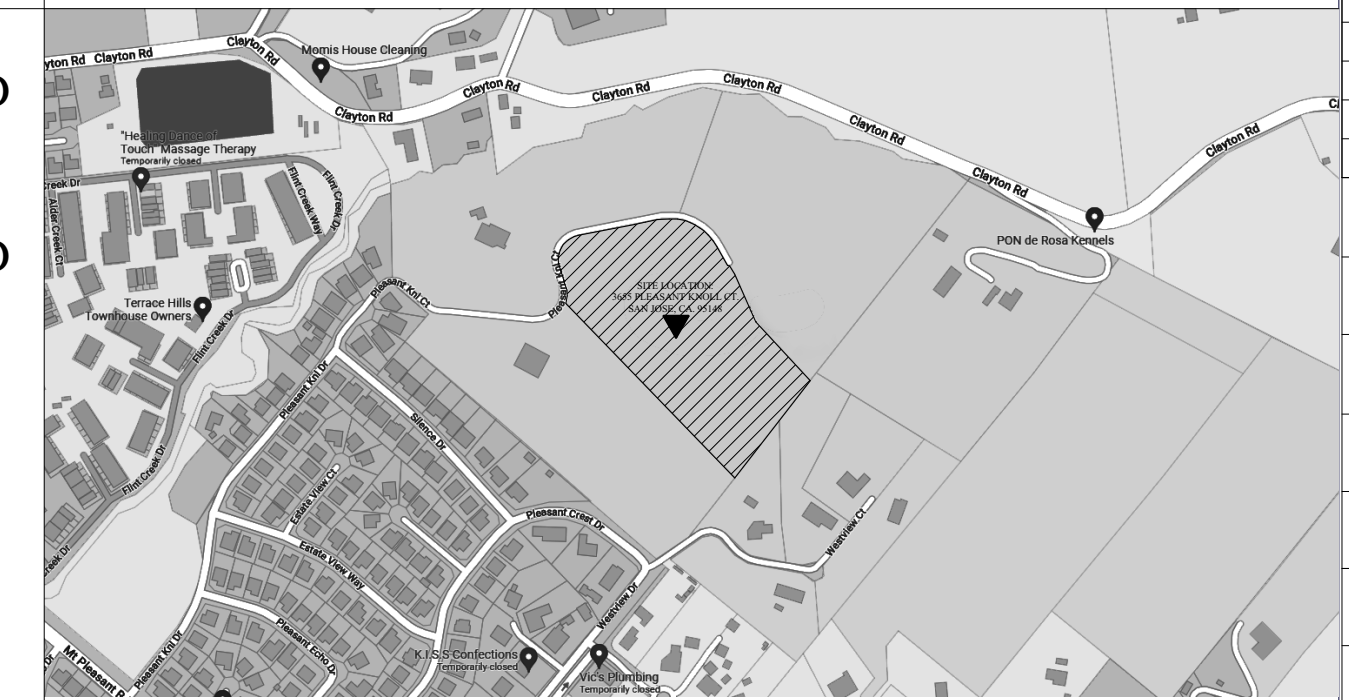
BOOK 654 PAGE 25



CONSTRUCTION OF A NEW TWO STORY 6,230 SQFT HOME WITH 4 BEDROOMS 4.5 BATHS, FULL KITCHEN, LAUNDRY AND ATTACHED GARAGE WITH RECREATIONAL SPACE.

ALL WORK DESCRIBED IN THESE DOCUMENTS SHALL COMPLY WITH THE LATEST BUILDING CONSTRUCTION CODES AND GUIDELINES, AND THOSE AMENDED AND ADOPTED BY THE COUNTY OF SANTA CLARA, CA.

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2023 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CAL-GREEN BUILDING STANDARDS



REVISIONS

ID DATE TRANSMITTAL SET NAME

01 08/03/23 DESIGN REVIEW INITIAL SUBMITTAL

SITE DATA

DIRECTORY

SITE DATA:

APN: 654-25-011
ZONING: AR-RURAL ZONING DISTRICT
OCCUPANCY GROUP: VA
CONSTRUCTION TYPE: VA
LOT AREA: 447,796.8 SQFT / 10.28 AC
SITE AVERAGE SLOPE: 16.8%

PROJECT OWNER / ADDRESS:

ADDNAN ISLAM
3655 PLEASANT KNOLL CT.
SAN JOSE, CA
95148

PROJECT ARCHITECT:

MAURICE CAMARGO A.I.A.
CAMARGO & ASSOC. ARCHITECTS
MAURICE@CAMARGO.COM
(408)489-1077

CIVIL ENGINEER:

LEA & BRAZE ENGINEERING, INC.
ZENAB ALI; E.I.T
ZALI@LEABRAZE.COM
(510)887 - 4068

GEOTECHNICAL ENGINEER:

HARO, KASUNICH & ASSOCIATES
CHRISTOPHER A. GEORGE, P.E.
CGEORGE@HAROKASUNICH.COM
(831)247-7320

SITE COVERAGE:

MAIN HOUSE 3,053.93 SQFT
ADU N/A
GARAGE 894.81 SQFT
WALKWAYS / PATIOS 955.50 SQFT
POOL / SPA / FOUNTAIN N/A
DRIVEWAY 3,400.00 SQFT
TOTAL: 8,313.24 SQFT

TOTAL COVERAGE **8,313.24 SQFT**
MAX ALLOWED

DRAWING SHEET INDEX

G. GENERAL DRAWINGS

G.00 COVER SHEET
G.01 SITE PLAN SURVEY

AS. ARCHITECTURAL SITE PLANS

AS.00 ENLARGED SITE PLAN

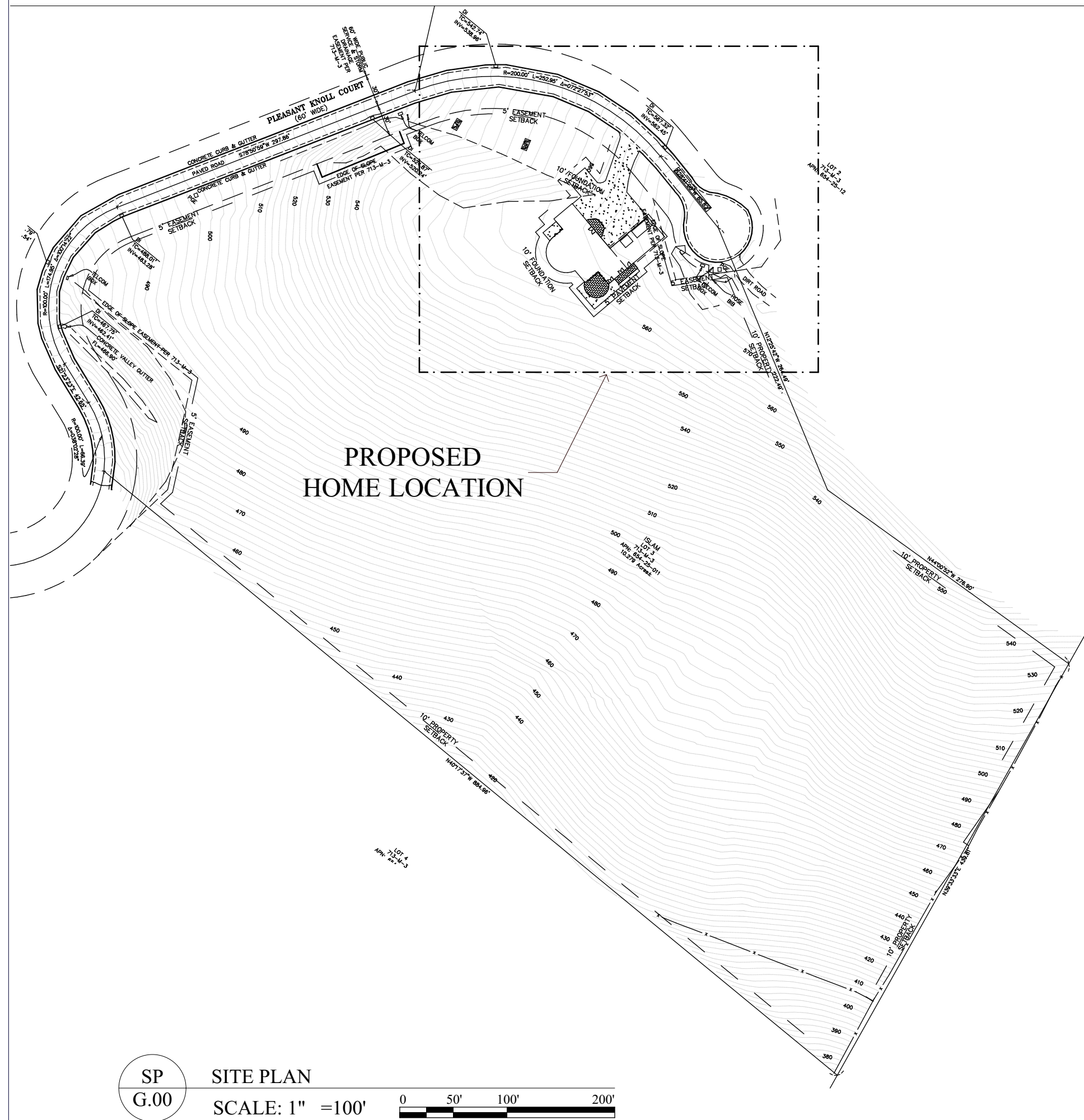
A. ARCHITECTURAL PLANS

A.00 MAIN FLOOR PLAN
A.01 SECOND FLOOR PLAN
A.02 ROOF PLAN
A.03 EXTERIOR ELEVATIONS
A.04 EXTERIOR ELEVATIONS
A.05 BUILDING SECTIONS

C. CIVIL DRAWINGS

C-1.0 GENERAL SPECIFICATIONS
C-1.1 OVERALL SITE PLAN
C-2.0 GRADING & DRAINAGE PLAN
C-3.0 UTILITY PLAN
C-4.0 DETAILS
C-4.1 DETAILS
C-5.0 GRADING SPECIFICATIONS

SITE PLAN



G1. SCOPE OF PLANS: THESE PLANS ILLUSTRATE THE NATURE AND SCOPE OF WORK TO BE PERFORMED BY THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS. ALL WORK SPECIFIED AND/OR IMPLIED IN THESE PLANS, ALL ADDENDA, CHANGE AND FIELD ORDERS, SHOP DRAWINGS, ETC. SHALL BE A PART OF THE CONTRACTOR'S AGREEMENT. SUBSTITUTIONS PROPOSED FOR THE MATERIALS AND METHODS ILLUSTRATED IN THESE PLANS SHALL BE APPROVED BY THE PROJECT ARCHITECT AND THE BUILDING DEPARTMENT PRIOR TO THE INSTALLATION OF SUCH MATERIALS OR THE PERFORMANCE OF SUCH WORK.

G2. DISCREPANCIES: DISCREPANCIES BETWEEN DRAWINGS AND/OR SPEC'S SHALL BE REFERRED TO THE PROJECT ARCHITECT FOR CLARIFICATION BEFORE STARTING THE AFFECTED WORK.

G3. DIMENSIONS: PORTIONS OF THE PLANS ARE NOT DRAWN TO EXACT SCALE AND PRINTS ARE NOT EXACT REPRODUCTIONS OF DRAWINGS. DIMENSIONS MARKED "N.T.S." (NOT TO SCALE) ARE SUBSTANTIALLY DIFFERENT FROM THE SCALE OF THE DRAWING. DO NOT SCALE OFF OF THE DRAWINGS. USE DIMENSIONS SHOWN. ALL WINDOW, DOOR AND CABINET SIZES SHOWN ARE NOMINAL. CHECK WITH MANUF'R FOR EXACT GLAZING AND ROUGH OPENING SIZES OF DOORS AND WINDOWS.

G4. ARCHITECT OBSERVATIONS: SITE VISITS AND OBSERVATIONS OF CONSTRUCTION SHALL BE CONDUCTED BY THE ARCHITECT AT TIMES INDICATED BELOW PRIOR TO PROCEEDING WITH SUBSEQUENT CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED AT LEAST (2) WORKING DAYS PRIOR TO EACH INSPECTION.

1. FOUND. EXCAVATION, FORMS & REINFG. JUST BEFORE PLACEMENT OF CONC.
2. FLOOR FRAMING AT ALL LEVELS BEFORE INSTALLATION OF FLOOR SHEATHING.
3. ROOF FRAMING AND SHEATHING NAILING BEFORE INSTALLATION OF ROOFING.
4. FLOOR & WALL FRAMING & SHEATHING BEFORE FINAL FRAMING INSPECTION BY COUNTY.

G5. TITLE 24 INSTALLATION CERTIFICATES: CONTRACTOR AND/OR INSTALLER OF HVAC SYSTEMS, WATERHEATER

SYSTEMS, WINDOWS, BUILDING ENVELOPE SEALANTS AND INSULATION SHALL PROVIDE INSTALLATION CERTIFICATES PER TITLE 24 CF-6R (PAGES 1-7 AND IC-1). ALL SHEETS MUST BE FILLED OUT, SIGNED BY THE INSTALLER AND SUBMITTED TO THE BUILDING DEPARTMENT AT THE TIME OF INSPECTION.

G7. GEOTECHNICAL PLAN REVIEW: THE GEOTECHNICAL ENGINEER FOR THIS PROJECT SHALL REVIEW THE FINAL FOUNDATION DESIGN FOR CONFORMANCE TO HIS RECOMMENDATIONS AND SHALL SUBMIT A LETTER DOCUMENTING THIS REVIEW TO THE BUILDING DEPARTMENT PRIOR TO OBTAINING A PERMIT.

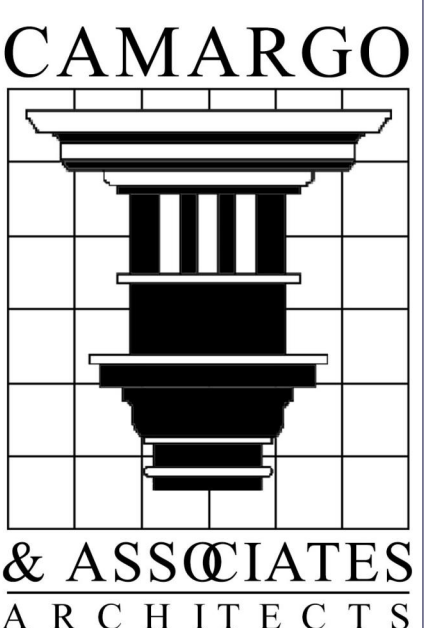
G8. GEOTECHNICAL CONSTRUCTION OBSERVATIONS: THE PROJECT GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASES OF CONSTRUCTION PER RECOMMENDATIONS IN THE REPORT AND/OR AS DETERMINED BY THE ENGINEER DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED AT LEAST (2) WORKING DAYS PRIOR TO THE BEGINNING OF SUCH OPERATIONS AND SHALL SUBMIT A TESTING AN INSPECTION REPORT TO THE BUILDING DEPARTMENT PRIOR TO INSPECTION FINAL.

G9. PROPOSED SITE PLAN: THE PROPOSED SITE PLAN SHOWN ON THESE PLANS ARE FOR THE PURPOSE OF CONSTRUCTION OF THE PROPOSED COTTAGE ONLY. ANY LANDSCAPE MODIFICATIONS SHOWN ON THESE PLANS ARE TO BE FUTURE AND SHALL NOT BE CONSIDERED FOR BIDDING OR APPROVAL.

G10. SPECIAL INSPECTIONS: SITE VISITS AND INSPECTIONS OF CERTAIN PORTIONS OF THE CONSTRUCTION SHALL BE CONDUCTED BY AN APPROVED SPECIAL INSPECTION AND TESTING AGENCY PER CBC CHAPTER 17 AND PER THE CONDITIONS OF THE "STRUCTURAL TESTS AND INSPECTIONS SCHEDULE" SUBMITTED TO THE BUILDING DEPARTMENT DURING THE BUILDING PERMIT APPROVAL PROCESS. THE SPECIAL INSPECTOR SHALL BE NOTIFIED AT LEAST (24) HOURS PRIOR TO EACH INSPECTION AND SPECIAL INSPECTIONS SHALL BE CONDUCTED PRIOR TO PROCEEDING WITH SUBSEQUENT CONSTRUCTION. SPECIAL INSPECTOR SHALL SUBMIT ALL WRITTEN NOTIFICATIONS, REPORTS, STATEMENTS AND FORMS REGARDING THEIR WORK TO THE BUILDING DEPARTMENT PER THE SIGNED SPECIAL INSPECTION SCHEDULE.

SP SITE PLAN
G.00 SCALE: 1" = 100'

ISLAM RESIDENCE
3655 PLEASANT KNOLL CT • SAN JOSE • CALIFORNIA



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3953 Yolo Drive
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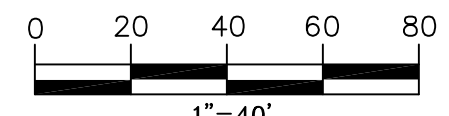
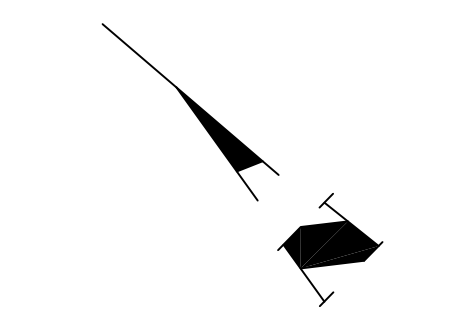
Date Printed: 9/21/2023
Project No: 2022-10
Drawn by: FRANCISCO TORRES

Sheet

G.00

COVER SHEET

LOT 2
713-M-3
APN: 654-25-12



LEGEND

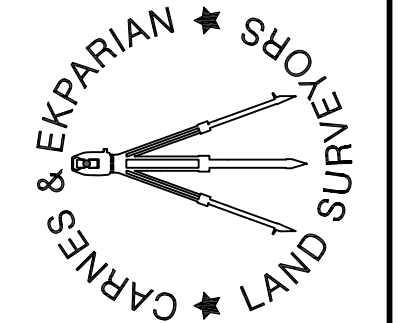
	PROPERTY BOUNDARY
	LOT LINE
	CENTER LINE
	EASEMENT LINE
	PAVEMENT
	CONCRETE/LIP OF GUTTER
	FENCE
	FLOW LINE
	TELELINE
	GRADE BREAK

LOT 2
588-M-32
APN: 654-18-028

ABBREVIATIONS

FL	FLOW LINE
DI	DRAIN INLET
INV	INVERT
PGE	ABOVE GROUND PACIFIC POWER, GAS & ELECTRIC
TC	TOP CURB

Carnes & Ekparian, Inc.
LAND SURVEYORS
9505 SUGAR BABE DRIVE GILROY, CA 95020
T: (408) 847-2013 F: (408) 846-7248
EMAIL: OFFICE@CE-PLS.COM

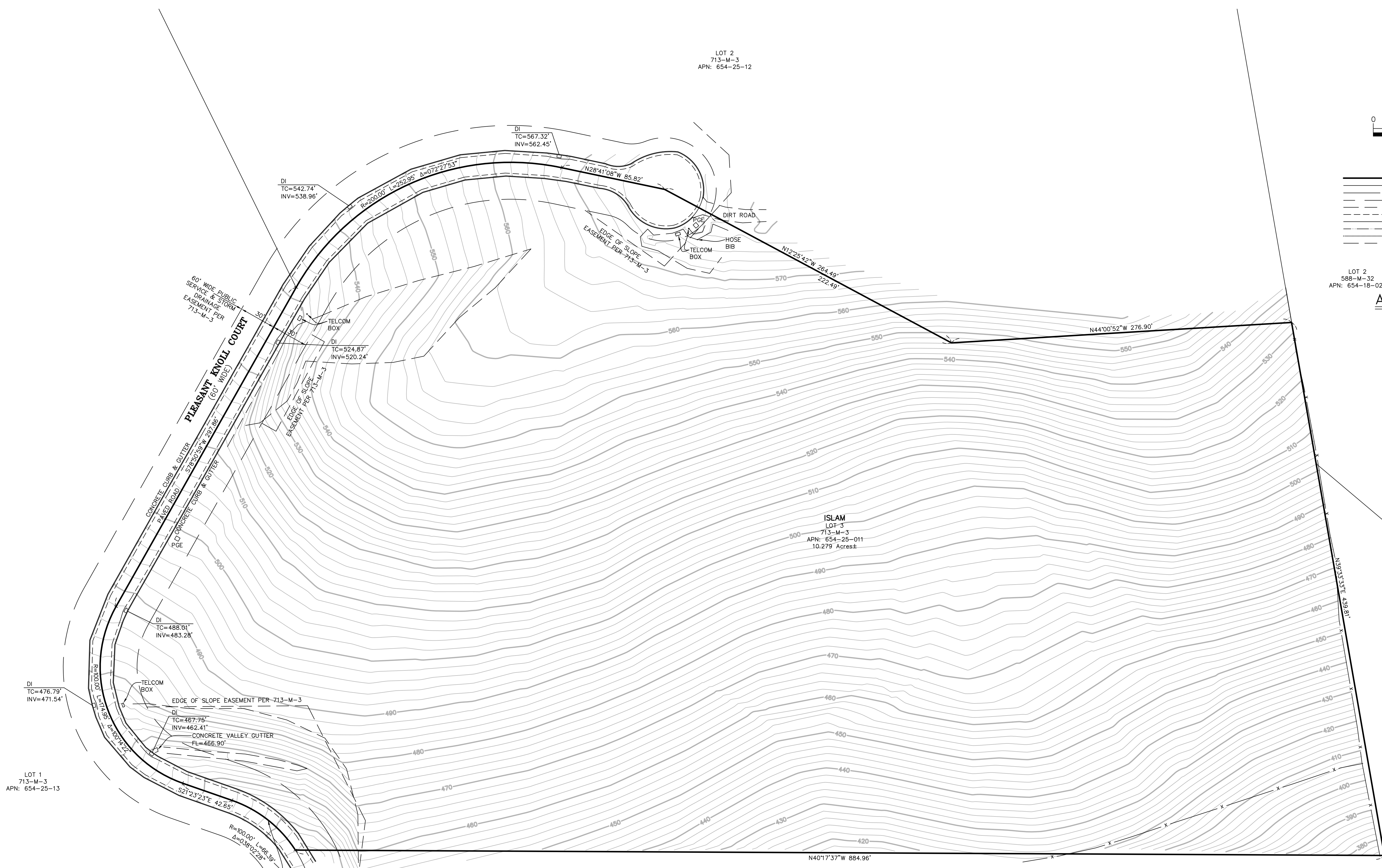


No.	DATE	REVISION

**LIMITED TOPOGRAPHIC MAP
FOR ADDNAN ISLAM
3655 PLEASANT KNOLL COURT
CITY OF SAN JOSE, CALIF.**

DATE :	05/16/2022
SCALE :	1" = 40'
DRAWN BY :	J.H.
PROJ. MANAGER :	G.C.

SHEET
1
OF
1
Job No. 22007
DWG: ISLAM TP



LOT 1
713-M-3
APN: 654-25-13

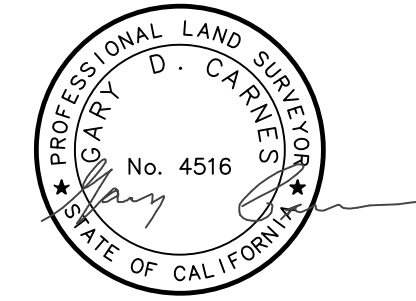
ISLAM
LOT 3
713-M-3
APN: 654-25-011
10.279 Acres±

LOT 1
588-M-32
APN: 654-18-029

LOT 4
713-M-3
APN: 654-25-10

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR, EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP, IF SHOWN, ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP, IF SHOWN, ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.



OWNER'S STATEMENT

WE HEREBY STATE THAT WE ARE THE OWNERS OF, OR HAVE SOME RIGHT, TITLE, OR INTEREST IN AND TO THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THE HEREIN MAP; THAT WE ARE THE ONLY PERSONS WHOSE CONSENTS ARE NECESSARY TO PASS A CLEAR TITLE TO SAID REAL PROPERTY; THAT WE HEREBY CONSENT TO THE PREPARATION AND FILING OF SAID MAP AND SUBDIVISION AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE.

WE HEREBY DEDICATE TO PUBLIC USE A STRIP OF LAND DELINEATED AND DESIGNATED AS EAE "EMERGENCY ACCESS EASEMENT" FOR EMERGENCY ACCESS PURPOSES ONLY.

WE HEREBY DEDICATE TO PUBLIC USE AND OFFER TO DEDICATE TO THE COUNTY OF SANTA CLARA ALL STREETS AND PORTIONS OF STREETS NOT HERETOFORE EXISTING AND DESIGNATED AS PLEASANT KNOLL COURT AS SHOWN UPON THIS MAP; SAID DEDICATIONS AND OFFERS OF DEDICATION ARE FOR ANY AND ALL PUBLIC USES UNDER, UPON AND OVER SAID STREETS AND PORTIONS THEREOF.

ALL OF THE HEREIN DESCRIBED EASEMENTS SHALL BE KEPT FREE OF BUILDINGS EXCEPT LAWFUL UNSUPPORTED ROOF OVERHANGS AND OBSTRUCTIONS THAT IMPAIR THE USE OF OR ARE INCONSISTENT WITH THE PURPOSES OF THE EASEMENT.

WE HEREBY DEDICATE TO PUBLIC USE AND OFFER TO DEDICATE TO THE COUNTY OF SANTA CLARA ALL STREETS AND PORTIONS OF STREETS NOT HERETOFORE EXISTING AND DESIGNATED AS PLEASANT CREST DR. AND WEST VIEW CT. AS SHOWN UPON THIS MAP; SAID DEDICATIONS AND OFFERS OF DEDICATION ARE FOR ANY AND ALL PUBLIC USES UNDER, UPON, AND OVER SAID STREETS AND PORTIONS THEREOF.

WE HEREBY DEDICATE TO PUBLIC USE AND OFFER TO DEDICATE TO THE COUNTY OF SANTA CLARA SLOPE EASEMENTS DESIGNATED AS **SLOPE EASEMENT** FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING CUT OR FILL SLOPES OR RETAINING WALLS.

WE HEREBY DEDICATE TO PUBLIC USE AND OFFER TO DEDICATE TO THE COUNTY OF SANTA CLARA EASEMENTS FOR ANY AND ALL PUBLIC SERVICE FACILITIES INCLUDING BUT NOT LIMITED TO POLES, WIRES AND CONDUITS FOR ELECTRICAL, TELEPHONE, TELEVISION, GAS, STORM, SANITARY AND WATER SERVICES, AND ALL APPURTENANCES THERETO UNDER, UPON, OR OVER THE LAND DESIGNATED AS "P.S.E." (PUBLIC SERVICE EASEMENT).

THE HEREIN DESCRIBED OFFERS OF DEDICATION TO THE COUNTY OF SANTA CLARA ARE TO BE ACCEPTED ONLY WHEN THE BOARD OF SUPERVISORS OR ITS SUCCESSOR AGENCY ADOPTS AND RECORDS IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY A RESOLUTION ACCEPTING SAID STREETS OR EASEMENTS. UNTIL SAID RESOLUTIONS ARE RECORDED, ALL STREETS AND EASEMENTS ENCOMPASSED WITHIN SUCH OFFERS OF DEDICATION SHALL BE MAINTAINED BY THE DEVELOPER DURING ANY REQUIRED WARRANTY PERIOD AND THEREAFTER BY THE OWNERS OF THE LOTS OR PARCELS IN THE SUBDIVISION. THE COUNTY OF SANTA CLARA SHALL NOT BE RESPONSIBLE FOR MAINTENANCE THEREON SHALL INCUR NO LIABILITY WITH RESPECT TO SUCH OFFERED STREETS AND EASEMENTS OR ANY IMPROVEMENT ALL DEDICATED RIGHTS OF WAY AND EASEMENTS NOT ACCEPTED FOR MAINTENANCE BY THE COUNTY OF SANTA CLARA OR OTHER PUBLIC AGENCY SHALL BE MAINTAINED BY THE OWNERS OF THE LOTS OR PARCELS IN THE SUBDIVISION.

AS OWNERS: Marius E. Nelsen
THE NELLIS CORPORATION, ROBERT C. NELLIS, PRESIDENT

Kathy E. Nellis
KATHY E. NELLIS, SECRETARY

ACKNOWLEDGEMENT

STATE OF CALIFORNIA
COUNTY OF Santa Clara :SS

ON January 20, 1999 BEFORE ME PERSONALLY APPEARED Robert C. Nellis and Kathy E. Nellis PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL Alison J. Scharnow
SIGNATURE: _____
PRINT NAME ALISON J. SCHARNOW

NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
MY COMMISSION EXPIRES: July 4, 2001

GRID NO: 69-51-69, 69-51-70 AND 69-50-70 FILE NO: 5912-51-70-94S

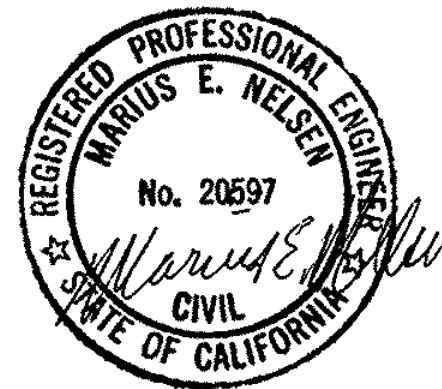
ENGINEER'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF MR. ROBERT C. NELLIS ON FEBRUARY, 1994. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY.

I HEREBY STATE THAT ALL THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED OR WILL BE SET ON OR BEFORE DECEMBER 1, 1999 AND THAT SUCH MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATE: 1-18-99

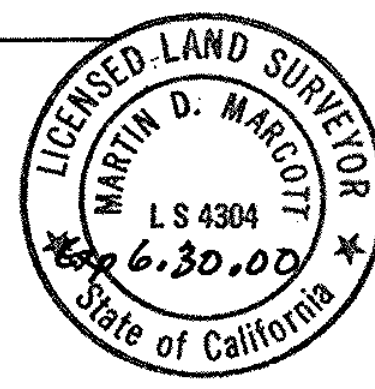
SIGNED: Marius E. Nelsen
MARIUS E. NELSEN
R.C.E. NO. 20597
EXPIRES: 9-30-2001



COUNTY SURVEYOR'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THE WITHIN PARCEL MAP; THAT THE MAP AS SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL PROVISIONS OF THE CALIFORNIA SUBDIVISION MAP ACT AND ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF THE APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPILED WITH AND I AM SATISFIED THAT SAID MAP IS TECHNICALLY CORRECT. PURSUANT TO THE PROVISIONS OF SECTION C12-133 OF THE COUNTY ORDINANCE CODE, IT IS HEREBY ORDERED THAT ALL STREETS, PORTIONS OF STREETS AND EASEMENTS OFFERED FOR DEDICATION TO THE COUNTY OF SANTA CLARA ARE HEREBY NOT ACCEPTED AND ALL DEDICATIONS TO PUBLIC USE ARE HEREBY ACCEPTED IN BEHALF OF THE PUBLIC FOR THE PURPOSES SET FORTH IN THE OWNER'S STATEMENT.

DATE: 2-23-99



MARTIN D. MARCOTT, COUNTY SURVEYOR
Martin D. Marcott
L.L.S. NO. 4304
EXPIRATION DATE: 6-30-00

ACKNOWLEDGEMENT

STATE OF CALIFORNIA
COUNTY OF _____ :SS

ON _____ BEFORE ME PERSONALLY APPEARED _____ PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL
SIGNATURE: _____
PRINT NAME _____

NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
MY COMMISSION EXPIRES: _____

**PARCEL MAP
LANDS OF NELLIS**

CONSISTING OF THREE SHEETS AND BEING ALL OF PARCEL 1 AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED IN BOOK 657 OF MAPS AT PAGES 20, 21 AND 22 SANTA CLARA COUNTY RECORDS.

SANTA CLARA COUNTY, CALIFORNIA

JANUARY 1999

**NELSEN
ENGINEERING**

CIVIL ENGINEERING
SURVEYING
CONSTRUCTION

CUPERTINO, CA.

(408) 257-6452

RECORDER'S STATEMENT:

FILED THIS 2ND DAY OF MARCH 1999, AT 2:18 P.M.
IN BOOK 713 OF MAPS AT PAGE 3 AND 5
AT THE REQUEST OF ROBERT C. NELLIS.

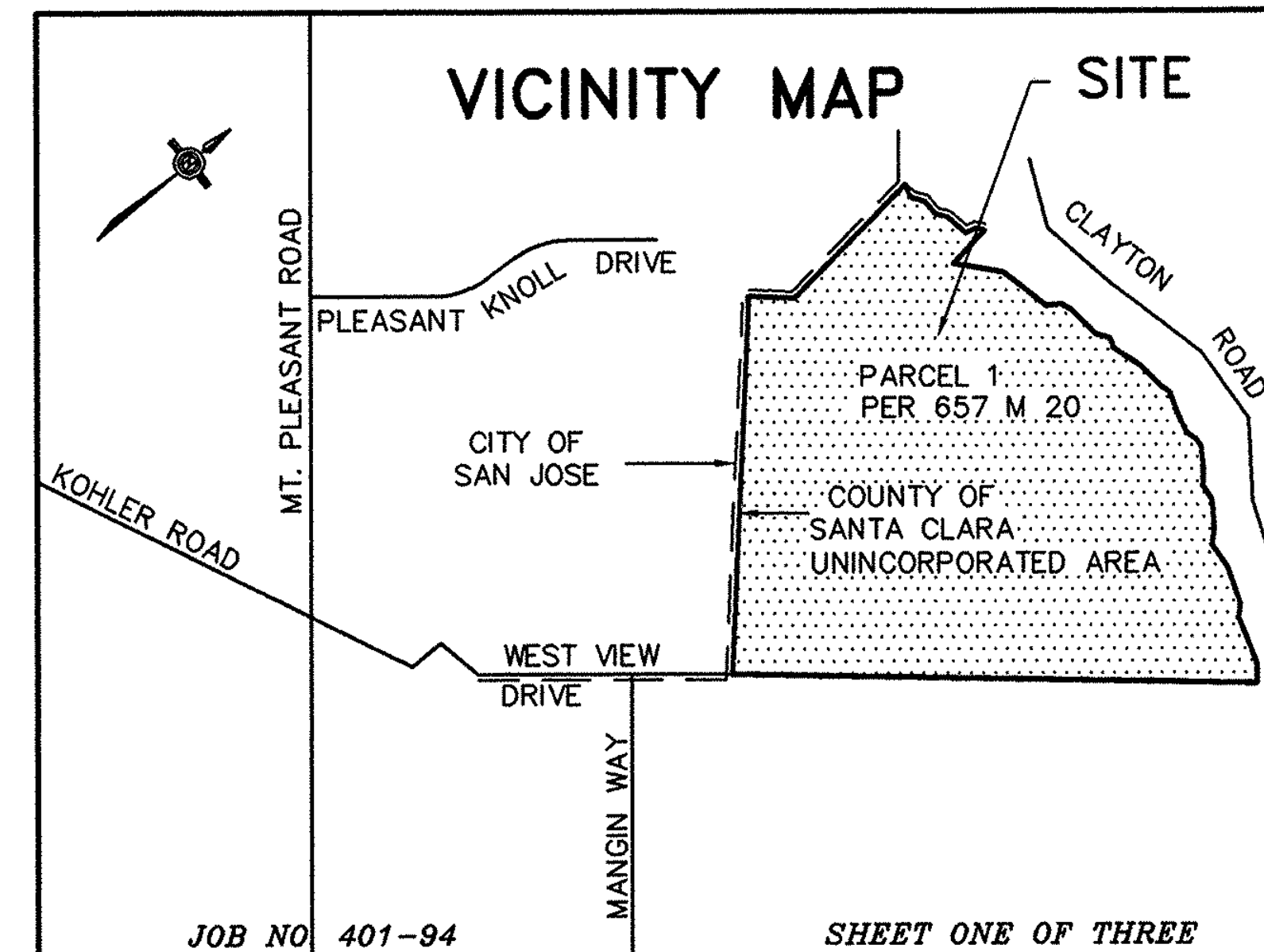
FILE NO. 14684224 BRENDA DAVIS, COUNTY RECORDER
SANTA CLARA COUNTY, CALIFORNIA
FEE: \$12.00 BY B. Davis DEPUTY

BASIS OF BEARINGS

THE BEARING S48°46'14"E FOR THE SOUTHEASTERLY LINE OF PARCEL 2 AS SHOWN ON THE PARCEL MAP RECORDED IN BOOK 657 OF MAPS AT PAGES 20, 21 AND 22, SANTA CLARA COUNTY RECORDS WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.

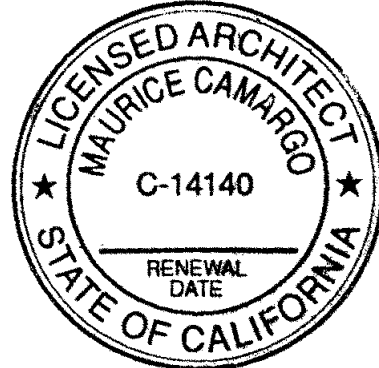
SOILS REPORT

A SOILS REPORT WAS PREPARED BY CLEARY CONSULTANTS, INC. PROJECT NO. 112.16 SER. 4483, DATED SEPTEMBER 21, 1990 AND FILED WITH THE COUNTY OF SANTA CLARA, CA. CONTACT CLEARY CONSULTANTS 900 N. SAN ANTONIO RD., LOS ALTOS, CA 94022 FOR A COPY OF THIS REPORT.



JOB NO 401-94

SHEET ONE OF THREE

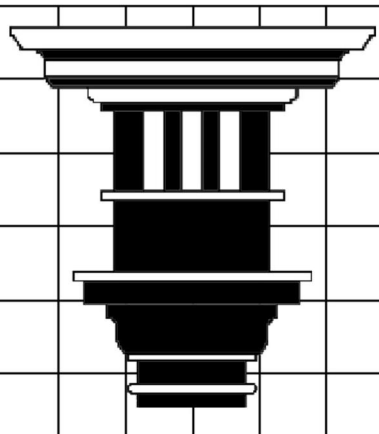


REVISIONS
ID DATE TRANSMITTAL SET NAME

ISLAM RESIDENCE
3655 PLEASANT KNOLL CT • SAN JOSE • CALIFORNIA

BOOK
713
pages
3-5

CAMARGO



**& ASSOCIATES
ARCHITECTS**

3953 Yolo Drive
San Jose, CA. 95136
(408) 266-3442
www.camargo.com

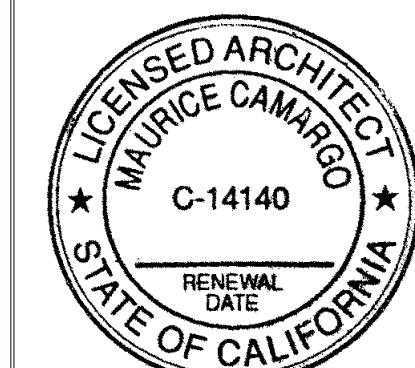
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Project No: 2022-10

Drawn by: FRANCISCO TORRES

Sheet

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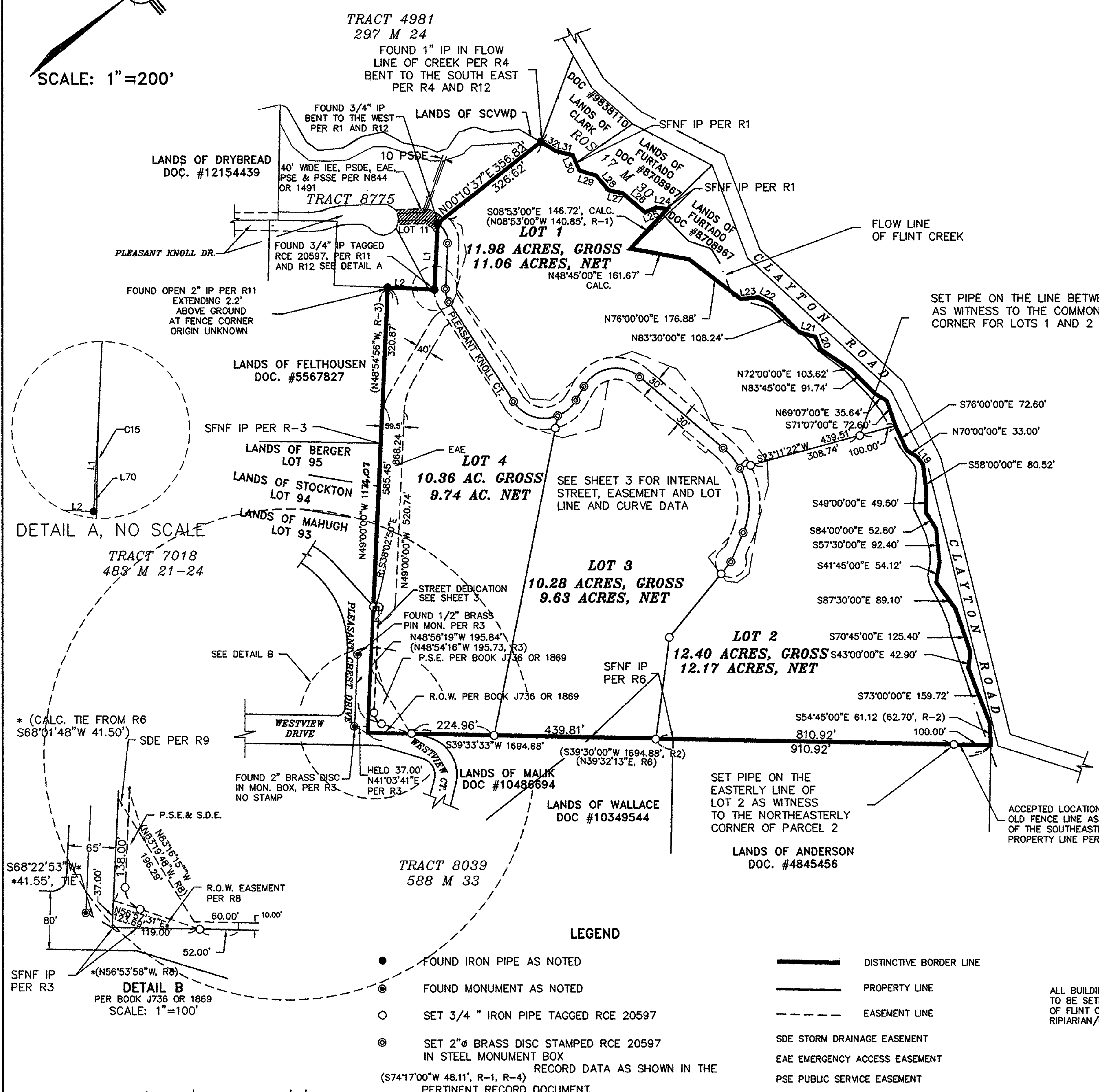
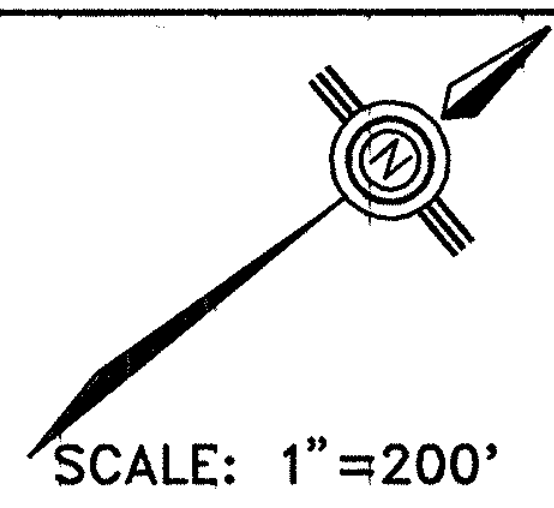
PARCEL MAP LANDS OF NELLIS

CONSISTING OF THREE SHEETS AND BEING ALL OF PARCEL 1 AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED IN BOOK 657 OF MAPS AT PAGES 20, 21 AND 22 SANTA CLARA COUNTY RECORDS.

SANTA CLARA COUNTY, CALIFORNIA
JANUARY 1999

NELSEN ENGINEERING CIVIL ENGINEERING
SURVEYING
CONSTRUCTION
CUPERTINO, CA. (408) 257-6452

NO.	DATE	REVISIONS

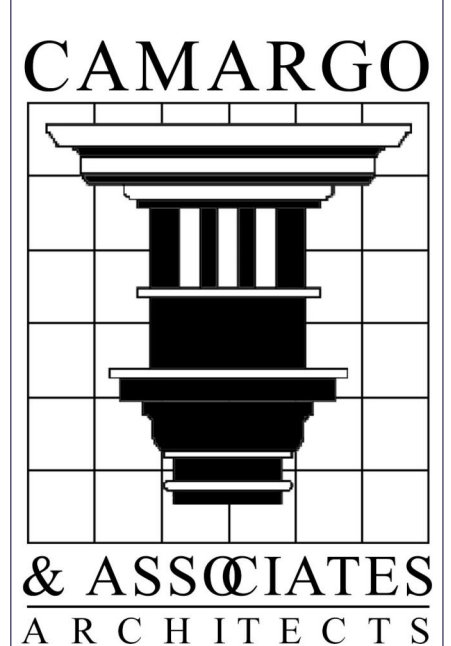


REFERENCE DOCUMENTS

R-1 RECORD OF SURVEY, BOOK 262 OF MAPS PAGE 13, SANTA CLARA COUNTY RECORDS	R-6 TRACT 8039, BOOK 588 OF MAPS, PAGES 32 AND 33 SANTA CLARA COUNTY RECORDS.
R-2 GRANT DEED, BOOK K965 OFFICIAL RECORDS PAGE 421, SANTA CLARA COUNTY RECORDS	R-7 BOOK 9057 OFFICIAL RECORDS, PAGE 620 SANTA CLARA COUNTY RECORDS.
R-3 TRACT 7018, BOOK 483 OF MAPS, PAGES 21 THROUGH 24 SANTA CLARA COUNTY RECORDS.	R-8 BOOK J736 OFFICIAL RECORDS, PAGE 1869 SANTA CLARA COUNTY RECORDS.
R-4 RECORD OF SURVEY, BOOK 17 OF MAPS PAGE 30, SANTA CLARA COUNTY RECORDS	R-9 BOOK K606 OFFICIAL RECORDS, PAGE 490 SANTA CLARA COUNTY RECORDS.
R-5 TRACT 4981, BOOK 297 OF MAPS, PAGE 24 SANTA CLARA COUNTY RECORDS	R-10 BOOK 1402 OFFICIAL RECORDS, PAGE 485 SANTA CLARA COUNTY RECORDS.
	R-11 PARCEL MAP, BOOK 657 OF MAPS PAGES 20, 21 AND 22 SANTA CLARA COUNTY RECORDS
	R-12 TRACT NO. 8775, BOOK 679 OF MAPS PAGES 13 AND 14 SANTA CLARA COUNTY RECORDS

Book
713
pages
3-5

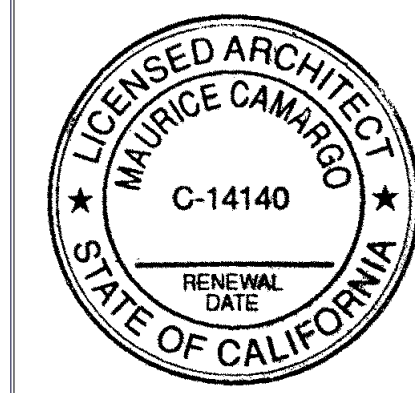
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NO.	DATE	REVISION

PARCEL MAP LANDS OF NELLIS

CONSISTING OF THREE SHEETS AND BEING ALL OF PARCEL 1 AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED IN BOOK 657 OF MAPS AT PAGES 20, 21 AND 22 SANTA CLARA COUNTY RECORDS.

SANTA CLARA COUNTY, CALIFORNIA
JANUARY 1999

NELSEN ENGINEERING

CIVIL ENGINEERING
SURVEYING
CONSTRUCTION

CUPERTINO, CA.

(408) 257-6452

BASIS OF BEARINGS

LEGEND

- FOUND IRON PIPE AS NOTED
- ⊙ FOUND MONUMENT AS NOTED
- SET 3/4" IRON PIPE TAGGED RCE 20597
- ⊙ SET 2" BRASS DISC STAMPED RCE 20597 IN STEEL MONUMENT BOX
- (S74°17'00"W 48.11', R-1, R-4) RECORD DATA AS SHOWN IN THE PERTINENT RECORD DOCUMENT
- DISTINCTIVE BORDER LINE
- PROPERTY LINE
- - - EASEMENT LINE
- SDE: STORM DRAINAGE EASEMENT
- EAE: EMERGENCY ACCESS EASEMENT
- PSE: PUBLIC SERVICE EASEMENT

LINE DATA

LINE	DIRECTION	DISTANCE
L1	N48°46'14"W	181.41'
L2	N40°55'28"E	126.70'
L3	N41°01'18"W	130.63'
L4	N5°31'37"E	7.68'
L5	N21°42'23"W	263.75'
L6	N21°42'23"W	167.81'
L7	S84°28'23"E	273.11'
L8	S84°28'23"E	40.03'
L9	N5°43'25"E	7.82'
L10	S48°46'14"E	124.33'
L11	S84°28'23"E	322.73'
L12	S21°23'23"E	42.65'
L13	N78°50'59"E	297.86'
L14	S28°41'08"E	85.82'
L15	S83°33'22"W	14.07'
L16	S83°33'22"W	10.59'
L17	N77°48'46"E	82.67'
L18	N11°09'23"W	11.73'
L19	S89°30'00"E	27.72'
L20	S72°00'00"E	34.98'
L21	N54°00'00"E	46.20'
L22	N66°30'00"E	39.60'
L23	N33°00'00"E	48.18'
L24	N46°42'00"E	28.76'
L25	N15°18'00"E	34.38'
L26	N79°03'00"E	79.15'
L27	N51°10'00"E	39.84'
L28	N88°41'00"E	52.00'
L29	N55°17'00"E	48.11'
L30	* S74°34'00"E	45.36'
L31	N51°57'00"E	46.70'
L32	N69°40'00"E	49.00'
L33	S84°28'23"E	9.59'
L34	S11°09'23"E	13.23'
L35	S00°10'37"W	30.18'
L36	N28°41'08"W	46.02'
L37	S23°11'22"W	30.77'
L38	S40°17'37"W	34.19'
L39	N11°09'23"E	11.43'
L40	S05°29'43"E	78.79'
L41	S88°10'05"E	56.76'
L42	N45°56'35"E	30.79'
L43	N02°03'59"E	39.05'
L44	N41°34'14"W	145.07'
L45	N35°56'29"W	101.33'
L46	N54°14'35"W	66.44'
L47	N87°25'19"W	102.55'
L48	S51°18'47"W	96.08'
L49	N74°44'43"W	72.87'
L50	S89°54'56"W	101.05'
L51	S60°01'04"W	130.18'
L52	S19°56'14"W	49.19'
L53	S00°55'12"E	83.68'
L54	S43°32'54"W	55.38'
L55	N81°52'03"W	122.04'
L56	N36°24'39"W	100.01'
L57	N61°02'00"W	76.93'
L58	S67°54'44"W	38.57'
L59	N56°42'00"E	95.36'
L60	N54°31'49"E	72.79'
L61	S87°28'54"E	237.58'
L62	N78°50'59"E	27.14'
L63	S88°21'13"E	23.91'
L64	N41°00'00"E	15.00'
L65	S49°00'00"E	287.52'
L66	S56°57'31"W	38.22'
L67	N22°42'30"E	104.50'
L68	S28°41'08"E	19.86'
L69	S56°57'31"W	85.51'
L70	N48°46'14"W	3.25'

CURVE DATA

CURVE	RADIUS	LENGTH	DELTA
C1	30.00'	17.57'	33°33'26"
C2	42.00'	102.49'	139°48'52"
C3	30.00'	17.57'	33°33'26"
C4	200.00'	181.45'	51°58'53"
C5	200.00'	71.50'	20°29'00"
C6	100.00'	66.39'	38°02'28"
C7	100.00'	174.95'	100°14'22"
C8	100.00'	137.66'	78°52'32"
C9	60.00'	37.39'	35°42'09"
C10	60.00'	49.92'	47°40'24"
C11	50.00'	88.10'	100°57'10"
C12	180.00'	85.75'	27°17'37"
C13	30.00'	14.36'	27°25'48"
C14	70.00'	33.51'	27°25'48"
C15	90.00'	56.08'	35°42'09"
C16	90.00'	74.89'	47°40'24"
C17	42.00'	78.66'	107°18'00"
C18	130.00'	88.10'	38°49'37"
C19	70.00'	69.70'	57°02'49"
C20	170.00'	215.01'	72°27'53"
C21	130.00'	133.85'	58°59'32"
C22	70.00'	52.77'	43°11'33"
C23	230.00'	201.29'	50°08'41"
C24	230.00'	89.60'	22°19'12"
C25	130.00'	93.59'	41°14'50"
C26	30.00'	18.69'	35°42'09"
C27	130.00'	72.16'	31°48'05"
C28	30.00'	38.77'	74°02'29"
C29	100.00'	204.06'	116°55'00"
C30	200.00'	252.95'	72°27'53"
C31	70.00'	142.84'	116°55'00"
C32	130.00'	133.85'	58°59'32"
C33	130.00'	160.25'	70°37'42"
C34	130.00'	227.44'	100°14'22"
C35	130.00'	105.02'	46°17'18"

SCALE: 1" = 100'

LOT 1
11.98 ACRES, GROSS
11.06 ACRES, NET

LOT 4
10.36 ACRES, GROSS
9.74 ACRES, NET

LOT 3
10.28 ACRES, GROSS
9.63 ACRES, NET

LOT 2
12.40 ACRES, GROSS
12.17 ACRES, NET

EDGE OF SLOPE
EASEMENT, TYP.

60' WIDE PSE AND SDE

* S74°36'00"W PER R-4

□ NO CALCULATED DISTANCE PER R-1

FOUND 1/2" BRASS
PIN MON. PER R3
STREET DEDICATION
4,717 SQUARE FEET

SDE PER R9
PSE AND SDE PER R8

R.O.W. PER
BOOK J736 OR 1869

FILE NO. 14684224 FILED DATE 3/2/99

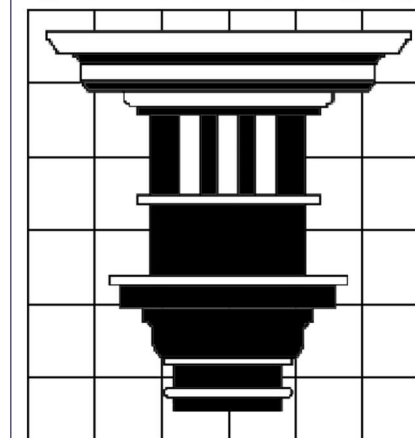
BOOK 713 OF MAPS PAGE 2, 4, 5 GRID NO: 69-51-69, 69-51-70 AND 69-50-70

SHEET THREE OF THREE

BOOK
713
pages
3-5

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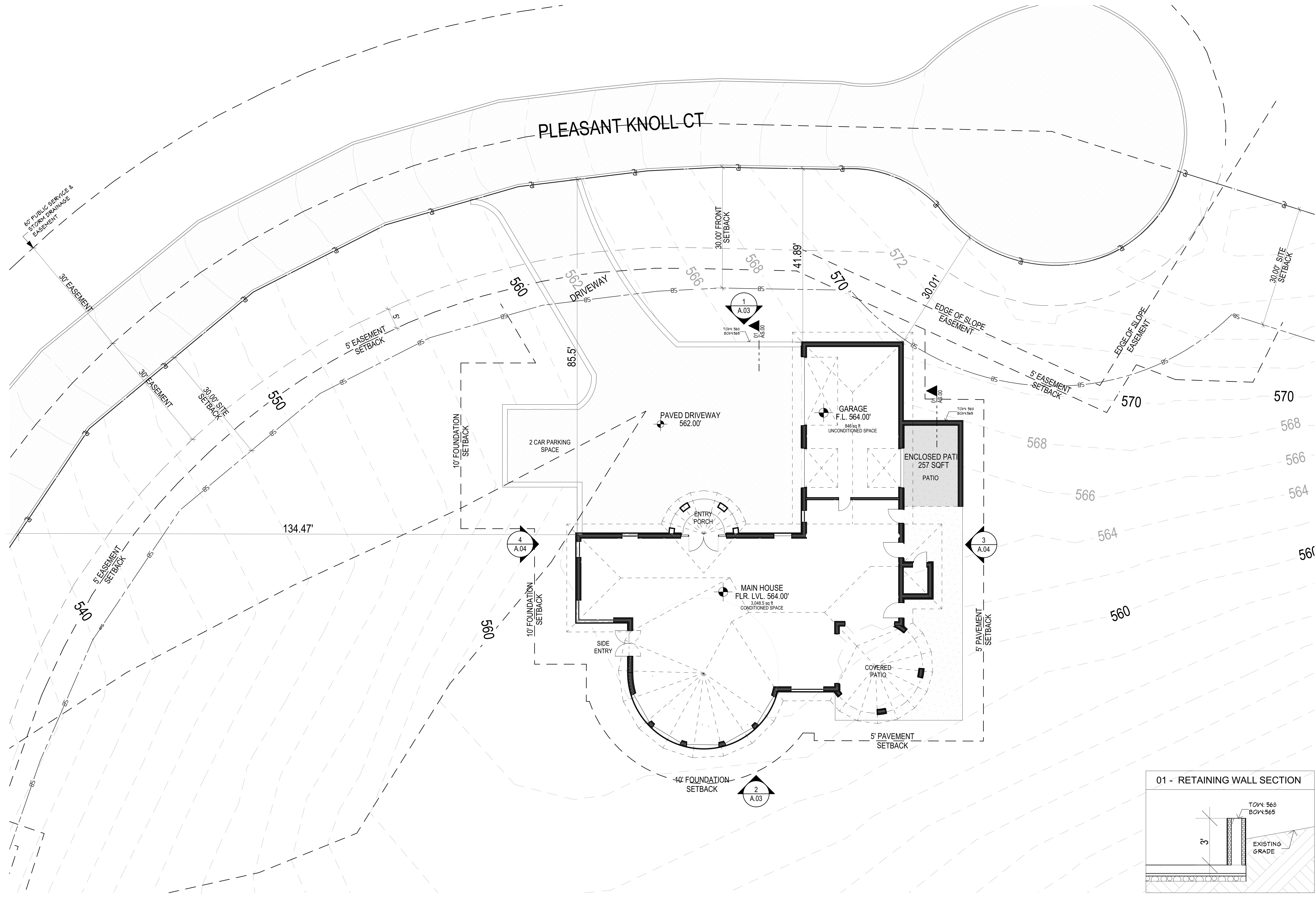
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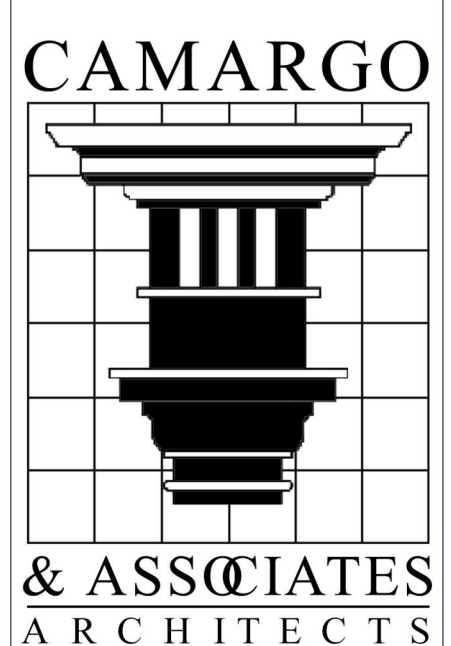
PARCEL MAP SHEET 3



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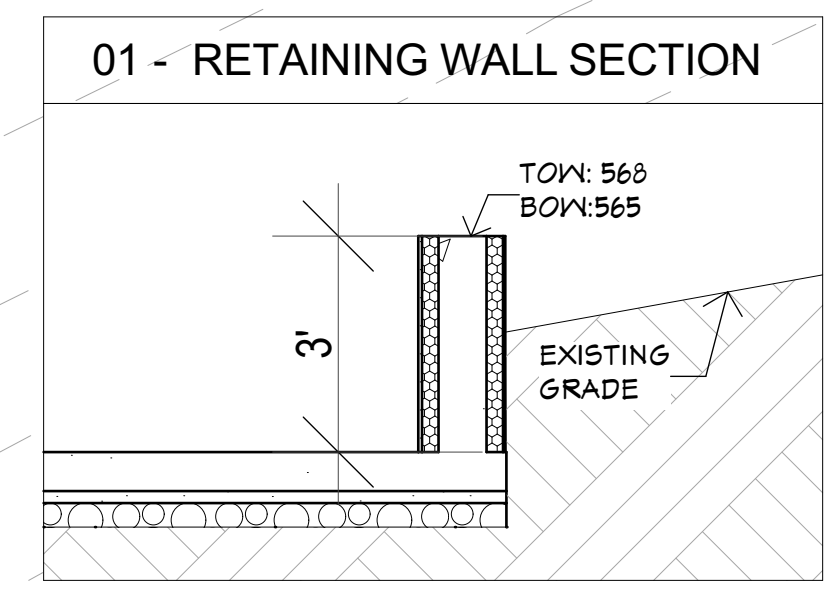
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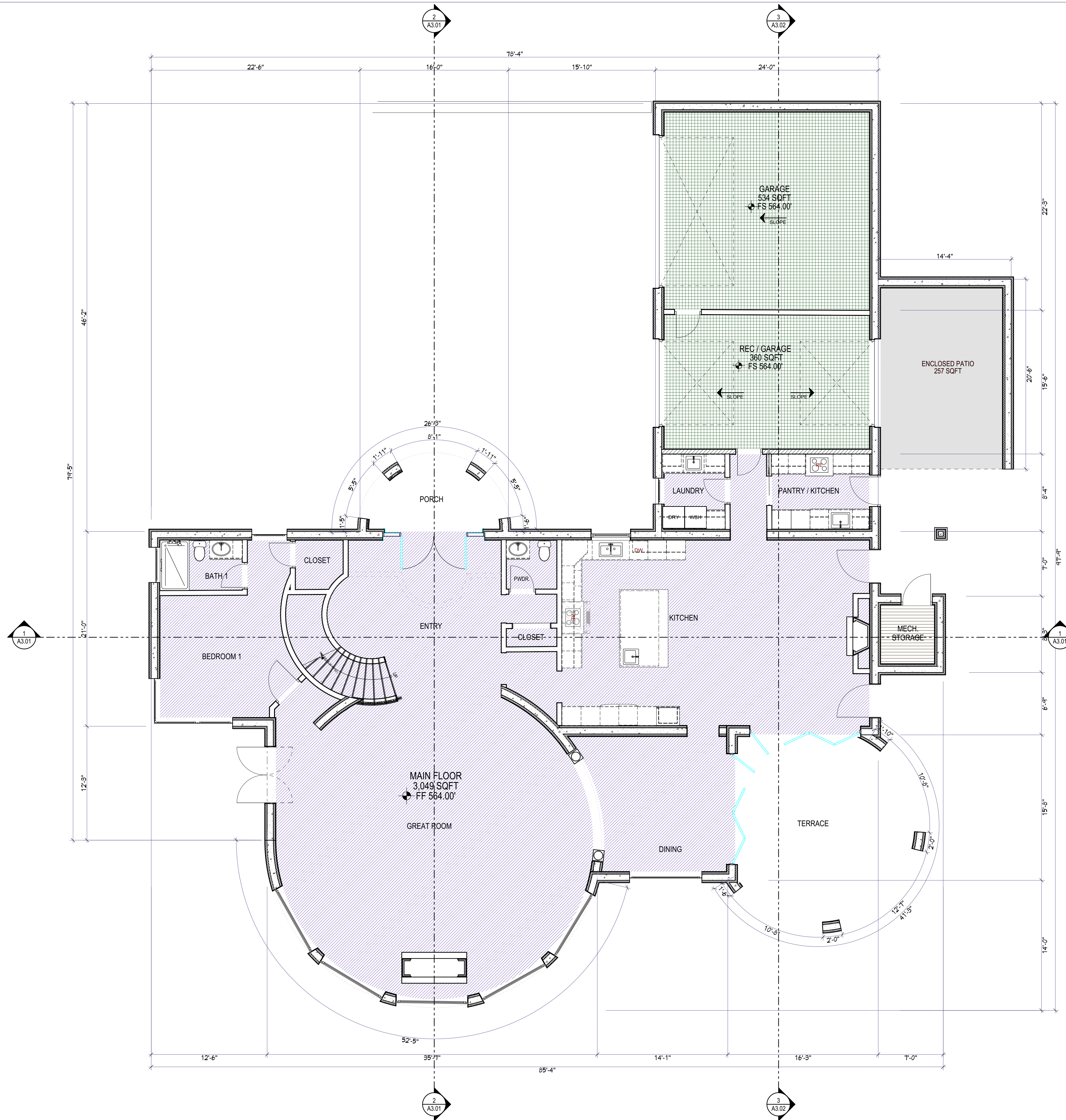
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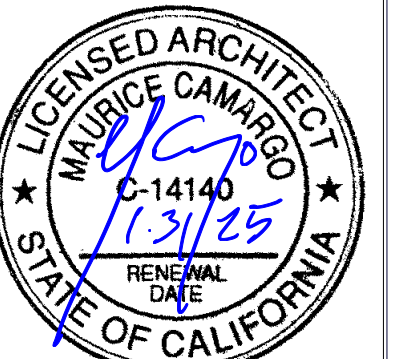
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SP ENLARGED SITE PLAN
 SCALE: 1" = 10'

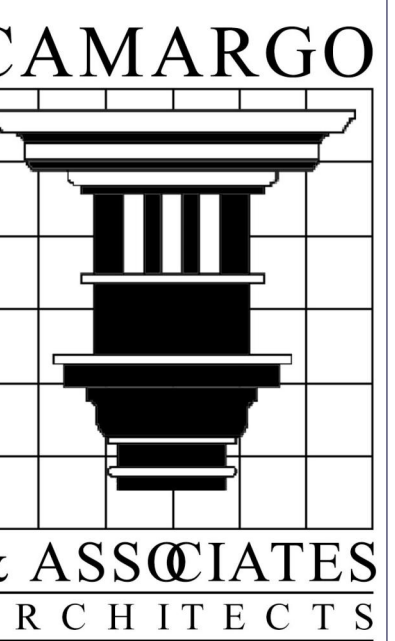


FLOOR AREA CALCULATIONS			
Zone Number	COVER FILL	ZONE NAME	AREA (SQFT)
01		FIRST FLOOR	3,053.93
02		SECOND FLOOR	2,223.22
04		GARAGE / REC.	894.81
05		MECH. STORAGE	57.60
TOTAL FLOOR AREA			6,229.56



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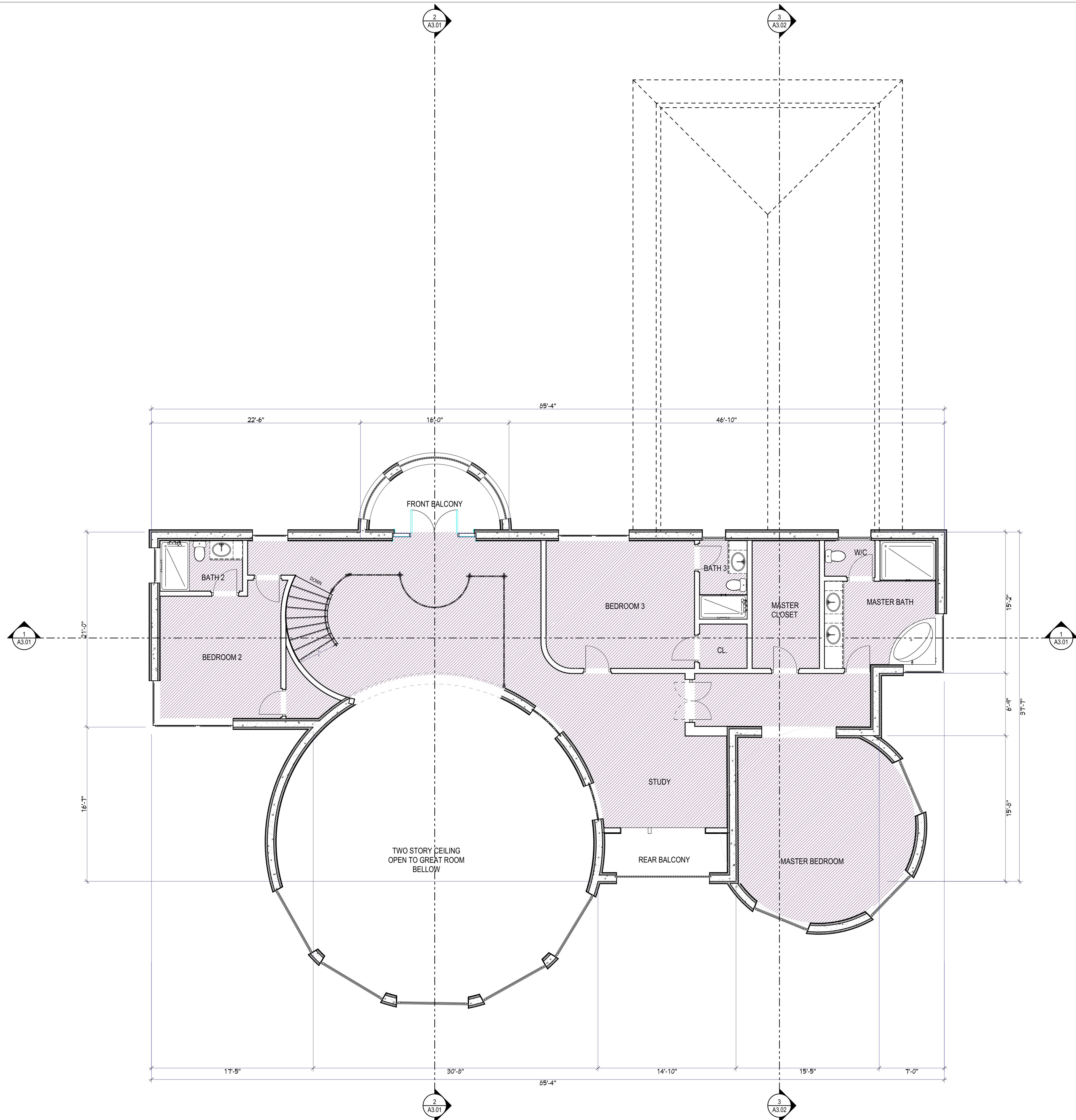


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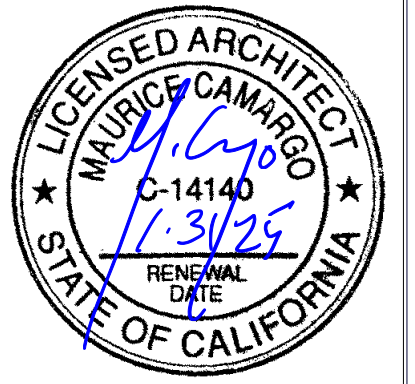
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MAIN FLOOR PLAN

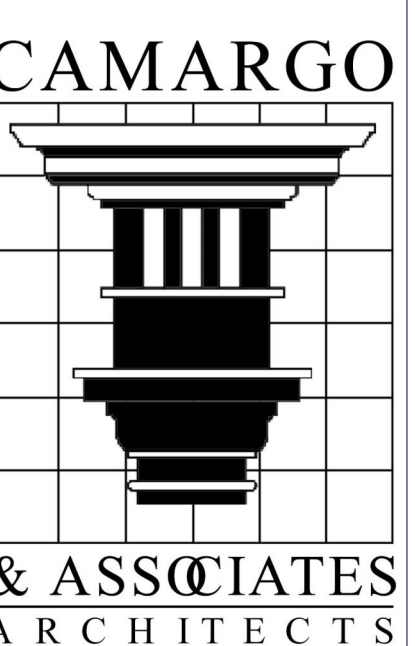


FLOOR AREA CALCULATIONS			
Zone Number	COVER FILL	ZONE NAME	AREA (SQFT)
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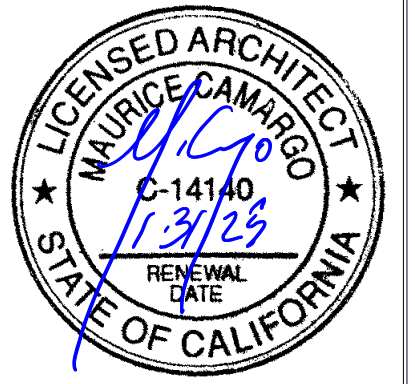
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SECOND FLOOR PLAN

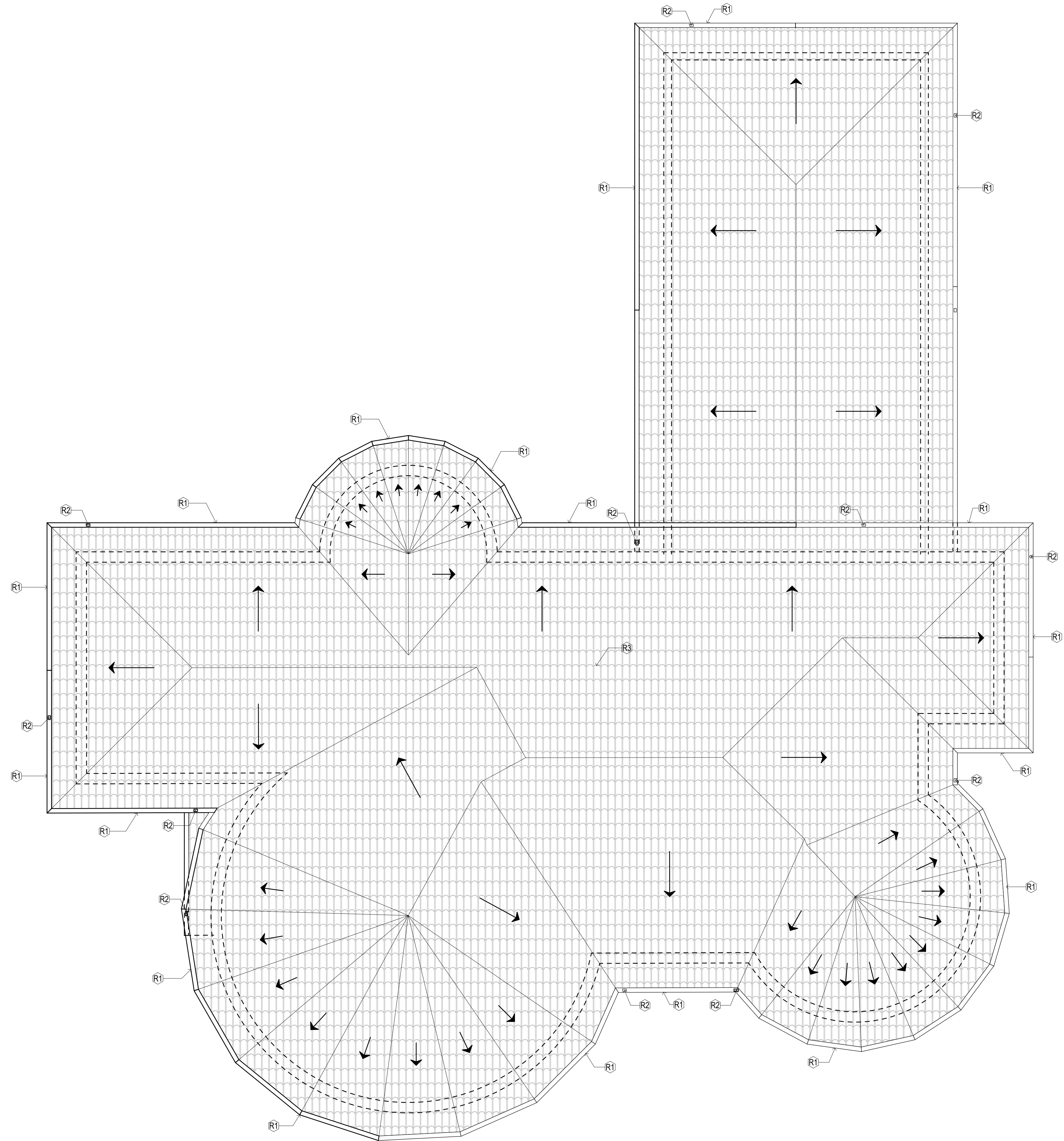
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ROOF PLAN KEY NOTE LEGEND

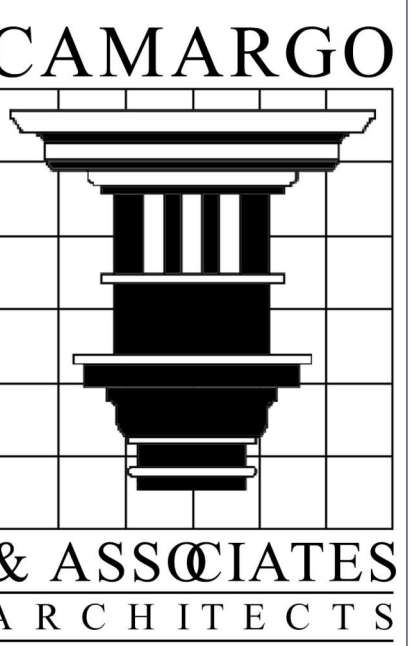
- R1 PAINTED METAL GUTTER: COLOR PER ARCHITECT.
- R2 FASTENED WITH HANGERS - MATERIAL AND FINISH TO MATCH GUTTERS.
- R3 3 PIECE CERAMIC TILE ROOF FINISH - INSTALL PER MANU. REC.



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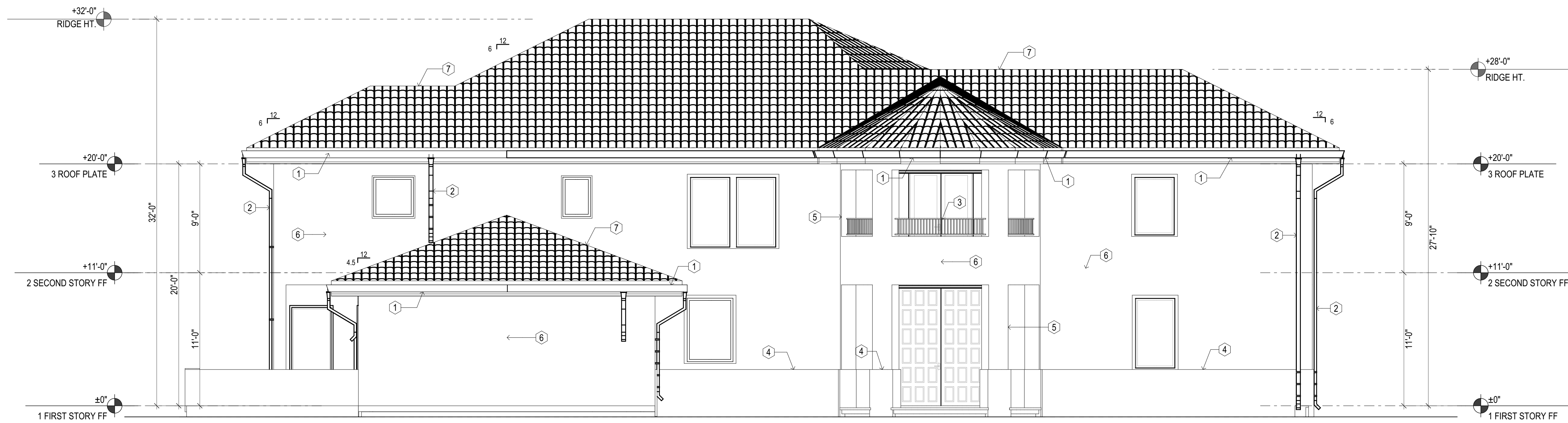


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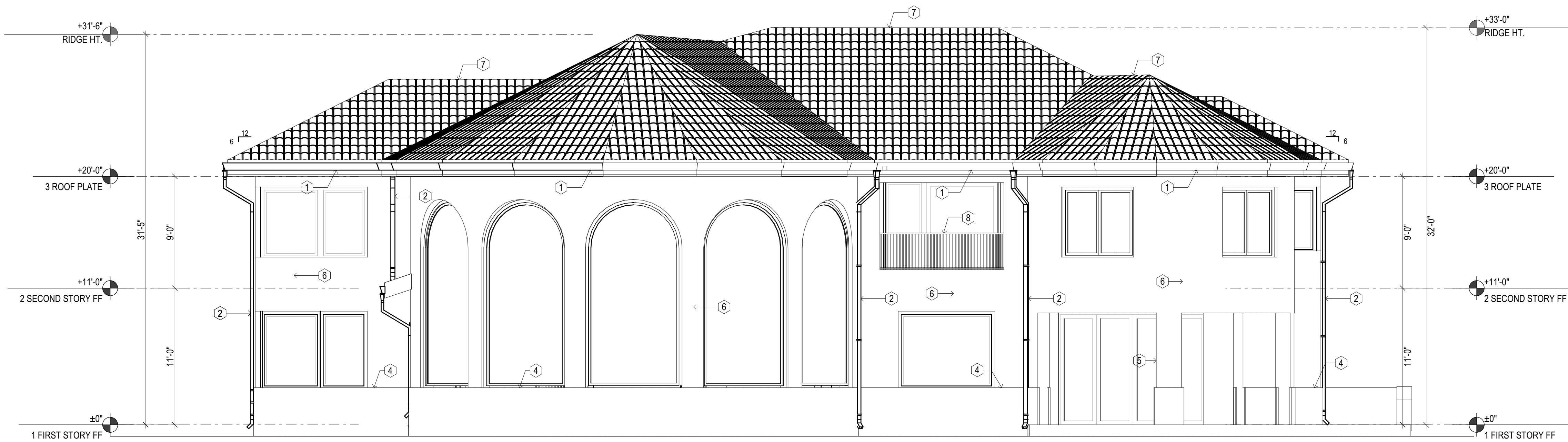
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A.02

ROOF PLAN

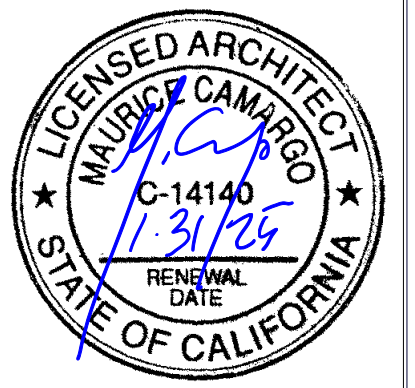


1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



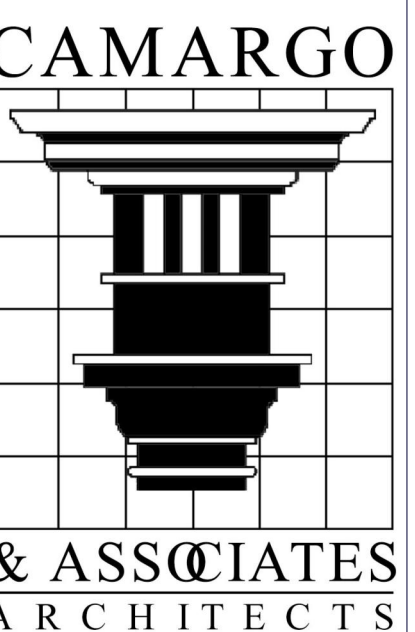
2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

ID ELEMENT	ELEVATION KEY NOTE LEGEND DESCRIPTION
1	GUTTER PAINTED METAL: COLOR PER ARCHITECT.
2	DOWNSPOUT PAINTED METAL: FASTENED WITH HANGERS - MATERIAL AND FINISH TO MATCH GUTTERS.
3	GUARDRAIL 18" BLACK WROUGHT-RAIL COLUMN MOUNTED ABOVE PARTIAL PARAPET WALL - FINISH PER ARCHITECT.
4	WAINSCOT LIQUID ACRYLIC INTAGRATED PLASTER WITH SMOOTH TROWELLED FINISH, COLOR & TEXTURE PER ARCHITECT.
5	COLUMN LIQUID ACRYLIC WITH SMOOTH THOWELLED FINISH WRAPPED AROUND OPENING. COLOR AND TEXTURE TO BE APPROVED BY ARCHITECT.
6	WALL LIQUID ACRYLIC INTAGRATED PLASTER WITH SMOOTH TROWELLED FINISH, COLOR & TEXTURE PER ARCHITECT.
7	ROOF CLAY TILE 3 PIECE WITH YELLOW, BROWN, GRAY, AND GOLD BLENDS. INSTALL PER MANUFACTURERS RECOMMENDATIONS
8	GUARDRAIL 42" BLACK WRHOUGHT-RAIL COLUMN MOUNTED - FINISH PER ARCHITECT.



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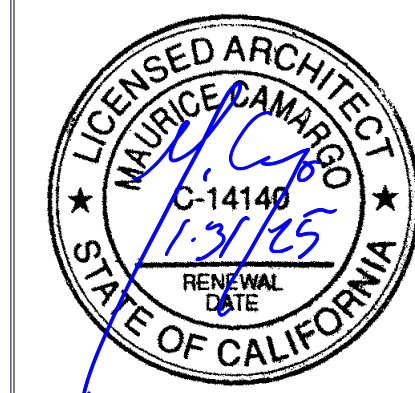
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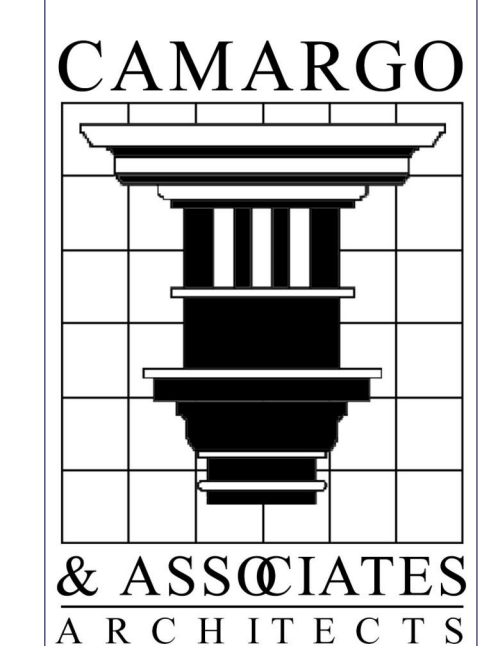
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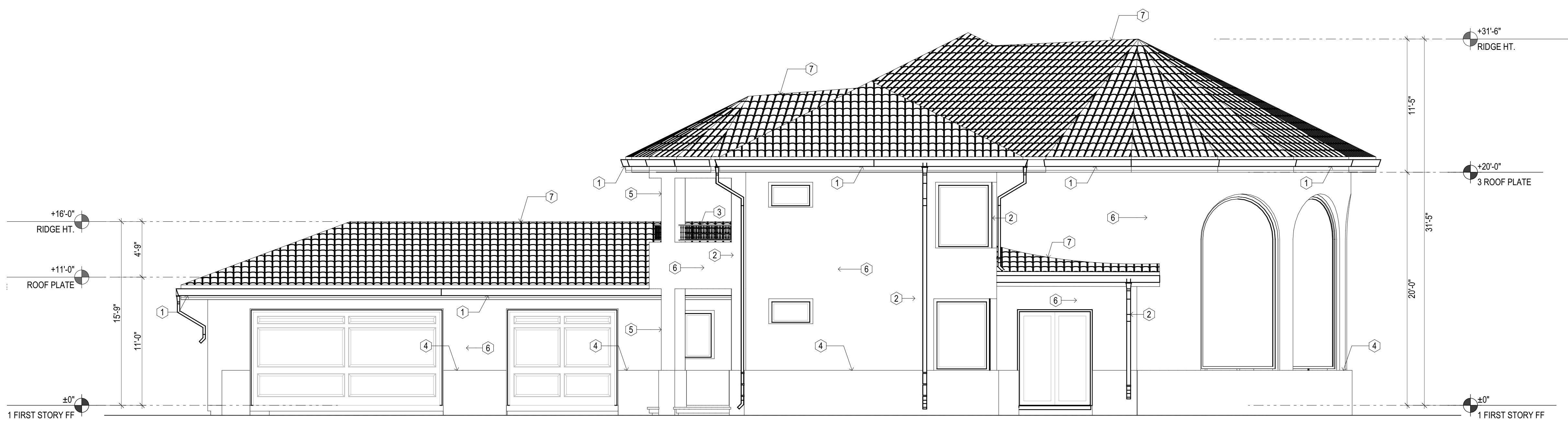
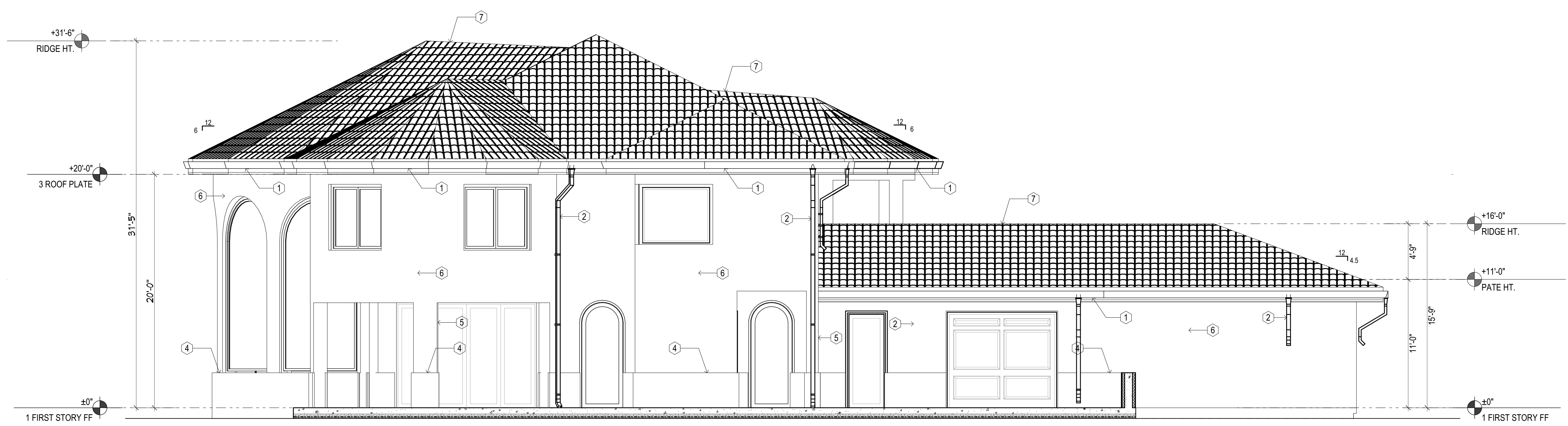


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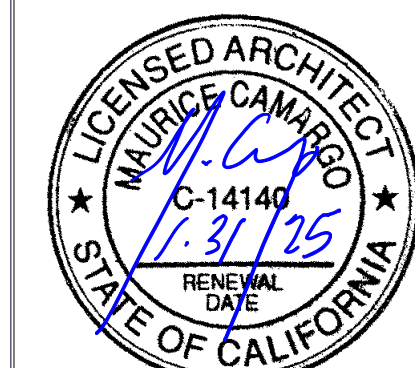
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ID ELEMENT	DESCRIPTION
1 GUTTER	PAINTED METAL: COLOR PER ARCHITECT.
2 DOWNSPOUT	PAINTED METAL: FASTENED WITH HANGERS - MATERIAL AND FINISH TO MATCH GUTTERS.
3 GUARDRAIL	18" BLACK WROUGHT-RAIL COLUMN MOUNTED ABOVE PARTIAL PARAPET WALL - FINISH PER ARCHITECT.
4 WAINSCOT	LIQUID ACRYLIC INTAGRATED PLASTER WITH SMOOTH TROWELLED FINISH, COLOR & TEXTURE PER ARCHITECT.
5 COLUMN	LIQUID ACRYLIC WITH SMOOTH TROWELLED FINISH WRAPPED AROUND OPENING. COLOR AND TEXTURE TO BE APPROVED BY ARCHITECT.
6 WALL	LIQUID ACRYLIC INTAGRATED PLASTER WITH SMOOTH TROWELLED FINISH, COLOR & TEXTURE PER ARCHITECT.
7 ROOF	CLAY TILE 3 PIECE WITH YELLOW, BROWN, GRAY, AND GOLD BLENDS . INSTALL PER MANUFACTURERS RECOMMENDATIONS
8 GUARDRAIL	42" BLACK WRHOUGHT-RAIL COLUMN MOUNTED - FINISH PER ARCHITECT.

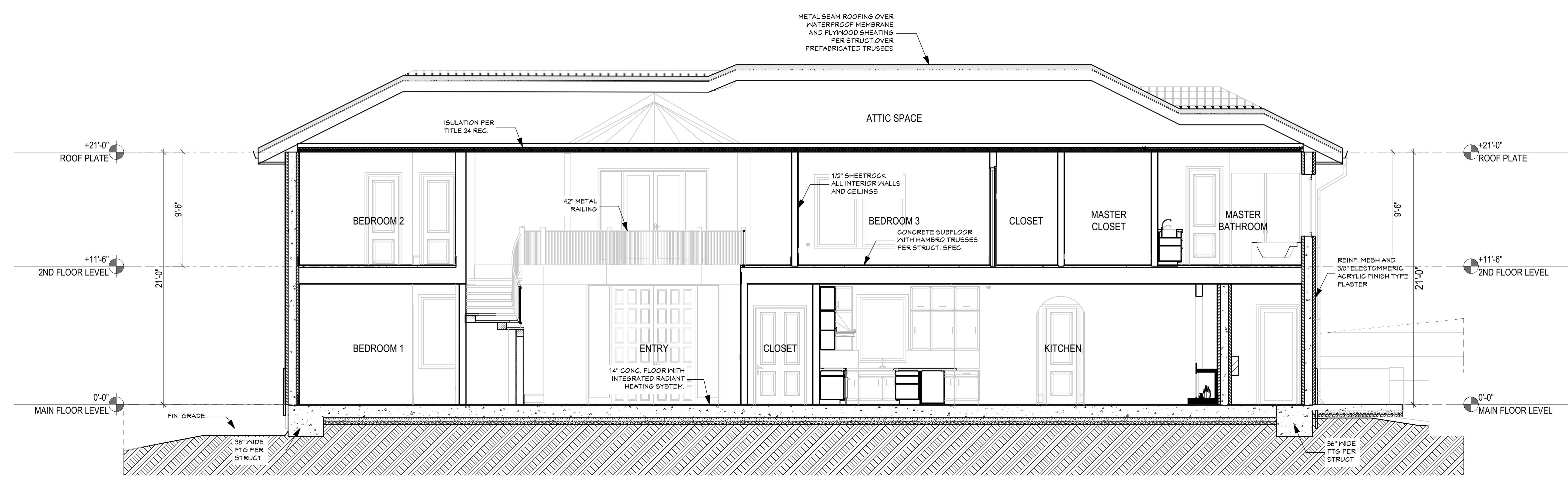


4 WEST ELEVATION
 SCALE: 3/16" = 1'-0"

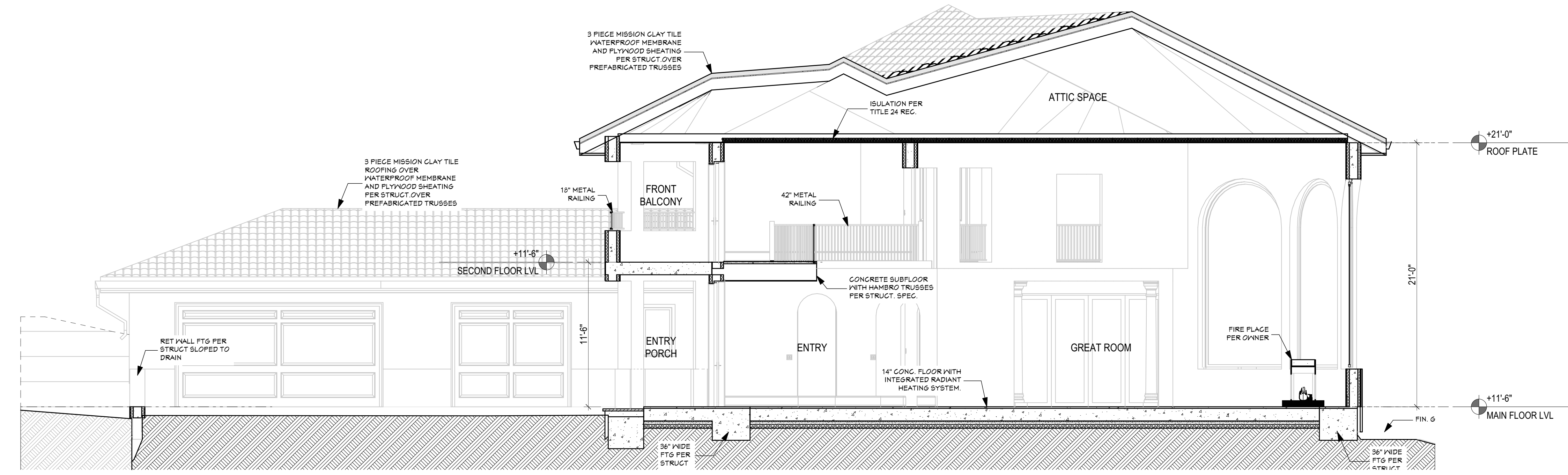


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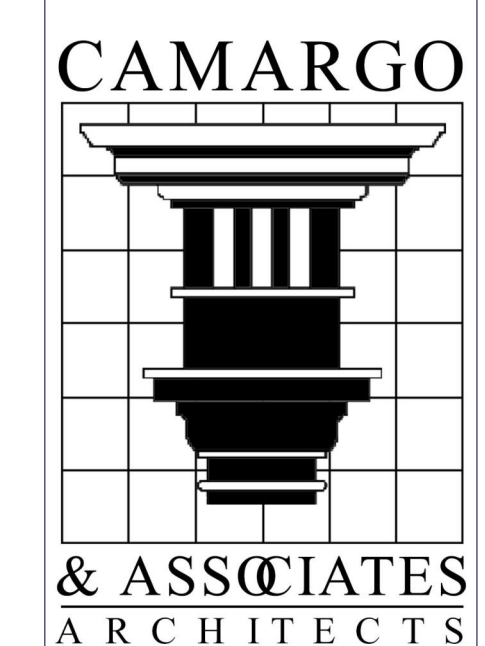
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1 BUILDING SECTION A
 SCALE: 3/16" = 1'-0"



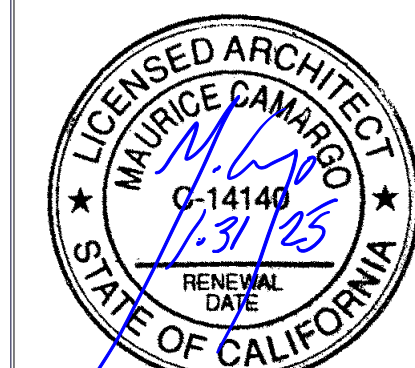
2 BUILDING SECTION B
 SCALE: 3/16" = 1'-0"



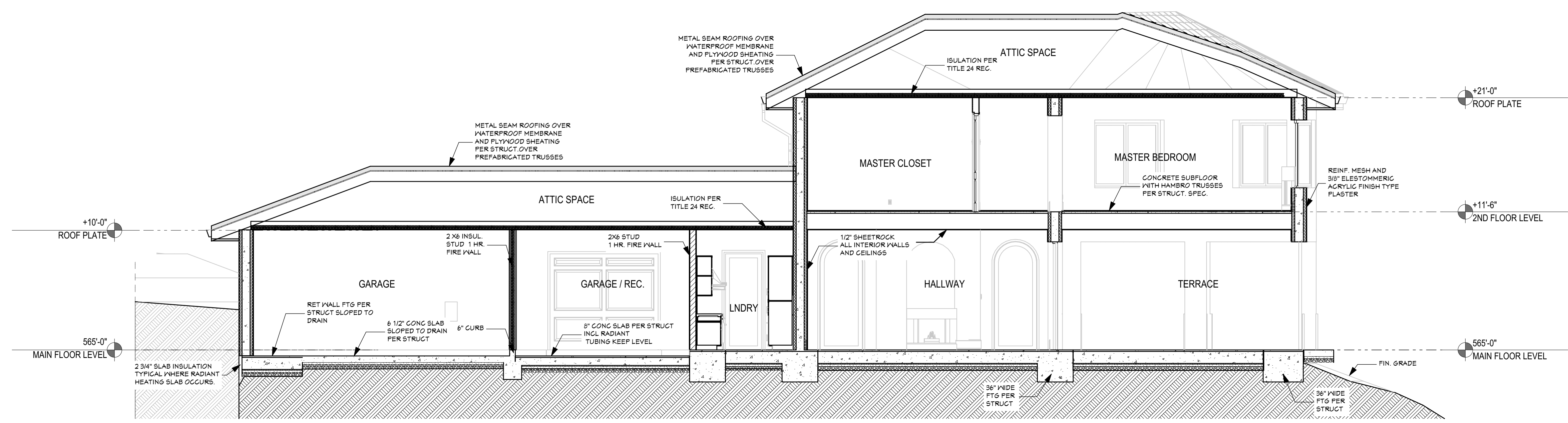
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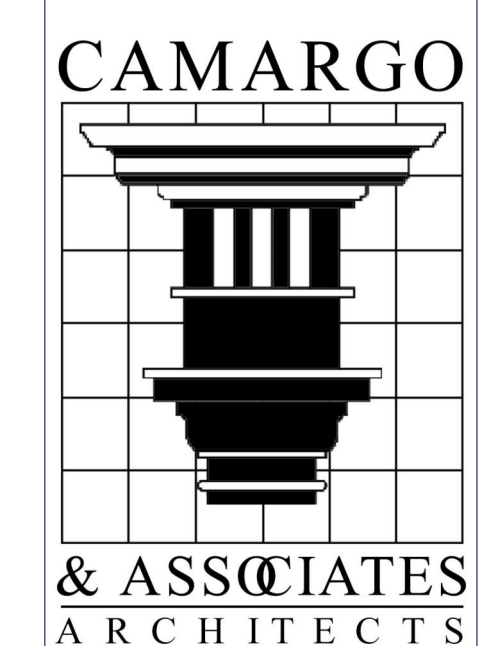


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3 BUILDING SECTION C
SCALE: 3/16" = 1'-0"

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COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- 1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT ONCE RECEIVED. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS...

GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL...

Table with 4 columns: LOCATION, CUT (C.Y.), FILL (C.Y.), VERT. DEPTH. Rows include RESIDENCE, ACCESSORY STRUCTURE, POOL/HARDSCAPE, LANDSCAPE, DRIVEWAY, OFF SITE IMPROVEMENTS, and TOTAL.

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE Hauled TO A COUNTY APPROVED DUMP SITE. 7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD...

CONSTRUCTION STAKING

- 1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB...

CONSTRUCTION INSPECTION

- 1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION...

SITE PREPARATION (CLEARING AND GRUBBING)

- 1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS: A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS...

UTILITY LOCATION, TRENCHING & BACKFILL

- 1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTOR'S RESPONSIBILITY...

RETAINING WALLS

- 1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. 2. COVER ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD. 3. PAVE AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES...

STORM DRAINAGE AND STORMWATER MANAGEMENT

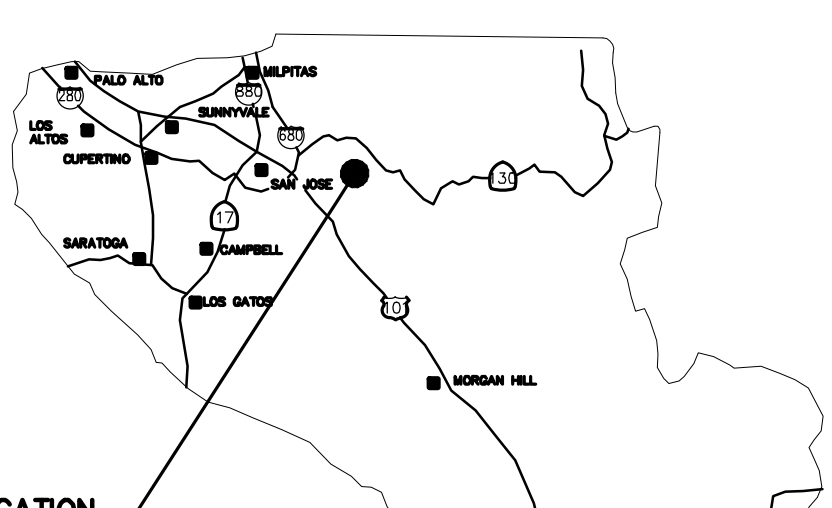
- 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER PLANS OR NOT. THE DEVELOPER OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY...

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE () WERE () WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (), THERE () WERE () WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL ().

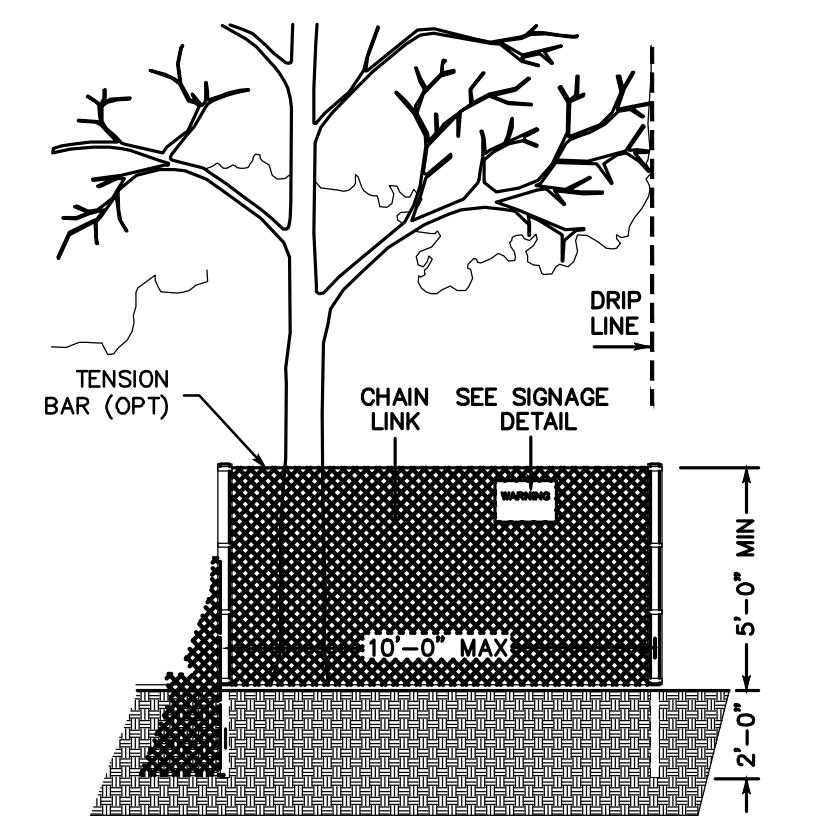
GEOTECHNICAL ENGINEER OBSERVATION

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES. 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY...



EXISTING TREE PROTECTION DETAILS

- 1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION...

SHEET INDEX

Table with 2 columns: Code and Description. Rows include C-1.0 TITLE SHEET, C-1.1 OVERALL SITE PLAN, C-2.0 GRADING AND DRAINAGE PLAN, C-3.0 UTILITY PLAN, C-4.0 DETAILS, C-4.1 DETAILS, C-5.0 GRADING SPECIFICATIONS, ER-1 EROSION CONTROL PLAN, BMP-1 EROSION CONTROL DETAILS, BMP-2 EROSION CONTROL DETAILS.

LEA & BRAZE ENGINEERING, INC. CIVIL ENGINEERS • LAND SURVEYORS. BAY AREA REGION: 2495 INDUSTRIAL PKWY WEST, ROSEVILLE, CA 95661. SACRAMENTO REGION: 3017 DOUGLAS BLVD., # 300, ROSEVILLE, CA 95661.

Table with 3 columns: Revision, Date, and other details. Row 1: Revision 1, Date, APN 654-25-011, Sheet 1 of 10.

APPLICANT: ADDNAN ISLAM ROAD: PLEASANT KNOLL COUNTY FILE NO.: XXXXXXXX



COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS ISSUED BY: _____ DATE: _____ ENCROACHMENT PERMIT NO. _____

COUNTY OF SANTA CLARA LAND DEVELOPMENT ENGINEERING & SURVEYING GRADING / DRAINAGE PERMIT NO. _____ ISSUED BY: _____ DATE: _____

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS PERTAINING THERETO FILE(S) NO. PLN21-218

DATE _____ SIGNATURE _____

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE OR ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE _____ NAME _____ R.C.E. NO. _____ EXPIRATION DATE _____

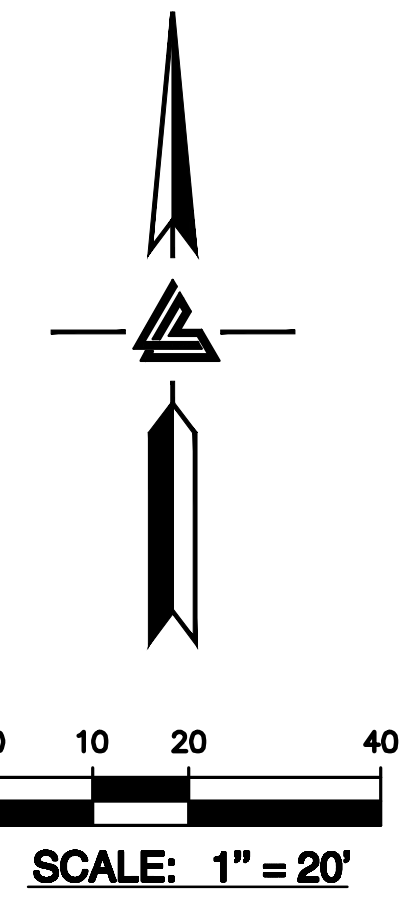


LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
 MAIN OFFICE: 10001 DUNN WAY WEST, DUBLIN, CA 94568
 SACRAMENTO OFFICE: 1410 HARVEY, SACRAMENTO, CA 95834
 SAN JOSE OFFICE: 2100 F STREET, SAN JOSE, CA 95128
 (510) 887-4086
 WWW.LEA-BRAZE.COM

**ISLAM RESIDENCE
 3655 PLEASANT KNOLL CT.
 SAN JOSE, CALIFORNIA**
 UNINCORPORATED SANTA CLARA COUNTY
 APN: 654-25-011

OVERALL SITE PLAN

REVISIONS	BY
JOB NO:	2221253
DATE:	08-07-23
SCALE:	1" = 20'
DESIGN BY:	ZA
CHECKED BY:	JH
SHEET NO:	C-1.1
2 OF 10 SHEETS	



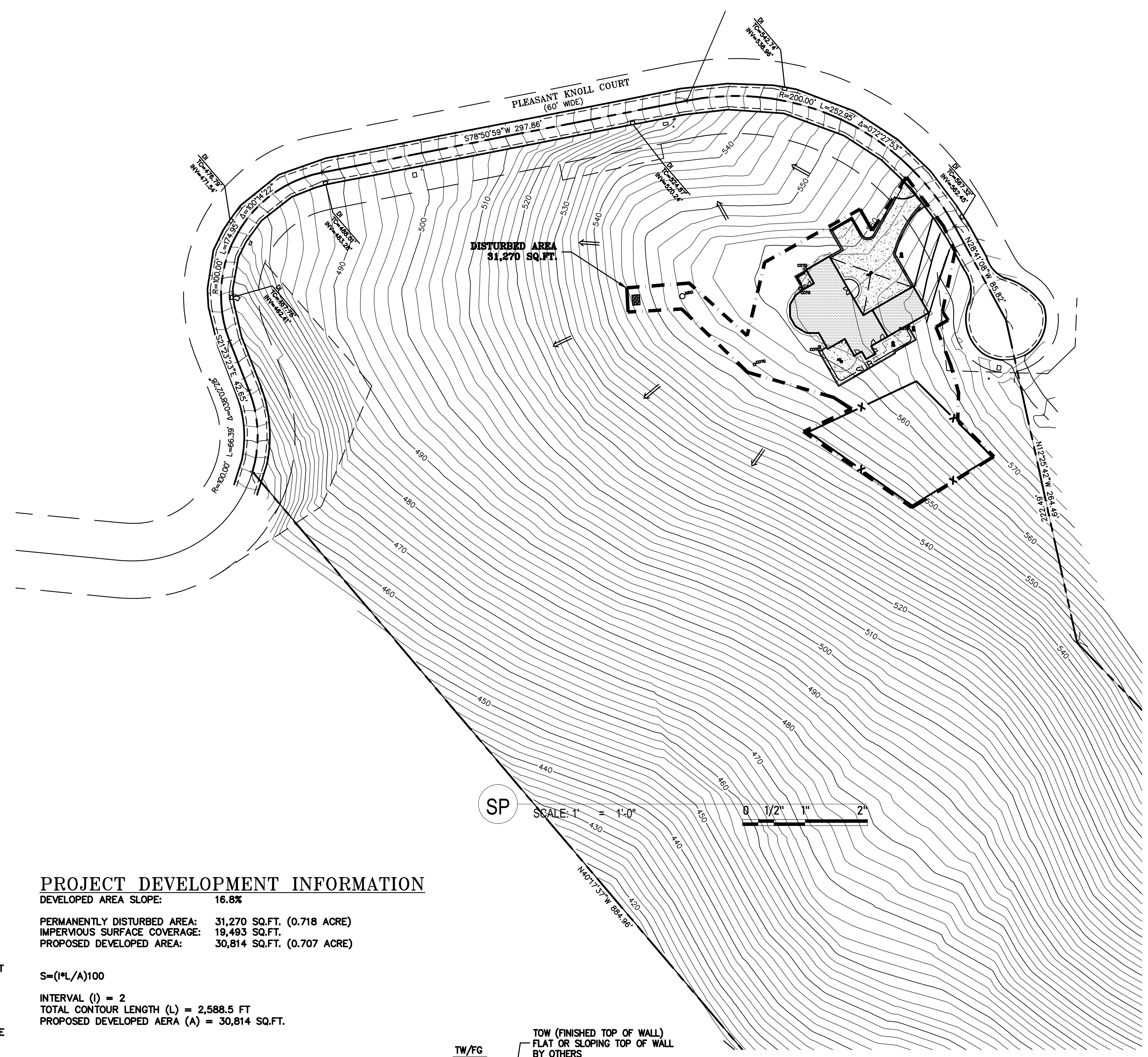
OWNER'S INFORMATION

OWNER: **ADDNAN ISLAM**
 3655 PLEASANT KNOLL COURT
 SAN JOSE, CA 95148

APN: 654-25-011

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
1. TOPOGRAPHIC SURVEY BY XXXXXXXXXXXX, INC., ENTITLED: "TOPOGRAPHIC SURVEY" 3655 PLEASANT KNOLL COURT SAN JOSE, CA 95148
 2. SITE PLAN BY CAMARGO & ASSOCIATES ARCHITECTS ENTITLED: "SITE PLAN" 3655 PLEASANT KNOLL COURT SAN JOSE, CA 95148
- THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.



PROJECT DEVELOPMENT INFORMATION

DEVELOPED AREA SLOPE: **16.8%**

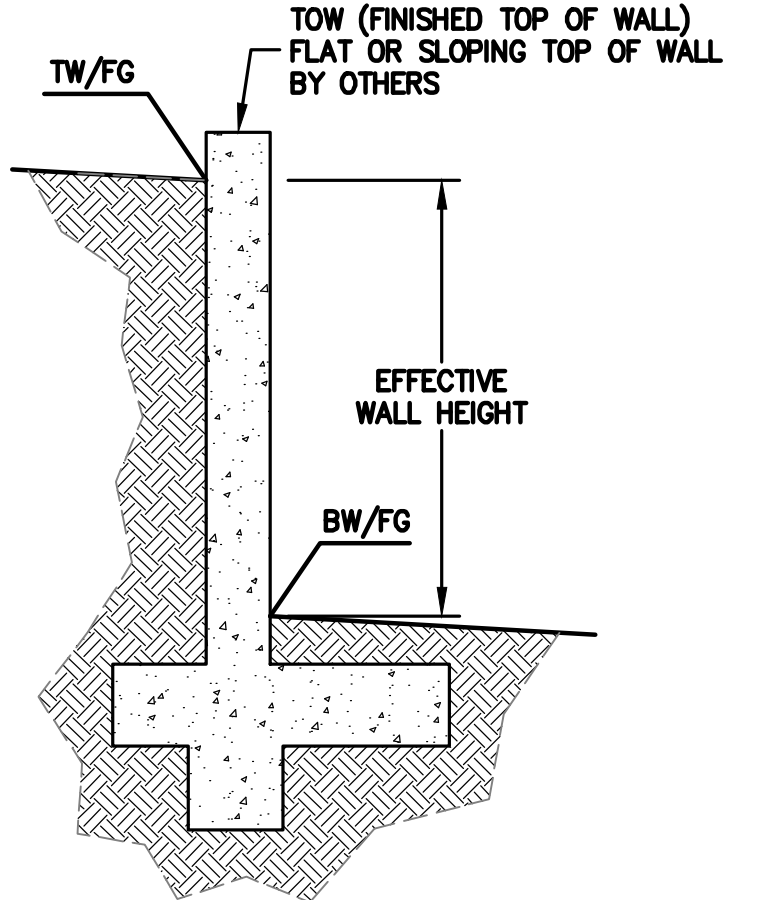
PERMANENTLY DISTURBED AREA: **31,270 SQ.FT. (0.718 ACRE)**
 IMPERVIOUS SURFACE COVERAGE: **19,493 SQ.FT.**
 PROPOSED DEVELOPED AREA: **30,814 SQ.FT. (0.707 ACRE)**

$S = (I \cdot L) / A$

INTERVAL (I) = 2
 TOTAL CONTOUR LENGTH (L) = 2,588.5 FT
 PROPOSED DEVELOPED AREA (A) = 30,814 SQ.FT.

RETAINING WALL NOTES

1. TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
2. DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
3. REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
4. REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
5. ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.
6. SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
7. PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



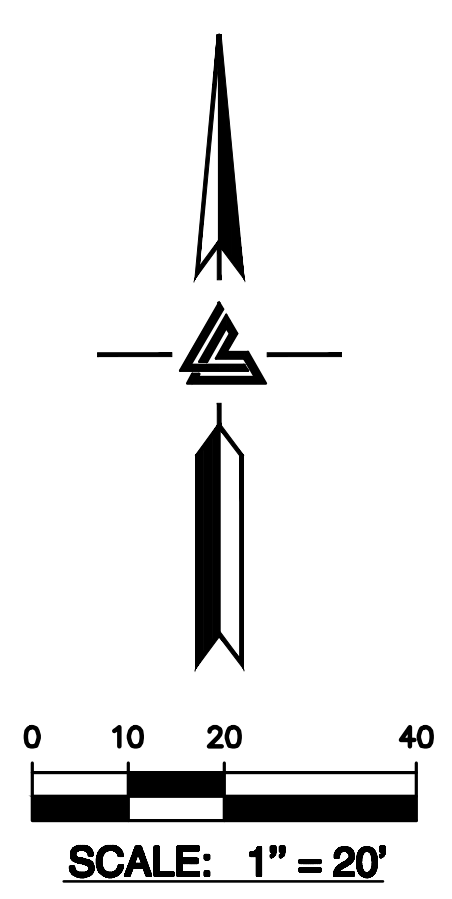
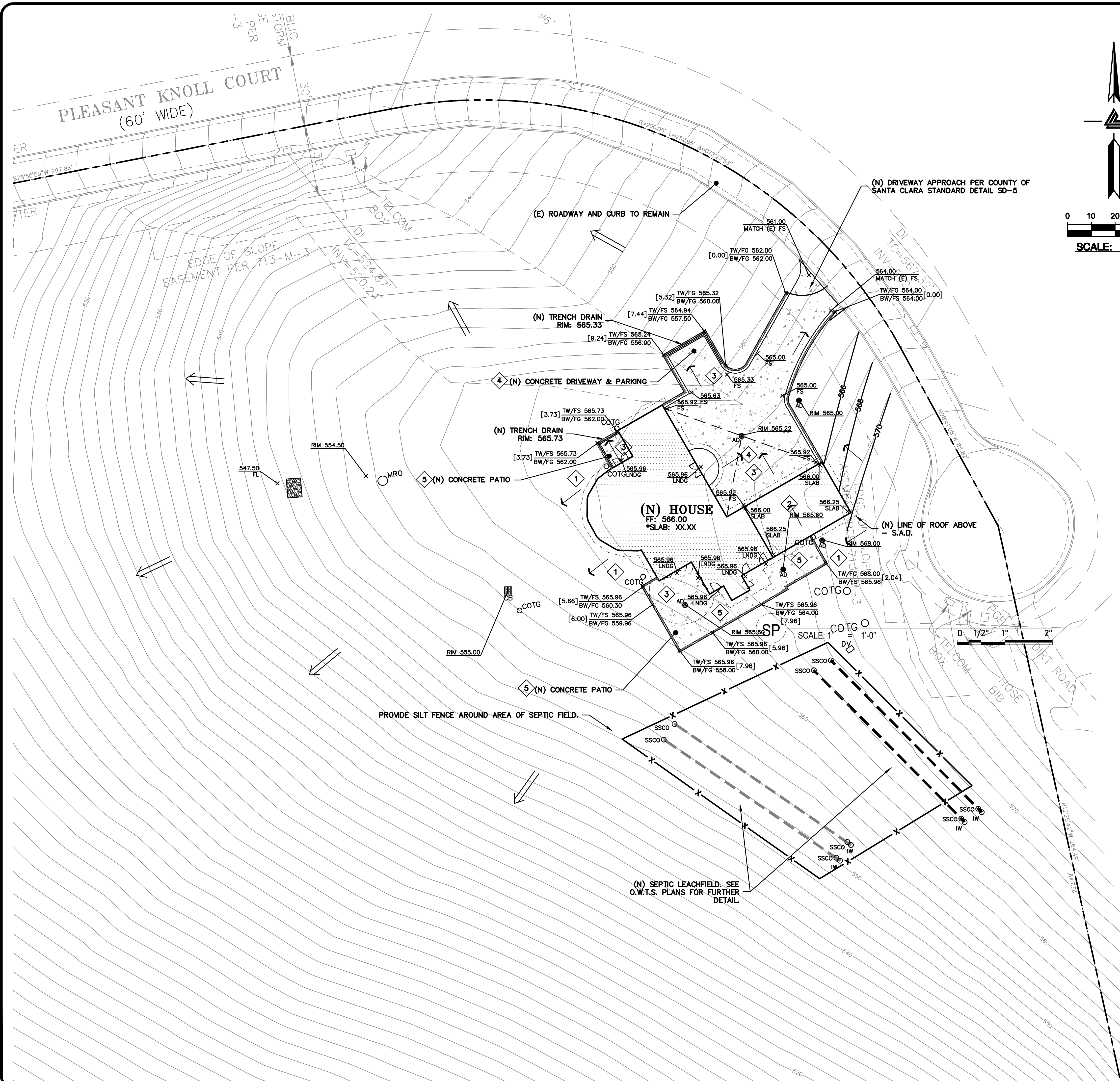
KEY MAP
 1" = 50'

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	RW	RAINWATER TIGHTLINE
---	SUB	SUBDRAIN LINE
---	TL	TIGHTLINE
SD	SD	STORM DRAIN LINE
SS	SS	SANITARY SEWER LINE
W	W	WATER LINE
G	G	GAS LINE
P	SDP	STORM DRAIN PRESSURE LINE
P	SSP	SANITARY SEWER PRESSURE LINE
JT	JT	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
CB	CB	CATCH BASIN
JB	JB	JUNCTION BOX
AD	AD	AREA DRAIN
SDMH	SDMH	STORM DRAIN MANHOLE
SSMH	SSMH	SANITARY SEWER MANHOLE
222.57 INV	222.57 INV	SPOT ELEVATION
←	←	FLOW DIRECTION
⊕	⊕	BENCHMARK
⊗	⊗	DEMOLISH/REMOVE
200	200	CONTOURS
⊕	⊕	TREE TO BE REMOVED
XX*	XX*	TREE PROTECTION FENCING
TP	TP	TREE TO BE REMOVED

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
CL	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PE	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	PL	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
(E)	EXISTING	SHT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS SPECIFICATION
FF	FINISHED FLOOR	SS	SANITARY SEWER
FG	FINISHED GRADE	SSCO	SANITARY SEWER CLEANOUT
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
FL	FLOW LINE	ST	STREET
FS	FINISHED SURFACE	STA	STATION
G	GAS	STD	STANDARD
GA	GAGE OR GAUGE	STRUCT	STRUCTURAL
GB	GRADE BREAK	T	TELEPHONE
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	TC	TOP OF CURB
HORIZ	HORIZONTAL	TOW	TOP OF WALL
HI PT	HIGH POINT	TEMP	TEMPORARY
H&T	HUB & TACK	TP	TOP OF PAVEMENT
ID	INSIDE DIAMETER	TW/FG	TOP OF WALL/FINISH GRADE
INV	INVERT ELEVATION	TYP	TYPICAL
JB	JUNCTION BOX	VC	VERTICAL CURVE
JT	JOINT TRENCH	VCP	VITRIFIED CLAY PIPE
JP	JOINT UTILITY POLE	VERT	VERTICAL
L	LENGTH	W/	WITH
LNDG	LANDING	W, WL	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC



- FLATWORK KEYNOTES 1 TO 5
- 1 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
- 2 SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP
- 3 PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
- 4 (N) CONCRETE DRIVEWAY. SEE DETAIL 1 ON SHEET C-4.0.
- 5 (N) CONCRETE PATIOS/WALKWAYS. SEE DETAIL 2 ON SHEET C-4.0.



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DUBLIN, CA 94568
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(510) 887-4086
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ISLAM RESIDENCE
3655 PLEASANT KNOLL CT.
SAN JOSE, CALIFORNIA
UNINCORPORATED SANTA CLARA COUNTY
APN: 654-25-011

**GRADING &
DRAINAGE PLAN**

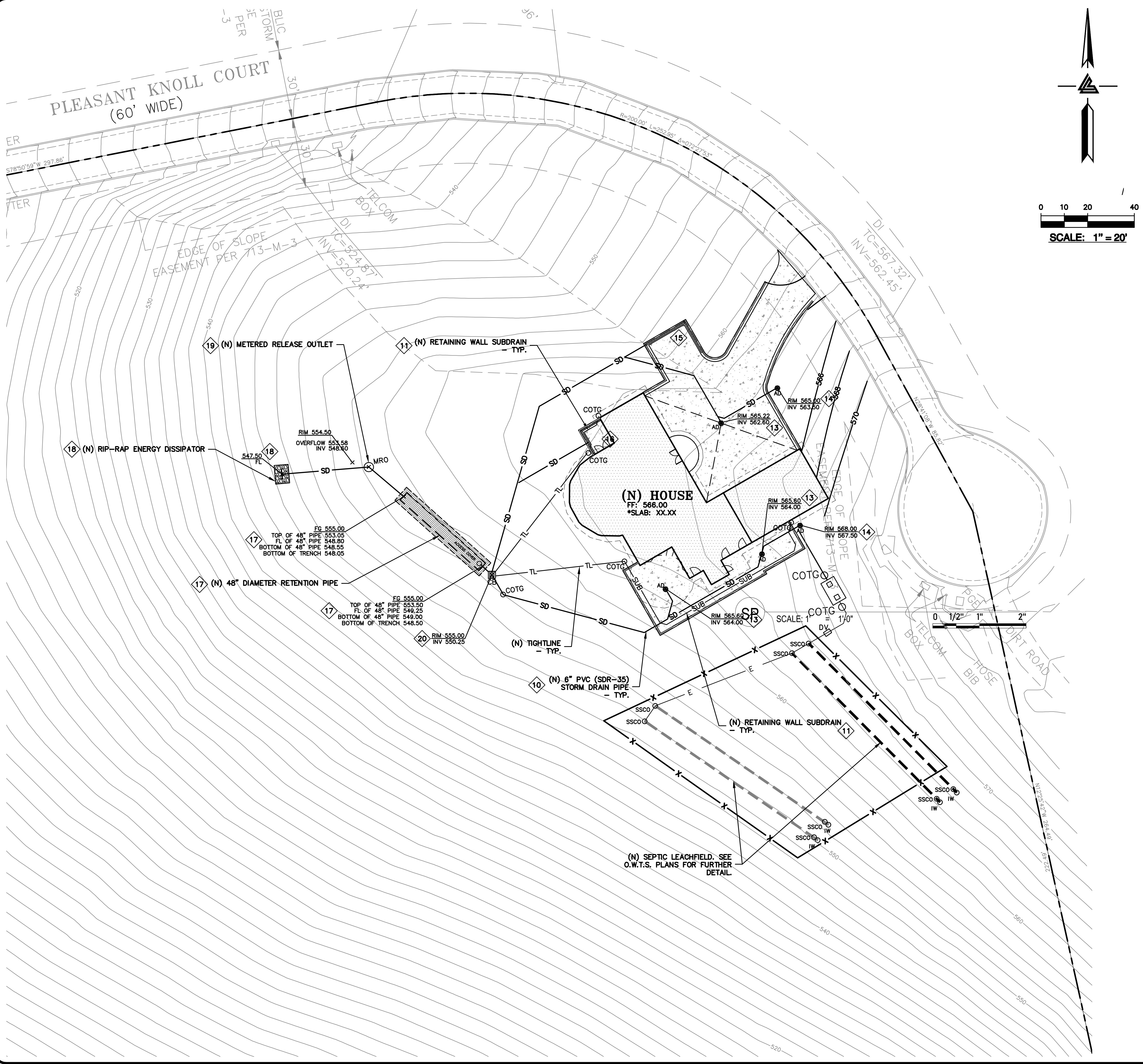
NO.	REVISIONS	BY

JOB NO: 2221253
DATE: 08-07-23
SCALE: AS NOTED
DESIGN BY: ZA
CHECKED BY: JH
SHEET NO:
C-2.0
3 OF 10 SHEETS

NOTE:
FOR CONSTRUCTION STAKING
SCHEDULING OR QUOTATIONS
PLEASE CONTACT ALEX ABAYA
AT LEA & BRAZE ENGINEERING
(510)887-4086 EXT 116.
aabaya@leabraze.com

* BUILDING PAD NOTE:
ADJUST PAD LEVEL AS
REQUIRED. REFER TO
STRUCTURAL PLANS
FOR SLAB SECTION OR
CRAWL SPACE DEPTH
TO ESTABLISH PAD
LEVEL.





- STORM DRAIN KEYNOTES 10 TO 20
- 10 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.
 - 11 INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN. SEE DETAIL 3 ON SHEET C-4.0.
 - 12 CONNECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE. SLOPED AT 1% MINIMUM. DIRECT TO NEAREST STORM DRAIN LINE AS SHOWN ON PLANS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBDRAIN LINES. HOWEVER, DO NOT CONNECT TO SUBDRAIN LINES. SEE DETAIL 4 ON SHEET C-4.0.
 - 13 INSTALL (N) 4" DIAMETER BRASS AREA DRAIN (AD) IN HARDSCAPE AREAS (NDS PART 906 PB). SEE DETAIL 5 ON C-4.0.
 - 14 INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE). SEE DETAIL 6 ON C-4.0.
 - 15 TRENCH DRAINS SHALL BE 6" NDS "DURA-SLOPE" PRESLOPED TRENCH DRAINS W/ TRAFFIC RATED GRATE OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE VIA 4" PVC TIGHTLINE.
 - 16 (N) SLOT DRAINS SHALL BE ZURN Z888-6 OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE. USE 6" PVC (SDR-35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS).
 - 17 INSTALL (N) RETENTION SYSTEM. SEE DETAIL 1 ON SHEET C-4.1.
 - 18 INSTALL (N) RIP-RAP ENERGY DISSIPATER. SEE DETAIL 3 ON SHEET C-4.1.
 - 19 INSTALL (N) METERED RELEASE OUTLET. SEE DETAIL 2 ON SHEET C-4.1.
 - 20 INSTALL (N) "CHRISTY V-12" CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL 7 ON SHEET C-4.0.

NOTE:
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

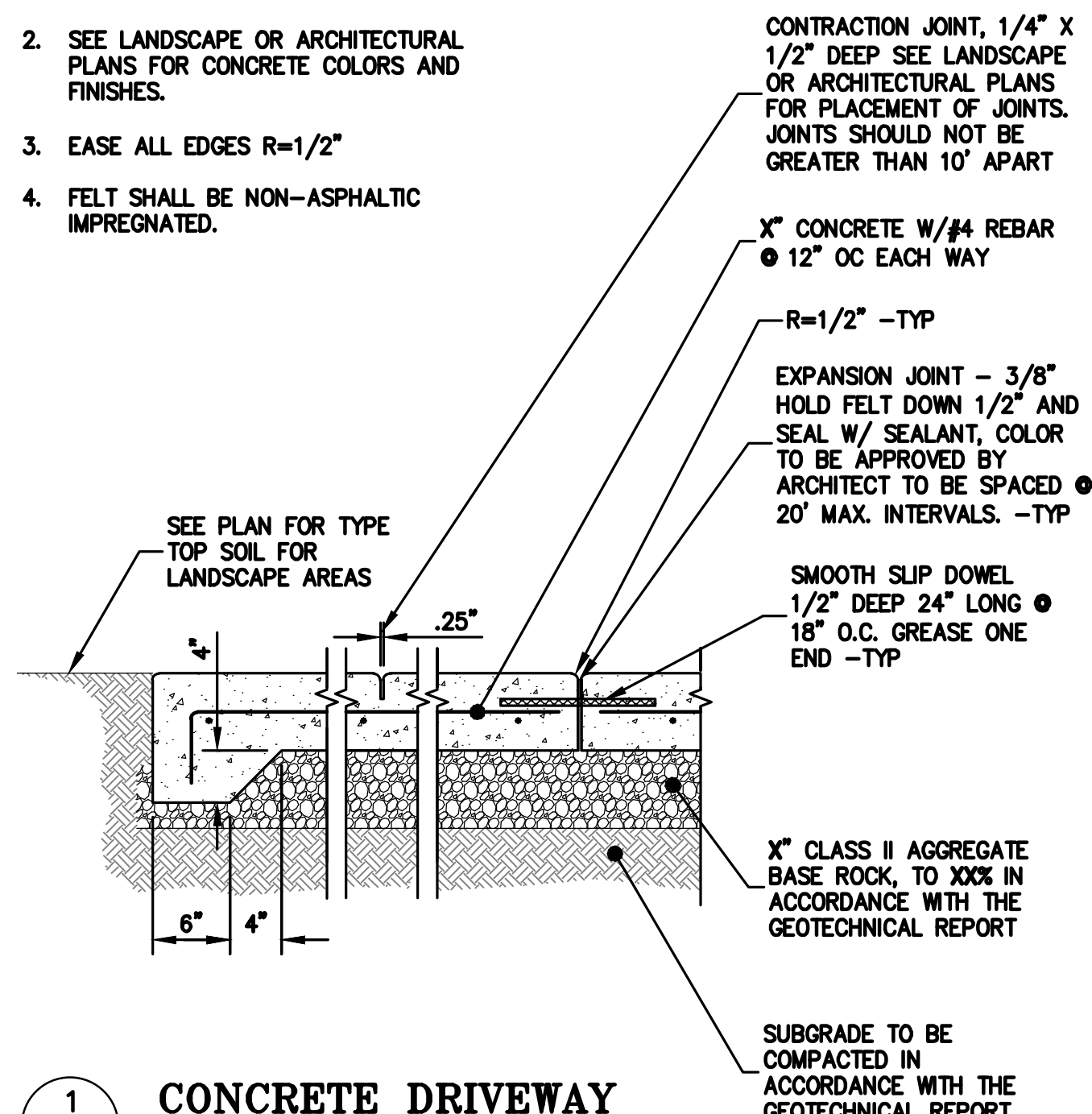
*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



REVISIONS	BY
JOB NO: 2221253	
DATE: 08-07-23	
SCALE: AS NOTED	
DESIGN BY: ZA	
CHECKED BY: JH	
SHEET NO: C-3.0	
4 OF 10 SHEETS	

NOTES:

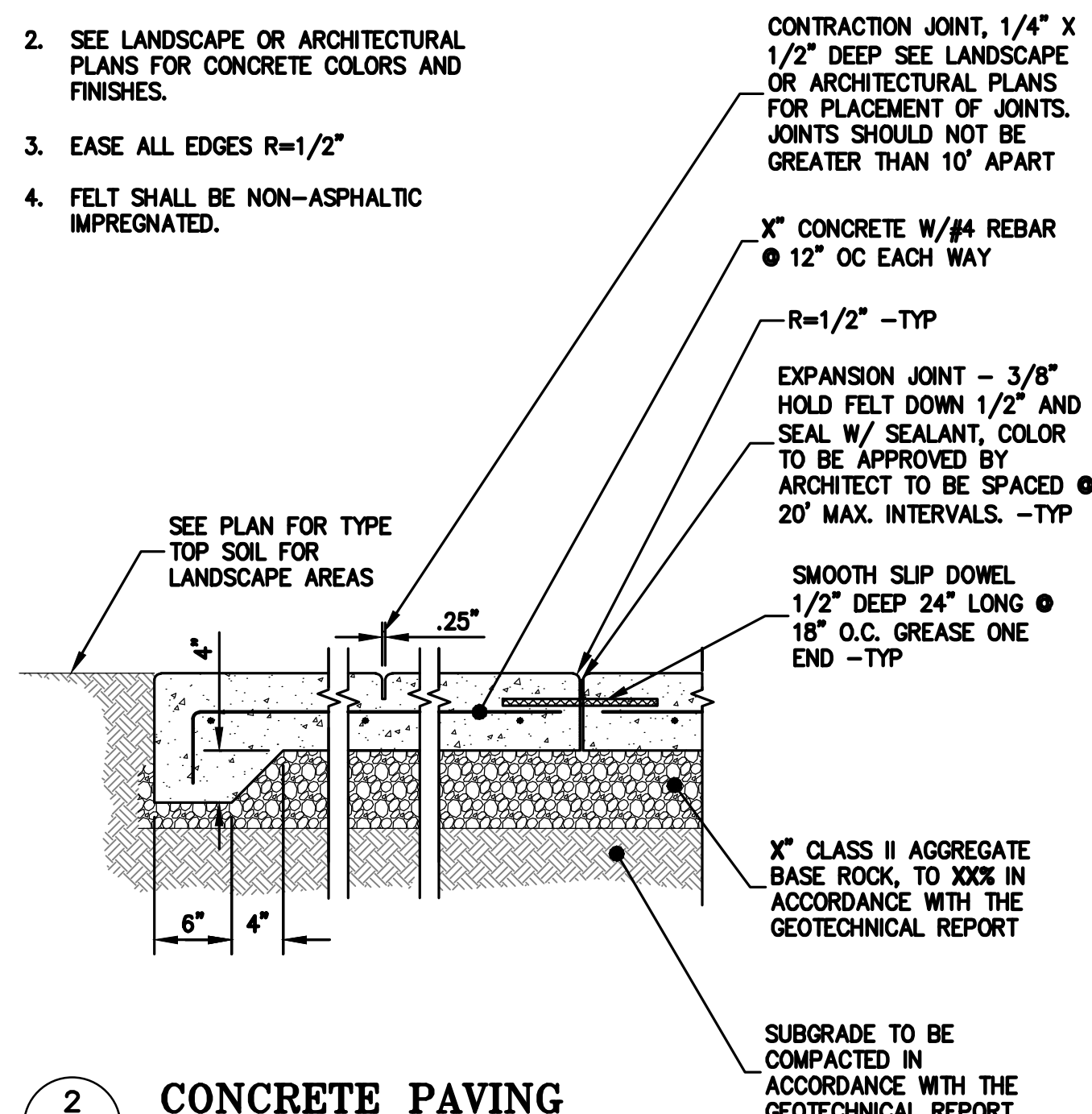
1. SLOPE ALL CONCRETE TO DRAIN 1% MIN.
2. SEE LANDSCAPE OR ARCHITECTURAL PLANS FOR CONCRETE COLORS AND FINISHES.
3. EASE ALL EDGES R=1/2"
4. FELT SHALL BE NON-ASPHALTIC IMPREGNATED.



1 CONCRETE DRIVEWAY
C-4.0 NTS

NOTES:

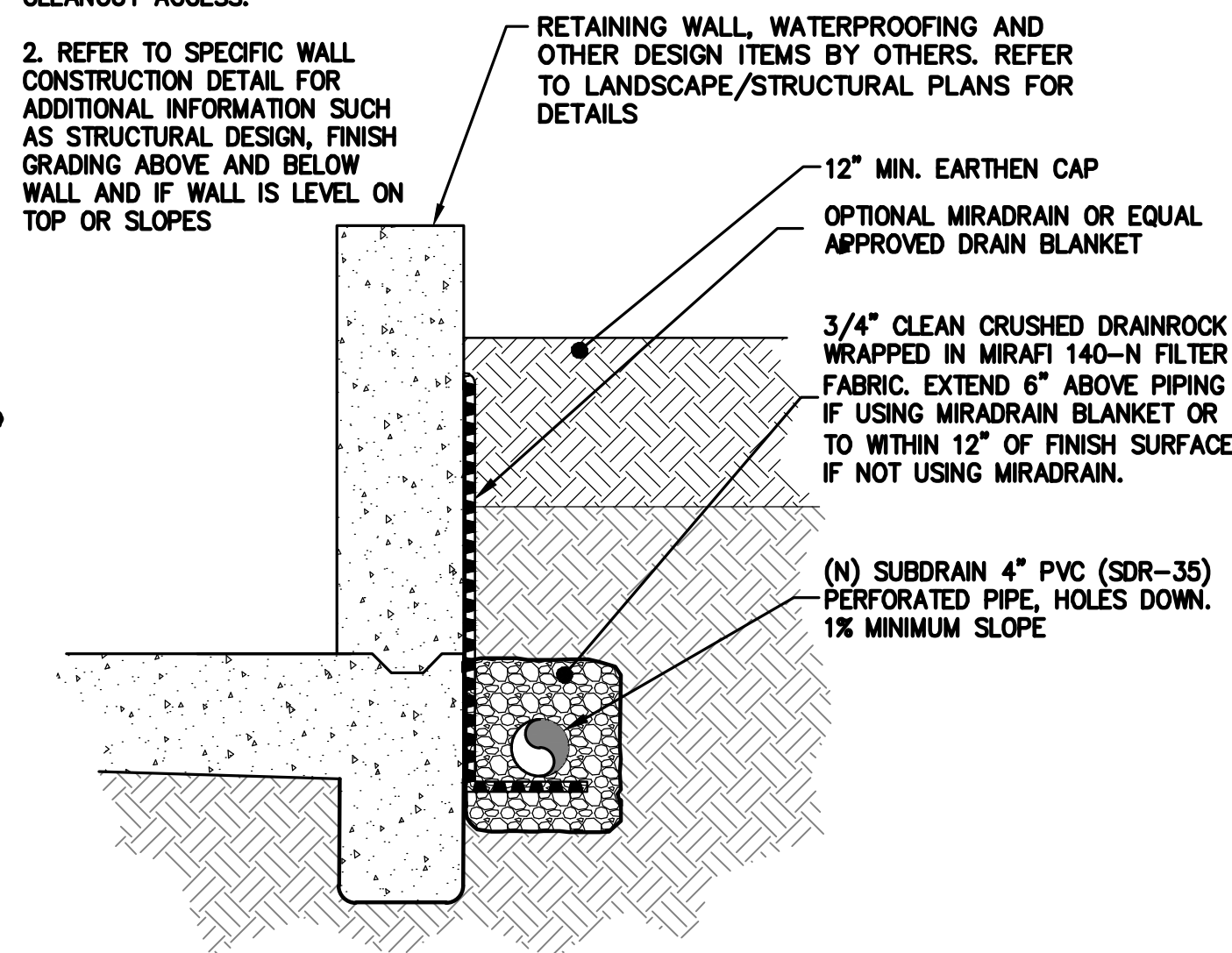
1. SLOPE ALL CONCRETE TO DRAIN 1% MIN.
2. SEE LANDSCAPE OR ARCHITECTURAL PLANS FOR CONCRETE COLORS AND FINISHES.
3. EASE ALL EDGES R=1/2"
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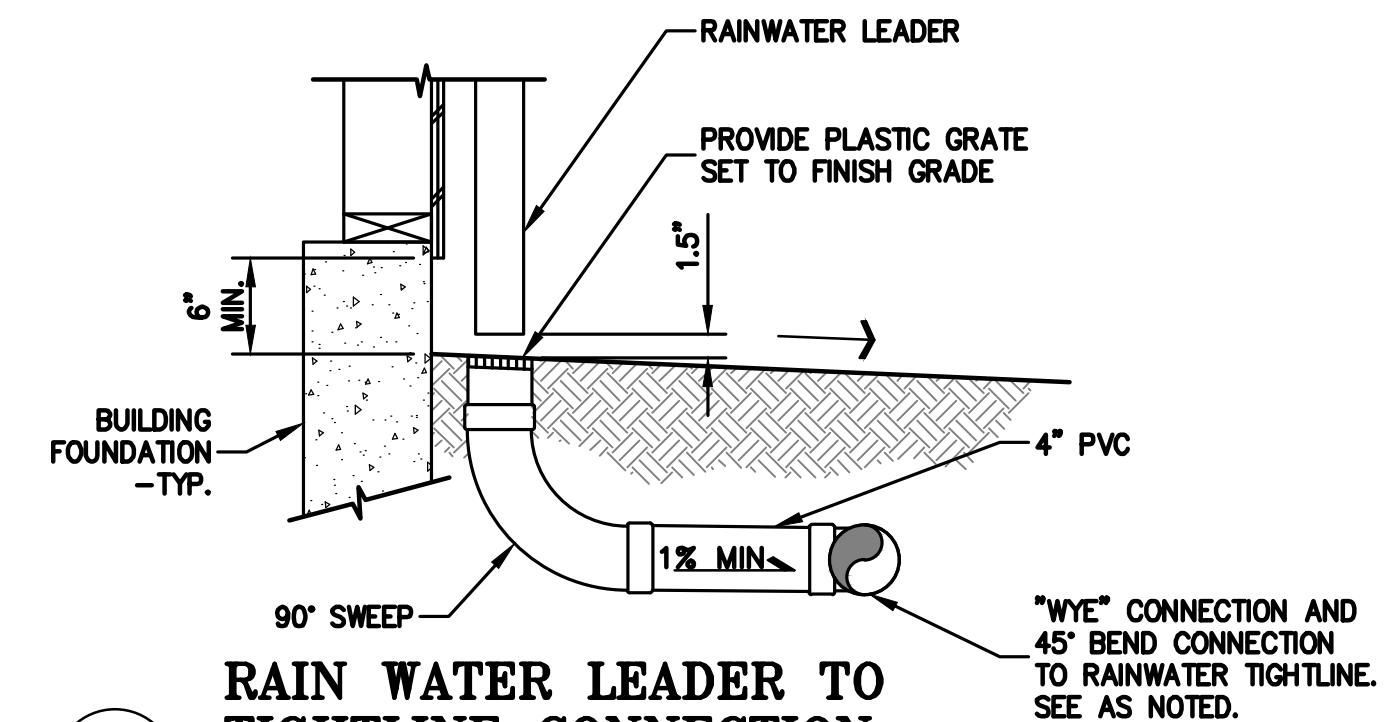
2 CONCRETE PAVING
C-4.0 NTS

NOTES:

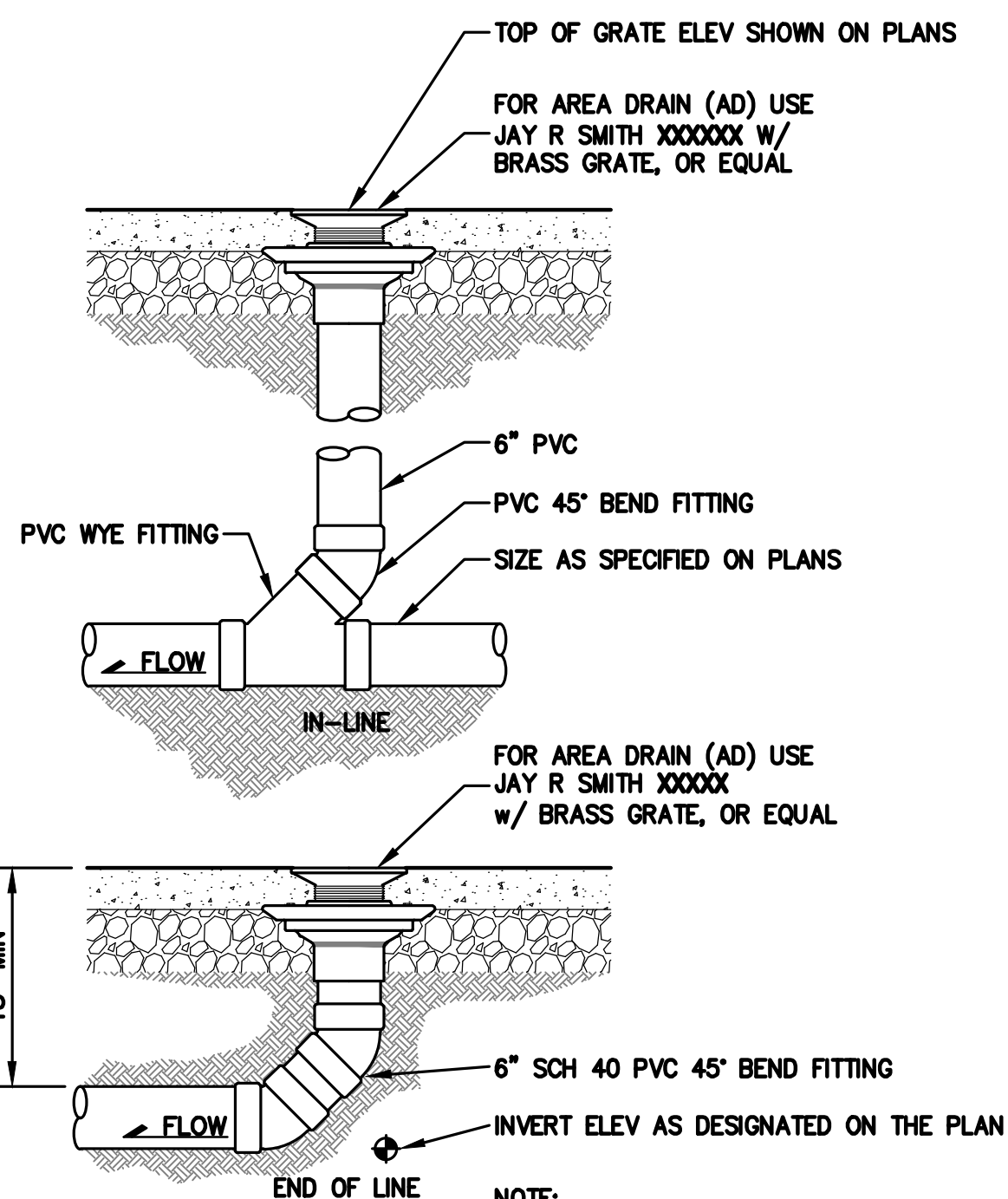
1. PROVIDE CLEANOUTS TO GRADE @ ALTERNATING BENDS OR EVERY 100 LF OF PIPE RUN. CONNECT TO SUBDRAIN VIA WYE CONNECTION. DO NOT USE 90° BENDS. USE 90° SWEEP OR TWO 45° BENDS TO ALLOW FOR EASY CLEANOUT ACCESS.
2. REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR ADDITIONAL INFORMATION SUCH AS STRUCTURAL DESIGN, FINISH GRADING ABOVE AND BELOW WALL AND IF WALL IS LEVEL ON TOP OR SLOPES



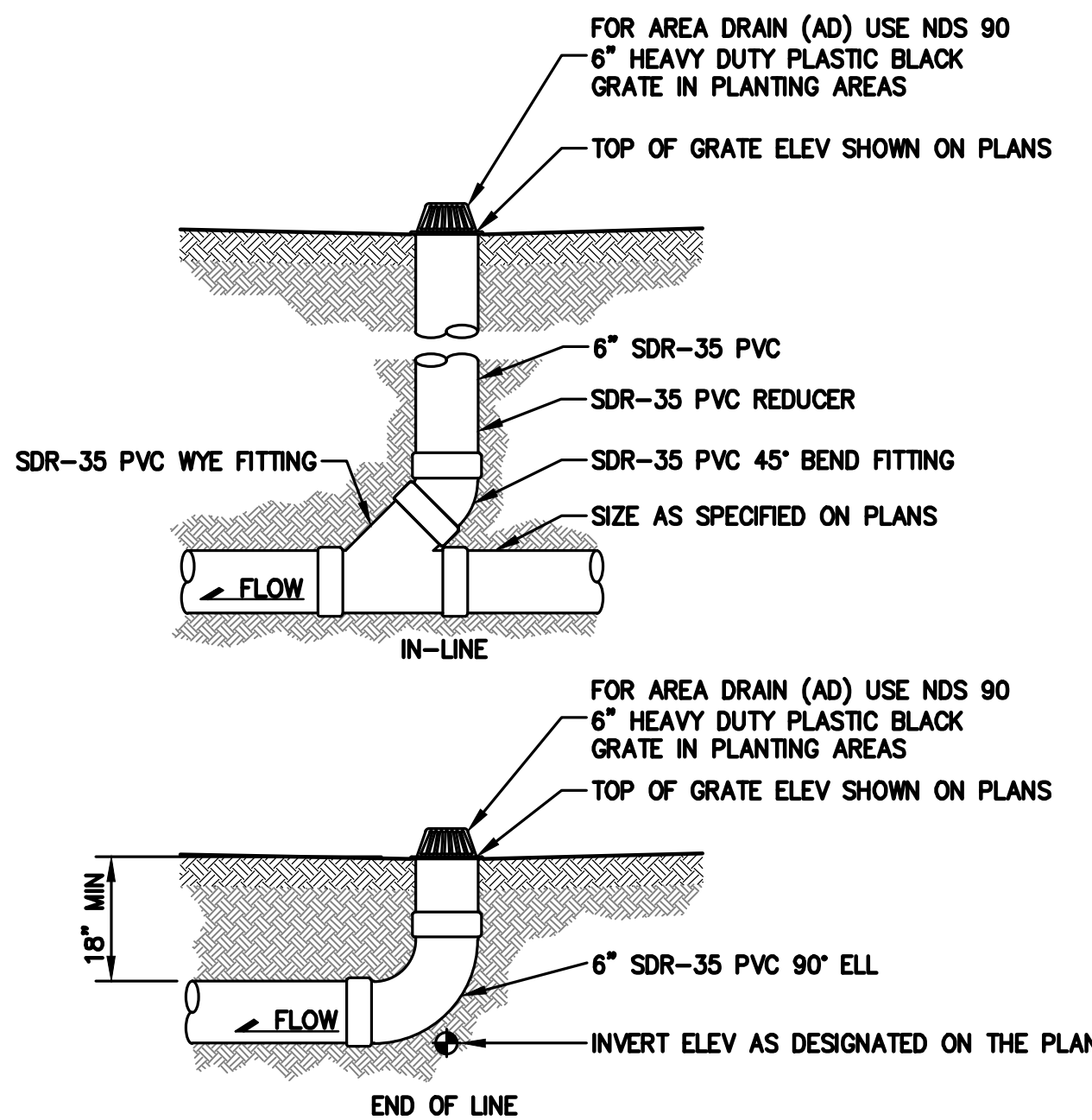
3 SITE RETAINING WALL SUBDRAIN
C-4.0 NTS



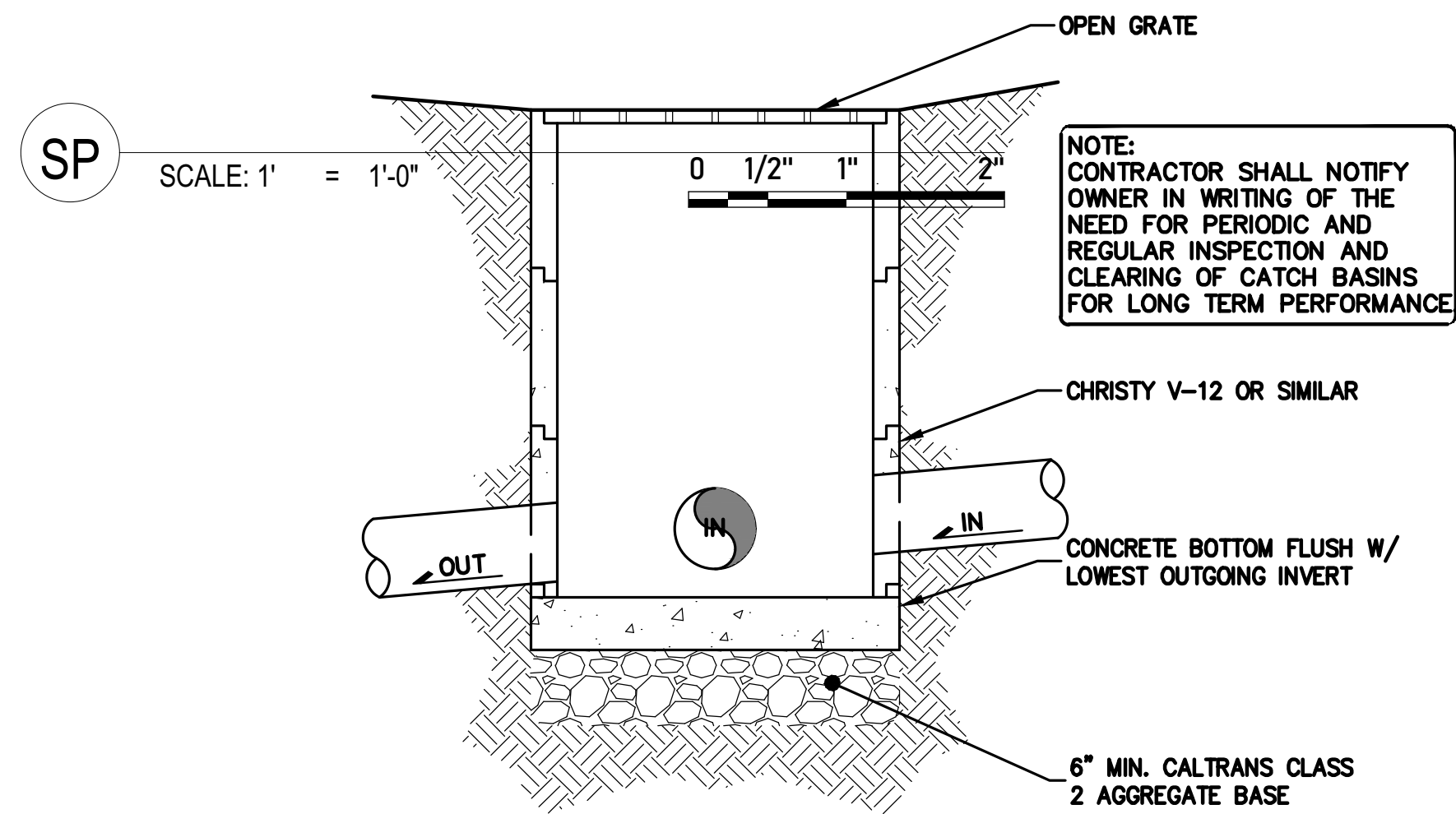
4 RAIN WATER LEADER TO TIGHTLINE CONNECTION
C-4.0 NTS



5 FLATWORK DRAIN
C-4.0 NTS



6 AREA DRAIN
C-4.0 NTS



7 CATCH BASIN
C-4.0 NTS



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SAN JOSE, CALIFORNIA 95131
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(510) 887-4086
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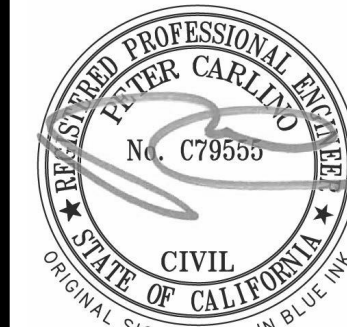
ISLAM RESIDENCE
3655 PLEASANT KNOLL CT.
SAN JOSE, CALIFORNIA
UNINCORPORATED SANTA CLARA COUNTY
APN: 654-25-011

DETAILS

REVISIONS	BY

JOB NO: 2221253
DATE: 08-07-23
SCALE: NTS
DESIGN BY: ZA
CHECKED BY: JH
SHEET NO:

C-4.0
5 OF 10 SHEETS



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
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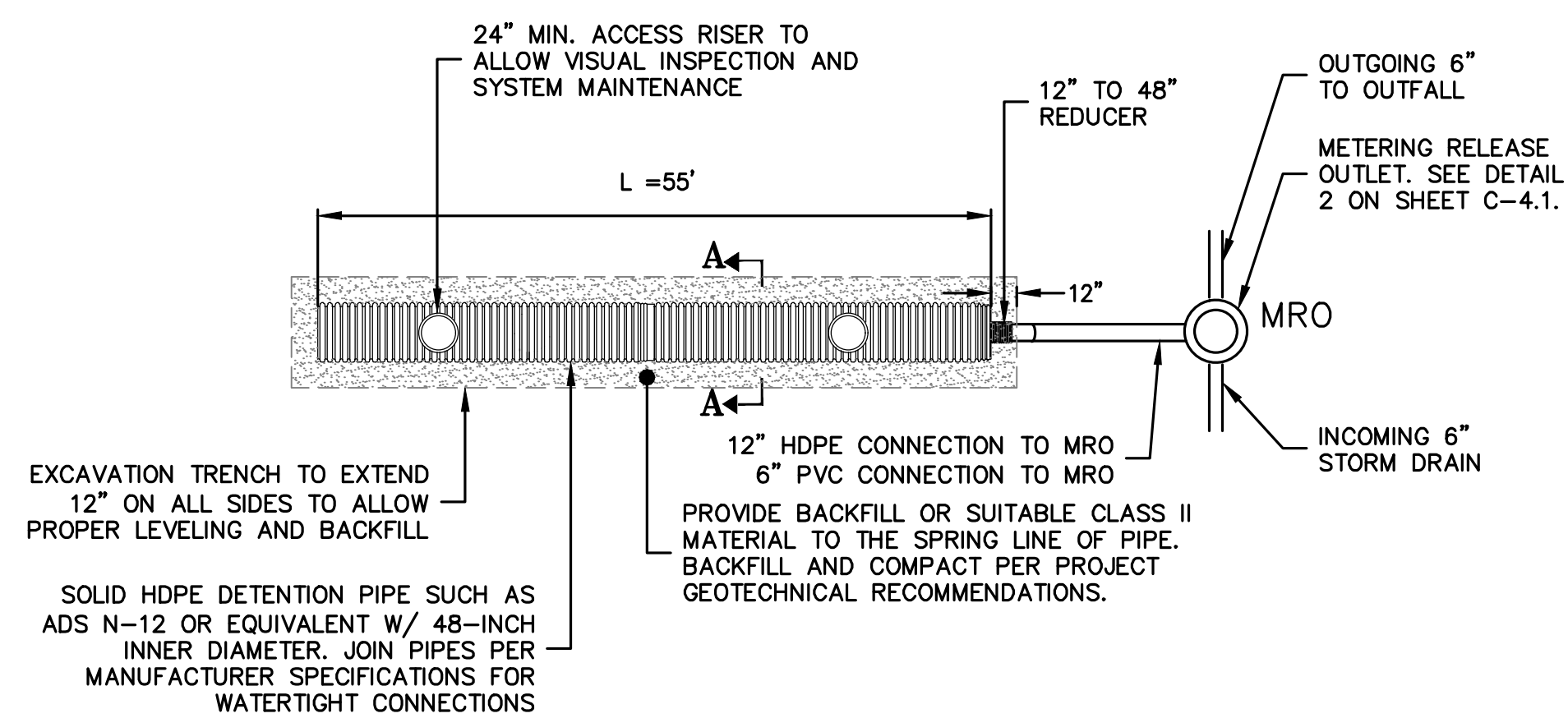
CHECKED BY: JH

SHEET NO:

C-4.1

6 OF 10 SHEETS

NOTE:
 REFER TO THE PLANS FOR SPECIFIC INLET AND
 OUTLET LOCATIONS.
 REFER TO THE PLANS FOR SPECIFIC ACCESS COVER
 LOCATIONS.

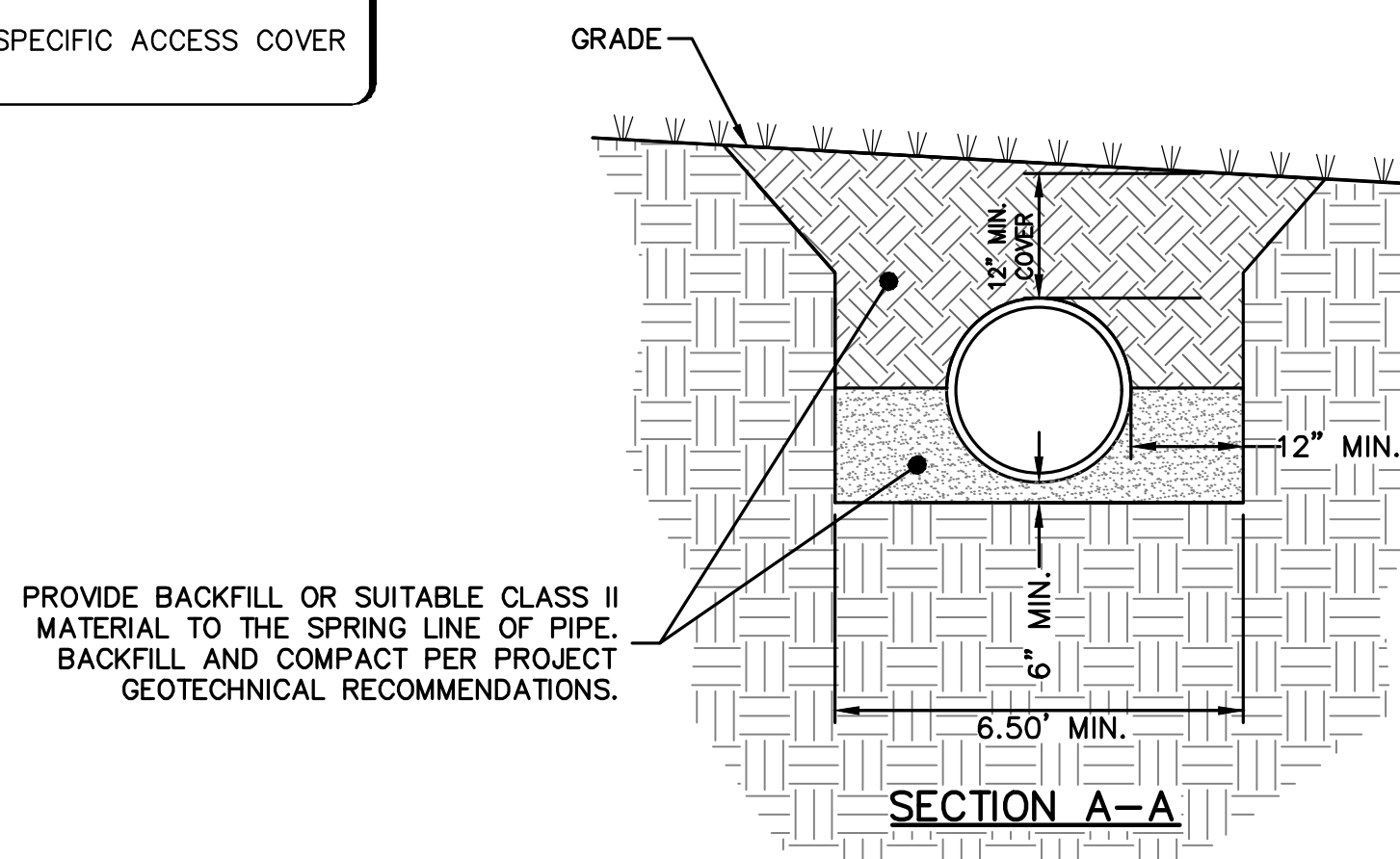


PLAN VIEW

STORAGE PIPE NOMINAL I.D.	NOMINAL O.D.	MIN. SIDE COVER
48" (1200 MM)	54" (1372 MM)	12" (292 MM)

NOTES:

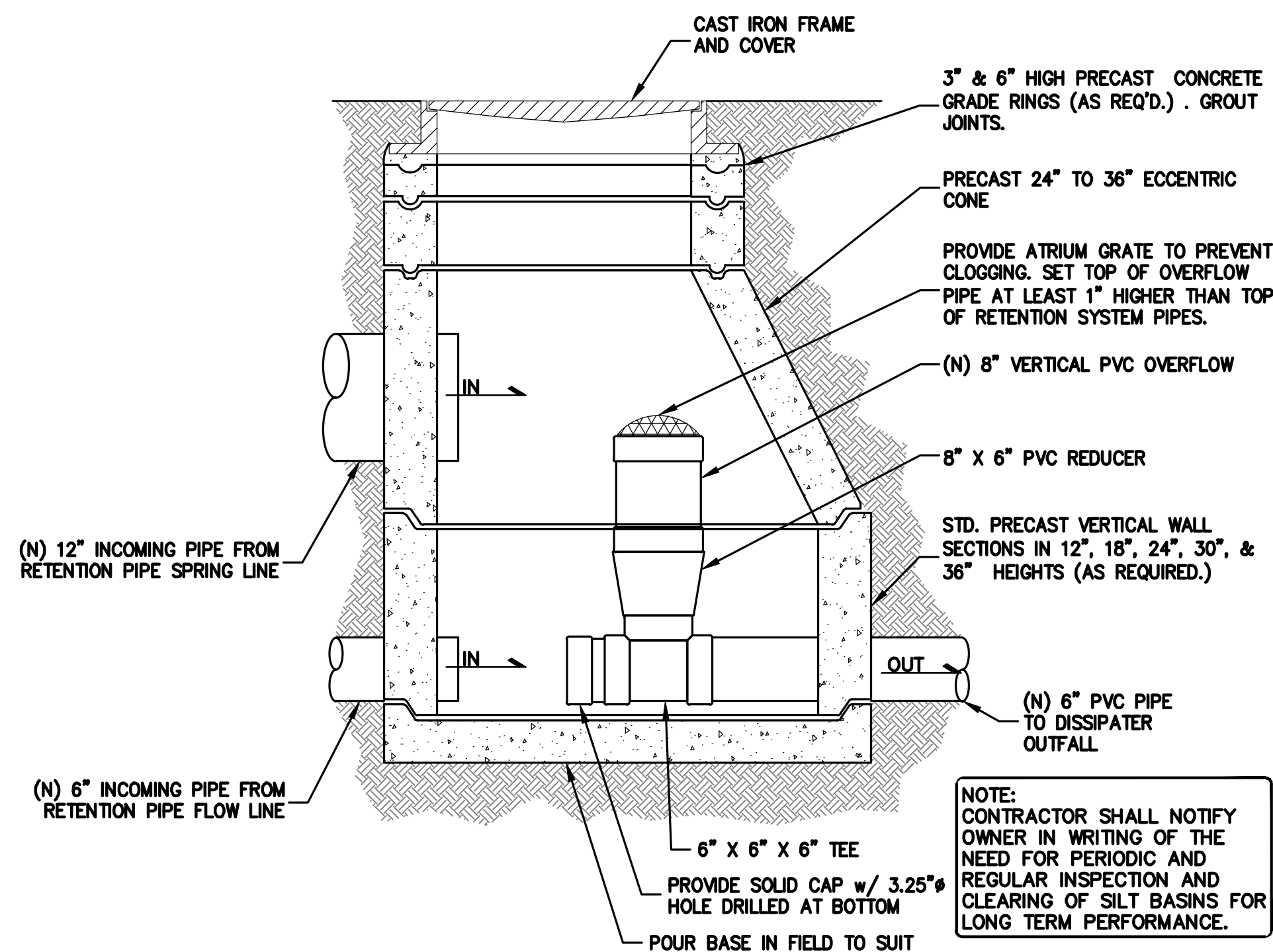
- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
- MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
- FILTER FABRIC:** A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
- FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.



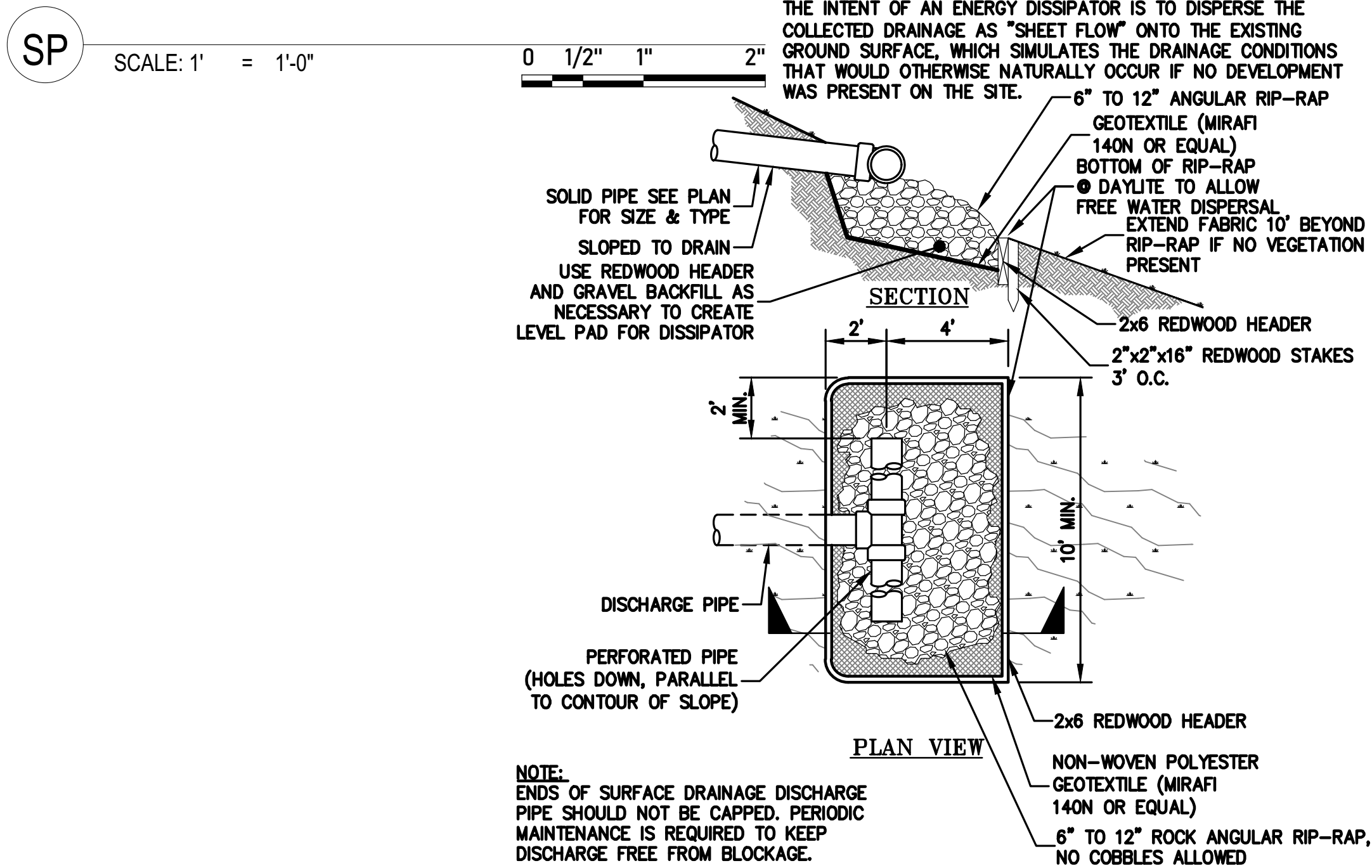
PROVIDE BACKFILL OR SUITABLE CLASS II
 MATERIAL TO THE SPRING LINE OF PIPE.
 BACKFILL AND COMPACT PER PROJECT
 GEOTECHNICAL RECOMMENDATIONS.

- BEDDING:** SUITABLE MATERIAL SHALL BE SAND OR CLASS II*. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 8" (150mm) FOR 30"-60" (750mm-900mm) COMPACTED TO 90% SPD.
- INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE SAND OR CLASS II*. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER:** MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 18" FROM TOP OF PIPE TO GROUND SURFACE. COMPACT AS RECOMMENDED BY THE SOILS ENGINEER. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 18" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
- CONNECTIONS:** ALL CONNECTIONS FOR EACH SEGMENT SHALL BE WATER TIGHT.
 * CLASS I BACKFILL REQUIRED AROUND 60" DIAMETER FITTINGS.

1 DETENTION SYSTEM DETAIL
 C-4.1 NTS



2 METERED RELEASE OUTLET
 C-4.1 NTS



3 ENERGY DISSIPATER DISCHARGE
 C-4.1 NTS

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THROUGH APRIL 15, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

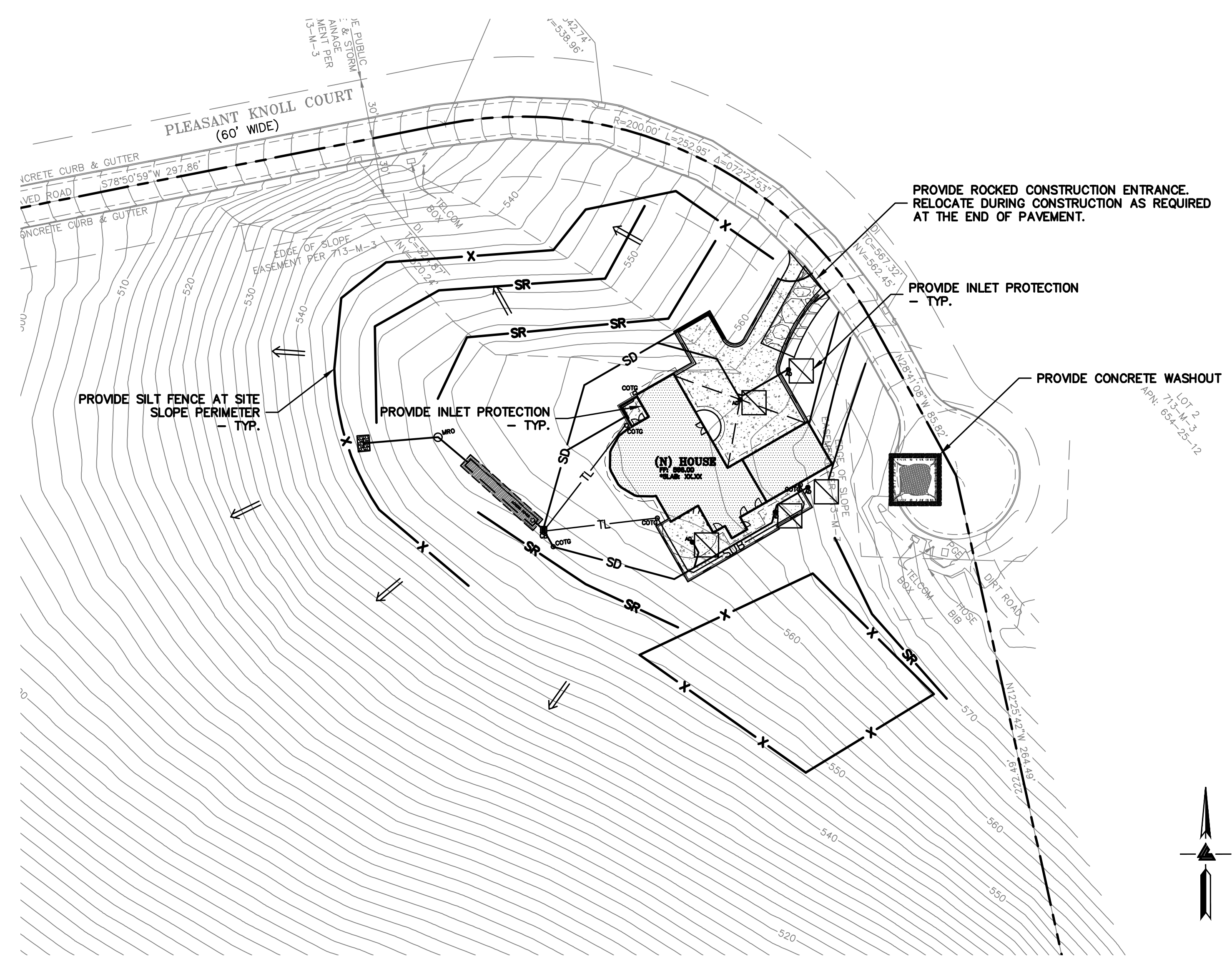
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURES SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

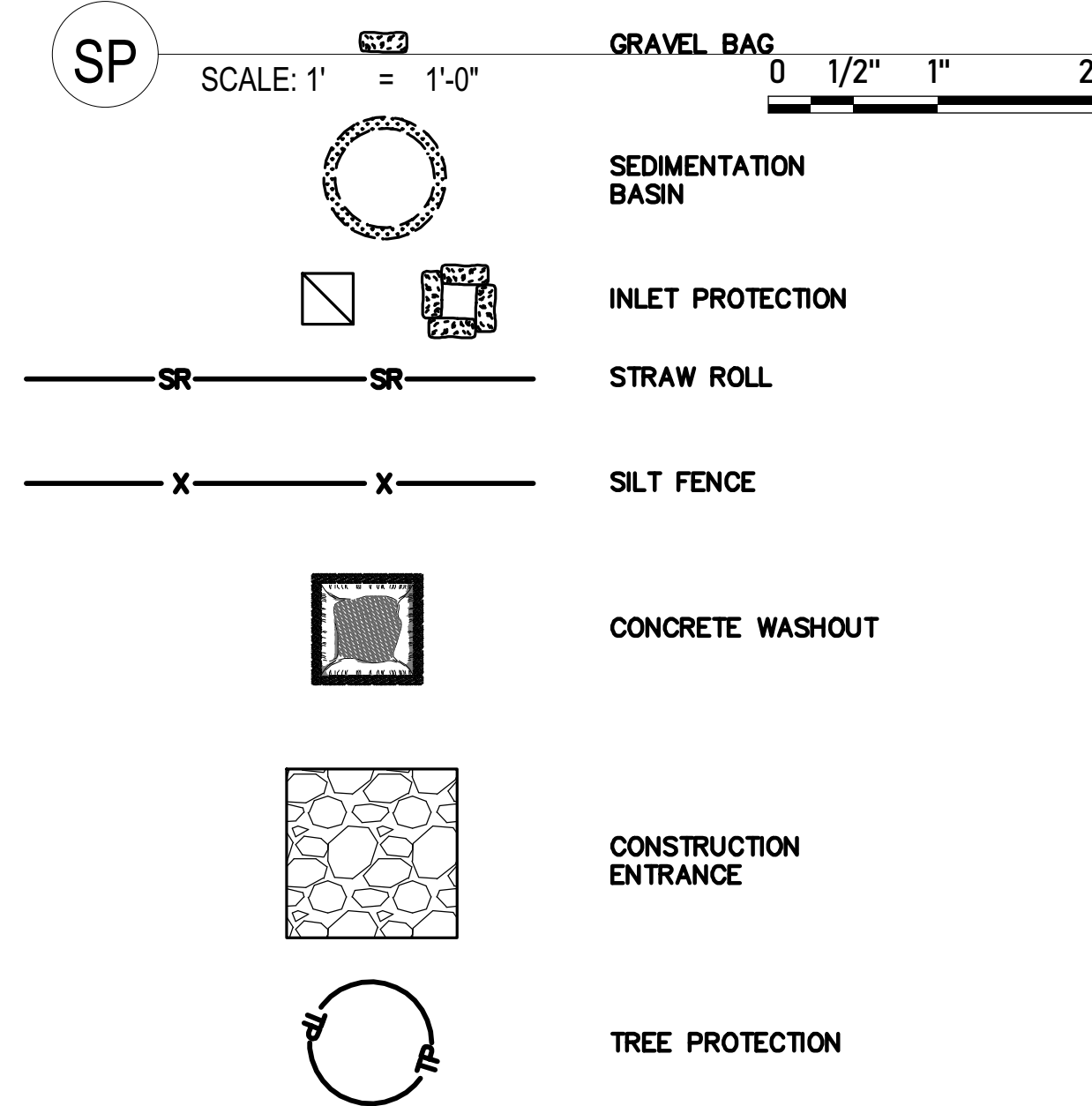
- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

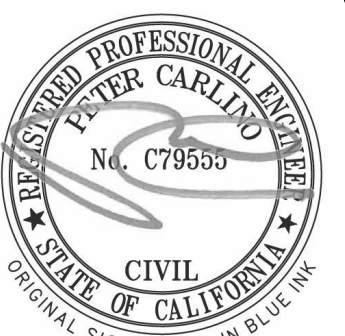
- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1' FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



EROSION CONTROL LEGEND



NOTE:
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP



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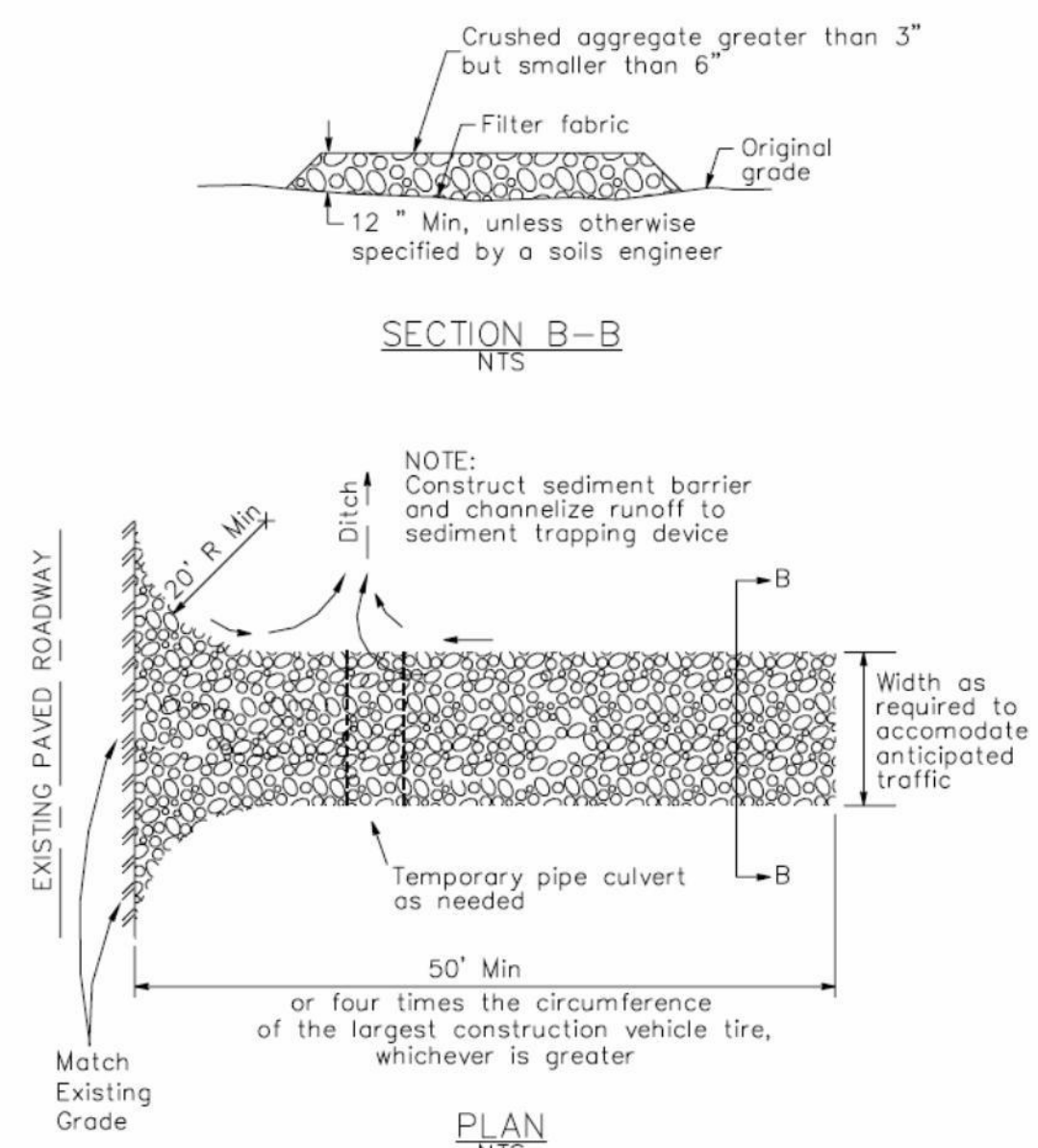
EROSION CONTROL PLAN

REVISIONS	BY

JOB NO: 2221253
 DATE: 08-07-23
 SCALE: AS NOTED
 DESIGN BY: JH
 CHECKED BY: JH
 SHEET NO:

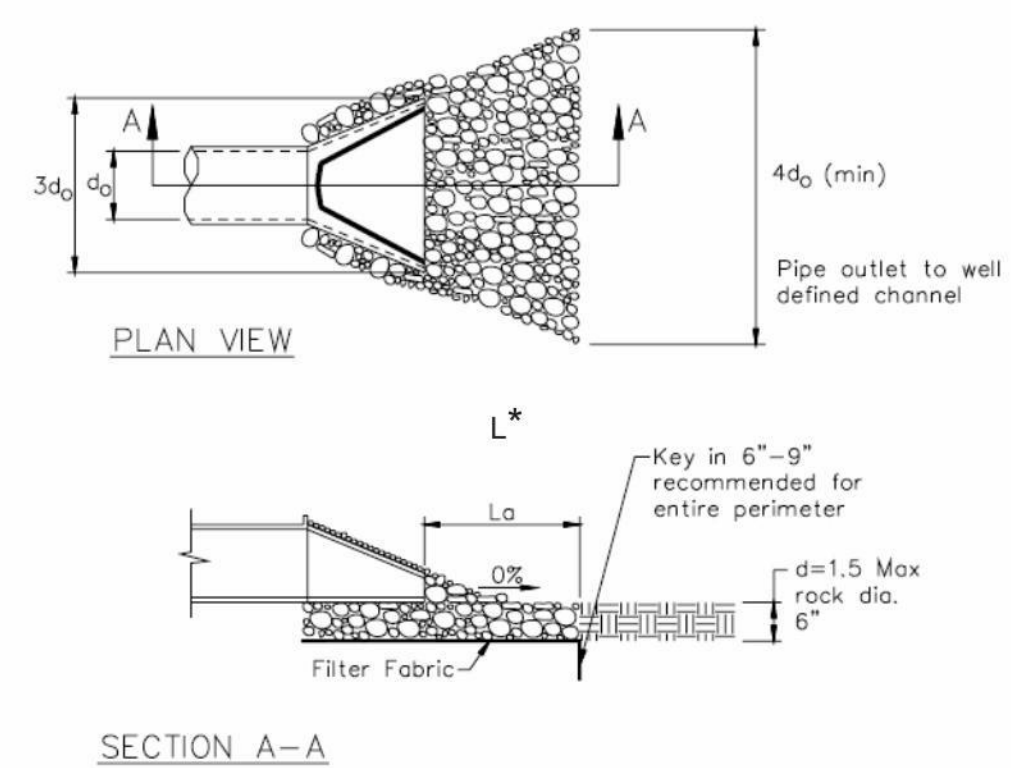
3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



4 Velocity Dissipation Devices

CASQA Detail EC-10

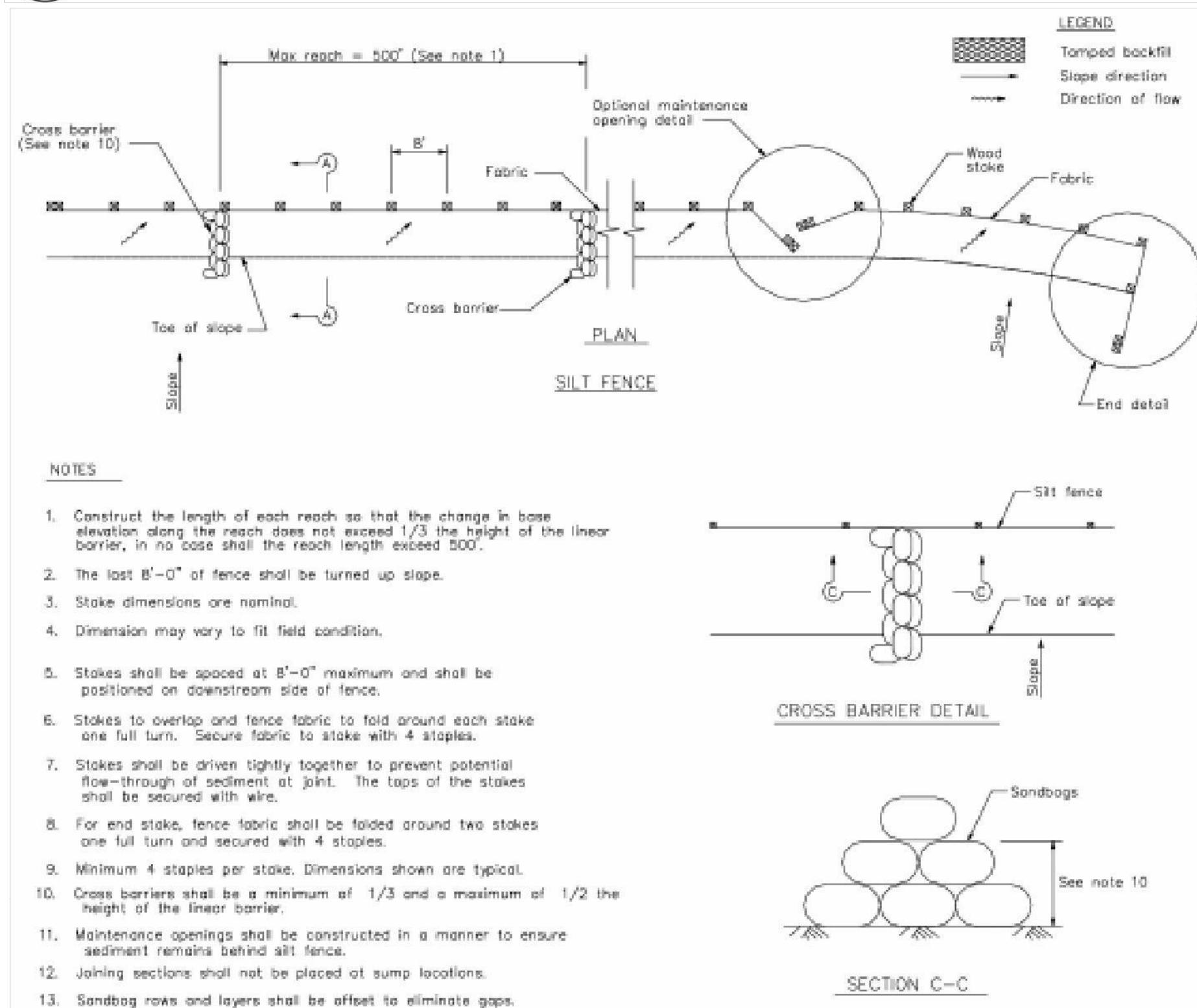


* Length per ABAG Design Standards

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

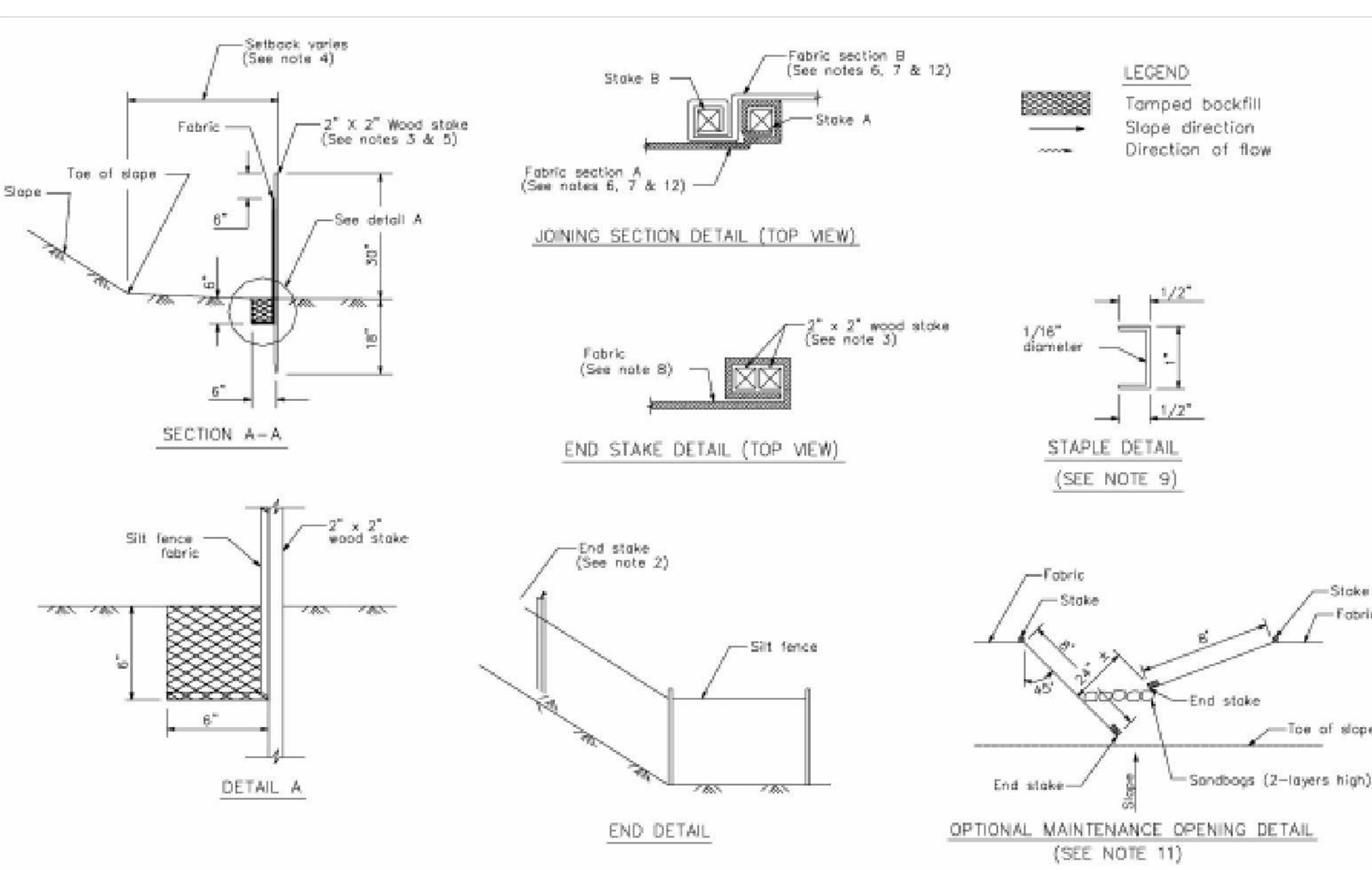
1 Silt Fence

CASQA Detail SE-1



2 Silt Fence

CASQA Detail SE-1



STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**
 - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
 - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
 - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
 - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
 - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

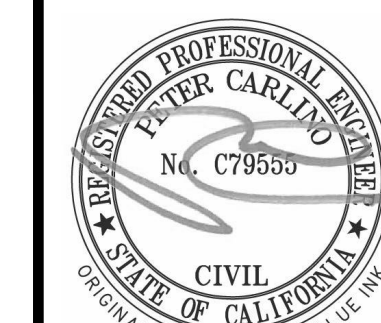
Project Information

Best Management Practices and Erosion Control Details Sheet 1

County of Santa Clara



BMP-1



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
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ISLAM RESIDENCE
3655 PLEASANT KNOLL CT.
SAN JOSE, CALIFORNIA
UNINCORPORATED SANTA CLARA COUNTY
APN: 654-25-011

EROSION CONTROL DETAILS

REVISIONS	BY

JOB NO: 2221253
DATE: 08-07-23
SCALE: AS NOTED
DESIGN BY: ZA
CHECKED BY: JH
SHEET NO:



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
 MAIN OFFICE: COSTA MESA, CALIFORNIA
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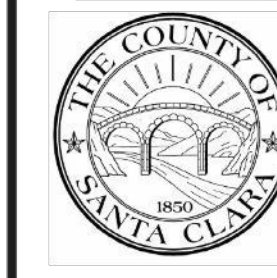
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EROSION CONTROL
DETAILS

Project Information

NO.	REVISIONS	BY

JOB NO:	2221253
DATE:	08-07-23
SCALE:	AS NOTED
DESIGN BY:	ZA
CHECKED BY:	JH
SHEET NO:	



BMP-2

Best Management Practices and Erosion Control Details Sheet 2 County of Santa Clara

