

GENERAL NOTES

- ALL DETAILS, SECTIONS AND NOTES SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE, UNLESS NOTED OTHERWISE, NOTES AND DETAILS ON THE DRAWINGS TAKE PRECEDENCE OVER THE GENERAL NOTES AND TYPICAL DETAILS.
- ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND/OR AS REQUIRED BY THE ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND ALL LOCAL AND NATIONAL CODES AND AUTHORITIES WHICH ARE APPLICABLE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND ANY DISCREPANCIES SHALL BE REPORTED TO THE STRUCTURAL ENGINEER PRIOR TO THE START OF WORK. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE COORDINATION OF ALL WORK AND MATERIALS INCLUDING ONES FURNISHED BY SUBCONTRACTORS.
- ALL OMISSIONS AND CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR THE ARCHITECTURAL SPECIFICATIONS, WHERE APPLICABLE, SHALL BE REPORTED TO THE ARCHITECT AND STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY OF THE WORK INVOLVED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR SAFETY IN AND AROUND THE JOB SITE AND/OR ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR BRACING AND SHORING ALL EXISTING FRAMING, STRUCTURE AND PORTIONS OF THE WORK WHICH HAVE BEEN PARTIALLY COMPLETED.
- ANY OBSERVATION VISITS TO THE JOB SITE BY THE STRUCTURAL ENGINEER OR A FIELD REPRESENTATIVE SHALL BE CONSTRUED AS NEITHER INSPECTION NOR APPROVAL OF ANY CONSTRUCTION WORK.
- DURING AND AFTER CONSTRUCTION, THE BUILDER AND/OR OWNER SHALL KEEP LOADS ON STRUCTURE WITHIN THE LIMITS OF DESIGN LOADS.
- WORKING DIMENSIONS SHALL, IN NO CASE, BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE STRUCTURAL DRAWINGS.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO THE START OF WORK, DEMOLITION, EXCAVATION AND NEW CONSTRUCTION SHALL BE DONE IN A MANNER THAT WILL NOT DAMAGE ANY EXISTING UTILITIES. THESE EXISTING UTILITIES ARE NOT SHOWN ON THESE PLANS.
- IN ORDER TO CONDUCT PROPER FIELD OBSERVATION, THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF THE VARIOUS CONSTRUCTION PHASES.
- NO OPENINGS, NOTCHES, CHASES, ETC. SHALL BE PLACED IN COLUMNS, JOISTS, BEAMS, BEARING WALLS OR SHEARWALLS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER WHERE DRAWINGS BY OTHERS SHOW SUCH OPENINGS.

APPLICABLE CODES

ALL CONSTRUCTION SHALL COMPLY WITH LOCAL CODES AND ORDINANCES AND THE FOLLOWING:
 2022 CALIFORNIA BUILDING CODE (CBC)
 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
 2022 CALIFORNIA MECHANICAL CODE (CMC)
 2022 CALIFORNIA PLUMBING CODE (CPC)
 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
 2022 CALIFORNIA FIRE CODE (CFC)
 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

"CONSTRUCTION HOURS ARE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY AND 9 AM TO 4 PM SATURDAY. NO CONSTRUCTION ON SUNDAYS AND HOLIDAYS"

RESIDENCE ADDITION 15881 GLEN UNA DRIVE LOS GATOS, CA 95030

PROJECT INFORMATION

OWNER: HAIPING ZHAO
 ADDRESS: 15881 GLEN UNA DR, LOS GATOS, CA 95030
 EMAIL: hzhao416@gmail.com
 PHONE: 510-999-5200

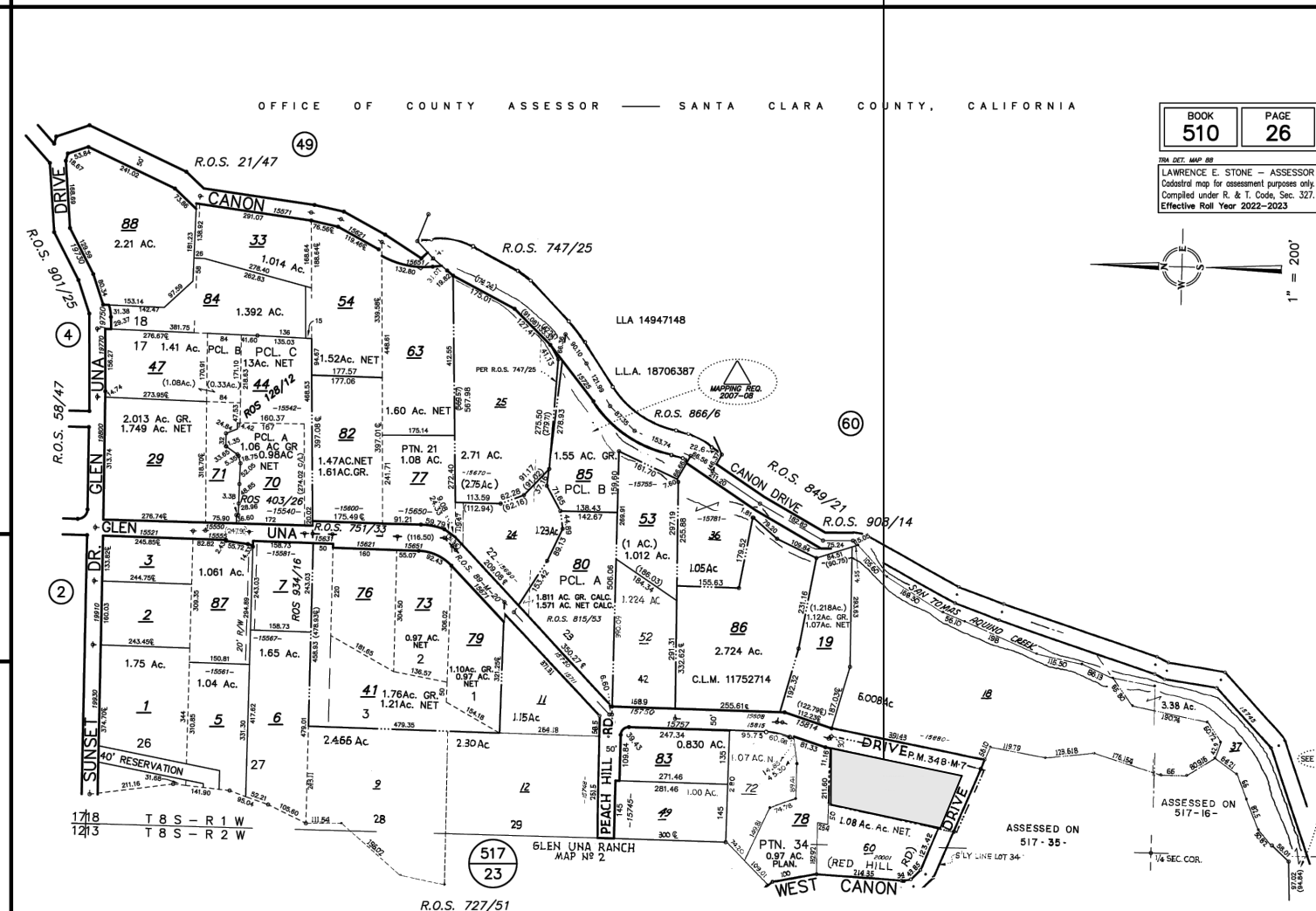
DESIGNER: SOUTHBAY STRUCTURE
 ADDRESS: 4005 CLIPPER CT, FREMONT, CA 94538
 EMAIL: Thanh@sbstr.com
 PHONE: 408-888-7836

CIVIL ENGINEERING: LE ENGINEERING
 ADDRESS: 598 E SANTA CLARA ST #270, SAN JOSE CA 95112
 EMAIL: nle@leengineering.net
 PHONE: 408-806-7187

PROJECT DATA

APN : 510-26-067
 YEAR BUILT : 2001-2002
 ZONING : RHS-d1
 OCCUPANCY GROUP : R-3/U
 TYPE OF CONSTRUCTION : V-B
 STORY : TWO
 SPRINKLER : YES, DEFERRED SUBMITTAL
 LOT AREA : 49,222 S.F.

VICINITY MAP



DRAWING INDEX

- A0 TITLE SHEET
- SUV1 BOUNDARY & TOPOGRAPHIC SURVEY
- A1 PROPOSED SITE PLAN
- A2 EXISTING FLOOR PLAN
- A3 FLOOR AREA CALCULATION
- A4 PROPOSED FLOOR PLAN
- A5 PROPOSED ROOF PLAN
- A6 EXISTING ELEVATIONS
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- A9 PROPOSED ELEVATIONS
- A10 CROSS SECTION
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- C1 TITLE SHEET
- C2 OVERALL SITE PLAN
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- C5 EROSION CONTROL PLAN
- C6 EROSION CONTROL DETAILS - 1
- C7 EROSION CONTROL DETAILS - 2
- W1 ROADWAY WIDENING PLAN
- W2 ROADWAY WIDENING PLAN
- W3 ROADWAY WIDENING PLAN
- W4 ROADWAY WIDENING PLAN
- W5 ROADWAY WIDENING PLAN

FLOOR AREA RATIO

BUILDING AREA	EXISTING S.F.	PROPOSED S.F.	TOTAL S.F.	%
MAIN FLOOR	5847	2103	7950	16.5
TOWER	427	0	427	0.5
GARAGE	990	0	990	2
BASEMENT	702	0	702	1
CELLAR FLOOR	0	0	0	0
WORKSHOP	0	0	0	0
TOTAL	7966	2103	10069	20

LOT SIZE	49,222
FLOOR AREA RATIO (F.A.R)	6976/49222 = 14% 7950/49222 = 18%
40% OF LOT COVERAGE	6381 (13%) 8484 (17%)
BUILDING HEIGHT	29'7" 34'7"

SCOPE OF WORK

- ATTACHED ADDITION TOTAL 2,103 S.F. INCLUDING INDOOR BASKETBALL COURT AND A BATH ROOM.

REQUIRED SPECIAL FEATURES

PROJECT IS LOCATED WITHIN THE WILDLAND URBAN INTERFACE (WUI) AND WILL MAINTAIN DEFENSIBLE SPACE AT ALL TIMES.

A DEFERRED SUBMITTAL FIRE SPRINKLER FOR THE ENTIRE HOME AND ATTACHED STRUCTURES (SUCH AS THE GARAGE, BASEMENT, ETC.). [SANTA CLARA COUNTY ORDINANCE NO NS-110.136 SECTION B7-9.D.5]

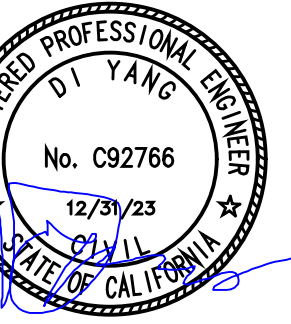
DEFENSIBLE SPACE: MAINTAIN DEFENSIBLE SPACE SPECIFICATIONS DESCRIBED IN PUBLIC RESOURCE CODE 4291 § 1276.01. SETBACK FOR STRUCTURE DEFENSIBLE SPACE.
 (c) STRUCTURES CONSTRUCTED IN THE SRA ARE REQUIRED TO COMPLY WITH THE DEFENSIBLE SPACE REGULATIONS IN TITLE 14. NATURAL RESOURCES DIVISION 1.5. DEPARTMENT OF FORESTRY AND FIRE PROTECTION CHAPTER 7. FIRE PROTECTION SUBCHAPTER 3. FIRE HAZARD.

FOR OFFICIAL CITY/COUNTY USE ONLY



**SOUTHBAY
STRUCTURE**

3150 ALMADEN EXPY, STE 214
 SAN JOSE, CA 95118-1253
 TEL (408) 888-7836



ADDITION
 15881 GLEN UNA DR,
 LOS GATOS, CA 95030

SHEET NAME:
TITLE SHEET

DATE: 10/06/23

JOB NO. SS23903

ISSUE & REVISION

	mm/dd/yy	CITY SUBMITTAL
1	09/11/24	DESIGN REV.
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SCALE:

AS NOTED

SHEET NO.

A0

DRAWN BY: THANH TRAN

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN ON THIS MAP ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS INC.

Kenneth D. Wilson 7/5/2023

KENNETH D. WILSON LS 5571 DATE

BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED ELEVATION OF 500.00' AT CONTROL POINT #1.

GENERAL NOTES

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

IF NO INDICATION OF SEWER LINES ARE SHOWN, THEN THERE WERE NO VISIBLE MARKINGS OR INDICATIONS OF ANY SEWER APPURTENANCES ON THE SITE. OTHER RECORDS MAY EXIST THAT PROVIDE EVIDENCE OF SEWER LATERAL LOCATIONS.

SETBACK LINES NOTE

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

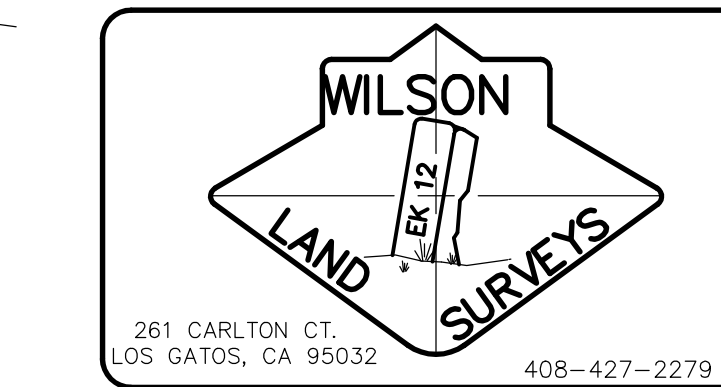
EASEMENT NOTE

EASEMENTS SHOWN ARE BASED ON A TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE COMPANY, TITLE NO.: FSBC-2061601023, DATED MAY 11, 2016.

LEGEND

- FOUND AS NOTED
- ⊗ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ JOINT POLE
- ⊕ GUYWIRE
- ⊕ ELECTRIC METER
- ⊕ GAS METER
- A/C AIR CONDITIONING UNIT
- OH — OVERHEAD LINE
- ⊕ DROP INLET
- ⊕ SEWER MANHOLE
- ⊕ SEWER CLEANOUT
- ⊕ CONTROL POINT
- ⊕ ELECTRIC BOX
- ⊕ FENCE
- ⊕ CONCRETE
- PROPERTY LINE
- BUILDING
- STREET CENTER LINE
- FF FINISH FLOOR ELEVATION

Email: kenw@wilsonlandsurveys.com
www.wilsonlandsurveys.com



BOUNDARY AND TOPOGRAPHIC SURVEY

AS REQUESTED BY:

HAIPING ZHAO

LEGAL DESCRIPTION: PARCEL 1, 348 M 7, TOWN OF LOS GATOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA.

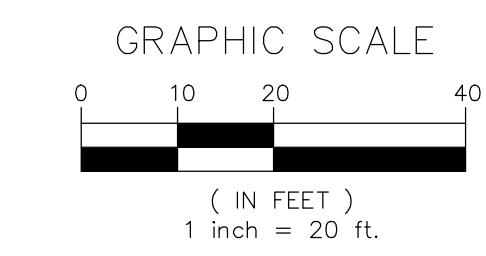
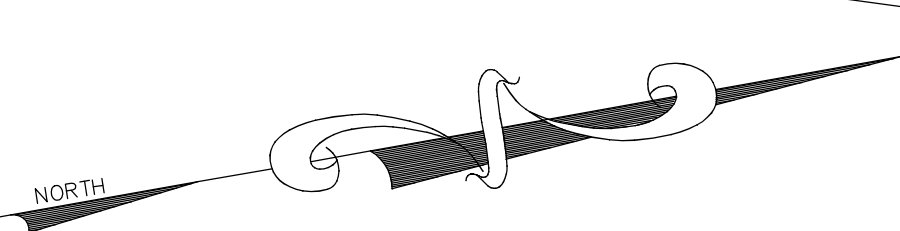
APN: 510-26-067

DATE: JUNE 2023

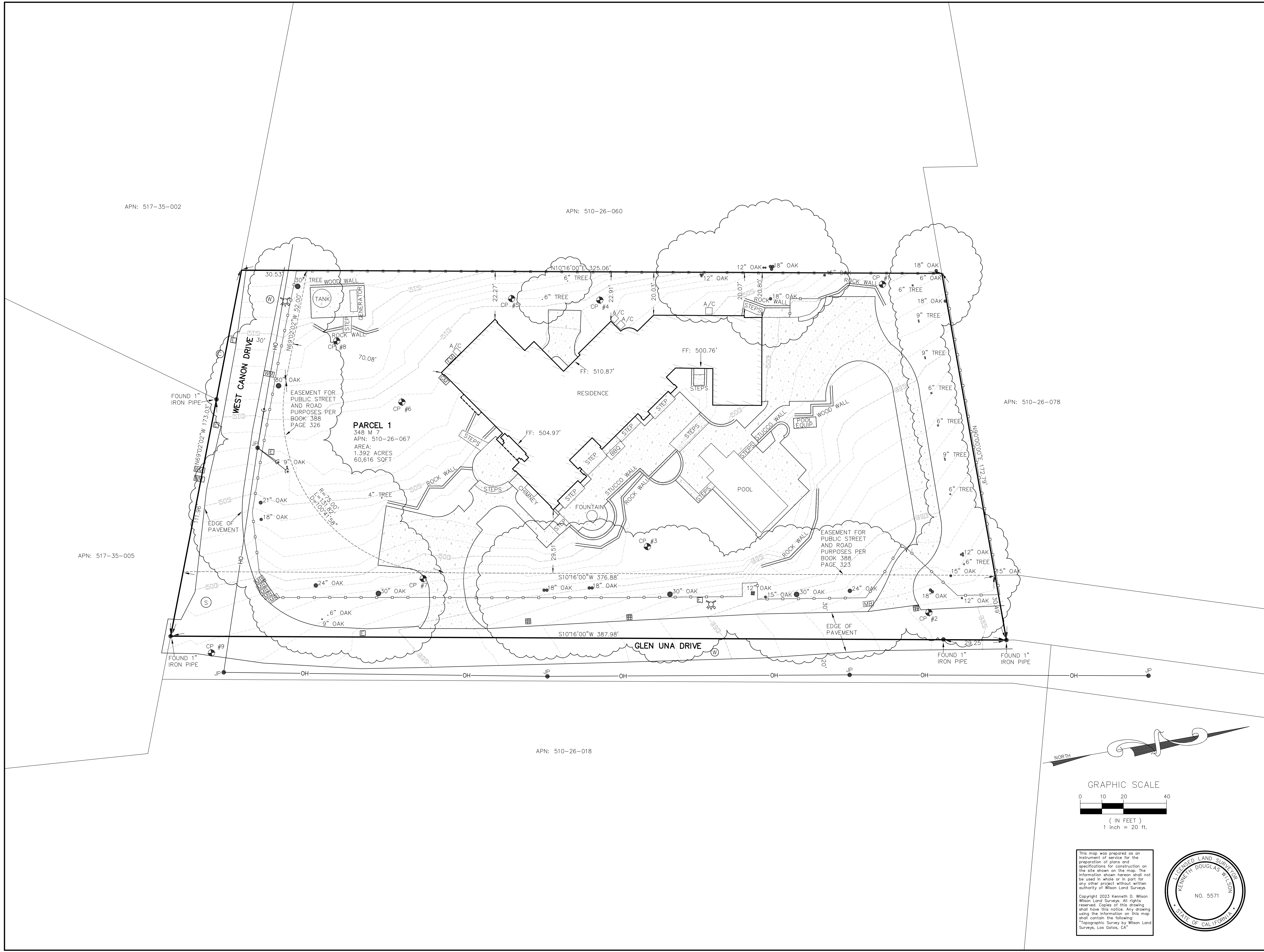
FILENAME: P-081 GLEN UNA ZHAO

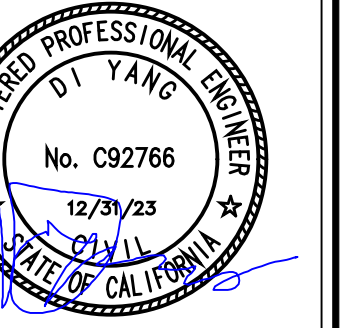
SITE ADDRESS: 15881 GLEN UNA DR, LOS GATOS, CA 95030

DRAWN BY: CER	SCALE: 1"=20'	PROJECT: P-081	JOB NUMBER: P-081	SHEET: 1 OF 1
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This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on the map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.
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 "Topographic Survey by Wilson Land Surveys, Los Gatos, CA"

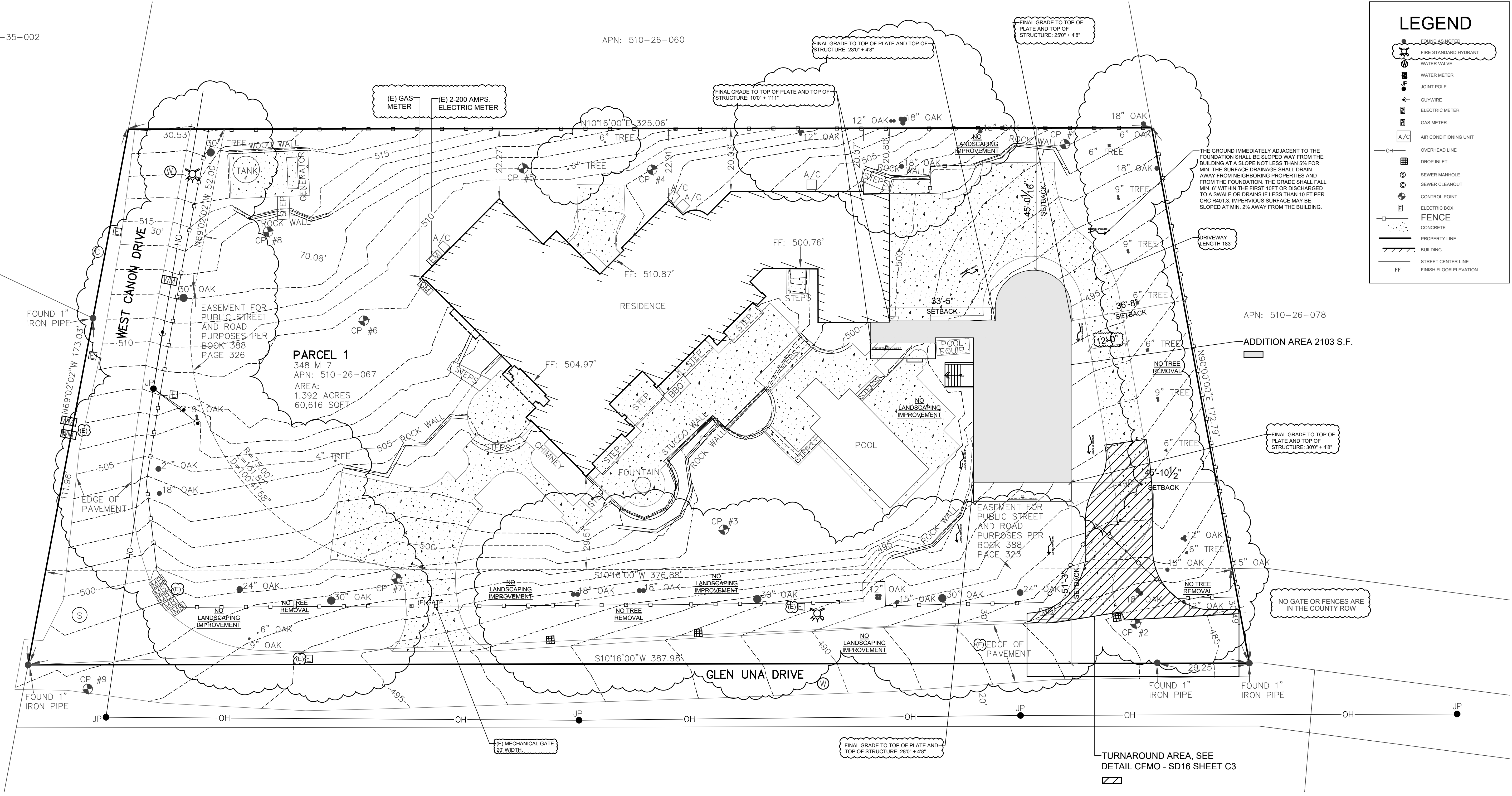




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LEGEND

- FOUND AS NOTED
- FIRE STANDARD HYDRANT
- WATER VALVE
- WATER METER
- JOINT POLE
- GUYWIRE
- ELECTRIC METER
- GAS METER
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- CONTROL POINT
- ELECTRIC BOX
- FENCE
- CONCRETE
- PROPERTY LINE
- BUILDING
- STREET CENTER LINE
- FINISH FLOOR ELEVATION



PROPOSED SITE PLAN 1
SCALE 1/16"=1'-0"

WATER SUPPLY REQUIREMENTS:
POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.

CONSTRUCTION SITE FIRE SAFETY:
ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33.

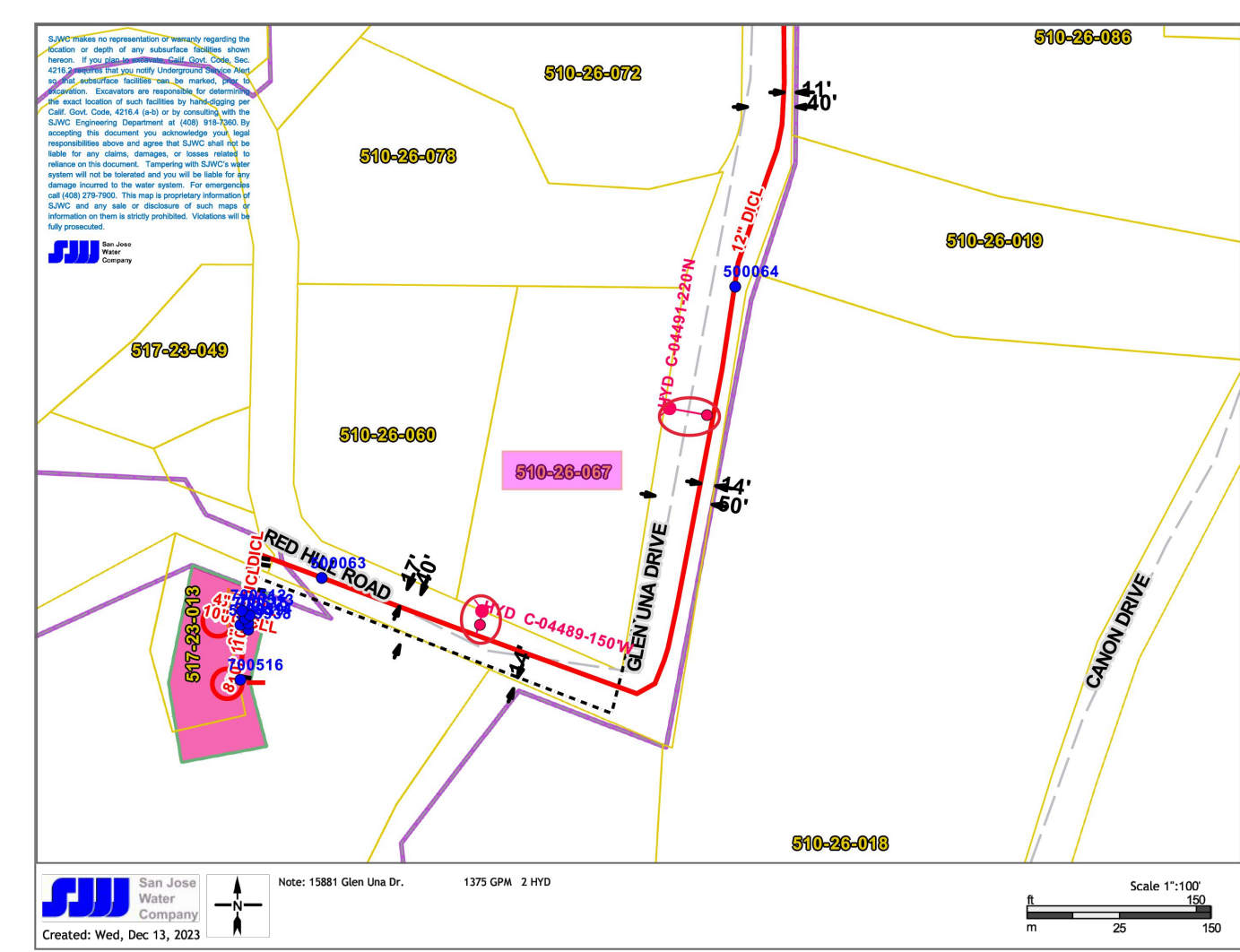
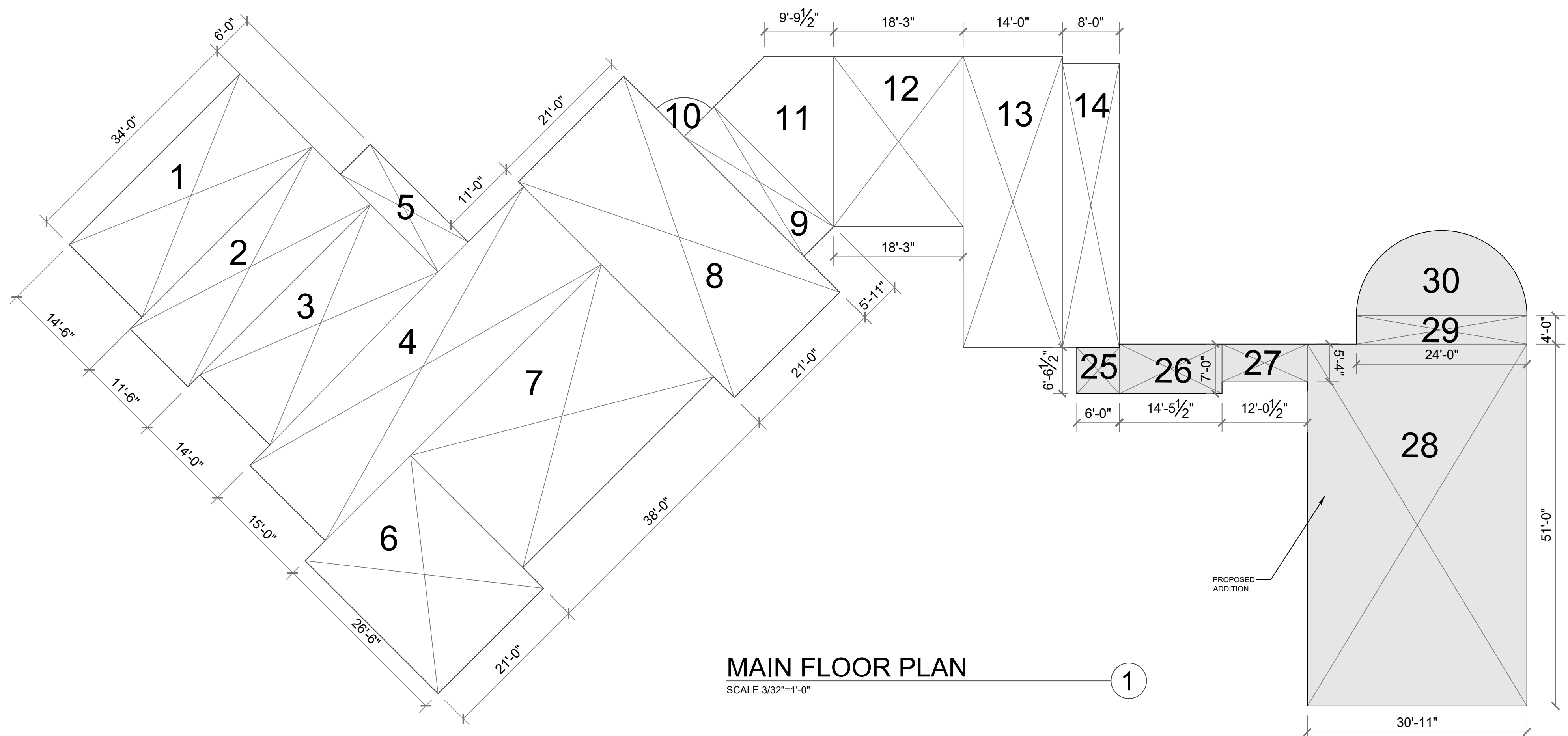
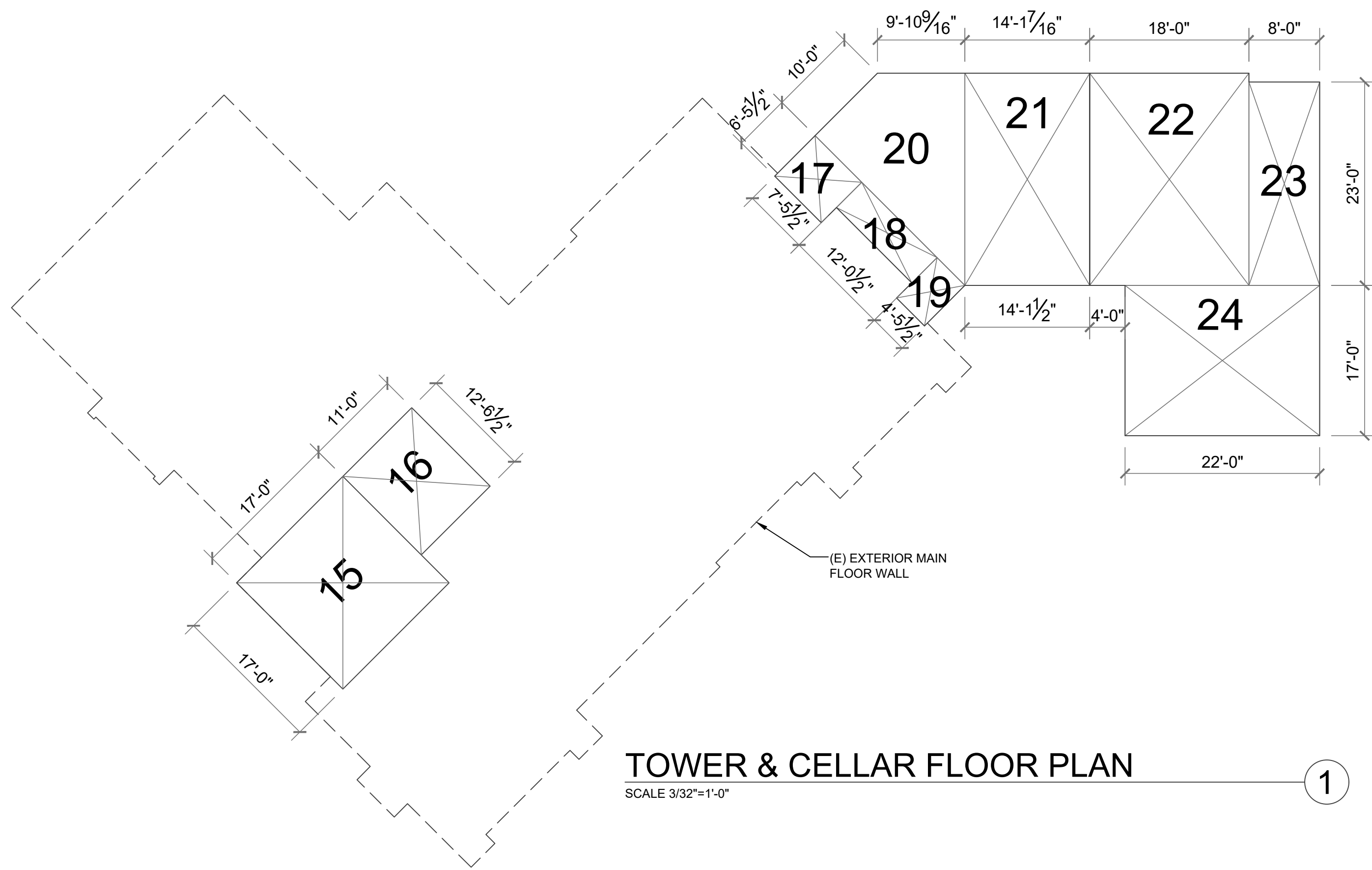
STORY POLES NOTE:
STORY POLES SHALL BE REQUIRED OF ALL NEW BUILDINGS SUBJECT TO TIER 2 DESIGN REVIEW. STORY POLES SHALL BE FULLY ERRECTED, PER THE STORY POLES STANDARDS ESTABLISHED BY THE PLANNING OFFICE (SEE ATTACHMENT), AND SHALL BE APPROVED BY THE ZONING ADMINISTRATOR AT LEAST SEVEN (7) FULL DAYS PRIOR TO ANY SCHEDULED HEARING, INCLUDING CONTINUED HEARINGS AND APPEAL HEARINGS. STORY POLES SHALL, AT A MINIMUM, REMAIN IN PLACE UNTIL THE CLOSE OF THE PUBLIC HEARING.

FIRE MARSHAL'S OFFICE:
DRIVEWAY TO BE MADE OF AN "ALL WEATHER" MATERIAL CAPABLE OF HOLDING 75,000 POUNDS. THIS IS TO BE NOTED ON THE PLANS. (CFC SECTION D102 AND CFMO-A1 SECTION II.G)

CAL FIRE:
1273.08. DEAD-END ROAD: ENSURE GLEN UNA DRIVE DOES NOT EXCEED THE MAXIMUM LENGTH FOR A DEAD-END ROAD DEPENDING ON PARCEL SIZE. DEAD-END ROAD BEGINS AT GLEN UNA DRIVE AND PEACH HILL ROAD IS 528 FEET.

ROADS AND AIRPORT:
GLEN UNA DRIVE IS A COUNTY MAINTAINED ROAD AND WEST CANON DRIVE IS A PRIVATE ROAD.
GATES, FENCES, RETAINING WALLS, FIXED APPURTENANCES, ETC., REMAINING IN THE LIMITS OF THE COUNTY MAINTAINED ROAD ROW WILL REQUIRE A MAINTENANCE AND INDEMNIFICATION AGREEMENT (MIA) RECORDED AGAINST THE PROPERTY. NO NEW FIXED APPURTENANCES WILL BE PERMITTED IN THE ROW. THE MIA WOULD BE PROCESSED UNDER THE ENCROACHMENT PERMIT PROCESS. INDICATE ON PLANS THE INTENT OF ANY EXISTING OR FUTURE ITEMS IN THE ROW, WITH NOTATION THAT SUCH REMAINING ITEMS WILL BE ADDRESSED THROUGH THE MIA/ENCROACHMENT PERMIT PROCESS. NO GATE OR FENCES ARE IN THE COUNTY ROW

VEGETATION:
THERE IS NO EXISTING TREES WITH A CIRCUMFERENCE OF 37.5 INCHES, MEASURED 4.5 FEET ABOVE THE GROUND.



BLOCK DIAGRAM

MEASURE TO EXTERIOR FINISH	
ZONE	FLOOR AREA S.F.
1	493
2	418
3	467
4	840
5	117
6	558
7	850
8	904
9	141
10	24
11	238
12	437
13	574
14	320
15	289
16	138
17	48
18	49
19	28
20	238
21	338
22	432
23	184
24	374
25	39
26	101
27	64
28	1577
29	96
30	226
TOTAL FLOOR AREA	10603

SAN JOSE WATER
December 13, 2023

Deputy Fire Marshal Alex Goff
County Fire Marshal's Office
70 West Hedding Street, 7th Floor
San Jose, CA 95110

Reference: 15881 Glen Una Dr., Los Gatos, CA
APN: 510-25-067

Dear Mr. Goff:

Per a request on or about September 28, 2023, we conducted a computer simulation to determine fire flow availability at the referenced location. You indicated a flow with two hydrants for the purpose of the simulation to determine if 1,375 GPM is available. The table below gives the results of the computer simulation, which are valid for one year from the date of the simulation. Elevations are interpolated from United States Geological Survey contours.

Hyd. No.	Location	GPM	Residual PSI	Static PSI
C-04493	Glen Una Dr., approx. 220' N/N Red Hill Dr.	1,000	25	30
C-04489	Red Hill Rd., approx. 150' W/W Glen Una Dr.	375	20	22
	Total	1,375		

Date of Simulation: December 13, 2023

Determining the adequacy of fire protection from the information provided herein is the responsibility of those qualified to do so. San Jose Water Company undertakes to supply only such water at such pressure as may be available any time through the normal operation of its system. Section 774 of the Public Utilities Code limits the liability of the utility resulting from a claim regarding the provision or maintenance of an adequate water supply, water pressure, equipment or other fire protection facility or service.

Sincerely,
Marty Henderson
Engineering Support Supervisor
Water's Line Line: (408) 279-7823
Email: marty.henderson@sjwater.com

For additional information:
Backflow: 408-279-7822
Main requests: 408-518-7500
Static water pressure: 408-518-7561
Water meter testing: 408-279-7829

SOUTHBAY STRUCTURE
3150 ALMADEN EXPY, STE 214
SAN JOSE, CA 95118-1253
TEL (408) 888-7836

REGISTERED PROFESSIONAL ENGINEER
DI YANG
No. C92766
12/29/23
STATE OF CALIFORNIA

ADDITION
15881 GLEN UNA DR.,
LOS GATOS, CA 95030

FLOOR AREA CALCULATION

SHEET NAME: FLOOR AREA CALCULATION

DATE: 10/06/23

JOB NO. SS23903

ISSUE & REVISION

NO.	DATE	REVISION
1	09/11/24	CITY SUBMITTAL
2		DESIGN REV.
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SCALE: AS NOTED

SHEET NO. **A3**

DRAWN BY: THANH TRAN

BATHROOM SPECIFIC NOTES:

- ALL SHOWER AND TUB/SHOWER WALLS TO SPECIFY A SMOOTH, HARD, NONABSORBENT SURFACE (E.G., CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS.
- SHOWER DOOR SIZE TO HAVE A NET OPENING OF AT LEAST 22" WITH SAFETY TEMPERED DOOR TO SWING OUT OR SLIDER.
- ALL RECEPTACLES SHALL BE GFCI PROTECTED AND CONNECTED TO A DEDICATED 20 AMPS CIRCUIT.
- ALL INSTALLED LUMINAIRES SHALL BE LED AND AT LEAST ONE LUMINAIRE IN THE BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR PER 2019 LIGHTING REGULATIONS.
- PROVIDE AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQUARE FEET (1/2 OPENABLE) AND PROVIDE MECHANICAL VENTILATION 50 CFM INTERMITTENT HUMIDISTAT FAN.
- SHOWER SHALL BE A MINIMUM 1024 SQUARE INCHES AND CAPABLE OF ENCOMPASSING 30 INCHES DIAMETER.
- WATER CLOSETS SHALL BE CLEAR 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT.
- USE 2022 CALGREEN AND 2022 ENERGY CODE MANDATORY MEASURES.
- SHOWER COMPARTMENT SHALL BE A MINIMUM 1,024 SQUARE INCHES ENCOMPASSING A 30" DIA. CIRCLE. (CPC 408.5 & 408.6)
- EACH BATHROOM CONTAINING A SHOWER SHALL BE MECHANICALLY VENTILATED TO CONTROL HUMIDITY. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING HUMIDITY CONTROL IN A BATHROOM. (CMC CHAPTER 4, CRC R303.3.1)
- THE MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SER A MAXIMUM 1200/ F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISION. (CPC 408.3, 409.4)
- SHOWER STALLS AND BATHTUBS WITH SHOWER HEADS INSTALLED SHALL HAVE WALLS FINISHED WITH A NONABSORBENT SURFACE FOR A MINIMUM OF 6 FEET ABOVE THE FLOOR. (CBC 1210 AND CRC R307.2)

UNDERLAYMENT MATERIAL USED AS BACKERS FOR WALL TILE OR SOLID SURFACE MATERIAL IN TUB AND SHOWER ENCLOSURES SHALL BE EITHER GLASS MAT/ FIBER-REINFORCED GYPSUM BACK PANELS, NON-ASBESTOS FIBER-CEMENT/ FIBER MAT BACKBOARD. ALL MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WATER-RESISTANT GYPSUM BOARD (I.E. PURPLE BOARD) MAY BE USE WHEN ATTACHED DIRECTLY TO STUDS. OVERLAY WITH MINIMUM GRADE B BUILDING PAPER AND WERE LATH. TILE SHALL BE ATTACHED TO THE WIRE LATH.

THE 2022 CPC DEFINES A BATHROOM AS "A ROOM EQUIPPED WITH A SHOWER, BATHTUB, OR COMBINATION BATH/SHOWER"

BATHROOM MECHANICAL NOTES:

- EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED. FANS MUST BE CONTROLLED BY A HUMIDISTAT. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. (CMC 402.5, CALGREEN 4.506)
- A BATH EXHAUST FAN IS REQUIRED REGARDLESS OF THE PRESENCE OF A WINDOW. (CRC R303.3)
- EXHAUST MUST VENT TO OUTDOOR IN AN APPROVED DUCT. TERMINATE THE OUTLET A MINIMUM OF 3 FEET FROM AN OPENING OR PROPERTY LINE. (CMC 504.5)

TYPES OF FIXTURE	REQUIRED WATER-CONSERVING PLUMBING FIXTURE (MAX. FLOW RATES)
WATER CLOSET (TOILET)	1.28 GPF (CGB 4.303.1.1)
SHOWEHEAD	1.80 GPM AT 80 PSI (CGBSC SECTION 4.303.1.3.182)
LAVATORY FAUCETS	1.20 GPM AT 60 PSI (CGBSC 4.303.1.4.1)
KITCHEN FAUCETS	1.80 GPM AT 60 PSI (CGBSC 4.303.1.4.4)

STANDARDS FOR PLUMBING FIXTURES AND FITTING. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED PER THE CALIFORNIA PLUMBING CODE. CGBSC SECTION 4.303.2

BATHROOM PLUMBING NOTES:

- FIXTURE WATER CONSUMPTION: WATER CLOSETS MAX. 1.28 GAL PER FLUSH, FAUCETS MAX FLOW RATE OF 1.2 GPM AT 60 PSI AND SHOWERHEADS MAX FLOW RATE OF 1.8 GPM AT 80 PSI.
- WATER CLOSETS SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER TO ANY WALL OR OBSTRUCTION) AND 24 INCH MINIMUM CLEAR SPACE IN FRONT OF FIXTURE. (CPC 402.5)
- NEW SHOWER COMPARTMENTS SHALL HAVE A FINISHED INTERIOR OF 1,024 SQUARE INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE. SHOWER DOOR TO BE TEMPERED AND PROVIDE A MIN. 22 INCH CLEAR UNOBSTRUCTED OPENING. (CPC 408.6)
- PROVIDE SAFETY GLAZING IN WALLS ENCLOSING TUBS / SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET. (CRC R308.4.5)
- SHOWER AND TUB SHOWER COMBINATIONS SHALL PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE AND THERMOSTATIC TYPES THAT PROVIDE SCALD AND THERMAL SHOCK SH PROTECTION. (CPC 408.3)
- WALLS IN SHOWER COMPARTMENTS OR IN BATHTUBS WITH A SHOWERHEAD SHALL BE FINISHED WITH A NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT EXTENDING TO A HEIGHT ON NO LESS THAN 6 FEET ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS (CRC R702.3.8 R307.2)

LANDING REQUIREMENT AND NOTE:

DOORS OTHER THAN REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD.

THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).

DRYER DUCTS NOTES:

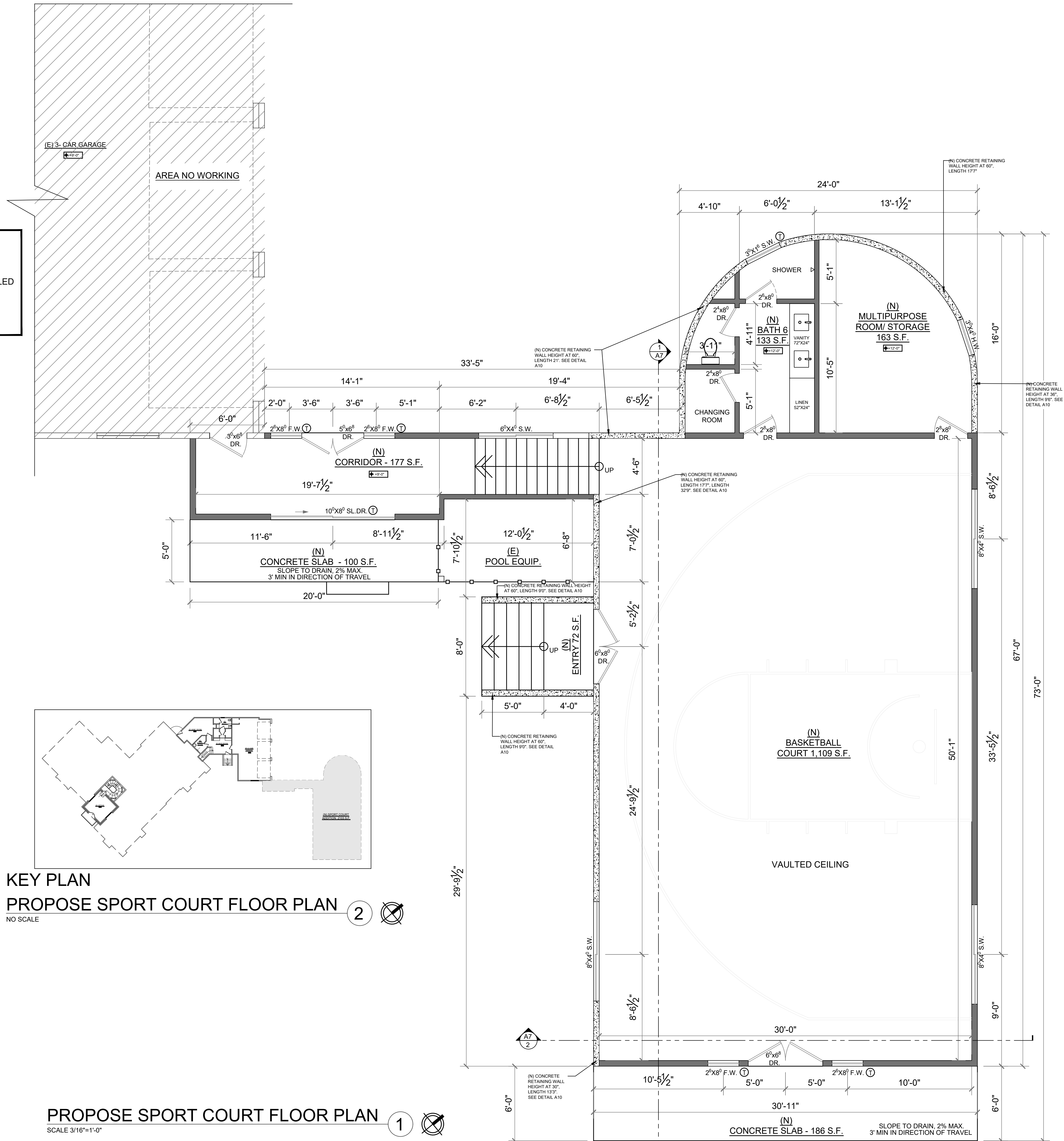
- DRYER DUCTS SHALL TERMINATE ON THE BUILDING EXTERIOR IN A BACKDRAFT DAMPER, SCREENS OR SCREENS OR LOUVERS SHALL NOT BE INSTALLED. CMC 504.4
- MINIMUM OF 100SQ. IN. OF MAKEUP AIR REQUIRED, WHICH CAN BE SUPPLIED BY LOUVERS OR UNDERCUTTING THE DOOR. CMC 504.4.1
- DRYER DUCTS SHALL BE SMOOTH-WALLED METAL 4 INCH DIAMETER AND NOT MORE THAN 14 FEET IN LENGTH WITH AN ALLOWANCE OF 2 90 DEG. BENDS IN THAT 14 FT. DEDUCT 2 FT. FOR EACH ADDITIONAL 90 DEG. BEND IN EXCESS OF 2. CMC 504.4.2.1.

LEGEND:

- DENOTES (N) WALL
- DENOTES (E) WALL OPENING TO BE FILLED
- DENOTES (E) WALL
- DENOTES DEMOLITION

LEGEND:

- SAFETY GLAZING (TEMPERED WINDOWS)
- REPL. REPLACED (N) WINDOW THE SAME SIZE (E) WINDOW

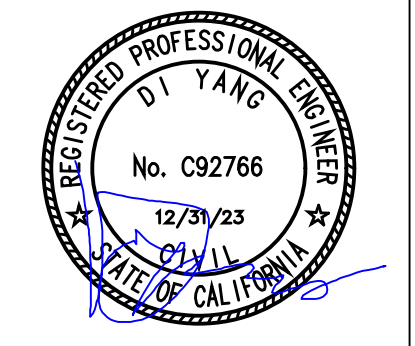


KEY PLAN
PROPOSE SPORT COURT FLOOR PLAN 2
 NO SCALE

PROPOSE SPORT COURT FLOOR PLAN 1
 SCALE 3/16"=1'-0"



SOUTHBAY STRUCTURE
 3150 ALMADEN EXPY, STE 214
 SAN JOSE, CA 95118-1253
 TEL (408) 888-7836



ADDITION
 15881 GLEN UNA DR,
 LOS GATOS, CA 95030

PROPOSED FLOOR PLAN
 SHEET NAME:

DATE: 10/06/23
 JOB NO. SS23903
 ISSUE & REVISION

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SHEET NO.
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**SOUTHBAY
STRUCTURE**

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ADDITION
15881 GLEN UNA DR,
LOS GATOS, CA 95030

SHEET NAME:
ROOF PLAN

DATE: 10/06/23

JOB NO. SS23903

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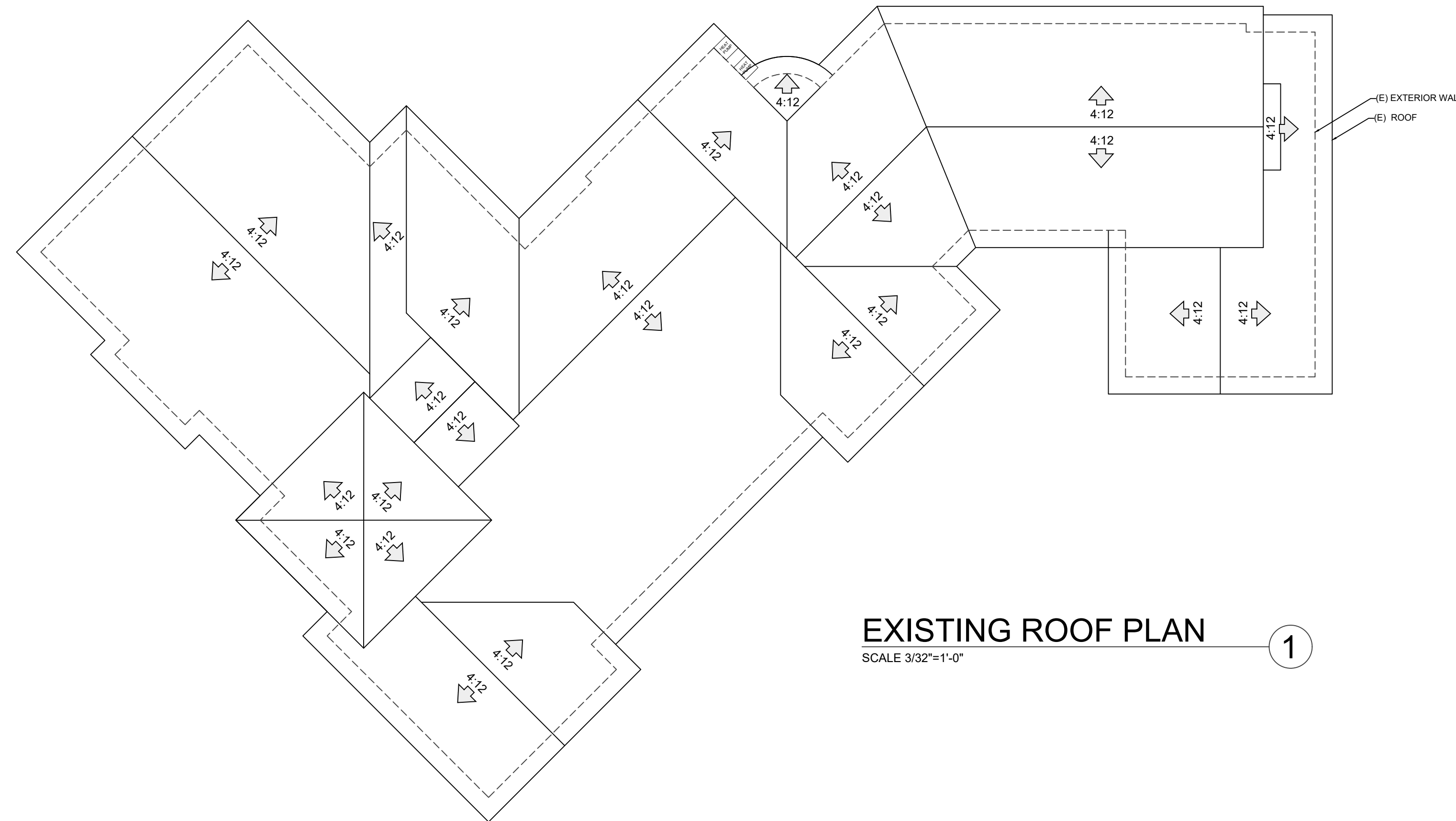
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DRAWN BY: THANH TRAN



GENERAL NOTES:

- ROOF COVERING ASSEMBLIES SHALL BE AN ICC-ES OR UL LISTED CLASS "A" FIRE-RESISTIVE COMPLYING WITH ASTM E109 OR UL 790.
- ALL 'FLAT' / BUILT-UP ROOF AREAS TO BE A MIN. 1/4" : 12" PITCH; MFG: GAF, CLASS "A" BUILT-UP ROOF, #90 MINERAL CAP (HOT MOPPED) OVER 2 LAYERS #30 FELT UNDERLAYMENT. (ASTM #D-3909)
 - SEE PLAN FOR SPECIFIED ROOF PITCH.
 - SEE PLAN FOR ROOFING MATERIAL SPECIFICATION.
 - INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS.
 - PROVIDE 1x6 (MIN.) "STARTER BOARD" AT ALL EXPOSED EAVE.
 - MIN. OF 1" AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING.
 - THE ROOF TILE IN THE PROJECT SHALL QUALIFY COOL ROOF REQUIREMENT

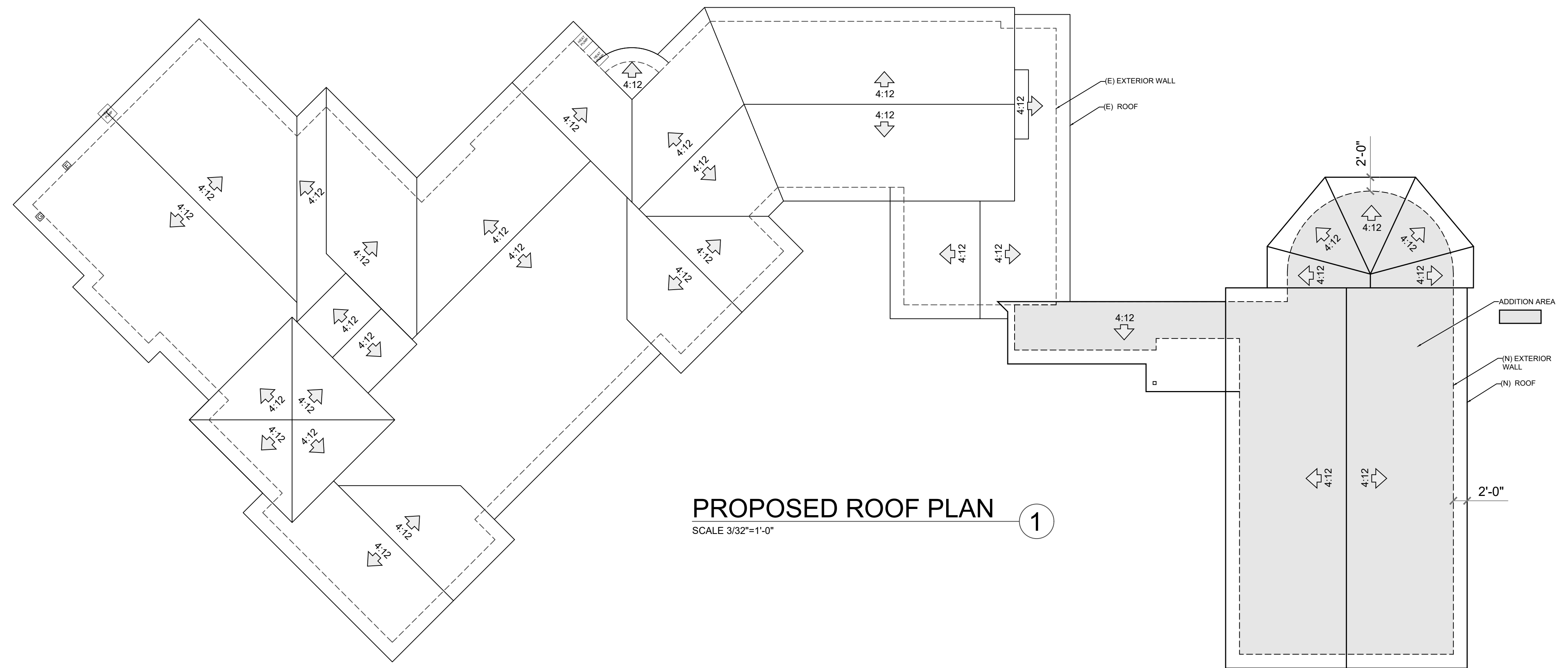
NOTE: MINIMUM CLASS C ROOF ASSEMBLY FOR NEW CLAY ROOFING. [CRC SECTION R902.1.3]

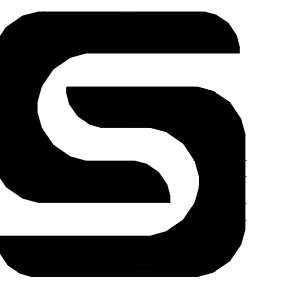
Rated Product ID #: 1350-0001			
		Initial	Aged
	Solar Reflectance	0.79	0.68^{ac}
	Thermal Emittance	0.88	0.89^{ac}

The ratings above are subject to CRRC rating program conditions, requirements and limitations. Visit coolroof.org for important information and disclosures about CRRC rating conditions, requirements and limitations.

ROOF VENT CALCULATION:

NEW ROOF AREA: 2103 S.F.
 REQUIRED VENTILATION: 2103 S.F. + 150 = 14.02 S.F.
 CONVERT TO SQ.IN.: 16 X 144 = 2018 SQ.IN.
 PROPER ROOF VENTILATION CONSISTS OF 50% AIR EXHAUST AND 50% AIR INTAKE.
 TOTAL RIDGE OR OFF RIDGE VENTS: 2018 / 2 = 1009 SQ.IN.
 PROVIDED VENTILATION:
 • INTAKE VENT: 1009 SQ.IN. NET FREE AREA ROOF GABLE VENT, 20"X30"
 2 VENTS PROVIDING 1009 SQ.IN. EACH = 2 X 600 = 1200 SQ.IN.
 • EXHAUST VENT: 150 SQ.IN. NET FREE AREA SLANT BACK ROOF LOUVER (W22" X D25" X H 4")
 7 VENTS PROVIDING 150 SQ.IN. EACH = 7 X 150 = 1050 SQ.IN.
 1200 + 1050 = 2250 SQ.IN. PROVIDED > 2018 SQ.IN. REQUIRED IS OK





**SOUTHBAY
STRUCTURE**

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ADDITION
15881 GLEN UNA DR.,
LOS GATOS, CA 95030

SHEET NAME:
EXISTING ELEVATIONS

DATE: 10/06/23

JOB NO. SS23903

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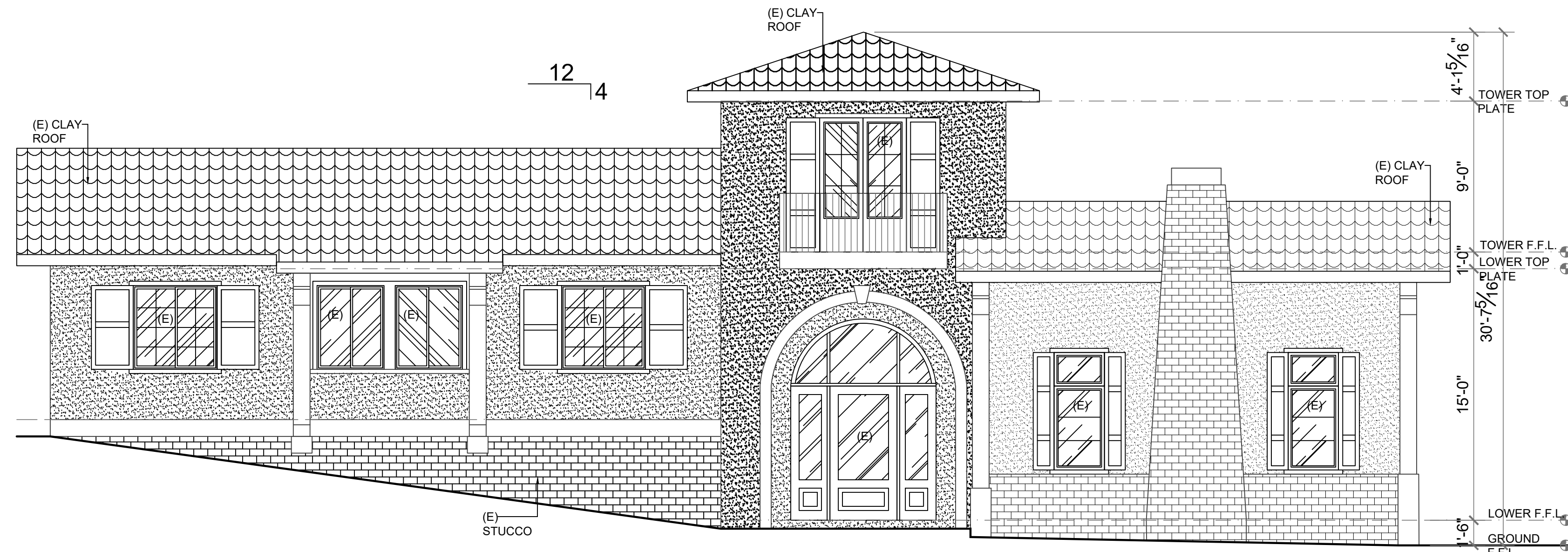
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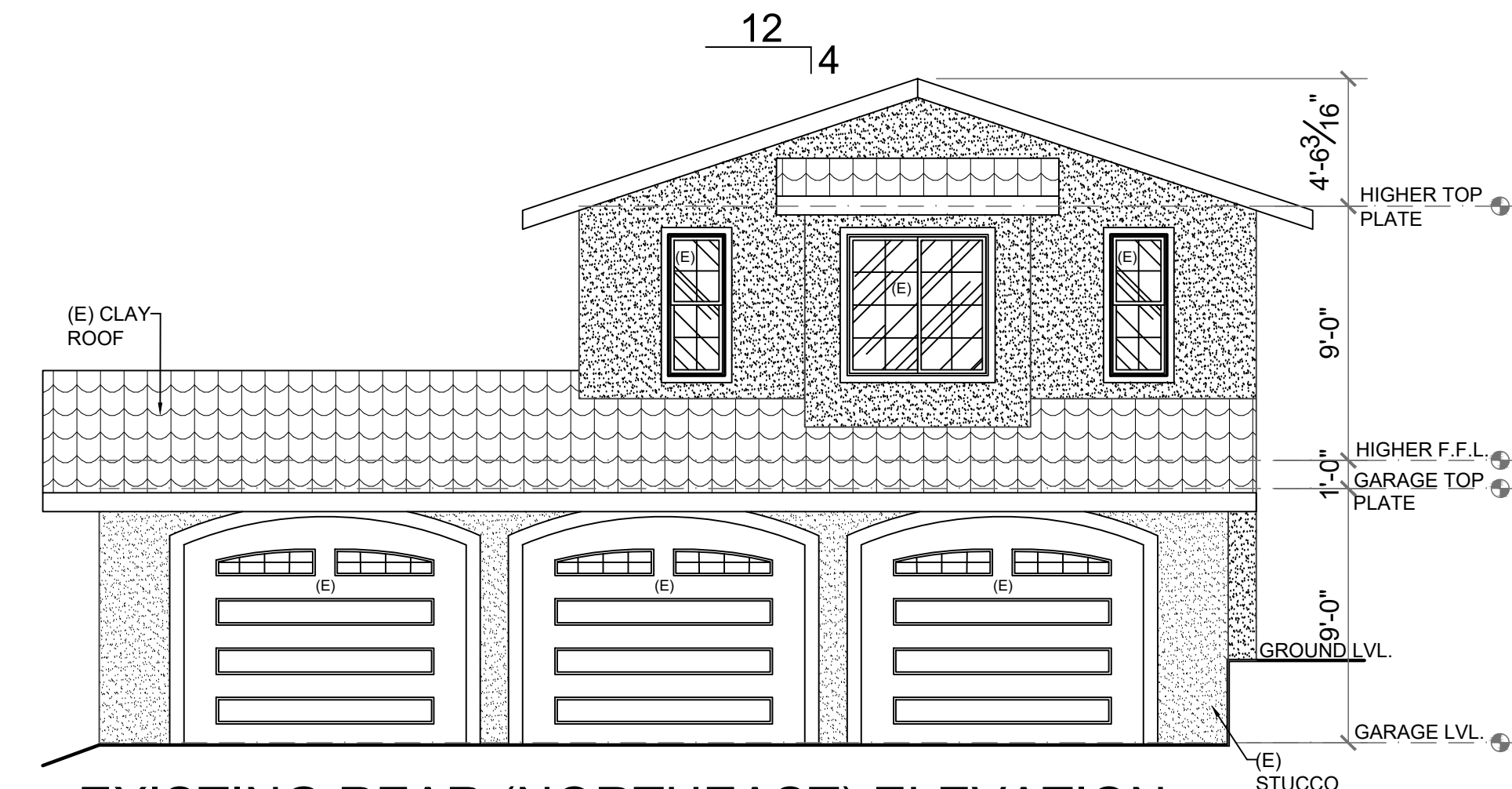
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EXISTING FRONT (SOUTH) ELEVATION

SCALE 3/16"=1'-0"

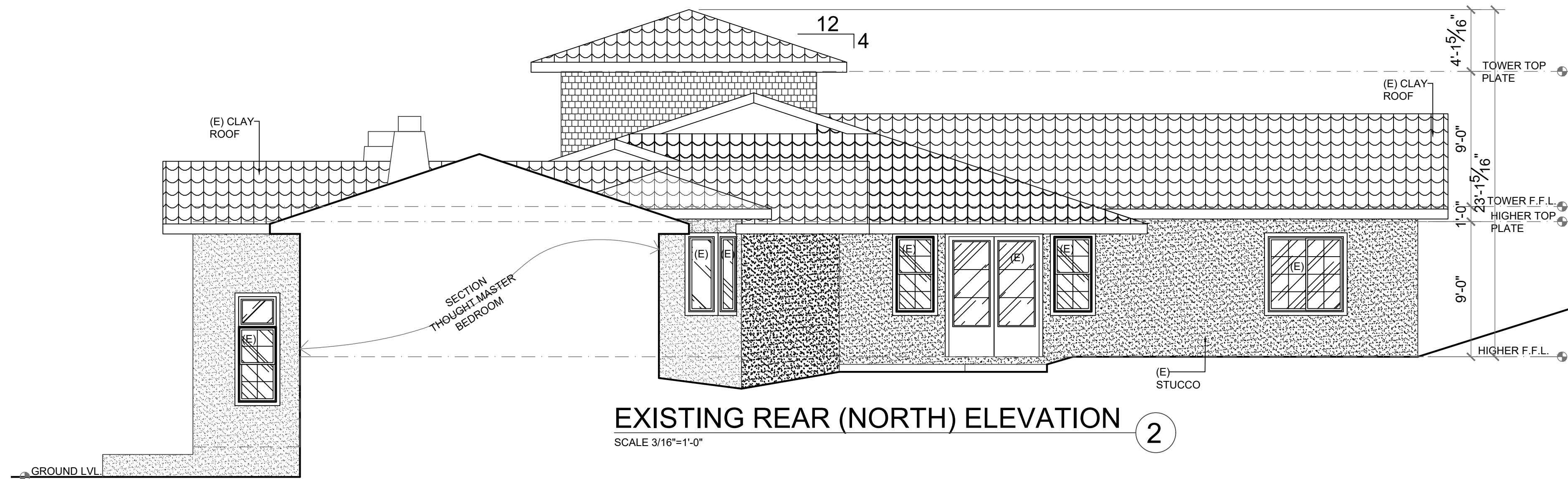
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EXISTING REAR (NORTHEAST) ELEVATION

SCALE 3/16"=1'-0"

3



EXISTING REAR (NORTH) ELEVATION

SCALE 3/16"=1'-0"

2



**SOUTHBAY
STRUCTURE**

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LOS GATOS, CA 95030

EXISTING ELEVATIONS

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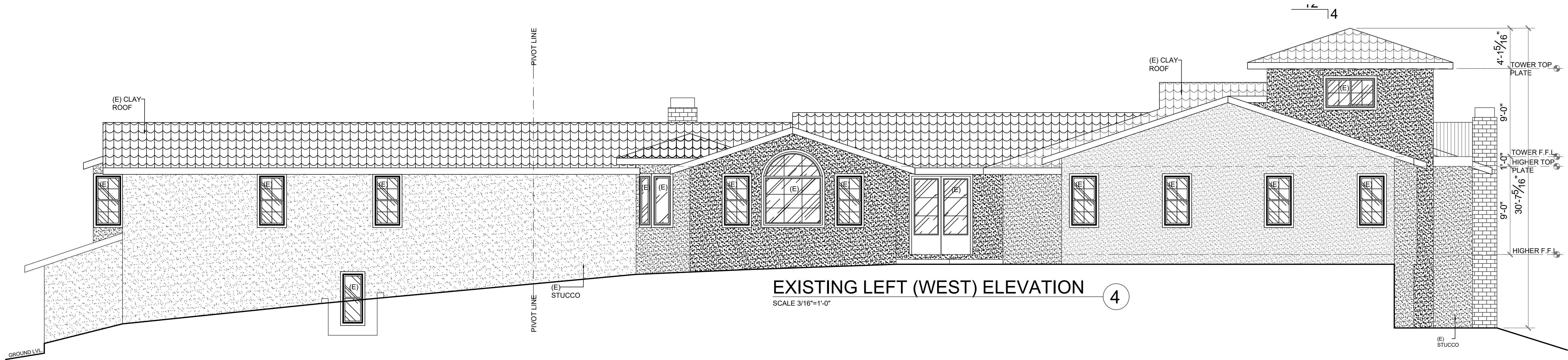
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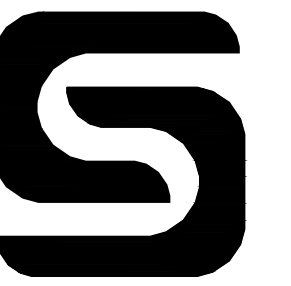
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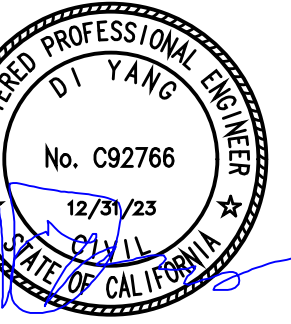
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**SOUTHBAY
STRUCTURE**

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TEL (408) 888-7836



ADDITION
15881 GLEN UNA DR.,
LOS GATOS, CA 95030

PROPOSED ELEVATIONS

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DOOR SCHEDULE

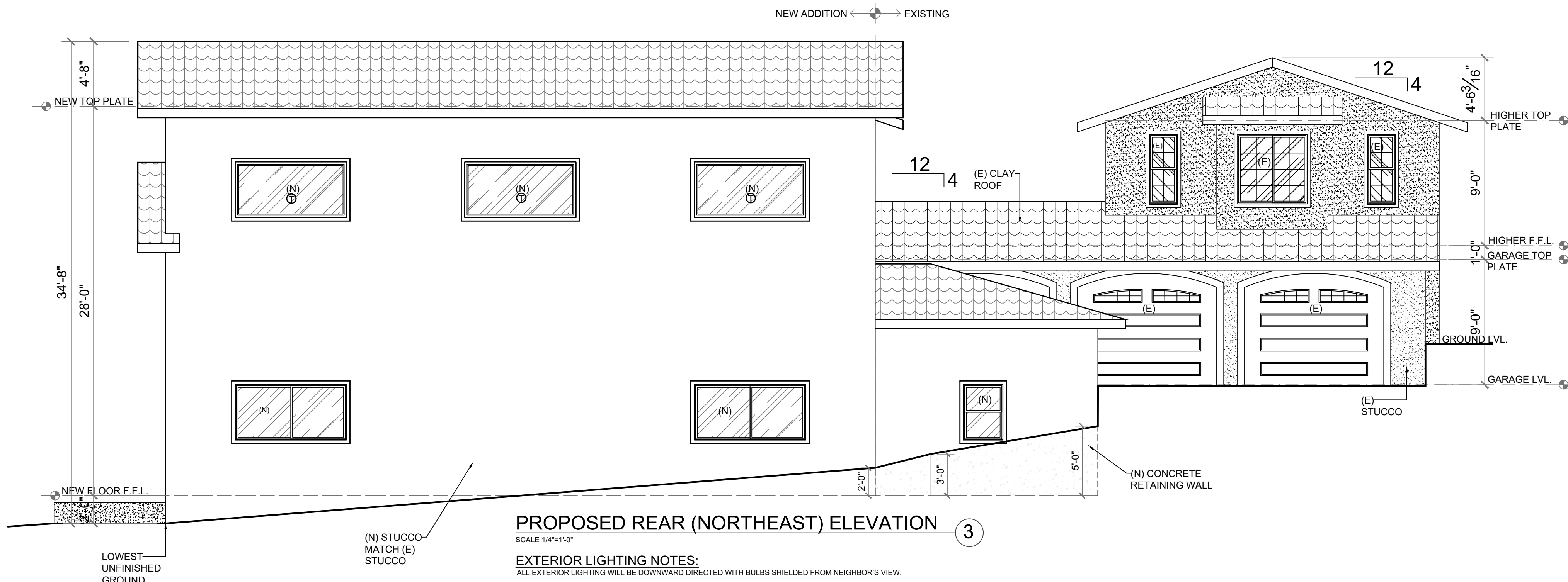
SCALE 1/4"=1'-0"

NO.	DESCRIPTION	COUNT	WIDTH	HEIGHT	LOCATION	COMMENTS
1	DOOR W/ 2 SIDELIGHTS	1	10'-0"	8'-0"	CORRIDOR	TEMPERED GLAZING
2	SLIDING DOOR	1	10'-0"	8'-0"	CORRIDOR	TEMPERED GLAZING
3	DOOR	1	3'-0"	8'-0"	CORRIDOR	
4	DOUBLE DOOR	1	6'-0"	8'-0"	BASKETBALL COURT	TEMPERED GLAZING
5	DOUBLE DOOR	1	6'-0"	8'-0"	BASKETBALL COURT	TEMPERED GLAZING
6	DOOR	2	2'-8"	8'-0"	BATH 6, MULTIPURPOSE ROOM/ STORAGE	
7	DOOR	2	2'-4"	8'-0"	BATH 6	
8	DOOR	1	2'-6"	8'-0"	BATH 6	

WINDOW SCHEDULE

SCALE 1/4"=1'-0"

NO.	DESCRIPTION	COUNT	WIDTH	HEIGHT	LOCATION	COMMENTS
1	HUNG WINDOW	1	3'-0"	4'-0"	MULTIPURPOSE ROOM/ STORAGE	TEMPERED GLAZING
2	SLIDING WINDOW	1	6'-0"	4'-0"	CORRIDOR	TEMPERED GLAZING
3	SLIDING WINDOW	3	8'-0"	4'-0"	BASKETBALL COURT	TEMPERED GLAZING
4	UPPER FIXED WINDOW	6	8'-0"	4'-0"	BASKETBALL COURT	TEMPERED GLAZING
5	UPPER FIXED WINDOW	1	4'-0"	4'-0"	BASKETBALL COURT	TEMPERED GLAZING
6	LOWER FIXED WINDOW	2	2'-6"	8'-0"	BASKETBALL COURT	TEMPERED GLAZING
7	UPPER FIXED WINDOW	1	12'-6"	9'-10"	BASKETBALL COURT	TEMPERED GLAZING

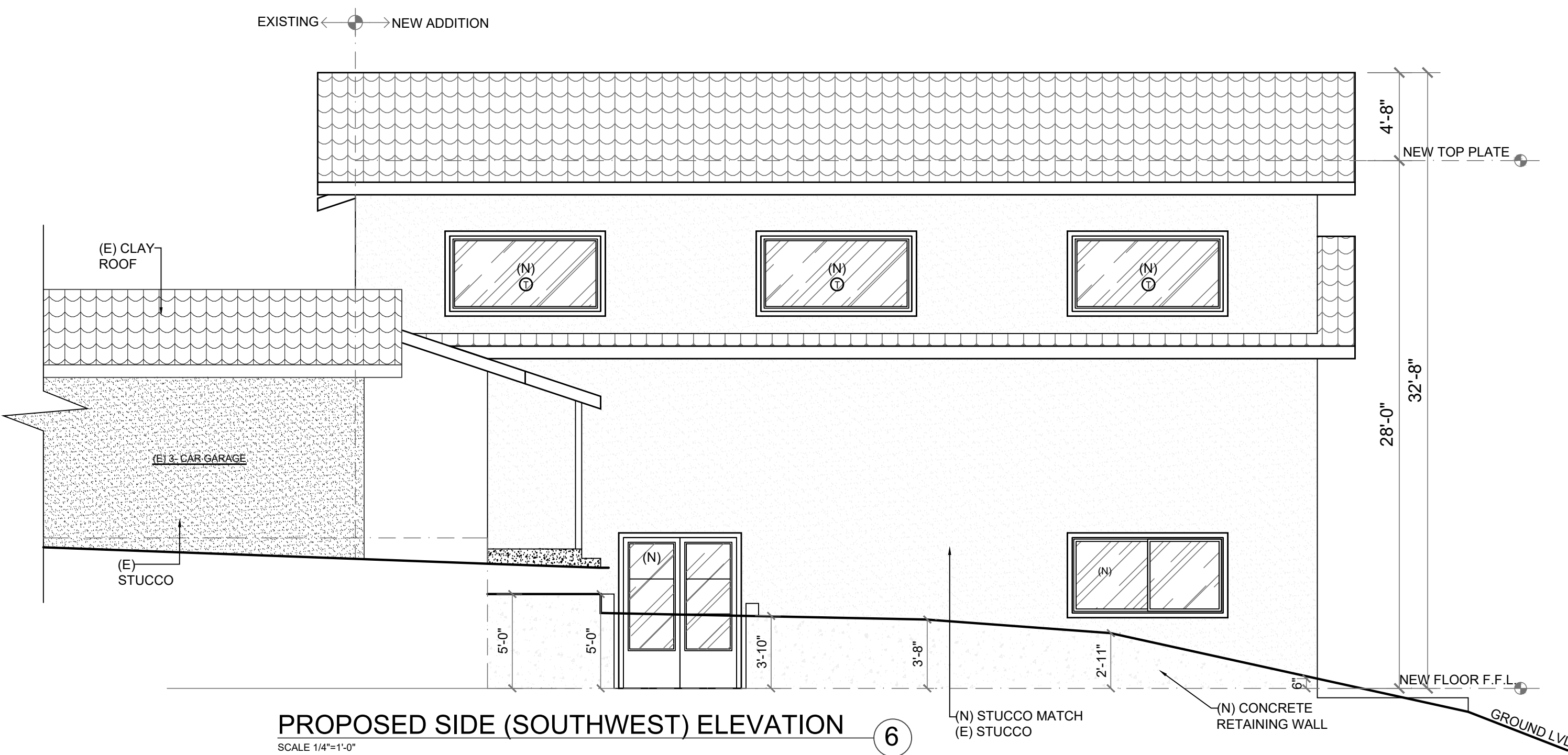


PROPOSED REAR (NORTHEAST) ELEVATION

SCALE 1/4"=1'-0"

EXTERIOR LIGHTING NOTES:
ALL EXTERIOR LIGHTING WILL BE DOWNWARD DIRECTED WITH BULBS SHIELDED FROM NEIGHBOR'S VIEW.

NOTE: MINIMUM CLASS C ROOF ASSEMBLY FOR NEW COMPOSITION SHINGLE ROOFING. [CRC SECTION R902.1.3]



PROPOSED SIDE (SOUTHWEST) ELEVATION

SCALE 1/4"=1'-0"

WINDOW - DOOR NOTES:

- WINDOWS: CERTIFIED AND LABELED PER THE UNIFORM BUILDING CODE, WEATHERS TRIPPED WITH DOUBLE GLAZED. FENESTRATION SHALL BE LOW E AND DUAL PANE. 0.2 SHGC & 0.28 U-FACTOR
- EMERGENCY EGRESS WINDOWS SHALL HAVE A MINIMUM OF 5.0 SQUARE FEET OF CLEAR OPENING ON GRADE LEVEL FLOOR AND 5.7 SQUARE FEET ON SUBSEQUENT FLOORS, WITH A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES AND HEIGHT OF 24 INCHES. SILL HEIGHT NOT TO EXCEED 44" A.F.F. GLAZING SHALL BE TEMPERED IF:
 - LOCATED IN THE WILDLAND URBAN INTERFACE AREA.
 - LOCATED LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE WALKING SURFACE OF SHOWER/TUB/STEAM ROOMS, ETC.
 - LOCATED IN HAZARDOUS LOCATION AS INDICATED.
- PROVIDE FALL PREVENTION DEVICE IF THE OPENING IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE AND THE LOWEST PART OF THE CLEAR OPENING IS LESS THAN 24 INCHES ABOVE FINISHED FLOOR.
- SCREEN: FURNISH AND INSTALL SCREENS AT ALL OPENING.
- CAULK & FLASH AROUND ALL OPENINGS WITH NON HARDENING BUTYL TYPE CAULKING & SOFT FLASHING I.E. 15# FELT OR 3 OZ. SISALKRAFT PAPER.
- WINDOW SILL AT (ROOM LOCATION) IS EQUAL OR LESS THAN 24 INCHES ABOVE FINISH FLOOR AND MORE THAN 72" ABOVE GRADE WILL REQUIRE THE OPERABLE WINDOW WITH OPENING TO BE PROVIDED WITH:
 - OPERABLE WINDOW OPENING WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING.
 - OPERABLE WINDOWS ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICE BY MEANS OF VERTICAL OR HORIZONTAL RAILING.
 - OPERABLE WINDOWS SHALL BE MANUFACTURED WITH A WINDOW OPENING CONTROL DEVICES AND CAN BE RELEASE AFTER OPERATION ALLOWING THE WINDOW TO FULLY OPEN.
- TEMPORARY NFRC LABELS ON NEW WINDOWS AND EXTERIOR DOORS SHALL NOT BE REMOVED BEFORE INSPECTION BY ENFORCEMENT AUTHORITY.
- THE FOLLOWING OPENINGS SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED:
 - EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, INCLUDING DOORS BETWEEN THE HOUSE AND GARAGE, BETWEEN INTERIOR HVAC CLOSETS AND CONDITIONED SPACE, BETWEEN ATTIC ACCESS AND CONDITIONED SPACE, BETWEEN WALL SOLE PLATES AND THE FLOOR, EXTERIOR PANELS AND ALL SIDING MATERIAL.
 - OPENINGS FOR PLUMBING, ELECTRICITY, AND GAS LINES IN EXTERIOR AND INTERIOR WALLS, CEILINGS, AND FLOORS.
- WINDOWS ADJACENT TO AND WITHIN 24 INCHES OF EITHER EDGE OF A DOOR SHALL BE TEMPERED GLASS.
- ALL TRIMMERS SHALL MATCH & ALIGN WITH EXISTING.
- EXTERIOR STUCCO: 3/8" STUCCO TYPICAL OVER 2 LAYERS OF GRADE "D" BUILDING PAPER OVER MIN. 1/2" CDX PL WOOD, ACRYLIC FINISH COAT.
- PATIO DOORS: CERTIFIED AND LABELED PER THE UNIFORM BUILDING CODE, WEATHERSTRIPPED WITH DOUBLE GLAZED & TEMPER GLASS. FENESTRATION SHALL BE LOW E AND DUAL PAN 0.30 SHGC & 0.40 U-FACTOR.

EGRESS WINDOW REQUIREMENTS:

THE BOTTOM OF THE EGRESS WINDOW OPENING CANT EXCEED 44" FROM THE FINISHED FLOOR. THE MIN. EGRESS WINDOW OPENING HEIGHT IS 24" HIGH. THE MIN. EGRESS WINDOW OPENING IS 20" WIDE. THE MIN. OPENING AREA OF THE EGRESS WINDOW IS 5.7 SQ. FT.

ABBREVIATIONS DOOR:

DR.	DOOR
F OR FX	FIXED PANE
FRM	FRAME
FR.	FRENCH
SL.	SLIDING
BP.	BYPASS
BR.	BARN
BF.	BIFOLD

6'0" X 6'8" SL. DR. (Diagram showing width and height in feet and inches)

ABBREVIATIONS WINDOW:

W.	= WINDOW
C., CS.	= CASEMENT
DH.	= DOUBLE HUNG
H.	= SINGLE HUNG
F. F.X., FIX	= FIXED PANE
FRM	= FRAME
S.	= SLIDING

6'0" X 4'0" SH. DR. (Diagram showing width and height in feet and inches)

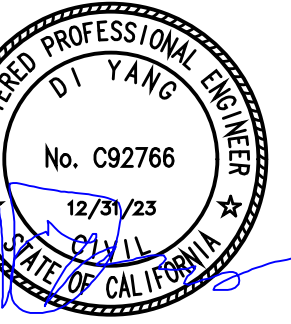
LEGEND:

- ① TEMPERED GLAZING
- REPL. REPLACED (N) WINDOW THE SAME SIZE (E) WINDOW
- Ⓞ EMERGENCY EGRESS WINDOW



**SOUTHBAY
STRUCTURE**

3150 ALMADEN EXPY, STE 214
SAN JOSE, CA 95118-1253
TEL (408) 888-7836



ADDITION
15881 GLEN UNA DR,
LOS GATOS, CA 95030

PROPOSED ELEVATIONS

SHEET NAME:

DATE: 10/06/23

JOB NO. SS23903

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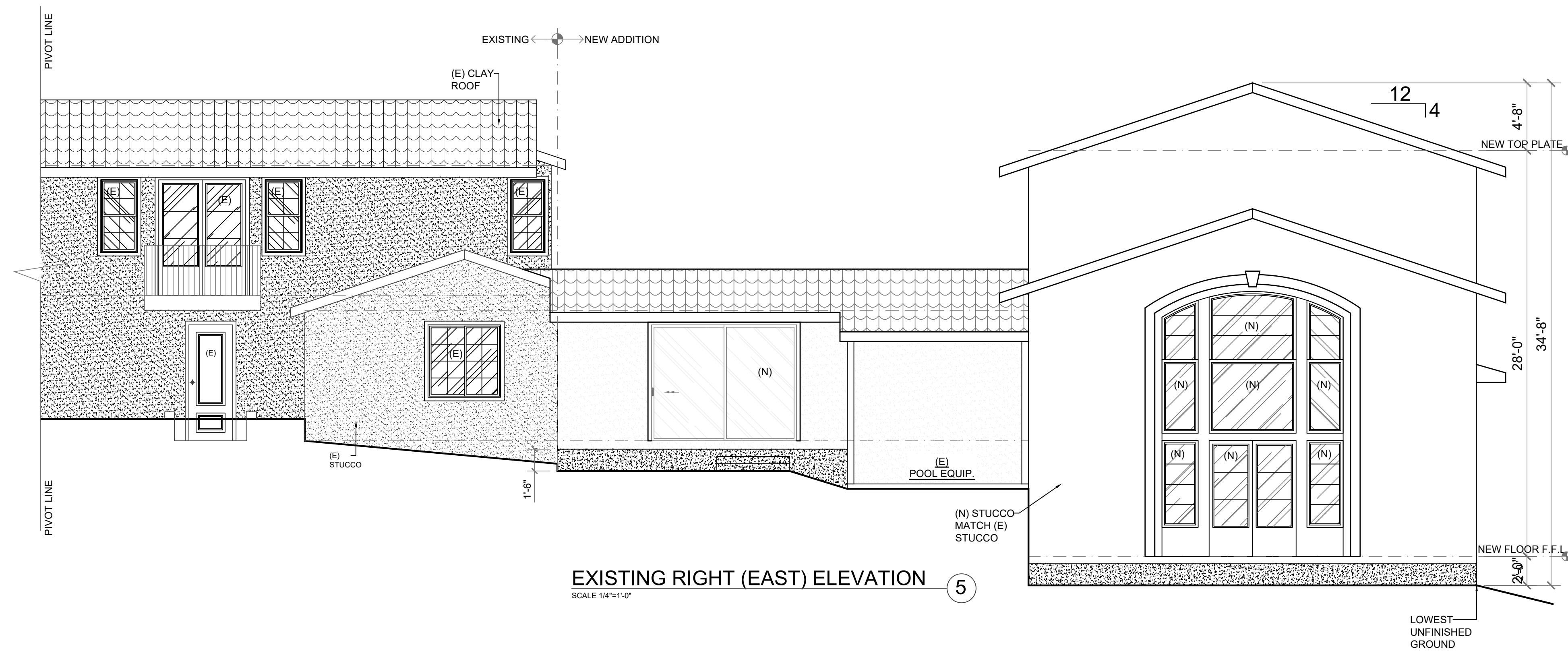
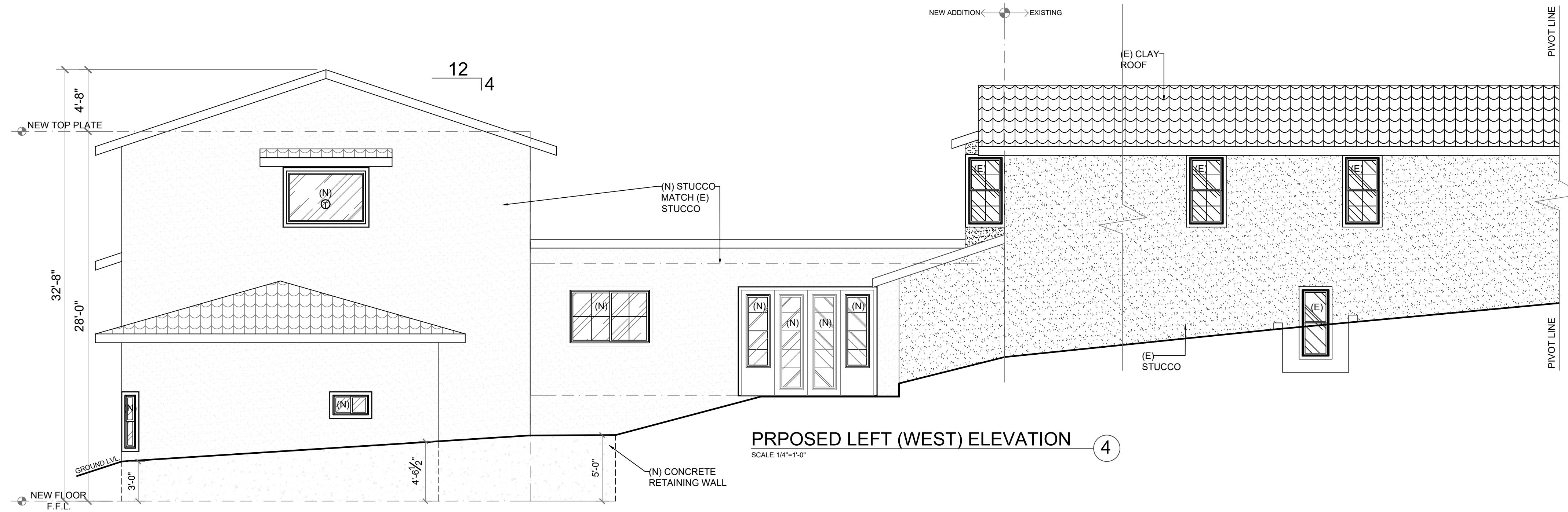
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ADDITION
15881 GLEN UNA DR,
LOS GATOS, CA 95030

SHEET NAME:
CROSS SECTION

DATE: 10/06/23

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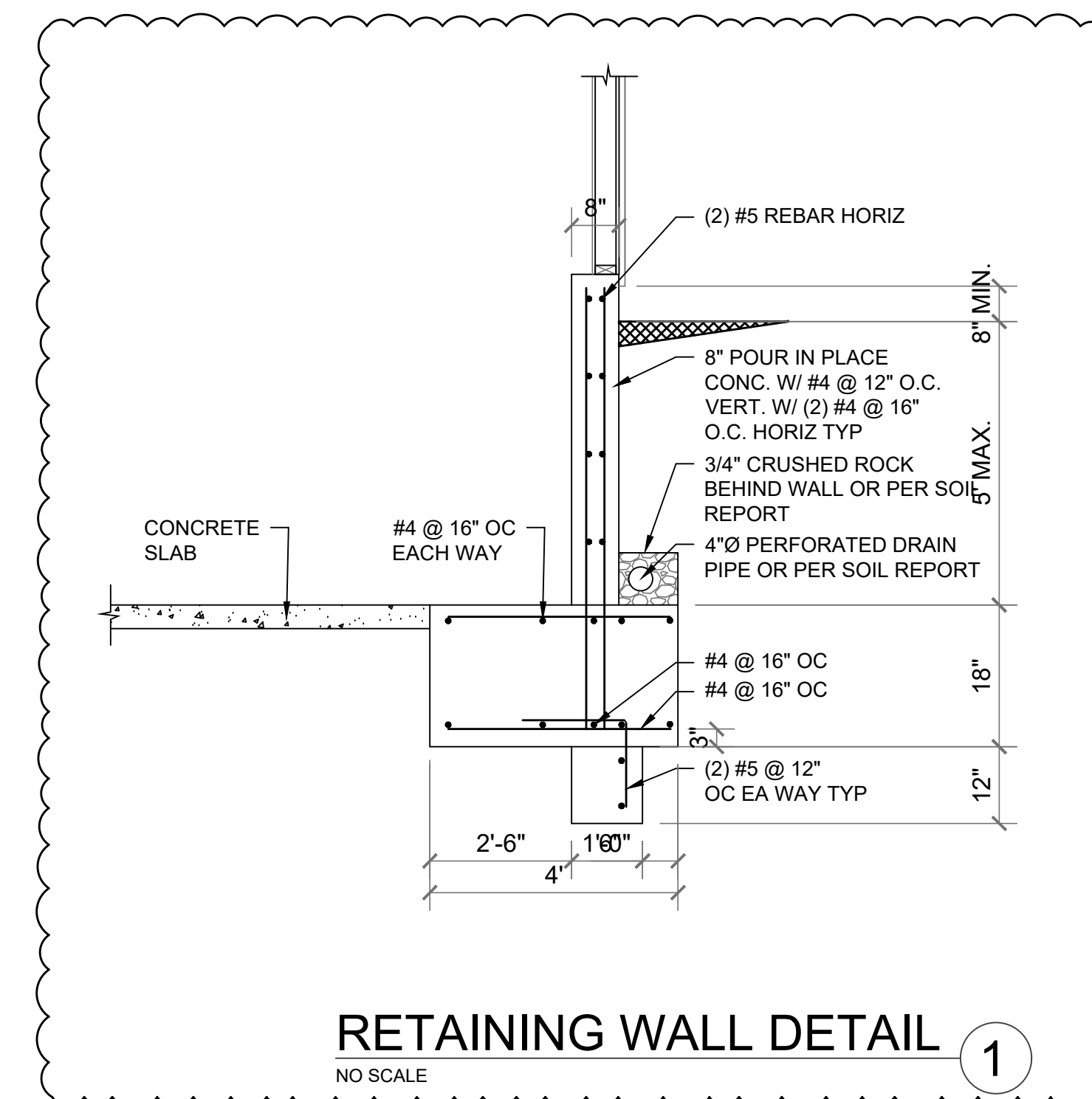
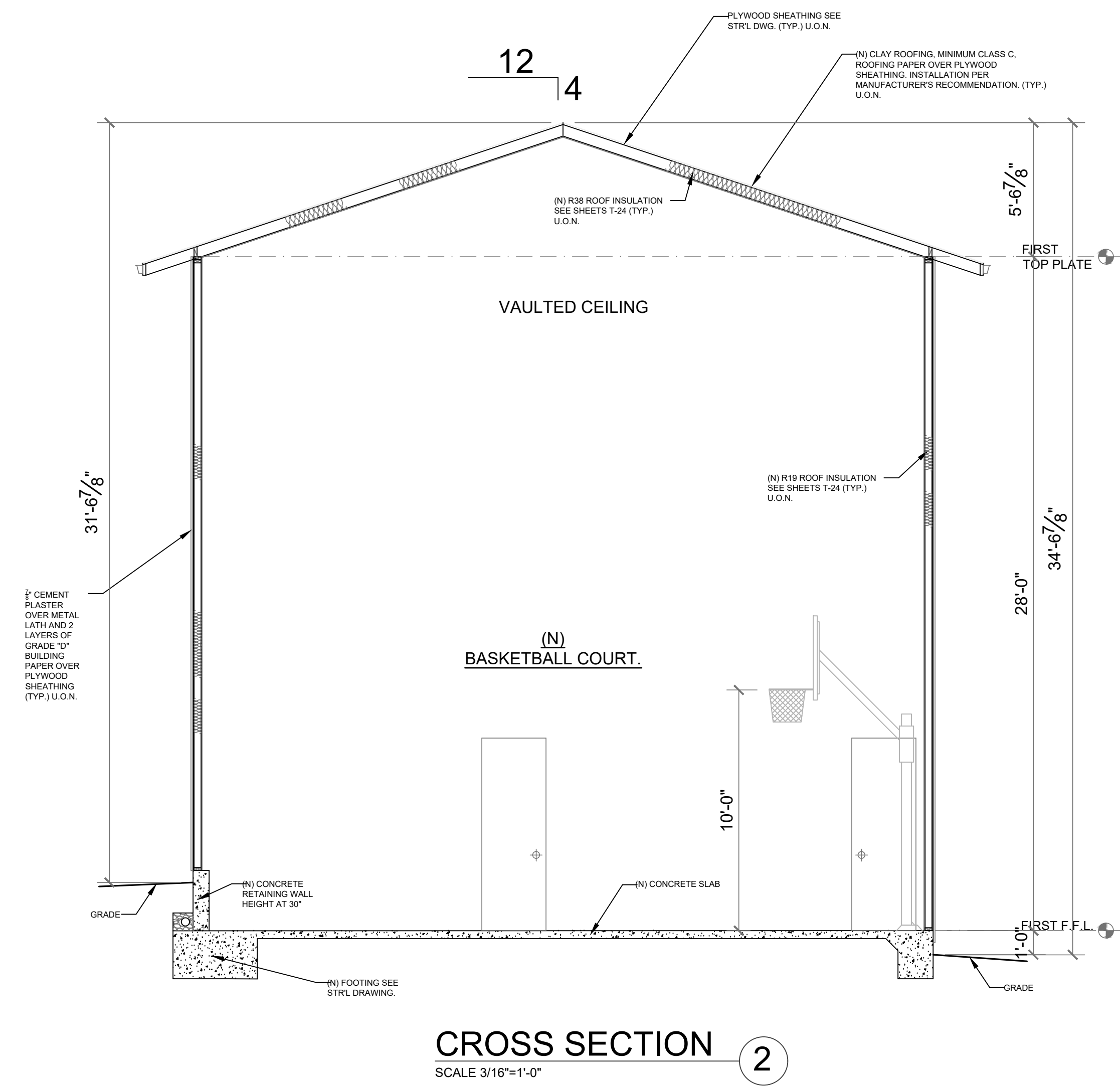
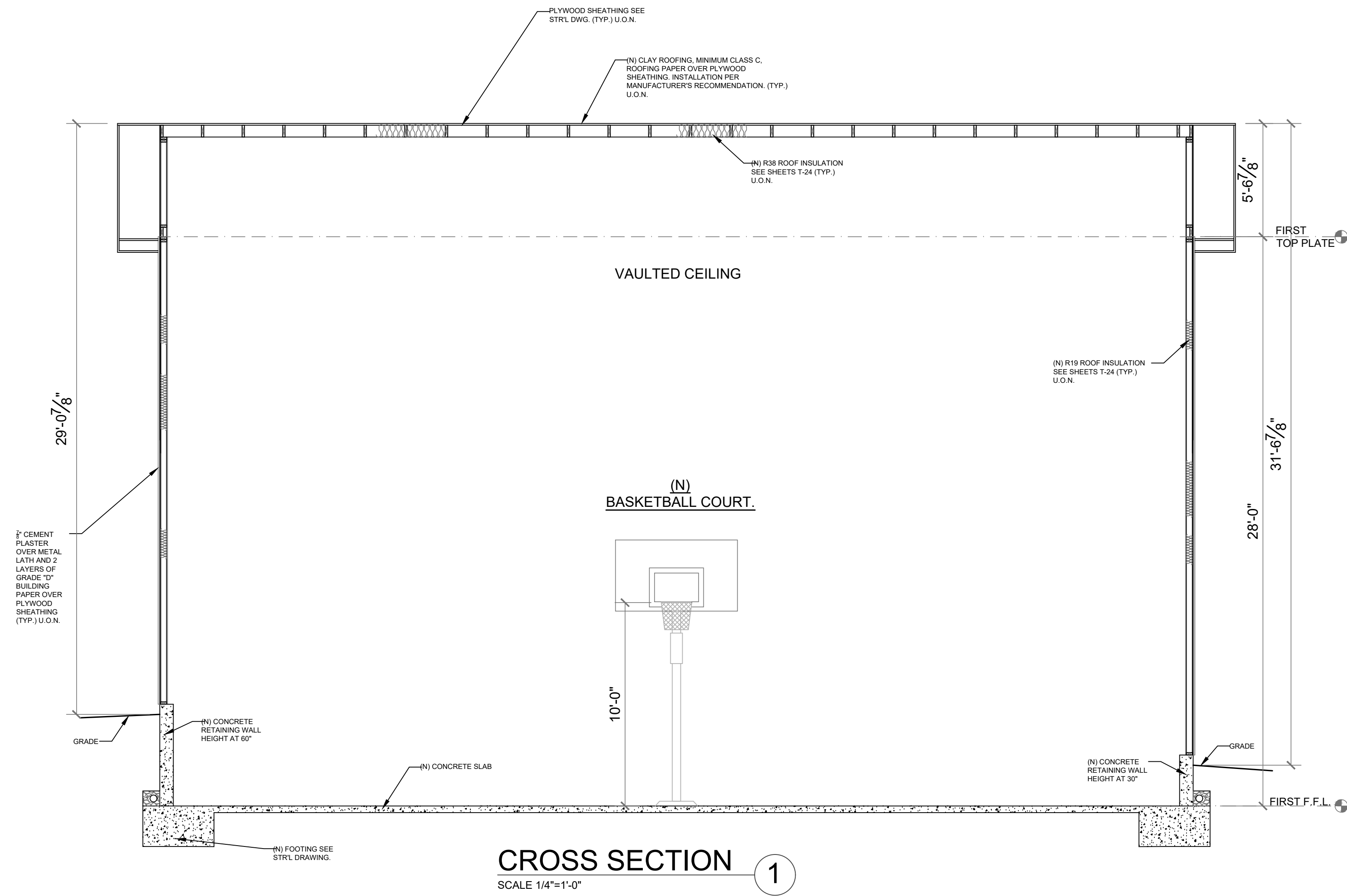
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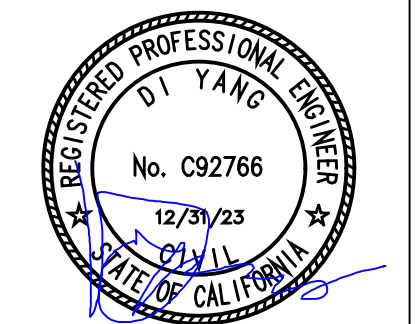


2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)



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SAN JOSE, CA 95118-1253
TEL (408) 888-7836



ADDITION
15881 GLEN UNA DR,
LOS GATOS, CA 95030

SHEET NAME:
CAL GREEN

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DRAWN BY: THANH TRAN

CHAPTER 3 GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by the code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

Exceptions:

- [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.
- [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:

HCD Department of Housing and Community Development
BSC California Building Standards Commission
DSA-SS Division of State Architect Structural Safety
OSHPD Office of Statewide Health Planning and Development
LR Low Rise
HR High Rise
AA Additions and Alterations
N New

CHAPTER 4 RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS
4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 (and are included here for reference)

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar porous material used to collect or channel drainage or runoff water.

WATTLEs. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downdraw slope. Wattles are also used for perimeter silt control.

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

- Retention basins of sufficient size shall be utilized to retain storm water on the site.
- Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
- Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Swales
- Water collection and disposal systems
- French drains
- Water retention gardens
- Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 and 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

Exceptions:

- On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
 - 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.
 - 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.
- Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:

- When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.
- When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:

- Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:

- Construction documents shall show locations of future EV spaces.
- There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1 Location. EVCS shall comply with at least one of the following options:

- The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.
- The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:

- The minimum length of each EV space shall be 18 feet (5486 mm).
- The minimum width of each EV space shall be 9 feet (2743 mm).
- One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).

A surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements.

1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/or subpanel shall have a 40-ampere minimum branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2. Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on ampereage of installed or future receptacles or EVSE, raceway methods(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

4.106.4.2.4 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings. When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:

- Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL
4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outlets of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) of Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations) Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

PRODUCT CLASS	MAXIMUM FLOW RATE (gpm)
Product Class 1 (< 5.0 ozfl)	1.00
Product Class 2 (> 5.0 ozfl and < 8.0 ozfl)	1.20
Product Class 3 (> 8.0 ozfl)	1.28

Note: Title 20 Section 1605.3 (h)(4)(A). Commercial pre-rinse spray valves manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf) [113 grams-force (gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

- The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at <https://www.water.ca.gov/>.

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

- Excavated soil and land-clearing debris.
- Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
- The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in accordance with items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

- Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
- Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk moved (single stream).
- Identify diversion facilities where the construction and demolition waste material collected will be taken.
- Identify construction methods employed to reduce the amount of construction and demolition waste generated.
- Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE (LR). Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq. ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4.

Notes:

- Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
- Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following:
 - a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
 - b. Roof and yard drainage, including gutters and downspouts.
 - c. Space conditioning systems, including condensers and air filters.
 - d. Landscape irrigation systems.
 - e. Water reuse systems.
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- Information about state solar energy, and incentive programs available.
- A copy of all special inspections verifications required by the enforcing agency or its code.
- Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
- Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL
4.501.1 Scope. The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS
5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FFBE) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists or finger-jointed lumber, all as specified in California Code of Regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

COUNTY OF SANTA CLARA

GENERAL CONSTRUCTION SPECIFICATIONS

GENERAL CONDITIONS

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED

AND DATED

THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS,

2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS, IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER, THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.

2. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.

3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.

4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED, COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.

5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. 6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED. 7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR. 8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.

9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 86-18).

10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.

11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.

2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.

3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.

4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.

2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.

3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.

4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.

5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:

A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)

B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE

2. UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.

2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUTS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.

3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.

4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.

5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.

6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.

2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO A DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYPED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.

2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.

3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.

4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.

5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.

6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

Table with columns: LOCATION, CUT (C.Y.), FILL (C.Y.), VERT. DEPTH. Rows include BLDG, ACCESSORY STRUCTURE, POOL/HARDSCAPE, LANDSCAPE, DRIVEWAY, OFF SITE IMPROVEMENTS, and TOTAL.

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.

EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.

8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.

9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%

10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.

11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.

12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.

13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICE.

14. TOTAL DISTURBED AREA FOR THE PROJECT _____ SF.

15. WDD NO. _____

16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:

A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES.

B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.

C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.

D. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT http://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.

2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROAD AND DRIVEWAY

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).

2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.

3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.

5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.

2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED UNDER A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

NOTICE TO CONTRACTORS

CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 800-277-2600 A MINIMUM OF 24 HOURS OF THE LOCATION OF UNDERGROUND UTILITIES.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.

2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.

3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.

4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.

5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.

6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.

7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.

8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.

9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.

- A. 15 MILES PER HOUR (MPH) SPEED LIMIT
B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAIN HOTLINE OF 1-800-334-6367.

10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.

11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.

12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.

13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.

14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.

15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.

16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.

17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

- A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.

18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.

19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY. PERMIT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004 / ORDER NO. 2013-0001-DWQ.

2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.

3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.

4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.

5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

SURVEY MONUMENT PRESERVATION

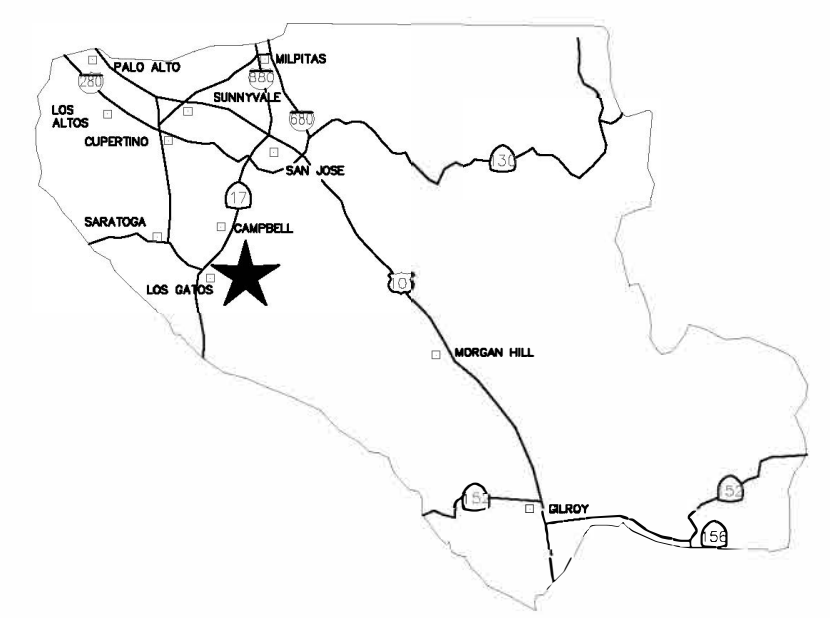
1. THE LANDOWNER/CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.

2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.

3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



VICINITY MAP NTS



COUNTY LOCATION MAP NTS

NEW IMPERVIOUS AREA

1. PRE DEVELOPMENT IMPERVIOUS AREA 23,596 SF
2. POST DEVELOPMENT IMPERVIOUS AREA 25,923 SF
DIFFERENCE: + 2,327 SF

* SEE SHEET 2 FOR DETAILS

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (___ WERE) (___ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (*). THERE (___ WERE) (___ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ

DATE SIGNATURE

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

SCOPE OF WORK

- 1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.
2. GRADE ADDITION
3. INSTALL DRAINAGE FACILITIES
4. GRADING IMPROVEMENTS

SHEET INDEX:

- SHEET C1: TITLE SHEET
SHEET C2: OVERALL SITE PLAN
SHEET C3: GRADING & DRAINAGE PLAN
SHEET C4: BUILDING CROSS SECTIONS
SHEET C5: EROSION CONTROL PLAN
SHEET C6: EROSION CONTROL DETAILS - 1
SHEET C7: EROSION CONTROL DETAILS - 2

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
ISSUED BY: DATE:
ENCROACHMENT PERMIT NO.

COUNTY OF SANTA CLARA
LAND DEVELOPMENT ENGINEERING & SURVEYING
GRADING / DRAINAGE PERMIT NO.
ISSUED BY: DATE:

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.



ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO
DATE SIGNATURE 47518 R.C.E. NO.

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE, OR ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR A DEPARTURE FROM) THE SPECIFICATIONS OR THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

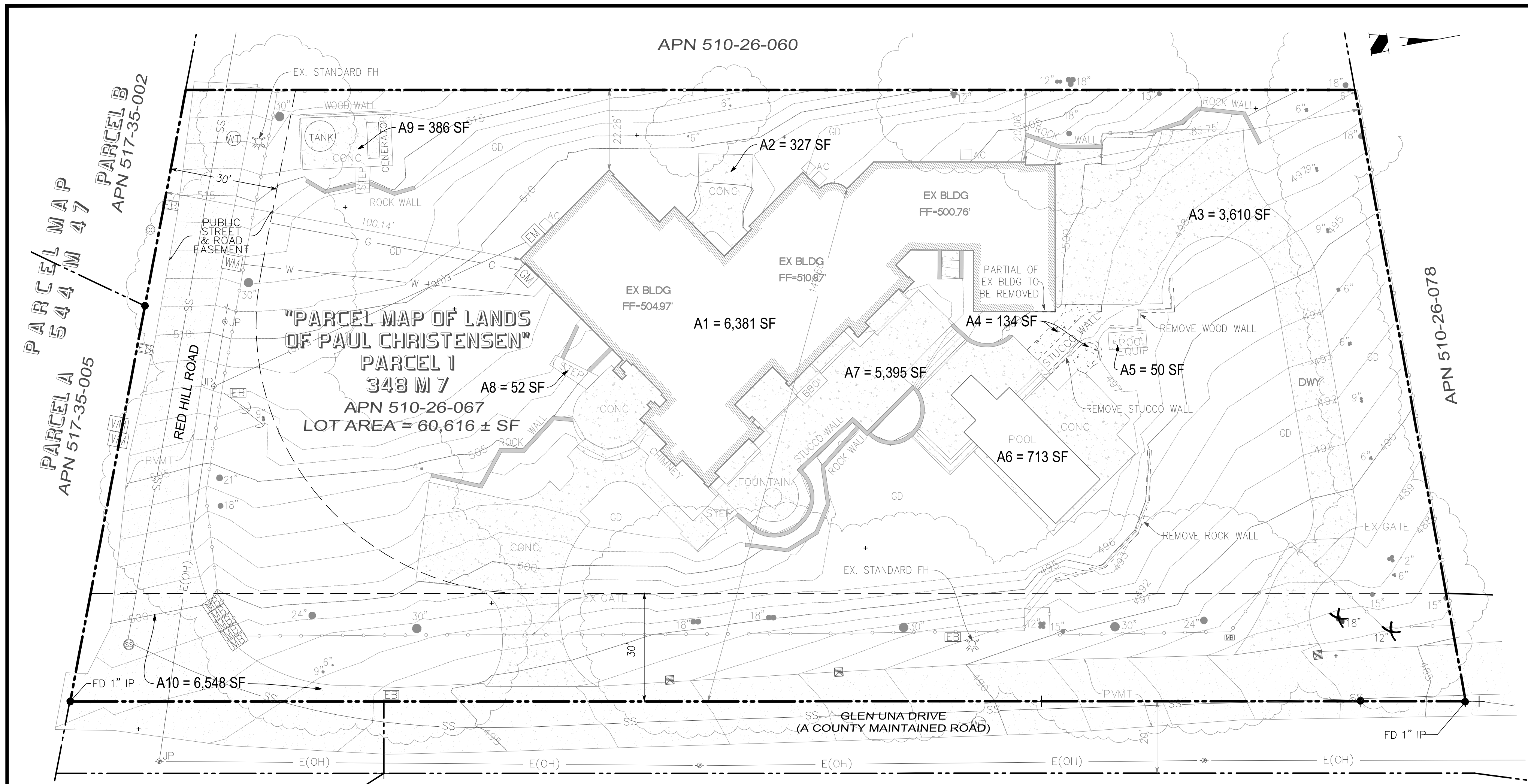
DATE CHRISTOPHER L. FREITAS
42107 3/31/2022
R.C.E. NO. EXPIRATION DATE

Vertical sidebar containing drawing information: TITLE SHEET, LANDS OF HAIPING ZHAO, 15861 GLEN UNA DR, APN 510-26-067, PROJECT NO., CONTRACT NO., DRAWING NO. C1, SHEET NO. 1 OF 7, FILE NO., LOS GATOS, California, 598 E Santa Clara St, Ste 270, San Jose, CA 95112, Phone: (408) 806-7187, and a table for REVISIONS.

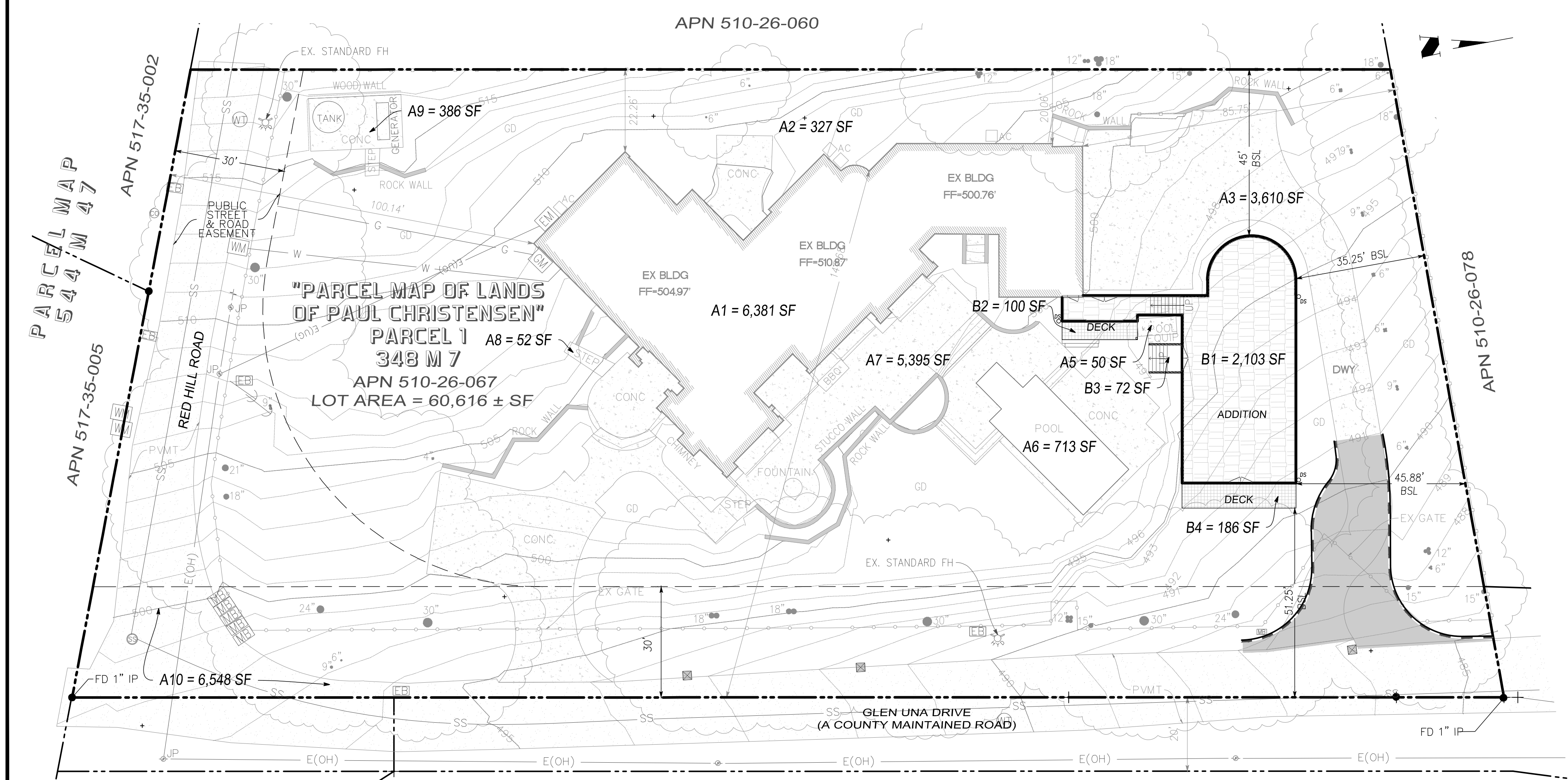
APPLICANT : HAIPING ZHAO

ROAD NAME : GLEN UNA DR

COUNTY FILE NO :



DEMOLITION PLAN



PROPOSED SITE PLAN

LEGEND

- ⊕ AREA DRAIN
- ⊕ BENCHMARK
- BOUNDARY
- CATCH BASIN
- COBBLE ROCK ENERGY DISSIPATOR
- CONCRETE
- 550 CONTOUR: EXISTING
- 550 CONTOUR: PROPOSED OR NEW
- 100.45 DESIGN GRADE
- DOWNSPOUT WITH SPLASHBLOCK
- DRAINAGE EMITTER
- DIVERSION VALVE
- BACKWATER VALVE
- DRAINAGE SWALE
- EASEMENT LINE
- EXISTING ELEVATION
- EXISTING FENCE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- FOUND IRON PIPE AT PROPERTY CORNER
- FIBER ROLLS
- GAS METER
- GAS VALVE
- GRADE TO DRAIN
- GUY POLE
- GUY WIRE ANCHOR
- HIGH POINT
- HYDRANT: EXISTING
- HYDRANT: PROPOSED OR NEW
- JOINT POLE
- LIGHTING
- LIGHTING POLE
- LOW POINT
- OVERLAND FLOW DIRECTION
- PGE BOX
- PROJECT SITE
- RETAINING WALL
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- EXISTING CONCRETE
- ITEM OR AREA TO REMAIN
- PROPOSED CONCRETE
- BUILDING
- LANDING
- DECK
- ⊕ SANITARY SEWER CLEAN OUT MANHOLE
- ⊕ SANITARY SEWER MANHOLE
- ⊕ STORM DRAIN MANHOLE
- ⊕ SUMP PUMP
- ⊕ TELEPHONE BOX
- ⊕ TELEVISION BOX
- ⊕ TEST PIT
- TOP OF FILL
- TOE OF FILL
- TOP OF CUT
- TOE OF CUT
- ⊕ TREE NUMBER
- T-VAULT
- UTILITY: EXISTING
- UTILITY: PROPOSED OR NEW
- WATER METER
- WATER VALVE
- ⊕ WELL
- ⊕ SECTION NUMBER
- ⊕ SHEET NUMBER

ABBREVIATIONS

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- AD AREA DRAIN
- AE ANCHOR EASEMENT
- BB BUBBLER BOX
- BLDG BUILDING
- BSL BUILDING SETBACK LINE
- BW BOTTOM OF WALL
- CG CENTERLINE
- CLF CHAIN LINK FENCE
- CO SANITARY SEWER CLEANOUT
- COP CURB OPENING
- CONC CONCRETE
- CSD COUNTY STANDARD DETAIL
- DE DRAINAGE EMITTER
- DI DRAINAGE INLET
- DS DOWNSPOUT
- DWY DRIVEWAY
- EA EASEMENT
- ELEV ELEVATION
- EGR EGRESS
- EM ELECTRIC METER
- E(OH) ELECTRIC OVERHEAD
- E(U)G ELECTRIC UNDERGROUND
- EP EDGE OF PAVEMENT
- EX EXISTING
- FC FACE OF CURB
- FD FOUND
- FF FINISH ELEVATION OF SUBFLOOR
- FG GROUND FINISH GRADE
- FH FIRE HYDRANT
- FL FLOW LINE
- G GARAGE SLAB ELEVATION
- G/S LINE GENERAL PUBLIC EASEMENT
- CPE LIGHTING
- CSB GRADING SETBACK
- GM GAS METER
- HP HI POINT
- INGR INGRESS
- INV INVERT
- LIP LIP OF GUTTER
- LS LANDSCAPED AREA
- MAX MAXIMUM
- MH MANHOLE
- MIN MINIMUM
- N&S NAIL AND SHINER
- NTS NOT TO SCALE
- OH OVERHEAD
- OG ORIGINAL GROUND
- P PAVEMENT FINISH GRADE
- PA PATIO
- PAD PAD ELEVATION
- P PROPERTY LINE
- PEE PEDESTRIAN EQUESTRIAN EASEMENT
- PERF PERFORATED
- PO PORCH
- PP POWER POLE PROP PROPOSED
- PSDE PRIVATE STORM DRAINAGE EASEMENT
- PSE PUBLIC SERVICE EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- PWMT PAVEMENT
- PVC POLYVINYL CHLORIDE
- R RADIUS
- RW RETAINING WALL
- REM REMOVE
- R/W RIGHT OF WAY
- SD STORM DRAIN
- SDE STORM DRAIN EASEMENT
- SE SLOPE EASEMENT
- SEP SLOPE EASEMENT PRIVATE
- SS SANITARY SEWER/LATERAL
- SSE SANITARY SEWER EASEMENT
- STA STATION
- STD STANDARD COUNTY DETAIL
- SW SIDEWALK
- TB TOP OF BANK
- TC TOP OF CURB
- TEMP TEMPORARY
- TOC TOP OF COVER
- TOE TOE OF BANK
- TF TOP OF GRATE
- TPF TREE PROTECTION FENCE
- TW TOP OF WALL
- TYP TYPICAL
- VG VALLEY GUTTER
- W WATER
- WCE WIRE CLEARANCE EASEMENT
- WLK WALKWAY
- WM WATER METER
- WOE WIRE OVERHANG EASEMENT
- WV WATER VALVE

PRE DEVELOPMENT IMPERVIOUS AREA

1. BLDG	6,381 SF
2. CONC PAD	763 SF
3. DRIVEWAY	3,610 SF
4. CONC WALK	5,529 SF
5. POOL	713 SF
6. CONC STEP	52 SF
7. STREET	6,548 SF
TOTAL :	23,596 SF

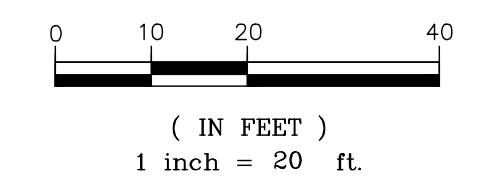
POST DEVELOPMENT IMPERVIOUS AREA

1. BLDG	6,381 SF
2. CONC PAD	763 SF
3. DRIVEWAY	3,610 SF
4. CONC WALK	5,395 SF
5. POOL	713 SF
6. CONC STEP	124 SF
7. STREET	6,548 SF
8. ADDITION	2,103 SF
9. DECK	286 SF
TOTAL :	25,923 SF

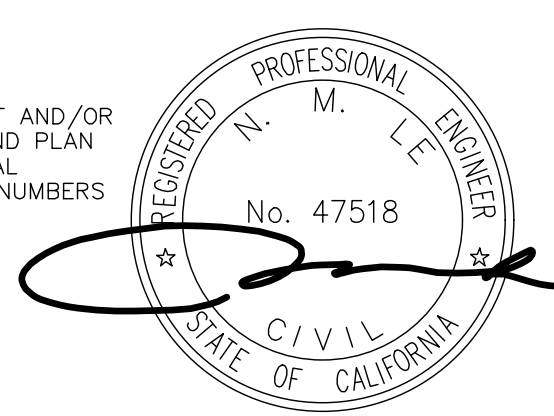
BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED ELEVATION OF 500.00' AT CONTROL POINT #1.

GRAPHIC SCALE



APPROVED FOR ISSUANCE REFER TO ENCROACHMENT AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL CONDITIONS AND PERMIT NUMBERS



03/19/2024	DATE	03/19/2024	DATE	03/19/2024	DATE	03/19/2024	DATE
DESIGNED	DATE	DRAWN	DATE	CHECKED	DATE	BY	DATE
VH	DATE	VH	DATE	NC	DATE	BY	DATE
NO.	REVISIONS	NO.	REVISIONS	NO.	REVISIONS	NO.	REVISIONS

ENGINEERING

596 E Santa Clara St, Ste 270
San Jose, CA 95112
Phone: (408) 806-7187

OVERALL SITE PLAN
LANDS OF HAIPING ZHAO
15881 GLEN UNA DR
APN 510-26-067

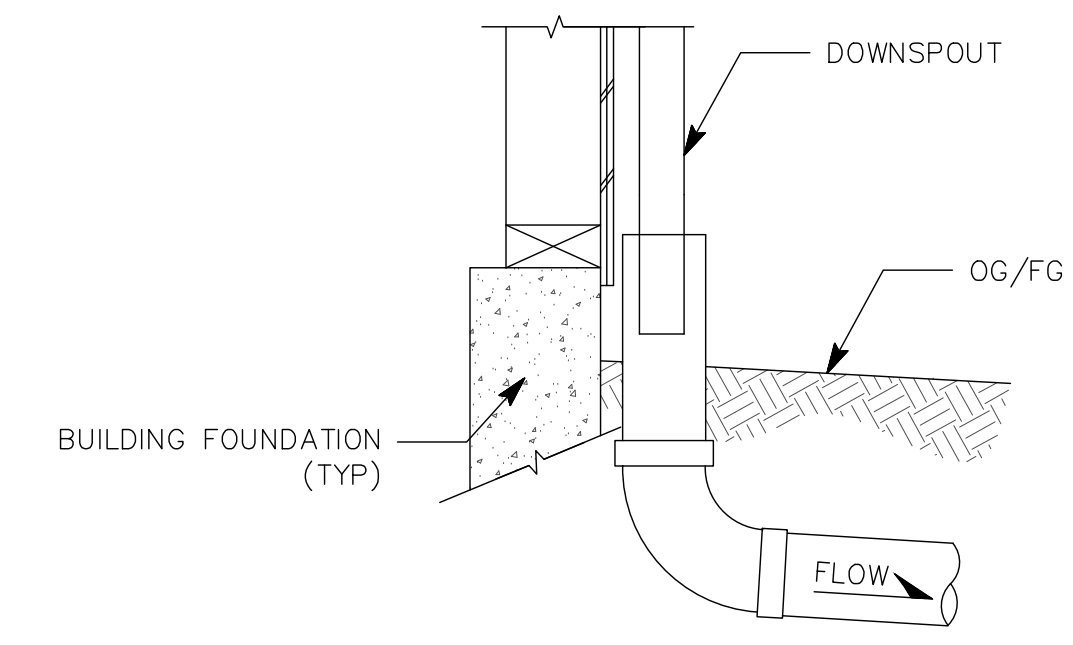
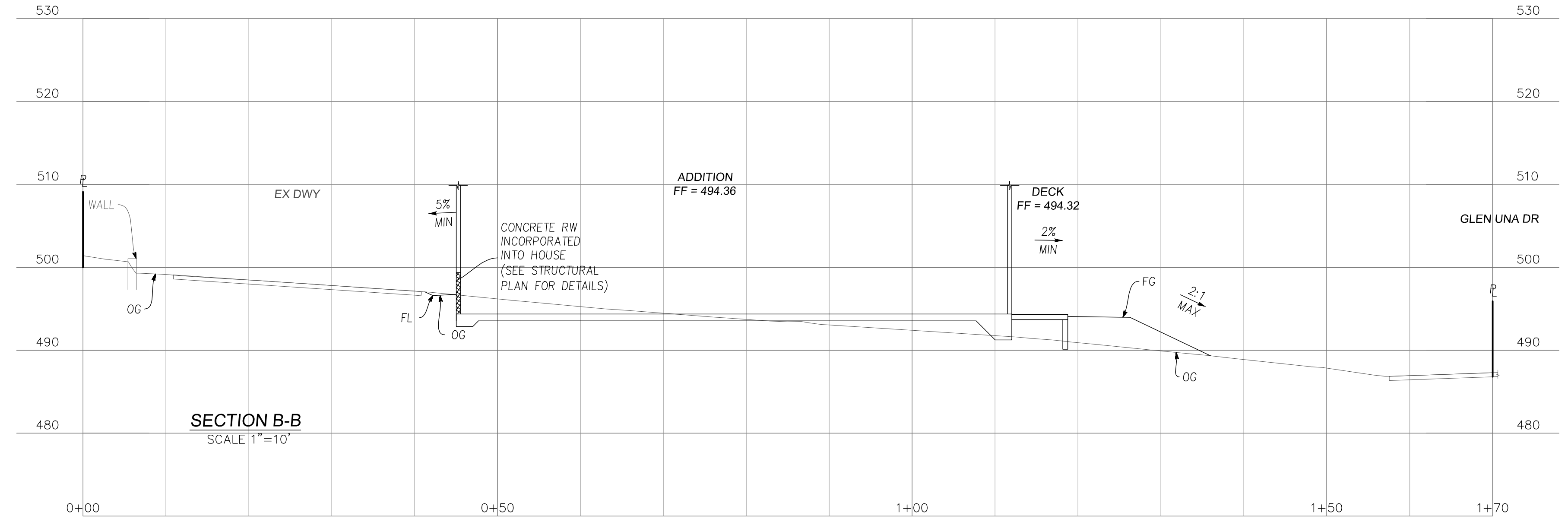
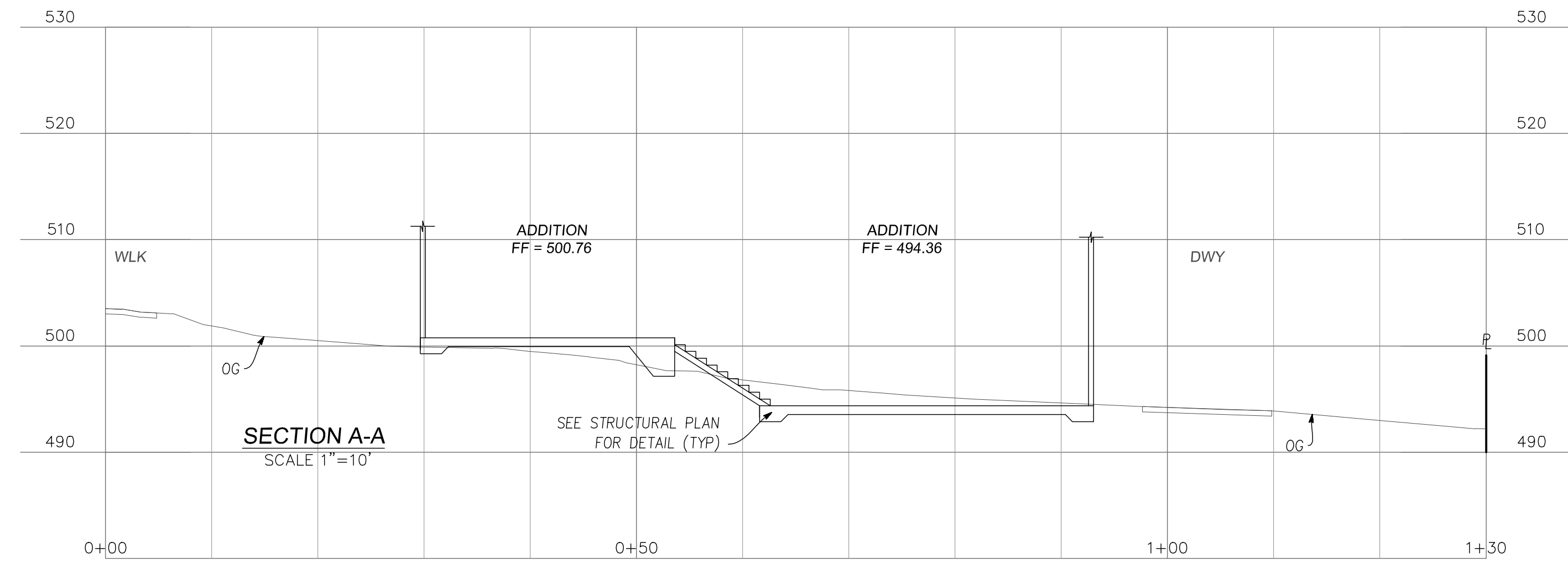
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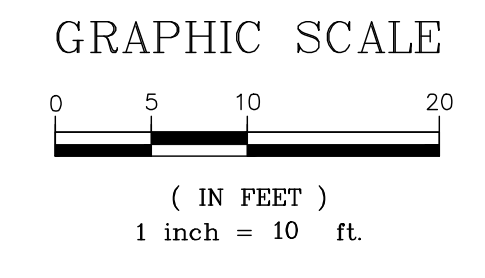
SHEET NO. 2 OF 7

PROJECT NO. LOS GATOS

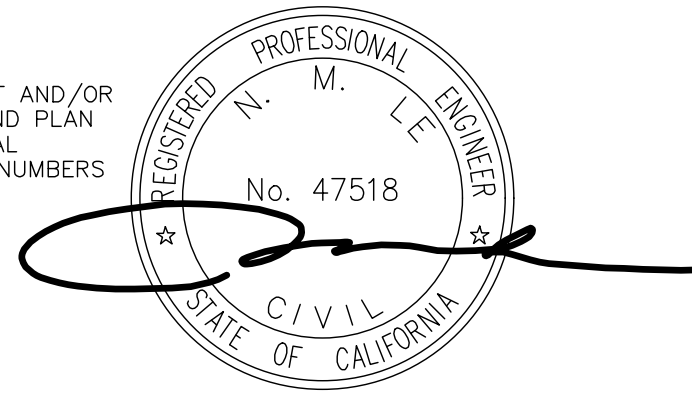
CONTRACT NO.



DOWNSPOUT TO CLOSED-PIPE DETAIL
NTS



APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS



DESIGNED		DATE	
DRAWN		DATE	
SCALE		DATE	
CHECKED		DATE	
BY	DATE	APP'D	REVISIONS
NO.			

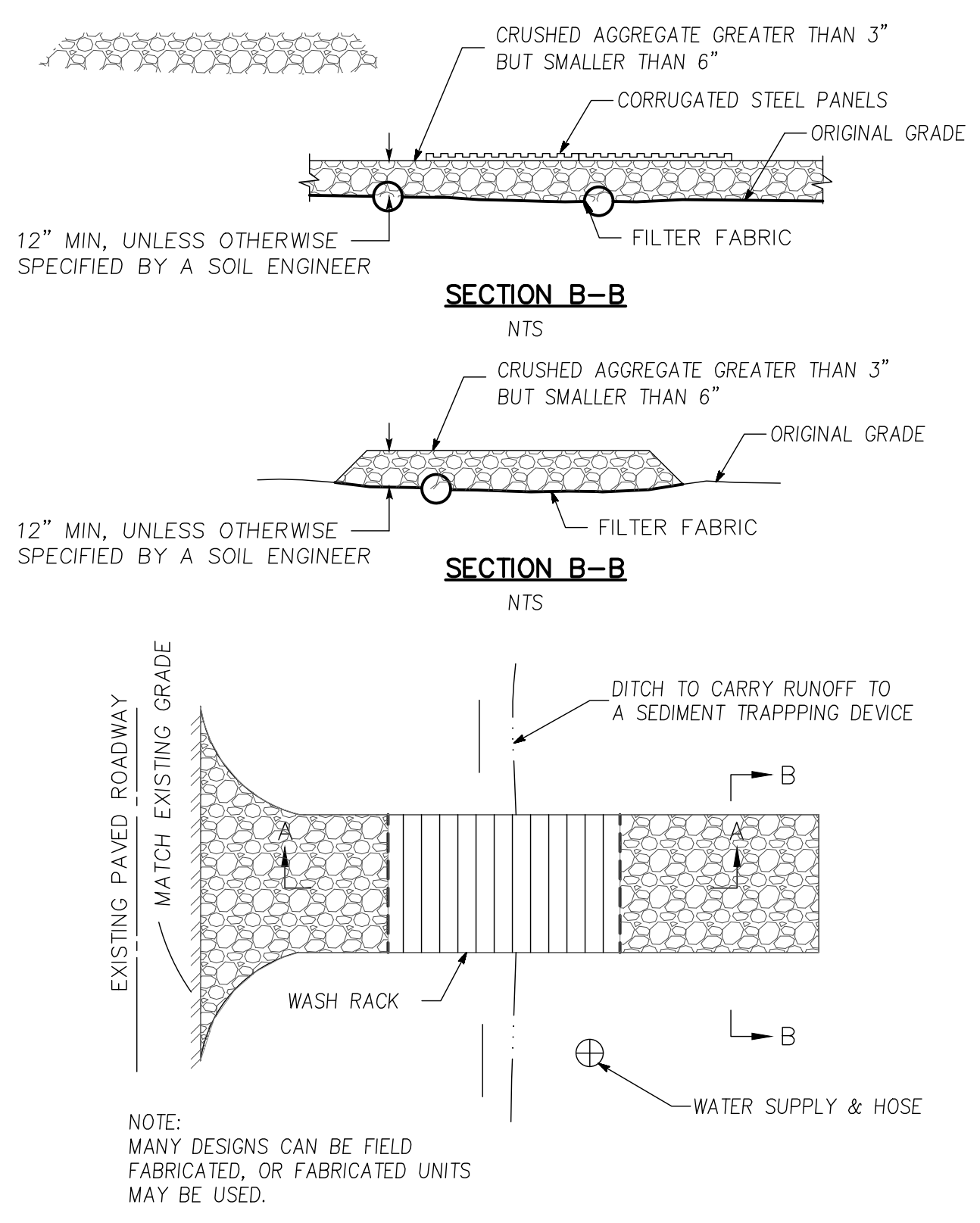
LE ENGINEERING 598 E Santa Clara St, Ste 270 San Jose, CA 95112 Phone: (408) 806-7187	
BUILDING CROSS SECTION LANDS OF HAIPING ZHAO 15881 GLEN UNA DR APN 510-26-067	
DRAWING NO. C4	PROJECT NO. LOS GATOS
SHEET NO. 4	CONTRACT NO. OF 7
FILE NO.	PROJECT NO.

APPLICANT : HAIPING ZHAO

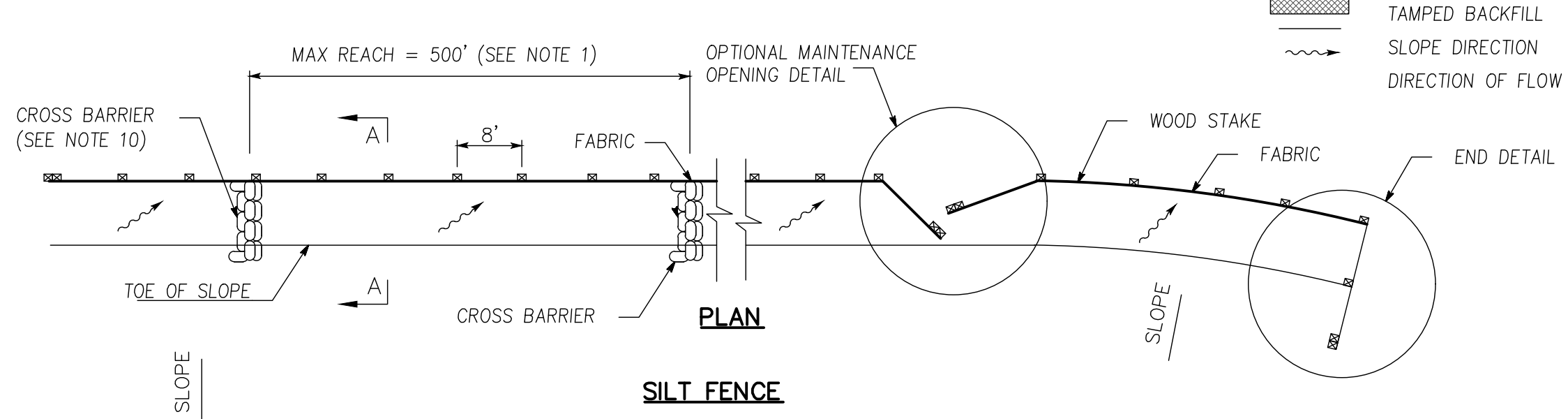
ROAD NAME : GLEN UNA DR

COUNTY FILE NO :

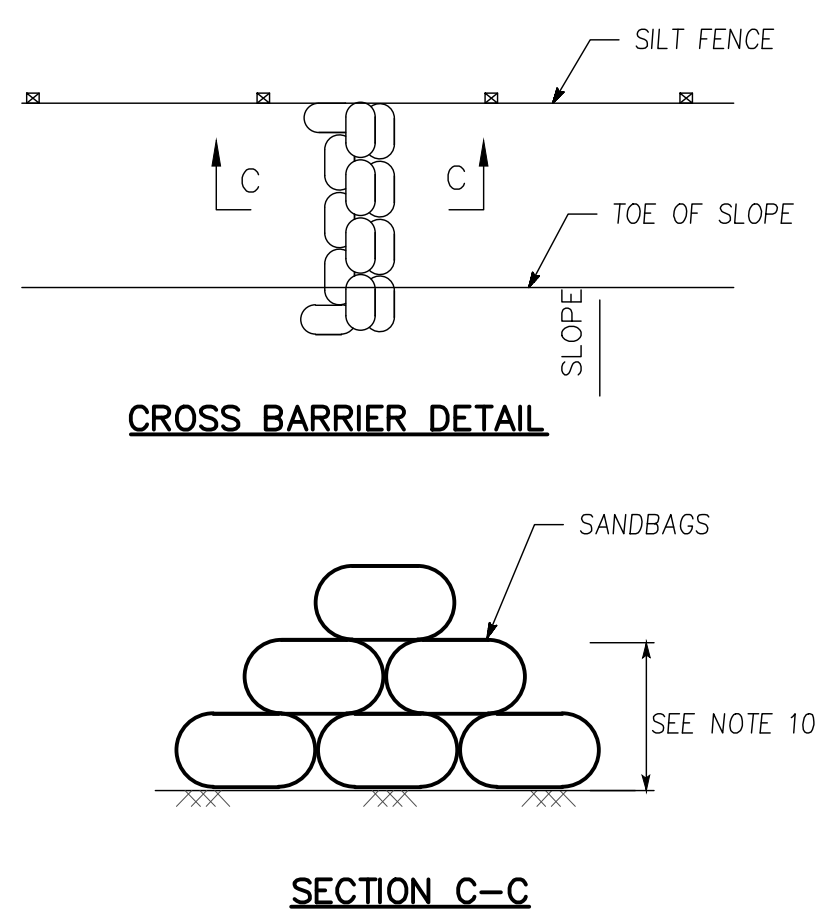
5 ENTRANCE/OUTLET TIRE WASH
CASQA DETAIL TC-3



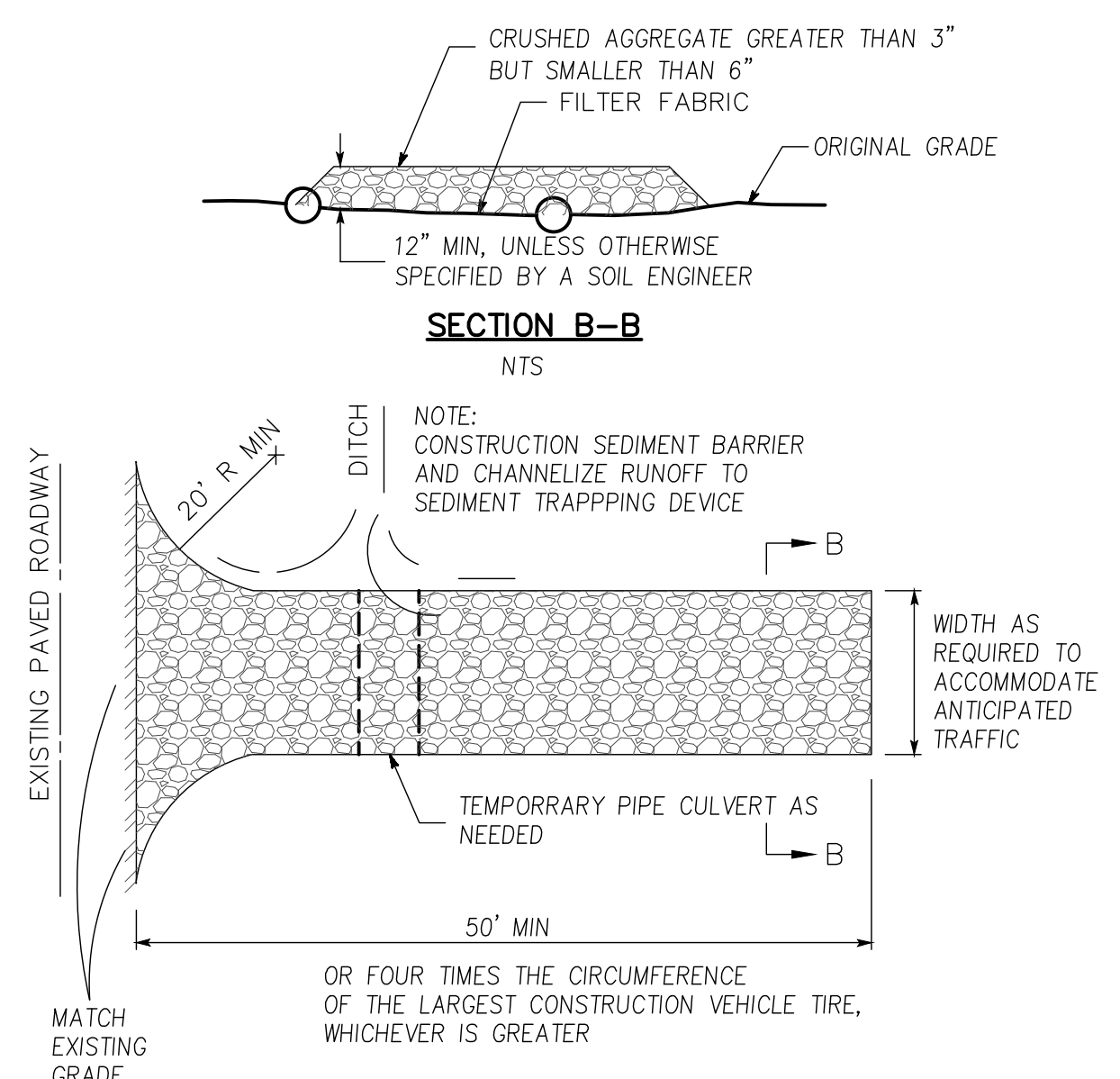
1 SILT FENCE
CASQA DETAIL SE-1



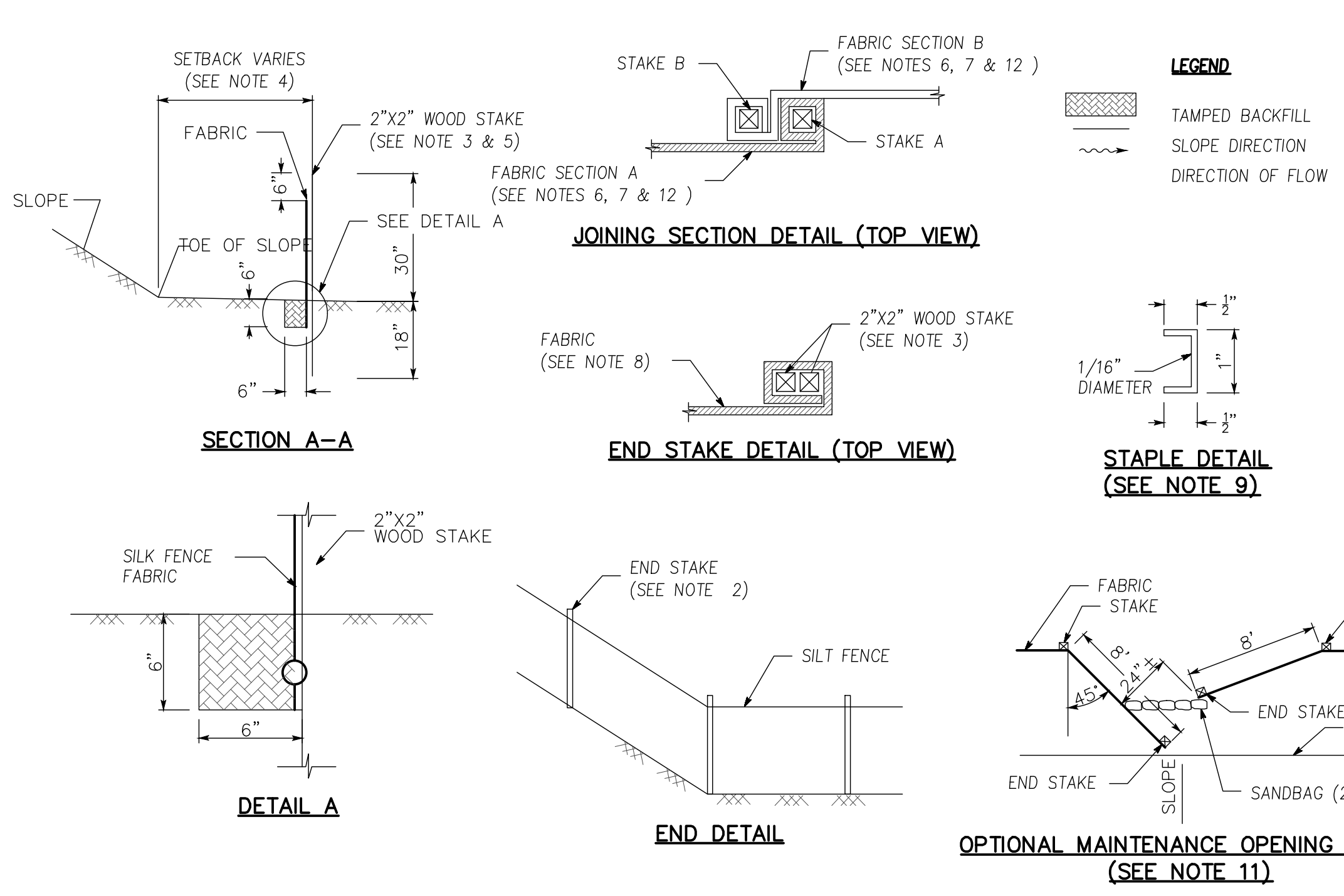
- NOTES:**
- CONSTRUCTION THE LENGTH OF EACH REACH SO THAT THE CHANGE IS BASE ELEVATION ALONG THE REACH DOES NOT EXCEED 1/3 THE HEIGHT OF THE LINEAR BARRIER, IN NO CASE SHALL THE REACH LENGTH EXCEED 500'
 - THE LAST 8'-0" AT FENCE SHALL BE TURNED UP SLOPE.
 - STAKE DIMENSIONS ARE NOMINAL.
 - DIMENSION MAY VARY TO FIT FIELD CONDITION.
 - STAKES SHALL BE SPACED AT 8'-0" MAXIMUM AND SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
 - STAKE SHALL BE OVERLAP DRIVEN TIGHTLY TOGETHER TO PREVENT POTENTIAL FLOW-THROUGH OF SEDIMENT AT JOINT. THE TOP OF STAKE SHALL BE SECURE WITH WIRE.
 - FOR END STAKE, FENCE FABRIC SHALL BE FOLDED AROUND TWO STAKES ONE FULL TURN AND SECURED WITH 4 STAPLES.
 - MINIMUM 4 STAPLES PER STAKE. DIMENSIONS SHOWN ARE TYPICAL.
 - CROSS BARRIERS SHALL BE A MINIMUM OF 1/3 A MAXIMUM AT 1/2 THE HEIGHT OF THE LINEAR BARRIER.
 - MAINTENANCE OPENINGS SHALL BE CONSTRUCTED IN A MANNER TO ENSURE SEDIMENT REMAINS BEHIND SILT FENCE.
 - JOINING SECTIONS SHALL NOT BE PLACED AT SUMP LOCATIONS.
 - SANDBAG ROWS AND LAYERS SHALL BE OFFSET TO ELIMINATE GAPS.



3 STABILIZED CONSTRUCTION ENTRANCE/EXIT
CASQA DETAIL TC-1



2 SILT FENCE
CASQA DETAIL SE-1



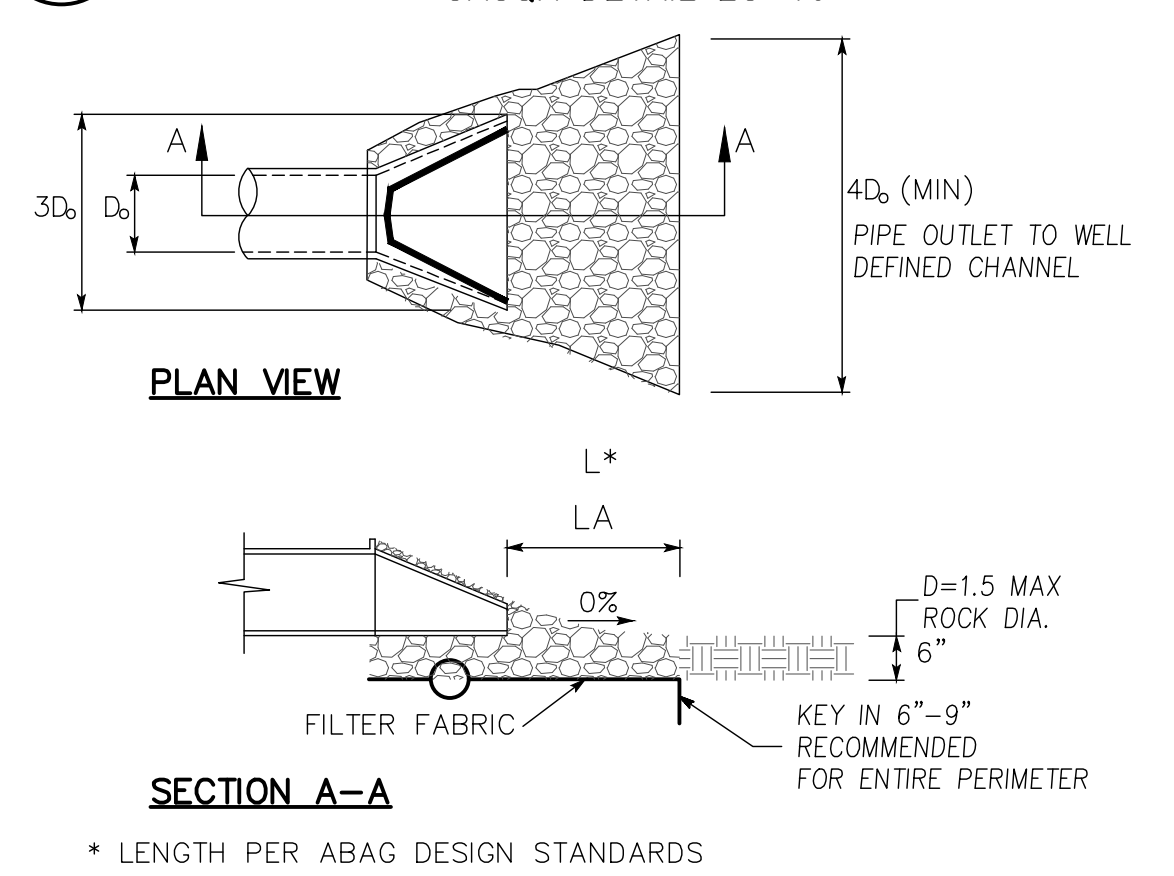
STANDARD BEST MANAGEMENT PRACTICE NOTES

- SOLID AND DEMOLITION WASTE MANAGEMENT: PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS ON SITE AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS, AND ARRANGE FOR REGULAR DISPOSAL. WASTE CONTAINERS MUST BE WATERTIGHT AND COVERED AT ALL TIMES EXCEPT WHEN WASTE IS DEPOSITED. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C3) OR LATEST. HAZARDOUS WASTE MANAGEMENT: PROVIDE PROPER HANDLING AND STORAGE.
- DISPOSAL OF HAZARDOUS WASTES BY A LICENSED HAZARDOUS WASTE MATERIAL HAULER. HAZARDOUS WASTES SHALL BE STORED AND PROPERLY LABELED IN SEALED CONTAINERS CONSTRUCTED OF SUITABLE MATERIALS. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-5 TO C-6) OR LATEST.
- SPILL PREVENTION AND CONTROL: PROVIDE PROPER STORAGE AREAS FOR LIQUID AND SOLID MATERIALS, INCLUDING CHEMICALS AND HAZARDOUS SUBSTANCES, AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS. SPILL CONTROL MATERIALS MUST BE KEPT ON SITE WHERE READILY ACCESSIBLE. SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINATED SOIL DISPOSED PROPERLY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-7 TO C-8, C-13 TO C-14) OR LATEST. VEHICLE AND CONSTRUCTION EQUIPMENT SERVICE AND STORAGE.
- AN AREA SHALL BE DESIGNATED FOR THE MAINTENANCE, WHERE ON-SITE MAINTENANCE IS REQUIRED, AND STORAGE OF EQUIPMENT THAT IS PROTECTED FROM STORMWATER RUN-ON AND RUNOFF. MEASURES SHALL BE PROVIDED TO CAPTURE ANY WASTE OILS, LUBRICANTS, OR OTHER POTENTIAL POLLUTANTS AND THESE WASTES SHALL BE PROPERLY DISPOSED OF OFF SITE. FUELING AND MAJOR MAINTENANCE/REPAIR, AND WASHING SHALL BE CONDUCTED OFF-SITE WHENEVER FEASIBLE. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C9) OR LATEST.
- MATERIAL DELIVERY, HANDLING AND STORAGE: IN GENERAL, MATERIALS SHOULD NOT BE STOCKPILED ON SITE. WHERE TEMPORARY STOCKPILES ARE NECESSARY AND APPROVED BY THE COUNTY, THEY SHALL BE COVERED WITH SECURED PLASTIC SHEETING OR TARP AND LOCATED IN DESIGNATED AREAS NEAR CONSTRUCTION ENTRANCES AND AWAY FROM DRAINAGE PATHS AND WATERWAYS. BARRIERS SHALL BE PROVIDED AROUND STORAGE AREAS WHERE MATERIALS ARE POTENTIALLY IN CONTACT WITH RUNOFF. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-11 TO C-12) OR LATEST.
- HANDLING AND DISPOSAL OF CONCRETE AND CEMENT: WHEN CONCRETE TRUCKS AND EQUIPMENT ARE WASHED ON-SITE, CONCRETE WASTEWATER SHALL BE CONTAINED IN DESIGNATED CONTAINERS OR IN A TEMPORARY LINED AND WATERTIGHT PIT WHERE WASTED CONCRETE CAN HARDEN FOR LATER REMOVAL. IF POSSIBLE HAVE CONCRETE CONTRACTOR REMOVE CONCRETE WASH WATER FROM SITE. IN NO CASE SHALL FRESH CONCRETE BE WASHED INTO THE ROAD RIGHT-OF-WAY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-15 TO C-16) OR LATEST.
- PAVEMENT CONSTRUCTION MANAGEMENT: PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS, USING MEASURES TO PREVENT RUN-ON AND RUNOFF POLLUTION AND PROPERLY DISPOSING OF WASTES. AVOID PAVING IN THE WET SEASON AND RESCHEDULE PAVING WHEN RAIN IS IN THE FORECAST. RESIDUE FROM SAW-CUTTING SHALL BE VACUUMED FOR PROPER DISPOSAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-17 TO C-18) OR LATEST.
- CONTAMINATED SOIL AND WATER MANAGEMENT: INSPECTIONS TO IDENTIFY CONTAMINATED SOILS SHOULD OCCUR PRIOR TO CONSTRUCTION AND AT REGULAR INTERVALS DURING CONSTRUCTION. REMEDIATING CONTAMINATED SOIL SHOULD OCCUR PROMPTLY AFTER IDENTIFICATION AND BE SPECIFIC TO THE CONTAMINANT IDENTIFIED, WHICH MAY INCLUDE HAZARDOUS WASTE REMOVAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-19 TO C-20) OR LATEST.
- SANITARY/SEPTIC WATER MANAGEMENT: TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE PATHS, WATERWAYS, AND TRAFFIC AREAS. ONLY LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED. SECONDARY CONTAINMENT SHOULD BE PROVIDED FOR ALL SANITARY FACILITIES. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C-21) OR LATEST.
- INSPECTION & MAINTENANCE: AREAS OF MATERIAL AND EQUIPMENT STORAGE SITES AND TEMPORARY SANITARY FACILITIES MUST BE INSPECTED WEEKLY. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.

STANDARD EROSION CONTROL NOTES

- SEDIMENT CONTROL MANAGEMENT: TRACKING PREVENTION & CLEAN UP: ACTIVITIES SHALL BE ORGANIZED AND MEASURES TAKEN AS NEEDED TO PREVENT OR MINIMIZE TRACKING OF SOIL ONTO THE PUBLIC STREET SYSTEM. A GRAVEL OR PROPRIETARY DEVICE CONSTRUCTION ENTRANCE/EXIT IS REQUIRED FOR ALL SITES. CLEAN UP OF TRACKED MATERIAL SHALL BE PROVIDED BY MEANS OF A STREET SWEEPER PRIOR TO AN APPROACHING RAIN EVENT, OR AT LEAST ONCE AT THE END OF EACH WORKDAY THAT MATERIAL IS TRACKED, OR MORE FREQUENTLY AS DETERMINED BY THE COUNTY INSPECTOR. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-31 TO B-33) OR LATEST.
- STORM DRAIN INLET AND CATCH BASIN INLET PROTECTION: ALL INLETS WITHIN THE VICINITY OF THE PROJECT AND WITHIN THE PROJECT LIMITS SHALL BE PROTECTED WITH GRAVEL BAGS PLACED AROUND INLETS OR OTHER INLET PROTECTION. AT LOCATIONS WHERE EXPOSED SOILS ARE PRESENT, STAKED FIBER ROLLS OR STAKED SILT FENCES CAN BE USED. INLET FILTERS ARE NOT ALLOWED DUE TO CLOGGING AND SUBSEQUENT FLOODING. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-49 TO B-51) OR LATEST. STORM WATER RUNOFF: NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN IN TO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM DRAIN SYSTEM OR OTHER ABOVE GROUND WATERCOURSES UNTIL APPROPRIATE EROSION CONTROL MEASURES ARE FULLY INSTALLED. DUST CONTROL: THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN GRADED AREAS AS REQUIRED BY PROVIDING WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS, PROVIDING FOR RAPID CLEAN UP OF SEDIMENTS DEPOSITED ON PAVED ROADS, FURNISHING CONSTRUCTION ROAD ENTRIES AND VEHICLE WASH DOWN AREAS, AND LIMITING THE AMOUNT OF AREAS DISTURBED BY CLEARING AND EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES. STOCKPILING: EXCAVATED SOILS SHALL NOT BE PLACED IN STREETS OR ON PAVED AREAS. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (TARPS, STRAW BALES, SILT FENCES, ETC.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM OR NEIGHBORING WATERCOURSE.
- EROSION CONTROL: DURING THE RAINY SEASON, ALL DISTURBED AREAS MUST INCLUDE AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL. IT IS REQUIRED THAT TEMPORARY EROSION CONTROL MEASURES ARE APPLIED TO ALL DISTURBED SOIL AREAS PRIOR TO A RAIN EVENT. DURING THE NON-RAIN SEASON, EROSION CONTROL MEASURES MUST BE APPLIED SUFFICIENT TO CONTROL WIND EROSION AT THE SITE.
- INSPECTION & MAINTENANCE: DISTURBED AREAS OF THE PROJECT'S SITE, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THE EROSION CONTROL PLANS MUST BE INSPECTED BY THE CONTRACTOR BEFORE, DURING, AND AFTER STORM EVENTS, AND AT LEAST WEEKLY DURING SEASONAL WET PERIODS. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.
- PROJECT COMPLETION: PRIOR TO PROJECT COMPLETION AND SIGNOFF BY THE COUNTY INSPECTOR, ALL DISTURBED AREAS SHALL BE RESEDED, PLANTED, OR LANDSCAPED TO MINIMIZE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR ROUND OR UNTIL VEGETATION IS FULLY ESTABLISHED ON LANDSCAPED SURFACES.
- GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF SANTA CLARA COUNTY BUILDING OFFICIAL.
- EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LBS ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOILS FOR EACH 100 GALLONS OF WATER.

4 VELOCITY DISSIPATION DEVICES
CASQA DETAIL EC-10



Best Management Practices and Erosion Control Details Sheet 1
County of Santa Clara

SOURCE FOR GRAPHICS: CALIFORNIA STORMWATER BMP HANDBOOK, CALIFORNIA STORMWATER QUALITY ASSOCIATION, JANUARY 2003. AVAILABLE FROM WWW.CABMPHANDBOOKS.COM.

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CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS



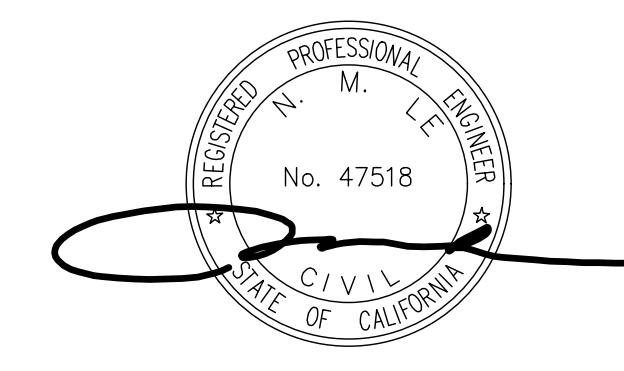
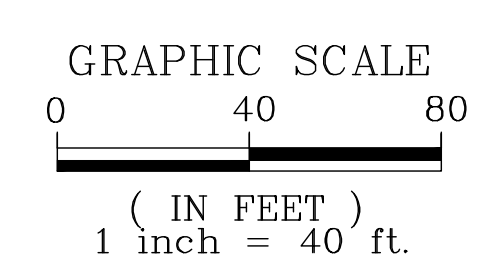
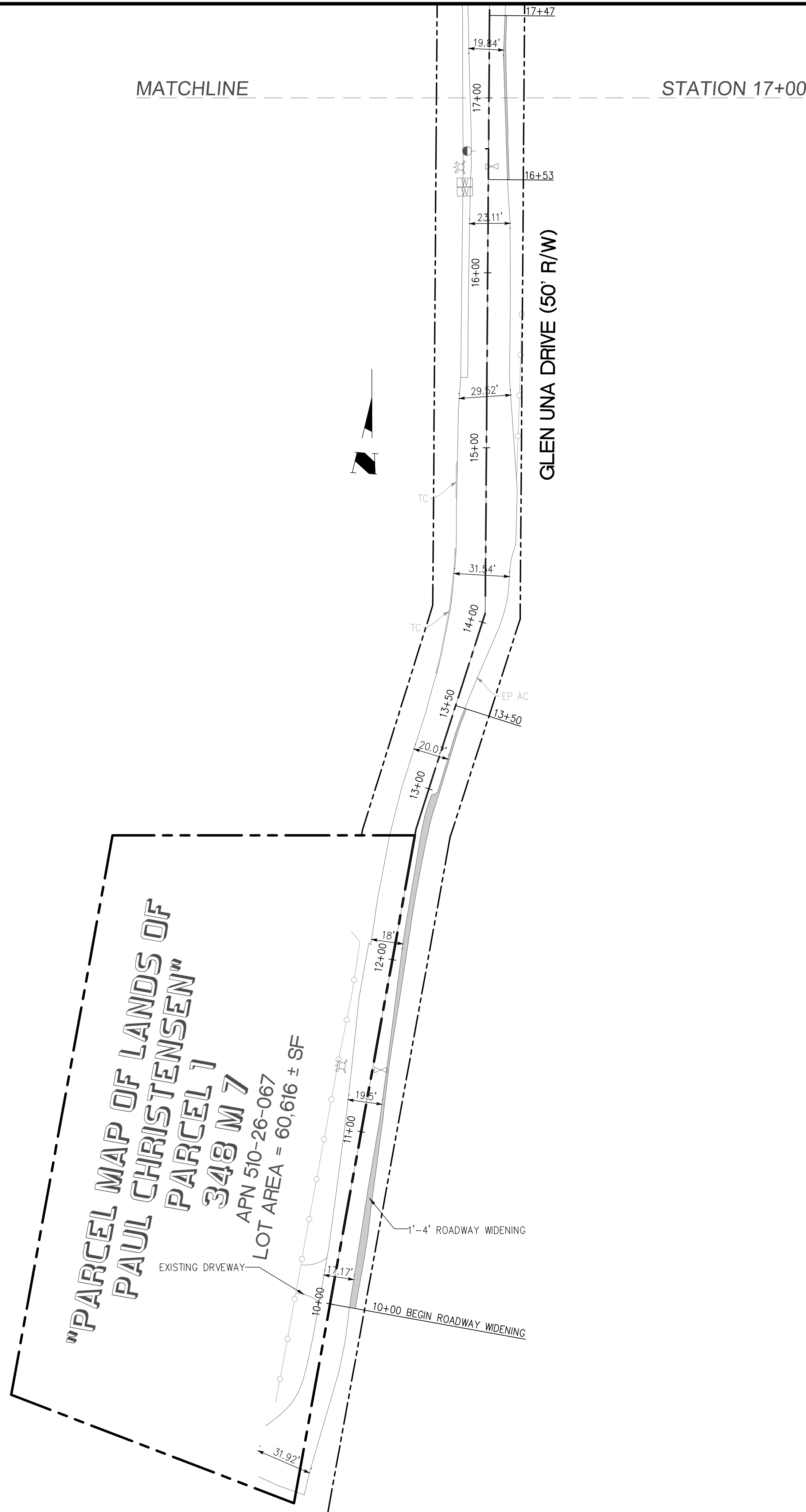
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	03/19/2024		03/19/2024			03/19/2024				

ENGINEERING
598 E Santa Clara St, Ste 270
San Jose, CA 95112
Phone: (408) 806-7187

California
EROSION CONTROL DETAILS
LANDS OF HAIPING ZHAO
15881 GLEN UNA DR
APN 510-26-067

PROJECT NO.
CONTRACT NO.
FILE NO.

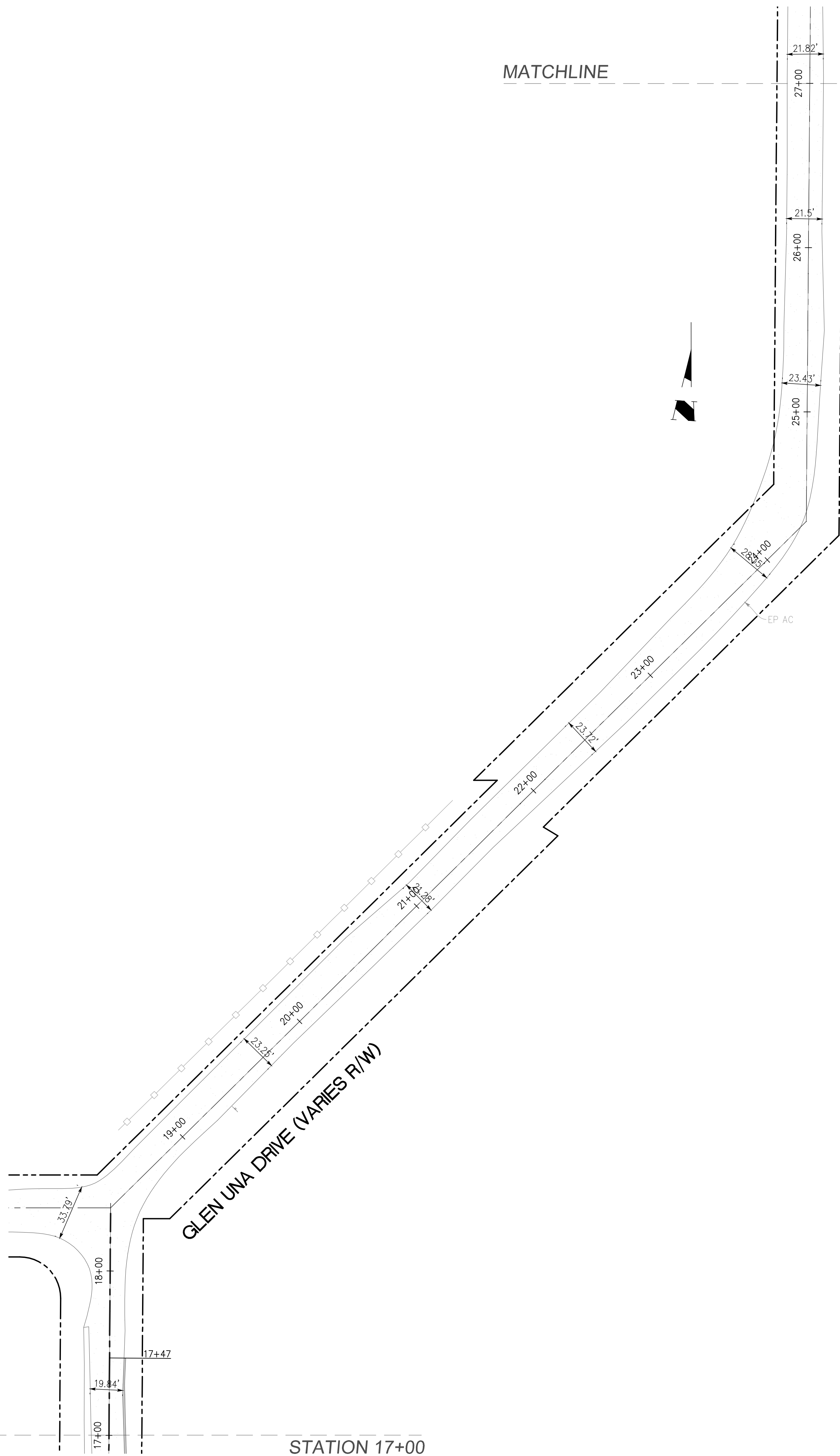
DRAWING NO. **C6**
SHEET NO. **6** OF **7**
LOS GATOS



ROAD NAME : GLEN UNA DRIVE

DRAWING NO. W2	GLEN UNA DRIVE ROADWAY WIDENING PLAN		DESIGNED DATE 02/06/2024	DRAWN DATE 02/06/2024	BY	DATE	REVISIONS	NO.
	FROM 15881 GLEN UNA DRIVE TO SARATOGA - LOS GATOS ROAD							
SHT NO. 2	Los Gatos APN 510-26-067		598 E Santa Clara St #270 San Jose, CA 95112 Phone: (408) 806-7187		APP'D	DATE	REVISIONS	NO.
FILE NO.	PROJECT NO.		CONTRACT NO.		BY	DATE	REVISIONS	NO.

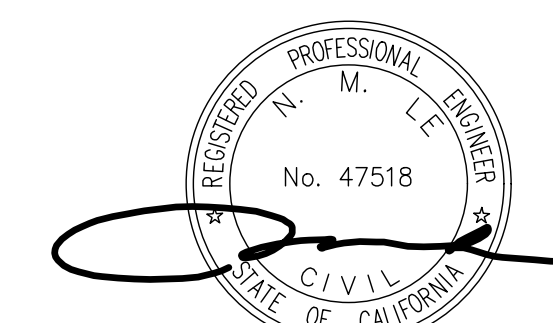
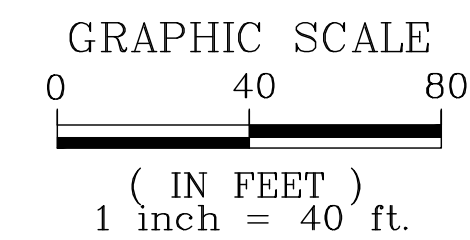
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STATION 17+00

MATCHLINE

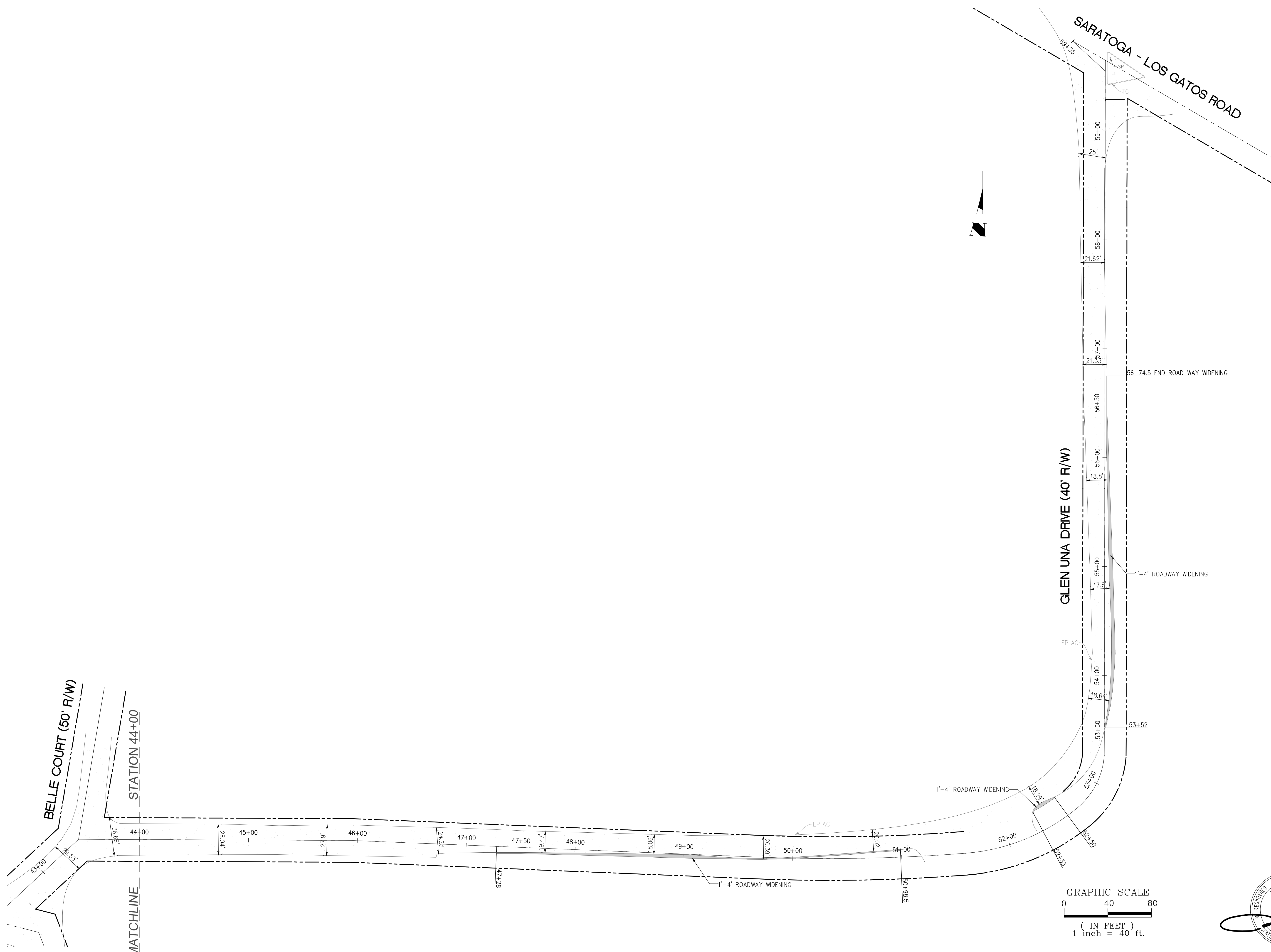
STATION 27+00



DRAWING NO. W3	GLEN UNA DRIVE ROADWAY WIDENING PLAN		PROJECT NO. Los Gatos APN 510-26-067
	FROM 15881 GLEN UNA DRIVE TO SARATOGA - LOS GATOS ROAD		
SHT NO. 3	OF 5	CONTRACT NO.	FILE NO.
DESIGNED TN 02/06/2024	DATE	BY	DATE
DRAWN TN 02/06/2024	DATE	APP'D	DATE
SCALE 1" = 40'	CHECKED VL	REVISIONS	NO.

ENGINEERING
 598 E Santa Clara St #270
 San Jose, CA 95112
 Phone: (408) 806-7187

ROAD NAME : GLEN UNA DRIVE



ROAD NAME : GLEN UNA DRIVE

DRAWING NO. W5		PROJECT NO. APN 510-26-067	
SHT NO. 5 OF 5		CONTRACT NO. California	
FILE NO.		PROJECT NO.	
GLEN UNA DRIVE ROADWAY WIDENING PLAN FROM 15881 GLEN UNA DRIVE TO SARATOGA - LOS GATOS ROAD Los Gatos		ENGINEERING 598 E Santa Clara St #270 San Jose, CA 95112 Phone: (408) 806-7187	
DESIGNED	DATE	BY	DATE
02/06/2024	02/06/2024		
DRAWN	DATE	APP'D	DATE
1" = 40'			
CHECKED	DATE	REVISIONS	NO.
02/06/2024			

