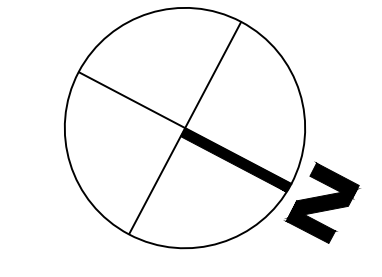
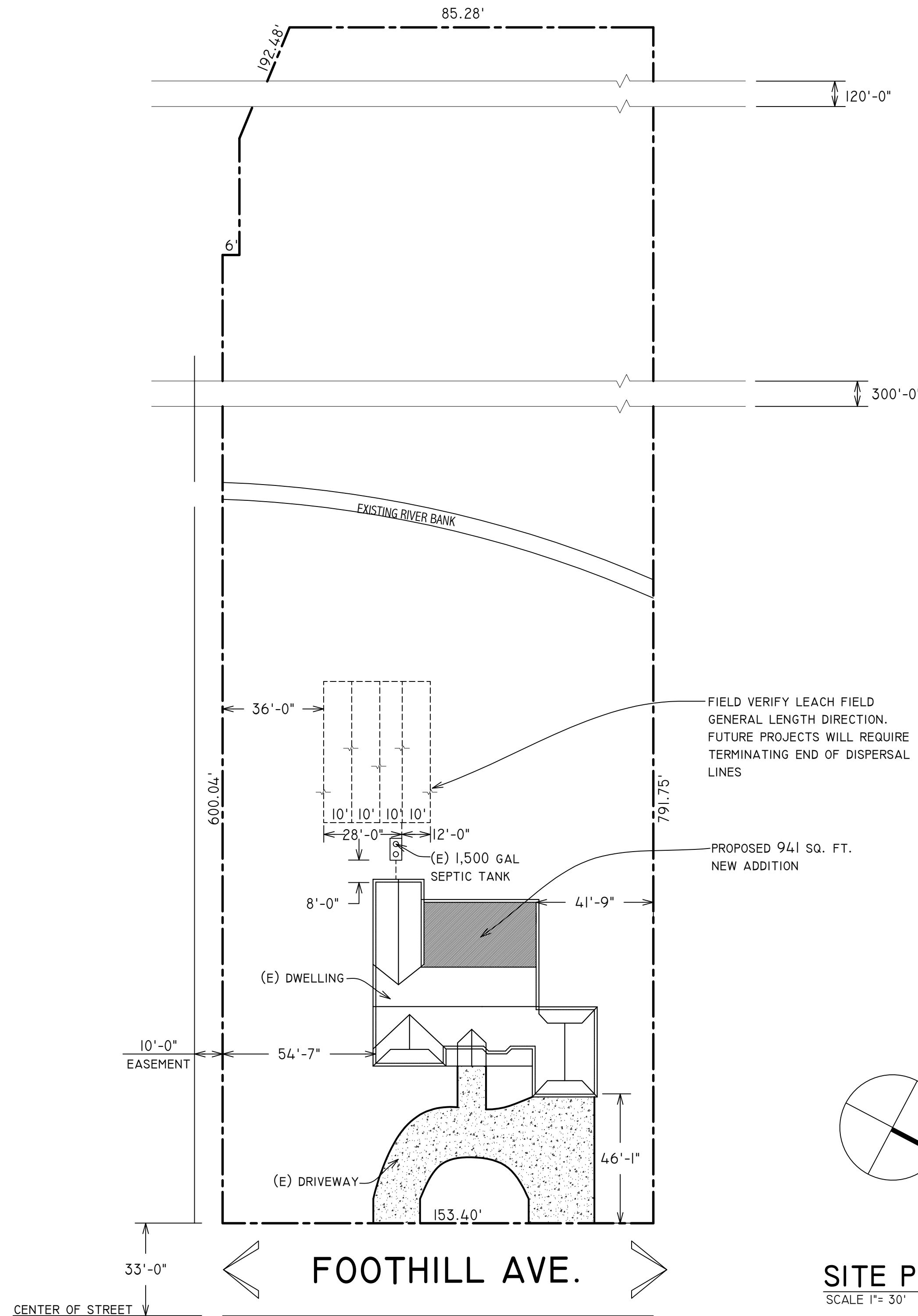


CORREIA RESIDENCE NEW ADDITION

10885 FOOTHILL AVE • GILROY, CA. 95020



SITE PLAN
SCALE 1" = 30'

- NOTE:**
- FIELD VERIFY SITE SET-BACKS PRIOR TO EXCAVATION. FOR ANY DISCREPANCIES, PLEASE NOTIFY DESIGNER.
 - NO CONCENTRATED FLOW ACROSS THE RIGHT-OF-WAY, NOR NEIGHBORING PROPERTIES.

GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, FOUNDATION & FRAMING SYSTEMS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

ANY DEVIATIONS FROM APPROVED PLANS WHICH ARE NECESSITATED BY FIELD CONDITIONS OR CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLANS MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL PRIOR TO STARTING CONSTRUCTION SO THAT A UNANIMOUS DECISION (AMONG CONTRACTOR, OWNER, DESIGN PROFESSIONAL, AND ANY OTHER PARTY INVOLVED) IS MADE.

OTHERWISE, GP RESIDENTIAL DESIGNS ACCEPTS NO LIABILITY FOR ANY CONDITION(S) CAUSED BY SUCH DEVIATIONS/DISCREPANCIES.

APPLICABLE CODES

CALIFORNIA BUILDING CODE (CBC).....	2022
CALIFORNIA ELECTRICAL CODE (CEC).....	2022
CALIFORNIA MECHANICAL CODE (CMC).....	2022
CALIFORNIA PLUMBING CODE (CPC).....	2022
CALIFORNIA ENERGY CODE	2022
CALIFORNIA FIRE CODE (CFC).....	2022
CALIFORNIA RESIDENTIAL CODE (CRC).....	2022

- GENERAL NOTES**
- EMERGENCY EGRESS FROM SLEEPING ROOMS, MIN. 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 MIN. AREA OPENING HEIGHT DIMENSION SHALL BE 44" MAX. ABOVE FINISH FLOOR AND EGRESS WINDOWS FOR BEDROOMS SHALL BE OPENABLE.
 - PROVIDE SMOKE DETECTORS IN EACH EXISTING SLEEPING AREA AND AT A CENTRAL POINT IN HALLWAY SOLELY BATTERY.
 - ALL SMOKE DETECTORS IN NEW CONSTRUCTION AREA SHALL HAVE PRIMARY POWER AND EQUIPPED WITH BATTERY BACK-UP.
 - SHOWER/TUB WALLS BACKING MATERIAL SHALL BE CEMENTITIOUS, WONDERBOARD OR DUROCK. EXTENDED TO A MINIMUM HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET PER CRC R308.4 (NO GREEN BOARD ALLOWED IN SHOWER/TUB WALLS.)
 - PER R308.3 & 308.4, GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. PLEASE SEE SHEET A2 FOR ADDITION NOTES ON GLAZING IN HAZARDOUS LOCATION.
 - ANY DEVIATIONS FROM THE PLANS, WHICH ARE NECESSITATED BY THE FIELD CONDITIONS OR ANY CONDITIONS FROM THOSE INDICATED ON PLAN, SHALL BE CALLED TO THE ATTENTION OF THE DESIGNER PRIOR TO CONTINUING CONSTRUCTION. ALL WORK IS TO BE COORDINATED SO THE OPERATION BETWEEN THE TRADES, WHERE REQUIRED, IS ACCOMPLISHED.

- MECHANICAL-PLUMBING-ELECTRICAL NOTES**
- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FT FROM ANY OPENINGS IN THE BUILDING (I.E., DRYERS, BATH, AND UTILITY FANS, ETC. MUST BE 3 FT AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS.)
 - WATER CLOSETS SHALL HAVE A MAXIMUM OF 1.28 GALLONS PER FLUSH. PER CPC 402.2.2
 - SEISMIC ANCHORAGE OF WATER HEATER TO INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4 INCHES ABOVE.
 - WATER HEATER PRESSURE RELIEF VALVE SHALL DRAIN TO AN EXTERIOR WALL PER 2, CPC 608
 - TUB/SHOWER COMBINATION SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE FOR THE THERMOSTATIC MIXING VALVE TYPE PER CPC 418.
 - SHOWER HEAD SHALL A MAX. FLOW OF 2.4 GPM (UPC 402.8) AND FAUCETS TO HAVE A MAXIMUM FLOW OF 2.2 GPM. (UPC 402.5)
 - ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT SINGLE-PHASE 15 AND 20AMP RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S).
- ALL BUILT-IN APPLIANCES SUCH AS, STOVE, RANGE HOOD, DISH WASHER, GARBAGE DISPOSAL, ETC. SHALL HAVE A DEDICATED CIRCUIT.

DRAWING INDEX

A1	• SITE PLAN	T24-2	• 2022 SINGLE-FAMILY RESIDENTIAL MANDATORY REQUIREMENTS SUMMARY
A1.1	• EROSION CONTROL PLAN	CG1	• CALGREEN
A1.2	• EXISTING & DEMO. PLAN	CG2	• CALGREEN
A2	• PROPOSED FLOOR PLAN		
A3	• FOUNDATION		
A4	• ROOF FRAMING PLAN		
A5	• CROSS SECTION		
A6	• PROPOSED ELEVATIONS		
T24	• TITLE 24		
T24-1	• TITLE 24		

PROJECT DATA

A.P.N #	830-31-009
OCCUPANCY GROUP	R-3/U
CONSTRUCTION TYPE	V-B
ZONING	RR-5AC

- SCOPE OF WORK**
- TO ABATE VIOLATION
 - NEW ADDITION 941 SQ. FT. OF A REC. ROOM.

SITE AREA

A) LOT SIZE	127,085 sq. FT.
B) EXISTING DWELLING	2,602 sq. FT.
C) EXISTING GARAGE	420 sq. FT.
D) EXISTING FRONT PORCH	199 sq. FT.
E) NEW ADDITION	941 sq. FT.



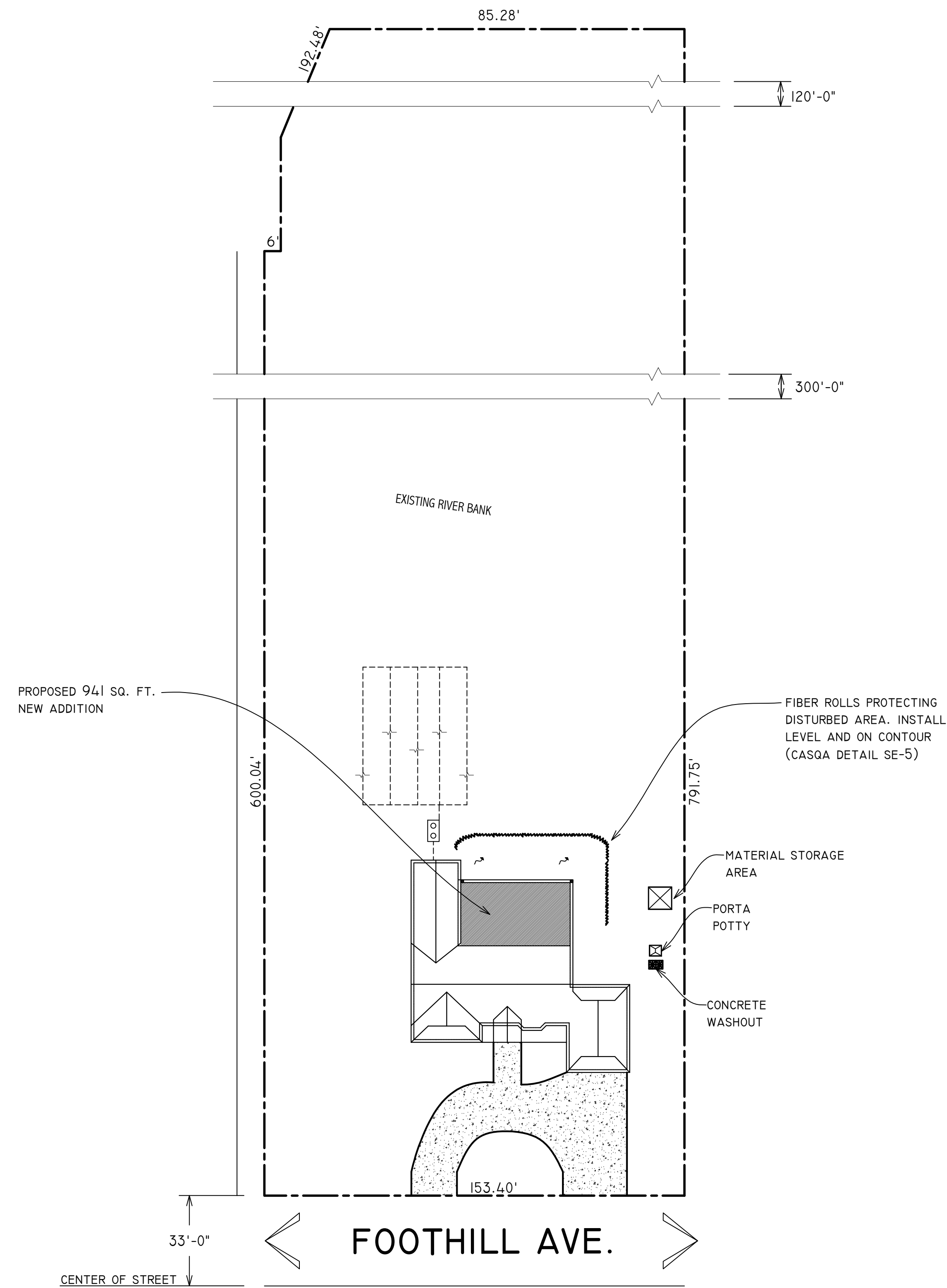
NO.	REVISION	DATE	ISSUED FOR

**PROPOSED
ADDITION**

OWNER: CORREIA RESIDENCE
10885 FOOTHILL AVE
GILROY, CA 95020

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Date	6/20/23
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Sheet	A1



Roads & Airports Construction Notes For Property Owners Template

Erosion and Sediment Control Notes:

- The Owner, Contractor, and/or any person performing construction activities shall install and maintain construction Best Management Practices (BMPs) on the project site and within the Santa Clara County Road Right of Way throughout the duration of construction and until the establishment of permanent stabilization and sediment control to prevent the discharge of pollutants including sediment, construction materials, excavated materials, waste materials into the Santa Clara County Road Right of Way, storm sewer waterways, and roadway infrastructure. BMPs shall include, but not be limited to, the following:
 - Prevention of pollutants in storm water discharges from the construction site and the contractor's material and equipment laydown/staging areas.
 - Prevention of tracking of mud, dirt and construction materials onto public road right of way, and
 - Prevention of discharge of water runoff during dry and wet weather conditions onto public road right of way.
- The Owner, Contractor and/or any person performing construction activities shall ensure that all temporary construction facilities, including but not limited to construction materials, deliveries, hazardous and non-hazardous material storage, equipment, tools, portable toilets, concrete washout, garbage containers, laydown yards, secondary containment areas, etc. are located outside the Santa Clara County Road Right of Way.

Permanent Monuments/ Monument Preservation:

- In accordance with the California Professional Land Surveyors' Act (Business and Professions Code) Chapter 15 Sections 8771 and 8725.1, California Penal Code 605, and California Government Code 27581, the Owner, Contractor, and/or any person performing construction activities that will or may disturb an existing roadway/ street monument, corner stake, or any other permanent surveyed monument and/or as shown on the plan sheet shall ensure that a Corner Record and/or Record of Survey are filed with the County Surveyor Office prior to disturbing said monuments. All disturbed or destroyed monuments shall be reset and filed in compliance with Section 8771.

Utility Clarification Note:

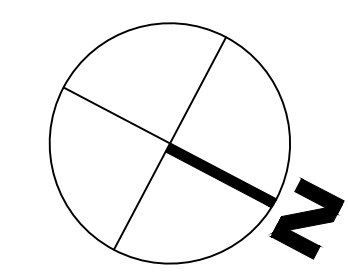
- No new replacement and/or utility upgrades are required/ anticipated. If during construction it is discovered that new, replacement and/or utility upgrades are required, then the Owner, Owner's Contractor and/or the Specific Utility Company shall apply and obtain a separate Encroachment Permit for said work within the limits of the ROW from Roads and Airports.

Improvement Plan Construction Notes:

- All Work in the County Road Right of Way requires an encroachment permit from the Roads and Airports Department. Each individual activity requires a separate permit - i.e. retaining walls, driveway approaches, temporary construction entrances, fences, landscaping, tree removal, storm drainage improvements, all utility operations (relocations, replacements, abandonments, temporary facilities, and/or new facilities for cable, electric, gas, sewer, water), etc.
- Roadways designated as Not County maintained roads as shown upon this plan, will not be eligible for County maintenance until the roadways are improved (at no cost to the County) to public maintenance road standards approved by the Board of Supervisors and in effect at such time that the roadways are considered for acceptance into the County's Road System.

EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
- SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO STREET, GUTTER, OR STORM DRAIN.
- REVEGETATE DISTURBED AREAS, EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET.
- ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 6 MIL PLASTIC SHEETS, SUITABLY ANCHORED.
- THE SITE SHALL BE MONITORED BY THE CONTRACTOR/OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.



EROSION CONTROL PLAN

SCALE 1"= 30'

NO.	REVISION	DATE	BY	ISSUED FOR
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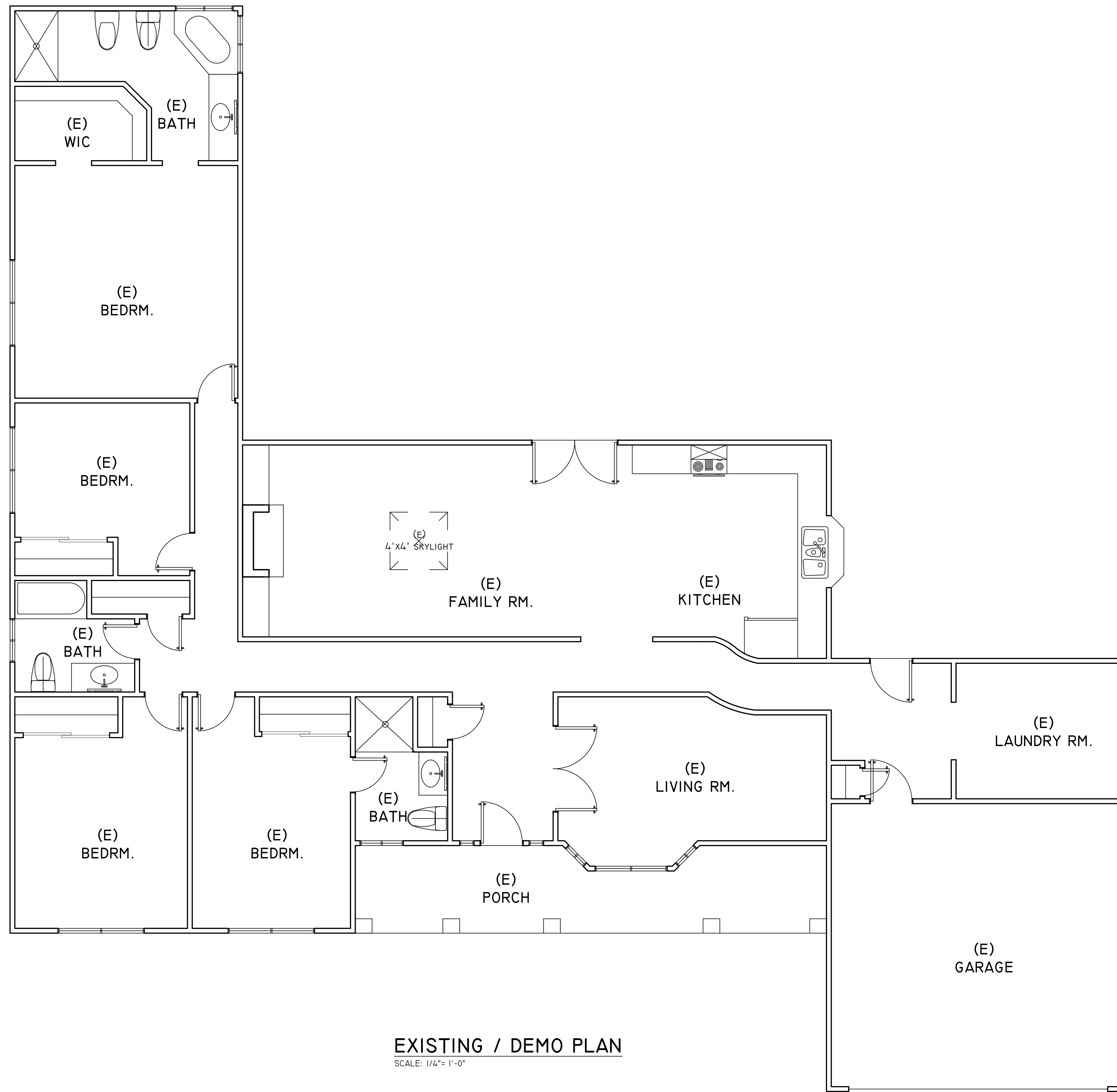
**PROPOSED
ADDITION**

OWNER: **CORREIA RESIDENCE**
10885 FOOTHILL AVE
GILROY, CA 95020

Guillermo Prado

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Date	6/20/23
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Sheet	A1.1



EXISTING / DEMO PLAN
SCALE: 1/4" = 1'-0"

Santa Clara County REBUILD Determination and Points Allocation¹

A. Existing Residence		Existing L.F. ²	New/modified or Removed L.F.	Ratio	Maximum Points	Resulting Points
1a	Footings ³	285	0	0.00		
1b	Slab - structural slabs and basement areas	0	0	0.00		
Subtotal					25	0.00
2 Walls - interior and exterior in linear feet ⁴		Existing L.F. ²	New/modified or Removed L.F.	Ratio	Maximum Points	Resulting Points
		545.03	65.91	0.12	50	6.05
3 Roof ⁵		Existing S.F.	Roof S.F.	Ratio	Maximum Points	Resulting Points
		2464	1030	0.42	25	10.45
Existing Residence Subtotal						16.50
B. Proposed Additions		Area in S.F.	Ratio 1 pt/40 S.F. ⁶	Sub-Total Points		
	First floor and upper story additions ⁷	941	24.00	24		
C. Cumulative rebuild points from permits issued within last 2 years:						0
TOTAL POINT ALLOCATION⁸						40.50

Footnotes:
 1 See County Ordinance # NS-1100.113)
 2 L.F. = Linear Feet measured to outside face or end of wall or footing. Lengths of intersecting walls or footings at corners may not be double counted.
 3 Linear feet of rectangular footings shall be taken on the longest length. Linear feet shall also include thickened slab areas for bearing walls.
 4 All non-bearing & bearing walls (including framed openings) measured along the double top plate. Includes walls removed between house and addition.
 5 Modified walls are walls where the double top plates are altered, the greatest length of either new/modified or demolished walls shall be used.
 6 Includes all California framing, eaves, rakes, attached outdoor covered areas enclosed by more than 50% of the perimeter and substantial changes to roof framing (i.e. going from a flat ceiling to vaulted ceiling) that substantially changes the roof structural system.
 7 Points for additions and points for removal of existing roof structures both count, unless the existing roof framing is to remain in place as part of or under the second story addition.
 8 Additions greater than 2000 sq. ft. are automatically considered a rebuild, regardless of the points accumulated due to work on the existing structure.
 9 Any remaining fraction of points shall be considered one (1) whole point.
 10 The project will be classified as a "REBUILD" if the total points exceed 55.

WALL LEGEND

===== EXISTING WALL

DEMOLITION NOTES

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO LOAD BEARING WALLS. IN CASE OF ANY DISCREPANCIES BETWEEN DEMOLITION PLANS AND FIELD CONDITIONS, OR CONDITIONS NOT SHOWN ON PLANS, DO NOT START ANY DEMOLITION WORK AND NOTIFY DESIGNER OF RECORD.

ALL BUILDING COMPONENTS AND FINISHES HEREBY SHOWN TO REMAIN IN PLACE, SHALL BE PROTECTED FROM DAMAGE.

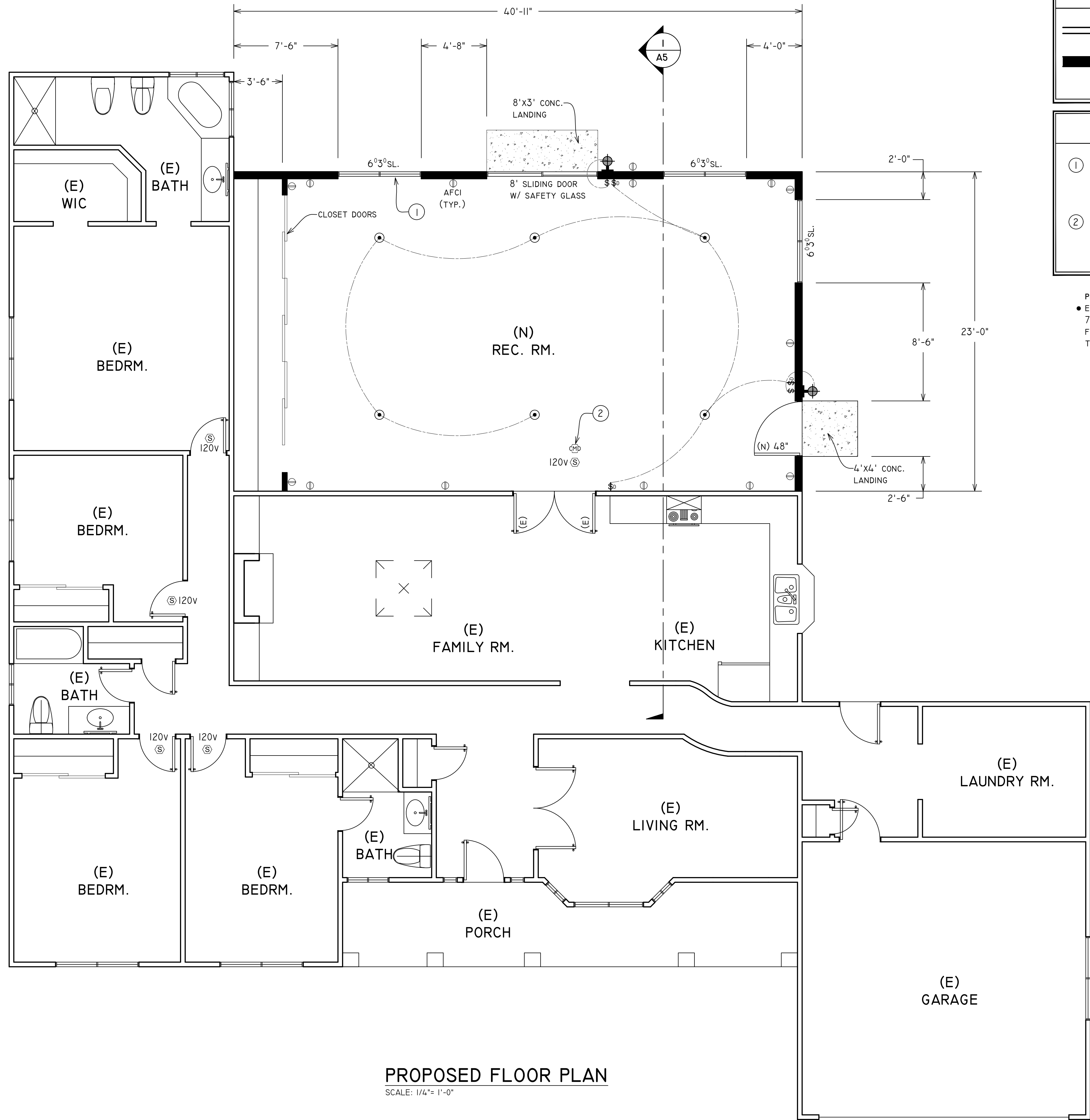
NO.	REVISION	DATE	BY	ISSUED FOR

PROPOSED ADDITION

OWNER: CORREIA RESIDENCE
 10885 FOOTHILL AVE
 GILROY, CA 95020

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 Guillermo Prado
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Date	6/20/23
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Job	
Sheet	A1.2



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALL
	NEW 2X6 DF #2 STUD WALL @ 16" O.C.

- | KEYNOTES | |
|----------|--|
| ① | DOUBLE GLAZED LOW-E WINDOW WITH 4"x12" DF#2 HEADER (TYPICAL FOR ALL NEW WINDOWS) |
| ② | FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM, HARD WIRED W/ BATTERY BACK-UP |

PLEASE NOTE:
 • EXTERIOR DOOR LANDING SHALL BE 7.75" (MAX) FOR IN-SWING DOORS FROM THE TOP OF THE THRESHOLD TO THE LANDING

ELECTRICAL SYMBOL LEGEND			
	WALL SWITCH		SMOKE ALARM 120V WITH BATTERY BACK-UP
	WALL SWITCH WITH DIMMER		SURFACE OR PENDANT MOUNTED INCANDESCENT LIGHT FIXTURE
	OUTLET		1'x4' SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
	EXHAUST FAN		FLUORESCENT VANITY LIGHT FIXTURE WITH T8 LAMPS AND ELECTRONIC BALLAST
	HIGH EFFICIENCY LED CAN LIGHT FIXTURE		
	26 WATT HIGH EFFICIENCY LED RECESSED CAN WITH ELECTRONIC BALLAST, WHITE REFLECTOR AND TRIM.		
	HIGH EFFICACY EXTERIOR FLUORESCENT SCONCE		

M/P/E NOTES:

- LUMINARIES RECESSED INTO INSULATED CEILINGS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UNDERWRITERS LABORATORIES OR OTHER TESTING/RATING LABORATORIES RECOGNIZED BY THE INTERNATIONAL CONFERENCE BUILDING OFFICIALS, AND SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT (AT) OR SIMILAR DESIGNATION TO SHOW AIRLEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS (OR 1.57/FT²) WHEN TESTED IN ACCORDANCE WITH ASTM E283, AND SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND CEILING.
- SMOKE ALARMS IN EACH BEDROOM, IN EACH HALL ADJACENT TO A BEDROOM, AND ON EACH FLOOR.
- ALL LIGHTING TO BE HIGH EFFICIENCY (FLUORESCENT).
- ALL OUTDOOR LIGHTING THAT IS MOUNTED TO THE BUILDING SHALL BE SPECIFIED AS HIGH EFFICIENCY LIGHTING CONTROLLED BY A STANDARD SWITCH OR INCANDESCENT CONTROLLED BY A MOTION SENSOR WITH INTEGRATED PHOTO CELL.
- ELECTRICAL, MECHANICAL, AND PLUMBING SCOPE OF WORK WILL BE SUBJECT TO FIELD INSPECTORS COMMENTS/CORRECTIONS DURING CONSTRUCTION PHASE.
- PROVIDE WEATHER PROTECTION FOR EXTERIOR LIGHTING FIXTURES
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED PER CEC 210.12(B)
- ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11.
- AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. CEC 210.11(C)(3)
- ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY, UTILITY, WET BAR SINKS (WITHIN 6 FEET OF THE EDGE OF SINK), SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION. CEC 210.8
- A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, OR OTHER SIMILAR AREAS (CEC 210.11(C)(1))
- PHOTOELECTRIC SMOKE ALARM SHALL NOT BE INSTALLED LESS THAN 6' HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

PLEASE NOTE:
 ANY DEVIATIONS FROM THE PLANS, WHICH ARE NECESSITATED BY THE FIELD CONDITIONS OR ANY CONDITIONS FROM THOSE INDICATED ON PLAN, SHALL BE CALLED TO THE ATTENTION OF THE DESIGNER PRIOR TO CONTINUING CONSTRUCTION. ALL WORK IS TO BE COORDINATED SO THE OPERATION BETWEEN THE TRADES, WHERE REQUIRED, IS ACCOMPLISHED.

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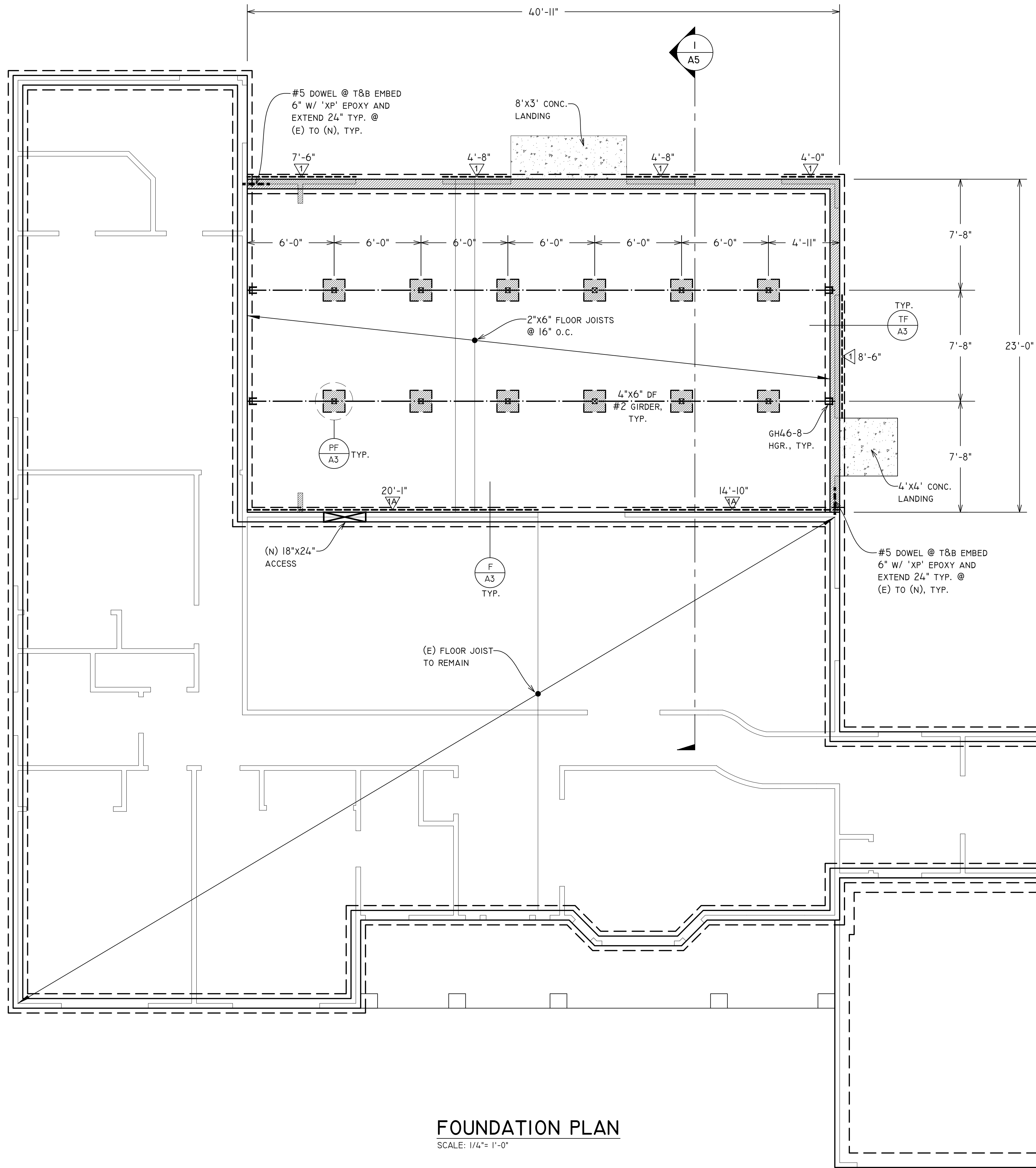
**PROPOSED
ADDITION**

OWNER: **CORREIA RESIDENCE**
10885 FOOTHILL AVE
GILROY, CA 95020

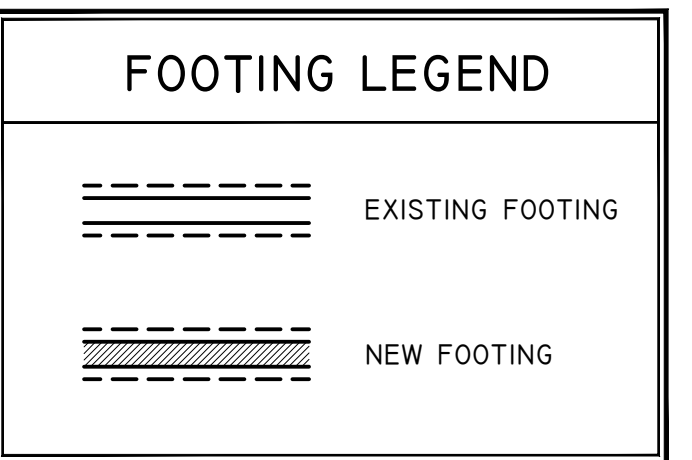
Guillermo Prado

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Date	6/20/23
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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



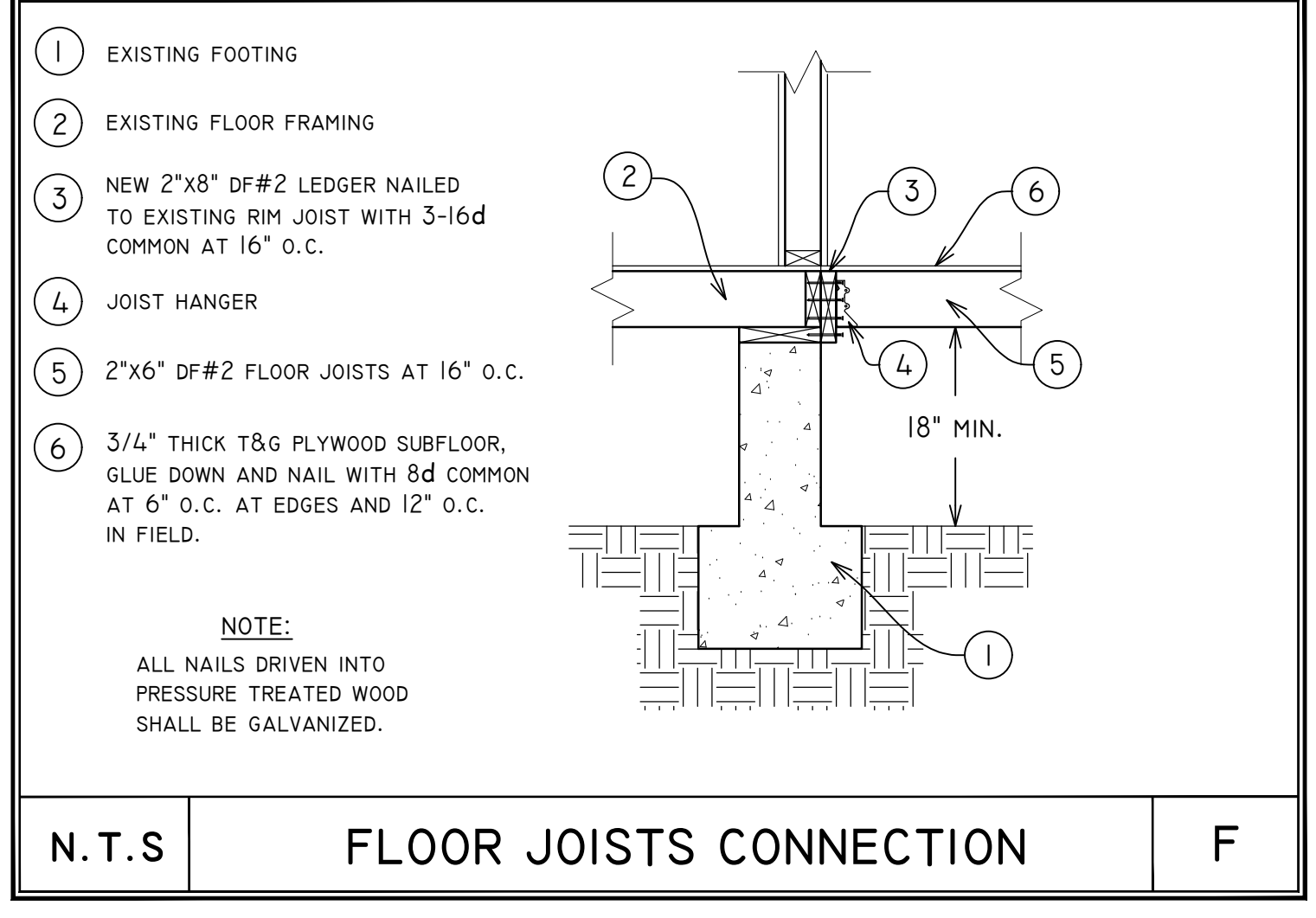
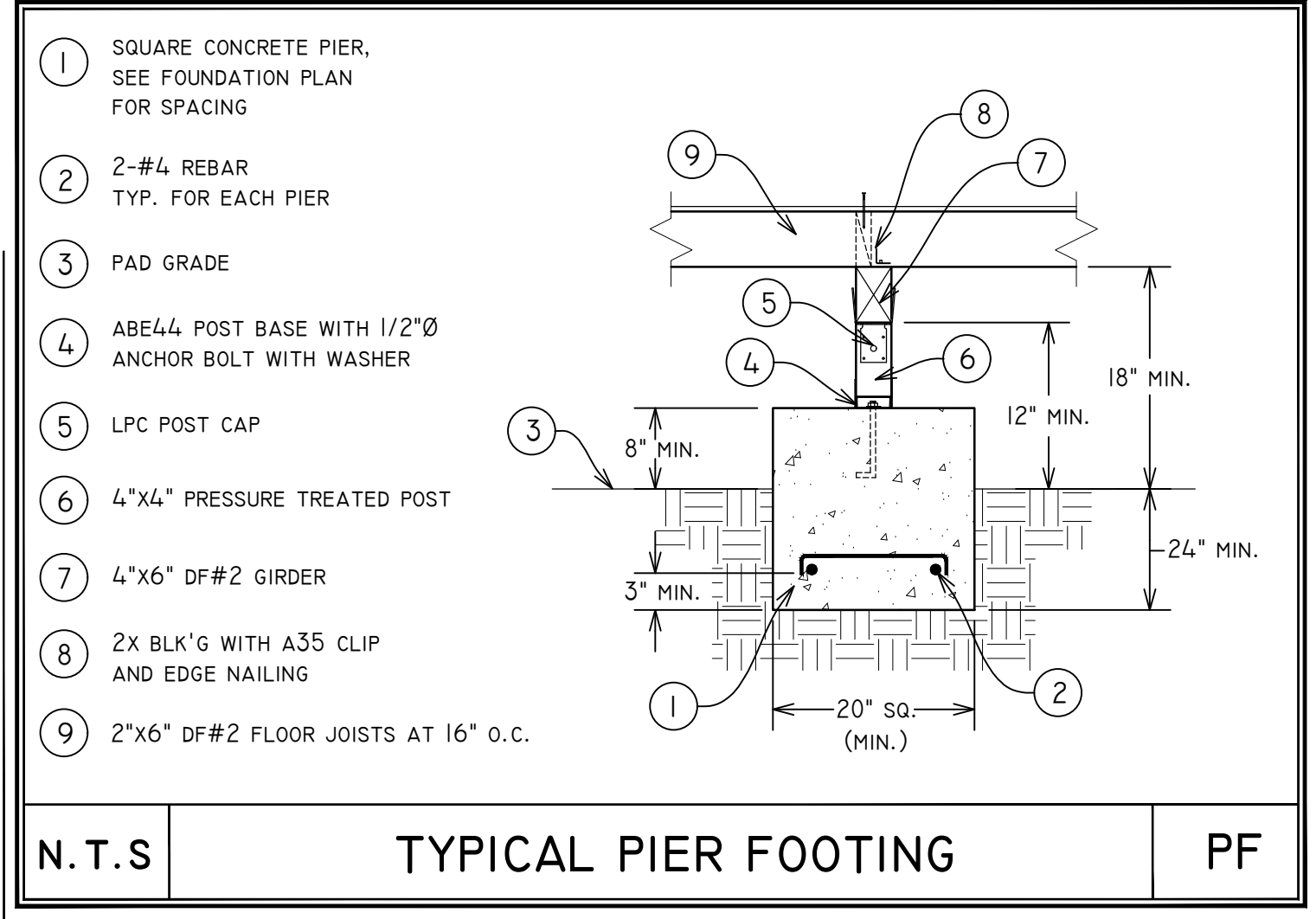
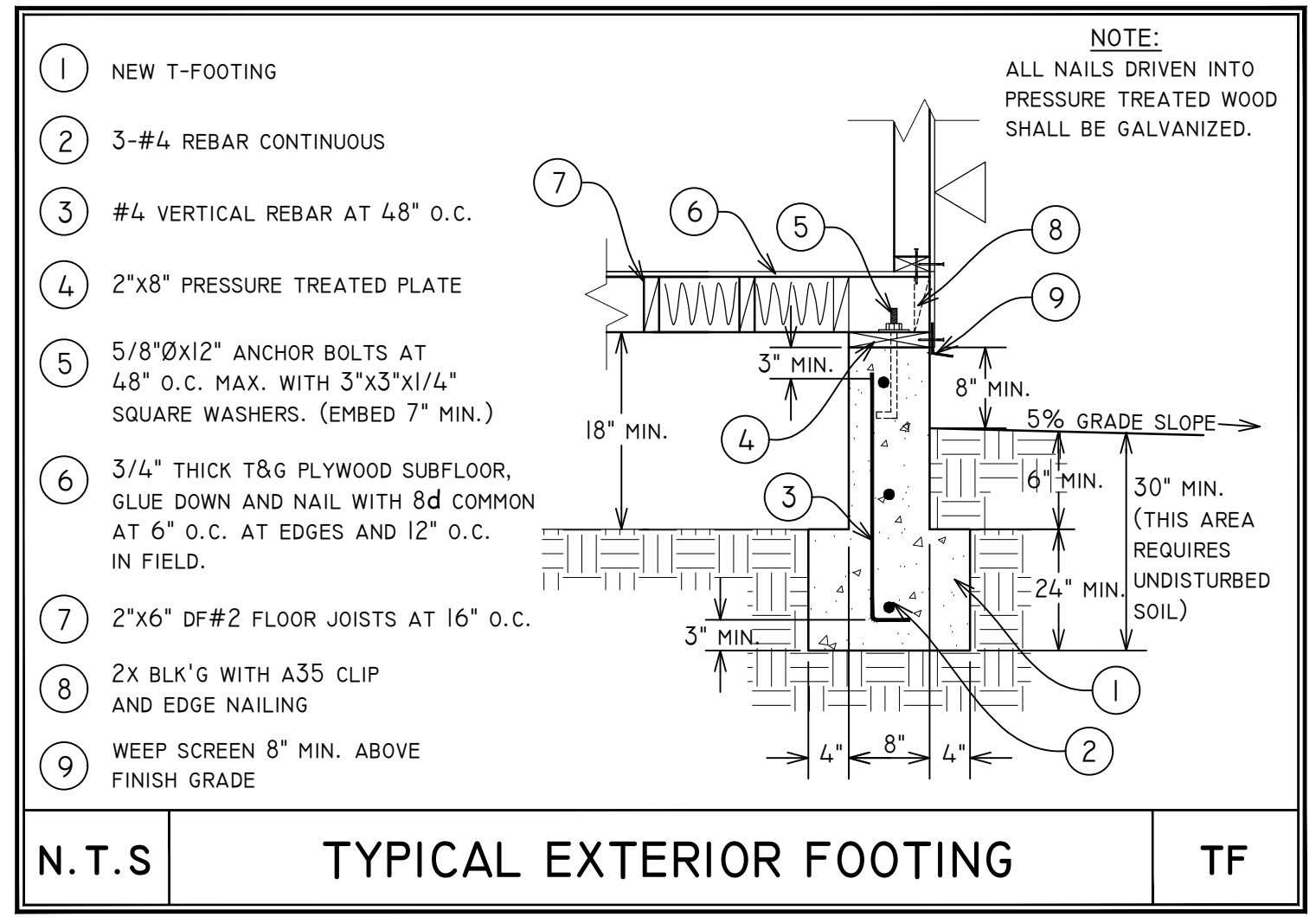
FOUNDATION NOTES

FIELD VERIFY EXISTING FOUNDATION SYSTEM DURING EXCAVATION AND NOTIFY DESIGNER OF RECORD OF ANY DISCREPANCIES PRIOR TO INSTALLING FOOTING FORMS/REBAR.

BRACED WALL SCHEDULE

1 BRACED WALL PANEL (4'-0" MIN)
1/2" CDX PLYWOOD WITH 8d NAILS AT 6" O.C. EDGES / 12" ON FIELD. (EXTEND WALL PLYWOOD TO ROOF AT EXTERIOR WALLS)

1A EXTEND SHEATHING UP TO ROOF PLYWOOD 1/2" CDX PLYWOOD WITH 8d NAILS AT 6" O.C. EDGES / 12" ON FIELD.



UNDER FLOOR VENTILATION TABLE

(1# SQ.FT. = 150 SQ.FT. OF VENTILATION AREA)

EACH 14"x6" VENT OPENING = .6 SQ.FT.

NEW ADDITION → $\frac{941}{150} = 6.27$ SQ.FT. OF VENTS REQ'D

$\frac{6.27}{.6} = 10.45$ VENTS

TOTAL VENTS REQ'D → 11

NO.	REVISION	DATE	BY	ISSUED FOR

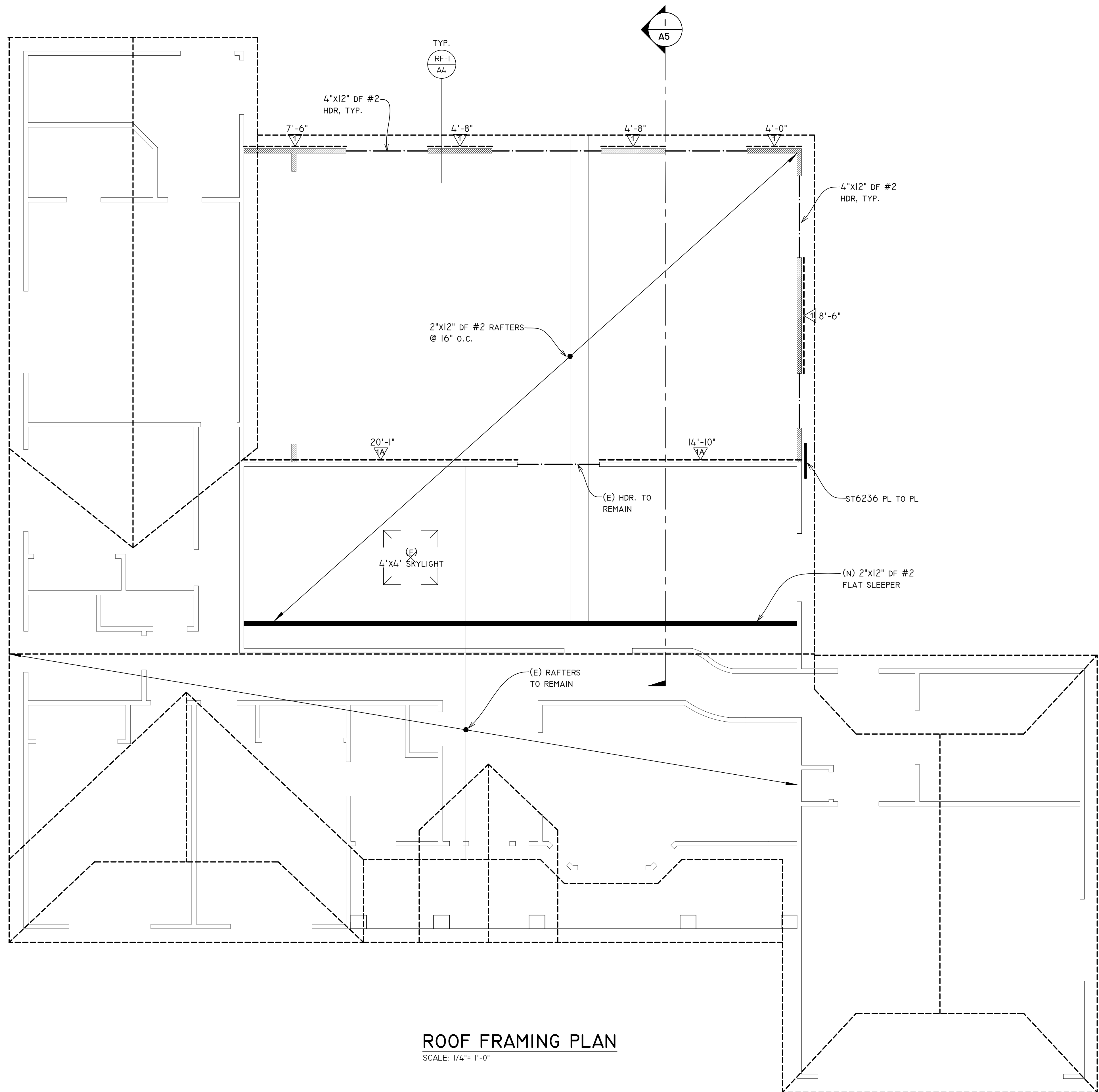
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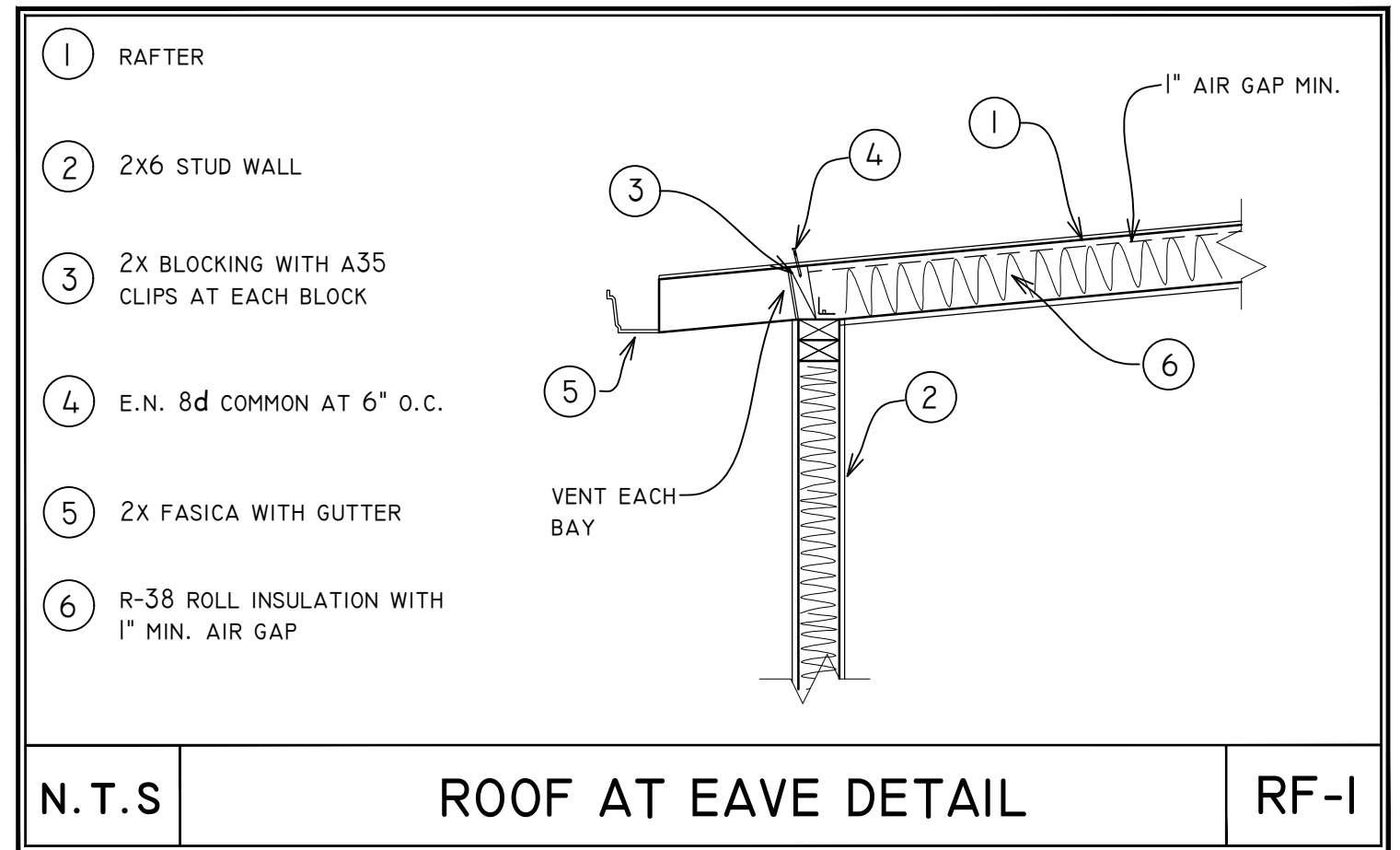
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Date	6/20/23
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ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



BRACED WALL SCHEDULE

1	BRACED WALL PANEL (4'-0" MIN) 1/2" CDX PLYWOOD WITH 8d NAILS AT 6" O.C. EDGES / 12" ON FIELD. (EXTEND WALL PLYWOOD TO ROOF AT EXTERIOR WALLS)
1A	EXTEND SHEATHING UP TO ROOF PLYWOOD 1/2" CDX PLYWOOD WITH 8d NAILS AT 6" O.C. EDGES / 12" ON FIELD.

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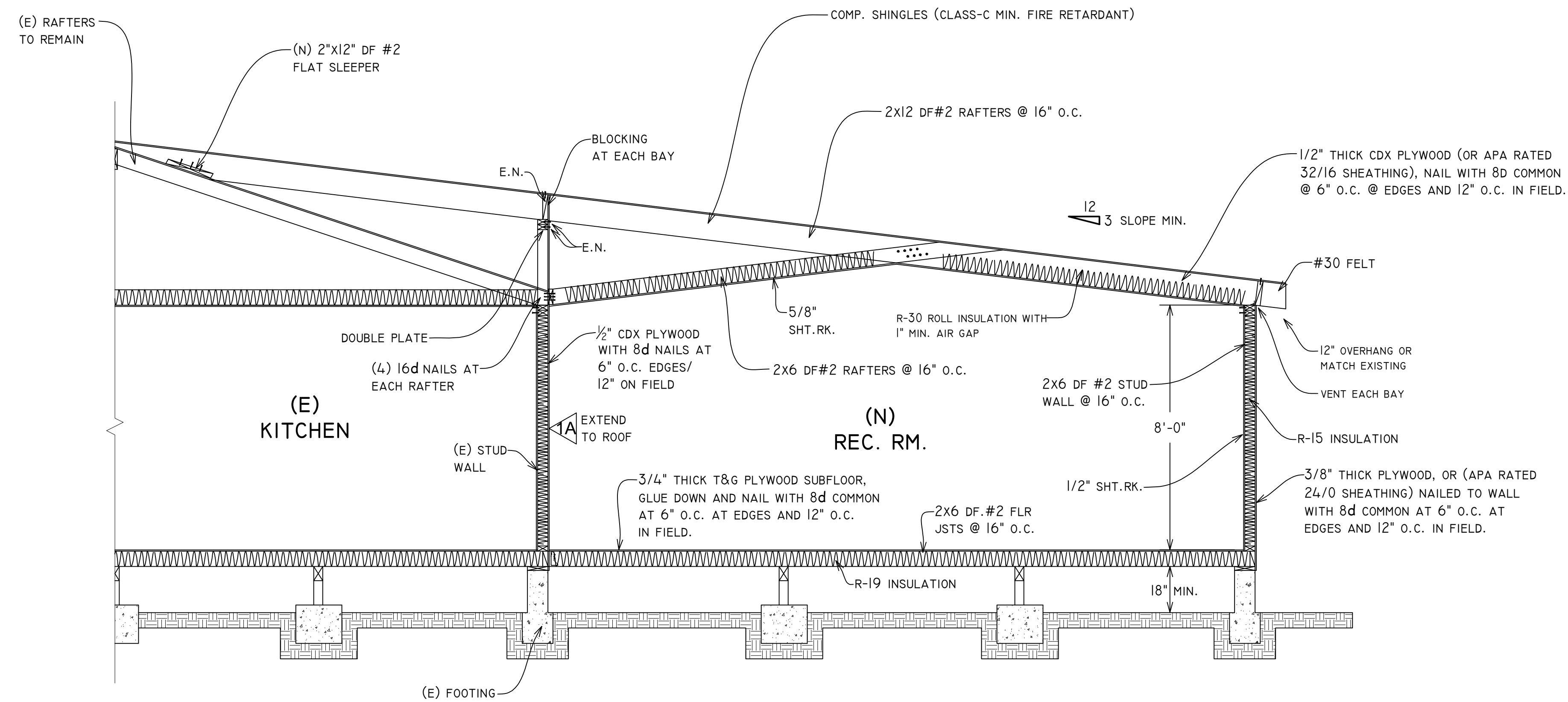
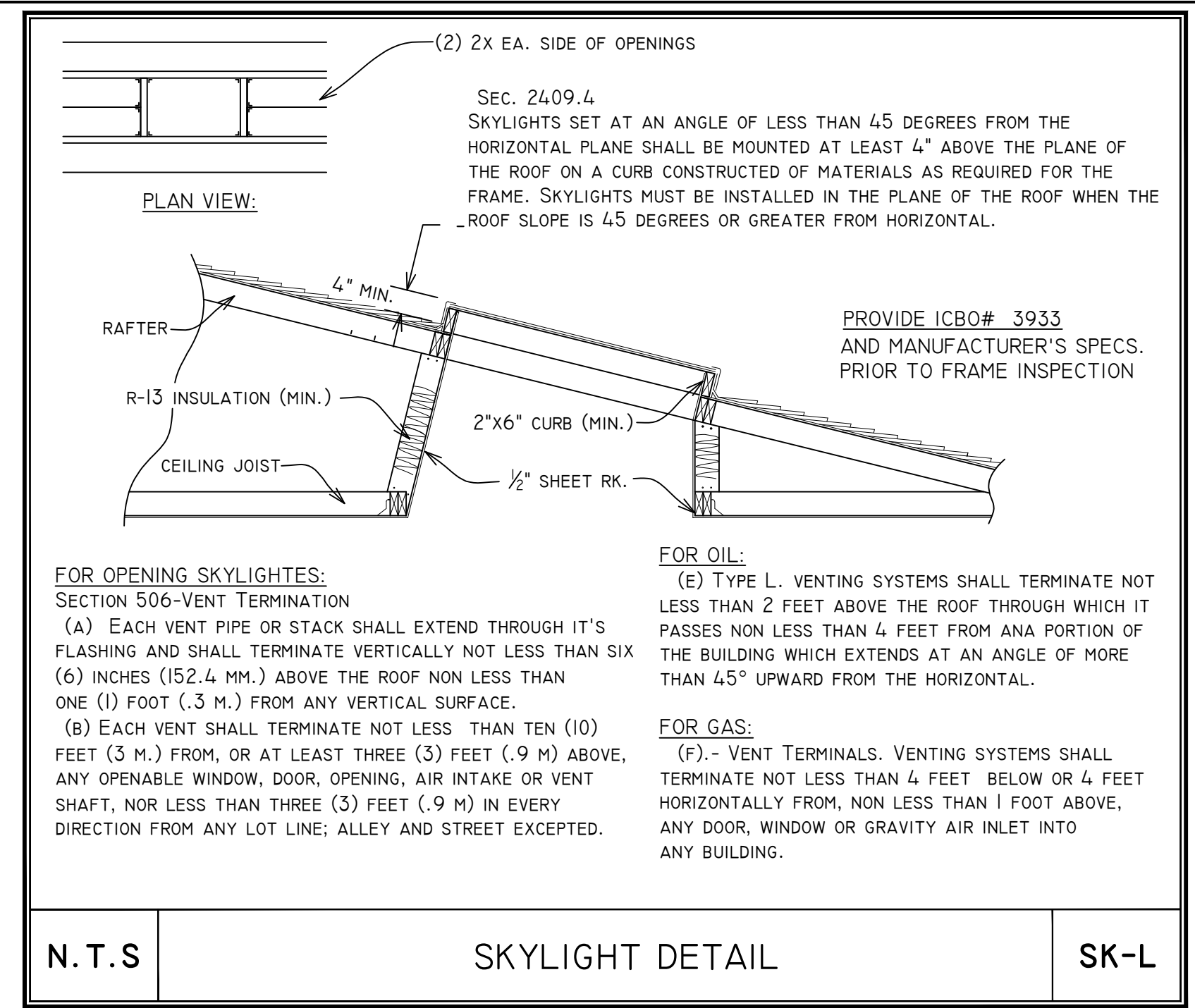
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CROSS SECTION
SCALE 3/8"= 1'-0"

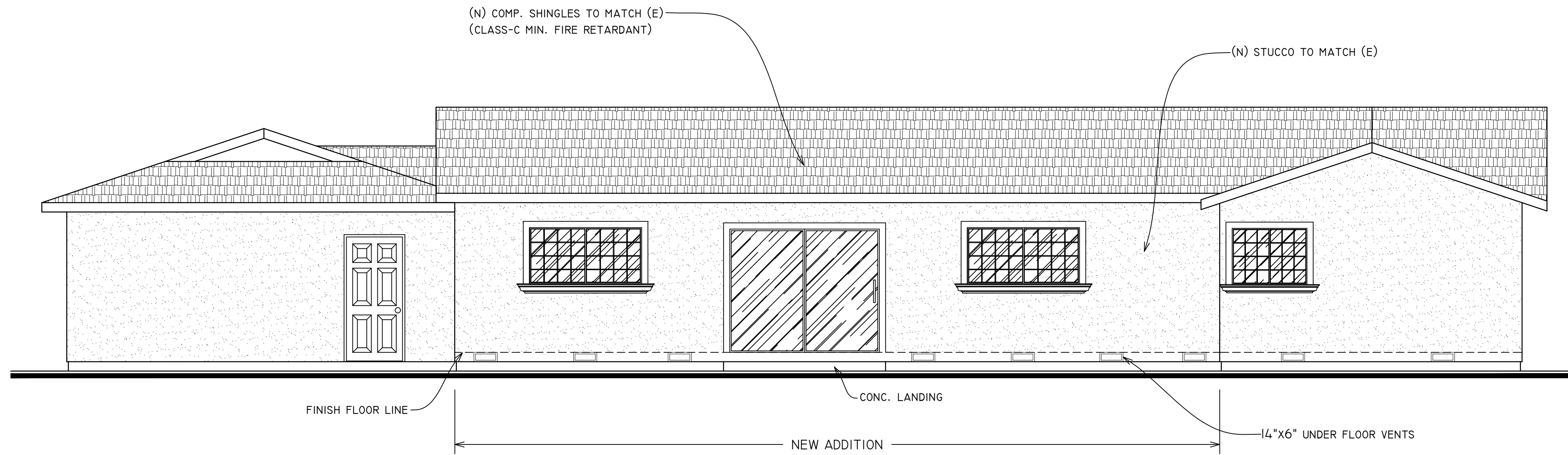
NO.	REVISION	DATE	BY	ISSUED FOR
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GILROY, CA 95020

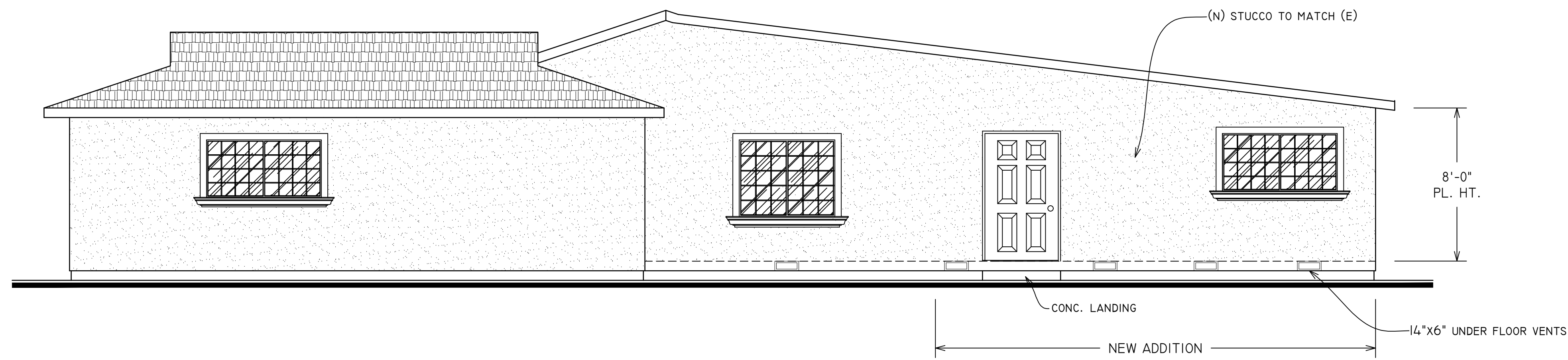
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REAR VIEW ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE	BY	ISSUED FOR
1				
2				
3				
4				

**PROPOSED
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OWNER: **CORREIA RESIDENCE**
10885 FOOTHILL AVE
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Foothill Ave Addition
 Calculation Date/Time: 2023-06-20T10:35:01-07:00
 Calculation Description: Title 24 Analysis
 Input File Name: Foothill Ave Addition (10885).rbd22x

CF1R-PRF-01E
 (Page 1 of 14)

GENERAL INFORMATION			
01	Project Name	Foothill Ave Addition	
02	Run Title	Title 24 Analysis	
03	Project Location	10885 Foothill Avenue	
04	City	05	Standards Version
06	Zip code	07	Software Version
08	Climate Zone	09	Front Orientation (deg/ Cardinal)
10	Building Type	11	Number of Dwelling Units
12	Project Scope	13	Number of Bedrooms
14	Addition Cond. Floor Area (ft ²)	15	Number of Stories
16	Existing Cond. Floor Area (ft ²)	17	Penetration Average U-factor
18	Total Cond. Floor Area (ft ²)	19	Glowing Percentage (%)
20	ADU Bedroom Count	n/a	

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	Building does not incorporate Special Features

Registration Number: 223-P010072761A-000-000-000000-0000
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: 2023-06-20 10:43:13
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 HERS Provider: CalCERTS, Inc.
 Report Generated: 2023-06-20 10:38:44

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Foothill Ave Addition
 Calculation Date/Time: 2023-06-20T10:35:01-07:00
 Calculation Description: Title 24 Analysis
 Input File Name: Foothill Ave Addition (10885).rbd22x

CF1R-PRF-01E
 (Page 2 of 14)

ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/h ² - yr)	Standard Design TDV Energy (EDR2) (kWh/h ² - yr)	Proposed Design Source Energy (EDR1) (kBtu/h ² - yr)	Proposed Design TDV Energy (EDR2) (kWh/h ² - yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0	51.56	0	45	0	6.56
Space Cooling	0	40.94	0	46.21	0	-5.27
IAQ Ventilation	0	0	0	0	0	0
Water Heating	0	18.47	0	18.47	0	0
Self Utilization/Flexibility Credit						
Efficiency Compliance Total	0	110.97	0	109.68	0	1.29
Photovoltaics	0	0	0	0	0	0
Battery	0	0	0	0	0	0
Flexibility						
Indoor Lighting	0	6.61	0	6.61	0	0
Appl. & Cooking	0	12.92	0	12.92	0	0
Plug Loads	0	18.72	0	18.72	0	0
Outdoor Lighting	0	1.64	0	1.64	0	0
TOTAL COMPLIANCE	0	250.86	0	249.57	0	1.29

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CF1R-PRF-01E
 (Page 3 of 14)

ENERGY USE INTENSITY				
	Standard Design (kBtu/h ² - yr)	Proposed Design (kBtu/h ² - yr)	Compliance Margin (kBtu/h ² - yr)	Margin Percentage
Gross EU ¹	25.81	24.29	1.52	5.89
Net EU ²	25.81	24.29	1.52	5.89

Notes:
 1. Gross EU is Energy Use Total (not including PV) / Total Building Area.
 2. Net EU is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES
 The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
 * NO SPECIAL FEATURES REQUIRED

HERS FEATURE SUMMARY
 The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry.
 * Duct leakage testing

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Foothill Ave Addition	3543	1	4	2	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status
Existing Living Area	Conditioned	HVAC System 1	2802	8	DHW Sys 1	Existing Unchanged
New Living Area	Conditioned	HVAC System 1	941	8	DHW Sys 1	New

Registration Number: 223-P010072761A-000-000-000000-0000
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: 2023-06-20 10:43:13
 Report Version: 2022.0.000
 Schema Version: rev 20220901
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 Report Generated: 2023-06-20 10:38:44

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 Input File Name: Foothill Ave Addition (10885).rbd22x

CF1R-PRF-01E
 (Page 4 of 14)

OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Asimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Front Wall	Existing Living Area	R-0 Wall	45	Front	456	112	90	none	Existing	No
Left Wall	Existing Living Area	R-0 Wall	135	Left	512	42	90	none	Existing	No
Rear Wall	Existing Living Area	R-0 Wall	225	Back	296	8	90	none	Existing	No
Right Wall	Existing Living Area	R-0 Wall	315	Right	296	32	90	none	Existing	No
Rear Wall 2	New Living Area	R-15 Wall	225	Back	328	90	90	Extension	New	n/a
Right Wall 2	New Living Area	R-15 Wall	315	Right	184	45	90	Extension	New	n/a
Interior Surface	Existing Living Area	R-0 Wall	n/a	n/a	200	18	n/a	none	Existing	No
Interior Surface 2	New Living Area	New R-0 Wall	n/a	n/a	100	0	n/a	none	New	n/a
Interior Surface 3	New Living Area	New R-0 Wall	n/a	n/a	100	0	n/a	none	New	n/a
Roof 2	Existing Living Area	R-11 Roof Attic	n/a	n/a	2902	n/a	n/a	none	Existing	No
Roof 3	New Living Area	R-30 Roof Attic	n/a	n/a	941	n/a	n/a	none	New	n/a
Raised Floor	Existing Living Area	R-0 Floor Crawlspace	n/a	n/a	2802	n/a	n/a	none	Existing	No
Raised Floor 2	New Living Area	R-19 Floor Crawlspace	n/a	n/a	941	n/a	n/a	none	New	n/a
Front Wall 2	Garage	R-0 Wall	45	Front	168	0	90	none	Existing	No
Left Wall 2	Garage	R-0 Wall	135	Left	160	0	90	none	Existing	No
Rear Wall 3	Garage	R-0 Wall	225	Back	168	0	90	none	Existing	No

Registration Number: 223-P010072761A-000-000-000000-0000
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 Input File Name: Foothill Ave Addition (10885).rbd22x

CF1R-PRF-01E
 (Page 5 of 14)

OPAQUE SURFACES - CATHEDRAL CEILING										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Asimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Roof Status
Roof	Garage	R-0 Roof No Attic	0	n/a	420	0	4	0.1	0.85	No

ATTIC									
01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic Existing Living Area	Attic Roof/Existing Living Area	Ventilated	4	0.1	0.85	No	No	Existing	No
Attic New Living Area	Attic Roof/New Living Area	Ventilated	4	0.1	0.85	No	No	New	n/a

PENETRATION / GLAZING															
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Asimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Window	Window	Front Wall	Front	45	1	8	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 2	Window	Front Wall	Front	45	1	20	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 3	Window	Front Wall	Front	45	1	8	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No

Registration Number: 223-P010072761A-000-000-000000-0000
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
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CF1R-PRF-01E
 (Page 6 of 14)

PENETRATION / GLAZING															
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Asimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Window 4	Window	Front Wall	Front	45	1	7	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 5	Window	Front Wall	Front	45	1	7	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 6	Window	Front Wall	Front	45	1	6	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 7	Window	Front Wall	Front	45	1	18	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 8	Window	Front Wall	Front	45	1	18	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 9	Window	Left Wall	Left	135	1	6	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 10	Window	Left Wall	Left	135	1	18	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 11	Window	Left Wall	Left	135	1	18	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 12	Window	Rear Wall	Back	225	1	8	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 13	Window	Right Wall	Right	315	1	8	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 14	Window	Right Wall	Right	315	1	24	1.19	Table 110.6-A	0.83	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 15	Window	Rear Wall 2	Back	225	1	18	0.3	NFRC	0.23	NFRC	0.23	NFRC	Bug Screen	New	NA

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CF1R-PRF-01E
 (Page 7 of 14)

PENETRATION / GLAZING															
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Asimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Window - SGD	Window	Rear Wall 2	Back	225	1	54	0.3	NFRC	0.23	NFRC	0.23	NFRC	Bug Screen	New	NA
Window 16	Window	Rear Wall 2	Back	225	1	18	0.3	NFRC	0.23	NFRC	0.23	NFRC	Bug Screen	New	NA
Window 17	Window	Right Wall 2	Right	315	1	18	0.3	NFRC	0.23	NFRC	0.23	NFRC	Bug Screen	New	NA

OPAQUE DOORS					
01	02	03	04	05	06
Name	Side of Building	Area (ft ²)	U-factor	Status	Verified Existing Condition

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)	Existing	No	

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	50	EF	0.57	Brq/Hr	75000	0	80			Existing	No

01	02	03	04	05	06	07
Name	Pipe Insulation	Paralleled Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

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 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: 2023-06-20 10:43:13
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 HERS Provider: CalCERTS Inc.
 Report Generated: 2023-06-20 10:58:44

HERS WATER VERIFICATION OF EXISTING CONDITIONS



Registration Number: 223-P010072761A-000-000-000000-0000
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: 2023-06-20 10:43:13
 Report Version: 2022.0.000
 Schema Version: rev 20220901
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 Report Generated: 2023-06-20 10:58:44

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Design Type	Duct Ins. R-value	Duct Location	Surface Area	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts 25 ft			
Air Distribution System 1	Unconditioned attic	Non-Verified	R-6	R-6	Attic	Attic	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 1-hers-dist	Existing + New	No		Yes

01	02	03	04	05	06	07	08	09
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Basical Ducts	Deeply Buried Ducts	Low-leakage Air Handler	Low Leakage Ducts Entirely in Conditioned Space
Air Distribution System 1-hers-dist	Yes	10.0	Not Required	Not Required	Not Required	Credit not taken	Not Required	No

01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.45	HVAC Fan 1-hers-fan

01	02	03
Name	Verified Fan Watt Draw	Required Fan Efficacy (Watts/CFM)
HVAC Fan 1-hers-fan	Not Required	0

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I, I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Timothy Carstairs	Documentation Author Signature: <i>Timothy Carstairs</i>
Company: Carstairs Energy Inc.	Signature Date: 2023-06-20 10:40:05
Address: 2238 Bayview Heights Drive, Suite E	CA/HERS Certification Identification (if applicable): r160810042
City/State/Zip: Los Osos, CA 93402	Phone: 805-904-9049

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
- I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: SERVERES PRADO	Responsible Designer Signature: <i>SERVERES PRADO</i>
Company: RESIDENTIAL DESIGN	Date Signed: 2023-06-20 10:43:13
Address: 629 S 7TH ST	License: n/a
City/State/Zip: SAN JOSE, CA 95112	Phone: 408-200-3800

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.



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NO.	REVISION	DATE	BY	ISSUED FOR

PROPOSED
NEW ADDITION

OWNER: CORREIA RESIDENCE
 10885 FOOTHILL AVE.
 GILROY, CA 95020

Guillermo Prado
 RESIDENTIAL DESIGNS
 629 S. 7th Street • San Jose, CA 95128
 Phone: (408) 200-3800
 gresidential@gmail.com

Date	6/20/23
Scale	AS NOTED
Drawn	AP
Job	
Sheet	T24-1



2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. 04/2022

Building Envelope:

Table of building envelope requirements including sections for Air Leakage, Insulation, Radiant Barrier, Vapor Retarder, and Fireplaces.

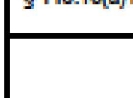
5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table of mandatory requirements including sections for Light Sources, Interior Switches and Controls, Energy Management Control Systems, and Independent Controls.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table of mandatory requirements including sections for Solar Readiness, Shading, and Electric and Energy Storage Ready.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table of mandatory requirements including sections for Pilot Lights, Building Cooling and Heating Loads, Clearances, Water Piping, Insulation Protection, and Ducts and Fans.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table of mandatory requirements including sections for Energy Storage System (ESS) Ready, Electric Cooktop Ready, and Electric Clothes Dryer Ready.

*Exceptions may apply.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table of mandatory requirements for Space Conditioning System Airflow Rate and Fan Efficacy.

Ventilation and Indoor Air Quality:

Table of mandatory requirements for ventilation and indoor air quality including sections for CFM, Whole-Dwelling Unit Mechanical Ventilation, and Local Mechanical Exhaust.

Pool and Spa Systems and Equipment:

Table of mandatory requirements for pool and spa systems including sections for Certification by Manufacturers, Piping, Covers, and Pool Systems and Equipment Installation.

Lighting:

Table of mandatory requirements for lighting including sections for Lighting Controls and Components, Luminaire Efficacy, and Light Sources.

5/6/22

Table with columns: NO., REVISION, DATE, BY, ISSUED FOR.

PROPOSED NEW ADDITION

OWNER: CORREIA RESIDENCE 10885 FOOTHILL AVE. GILROY, CA 95020

RESIDENTIAL DESIGNS Guillermo Prado 629 S. The Street • San Jose, CA 95128 Phone: (408) 295-3800 (408) 378-3085 gpradodesign@gmail.com

Table with columns: Date, Scale, Drawn, Job, Sheet. Values: Date 6/20/23, Scale AS NOTED, Drawn AP, Job, Sheet T24-2

CALGREEN 2022 NOTES – MANDATORY REQUIREMENTS:

1. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.

2. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS, AND OTHER MEASURES CAN BE USED. EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

3. FOR ANY NEW DWELLING UNITS WITH ATTACHED GARAGES AND FOR REBUILDS OF EXISTING DWELLING UNITS THAT INCLUDE A PANEL UPGRADE OR CONSTRUCTION BETWEEN THE PANEL AND PARKING AREA, INSTALL A LEVEL 2 EV READY SPACE AND LEVEL 1 EV READY SPACE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "LEVEL 2 EV-READY."

EXCEPTION: FOR EACH DWELLING UNIT WITH ONLY ONE PARKING SPACE, INSTALL A LEVEL 2 EV READY SPACE.

LEVEL 1 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 110/120 VOLT, 20-AMPERE CAPACITY, INCLUDING ELECTRICAL PANEL CAPACITY; AN OVERPROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELLED "ELECTRIC VEHICLE OUTLET" WITH AT LEAST A ½" FONT ADJACENT TO THE PARKING SPACE, OR (B) LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).

LEVEL 2 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 208/240 VOLT, 40-AMPERE CAPACITY, INCLUDING THE REQUIRED ELECTRICAL PANEL CAPACITY; AN OVERCURRENT PROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELED "ELECTRIC VEHICLE OUTLET" WITH A MINIMUM ½" FONT, ADJACENT TO THE PARKING SPACE, OR (B) A BLANK LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) WITH A MINIMUM OUTPUT OF 40 AMPERES.

4. ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) WITHOUT ADDITIONAL PARKING SPACES AND WITHOUT ELECTRICAL PANEL UPGRADE OR NEW PANEL INSTALLATION ARE EXEMPT FROM REQUIREMENTS ON NOTE 3. ADUS AND JADUS WITHOUT ADDITIONAL PARKING BUT WITH ELECTRICAL PANEL UPGRADES OR NEW PANELS MUST HAVE RESERVED BREAKERS AND ELECTRICAL CAPACITY ACCORDING TO THE REQUIREMENTS OF NOTE 3.

5. ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY BUILDING AND INSPECTION DIVISION. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

- A. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
- B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.
- C. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
- D. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- E. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

6. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

7. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH COUNTY OF SANTA CLARA WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0), WHICHEVER IS MORE STRINGENT.

8. Not used.

9. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

A. A CONSTRUCTION WASTE MANAGEMENT PLAN IS PROVIDED. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE COUNTY OF SANTA CLARA.

- 1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
- 2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
- 3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
- 4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
- 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

B. A WASTE MANAGEMENT COMPANY CAN BE UTILIZED IF APPROVED BY THE COUNTY OF SANTA CLARA. SEE CALGREEN 4.408.3 FOR FURTHER .DETAILS

11. DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH NOTE 10.

12. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER MEDIA ACCEPTABLE TO THE COUNTY OF SANTA CLARA INCLUDES ALL OF THE REQUIRED INFORMATION, SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 4.410.1 FOR DETAILS OF REQUIRED INFORMATION.

13. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGULATION 6, RULE 3.

14. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

15. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4.504.1 OR 4.504.2 AS REPRODUCED ON SHEET CG-1. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED BELOW.

AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

16. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS AS SHOWN IN TABLE 4.504.3 SHEET CG-1. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NON-FLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3, SHEET CG-1 SHALL APPLY.

17. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

18. VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

19. ALL CARPET AND CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)

ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1, SHEET CG-1.

20. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)

21. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 4.504.5 SHEET CG-1.

22. VERIFICATION OF COMPLIANCE WITH NOTE 21 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

23. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CRC CHAPTER 5, SHALL COMPLY WITH FOLLOWING REQUIREMENT:

A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

- A. A 4-INCH-THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED.
- B. A SLAB DESIGN SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL.

24. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

25. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:

CORREIA RESIDENCE
10885 FOOTHILL AVE
GILROY CA 95020

Project Information

CALGreen One or Two Family Residential Project Mandatory Requirements
County of Santa Clara



CG-2