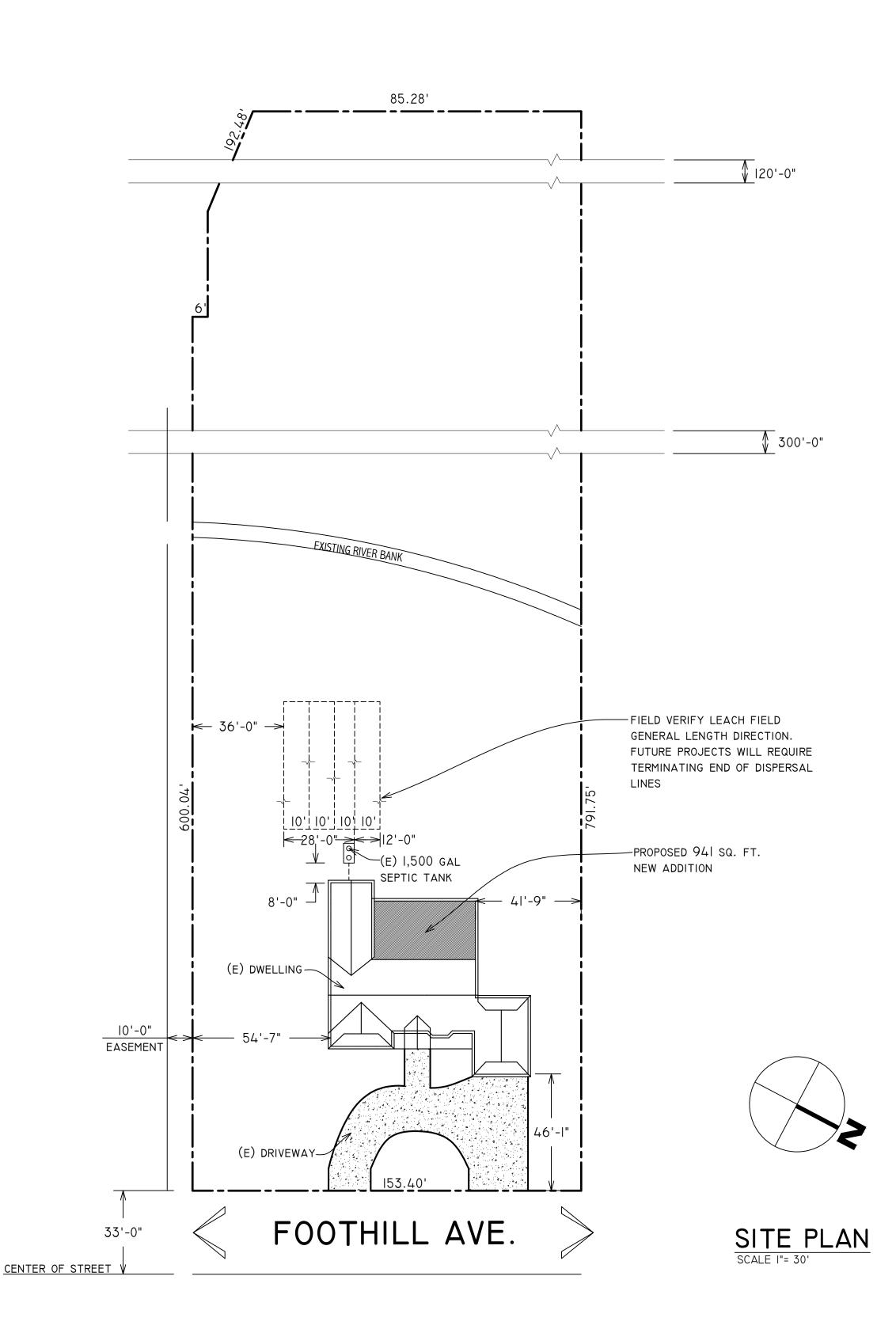
CORREIA RESIDENCE NEW ADDITION

10885 FOOTHILL AVE • GILROY, CA. 95020



GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, FOUNDATION & FRAMING SYSTEMS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DEVIATIONS FROM APPROVED PLANS WHICH ARE NECESSITATED BY FIELD CONDITIONS OR CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLANS MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL PRIOR TO STARTING CONSTRUCTION SO THAT A UNANIMOUS DECISION (AMONG CONTRACTOR, OWNER, DESIGN PROFESSIONAL, AND ANY OTHER PARTY INVOLVED) IS MADE. OTHERWISE, GP RESIDENTIAL DESIGNS ACCEPTS NO LIABILITY FOR ANY CONDITION(S)

CAUSED BY SUCH DEVIATIONS/DISCREPANCIES.

NOTE:

- FIELD VERIFY SITE SET-BACKS PRIOR TO EXCAVATION. FOR ANY DISCREPANCIES, PLEASE NOTIFY DESIGNER.
- NO CONCENTRATED FLOW ACROSS THE RIGHT-OF-WAY, NOR NEIGHBORING PROPERTIES.

ICABLE CODES	PROJECT DATA
_, _,	

CALIFORNIA BUILDING CODE (CBC)2022	A.P.N # 830-31-009
CALIFORNIA ELECTRICAL CODE (CEC)2022	
CALIFORNIA MECHANICAL CODE (CMC) 2022	OCCUPANCY GROUP R-3/U
CALIFORNIA PLUMBING CODE (CPC)2022	
CALIFORNIA ENERGY CODE2022	CONSTRUCTION TYPE V-B
CALIFORNIA FIRE CODE (CFC)2022	
CALIFORNIA RESIDENTIAL CODE (CRC)2022	ZONING RR-5AC

GENERAL NOTES

- EMERGENCY EGRESS FROM SLEEPING ROOMS, MIN. 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 MIN. AREA OPENING HEIGHT DIMENSION SHALL BE 44" MAX.ABOVE FINISH FLOOR AND EGRESS WINDOWS FOR BEDROOMS SHALL BE OPENABLE.
-) PROVIDE SMOKE DETECTORS IN EACH EXISTING SLEEPING AREA AND AT A CENTRAL POINT IN HALLWAY SOLELY
- 3) ALL SMOKE DETECTORS IN NEW CONSTRUCTION AREA SHALL HAVE PRIMARY POWER AND EQUIPPED WITH BATTERY BACK-UP.
-) SHOWER/TUB WALLS BACKING MATERIAL SHALL BE CEMENTITIOUS, WONDERBOARD OR DUROCK. EXTENED TO A MINIMUM HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET PER CRC R308.4 (NO GREEN BOARD ALLOWED IN SHOWER/TUB WALLS.)
- 5) PER R308.3 & 308.4, GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. PLEASE SEE SHEET A2 FOR ADDITION NOTES ON GLAZING IN HAZARDOUS LOCATION.
-) ANY DEVIATIONS FROM THE PLANS, WHICH ARE NECESSITATED BY THE FIELD CONDITIONS OR ANY CONDITIONS FROM THOSE INDICATED ON PLAN, SHALL PRIOR TO CONTINUING CONSTRUCTION. ALL WORK IS TO BE COORDINATED SO THE OPERATION BETWEEN THE TRADES, WHERE REQUIRED, IS ACCOMPLISHED.

MECHANICAL-PLUMBING-ELECTRICAL NOTES

- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3FT FROM ANY OPENINGS IN THE BUILDING (I.E., DRYERS, BATH, AND UTILITY FANS, ETC. MUST BE 3FT AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS.)
-) WATER CLOSETS SHALL HAVE A MAXIMUM OF 1.28 GALLONS PER FLUSH. PER CPC 402.2.2
-) SEISMIC ANCHORAGE OF WATER HEATER TO INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4 INCHES ABOVE.
-) WATER HEATER PRESSURE RELIEF VALVE SHALL DRAIN TO AN EXTERIOR WALL PER 2, CPC 608
- 5) TUB/SHOWER COMBINATION SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE FOR THE THERMOSTATIC MIXING VALVE TYPE PER CPC 418.
- 6) SHOWER HEAD SHALL A MAX. FLOW OF 2.4 GPM (UPC 402.8) AND FAUCETS TO HAVE A MAXIMUM FLOW OF 2.2 GPM. (UPC 402.5)
-) ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT SINGLE-PHASE 15 AND 20AMP RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT SHALL BE PROTECTED BY AN ARC-FAUCT CIRCUIT INTERRUPTER(S).
- ALL BUILT-IN APPLIANCES SUCH AS, STOVE, RANGE HOOD, DISH WASHER, GARBAGE DISPOSAL, ETC. SHALL HAVE A DEDICATED CIRCUIT.

T24-I • TITLE 24

SCOPE OF WORK

- TO ABATE VIOLATION
- NEW ADDITION 941 SQ. FT. OF A

SITE AREA

A)	LOT :	SIZE	• • • • • • • • • • • • • • • • • • • •	• • • • • • • • • • • • • • • • • • • •	127,085	SQ.	FT.
в)	EXIST	ΓING	DWELLING		. 2,602	SQ.	FT.

- C) EXISTING GARAGE 420 sq. ft.
- 941 SQ. FT. E) NEW ADDITION

D) EXISTING FRONT PORCH

PARCEL MAP



DRAWING INDEX						
Al .	• SITE PLAN	T24-2	• 2022 SINGLE-FAMILY RESIDENTIAL MANDATORY REQUIREMENTS SUMMARY			
Al. l	• EROSION CONTROL PLAN	CGI	• CALGREEN			
1.2	• EXISTING & DEMO. PLAN	CG2	• CALGREEN			
2	PROPOSED FLOOR PLAN					
\3	• FOUNDATION					
4	• ROOF FRAMING PLAN					
\5	• CROSS SECTION					
46	PROPOSED ELEVATIONS					
24	• TITLE 24					

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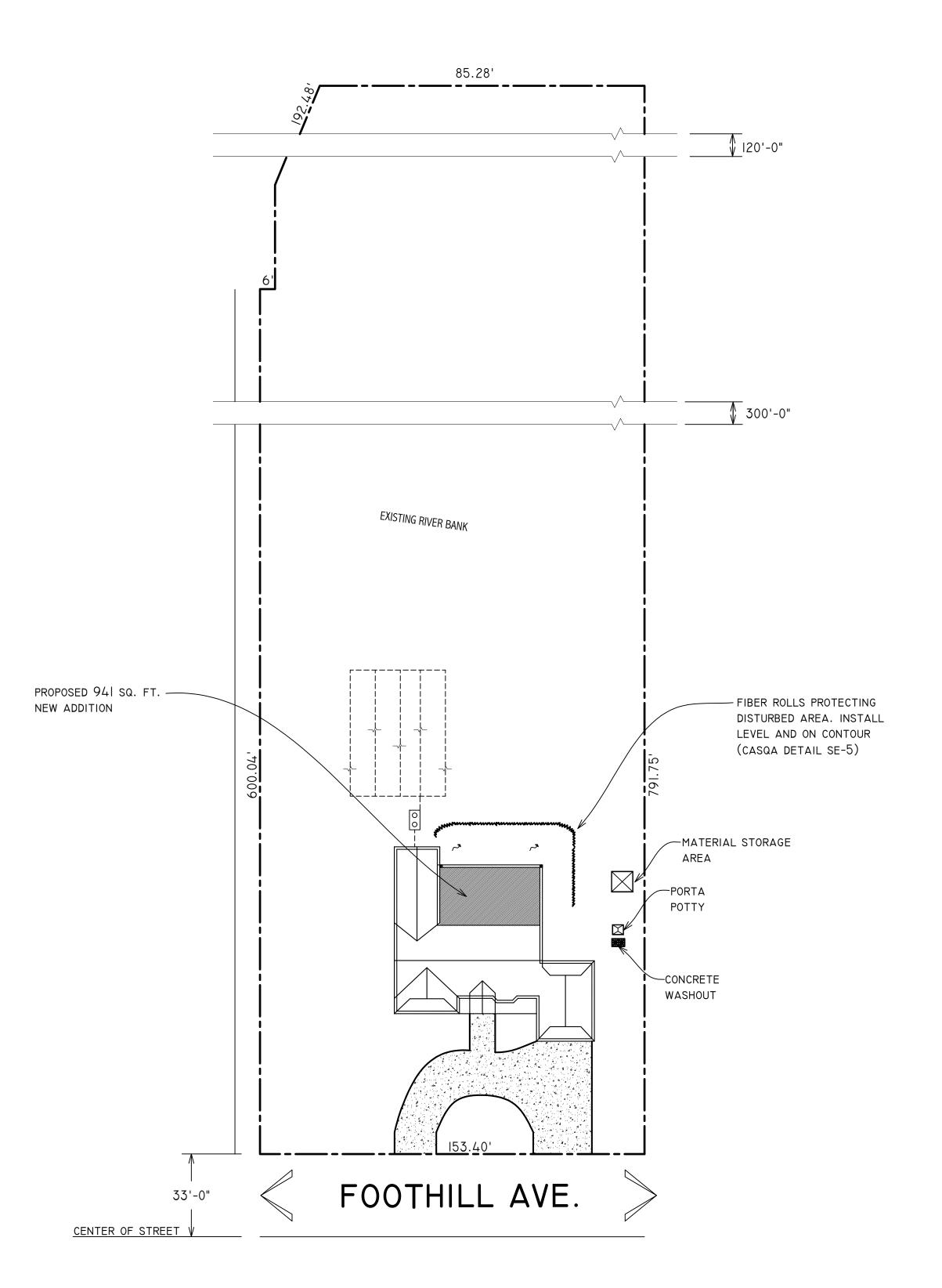
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Roads & Airports Construction Notes For Property Owners Template

Erosion and Sediment Control Notes:

- 1. The Owner, Contractor, and/or any person performing construction activities shall install and maintain construction Best Management Practices (BMPs) on the project site and within the Santa Clara County Road Right of Way throughout the duration of construction and until the establishment of permanent stabilization and sediment control to prevent the discharge of pollutants including sediment, construction materials, excavated materials, waste materials into the Santa Clara County Road Right of Way, storm sewer waterways, and roadway infrastructure. BMPs shall include, but not be limited to, the following:
 - Prevention of pollutants in storm water discharges from the construction site and the contractor's material and equipment laydown/staging areas,
 - Prevention of tracking of mud, dirt and construction materials onto public road right of way, and
 Prevention of discharge of water runoff during dry and wet weather conditions onto public road right of way.
- 2. The Owner, Contractor and/or any person performing construction activities shall ensure that all temporary construction facilities, including but not limited to construction materials, deliveries, hazardous and non-hazardous material storage, equipment, tools, portable toilets, concrete washout, garbage containers, laydown yards, secondary containment areas, etc. are located outside the Santa Clara County Road Right of Way.

Permanent Monuments/ Monument Preservation:

1. In accordance with the California Professional Land Surveyors' Act (Business and Professions Code) Chapter 15 Sections 8771 and 8725.1, California Penal Code 605, and California Government Code 27581, the Owner, Contractor, and/or any person performing construction activities that will or may disturb an existing roadway/ street monument, corner stake, or any other permanent surveyed monument and/or as shown on the plan sheet shall ensure that a Corner Record and/or Record of Survey are filed with the County Surveyor Office prior to disturbing said monuments. All disturbed or destroyed monuments shall be reset and filed in compliance with Section 8771.

Utility Clarification Note:

 No new replacement and/or utility upgrades are required/ anticipated. If during construction it is discovered that new, replacement and/or utility upgrades are required, then the Owner, Owner's Contractor and/or the Specific Utility Company shall apply and obtain a separate Encroachment Permit for said work within the limits of the ROW from Roads and Airports.

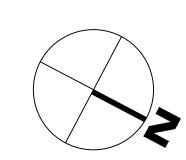
Improvement Plan Construction Notes:

- All Work in the County Road Right of Way requires an encroachment permit from the Roads and Airports
 Department. Each individual activity requires a separate permit i.e. retaining walls, driveway
 approaches, temporary construction entrances, fences, landscaping, tree removal, storm drainage
 improvements, all utility operations (relocations, replacements, abandonments, temporary facilities, and/or
 new facilities for cable, electric, gas, sewer, water), etc.
- Roadways designated as Not County maintained roads as shown upon this plan, will not be eligible for County maintenance until the roadways are improved (at no cost to the County) to public maintenance road standards approved by the Board of Supervisors and in effect at such time that the roadways are considered for acceptance into the County's Road System.

EROSION CONTROL NOTES:

- I. ALL EROSION CONTROL MEASURES SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
- 2. SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO STREET, GUTTER, OR STORM DRAIN.
- 3. REVEGETATE DISTURBED AREAS, EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET.
- 4. ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 6 MIL PLASTIC SHEETS,
- SUITABLY ANCHORED.

5. THE SITE SHALL BE MONITORED BY THE CONTRACTOR/OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.



EROSION CONTROL PLAN

SCALE I"= 30"

NO. REVISION DATE BY ISSUED FOR

PROPOSED ADDITION

CORREIA RESIDENCE 10885 FOOTHILL AVE GILROY, CA 95020

RESIDENTIAL DESIGNS 829 S. 7th Street • San Jose, CA 95112 Phone: (408) 292-3800 • (408) 274-3063 Phone: (408) 292-3800 Phone: (408) P

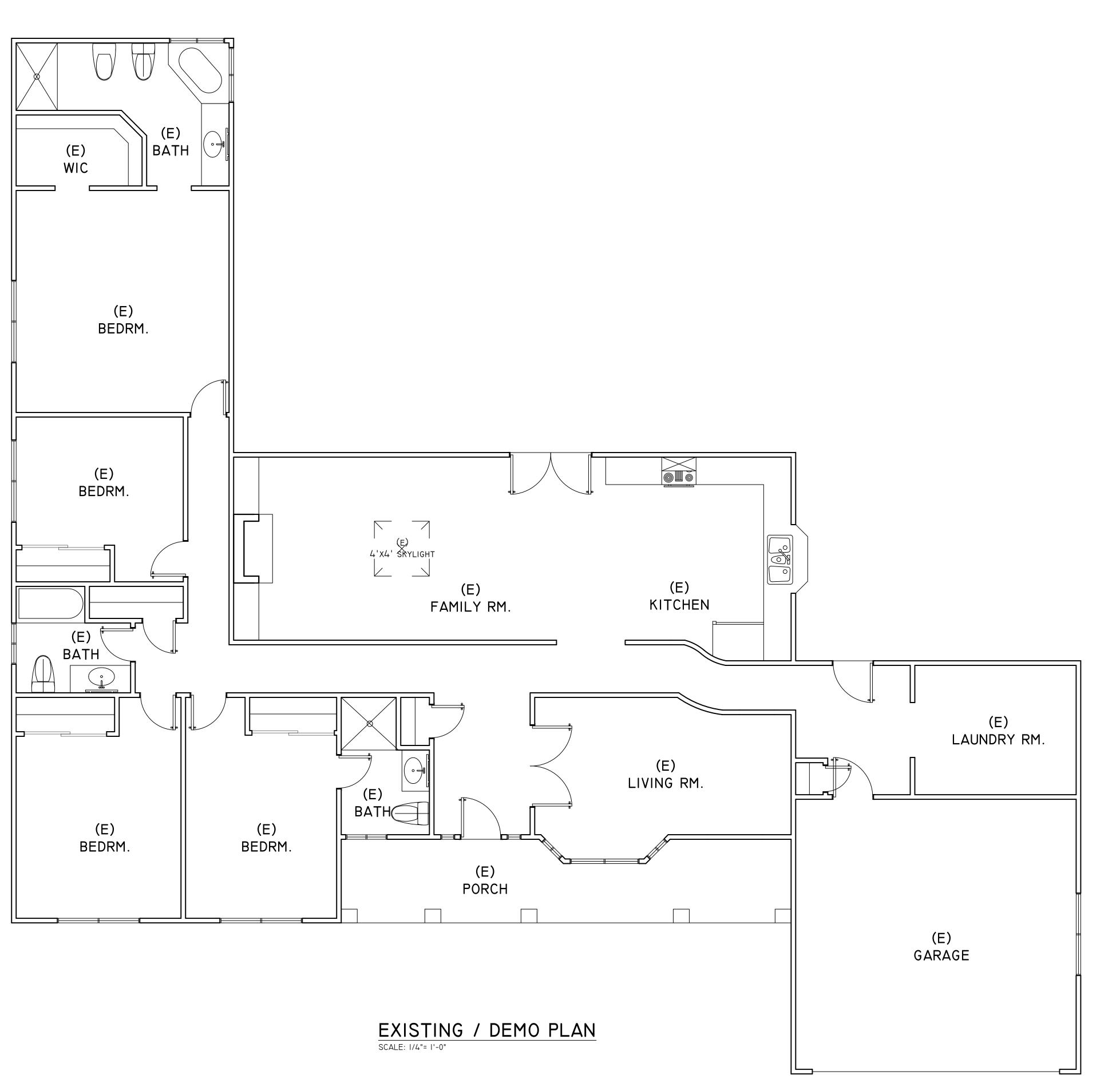
Date 6/20/23

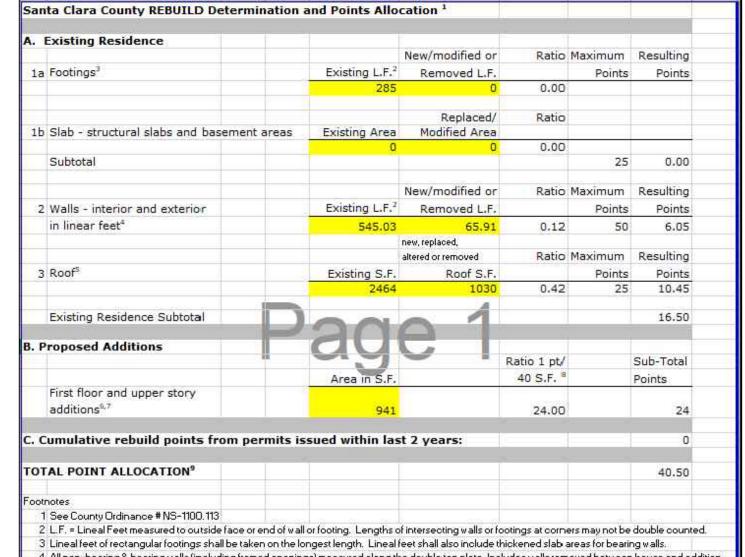
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4 All non-bearing & bearing walls (including framed openings) measured along the double top plate. Includes walls removed between house and addition

Modified walls are walls where the double top plates are altered; the greatest length of either new/modified or demolished walls shall be used 5 Includes all california framing, eaves, rakes, attached outdoor covered areas enclosed by more than 50% of the perimeter and substantial changes to roof framing (i.e. going from a flat ceiling to vaulted ceiling) that substantially changes the roof structural system

6 Points for additions and points for removal of existing roof structures both count, unless the existing roof framing is to remain in place as part of or under the second story addition

7 Additions great than 2000 sq. ft are <u>automatically</u> considered a rebuild, regardless of the points accumulated due to work on the existing structure.

8 Any remaining fraction of points shall be considered one (1) whole point. 9 The project will be classified as a "REBUILD" if the total points exceed 55.

WALL LEGEND

EXISTING WALL

DEMOLITION NOTES

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED T LOAD BEARING WALLS. IN CASE OF ANY DISCREPANCIES BETWEEN DEMOLITION PLANS AND FIELD CONDITIONS, OR CONDITIONS NOT SHOWN ON PLANS, <u>DO NOT</u> START ANY DEMOLITION WORK AND NOTIFY DESIGNER OF RECORD.

ALL BUILDING COMPONENTS AND FINISHES HEREBY SHOWN TO REMAIN IN PLACE, SHALL BE PROTECTED FROM DAMAGE.

CORREIA RESIDENCE 10885 FOOTHILL AVE GILROY, CA 95020

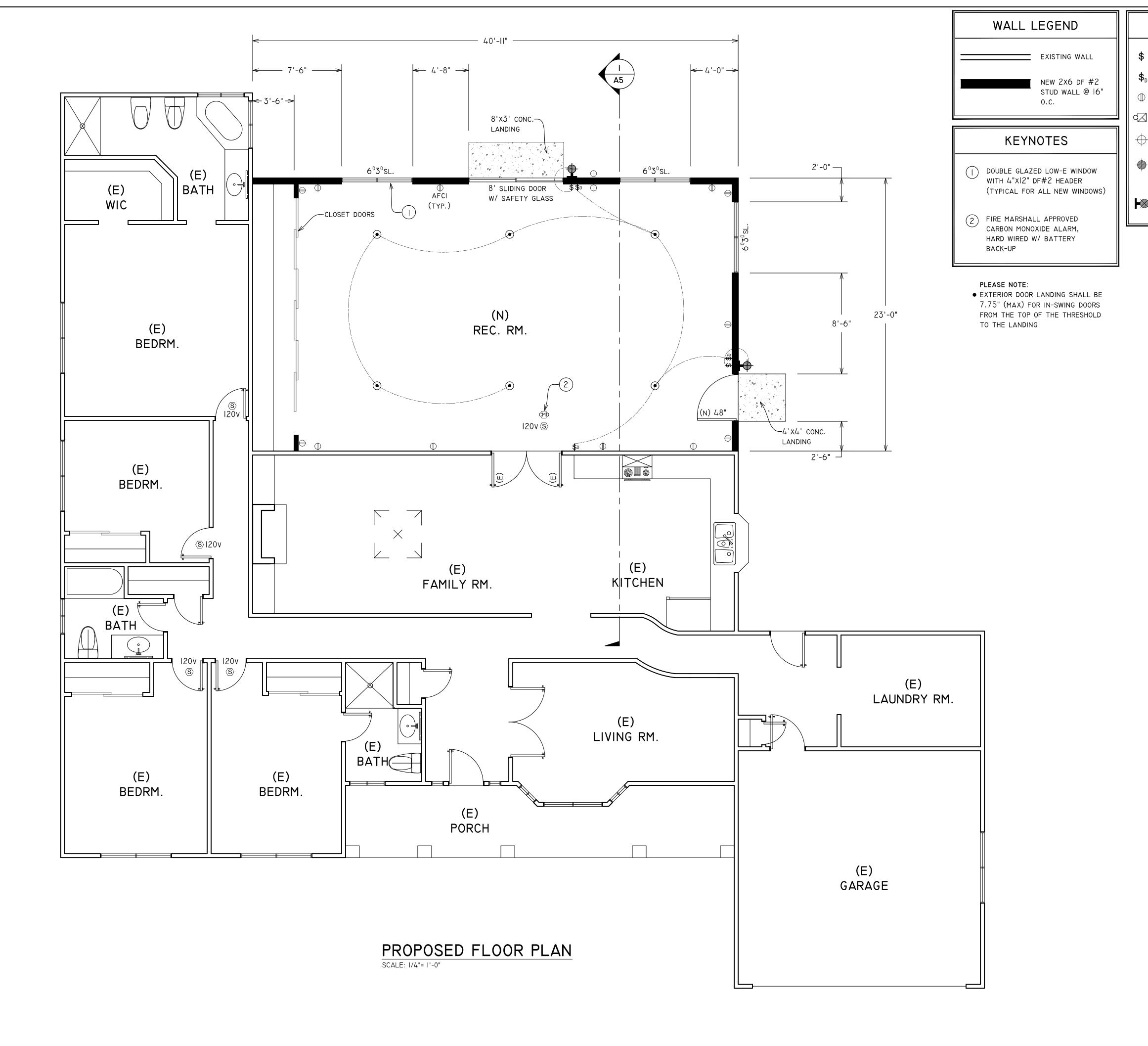
PROPOSED

ADDITION

RESIDENTIAL DESIGNS S29 S. 7th Street • San Jose, CA 95112C Phone: (408) 292-3800 • (408) 274-3060C Phone: (408) 292-3960C Phon

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Sheet A1.2



ELECTRICAL SYMBOL LEGEND

\$ WALL SWITCH

\$D WALL SWITCH WITH DIMMER

OUTLET

EXHAUST FAN

HIGH EFFICIENCY LED CAN LIGHT FIXTURE

26 WATT HIGH EFFICIENCY LED RECESSED CAN WITH ELECTRONIC BALLAST, WHITE REFLECTOR AND TRIM.

HIGH EFFICACY EXTERIOR FLUORESCENT SCONCE

SMOKE ALARM 120V WITH

BATTERY BACK-UP

SURFACE OR PENDANT MOUNTED INCANDESCENT LIGHT FIXTURE

I'X4' SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE

FLUORESCENT VANITY LIGHT FIXTURE WITH T8 LAMPS AND ELECTRONIC BALLAST

M/P/E NOTES:

- LUMINARIES RECESSED INTO INSULATED CEILINGS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UNDERWRITERS LABORATORIES OR OTHER TESTING/RATING LABORATORIES RECOGNIZED BY THE INTERNATIONAL CONFERENCE BUILDING OFFICIALS, AND SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT (AT) OR SIMILAR DESIGNATION TO SHOW AIRLEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS (OR 1.57/FT^2) WHEN TESTED IN ACCORDANCE WITH ASTM E283, AND SHALL BE SEALED WITH A GASKET OT CAULK BETWEEN THE HOUSING AND CEILING.
- SMOKE ALARMS IN EACH BEDROOM, IN EACH HALL ADJACENT TO A BEDROOM, AND ON EACH FLOOR.
- ALL LIGHTING TO BE HIGH EFFICIENCY (FLUORESCENT).
- ALL OUTDOOR LIGHTING THAT IS MOUNTED TO THE BUILDING SHALL BE SPECIFIED AS HIGH EFFICIENCY LIGHTING CONTROLLED BY A STANDARD SWITCH OR INCANDESCENT CONTROLLED BY A MOTION SENSOR WITH INTEGRATED PHOTO CELL.
- ELECTRICAL, MECHANICAL, AND PLUMBING SCOPE OF WORK WILL BE SUBJECT TO FIELD INSPECTORS COMMENTS/CORRECTIONS DURING CONSTRUCTION PHASE.
- PROVIDE WEATHER PROTECTION FOR EXTERIOR LIGHTING FIXTURES
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15-AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED PER CEC 210.12(B)
- ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.II.
- AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. CEC 210.11(c)(3)
- ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY, UTILITY, WET BAR SINKS (WITHIN 6 FEET OF THE EDGE OF SINK), SHALL HAVEA GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION. CEC 210.8
- A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, OR OTHER SIMILAR AREAS (CEC 210.11(c)(1))
- PHOTOELECTRIC SMOKE ALARM SHALL NOT BE INSTALLED LESS THAN 6' HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

PLEASE NOTE: ANY DEVIATIONS FROM THE PLANS, WHICH ARE NECESSITATED BY THE FIELD CONDITIONS OR ANY CONDITIONS FROM THOSE INDICATED ON PLAN, SHALL BE CALLED TO THE ATTENTION OF THE DESIGNER PRIOR TO CONTINUING CONSTRUCTION. ALL WORK IS TO BE COORDINATED SO THE OPERATION BETWEEN THE TRADES, WHERE REQUIRED, IS ACCOMPLISHED.

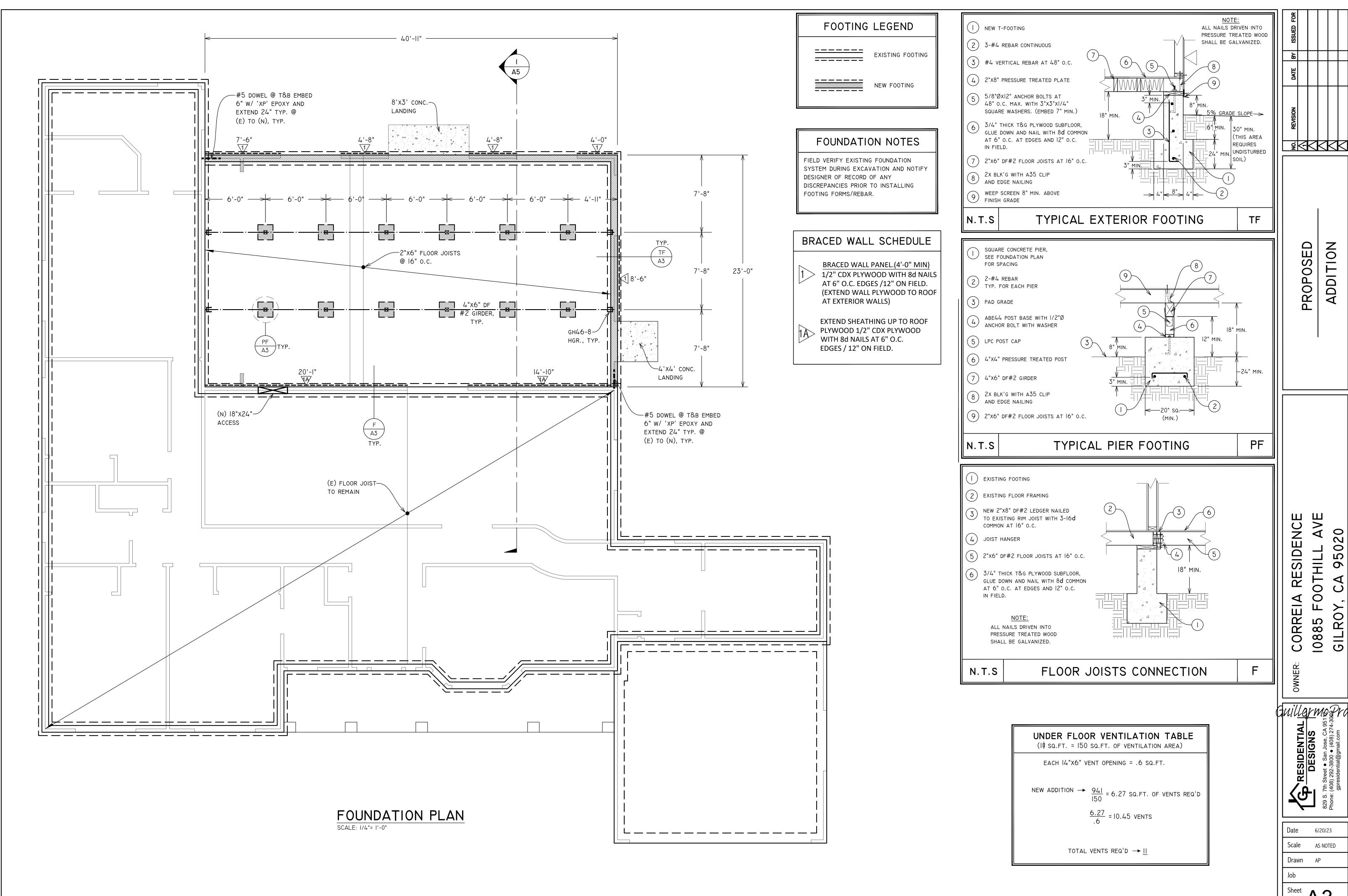
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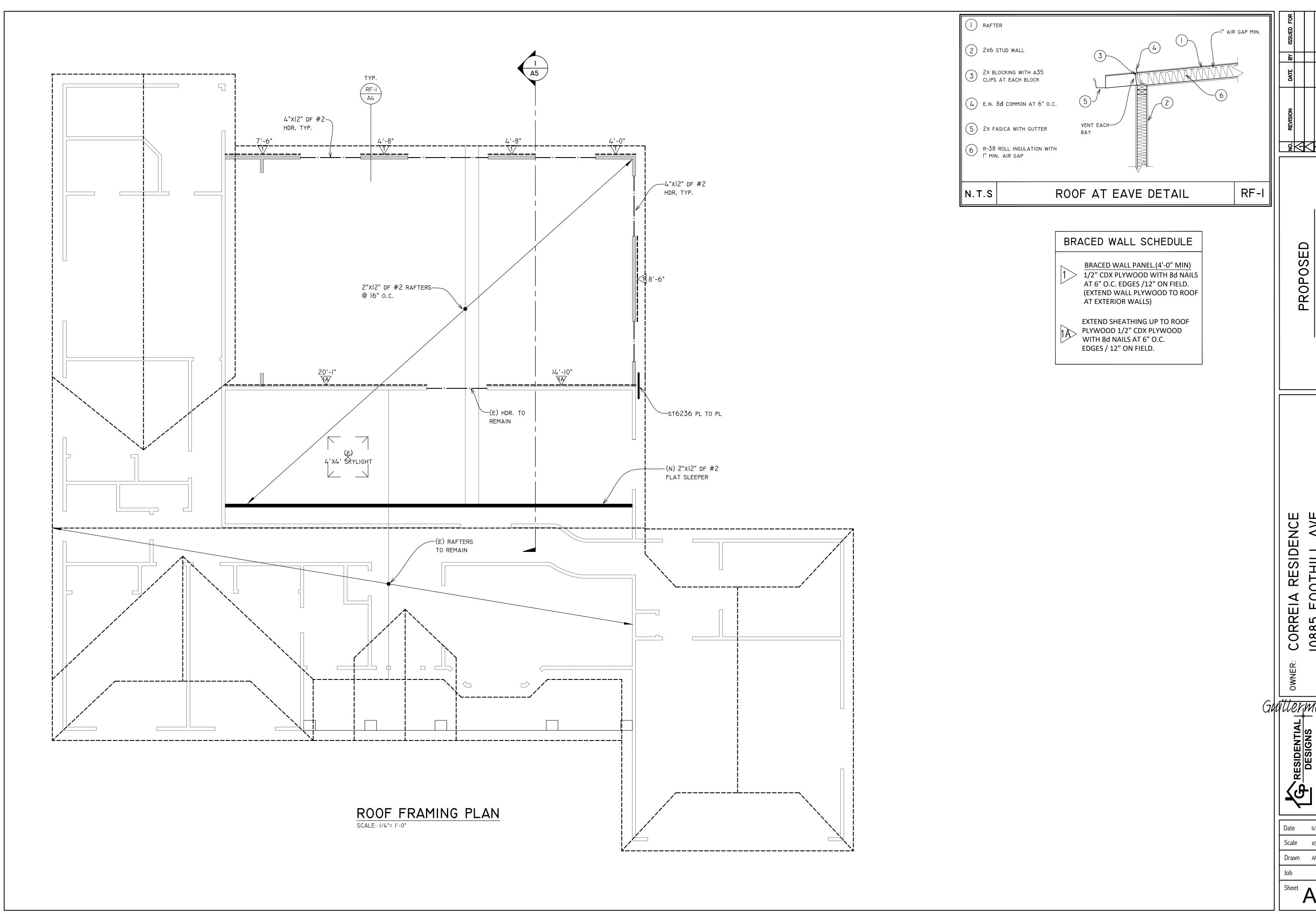
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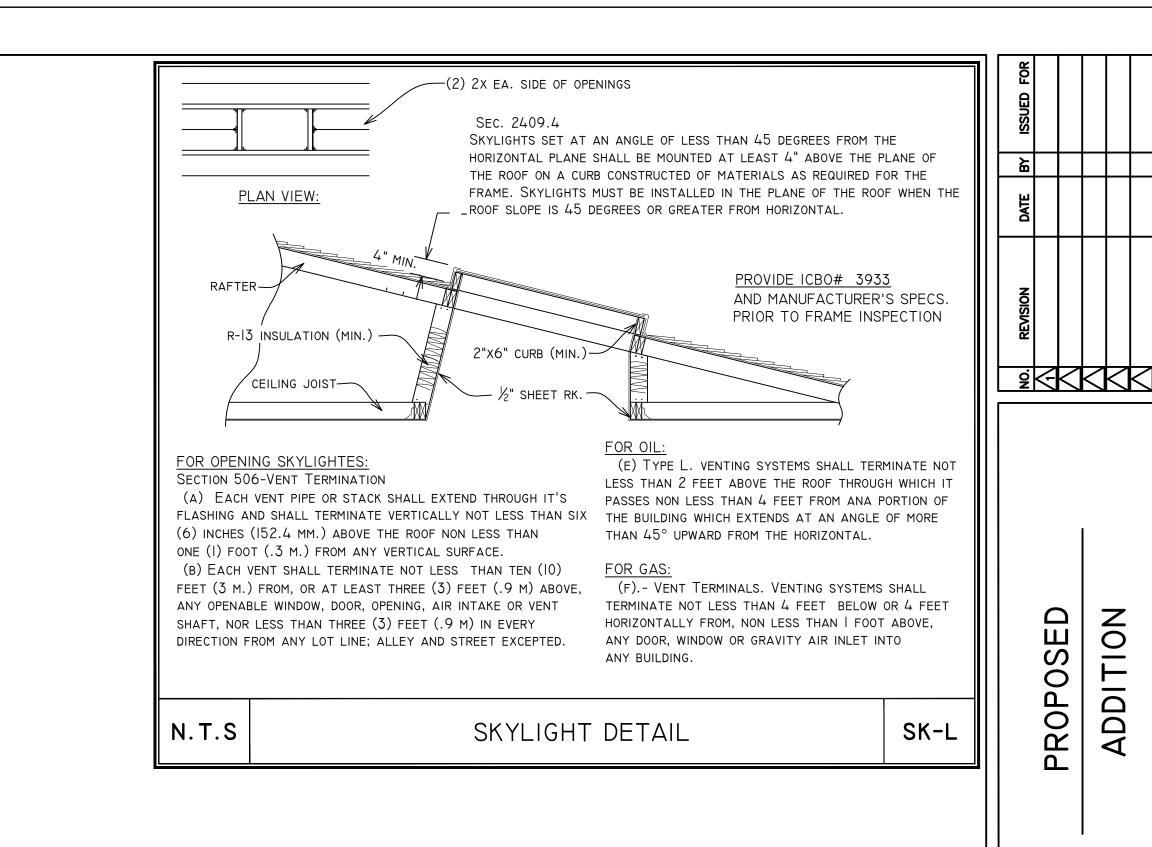


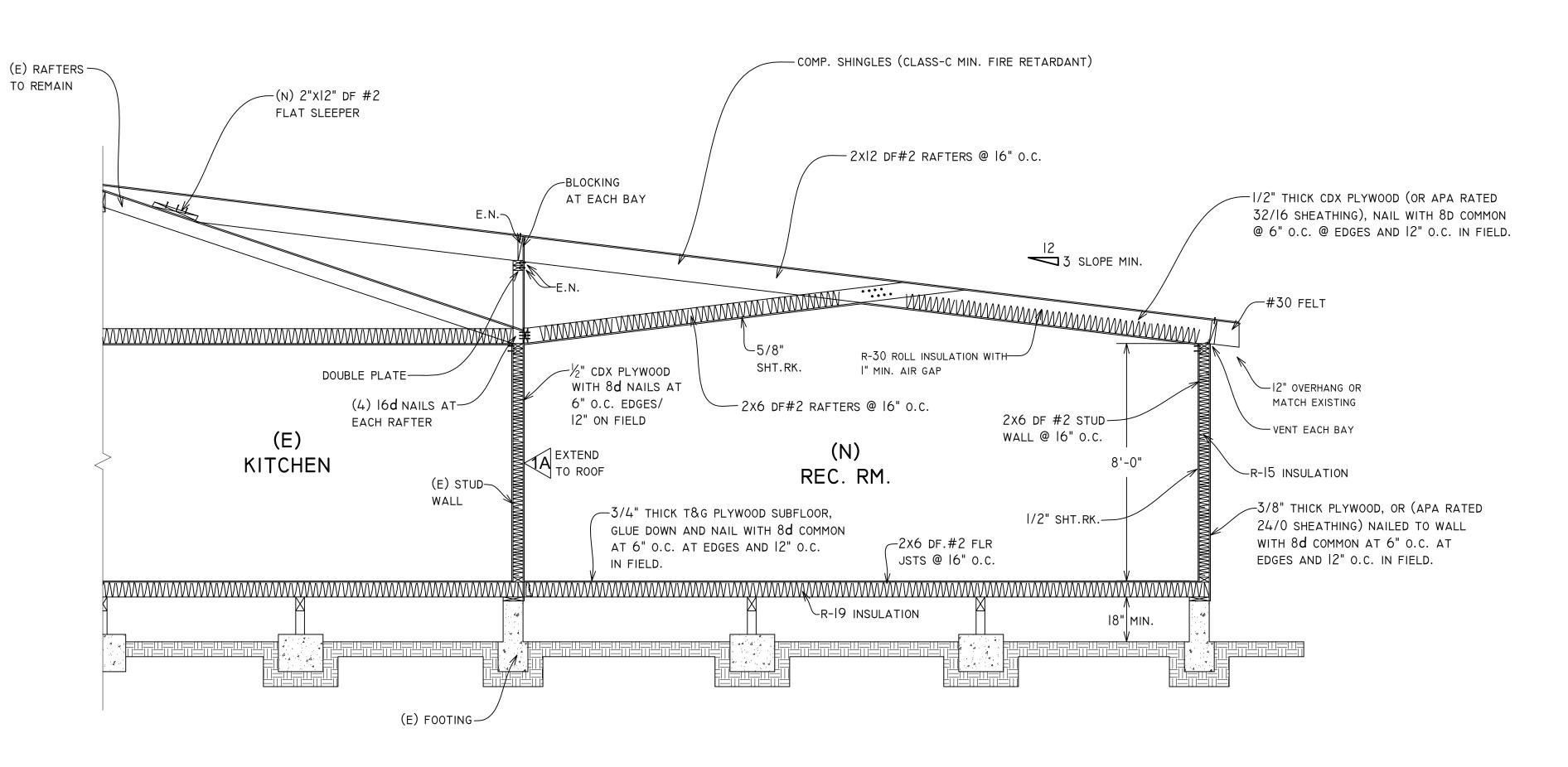
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ADDITION

RESIDENCE OTHILL AVE **OOTHILL** 10885





CROSS SECTION **Δ**5 SCALE 3/8"= 1'-0"

RESIDENCE OTHILL AVE

CORREIA

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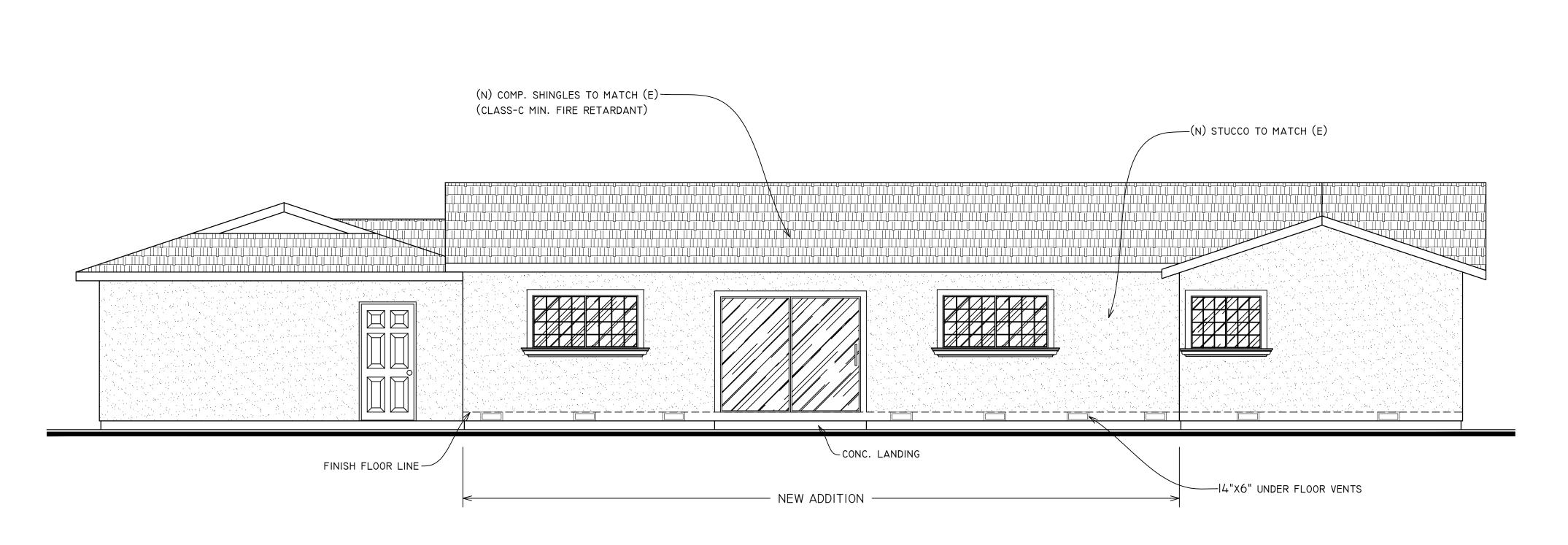
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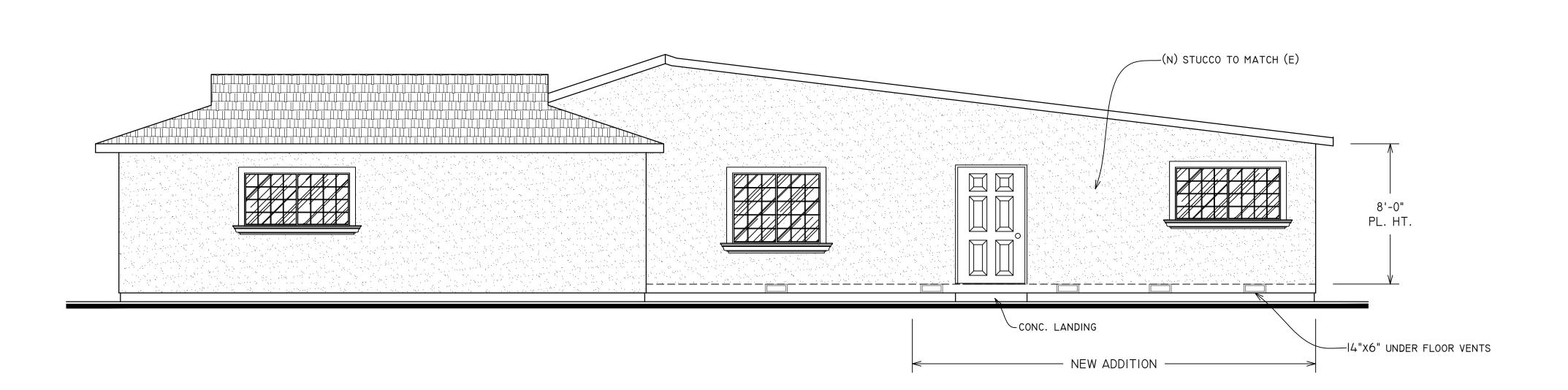
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Sheet **A5**



REAR VIEW ELEVATION

SCALE: 1/4"= 1'-0"



RIGHT SIDE ELEVATION

SCALE: |/4"= |'-0"

NO. REVISION DATE BY ISSUED FOR

PROPOSED ADDITION

CORREIA RESIDENCE 10885 FOOTHILL AVE GILROY, CA 95020

RESIDENTIAL DESIGNS
829 S. 7th Street • San Jose, CA 951182
Phone: (408) 292-3800 • (408) 274-3068
gpresidential@gmail.com

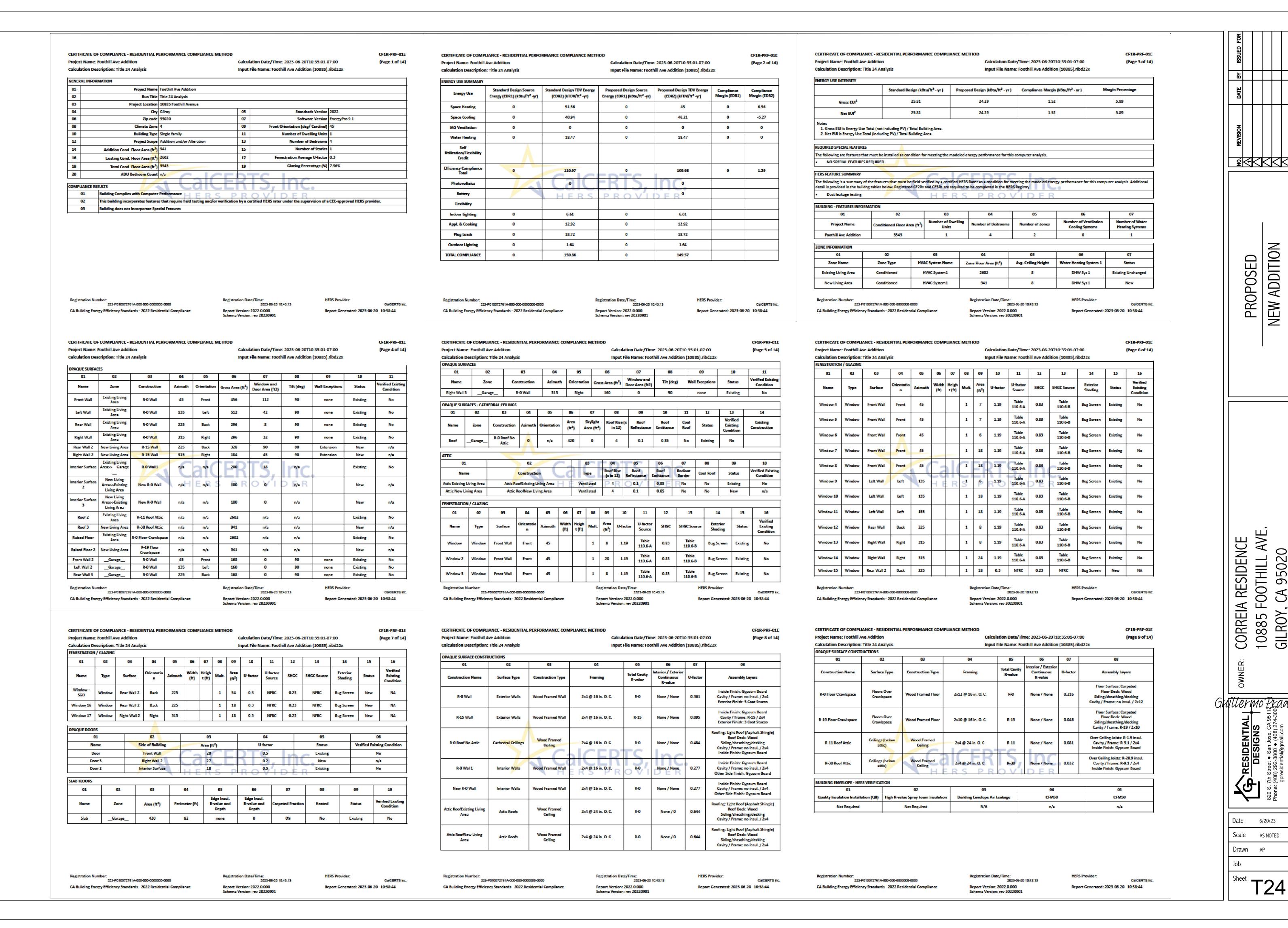
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Sheet A6



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CF1R-PRF-01E CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Calculation Date/Time: 2023-06-20T10:35:01-07:00 Project Name: Foothill Ave Addition (Page 10 of 14) Calculation Description: Title 24 Analysis Input File Name: Foothill Ave Addition (10885).ribd22x WATER HEATING SYSTEMS 12 Verified Existing Water HERS Compact Existing Heating Condition System System Type Status Name Units System Distribution Verification Name (#) Domestic Hot Water **DHW Heater DHW Heater** DHW Sys 1 n/a n/a None Existing No Standard 1 (1) (DHW) WATER HEATERS 05 06 Tank Insulation R-value (Int/Ext) Standby Loss or Recovery Eff 1st Hr. Rating or Flow Rate Heating
Efficiency
Type
Rated
Input Type
Rating or
Pilot Heating Element Type Existing Condition 0.57 Btu/Hr 75000 Small Storage Heater 1 WATER HEATING - HERS VERIFICATION 01 03 05 07 Shower Drain Water Heat **Compact Distribution Compact Distribution** Parallel Piping Type Recovery DHW Sys 1 - 1/1 Not Required Not Required Not Required Not Required Not Required None

Registration Number: 223-P010072761A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: 2023-06-20 10:43:13 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS Inc. Report Generated: 2023-06-20 10:38:44

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Foothill Ave Addition Calculation Date/Time: 2023-06-20T10:35:01-07:00 Input File Name: Foothill Ave Addition (10885).ribd22x Calculation Description: Title 24 Analysis

CF1R-PRF-01E (Page 13 of 14)

HERS RATER VERIFICATION OF EXISTING CONDITIONS



Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Easy to Verify at CalCERTS.com

CF1R-PRF-01E

(Page 12 of 14)

25 ft

Yes

Low Leakage

Ducts Entirely in

Conditioned

Space

No

CalCERTS Inc.

CF1R-PRF-01E

(Page 14 of 14)

Name

HVAC Fan 1-hers-fan

Verified Existing

Low-leakage Air

Handler

Not Required

Required Fan Efficacy (Watts/CFM)

Report Generated: 2023-06-20 10:38:44

HERS Provider:

Status

Existing + New

07

Ducts

Credit not taken

Fan Power (Watts/CFM)

Existing Distribution

system

Calculation Date/Time: 2023-06-20T10:35:01-07:00

Sealed and Distribution Tested System

06

Not Required

2023-06-20 10:43:13

Calculation Date/Time: 2023-06-20T10:35:01-07:00

Input File Name: Foothill Ave Addition (10885).ribd22x

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Input File Name: Foothill Ave Addition (10885).ribd22x

Registration Number: 223-P010072761A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Registration Date/Time: 2023-06-20 10:43:13 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS Inc. Report Generated: 2023-06-20 10:38:44

223-P010072761A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

03 04 05 06 07 08 09 10

y n y n y n

Verified Duct

Not Required

HVAC Fan

Location

No Bypass Duct

Verified Duct

Design

Not Required

Verified Fan Watt Draw

Not Required

Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

2023-06-20 10:40:05

Responsible Designer Signature:

2023-06-20 10:43:13

Phone: 408-209-3800

r160610042

805-904-9048

I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
 I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
 The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

EA/ HERS Certification Identification (If applicable):

SERVERS PRODO

Duct Ins. Duct S R-value Location

Duct Leakage Target (%)

10.0

Project Name: Foothill Ave Addition

HVAC - DISTRIBUTION SYSTEMS

Name

Air Distribution

System 1

Name

Air Distribution

System 1-hers-dist

HVAC - FAN SYSTEMS

Registration Number:

Timothy Carstairs

Carstairs Energy Inc.

Los Osos, CA 93402

Responsible Designer Name:

SERVER85 PRADO

Address: 829 S 7TH ST

RESIDENTIAL DESIGN

City/state/Zip: SAN JOSE , CA 95112

Calculation Description: Title 24 Analysis

ned attic

HVAC DISTRIBUTION - HERS VERIFICATION

Verified

02

Duct Leakage Verification

Name

HVAC Fan 1

Name HVAC Fan 1-hers-fan

223-P010072761A-000-000-0000000-0000

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

. I certify that this Certificate of Compliance documentation is accurate and complete.

I certify the following under penalty of perjury, under the laws of the State of California:

CA Building Energy Efficiency Standards - 2022 Residential Compliance

HVAC FAN SYSTEMS - HERS VERIFICATION

Project Name: Foothill Ave Addition

Calculation Description: Title 24 Analysis

2238 Bayview Heights Drive, Suite E

RESPONSIBLE PERSON'S DECLARATION STATEMENT

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

Registration Date/Time: 2023-06-20 10:43:13 Report Version: 2022.0.000 Schema Version: rev 20220901

CalCERTS Inc. Report Generated: 2023-06-20 10:38:44

EW ADDITION PROPOSED

10885 FOOTHILL AVE GILROY, CA 95020 CORREIA RESIDENCE

RESIDENTIAL OF THE SERVICE OF SER

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T24-1



2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

uilding Envelo	
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011. *
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.*
§ 110.7:	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(q).
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.*
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.10 Masonry walls must meet Tables 150.1-A or B. *
§ 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor. *
§ 150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material along without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to §150.0(d).
§ 150.0(g)2:	Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45.

§ 150.0(e)2:	area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device. *				
§ 150.0(e)3:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.*				
Space Conditionin	ng, Water Heating, and Plumbing System:				
§ 110.0-§ 110.3:	Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.				
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N. *				
§ 110.2(b):	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. *				
§ 110.2(c):	Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMC5) must have a setback thermostat.*				
§ 110.3(c)3:	Insulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank surface heat loss rating.				
§ 110.3(c)6:	Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.				

§ 150.0(e)1: Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.

Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in

Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.

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2022 Single-Family Residential Mandatory Requirements Summary

Reference Residential Appendix RA3.3. *

minimum airflow rate required by §150.0(o)1C

rates and sound requirements per §150.0(o)1G

sizing, flow rate, piping, filters, and valves.*

closets with an efficacy of at least 45 lumens per watt.

control, low voltage wiring, or fan speed control.

§150.0(o)1Gvi. *

Pool and Spa Systems and Equipment:

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with

tequirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2,

Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses . Single-family detached dwelling units,

Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have demandcontrolled exhaust system meeting requirements of §150.0(o)1Giii,enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Gii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per

be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference

Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the

Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDb5; an on-off switch mounted outside of the heater that allows shutting of the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not

Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or

Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time

Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump

Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable

Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and linen

Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight,

Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8

Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of \S 150.0(k).

elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires. Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor

Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JAS. *

Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating, and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow

Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1. * Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the wholedwelling unit ventilation airflow required per §150.0(o)1C. A motorized damper(s) must be installed on the ventilation duct(s) that prevents all airflow through the space conditioning duct system when the damper(s) is closed and controlled per §150.0(o)1Biii&iv. CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for

§ 150.0(o)1C: and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial

§ 150.0(o)1H&I: Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(o)1C must

dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.

switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.

Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.

Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.

and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.

spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.



2022 Single-Family Residential Mandatory Requirements Summary

§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JAS. *
§ 150.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)11:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	Interior Switches and Controls. Exhaust lans must be controlled separately from lighting systems.*
§ 150.0(k)2A:	Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off. *
§ 150.0(k)2B:	Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.0(k).
§ 150.0(k)2C:	Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9.
§ 150.0(k)2D:	Energy Management Control Systems. An energy management control system (EMC5) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified in § 150.0(x)2A.
§ 150.0(k)2E:	Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed.
§ 150.0(k)2F:	Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall- mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.
§ 150.0(k)2K:	Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.
§ 150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.

	applicable requirements may be used to meet these requirements.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
olar Readiness:	
§ 110.10(a)1:	Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).
§110.10(b)1A:	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet.
§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300" of true north.
§ 110.10(b)3A:	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*
§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.*
§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be provided to the occupant.
§ 110.10(e)1:	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)2:	Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."

2022 Single-Family Residential Mandatory Requirements Summary

§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and
	spa heaters. *
	Building Cooling and Healing Loads. Healing and/or cooling loads are calculated in accordance with the ASHRAE Handbook,
§ 150.0(h)1:	Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation
	Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.
§ 150.0(h)3A:	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any
	dryer.
F 450 00000	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the
§ 150.0(h)3B:	manufacturer's instructions.
	Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water
§ 150.0(j)1:	piping must be insulated as specified in § 609.11 of the California Plumbing Code. *
	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment'
§ 150.0(j)2:	maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no
3 100.00	adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must
	include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and
	non-crushable casing or sleeve.
	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must
	designate a space at least 2.5' x 2.5' x 7' suitable for the future installation of a heat pump water heater, and meet electrical and
§ 150.0(n)1:	plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain no
	more than 2' higher than the base of the water heater
	Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and
§ 150.0(n)3:	Certification Corporation (5RCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO
	R&T), or by a listing agency that is approved by the executive director.
ucts and Fans:	
	Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a

§ 110.8(d)3:	contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	CMC Compliance. All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to R-6.0 or higher; ducts located entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8) do not require insulation. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable UL requirements, or aerosol sealant that meets UL 723. The combination of mastic and either mesh or tape must be used to seal openings greater than ¼°, If mastic or tape is used. Building cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts; ducts installed in
	these spaces must not be compressed.*
§ 150.0(m)2:	Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive
	duct tapes unless such tape is used in combination with mastic and draw bands.
	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes,
§ 150.0(m)3:	mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)8:	Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)9:	Protection of Insulation. Insulation must be protected from damage due tosunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, painted canvas, or plastic cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating.
§ 150.0(m)10:	Porous Inner Core Flex Duct. Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core and outer vapor barrier.
§ 150.0(m)11:	Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.1.

racks or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassing the



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Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter

	2022 Single-Family Residential Mandatory Requirements Summary
§ 150.0(s)	Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, or a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source.
§ 150.0(t)	Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(u)	Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(v)	Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

*Exceptions may apply.

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PROPOSED

ADDITION

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AVE RESIDENCE FOOTHILL , (, CA 95020 CORREIA 0885 _

6/20/23 Scale AS NOTED Drawn AP

Electric and Energy Storage Ready:



COUNTY OF SANTA CLARA

2022 CALGREEN RESIDENTIAL CHECKLIST (MANDATORY)

County Amendments to CALGreen are in Italics.

- Designer to cross out items that are not applicable to the project.

- Installer or designer shall verify all applicable requirements have been satisfied and sign and date each row. County Inspectors will verify completion signatures and supporting documentation DURING CONSTRUCTION.

			APPLICANT TO COMPLETE		Installer or Designer	
<u></u>			Plan Check Review Data		Verification	
	CALGreen					
	CODE		REFERENCE	Note or Detail		Installer or Designer
ITEM #	SECTION	REQUIREMENT	SHEET	No.	Date	Signature
		PLANNING AND DESIGN: MAND	DATORY REQ	UIREMENTS		
		A plan is developed and implemented	CG-2	NOTE 1		
1	4.106.2	to manage storm water drainage				
		during construction.				
		Construction plans indicates how site	CG-2	NOTE 2		
2	4.106.3	grading or a drainage system will				
_	1.100.5	manage all surface water flows to keep				
		water from entering buildings.				
		For new dwellings with attached				
		garages and rebuild of existing				
_	4 106 4 1	dwellings that include a panel upgrade	66.3	NOTEC 2 0 4		
3	4.106.4.1	or construction between panel and	CG-2	NOTES 3 & 4		
		Space and Level 1 EV Ready Space, is				
		installed.				
		ENERGY EFFICIENCY: MANDA	ATORY REOL	ITRMENTS		
		Building meets or exceeds the				
4	4.201.1	requirements of the California Building	T24			
•	0	Energy Efficiency Standards.	SHEETS			
	W	ATER EFFICIENCY & CONSERVATION	: MANDATO	RY REQUIREME	NTS	
		Plumbing Fixtures (water closets and		_		
		urinals) and fittings (faucets and				
5	4.303.1	showerheads) installed in residential	CG-2	NOTE 5		
		buildings comply with CALGreen				
		Sections 4.303.1.1 through 4.303.1.4.				
		Plumbing fixtures and fittings required				
_		in CALGreen Section 4.303.1 are				
6	4.303.3	installed in accordance with the CPC	CG-2	Note 6		
		and meet the applicable referenced				
		standards.				
		Outdoor potable water use in				
 	4 204 1	landscape areas comply with a local	66.3	Note 7		
	4.304.1	water efficient landscape or the current	CG-2	Note 7		
		California DWR MWELO, whichever is more stringent.				
8		Not Used				
		Not osed				

TABLE 4.504.1 ADHESIVE VOC LIMIT ^{1, 2} Less Water and Less Exempt Compounds in Grams per Liter				
ARCHITECTURAL APPLICATIONS VOC LIMIT				
Indoor carpet adhesives 50				

ARCHITECTURAL APPLICATIONS	VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

with the highest VOC content shall be allowed 2. For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule

TABLE 4.504.2 SEALANT VOC LIMIT Less Water and Less Exempt Compounds in Grams per Liter					
SEALANTS VOC LIMIT					
Architectural	250				
Marine deck	760				
Nonmembrane roof	300				
Roadway	250				
Single-ply roof membrane	450				
Other	420				
SEALANT PRIMERS					
Architectural					

TABLE 4.504.2 SEALANT VOC LIMIT Less Water and Less Exempt Compounds in Grams per Liter				
SEALANTS	VOC LIMIT			
Architectural	250			
Marine deck	760			
Nonmembrane roof	300			
Roadway	250			
Single-ply roof membrane	450			
Other	420			
SEALANT PRIMERS				
Architectural Nonporous Porous	250 775			
Modified bituminous	500			
Marine deck	760			

VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{2, 3}

COATING CATEGORY	VOC LIMIT
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
SPECIALTY COATINGS	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
ndustrial maintenance coatings	250
Low solids coatings ¹	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	
Clear	730
Opaque	550
Specialty primers, sealers and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and tile refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

1. Grams of VOC per liter of coating, including water and including exempt

2. The specified limits remain in effect unless revised limits are listed in

subsequent columns in the table. 3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

				T TO COMPLETE k Review Data	Ins	staller or Designer Verification
ITEM #	CALGreen CODE SECTION	REQUIREMENT	REFERENCE SHEET	Note or Detail No.	Date	Installer or Designer Signature
	MATERIA	L CONSERVATION & RESOURCE EFFI	CIENCY: MA	NDATORY REQU	IREME	NTS
9	4.406.1	Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls are protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the County of Santa Clara.	CG-2	Note 9		
10	4.408.1	Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste. Submit either a Construction Waste management plan (CALGreen 4.408.2) or Utilize a waste management company (CALGreen 4.408.3).	CG-2	Note 10		
11	4.408.5	Documentation is provided to County of Santa Clara which demonstrates compliance with CALGreen sections 4.408.2 or 4.408.3.	CG-1	Construction Waste Management Forms Note 11		
12	4.410.1	An operation and maintenance manual is placed in the building at the time of final inspection.	CG-2	Note 12		
		ENVIRONMENTAL QUALITY: MAN	DATORY RE	OUIREMENTS		
	4 502 1	Any installed gas fireplace is a direct- vent sealed-combustion type. Any				
-12	4.503.1	comply with US EPA Phase II emission limits where applicable.	CC-2	Note 12		
14	4.504.1	Duct openings and other related air distribution component openings are covered during construction until final startup of the HVAC equipment.	CG-2	Note 14		
15	4.504.2.1	Adhesives, sealants and caulks are compliant with VOC and other toxic compound limits.	CG-1 CG-2	Table 4.504.1 Table 4.504.2 Note 15		
16	4.504.2.2	Architectural paints and coatings are compliant with VOC limits.	CG-1 CG-2	Table 4.504.3 Note 16		
17	1.501.2.3	Aerosol paints and coatings are compliant with product weighted MIR	66 2	Note 17		
		limits for ROC and other toxic compounds.				
18	4.504.2.4	Documentation are provided to the County of Santa Clara to verify that compliant VOC limit finish materials have been used.	CG-2	Note 18		
19	4.504.3	Carpet and carpet systems meet the applicable testing and product requirements.	CG-1 CG-2	Table 4.504.1 Note 19		
20	4.504.4	80 percent of floor area receiving resilient flooring comply with applicable standards.		Note 20		
	1	Hardwood plywood, particleboard and medium density fiberboard composite	CG-1	Table 4.504.5		

			APPLICANT TO COMPLETE Plan Check Review Data				staller or Designer Verification
ITEM #	CALGreen CODE SECTION	REQUIREMENT	REFERENCE SHEET	Note or Detail No.	Date	Installer or Designer Signature	
	EN	IVIRONMENTAL QUALITY: MANDATO	RY REQUIRE	MENTS (Continu	ued)		
22	4.504.5.1	Documentation is provided to the County of Santa Clara to verify composite wood meets applicable formaldehyde limits.	CG-2	Note 22			
23	4.505.2	Vapor retarder and capillary break is installed at slab-on-grade foundations.	CG-2	Note 23			
24	4.505.3	Moisture content of building materials used in wall and floor framing do not exceed 19% prior to enclosure and is checked before enclosure. Insulation products are dry prior to enclosure.	CG-2	Note 24			
25	4.506.1	Each bathroom is mechanically ventilated and comply with applicable requirements.	CG-2	Note 25			
26	4.507.2	Heating and air-conditioning systems are sized, designed, and equipment is selected by using one of the methods listed.	CG-2	Note 26			
	INSTALLE	R AND SPECIAL INSPECTOR QUALIFI	CATIONS: M	IANDATORY REQ	UIREM	ENTS	
27	702.1	HVAC system installers are trained and certified in the proper installation of HVAC systems.	CG-2	Note 27			
28	702.2	If required by County of Santa Clara, owner or owner's agent shall employ special inspector who are qualified and able to demonstrate competence in the discipline they are inspecting.	CG-2	Note 28			
29	703.1	Documentation used to show compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to County of Santa Clara which show substantial conformance.	CG-2	Note 29			

TABLE 4.504.5 FORMALDEHYDE LIMITS¹ Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
ardwood plywood veneer core	0.05
ardwood plywood composite core	0.05
articleboard	0.09
ledium density fiberboard	0.11
hin medium density fiberboard ²	0.13
Values in this table are derived from those spe	ocified by the California Ai

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E1333. For additional information, see

California Code of Regulations, Title 17, Sections 93120 through 93120.12.

2. Thin medium density fiberboard has a maximum thickness of ⁵/₁₆ inch (8 mm).

Construction Waste Management (CWM) Plan

Fill out the form including diversion rate and facility names and addresses

Project Name: Correia residence	Legend:	
Job #:		Hauling Company
Project Manager:Pacific Coast Recycling Transfer		Sorting Facility Name and L Disposal Service Company
Contact Name: Eduino Correia		

All Subcontractors shall comply with the project's Construction Waste Management Plan. All Subcontractor foremen shall sign the CWM Plan Acknowledgment Sheet.

Subcontractors who fail to comply with the Waste Management Plan will be subject to backcharges or withholding of payment, as deemed appropriate. For instance, Subcontractors who contaminate debris boxes that have been designated for a single material type will be subject to backcharge or withheld payment, as deemed appropriate.

1. The project's overall rate of waste diversion will be _____ %.

- 2. This project shall generate the least amount of waste possible by planning and ordering carefully, following all proper storage and handling procedures to reduce broken and damaged materials and reusing materials whenever possible. The majority of the waste that is generated on this jobsite will be diverted from the landfill and recycled for other use.
- 3. Spreadsheet 1, enclosed, identifies the waste materials that will be generated on this project, the diversion strategy for each waste type and the anticipated diversion rate. 4. Waste prevention and recycling activities will be discussed at the beginning of weekly subcontractor meetings. As each new subcontractor comes on-site, the WMP Coordinator will present him/her with a copy of the CWM Plan and provide a tour of the jobsite to identify materials to be salvaged and the procedures for handling jobsite debris. All Subcontractor foremen will acknowledge in writing that they have read and will abide by the CWM Plan. Subcontractor Acknowledgment Sheet enclosed. The CWM Plan will be
- posted at the jobsite trailer. 5. Salvage: Excess materials that cannot be used in the project, nor returned to the vendor, will be offered to site workers, the owner, or donated to charity if feasible.
- will provide a commingled drop box at the jobsite for most of the construction waste. These commingled drop boxes will be taken to _______. The average diversion rate _______ for commingled waste will be _________%. As site conditions permit, additional drop boxes will be used for particular phases of construction (e.g., concrete and wood waste) to ensure the highest waste diversion rate possible.
- 7. In the event that the waste diversion rate achievable via the strategy described in (6) above, is projected to be lower than what is required, then a strategy of source-separated waste diversion and/or waste stream reduction will be implemented. Source separated waste refers to jobsite waste that is not commingled but is instead allocated to a debris box designated for a single material type, such as clean wood or metal.
 - 1. Waste stream reduction refers to efforts taken by the builder to reduce the amount of waste generated by the project to below four (4) pounds per square foot of building area. 2. When using waste stream reduction measures, the gross weight of the product is subtracted from a base weight of four (4) pounds per square foot of building area. This reduction is considered additional diversion and can be used in the waste reduc-
- tion percentage calculations. will track and calculate the quantity (in tons) of all waste leaving the project and calculate the waste diverwill provide Project Manager with an updated monthly report on gross weight hauled and the waste diversion rate being achieved on the project. monthly report will track separately the gross weights and diversion rates for commingled debris and for each source-separated waste stream leaving the project. In the event does not service any or all of the debris boxes on the project, the with the responsible parties to track the material type and weight (in tons) in such debris boxes in order to determine waste diversion
- rates for these materials. 9. In the event that Subcontractors furnish their own debris boxes as part of their scope of work, such Subcontractors shall not be excluded from complying with the CWM Plan and will provide
- 10. In the event that site use constraints (such as limited space) restrict the number of debris boxes that can be used for collection of designated waste the project Superintendent will, as deemed appropriate, allocate specific areas onsite where individual material types are to be consolidated. These collection points are not to be contaminated with non-designated waste types.
- 11. Debris from jobsite office and meeting rooms will be collected by will, at a minimum, recycle office paper, plastic, metal and cardboard.

Construction Waste Management (CWM) Worksheet

Project Name: Correia residence

Project Manager: Eduino Correia	a		
	Coast Recycling Transfer		
Construction Waste Management (C	WM) Plan		
	DIVERSION M	IETHOD:	PROJECTED
WASTE MATERIAL TYPE	COMMINGLED AND SORTED OFF SITE	SOURCE SEPARATED ON SITE	DIVERSION RATE
Asphalt			
Concrete			
Shotcrete			
Metals			
Wood			
Rigid insulation			
Fiberglass insulation			
Acoustic ceiling tile			
Gypsum drywall			
Carpet/carpet pad			
Plastic pipe			
Plastic buckets			
Plastic			
Hardiplank siding and boards			
Glass			
Cardboard			
Pallets			
Job office trash, paper, glass & plastic bottles, cans, plastic			
Alkaline and rechargeable batteries, toner cartridges, and electronic devices			

Construction Waste Management (CWM) Acknowledgment

Note: This sample form may be used to assist in documenting compliance with the waste management plan.

DATE	SUBCONTRACTOR COMPANY NAME	FOREMAN NAME	SIGNATURE
complete this Acknowledgment Forn			S
9	ractor that comes on site is to receive a	copy of the Construction Waste Ma	nagement Plan and
CWM Plan Acknowledgment			
Waste Hauling Company: Pacific	Coast Recycling Transfer		
Project Manager: Eduino Correia	a		
Job Number:			
Project Name: Correia residence			
Correio regidence			

DATE	SUBCONTRACTOR COMPANY NAME	FOREMAN NAME	SIGNATURE

CORRE 10885 I GILRO





CALGREEN 2022 NOTES – MANDATORY REQUIREMENTS:

1. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.

2. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS, AND OTHER MEASURES CAN BE USED. EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

3. FOR ANY NEW DWELLING UNITS WITH ATTACHED GARAGES AND FOR REBUILDS OF EXISTING DWELLING UNITS THAT INCLUDE A PANEL UPGRADE OR CONSTRUCTION BETWEEN THE PANEL AND PARKING AREA, INSTALL A LEVEL 2 EV READY SPACE AND LEVEL 1 EV READY SPACE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "LEVEL 2 EV-READY."

EXCEPTION: FOR EACH DWELLING UNIT WITH ONLY ONE PARKING SPACE, INSTALL A LEVEL 2 EV READY SPACE.

LEVEL 1 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 110/120 VOLT, 20-AMPERE CAPACITY, INCLUDING ELECTRICAL PANEL CAPACITY; AN OVERPROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELLED "ELECTRIC VEHICLE OUTLET" WITH AT LEAST A 1/2" FONT ADJACENT TO THE PARKING SPACE, OR (B) LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).

LEVEL 2 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 208/240 VOLT, 40-AMPERE CAPACITY, INCLUDING THE REQUIRED ELECTRICAL PANEL CAPACITY; AN OVERCURRENT PROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELED "ELECTRIC VEHICLE OUTLET" WITH A MINIMUM 1/2" FONT, ADJACENT TO THE PARKING SPACE, OR (B) A BLANK LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) WITH A MINIMUM OUTPUT OF 40 AMPERES.

4. ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) WITHOUT ADDITIONAL PARKING SPACES AND WITHOUT ELECTRICAL PANEL UPGRADE OR NEW PANEL INSTALLATION ARE EXEMPT FROM REQUIREMENTS ON NOTE 3. ADUS AND JADUS WITHOUT ADDITIONAL PARKING BUT WITH ELECTRICAL PANEL UPGRADES OR NEW PANELS MUST HAVE RESERVED BREAKERS AND ELECTRICAL CAPACITY ACCORDING TO THE REQUIREMENTS OF NOTE 3.

5. ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY BUILDING AND INSPECTION DIVISION. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

- A. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
- B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.
- C. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
- D. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- E. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- 6. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

7. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH COUNTY OF SANTA CLARA WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

8. Not used.

9. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

- A. A CONSTRUCTION WASTE MANAGEMENT PLAN IS PROVIDED. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE COUNTY OF SANTA
- 1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
- 2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
- 3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
- 4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
- 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
- B. A WASTE MANAGEMENT COMPANY CAN BE UTILIZED IF APPROVED BY THE COUNTY OF SANTA CLARA. SEE CALGREEN 4.408.3 FOR FURTHER .DETAILS

11. DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH NOTE 10.

12. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER MEDIA ACCEPTABLE TO THE COUNTY OF SANTA CLARA INCLUDES ALL OF THE REQUIRED INFORMATION, SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 4.410.1 FOR DETAILS OF REQUIRED INFORMATION.

13. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGULATION 6, RULE 3.

14. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

15. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4.504.1 OR 4.504.2 AS REPRODUCED ON SHEET CG-1. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED BELOW.

AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION

16. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS AS SHOWN IN TABLE 4.504.3 SHEET CG-1. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NON-FLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3, SHEET CG-1 SHALL APPLY.

17. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

18. VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

19. ALL CARPET AND CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)

ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1, SHEET CG-1.

20. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)

21. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 4.504.5 SHEET CG-1.

22. VERIFICATION OF COMPLIANCE WITH NOTE 21 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

23. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CRC CHAPTER 5, SHALL COMPLY WITH FOLLOWING REQUIREMENT:

A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

- A. A 4-INCH-THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED.
- B. A SLAB DESIGN SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL.

24. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO

25. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:

CORREIA RESIDE 10885 FOOTHILL A GIIROY CA 95020

