

Chen Yang

(OWNER)

Address:
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Los Altos, CA 94024

Email:
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Designer: Yin Su
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GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK. THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER AND/OR ARCHITECT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE. NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE ORIGINAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH COVER EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODE (UBC); UNIFORM MECHANICAL CODE (UMC); NATIONAL ELECTRICAL CODE (NEC); NATIONAL PLUMBING CODE (NPC); AND ALL APPLICABLE LOCAL CODES AND LEGISLATION. THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISPARAGED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAINED IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK. ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.

PROJECT SCOPE:

NEW CONSTRUCTION OF TWO STORY HOME WITH ATTACHED ADU
REPLACE 4" SEWER LINE AND INSTALL CLEAN OUT. REPLACE (E) WATER LINE.
ADD FIRE SPRINKLER.
PROPOSED MAIN RES:
1,875 SF LIVING AREA (4 BEDROOMS AND 3 BATHROOMS) AND 400 SF GARAGE AREA.
PROPOSED ATTACHED ADU:
800 SF LIVING AREA (2 BEDROOMS AND 2 BATHROOMS)

DESIGN TEAM CONTACT:

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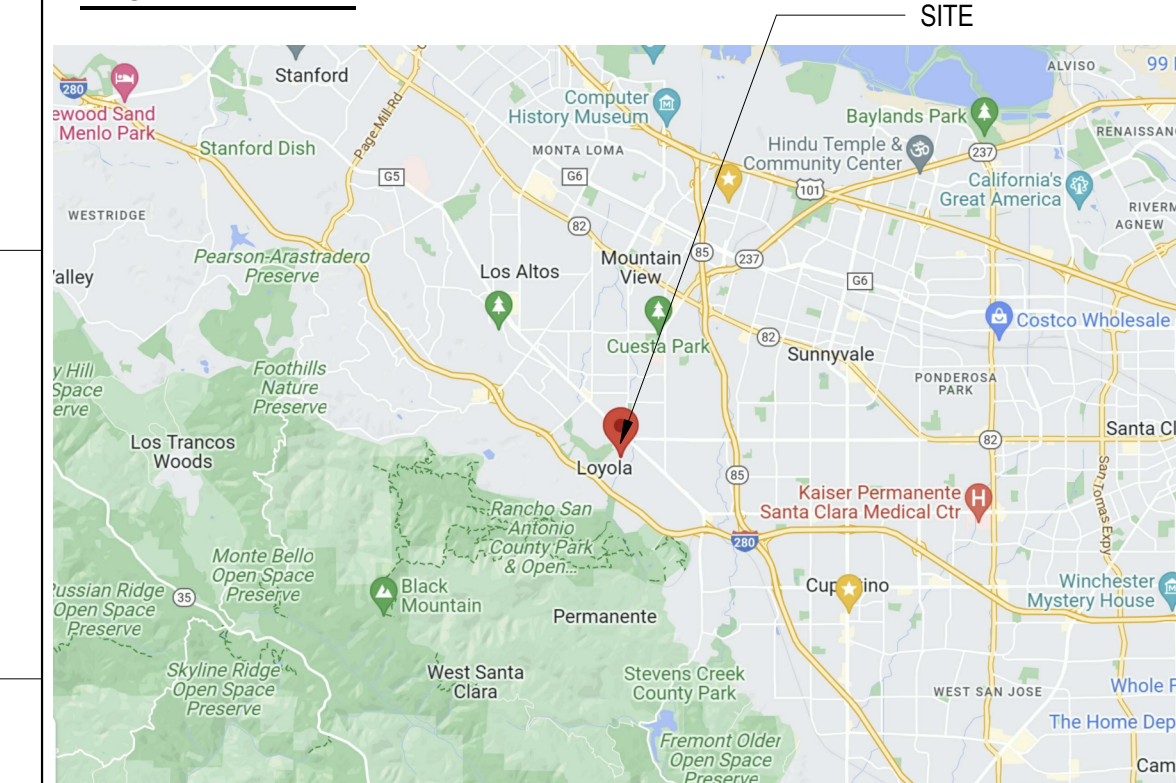
ARCHITECT:
Yin Su
SW Design
yinsu2002@gmail.com
650-265-8676

PROJECT INFORMATION

PROPERTY: 1638 Corte Via
Los Altos, CA 94024
APN: 331-11-052
OWNER: Chen Yang
NET LOT SIZE: 6,500 SF
LOT ZONING: R1E-20-n1
TYPE OF CONSTRUCTION: TYPE V-B, FULL SPRINKLERED
OCCUPANCY: R-3 & U

EXISTING LIVING AREA: 1,273 SF.
EXISTING GARAGE AREA: 340 SF.
PROPOSED TOTAL MAIN RES LIVING AREA: 1,875 SF.
PROPOSED GARAGE AREA: 400 SF.
PROPOSED F.A.R.: 2,275 SF/6,500 SF=35%.
PROPOSED ATTACHED ADU: 800 SF

VICINITY MAP



APPLICABLE CODES

2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRIC CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE (PART 6 OF TITLE 24)
2022 CALIFORNIA FIRE CODE (PART 9 OF TITLE 24)
2022 CALIFORNIA GREEN BUILDING CODE

SYMBOLS

| | | |
|--|---|------------------|
| | GRID LINE NUMBER OR LETTER | GRID LINE |
| | DETAIL NUMBER SHEET WHERE DETAIL IS DRAWN. SAME DISCIPLINE | DETAIL |
| | SECTION NUMBER SHEET WHERE SECTION IS DRAWN. SAME DISCIPLINE | SECTION |
| | ELEVATION NUMBER SHEET WHERE ELEVATION IS DRAWN. SAME DISCIPLINE | ELEVATION |
| | DELTA SEE DESCRIPTION BLOCK ON SAME SHEET FOR DATE & DESCRIPTION | DRAWING REVISION |
| | KEYNOTES SEE DESCRIPTION LIST ON SAME SHEET | KEYNOTE |
| | FILLED LINE INDICATES PLAN NORTH DASHED ARROW INDICATES TRUE NORTH | NORTH ARROW |

DRAWING INDEX

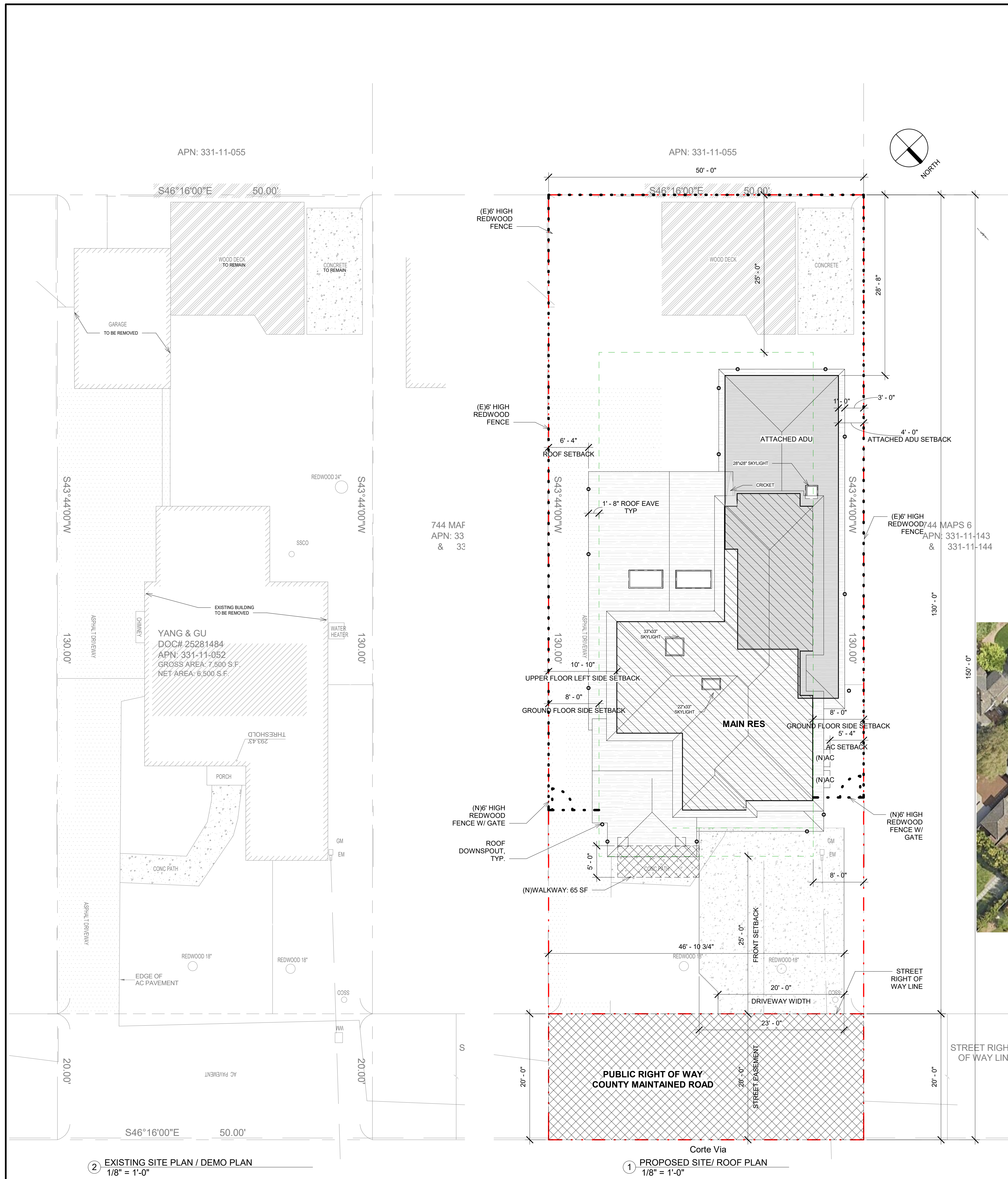
A0.0 SITE PLAN
A0.1 PLAN AND ELEVATION

KEY PLAN

| NO. | DESCRIPTION | DATE |
|-----|------------------|------------|
| | PLAN CHECK II | |
| | PERMIT SUBMITTAL | 08.25.2023 |



- PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS FROM ALL PARTS OF THE ROOF.
- D.S. O INDICATES 2x3" 26 GA. G.I. DOWNSPOUTS LOCATED AS SHOWN.
- PROVIDES 5" - 26 GA. G.I. OGEE GUTTER OVER 2x8 SPRUCE FASCIA BLAND - TYP.
- ROOF PITCH TO BE 4:12 AS NOTED
- ROOF MATERIAL TO BE CLASS A TILE ROOF OVER 30# FELT - TYP.
- PROVIDE NECESSARY FLASHING AT ALL ROOF AND WALL CONNECTIONS AS REQUIRED.
- PROVIDE 3/4" THICK T&G PLANKS @ ROOF OVERHANG AREA.



2 EXISTING SITE PLAN / DEMO PLAN
1/8" = 1'-0"

1 PROPOSED SITE/ ROOF PLAN
1/8" = 1'-0"

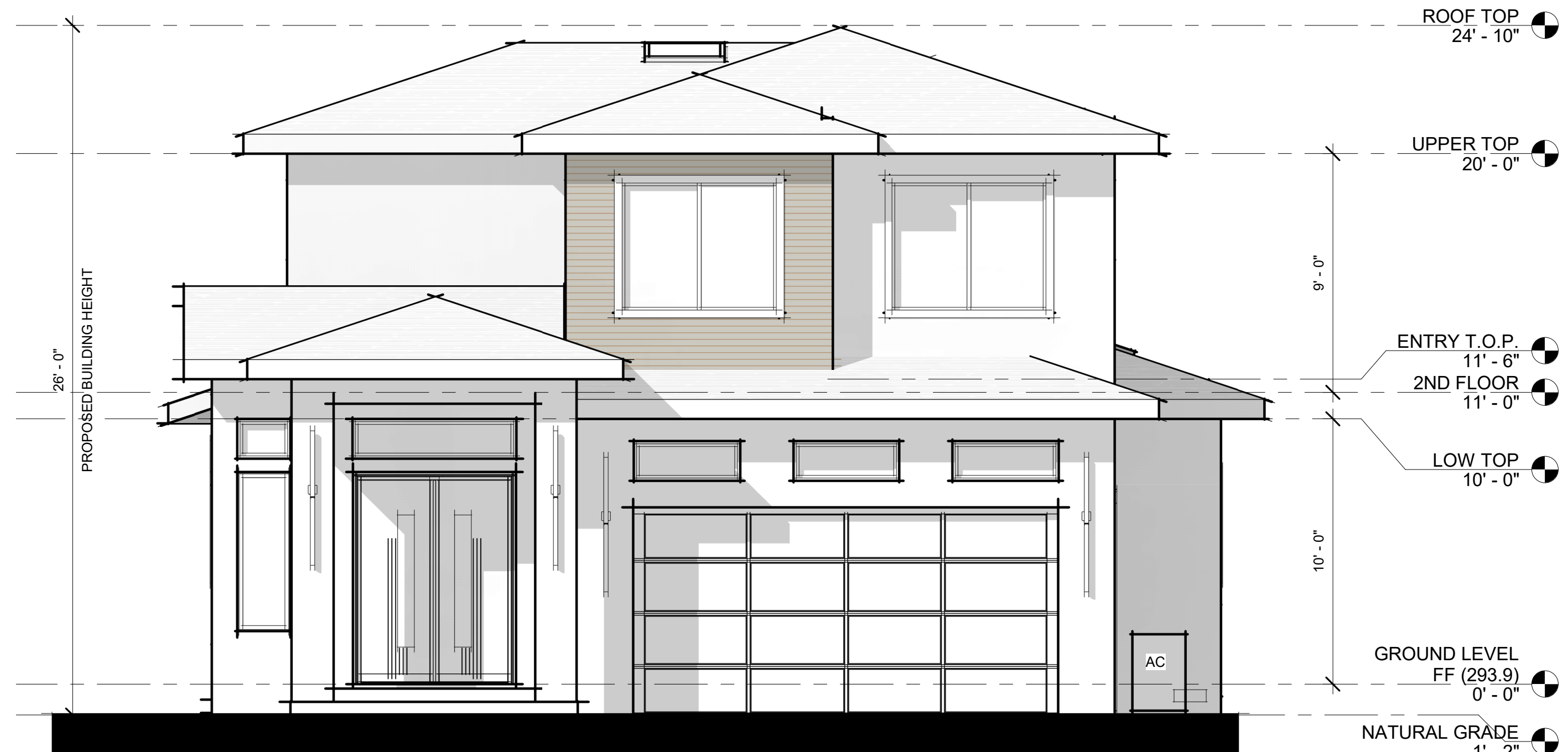
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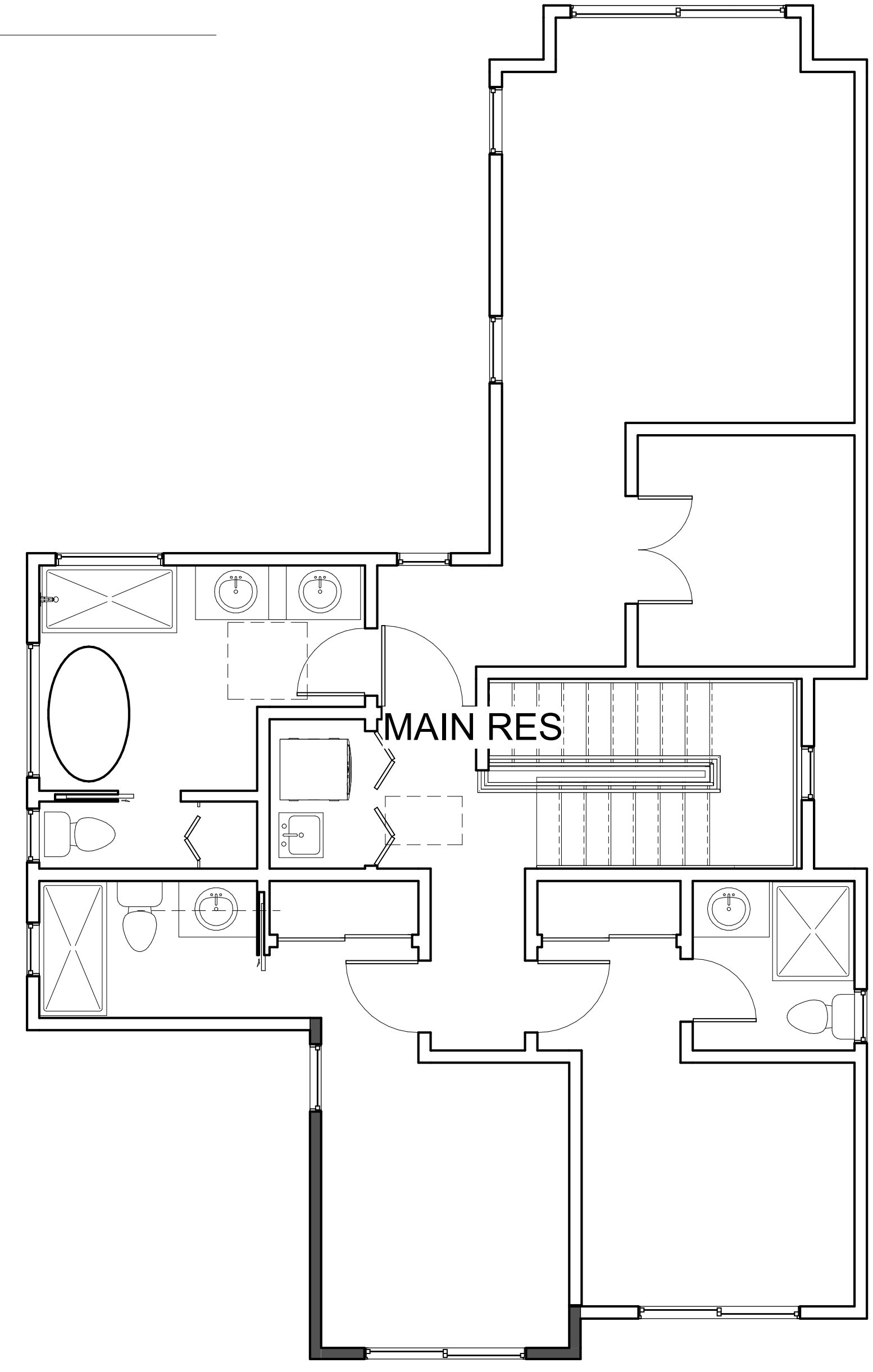
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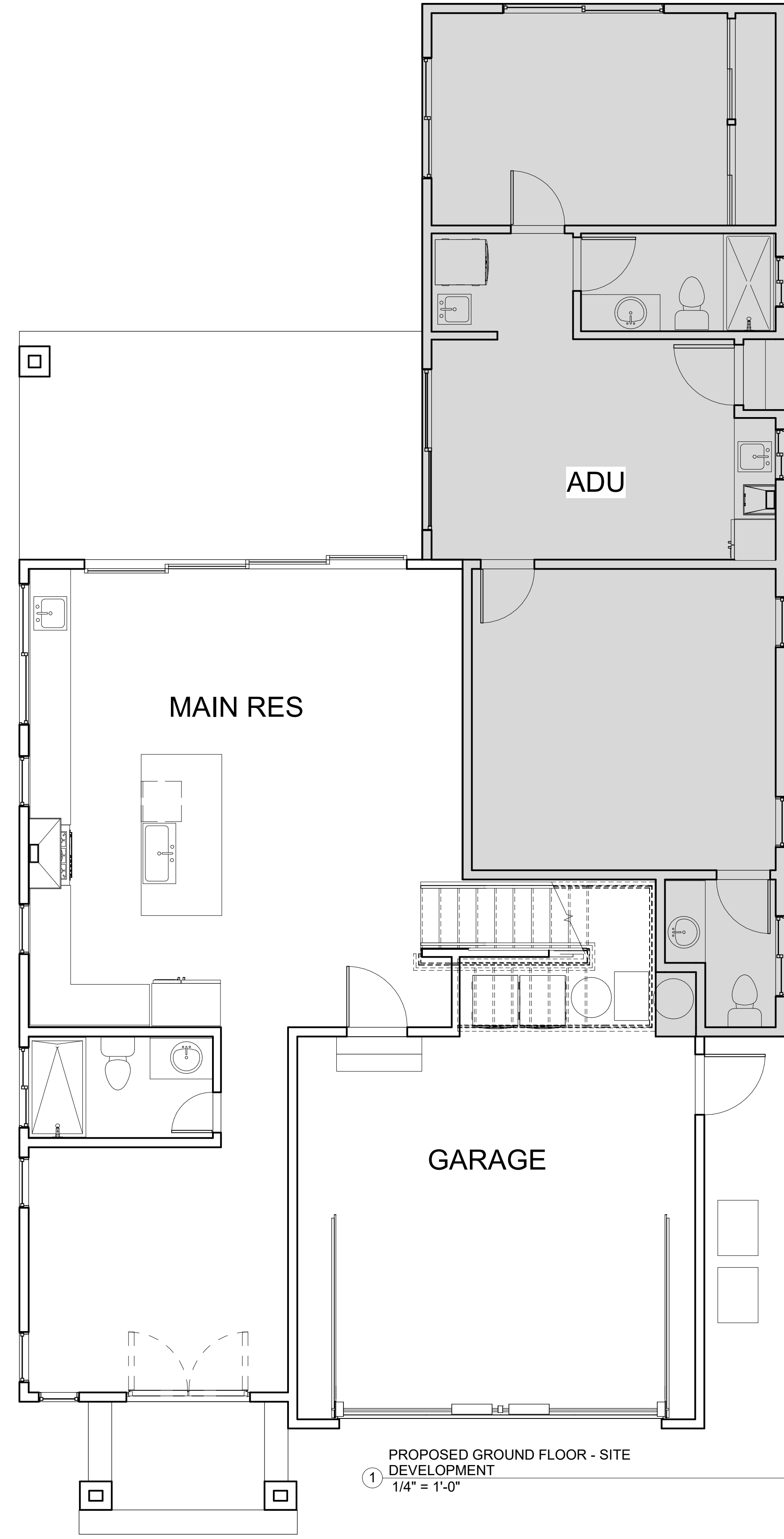
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PROPOSED ELEVATION - SITE DEVELOPMENT
③ 1/4" = 1'-0"



PROPOSED UPPER FLOOR - SITE DEVELOPMENT
② 1/4" = 1'-0"



PROPOSED GROUND FLOOR - SITE DEVELOPMENT
① 1/4" = 1'-0"

KEY PLAN

| NO. | DESCRIPTION | DATE |
|------------------|-------------|------------|
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PROJECT NO. _____
SCALE 1/4" = 1'-0"
TITLE

PLAN AND ELEVATION

