

GRADI

### **PROJECT INFORMATION**

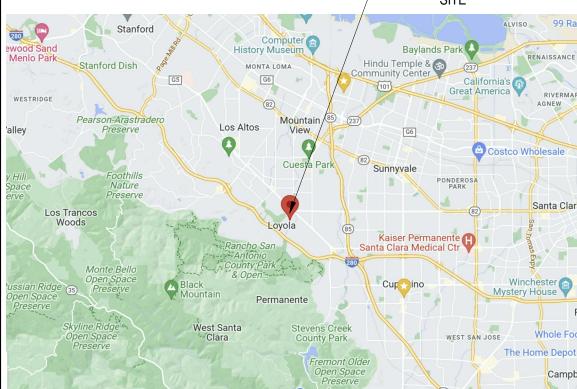
PROPERTY:

Los Altos, CA 94024 APN: 331-11-052 OWNER: Chen Yang NET LOT SIZE: 6,500 SF LOT ZONING: R1E-20-n1 TYPE OF CONSTRUCTION: TYPE V-B, FULL SPRINKLERED OCCUPANCY: R-3 & U

1638 Corte Via

EXISTING LIVING AREA: 1,273 SF. EXISTING GARAGE AREA: 340 SF. PROPOSED TOTAL MAIN RES LIVING AREA: 1,875 SF. 400 SF. PROPOSED GARAGE AREA: 2,275 SF/6,500 SF=35%. PROPOSED F.A.R: PROPOSED ATTACHED ADU: 800 SF

### VICINITY MAP



APPLICABLE CODES 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA ELECTRIC CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE (PART 6 OF TITLE 24) 2022 CALIFORNIA FIRE CODE (PART 9 OF TITLE 24) 2022 CALIFORNIA GREEN BUILDING CODE

### **SYMBOLS**

	)	
	GRID LINE NUMBER OR LETTER	GRID LINE
1 A-501	DETAIL NUMBER SHEET WHERE DETAIL IS DRAWN. SAME DISCIPLINE	- DETAIL
1 A-301	SECTION NUMBER SHEET WHERE SECTION IS DRAWN. SAME DISCIPLINE	SECTION
1 A-0.3	ELEVATION NUMBER SHEET WHERE ELEVATION IS DRAWN. SAME DISCIPLINE	ELEVATION
(1)	DELTA SEE DESCRIPTION BLOCK ON SAME SHEET FOR DATE & DESCRIPTION KEYED NOTES SEE DESCRIPTION	DRAWING REVISION
NORTH	LIST ON SAME SHEET FILLED LINE INDICATES PLAN NORTH DASHED ARROW INDICATES TRUE NORTH	_ NORTH ARROW

#### DRAWING INDEX

A0.0	SITE PLAN
SURVEY	PROPERTY SURVEY
C0	CIVIL NOTES AND CALCULATION
C1	GRADING AND DRAINAGE
A0.1	FLOOR PLANS
A0.1c	AREA DIAGRAM
A0.2b	BUILDING ELEVATIONS

# Chen Yang

(OWNER)

Address: 1638 Corte Via, Los Altos, CA 94024

Email: bobacortevia@gmail.com



$\overline{\Lambda}$	PLAN CHECK II	
	PERMIT SUBMITTAL	08.25.2023
NO.	DESCRIPTION	DATE

#### PROJECT NO.

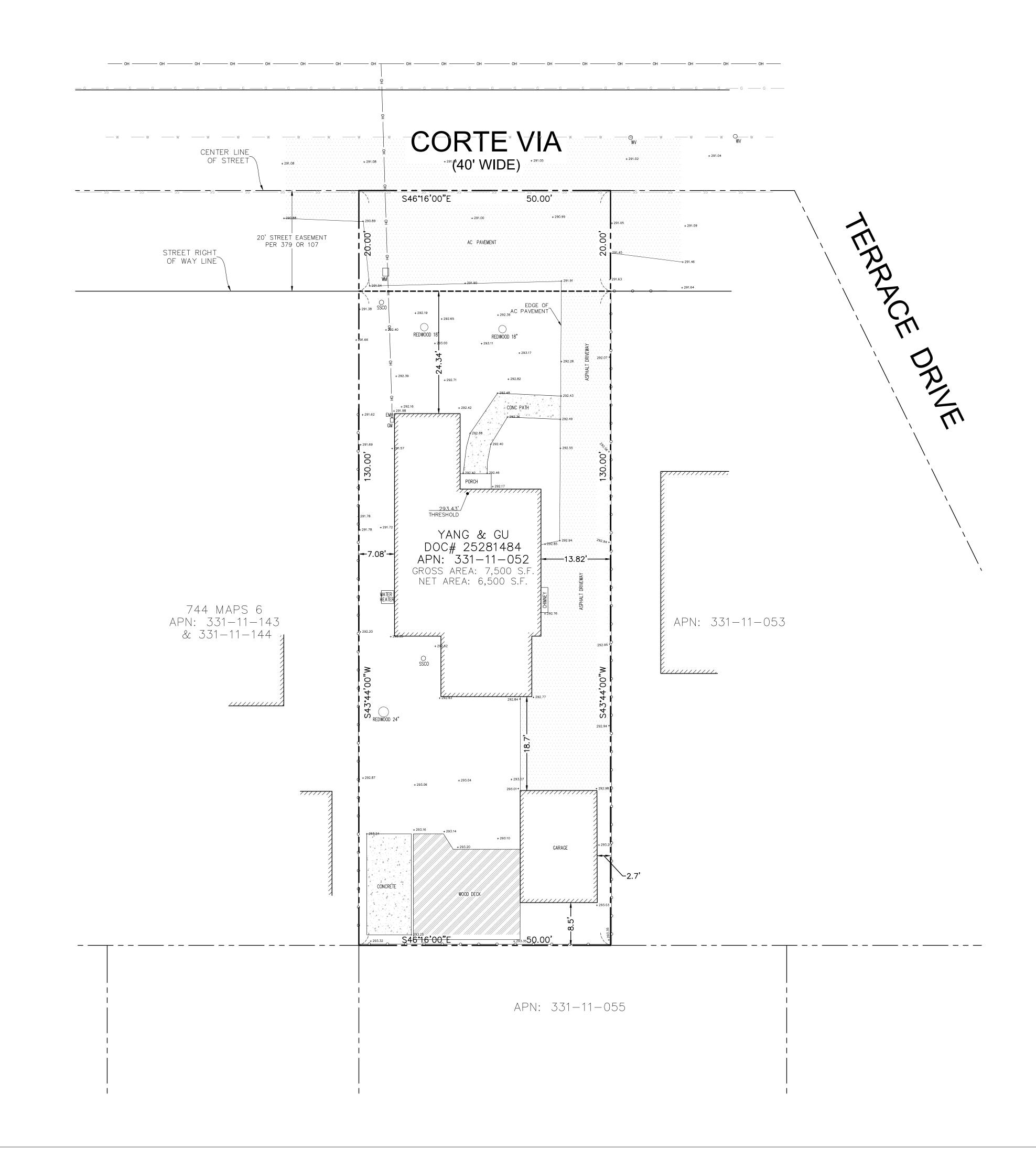
SCALE

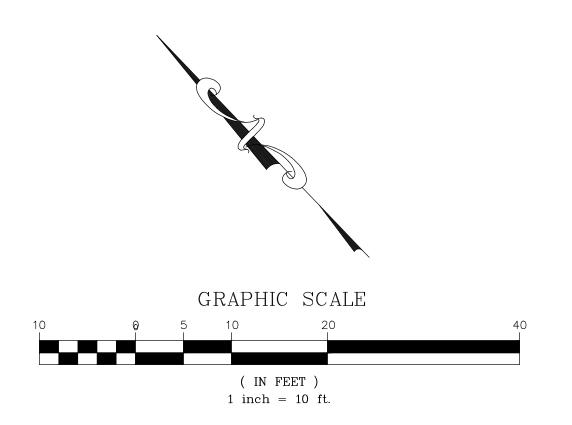
TITLE

1/8" = 1'-0"

**SITE PLAN** 







## ABBREVIATIONS AND LEGEND

BSBL   BUILDING SETBACK LINE     CB   CATCH BASIN     CONC   CONCRETE     EM   ELECTRIC METER     EP   EDGE OF PAVEMENT     FT   FRUIT TREE     GM   GAS METER     GND   GROUND     HCR   HANDICAP RAMP     JP   JOINT POLE     PUE   PUBLIC UTILITY EASEMENT     SP   SIGN POLE     SSCO   SANITARY SEWER CLEAN OUT     SFNF   SEARCH FOR NOT FOUND     TC   TOP OF CURB     TEL   TELEPHONE     UNK T   UNKNOWN TREE     WM   WATER METER     ————   BOUNDARY LINE     ———   EXISTING FENCE LINE     ———   EXISTING BUILDING OUTLINE     ()   INDICATES REFERENCE MAP NU		SANITARY SEWER MANHOLE STORM DRAIN MANHOE FIRE HYDRANT SANITARY SEWER LINE WATER LINE OVERHEAD ELECTRICAL LINE GAS LINE STORM DRAIN LINE
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## REFERENCEINFORMATION(1)744MAPS6(2)RMAPS50

<u>NOTE:</u>

- (1) ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF
- (2) BUILDING OUTLINE WAS MEASURED AT BUILDING EXTERIOR FINISH WALL SURFACE
- UNLESS OTHERWISE NOTED. (3) ELEVATION DATUM: NAVD 88. ELEVATIONS WERE ESTABLISHED WITH GNSS OBSERVATIONS.

#### <u>UTILITY NOTE</u>

1. THE SURFACE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE, OR TYPE. RECORD UTILITY INFORMATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

## TOPOGRAPHIC SURVEY

LANDS OF YANG AND GU DOC# 25281484 APN 331-11-052

(1638 CORTE VIA)

CITY OF LOS ALTOS SCALE: 1"=10' SANTA CLARA COUNTY

CALIFORNIA MAY, 2023



ZHEN'S LAND SURVEYING CORP. 1121 s grant st., san mateo, ca 94402 tel: (415)802–9945

#### COUNTY OF SANTA CLARA General Construction <u>Specifications</u>

#### GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY
- DATED THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS. 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL
- WORK MUST BE TO THE SATISFACTION OF THE COUNTY. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE
- RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR
- CONDITIONS OF DEVELOPMENT APPROVAL DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN
- UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. 5. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT
- REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES
- CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY
- HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (4008) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

#### CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND
- GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

#### CONSTRUCTION INSPECTION

- PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION. 48 HOURS FOR ASPHALT CONCRETE INSPECTION. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF
- MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN D.
- REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR
- WITH PAD FLEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

#### site preparation (clearing and grubbing)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE ACCESS ROADS AND DRIVE WAYS AS FOLLOWS:
  - PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE) B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE
  - NOTED ON THE PLANS
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.
- JTILITY LOCATION, TRENCHING & BACKFILI
- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND
- UTILITIES. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR
- GENERAL INFORMATION ONLY. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED
- OUTSIDE THE PAVED AREAS. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

ETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING CONTINUAL CONTROL OF THE COUNTY INSPECTOR. INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

#### GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
- 4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING
- AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY. 6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
RESIDENCE	124	0	1.6'
DRIVEWAY	23	0	1.0'
SITE GRADING	14	19	0.3'
DISSIPATOR	6	2	4.0'
TOTAL	167	21	

#### NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP

- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
- 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE. 9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE
- CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% 10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- 11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
- 12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA. 13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE
- DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL. 14. TOTAL DISTURBED AREA FOR THE PROJECT 11,800 SF.
- 15. WDID NO.\_
- 16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

#### FREE PROTECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY 1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
  - FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE
  - CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
  - SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT
  - http://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY. 2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND
  - DEVELOPMENT ENGINEERING INSPECTOR SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

- A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF 1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
  - ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
  - 3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
  - 4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
  - ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS. SEWER. WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

- SANITARY SEWER THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE
- NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION AFTERCONSTRUCTION.

OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

#### PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE

#### AIR QUALITY, LANDSCAPING AND EROSION CONTROL

WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD. 3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING

AREAS AT CONSTRUCTION SITES. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS. PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.

SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED. 6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL

HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE

ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PFR HOUR 8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.

9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED. A. 15 MILES PER HOUR (MPH) SPEED LIMIT

5 MINUTES MAXIMUM IDLING TIME OF VEHICLES

TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAIN HOTLINE OF 1-800-334-6367 10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM

CONDITION CAPABLE OF WITHSTANDING WEATHERING. 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.

12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SD8. 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.

14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE. 15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.

16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR. 17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING;

A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS. B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION

MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.

18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES. INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY. 19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS,

DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SITE AND SITUATIONALY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

#### STORM DRAINAGE AND STORMWATER MANAGEMENT

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT

WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004/ ORDER NO. 2013-0001-DWQ. 2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS

6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN

OPEN AREA FOR SHEET FLOW. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

#### AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (\_\_\_\_ WERE) (\_\_\_\_ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (^). THERE (\_\_\_WERE) WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL  $\triangle$ .

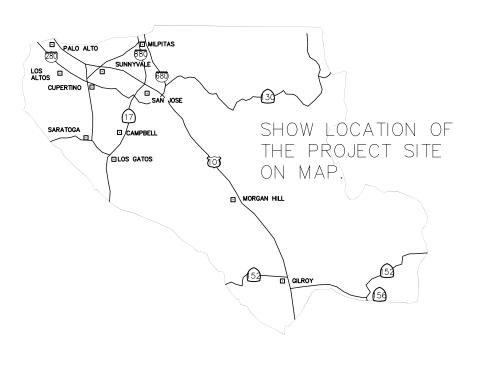
#### SIGNATURE

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPYOF

#### GEOTECHNICAL ENGINEER OBSERVATION

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE

GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



### COUNTY LOCATION MAP

#### SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES. 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE,
- STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
- 3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

- INSPECTION.

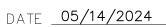
COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS ISSUED BY: \_\_\_\_ DATE: \_

ENCROACHMENT PERMIT NO.

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHUOT AN ENCROACHEMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

#### ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO. \_\_\_\_\_



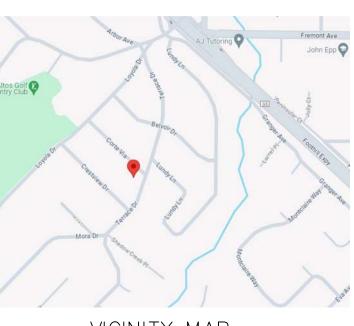
A:- K W-SIGNATURE



#### COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE



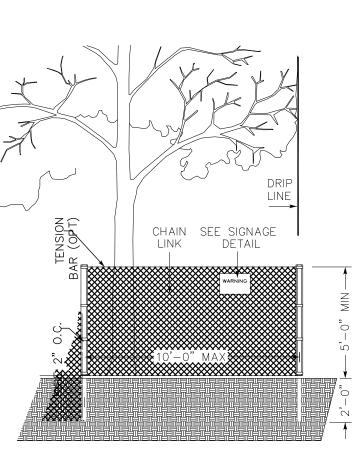
VICINITY MAP



<u>SCOPE OF WORK</u>

PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION COTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.

CONSTRUCTION A NEW SINGLE FAMILY HOME



#### EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES

ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS. 2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH / DURABILITY). 3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO HE GROUND AND SPACED NOT MORE THAN 10 FEET APART TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE

CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL

A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

COUNTY OF SANTA CLARA LAND DEVELOPMENT ENGINEERING & SURVEYING
GRADING / DRAINAGE PERMIT NO.
ISSUED BY: DATE:
ED COUNTY STANDARDS THE

C59334		
R.C.E. NO.		

JUNE 30, 2025 EXPIRATION DATE

1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK

PERFORM GRADING AND DRAINAGE WORK ASSOCIATED WITH THE

3. CONSTRUCT IMPROVEMENT ON COUTY'S RIGHT OF WAY PER PLAN

LEGEND

SS	SANITARY SEWER	—SL	STREET LIGHT
— Е —	ELECTRIC	——IRR——	IRRIGATION
TV	TV/CABLE TV	— X —	FENCE
——FS——	FIRE SERVICE	—— JT ——	JOINT TRENCH
—— W ——	DOMESTIC WATER	—_0/H—	OVERHEAD WIRES
— T ——	TELEPHONE	<b>×</b> 16.07	(E) SPOT ELEVATION
—— G ——	NATURAL GAS	× 16.07 FS	(N) SPOT ELEVATION
——FM——	FORCE MAIN	15	
DS	-SPLASH BLOCK, MIN. 2 LONG DEFLECT THE WA AWAY FROM BOTH BLD -DOWNSPOUT	TER	

SHEET	INDEX

C.0 COVER SHEET

C.1	GRADING AND DRAINAGE PLAN & RIGHT-OF-WAY IMPROVEMENT PLAN
C.2	EROSION CONTROL PLAN
C.3	UTILITY COORDINATION PLAN
C.4	DETAILS
ENGI	NEER'S NAME:
ADDR	2ESS:
PHON FAX	NO
<b>.</b>	
Revisio	<u> </u>
Revisio	n 2 Date

Co. File

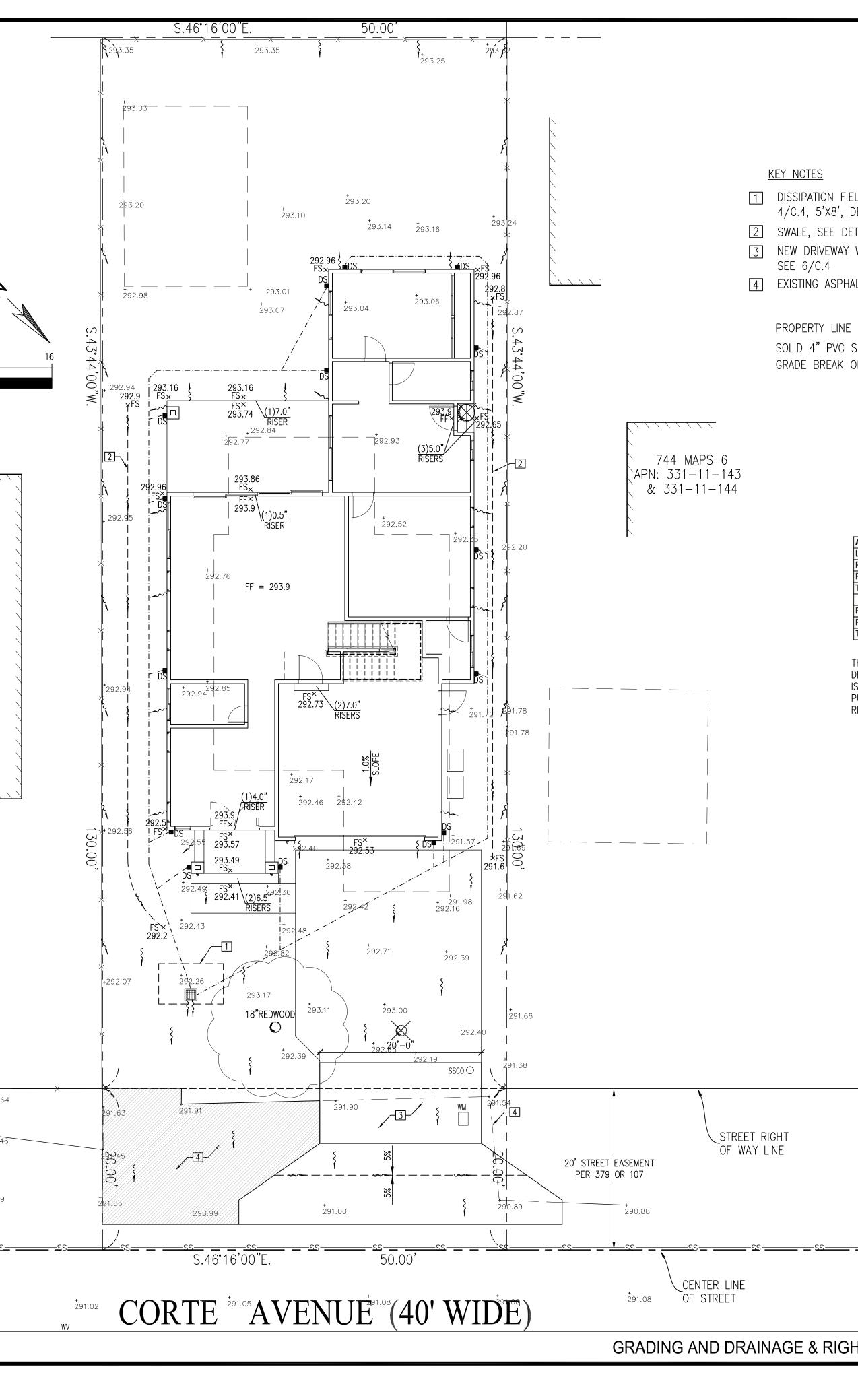
Date

Revision 3

EXPIRATION DATE

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIM AND SHALL VISIT THE SITE AND FAMILIARIZE THEM THEY SHALL BRING ANY DISCREPANCIES TO THE PROCEEDING. VERIFY THE LOCATIONS OF ALL UND CONSTRUCTION. ANY SITE WORK THAT DEVIATES F	SELVES WITH ALL EXISTING CONDITIONS ATTENTION OF THE ENGINEER PRIOR TO ERGROUND UTILITIES BEFORE STARTING ROM WHAT IS SHOWN ON THE PLANS			
SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO WORK ITEM. CONTRACTOR SHALL CALL "UNDERGRO PRIOR TO EXCAVATION. 2. THE SITE SHALL BE FINE GRADED TO PROVIDE	DUND SERVICE ALERT" (800) 642–2444			
OR DIRT AREA AND 2% ACROSS HARDSCAPED ARI PERIMETER. EXISTING DRAINAGE COMING FROM AD MAINTAINED. IN NO CASE SHALL THE FINAL GRADI ADJACENT PROPERTIES.	A, AWAY FROM THE BUILDING JACENT PROPERTIES SHALL BE	, ,		
3. UNLESS SHOWN ON THE PLAN OTHERWISE, HC SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS WATER AWAY FROM BUILDING FOUNDATION BY SU GUTTER SHALL BE GALV. SHEET METAL.	(2 FEET LONG) THAT DEFLECT THE			
4. CONTRACTOR SHALL OBTAIN A STREET WORK F ENGINEERING FOR ANY PROPOSED CONSTRUCTION SIDEWALK, STREET AND ALLEY OR ON THE PROPE INTEREST.	WHICH WILL IMPACT THE USE OF THE			4
5. ANY CONSTRUCTION WITHIN THE CITY RIGHT-O PERMIT FOR CONSTRUCTION IN THE PUBLIC STREI WORK. THE PERFORMANCE OF THIS WORK IS NOT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT	T PRIOR TO COMMENCEMENT OF THIS AUTHORIZED BY THE BUILDING PERMIT			0 4 8
6. IF GROUNDWATER OR RUNOFF WATER IS ENCO FROM THE EXCAVATION AREA, ALL EXCAVATION AN IMMEDIATELY STOP. THE PLAN FOR THE DEWATER DESIGNED AND SUBMITTED FOR APPROVAL TO THE ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN PLAN IS REQUIRED PRIOR TO THE COMMENCEMEN BUILDING ACTIVITIES.	D/OR BUILDING ACTIVITIES MUST RING OF THE EXCAVATION MUST BE : PUBLIC WORKS—ENGINEERING DIVISION RECEIVED, IMPLEMENTATION OF THE	l.		
GEN	ERAL NOTES	2		
ABAGGREGATEBASEACASPHALTCONCRETEADAREADRAINBWBOTTOMOFWALLCBCATCHCBCATCHBASINCIPCASTIRONPIPECLCENTERCNCCONCRETE	GB GRADE BREAK GM GAS METER GR GRATE ELEVATION HP HIGH POINT INV INVERT ELEVATION JT JOINT TRENCH JP JOINT POLE		AF	PN: 331-11-053
CS CRAWL SPACE ELEV. DD DECK DRAIN DIP DUCT IRON PIPE DS DOWNSPOUT DWY DRIVEWAY (E) EXISTING	LD LANDSCAPE DRAIN LF LINEAR FEET (N) NEW RIM RIM ELEVATION S SLOPE SD STORM DRAIN LINE SDCO STORM DRAIN CLEAN	IOUIT		
EG EXISTING GRADING EM ELECTRICAL METER EP EDGE OF PAVEMENT FF FINISH FLOOR ELEVATION FG FINISHED GROUND ELEV. FP FINISHED PAVEMENT FS FINISH SURFACE ELEV	SDEC STORM DRAIN FORCE SDFM STORM DRAIN FORCE SS SANITARY SEWER SSCO SANITARY SEWER CLE TW TOP OF WALL ELEVA TYP TYPICAL W DOMESTIC WATER LIN WM WATER METER	Ed MAIN EANOUT ITION		
ABB	REVIATION	3		
SSSANITARY SEWER E ELECTRIC TVTV/CABLE TV	SL STREET LIGHT   IRR IRRIGATION   X FENCE			
FS FIRE SERVICE W DOMESTIC WATER T TELEPHONE	JT     JOINT TRENCH       O/H     OVERHEAD WIRES       × 16.07     (E) SPOT ELEVATION			
G G NATURAL GAS FM				
AWAY FROM BOTH BLDG				
	LEGEND	4		
CUT (CY) BUILDING PADS 124	FILL (CY) DEPTH OF CUT 0 1.6'			 
DRIVEWAY23SITE GRADING14DISSIPATOR6TOTAL167	0     1.0'       19     0.3'       2     4'       21			291.6 *
EARTHWORK QUANTITIES SHO PURPOSES ONLY. CONTRACTO OWN EARTHWORK QUANTITY THEIR CALCULATION FOR BIDE	OR SHALL PERFORM THEIR CALCULATION AND USE		$\backslash$	, 291.09
			N N	
	FILL EST.	4		S <u> </u>

GRADING AND DRAINAGE NOTES:

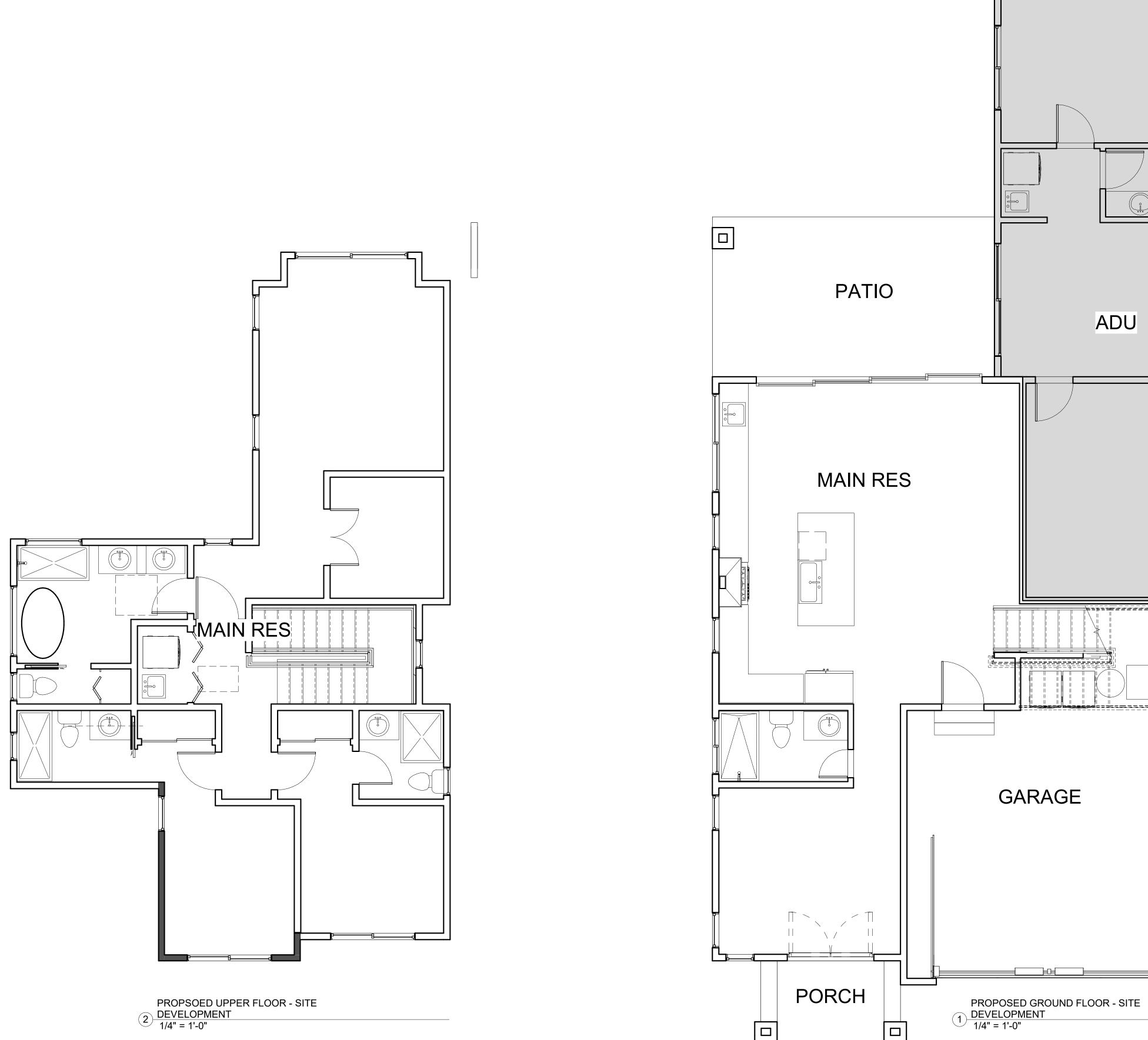


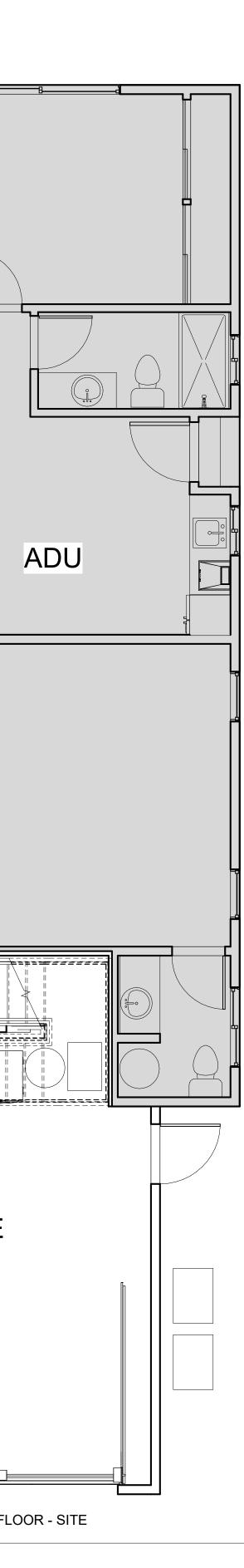
© WEC

YANG & GU

GRADING AND DRAINAGE & RIGHT OF WAY IMPROVEMENT PLAN SCALE: 1/8"=1'-0"

RESIDENCE 1 DISSIPATION FIELD, RIM=292.2 INV=289.2, SEE DETAIL 1638 CORTE VIA 4/C.4, 5'X8', DEPTH IS 3' LOS ALTOS, CA APN: 331-11-052 2 SWALE, SEE DETAIL 5/C.4 3 NEW DRIVEWAY WITH VALLEY GUTTER PER COUNTY STANDARD. [4] EXISTING ASPHALT TO BE REMOVED W EC & A S S O C I A T E S SOLID 4" PVC SD LINE \_\_\_\_\_ 2625 MIDDLEFIELD RD #658 GRADE BREAK OR SWALE PALO ALTO, CA 94306 TEL: (650) 823-6466 FAX: (650) 887-1294 \_\_\_\_\_ IMPERVIOUS AREA CALCULATION AREA LOT AREA SF 6,500 PREDEVELOPMENT - BLDG 1,603 PREDEVELOPMENT - DRIVEWAY & OTHER PAVED AREA TOTAL IMPERVIOUS AREA - PREDEVELOPMENT 1,595 3,198 POST DEVELOPMENT - BLDG 2,040 LICENSE STAMPS AND SIGNATURE POST DEVELOPMENT - DRIVEWAY & OTHER PAVED AREA1,203TOTAL IMPERVIOUS AREA - POST DEVELOPMENT3,243 3,243 THE TOTAL IMPERVIOUS AREAS BEFORE AND AFTER THE PROPOSED DEVELOPMENT ARE COMPARABLE. EVEN THOUGH STORMWATER RETENTION IS NOT REQUIRED. THE DISSIPATION SYSTEM IS PROPOSED FOR RETENTION PURPOSE TO FURTHER REDUCE SHEET FLOW OF STORMWATER TO COUNTY C59334 RIGHT-OF-WAY EXP. 6 30/2 ISSUED No. Description DATE: MAY 14, 2024 SCALE: AS SHOWN DRAWN: JOB: 10078 SHEET TITLE: GRADING & DRAINAGE AND ROW IMPROVEMENT PLAN SHEET NO. **C.1** 





# Chen Yang

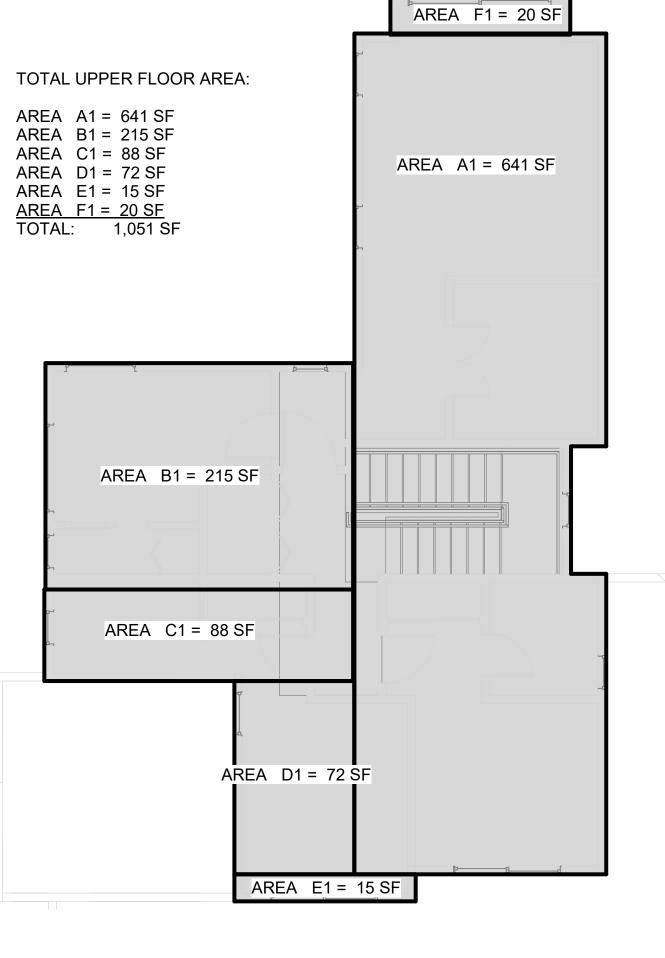
(OWNER)

Address: 1638 Corte Via, Los Altos, CA 94024

Email: bobacortevia@gmail.com



	PLAN C		
NO.	DESCRIPTIC		08.23.2023 DATE
PR	OJECT NO.		
SC	ALE	/4" =  '-0"	
TIT		OR PL	ANS



2 AREA DIAGRAM - UPPER FLOOR 3/16" = 1'-0"

GARAGE AREA: 404 SF

+ MAIN RES LIVING AREA: 1,871 SF; TOTAL BUILDING AREA: 2,275 SF ADU LIVING AREA:800 SF

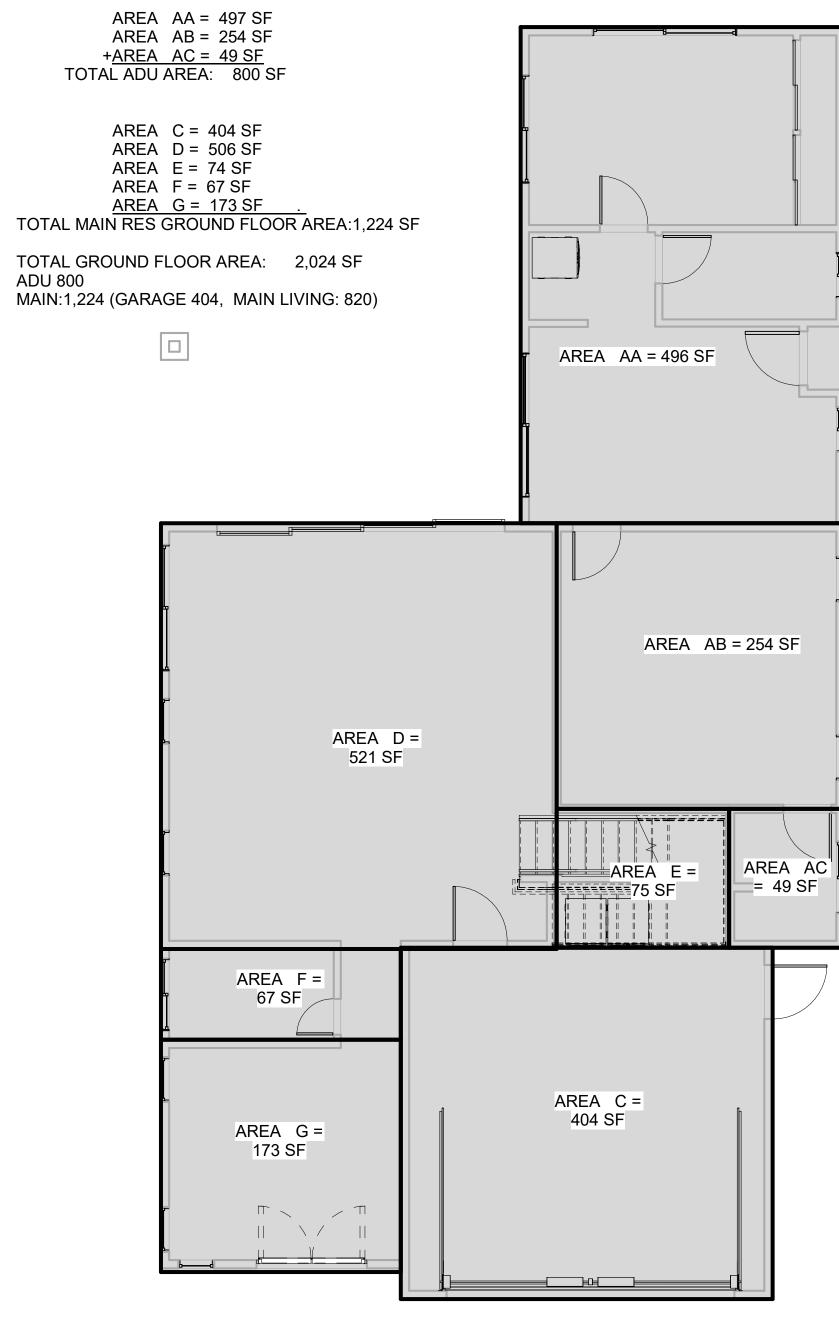
TOTAL GROUND FLOOR AREA:

AREA AA = 497 SF AREA AB = 254 SF +<u>AREA AC = 49 SF</u> TOTAL ADU AREA: 800 SF

AREA C = 404 SF
AREA D = 506 SF
AREA E = 74 SF
AREA $F = 67 SF$
<u>AREA</u> G = 173 SF
IAIN RES GROUND ELOC

TOTAL GROUND FLOOR AREA: 2,024 SF ADU 800 MAIN:1,224 (GARAGE 404, MAIN LIVING: 820)





1 AREA DIAGRAM - GROUND FLOOR 3/16" = 1'-0"

# Chen Yang

(OWNER)

Address: 1638 Corte Via, Los Altos, CA 94024

Email: bobacortevia@gmail.com



	PLAN CHECK II	
	PERMIT SUBMITTAL	08.25.2023
NO.	DESCRIPTION	DATE

PROJECT NO.

SCALE

3/16" = 1'-0"





#### **ELEVATION NOTES:**

1. NEW ROOF TO BE CLASS A METAL ROOF. FASTENERS FOR THE ROOFING SHALL BE CROSSION

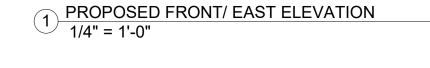
- RESISTANT PER CRC R905.2.5. 2. THREE COAT STUCCO WALL FINISH OVER TWO LAYERS OF BUILDING PAPER.
- 3. WOOD TRIM @ EAVE W/ GUTTER.
- 4. DECORATIVE STUCCO FOAM TRIM.
- 5. RECESS AROUND WINDOW/DOOR. 6. 145.5"x5.5" UNDER FLOOR VENT.

7. COLONADO LIMESTONE VENEER, SEE THE ATTCHED INSTALLATION GUIDELINE ON A0.0a.

8. WEEP SCREED. A MIN OF 26 GA. CORROSION - RESISTANT WEEP SCREED W/ A MIN VERTICAL ATTACHMENT FLAGE OF FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS W/STUCCO. THE SCREED SHALL BE PLACED A MIN OF 4" ABOVE THE EARTH OR 2" ABOCE PAVED AREAS AND SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER To DRAIN TO THE EXTERIOR OF THE BUILDING.

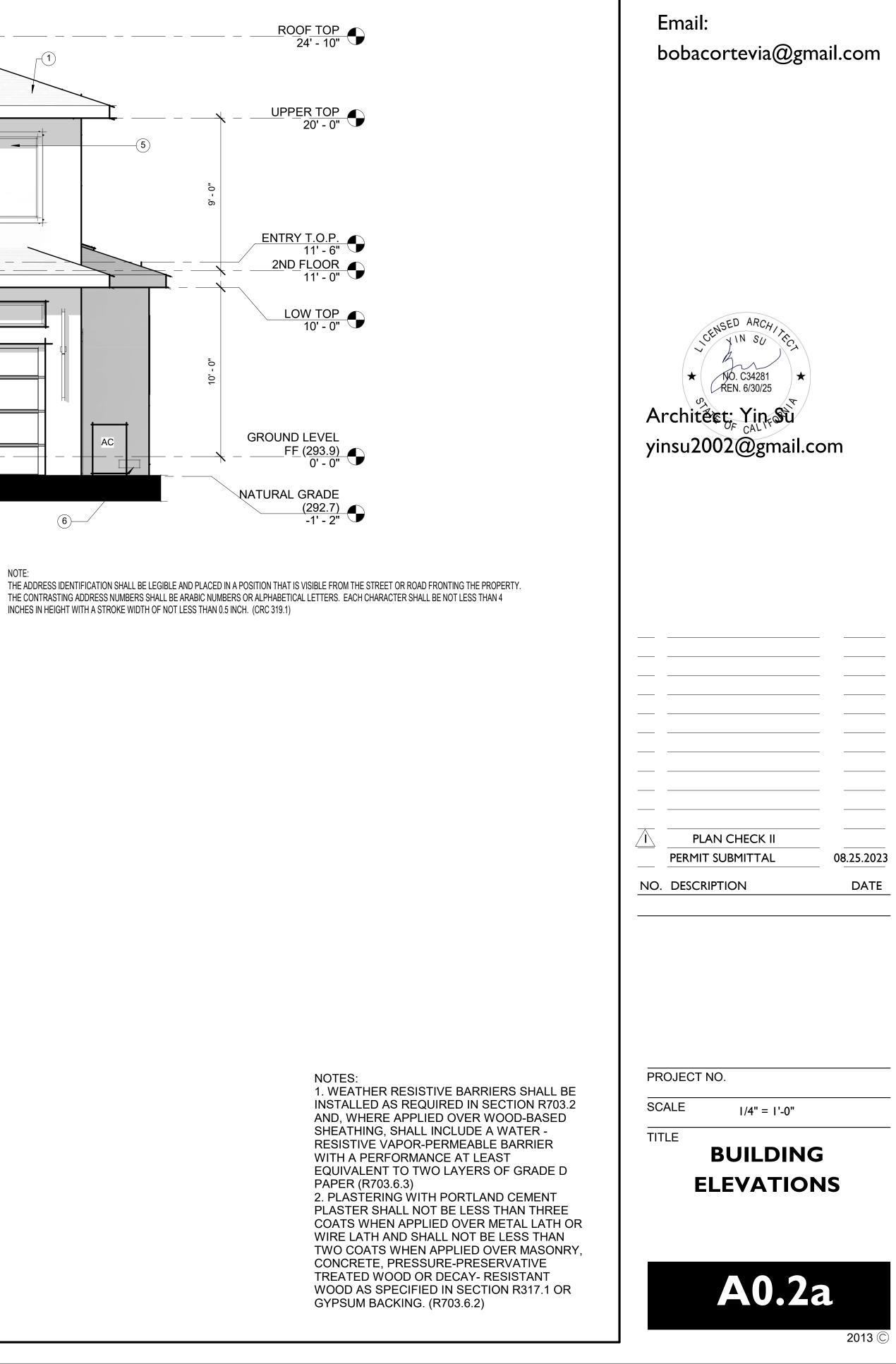


2 PROPOSED REAR/ WEST ELEVATION 1/4" = 1'-0"



NOTE: INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 319.1)





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(OWNER)

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bobacortevia@gmail.com





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