

Chen Yang

(OWNER)

Address:
1638 Corte Via,
Los Altos, CA 94024

Email:
bobacortevia@gmail.com

GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK. THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNERS SELECTIONS. THE CONTRACTOR SHALL USE THE MATERIALS SELECTED BY THE ARCHITECT OR IN THE ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN EACH ESTIMATE. NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECT OR ENGINEER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE ORIGINAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODE (UBC), UNIFORM MECHANICAL CODE (UMC), NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION. THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISPARATED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAINED IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK. ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORAGE OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.

PROJECT SCOPE:

NEW CONSTRUCTION OF TWO STORY HOME WITH ATTACHED ADU
REPLACE 4" SEWER LINE AND INSTALL CLEAN OUT, REPLACE (E) WATER LINE.
ADD FIRE SPRINKLER.
PROPOSED MAIN RES:
1,875 SF LIVING AREA (4 BEDROOMS AND 3 BATHROOMS) AND 400 SF GARAGE AREA.
PROPOSED ATTACHED ADU:
800 SF LIVING AREA (2 BEDROOMS AND 2 BATHROOMS)

DESIGN TEAM CONTACT:

SURVEY:
Zhen's Land Surveying Corp.
L.S. #9653
San Mateo, CA
(415)802-9945
zhen.wang588@gmail.com

CIVIL:
Ed Wu, PE LLS
WEC and Associates
650-823-6466
ed@weceng.com

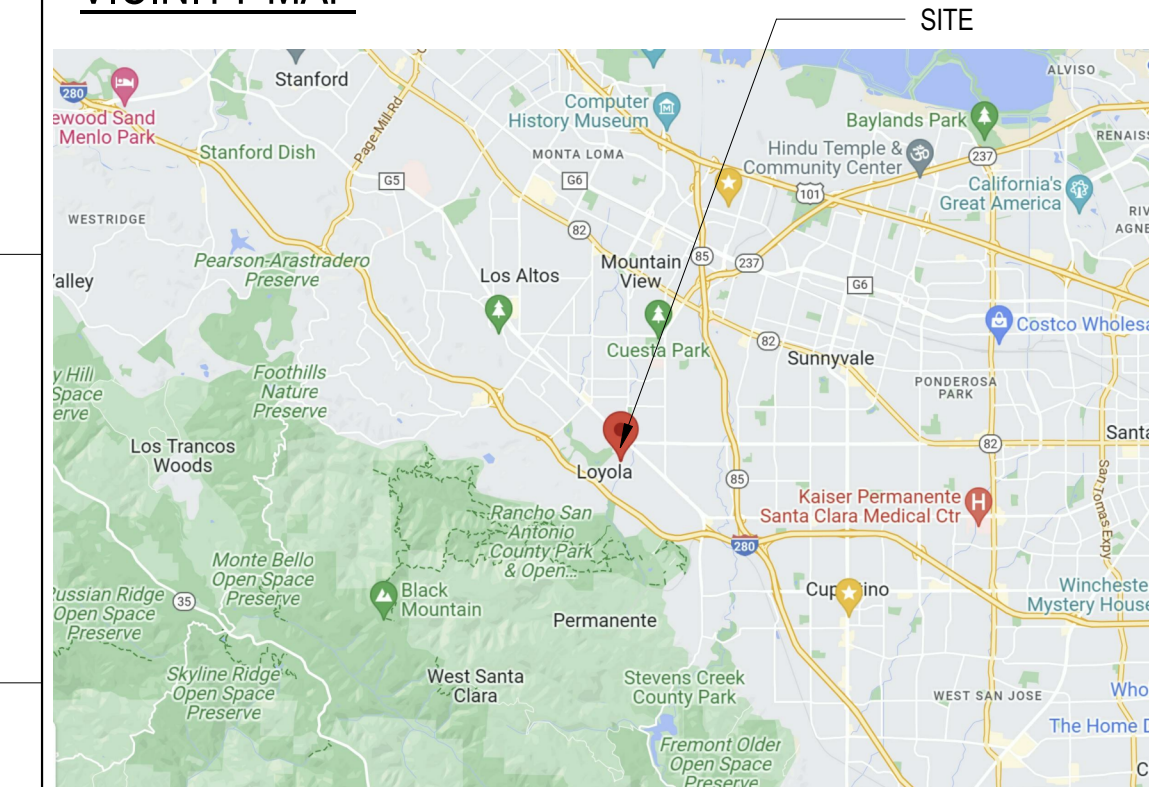
ARCHITECT:
Yin Su
SW Design
yinsu2002@gmail.com
650-265-8676

PROJECT INFORMATION

PROPERTY: 1638 Corte Via
Los Altos, CA 94024
APN: 331-11-052
OWNER: Chen Yang
NET LOT SIZE: 6,500 SF
LOT ZONING: R1E-20-n1
TYPE OF CONSTRUCTION: TYPE V-B, FULL SPRINKLERED
OCCUPANCY: R-3 & U

EXISTING LIVING AREA: 1,273 SF.
EXISTING GARAGE AREA: 340 SF.
PROPOSED TOTAL MAIN RES LIVING AREA: 1,875 SF.
PROPOSED GARAGE AREA: 400 SF.
PROPOSED F.A.R.: 2,275 SF/6,500 SF=35%.
PROPOSED ATTACHED ADU: 800 SF

VICINITY MAP



APPLICABLE CODES

2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRIC CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE (PART 6 OF TITLE 24)
2022 CALIFORNIA FIRE CODE (PART 9 OF TITLE 24)
2022 CALIFORNIA GREEN BUILDING CODE

SYMBOLS

	GRID LINE NUMBER OR LETTER	GRID LINE
	DETAIL NUMBER SHEET WHERE DETAIL IS DRAWN. SAME DISCIPLINE	DETAIL
	SECTION NUMBER SHEET WHERE SECTION IS DRAWN. SAME DISCIPLINE	SECTION
	ELEVATION NUMBER SHEET WHERE ELEVATION IS DRAWN. SAME DISCIPLINE	ELEVATION
	DELTA SEE DESCRIPTION BLOCK ON SAME SHEET FOR DATE & DESCRIPTION	DRAWING REVISION
	KEYNOTE KEYED NOTES SEE DESCRIPTION LIST ON SAME SHEET	KEYNOTE
	FILLED LINE INDICATES PLAN NORTH DASHED ARROW INDICATES TRUE NORTH	NORTH ARROW

DRAWING INDEX

A0.0	SITE PLAN
SURVEY	PROPERTY SURVEY
C0	CIVIL NOTES AND CALCULATION
C1	GRADING AND DRAINAGE
A0.1	FLOOR PLANS
A0.1c	AREA DIAGRAM
A0.2b	BUILDING ELEVATIONS

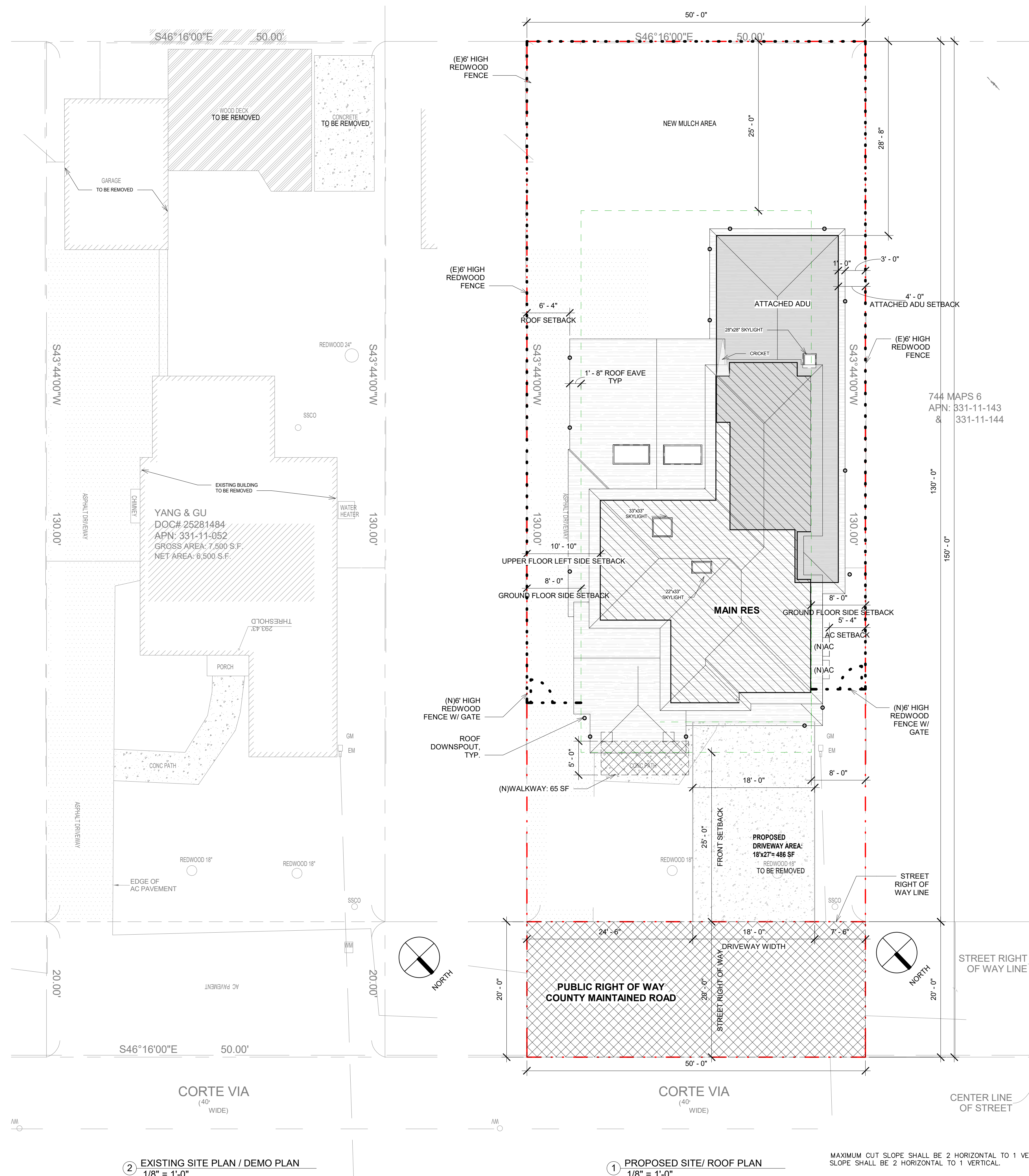
Architect: Yin Su
yinsu2002@gmail.com

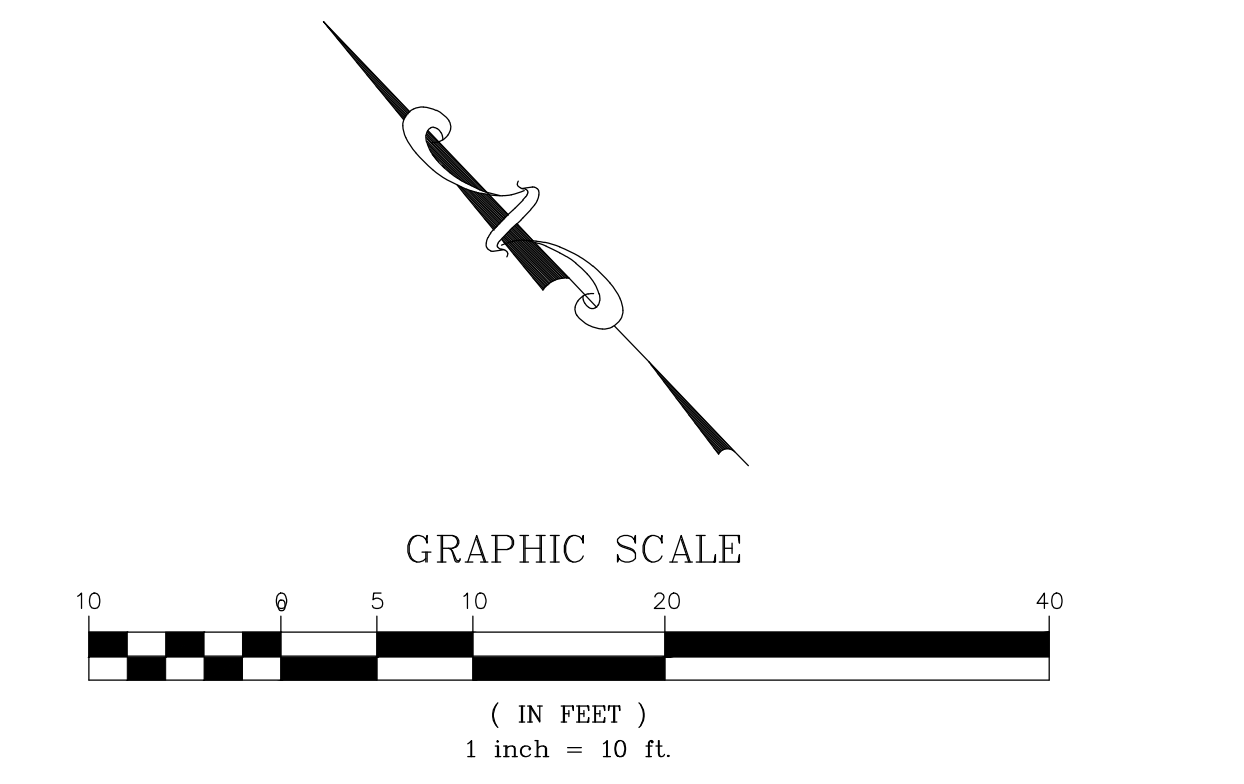
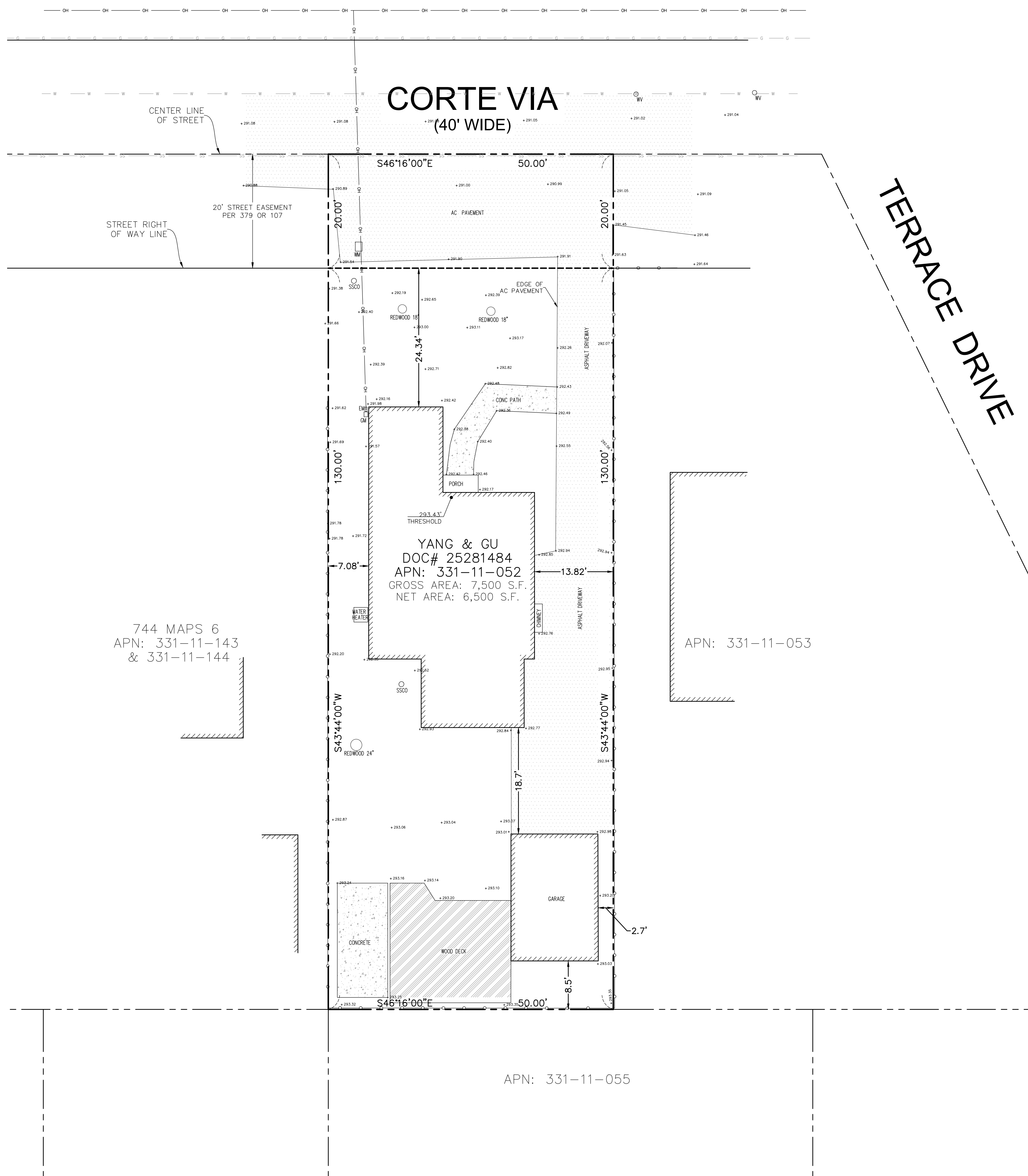
	PLAN CHECK II	
	PERMIT SUBMITTAL	08.25.2023
NO.	DESCRIPTION	DATE

PROJECT NO.
SCALE 1/8" = 1'-0"
TITLE

SITE PLAN

A0.0





ABBREVIATIONS AND LEGEND

BSBL	BUILDING SETBACK LINE	⊙	SANITARY SEWER MANHOLE
CB	CATCH BASIN	⊕	STORM DRAIN MANHOLE
CONC	CONCRETE	⊕	FIRE HYDRANT
EM	ELECTRIC METER	—SS—	SANITARY SEWER LINE
EP	EDGE OF PAVEMENT	—W—	WATER LINE
FT	FRUIT TREE	—OH—	OVERHEAD ELECTRICAL LINE
GM	GAS METER	—G—	GAS LINE
GND	GROUND	—SD—	STORM DRAIN LINE
HCR	HANDICAP RAMP		
J/P	JOINT POLE		
PUE	PUBLIC UTILITY EASEMENT		
SP	SIGN POLE		
SSCO	SANITARY SEWER CLEAN OUT		
SFNF	SEARCH FOR NOT FOUND		
TC	TOP OF CURB		
TEL	TELEPHONE		
UNK T	UNKNOWN TREE		
WM	WATER METER		
---	BOUNDARY LINE		
-o-o-	EXISTING FENCE LINE		
///	EXISTING BUILDING OUTLINE		
⊙	FOUND STANDARD CITY MONUMENT		
()	INDICATES REFERENCE MAP NUMBER		

REFERENCE INFORMATION
(1) 744 MAPS 6 (2) R MAPS 50

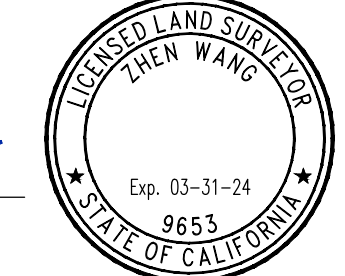
NOTE:
(1) ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
(2) BUILDING OUTLINE WAS MEASURED AT BUILDING EXTERIOR FINISH WALL SURFACE UNLESS OTHERWISE NOTED.
(3) ELEVATION DATUM: NAVD 88. ELEVATIONS WERE ESTABLISHED WITH GNSS OBSERVATIONS.

UTILITY NOTE
1. THE SURFACE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE, OR TYPE. RECORD UTILITY INFORMATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

TOPOGRAPHIC SURVEY
LANDS OF YANG AND GU
DOC# 25281484
APN 331-11-052

(1638 CORTE VIA)

CITY OF LOS ALTOS SANTA CLARA COUNTY CALIFORNIA
SCALE: 1"=10' MAY, 2023

Zhen Wang
ZHEN WANG  05/22/2023
DATE

ZHEN'S LAND SURVEYING CORP.
1121 S GRANT ST., SAN MATEO, CA 94402
TEL: (415)802-9945

COUNTY OF SANTA CLARA
General Construction
Specifications

GENERAL CONDITIONS

- 1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY... AND DATED... THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS...

GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE, WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION...

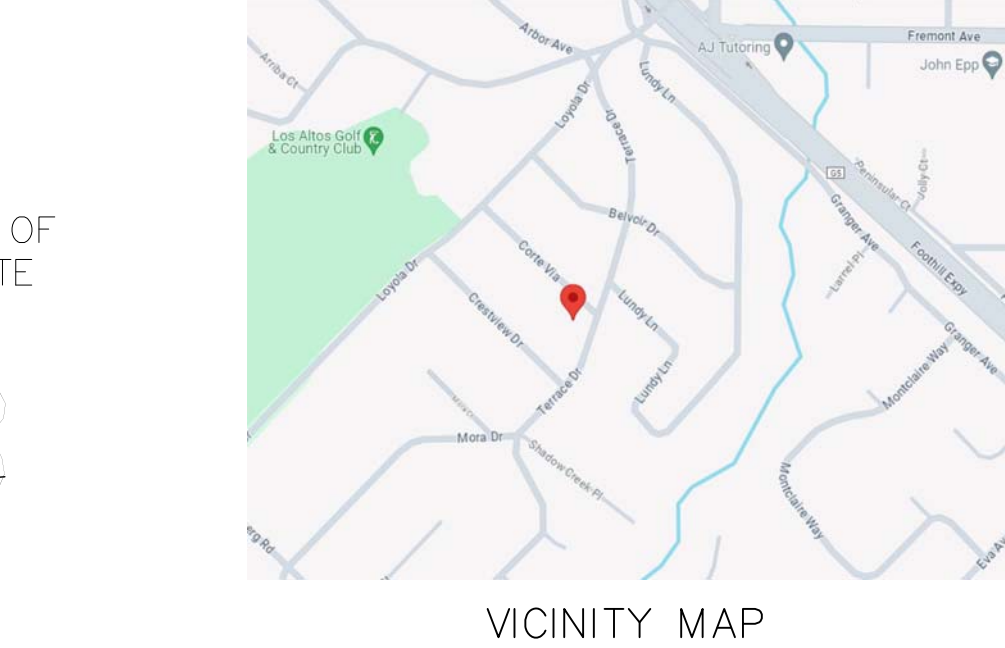
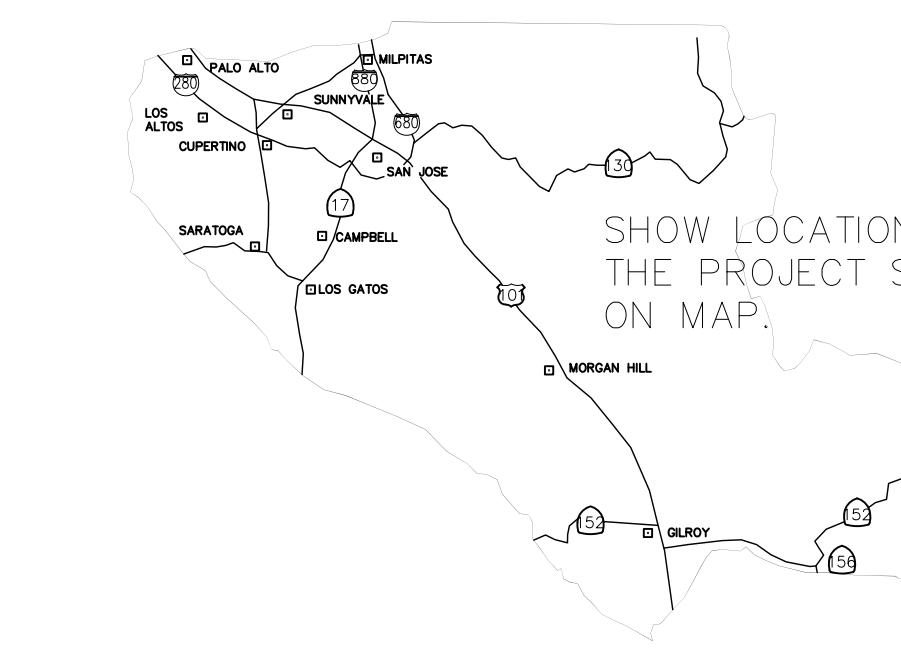
Table with columns: LOCATION, CUT (C.Y.), FILL (C.Y.), VERT. DEPTH. Rows include RESIDENCE, DRIVEWAY, SITE GRADING, DISSEPARATOR, and TOTAL.

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.

- 7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

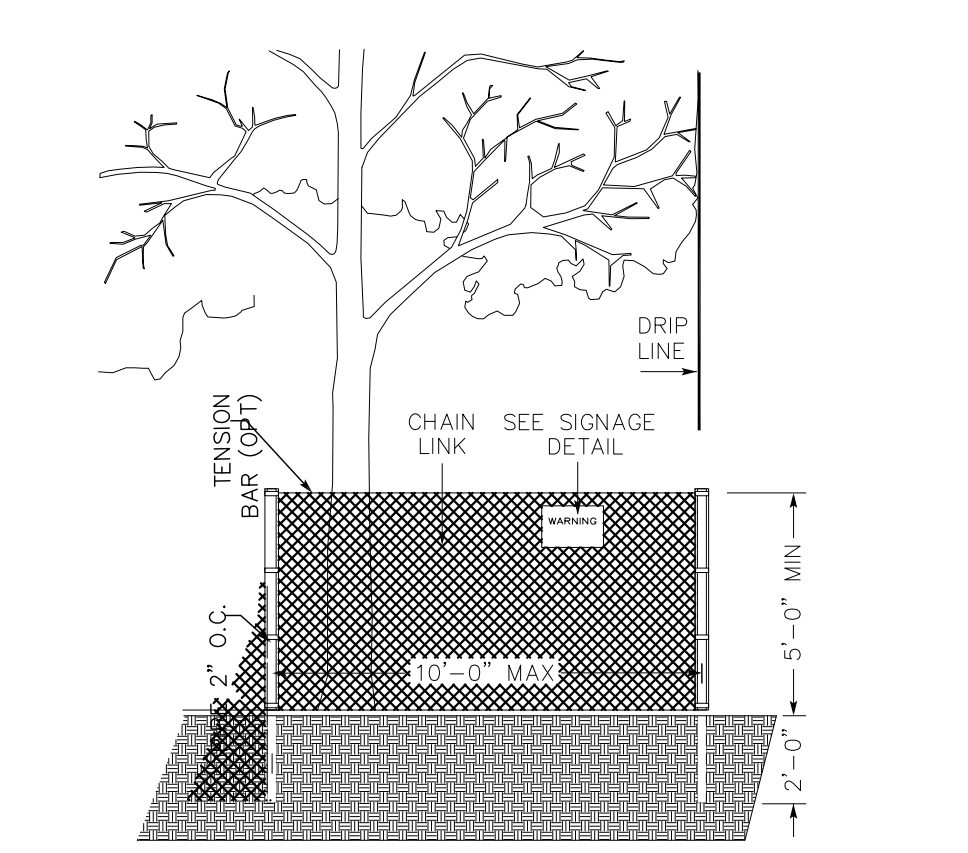
- 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.



COUNTY LOCATION MAP

SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.



EXISTING TREE PROTECTION DETAILS

- 1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST...

NEW RESIDENCE AT CORTE VIA

SCOPE OF WORK

- 1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN.

LEGEND

Legend table listing symbols for Sanitary Sewer, Electric, TV/Cable TV, Fire Service, Domestic Water, Telephone, Natural Gas, Force Main, Street Light, Irrigation, Fence, Joint Trench, Overhead Wires, Spot Elevation.

CONSTRUCTION STAKING

- 1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS.

CONSTRUCTION INSPECTION

- 1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.

TREE PROTECTION

- 1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES...

STORM DRAINAGE AND STORMWATER MANAGEMENT

- 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES...

Form for County of Santa Clara Dept. of Roads and Airports, Encroachment Permit No.

Form for County of Santa Clara, Land Development Engineering & Surveying, Grading / Drainage Permit No.

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO. _____

Date: 05/14/2024, Signature: [Signature], License No. C59334, R.C.E. No., Expiration Date: JUNE 30, 2025.



AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (___) WERE (___) WERE (___) WERE) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (*). THERE (___) WERE) (___) WERE) NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL (Δ).

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE OR ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS.

SITE PREPARATION (CLEARING AND GRUBBING)

- 1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS: A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS...

UTILITY LOCATION, TRENCHING & BACKFILL

- 1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2800 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.

STREET LIGHTING

- 1. PACIFIC GAS & ELECTRIC ELECTROLETR SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- 1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.

PORTLAND CEMENT CONCRETE

- 1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS.

RETAINING WALLS

- 1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.

SHEET INDEX

Sheet Index table with columns: Sheet No., Description, Date, APN, Co. File, Sheet of.

Form for R.C.E. NO. and EXPIRATION DATE.

GRADING AND DRAINAGE NOTES:

- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
- THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
- UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
- CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

GENERAL NOTES

2

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	RIM	RIM ELEVATION
DS	DOWNSPOUT	S	SLOPE
DWY	DRIVEWAY	SD	STORM DRAIN LINE
(E)	EXISTING	SDCO	STORM DRAIN CLEANOUT
EG	EXISTING GRADING	SDFM	STORM DRAIN FORCED MAIN
EM	ELECTRICAL METER	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	SSCO	SANITARY SEWER CLEANOUT
FF	FINISH FLOOR ELEVATION	TW	TOP OF WALL ELEVATION
FG	FINISHED GROUND ELEV.	TYP	TYPICAL
FP	FINISHED PAVEMENT	W	DOMESTIC WATER LINE
FS	FINISH SURFACE ELEV	WM	WATER METER

ABBREVIATION

3

—SS—	SANITARY SEWER	—SL—	STREET LIGHT
—E—	ELECTRIC	—IRR—	IRRIGATION
—TV—	TV/CABLE TV	—X—	FENCE
—FS—	FIRE SERVICE	—JT—	JOINT TRENCH
—W—	DOMESTIC WATER	—O/H—	OVERHEAD WIRES
—T—	TELEPHONE	× 16.07	(E) SPOT ELEVATION
—G—	NATURAL GAS	× 16.07	(N) SPOT ELEVATION
—FM—	FORCE MAIN		
DS	SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG.		
	DOWNSPOUT		

LEGEND

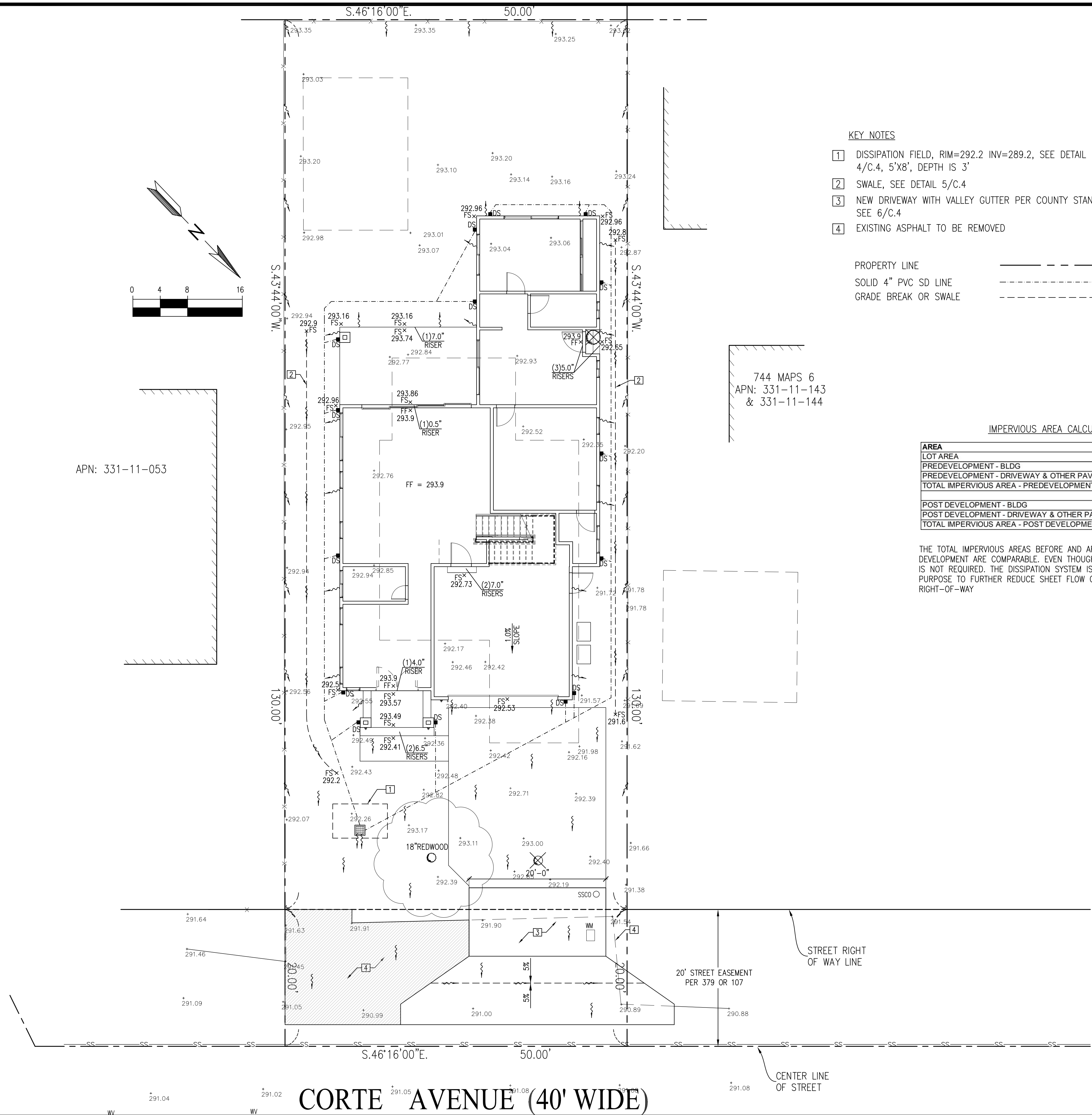
4

	CUT (CY)	FILL (CY)	DEPTH OF CUT
BUILDING PADS	124	0	1.6'
DRIVEWAY	23	0	1.0'
SITE GRADING	14	19	0.3'
DISSIPATOR	6	2	4'
TOTAL	167	21	

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST

CUT AND FILL EST.

4



KEY NOTES

- DISSIPATION FIELD, RIM=292.2 INV=289.2, SEE DETAIL 4/C.4, 5'X8', DEPTH IS 3'
- SWALE, SEE DETAIL 5/C.4
- NEW DRIVEWAY WITH VALLEY GUTTER PER COUNTY STANDARD. SEE 6/C.4
- EXISTING ASPHALT TO BE REMOVED

PROPERTY LINE

- SOLID 4" PVC SD LINE
- GRADE BREAK OR SWALE

IMPERVIOUS AREA CALCULATION

AREA	SF
LOT AREA	6,500
PREDEVELOPMENT - BLDG	1,603
PREDEVELOPMENT - DRIVEWAY & OTHER PAVED AREA	1,595
TOTAL IMPERVIOUS AREA - PREDEVELOPMENT	3,198
POST DEVELOPMENT - BLDG	2,040
POST DEVELOPMENT - DRIVEWAY & OTHER PAVED AREA	1,203
TOTAL IMPERVIOUS AREA - POST DEVELOPMENT	3,243

THE TOTAL IMPERVIOUS AREAS BEFORE AND AFTER THE PROPOSED DEVELOPMENT ARE COMPARABLE. EVEN THOUGH STORMWATER RETENTION IS NOT REQUIRED, THE DISSIPATION SYSTEM IS PROPOSED FOR RETENTION PURPOSE TO FURTHER REDUCE SHEET FLOW OF STORMWATER TO COUNTY RIGHT-OF-WAY

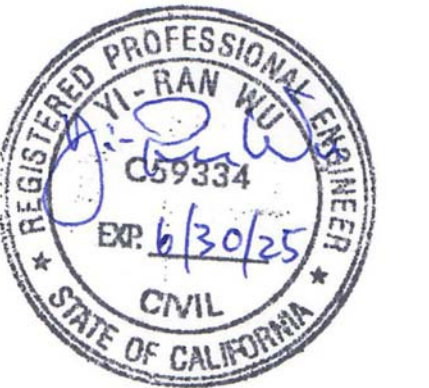
YANG & GU RESIDENCE

1638 CORTE VIA
LOS ALTOS, CA
APN: 331-11-052



2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

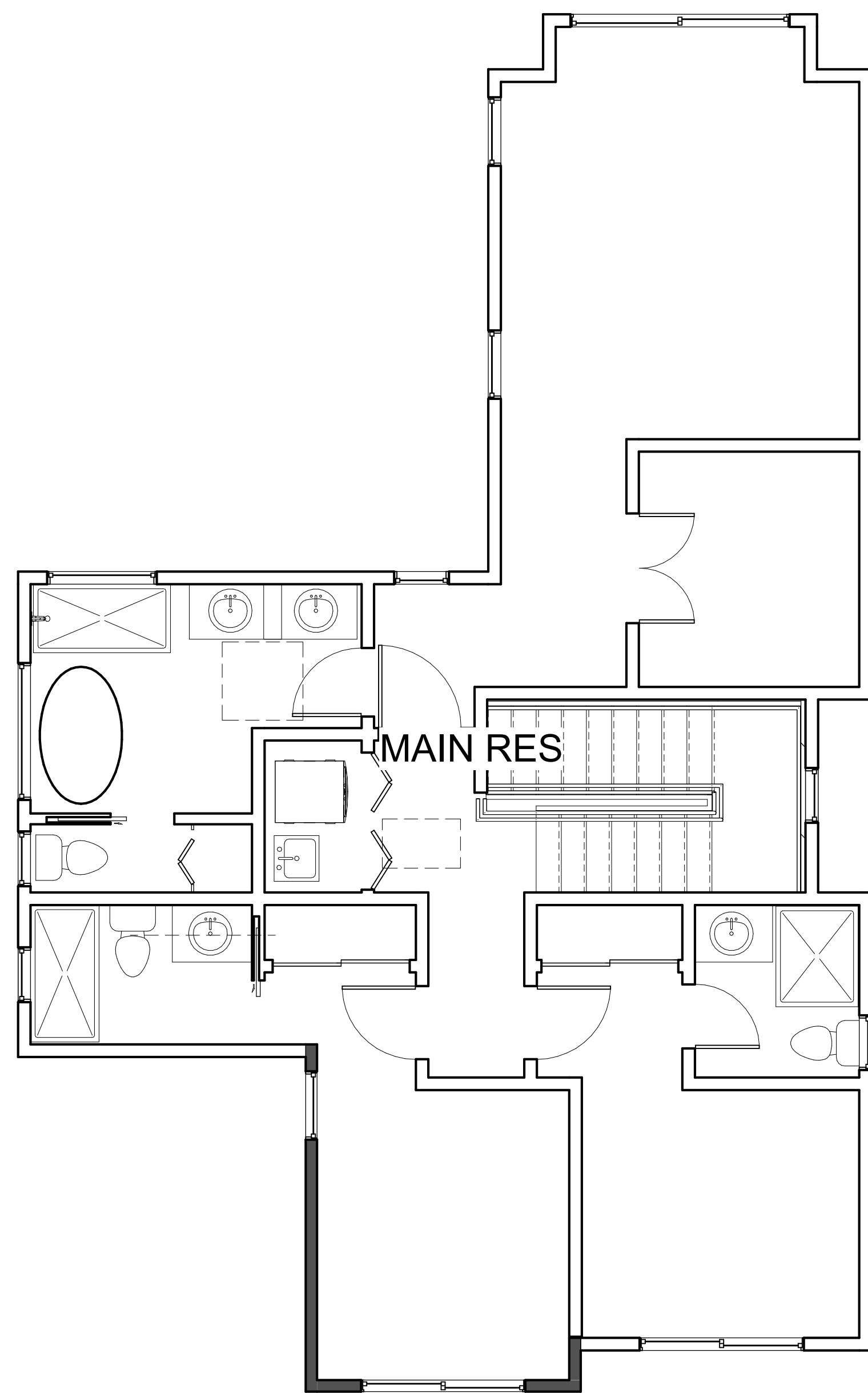
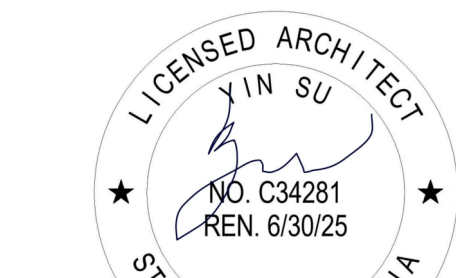
No.	Description	Date

DATE: MAY 14, 2024
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

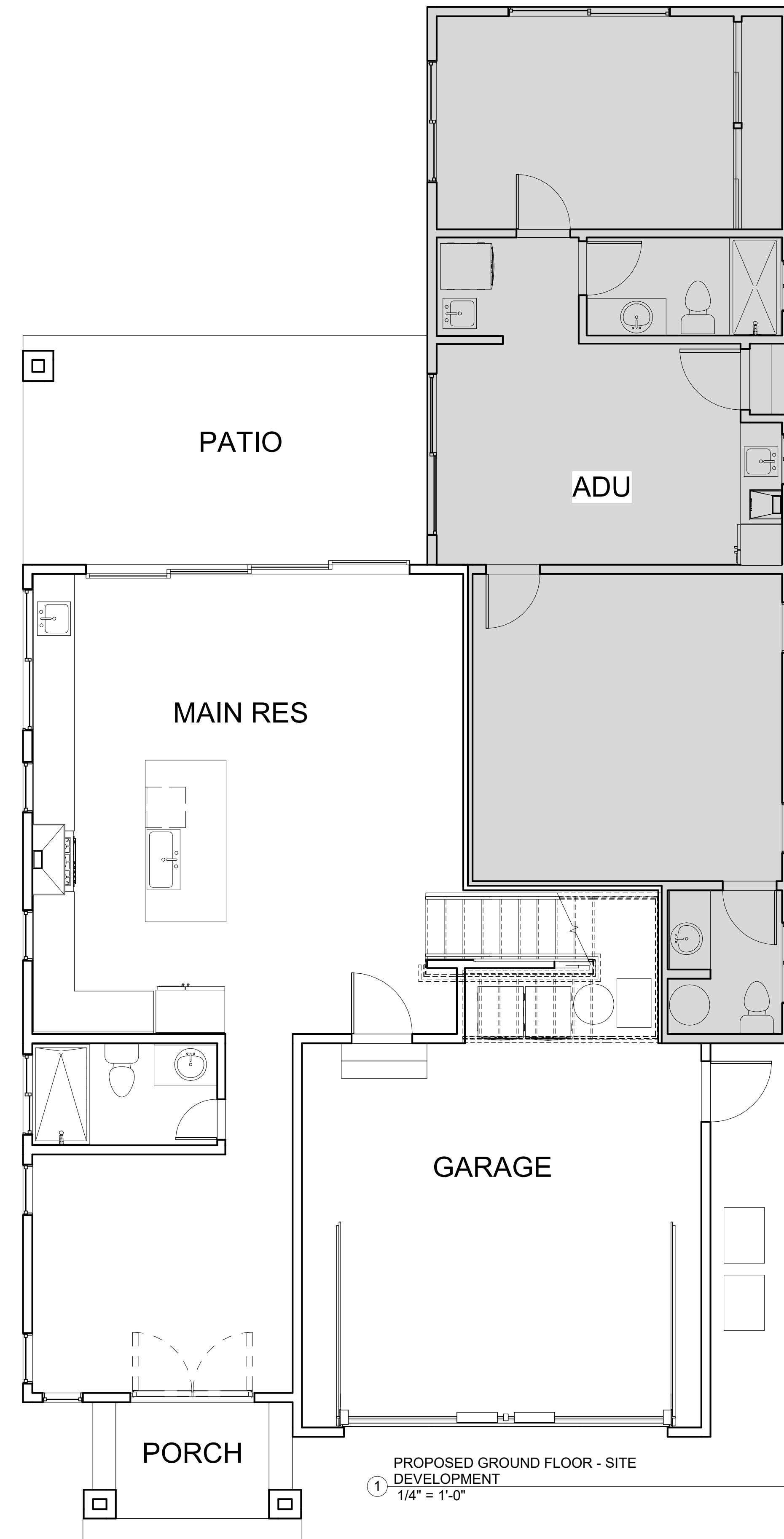
SHEET TITLE:
GRADING & DRAINAGE AND ROW IMPROVEMENT PLAN

SHEET NO.

C.1



PROPOSED UPPER FLOOR - SITE DEVELOPMENT
 ② 1/4" = 1'-0"



PROPOSED GROUND FLOOR - SITE DEVELOPMENT
 ① 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
	PLAN CHECK II	
	PERMIT SUBMITTAL	08.25.2023

PROJECT NO. _____

SCALE 1/4" = 1'-0"

TITLE **FLOOR PLANS**

Chen Yang

(OWNER)

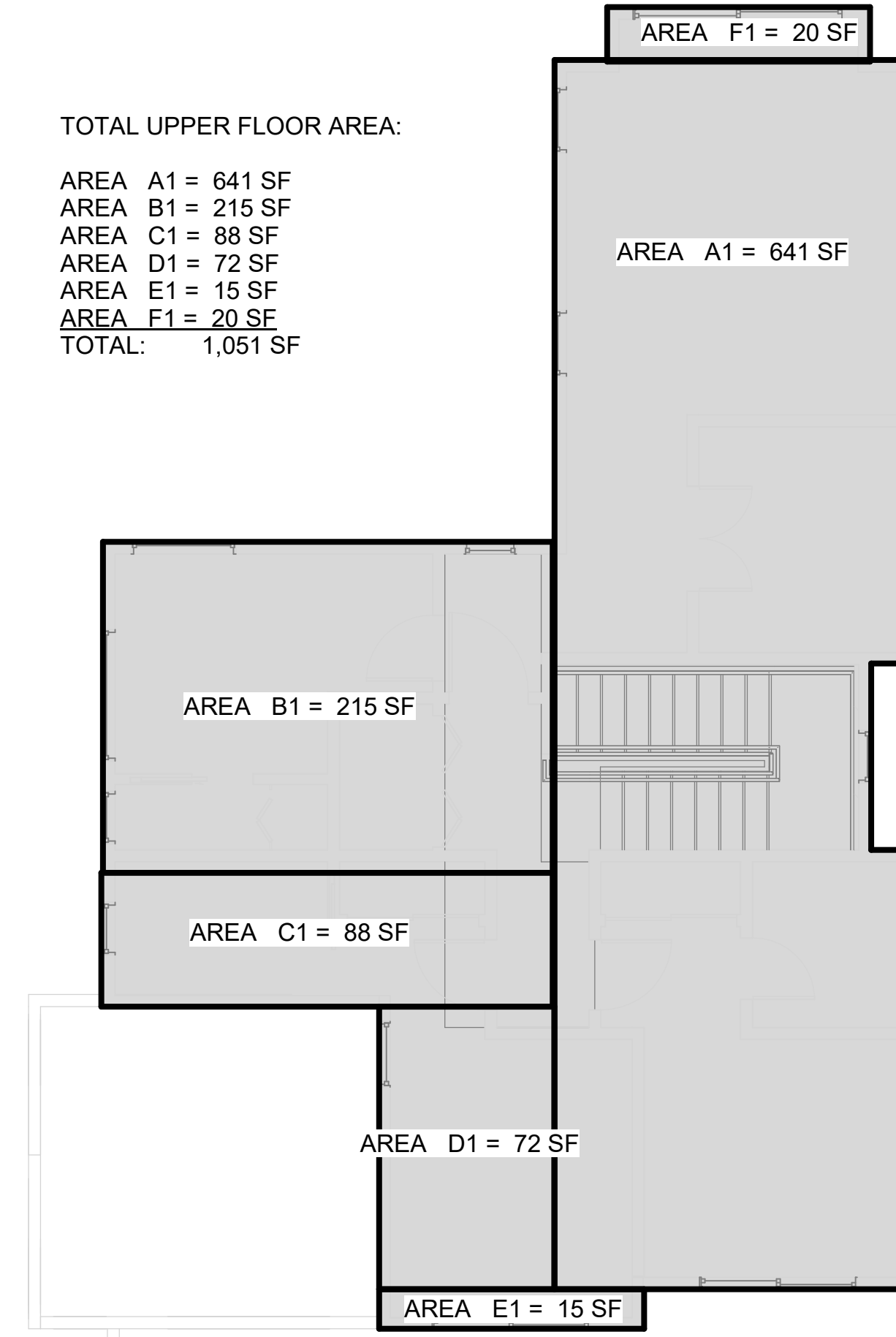
Address:
1638 Corte Via,
Los Altos, CA 94024

Email:
bobacortevia@gmail.com

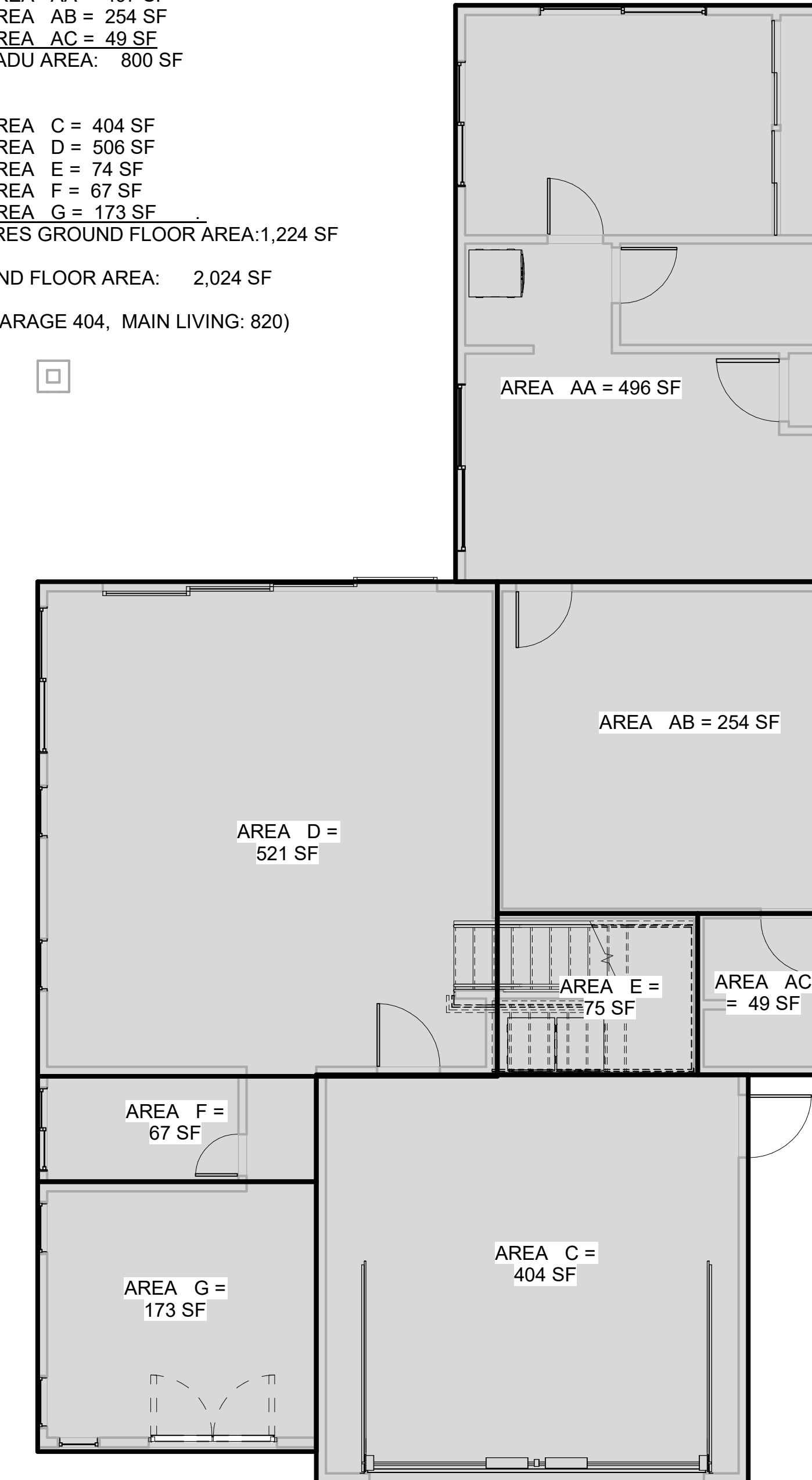
GARAGE AREA: 404 SF
+ MAIN RES LIVING AREA: 1,871 SF:
TOTAL BUILDING AREA: 2,275 SF
ADU LIVING AREA: 800 SF

TOTAL GROUND FLOOR AREA:
AREA AA = 497 SF
AREA AB = 254 SF
+AREA AC = 49 SF
TOTAL ADU AREA: 800 SF
AREA C = 404 SF
AREA D = 506 SF
AREA E = 74 SF
AREA F = 67 SF
AREA G = 173 SF
TOTAL MAIN RES GROUND FLOOR AREA: 1,224 SF
TOTAL GROUND FLOOR AREA: 2,024 SF
ADU 800
MAIN: 1,224 (GARAGE 404, MAIN LIVING: 820)

TOTAL UPPER FLOOR AREA:
AREA A1 = 641 SF
AREA B1 = 215 SF
AREA C1 = 88 SF
AREA D1 = 72 SF
AREA E1 = 15 SF
AREA F1 = 20 SF
TOTAL: 1,051 SF



② AREA DIAGRAM - UPPER FLOOR
3/16" = 1'-0"



① AREA DIAGRAM - GROUND FLOOR
3/16" = 1'-0"



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PLAN CHECK II	08.25.2023
PERMIT SUBMITTAL	
NO. DESCRIPTION	DATE

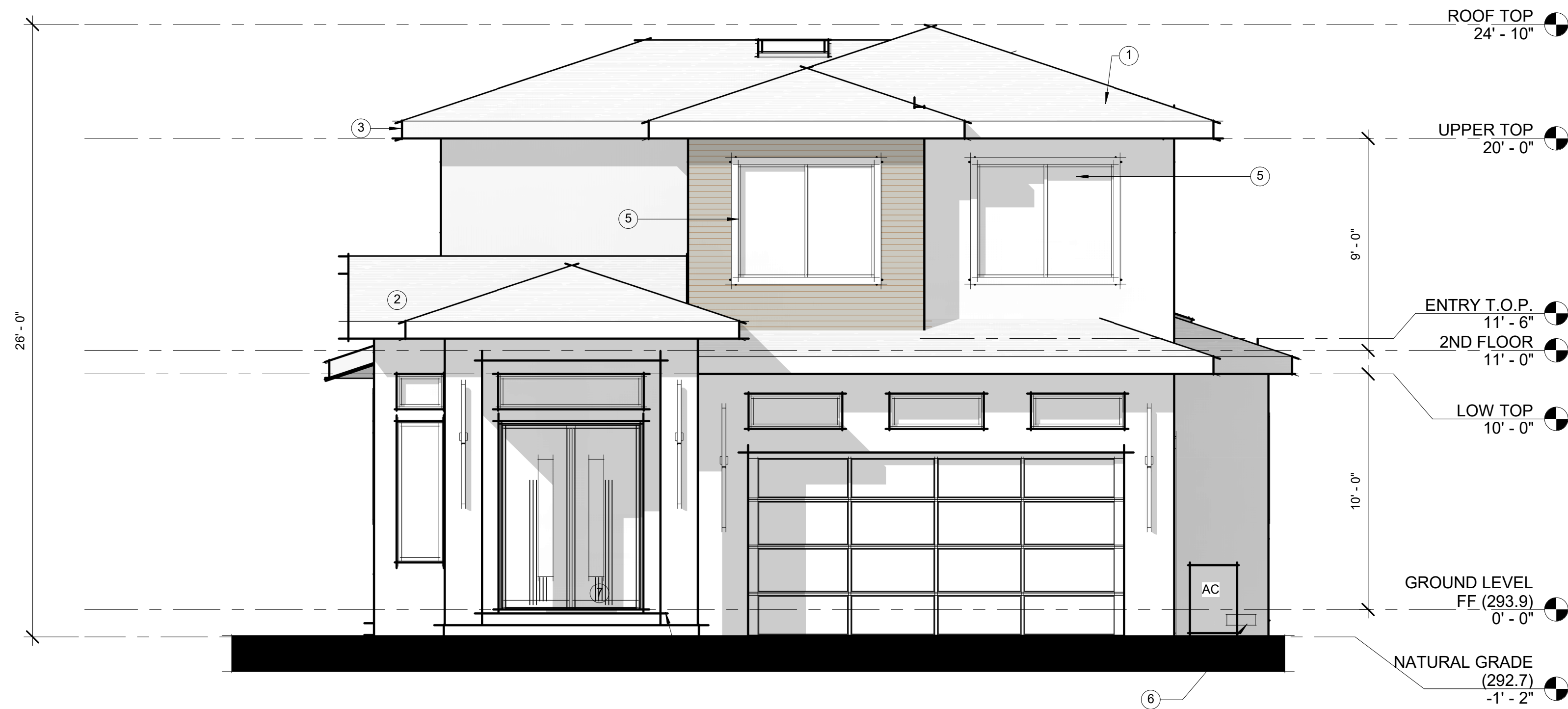
PROJECT NO.
SCALE 3/16" = 1'-0"
TITLE **AREA DIAGRAM**

ELEVATION NOTES:

1. NEW ROOF TO BE CLASS A METAL ROOF. FASTENERS FOR THE ROOFING SHALL BE CROSSION RESISTANT PER CRC R905.2.5.
2. THREE COAT STUCCO WALL FINISH OVER TWO LAYERS OF BUILDING PAPER.
3. WOOD TRIM @ EAVE W/ GUTTER.
4. DECORATIVE STUCCO FOAM TRIM.
5. RECESS AROUND WINDOW/DOOR.
6. 145.5"x5.5" UNDER FLOOR VENT.

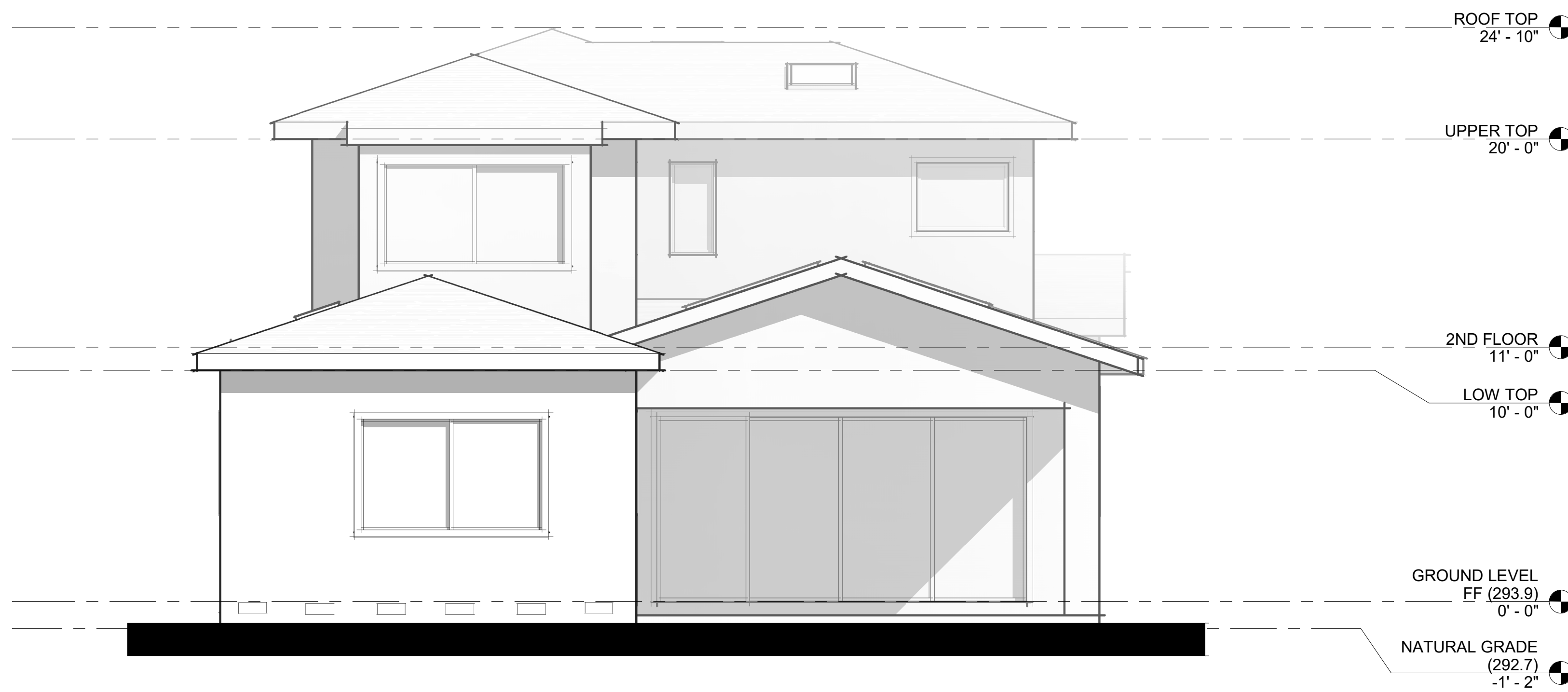
7. COLONADO LIMESTONE VENEER, SEE THE ATTCHED INSTALLATION GUIDELINE ON A0.0a.

8. WEEP SCREED. A MIN OF 26 GA. CORROSION - RESISTANT WEEP SCREED W/ A MIN VERTICAL ATTACHMENT FLAGE OF FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS W/STUCCO. THE SCREED SHALL BE PLACED A MIN OF 4" ABOVE THE EARTH OR 2" ABOCE PAVED AREAS AND SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.



1 PROPOSED FRONT/ EAST ELEVATION
1/4" = 1'-0"

NOTE:
THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
THE CONTRASTING ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 319.1)



2 PROPOSED REAR/ WEST ELEVATION
1/4" = 1'-0"

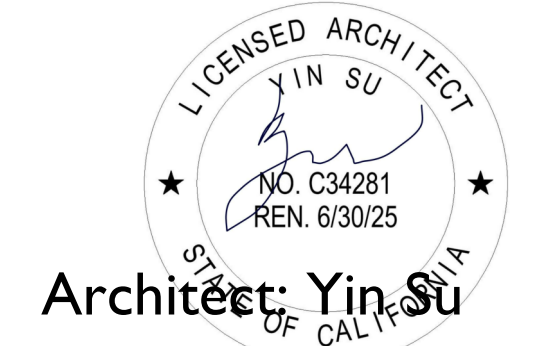
- NOTES:
1. WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER - RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (R703.6.3)
 2. PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL NOT BE LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY- RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. (R703.6.2)

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SCALE 1/4" = 1'-0"

TITLE
BUILDING ELEVATIONS

A0.2a

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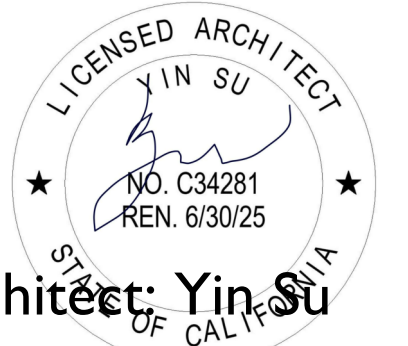
Email:
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① PROPOSED LEFT/ SOUTH ELEVATION
1/4" = 1'-0"



② PROPOSED RIGHT/ NORTH ELEVATION
1/4" = 1'-0"



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NO.	DESCRIPTION	DATE
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2	PERMIT SUBMITTAL	08.25.2023

PROJECT NO. _____

SCALE 1/4" = 1'-0"

TITLE

BUILDING ELEVATIONS

A0.2b