

A REMODEL FOR WEI-KEN SATO



NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MEGAN MINER DESIGN, AND REQUEST ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MEGAN MINER DESIGN. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MEGAN MINER DESIGN. PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK, NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MEGAN MINER DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MEGAN MINER DESIGN.

SPECIAL NOTES

BEFORE YOU START CONSTRUCTION REVIEW ALL SHEETS CAREFULLY. READ THE GREEN CHECKLIST SHEETS AND THE TITLE 24 SHEETS FOR REQUIREMENTS AS RULES HAVE CHANGED AND THERE MAY BE THINGS YOU ARE NOT EXPECTING

SCOPE OF WORK

REMODEL OF EXISTING 4 BEDROOM 5 BATH HOME FOR UPDATED 4 BEDROOM 4.5 BATH HOME. ADDITION OF 505 SQFT FOR LIVING AND 625 SQFT FOR GARAGE. UPDATE TO 400 AMP ELEC. SERVICE, UPDATE FURNACE/HEAT PUMP, UPDATE TANKLESS WATER HEATER, NEW REAR AND SIDE PATIO, NEW ROOFING, AND ALL NEW ELECTRICAL AND PLUMBING.

ANALYSIS

ASSESSOR'S PARCEL #	51030003
LOT AREA:	59,242 S.F.
ZONING:	R-1
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY RATING:	R-3, U
EXISTING USE:	SINGLE FAMILY RES.
SLOPE OF LOT	FLAT LOT
FLOOD ZONE	D
HISTORIC	NO
FIRE SPRINKLERS	NO
WUI	YES
STORIES	ONE

EXISTING	
EXISTING LIVING:	4,430 S.F.
EXISTING GARAGE:	1,050 S.F.
TOTAL EXISTING	5,475 S.F.

PROPOSED	
(E) GARAGE CONVERTED TO LIVING	85 S.F.
NEW LIVING	505 S.F.
NEW GARAGE	625 S.F.
FRONT COVERED PORCH	120 S.F.
TOTAL BUILDING SQUARE FOOTAGE	6,810 S.F.

PRIMARY CANTILEVER COVERED PORCH	260 S.F.
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ACTUAL COVERAGE	7,125 S.F.
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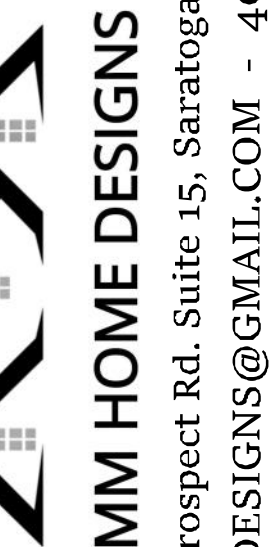
CITY STAMP AREA

REVISIONS BY

Friday, November 3, 2023

THE PLANS, NOTES AND FIGURES SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER. DESIGN SHALL BE FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF MEGAN MINER DESIGN.

Megan Miner



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A Project for:
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GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND OTHER REQUIREMENTS WHICH HAVE BEEN ADOPTED BY THE LOCAL JURISDICTION OR ARE OTHERWISE APPLICABLE TO THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE.
- IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.
- THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.
- EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- ANY PROPOSED WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- PROVIDE ALL REQUIRED FIRE BLOCKING IN ACCORDANCE WITH SECTION 718 OF THE CURRENT ADOPTED EDITION OF C.B.C.
- EXITING NOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.
- JOB COPIES OF THE APPROVED BUILDING PLANS, REVISIONS, AND DEFERRED SUBMITTALS SHALL BE ON-SITE DURING INSPECTIONS.

CONSTRUCTION SITE SHALL BE ENCLOSED BY 6' OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.

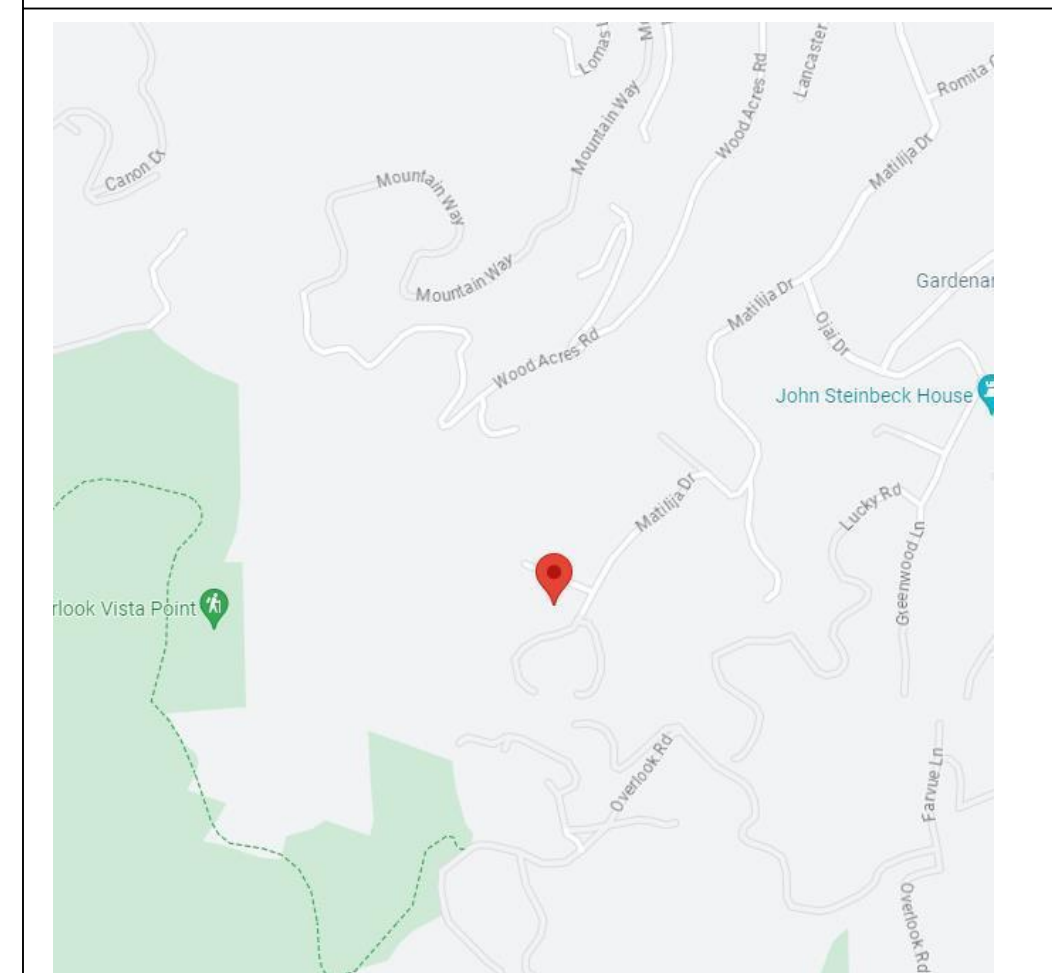
NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.

A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.

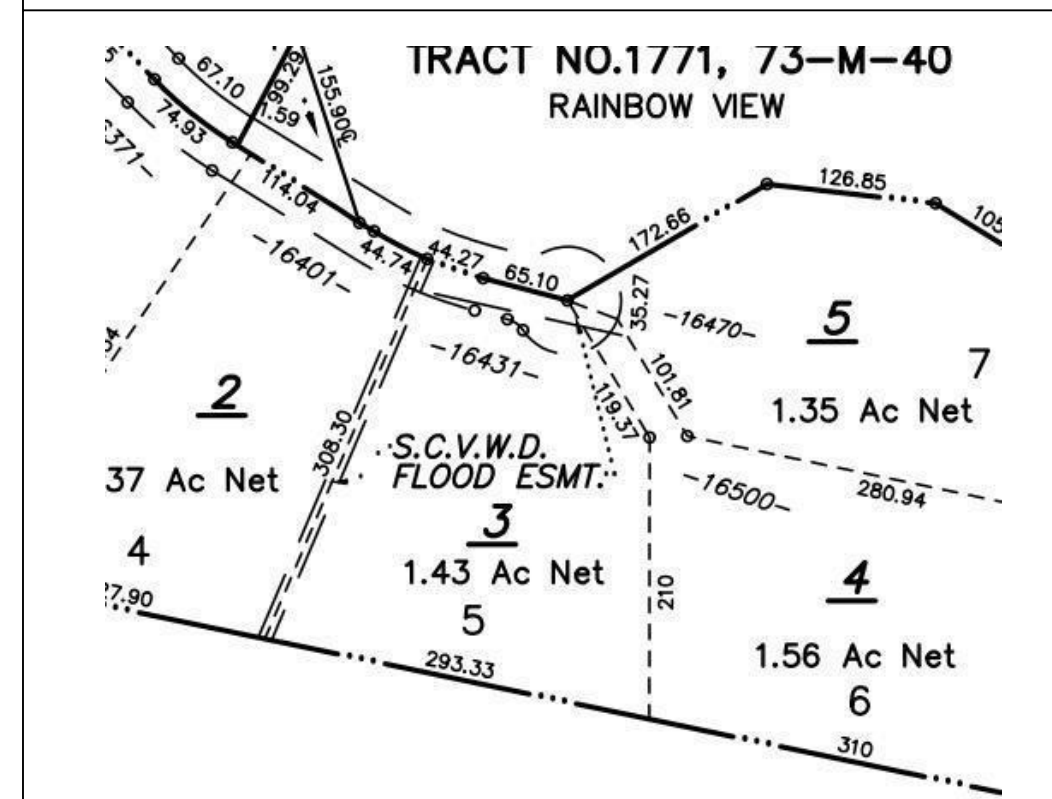
ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE FILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.

THE PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:30 AM TO 6 PM, SATURDAYS FROM 9AM TO 5 PM.

VICINITY MAP



PARCEL MAP



APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH:

- 2022 CALIF. FIRE CODE
- 2022 CALIF. BLDG CODE
- 2022 CALIF. RESIDENTIAL CODE
- 2022 CALIF. MECH. CODE
- 2022 CALIF. PLUMB'G CODE
- 2022 CALIF. ELEC. CODE
- 2022 CALIF. ENERGY CODES
- 2022 CALIF. GREEN BUILDING CODES
- ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.

PERSONAE

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SURVEYOR
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STRUCT. DETAILS	
STRUCTURAL DETAIL 1	SD1
STRUCTURAL DETAIL 2	SD2

DEFERRED SUBMITTALS

- FIRE SPRINKLERS REQUIRED**
- FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS - NOTE THAT PER CRC 313.3-7. A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUT OFF VALVE TO THE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS, AND AUTOMATIC SHUT OFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN."
 - CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4-408.2
 - PHOTOVOLTAIC ROOFING SYSTEM
 - ROOF TRUSSES

SEPARATE PERMIT

- SWIMMING POOL AND RELATED EQUIPMENT

DRAWN

MM

CHECKED

MM

DATE

Friday, November 3, 2023

SCALE

AS SHOWN

JOB NO.

PAGE:

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Megan Nunez

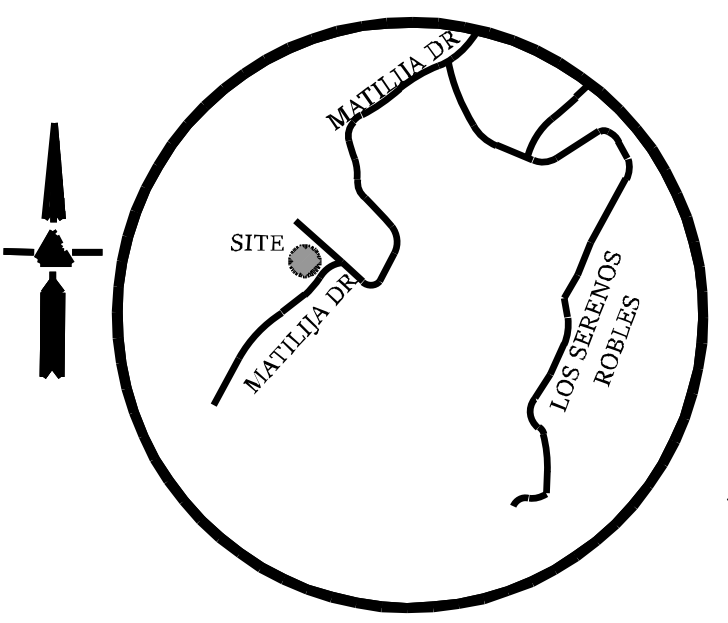


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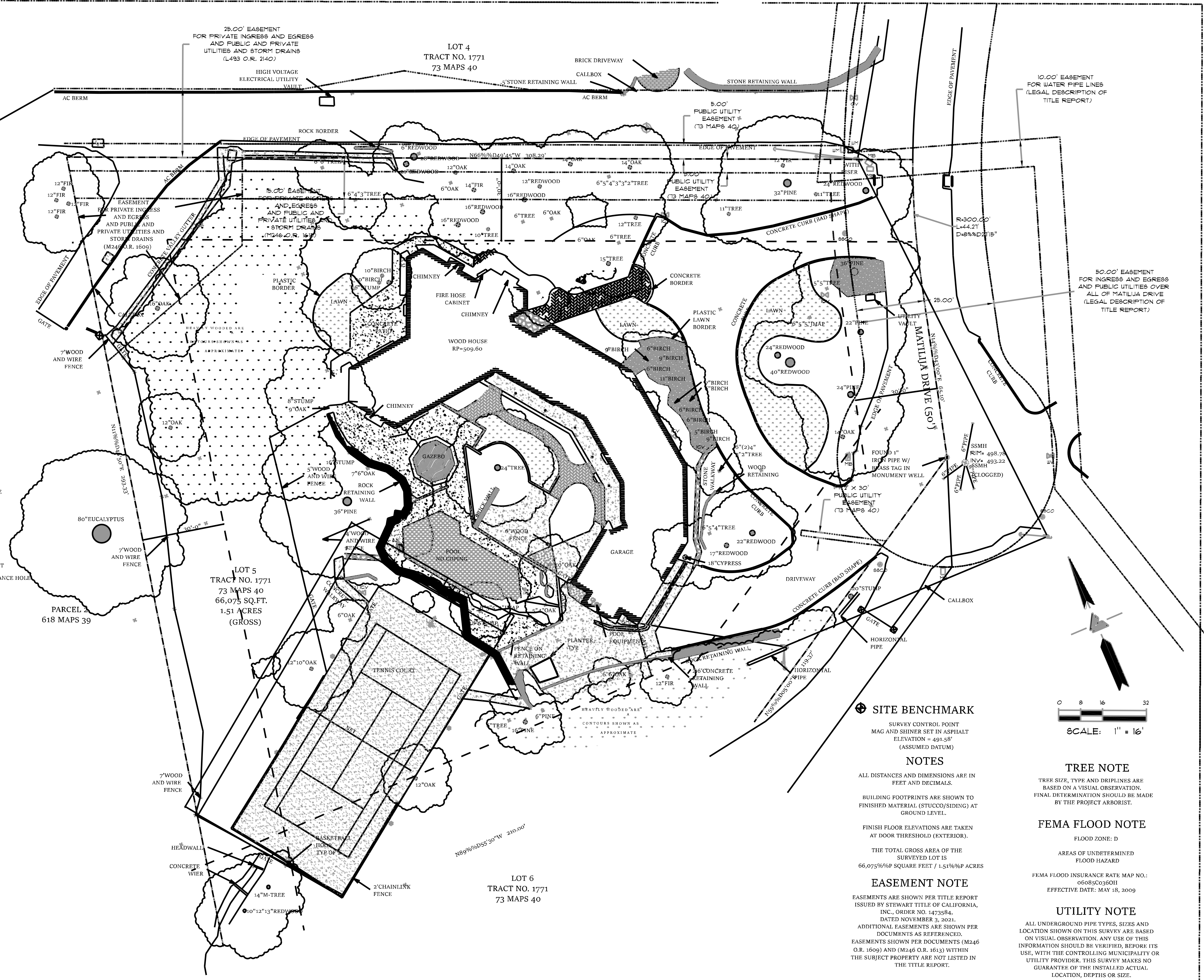
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EXISTING SITE PLAN



VICINITY MAP
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- BUILDING OVERHANG LINE
- ELECTRICAL/TELEPHONE/
CABLE TV OVERHEAD LINE
- EASEMENT
- FENCE LINE
- FLOW LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- AREA DRAIN
- BENCHMARK
- BOTTOM RETAINING WALL
- CATCH BASIN
- CLEAN-OUT BOX
- ELECTRICAL METER
- FINISH FLOOR
- FIRE HYDRANT
- FLOW LINE
- GAS METER
- GUY ANCHOR
- INVERT
- IRRIGATING CONTROL VALVE
- JAPANESE MAPLE
- JOINT POLE
- MULTI-TRUNK TREE
- PILLAR, OR SIMILAR
- ROOF PEAK
- SANITARY SEWER CLEAN-OUT
- SANITARY SEWER MAINTENANCE HOLE
- STREET LIGHT
- TOP OF CURB
- TOP OF RETAINING WALL
- TOP OF SLAB
- WATER METER
- WATER VALVE
- SPOTGRADE
- ASPHALT
- BRICK
- CONCRETE
- GRAVEL
- LAWN
- POOL
- PAVERS
- RIVER ROCK
- STONE
- WOOD



SITE BENCHMARK
SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 491.58'
(ASSUMED DATUM)

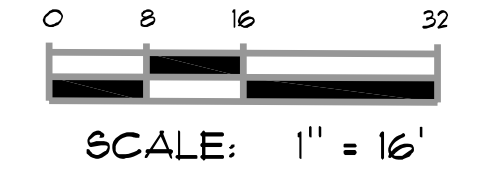
NOTES
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
THE TOTAL GROSS AREA OF THE SURVEYED LOT IS 66,075 SQ. FEET / 1.51 ACRES

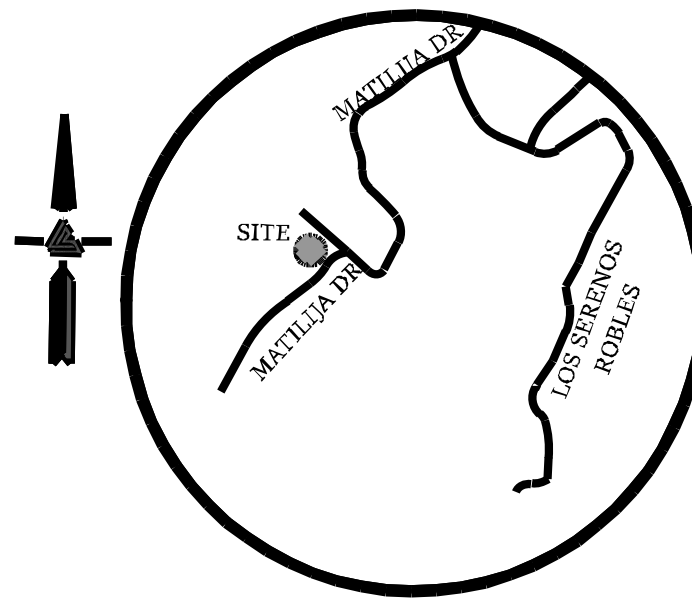
EASEMENT NOTE
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TREE NOTE
TREE SIZE, TYPE AND DRIPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

FEMA FLOOD NOTE
FLOOD ZONE: D
AREAS OF UNDETERMINED FLOOD HAZARD
FEMA FLOOD INSURANCE RATE MAP NO.: 06083C03601H
EFFECTIVE DATE: MAY 18, 2009

UTILITY NOTE
ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

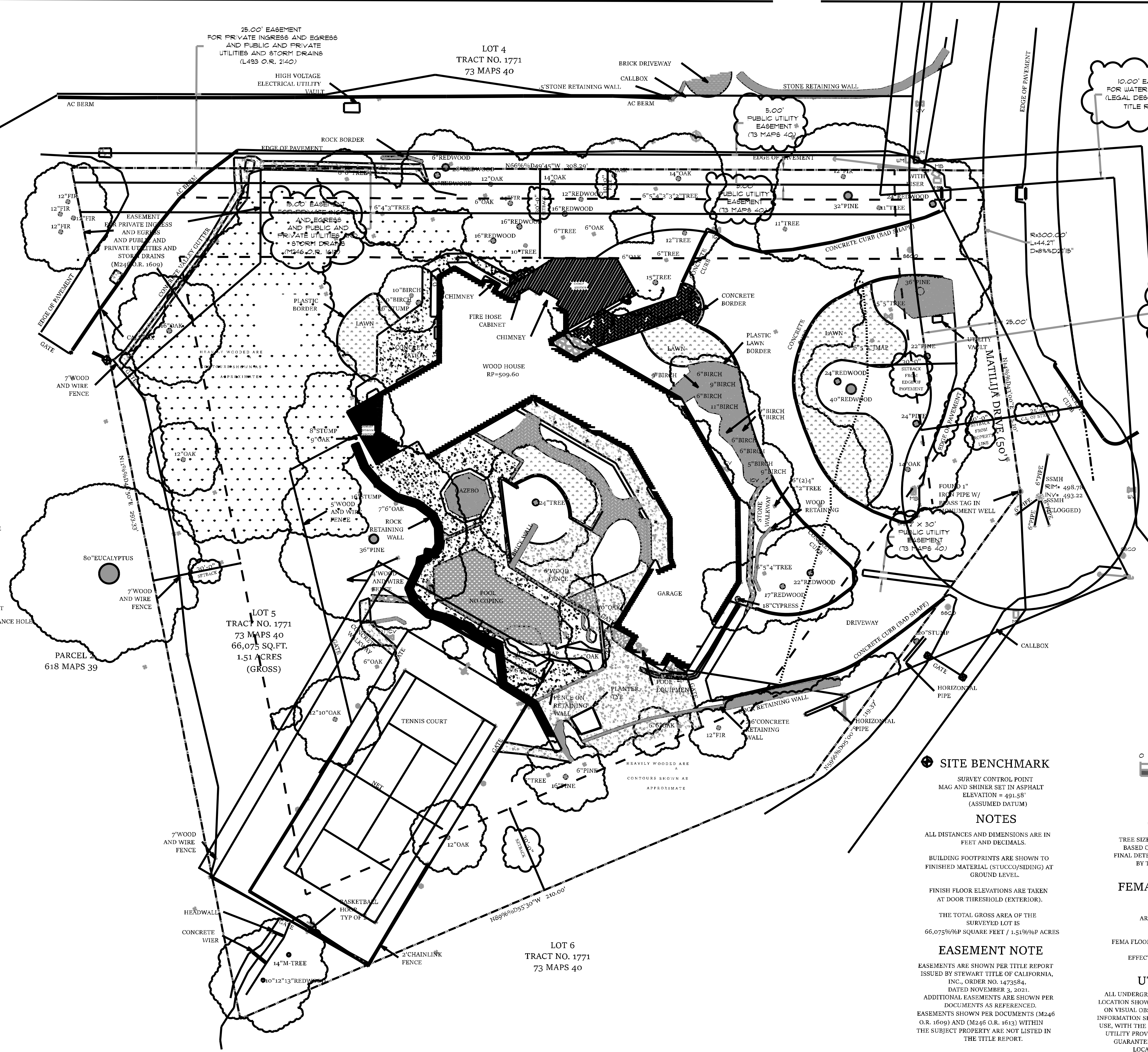




VICINITY MAP
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- BUILDING OVERHANG LINE
- ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- EASEMENT
- FENCE LINE
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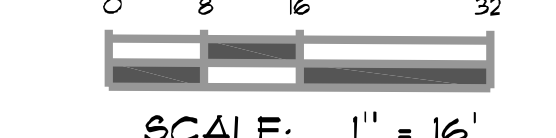
10.00' EASEMENT FOR WATER PIPE LINES (LEGAL DESCRIPTION OF TITLE REPORT)

50.00' EASEMENT FOR INGRESS AND EGRESS AND PUBLIC UTILITIES OVER ALL OF MATILIJIA DRIVE (LEGAL DESCRIPTION OF TITLE REPORT)

SITE BENCHMARK
SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 491.58'
(ASSUMED DATUM)

NOTES
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SCALE: 1" = 16'

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FEMA FLOOD NOTE
FLOOD ZONE: D
AREAS OF UNDETERMINED FLOOD HAZARD

UTILITY NOTE
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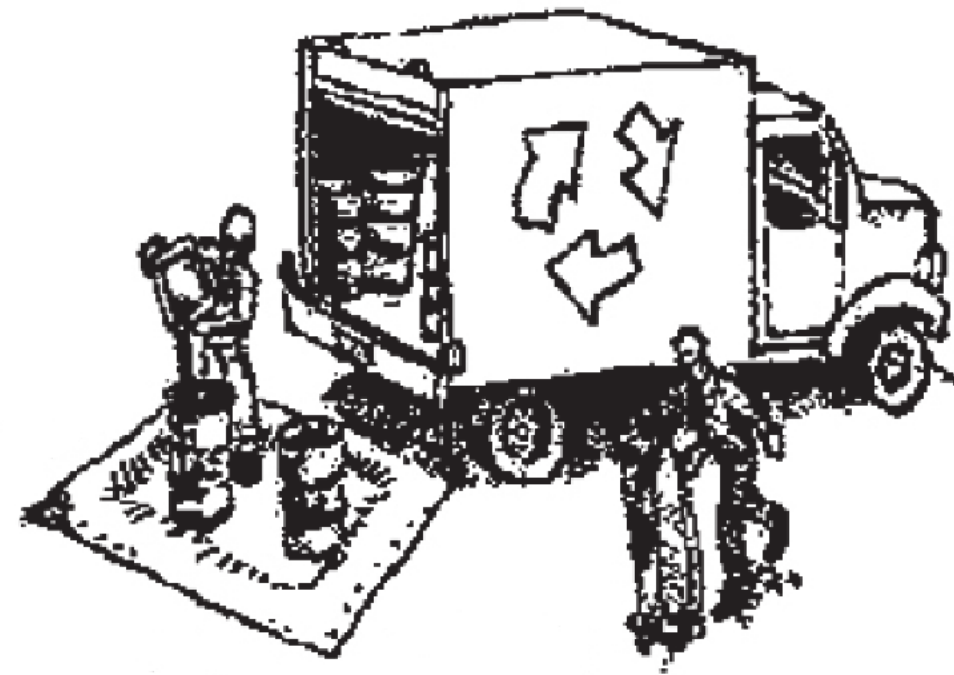
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Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficient control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



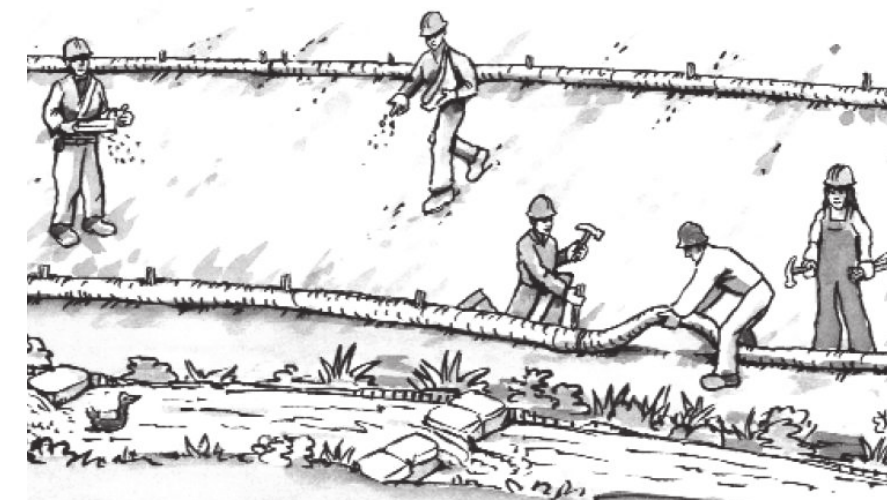
Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



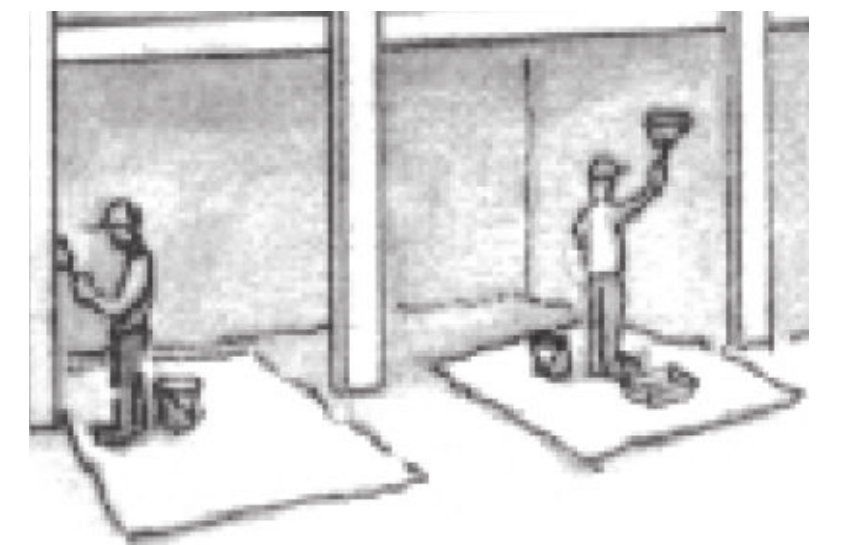
Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

Storm drain polluters may be liable for fines of up to \$10,000 per day!

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

REVISIONS BY

Friday, November 3, 2023

A = ARCHITECT
M = MECHANICAL
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

THE PLANS, IDEAS AND DESIGN SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. ANYBODY WHO USES THESE DRAWINGS WITHOUT THE ARCHITECT'S PERMISSION VIOLATES THE ARCHITECT'S PROFESSIONAL OATH AND MAY BE SUBJECT TO PROSECUTION.

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DRAWN: MM
CHECKED: MM
DATE: Friday, November 3, 2023
SCALE: AS SHOWN
JOB NO.

PAGE: 6/27
GREEN CHECKLIST 2

Y	N/A	RESPON. PARTY	DESCRIPTION
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O ₃ /g ROG). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701. MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere. VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94555(a).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4.503 FIREPLACES 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final start-up of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of applicable standards unless more stringent local or regional air pollution or air quality management district rules apply. 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, not packaging), which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507. 4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone-depleting substances, in Sections 94522(a)(1) and (b)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. 4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product containers.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TABLE 4.504.1 - ADHESIVE VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLAC	730
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE FINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	50
SUBFLOOR ADHESIVES	60
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)
4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350).
See California Department of Public Health's website for certification programs and testing labs
<https://www.cdph.ca.gov/Programs/CCDCDP/DEDC/ELHB/IAQ/Pages/VOC.aspx>.
4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350).
See California Department of Public Health's website for certification programs and testing labs
<https://www.cdph.ca.gov/Programs/CCDCDP/DEDC/ELHB/IAQ/Pages/VOC.aspx>.
4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.
4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350).
See California Department of Public Health's website for certification programs and testing labs
<https://www.cdph.ca.gov/Programs/CCDCDP/DEDC/ELHB/IAQ/Pages/VOC.aspx>.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.) by or before the dates specified in those sections, as shown in Table 4.504.5
4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:
1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European EN 339 standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL
4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.
4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.
4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:
1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:
1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 1919 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturer's drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:
1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).
Notes:
1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT
4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:
1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.
Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

REVISIONS	BY
Friday, November 3, 2023	

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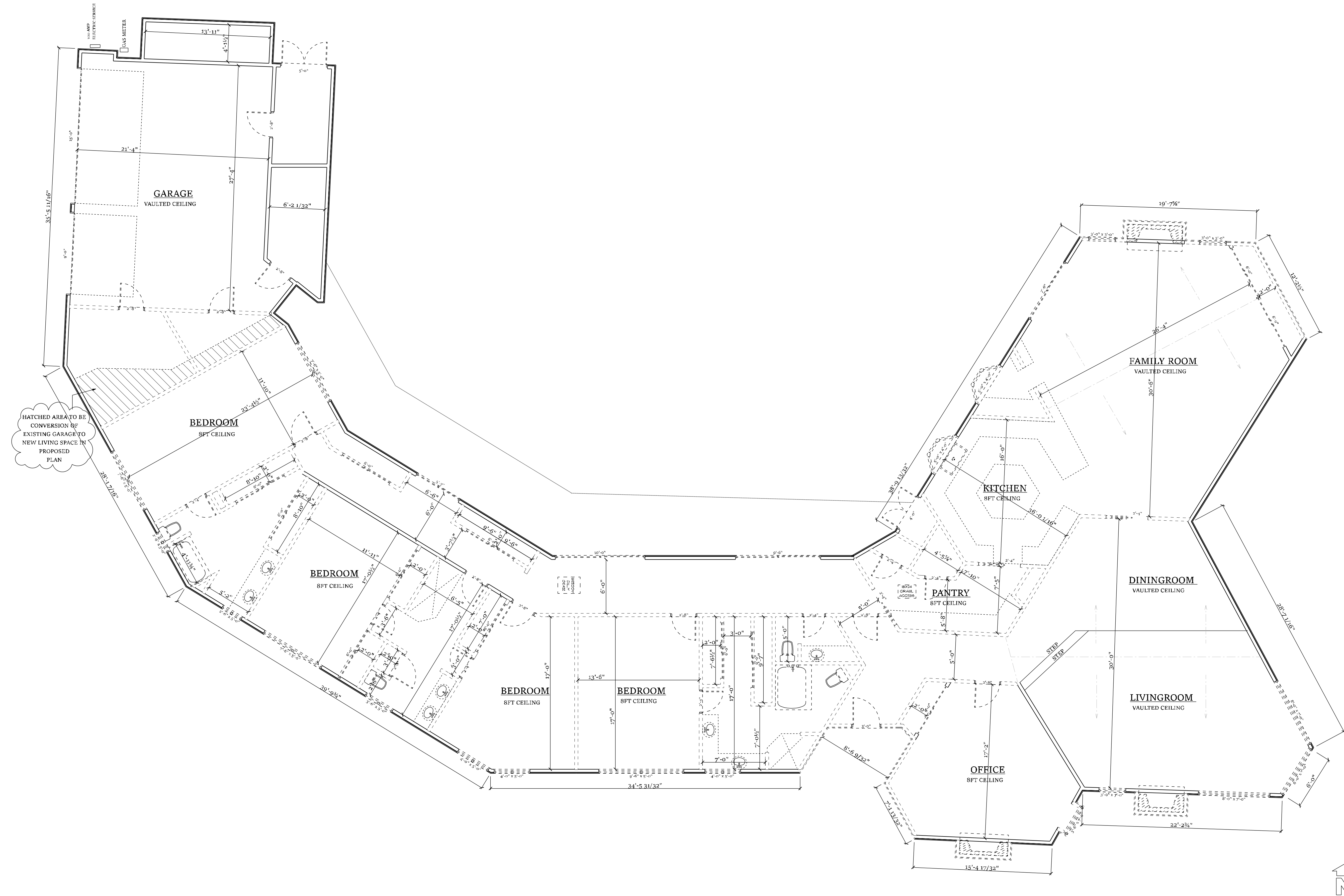
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 DEMO FLOOR PLAN



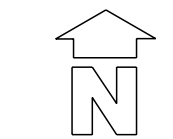
HATCHED AREA TO BE CONVERSION OF EXISTING GARAGE TO NEW LIVING SPACE IN PROPOSED PLAN

DEMO PLAN - GENERAL NOTES

- 1 CONTRACTOR SHALL PATCH AND REPAIR ALL CONSTRUCTION SCHEDULED TO REMAIN WHICH IS AFFECTED DURING DEMOLITION.
- 2 RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE.
- 3 SALVAGE REUSABLE BUILDING MATERIALS.
- 4 MINIMIZE DISRUPTION OF EXISTING PLANTS & TREES. BEDROOM

LEGEND

	EXISTING WALLS
	WALLS TO BE REMOVED



DEMO PLAN
 SCALE: 3/16" = 1'-0"

REVISIONS	BY
Friday, November 3, 2023	

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NEW FLOOR PLAN	

NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MM HOME DESIGNS, AND REQUIRES ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MM HOME DESIGNS. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MM HOME DESIGNS. PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK, NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MM HOME DESIGNS. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MM HOME DESIGNS.

FOUNDATION VENTILATION CALC'S WITH EXCEPTION:

1000 S.F. / 1500 / .58 = 2 VENTS SPACED EQ.
 FOR CROSS VENTILATION, USE 6" X 14" VULCAN SCREENED FND VENTS OR APPROVED EQ.

CRC 408.2 EXCEPTION: THE TOTAL AREA OF VENTILATION OPENINGS SHALL BE PERMITTED TO BE REDUCED TO 1/1,500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS I VAPOR RETARDER MATERIAL. UNDER RAT SLAB AND THE REQUIRED OPENINGS ARE PLACED TO PROVIDE CROSS VENTILATION OF THE SPACE. THE INSTALLATION OF OPERABLE LOUVERS SHALL NOT BE PROHIBITED

ATTIC ACCESS SHALL BE 22" X 30" MINIMUM, AND ATTIC SPACE SHALL BE 30" OR GREATER IN CLEAR HEIGHT ABOVE THE ACCESS OPENING, AT LEAST 30 SF IN AREA. CRC R807

ALL PLUMBING FIXTURES SHALL COMPLY WITH CAL-GREEN MAXIMUM G.P.M. REQUIREMENTS. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION

PROVIDE DOUBLE LAYER OF 5/8" GYP BOARD AT BOTH SIDES OF FRAMING AT RETURN AIR CHASE IF CHASE IS REQUIRED

A) DOOR SHALL HAVE A MINIMUM CLEAR HEIGHT OF 80 INCHES, MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP
 B) DOOR SHALL BE READILY OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
 C) A SLOPE AT THE EXTERIOR LANDING SHALL NOT EXCEED 2%. CRC R311.3.
 D) LANDING AT THE EGRESS DOOR SHALL NOT BE MORE THAN 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. LANDING SHALL NOT BE MORE THAN 7.75 INCHES LOWER THAN THE TOP OF THE THRESHOLD WHERE DOOR DOES NOT SWING OVER THE LANDING. CRC R311.3.1

LEGEND

- EXISTING WALLS
- WALLS TO BE REMOVED
- NEW WALLS
- FIRE RATED ASSEMBLY

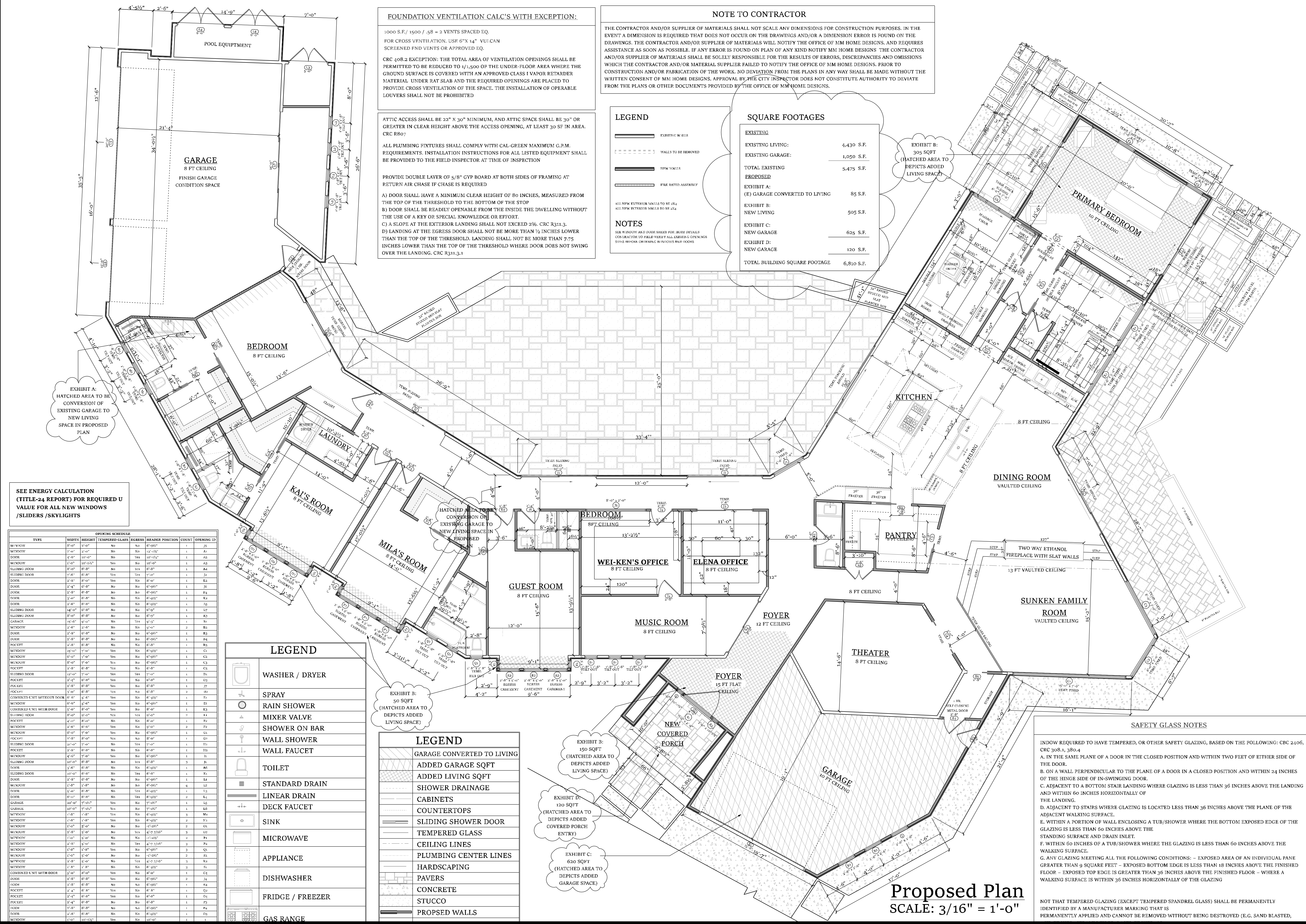
ALL NEW EXTERIOR WALLS TO BE 2x4
 ALL NEW INTERIOR WALLS TO BE 2x4

NOTES

SEE WINDOW AND DOOR SCHEDULE FOR DETAILED INSTALLATION
 CONTRACTOR TO FIELD VERIFY ALL EXISTING OPENINGS
 5/8" X 14" CRIBING WINDOWS AND DOORS

SQUARE FOOTAGES

EXISTING LIVING:	4,430 S.F.
EXISTING GARAGE:	1,050 S.F.
TOTAL EXISTING	5,475 S.F.
PROPOSED	
EXHIBIT A: (E) GARAGE CONVERTED TO LIVING	85 S.F.
EXHIBIT B: NEW LIVING	505 S.F.
EXHIBIT C: NEW GARAGE	625 S.F.
EXHIBIT D: NEW GARAGE	120 S.F.
TOTAL BUILDING SQUARE FOOTAGE	6,810 S.F.



SEE ENERGY CALCULATION (TITLE-24 REPORT) FOR REQUIRED U VALUE FOR ALL NEW WINDOWS /SLIDERS /SKYLIGHTS

TYPE	WIDTH	HEIGHT	TEMPERED-GLASS	GRESS	HEADER POSITION	COUNT	OPENING ID
WIN WINDOW	8'-0"	5'-0"	No	No	6'-0"	1	J5
WINDROW	2'-0"	7'-0"	No	No	10'-10"	1	A1
DOOR	3'-0"	10'-0"	No	No	10'-0"	1	A2
WINDOW	1'-0"	10'-10"	Yes	No	10'-0"	1	A3
SLIDING WINDOW	8'-0"	6'-8"	No	Yes	6'-8"	1	A4
KITCHEN DOOR	2'-4"	6'-8"	Yes	No	7'-0"	1	J2
DOOR	2'-8"	6'-8"	No	No	6'-8"	1	K1
DOOR	2'-4"	6'-8"	No	No	6'-8"	1	J3
DOOR	2'-8"	6'-8"	No	No	6'-8"	1	F4
DOOR	3'-0"	6'-8"	No	No	6'-8"	1	Ka
DOOR	2'-8"	6'-8"	No	No	6'-8"	1	L2
SLIDING DOOR	14'-0"	6'-8"	No	No	6'-8"	1	L3
SLIDING DOOR	8'-0"	6'-8"	No	No	6'-8"	1	K3
GARAGE	16'-6"	8'-0"	No	Yes	8'-10"	1	B1
WINDROW	2'-4"	2'-0"	No	No	6'-8"	2	Ba
DOOR	2'-8"	6'-8"	No	No	6'-8"	1	B3
DOOR	2'-8"	6'-8"	No	No	6'-8"	1	B4
POCKET	2'-8"	6'-8"	No	No	6'-8"	1	B5
WINDROW	15'-0"	7'-0"	Yes	No	6'-8"	1	C1
WINDROW	15'-0"	7'-0"	Yes	No	6'-8"	1	C2
WINDROW	8'-0"	7'-0"	Yes	No	6'-8"	1	C3
POCKET	2'-8"	6'-8"	Yes	No	6'-8"	1	C5
SLIDING DOOR	12'-0"	7'-0"	Yes	Yes	7'-0"	1	B1
POCKET	2'-8"	6'-8"	Yes	No	6'-8"	1	G3
POCKET	2'-8"	6'-8"	Yes	No	6'-8"	2	H2
COMBINED EXIT W/DOOR DOOR	6'-6"	5'-6"	Yes	No	6'-8"	1	B1
WINDROW	8'-6"	5'-6"	Yes	No	6'-8"	1	B3
COMBINED EXIT W/DOOR DOOR	10'-0"	6'-8"	Yes	No	6'-8"	1	K3
SLIDING DOOR	8'-0"	6'-8"	Yes	No	6'-8"	2	F1
POCKET	4'-0"	8'-0"	No	No	8'-0"	1	F2
WINDROW	2'-6"	6'-6"	Yes	No	6'-8"	2	F3
WINDROW	6'-0"	7'-0"	Yes	No	6'-8"	1	G1
POCKET	2'-8"	6'-8"	Yes	No	6'-8"	1	G2
SLIDING DOOR	21'-0"	7'-0"	No	Yes	7'-0"	1	H1
POCKET	2'-8"	6'-8"	No	No	6'-8"	1	H2
WINDROW	4'-0"	7'-0"	Yes	No	6'-8"	1	H3
SLIDING DOOR	10'-0"	6'-8"	No	No	6'-8"	3	H4
DOOR	3'-6"	6'-8"	No	No	6'-8"	1	A6
DOOR	2'-8"	6'-8"	No	No	6'-8"	1	L4
WINDROW	3'-6"	2'-0"	No	No	6'-8"	4	L2
DOOR	3'-0"	6'-8"	No	No	6'-8"	1	L3
DOOR	6'-0"	6'-8"	No	Yes	6'-8"	2	L1
GARAGE	20'-0"	7'-10"	Yes	No	7'-10"	1	L6
GARAGE	10'-0"	7'-10"	Yes	No	7'-10"	1	L7
WINDROW	1'-0"	1'-0"	Yes	No	6'-8"	3	M4
WINDROW	1'-0"	1'-0"	Yes	No	6'-8"	2	F1
WINDROW	1'-0"	5'-0"	No	No	4'-5-3/8"	2	O1
WINDROW	2'-8"	5'-0"	No	Yes	4'-7-7/8"	3	O2
WINDROW	1'-0"	5'-0"	No	No	4'-7-7/8"	2	F1
WINDROW	2'-8"	5'-0"	No	Yes	4'-7-7/8"	3	F2
WINDROW	1'-8"	1'-8"	Yes	No	6'-8"	3	Q1
WINDROW	1'-0"	5'-0"	No	No	4'-5-3/8"	2	R1
WINDROW	2'-8"	5'-0"	No	Yes	4'-7-7/8"	3	R2
WINDROW	1'-0"	1'-0"	Yes	No	6'-8"	3	S1
COMBINED EXIT W/DOOR DOOR	2'-0"	6'-8"	Yes	No	6'-8"	1	C1
DOOR	2'-8"	6'-8"	No	No	6'-8"	1	H4
POCKET	2'-8"	6'-8"	Yes	No	6'-8"	1	Q2
POCKET	2'-4"	6'-8"	Yes	No	6'-8"	1	O1
POCKET	2'-4"	6'-8"	No	No	6'-8"	1	F3
DOOR	2'-8"	6'-8"	No	No	6'-8"	1	P1
DOOR	2'-8"	6'-8"	No	No	6'-8"	1	O5
WINDROW	1'-0"	10'-10"	Yes	No	10'-0"	1	

LEGEND

- WASHER / DRYER
- SPRAY
- RAIN SHOWER
- MIXER VALVE
- SHOWER ON BAR
- WALL SHOWER
- WALL FAUCET
- TOILET
- STANDARD DRAIN
- LINEAR DRAIN
- DECK FAUCET
- SINK
- MICROWAVE
- APPLIANCE
- DISHWASHER
- FRIDGE / FREEZER
- GAS RANGE

LEGEND

- GARAGE CONVERTED TO LIVING
- ADDED GARAGE SQFT
- ADDED LIVING SQFT
- SHOWER DRAINAGE
- CABINETS
- COUNTERTOPS
- SLIDING SHOWER DOOR
- TEMPERED GLASS
- CEILING LINES
- PLUMBING CENTER LINES
- HARDSCAPING
- PAVERS
- CONCRETE
- STUCCO
- PROPOSED WALLS

SAFETY GLASS NOTES

WINDOW REQUIRED TO HAVE TEMPERED, OR OTHER SAFETY GLAZING, BASED ON THE FOLLOWING: CRC 2406, CRC 308.1, 380.4

A. IN THE SAME PLANE OF A DOOR IN THE CLOSED POSITION AND WITHIN TWO FEET OF EITHER SIDE OF THE DOOR.

B. ON A WALL PERPENDICULAR TO THE PLANE OF A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF IN-SWINGING DOOR.

C. ADJACENT TO A BOTTOM STAIR LANDING WHERE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE LANDING.

D. ADJACENT TO STAIRS WHERE GLAZING IS LOCATED LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.

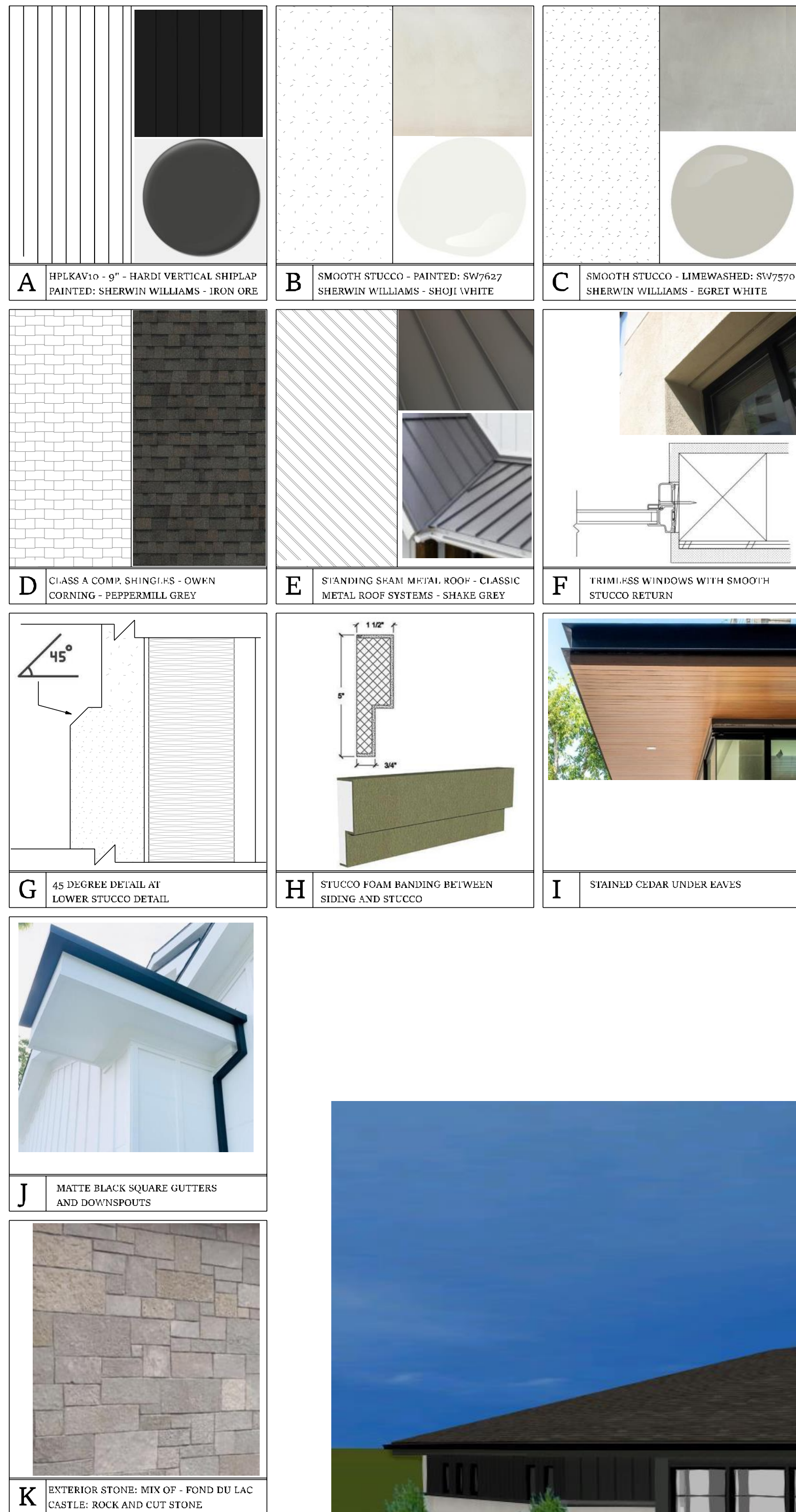
E. WITHIN A PORTION OF WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.

F. WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

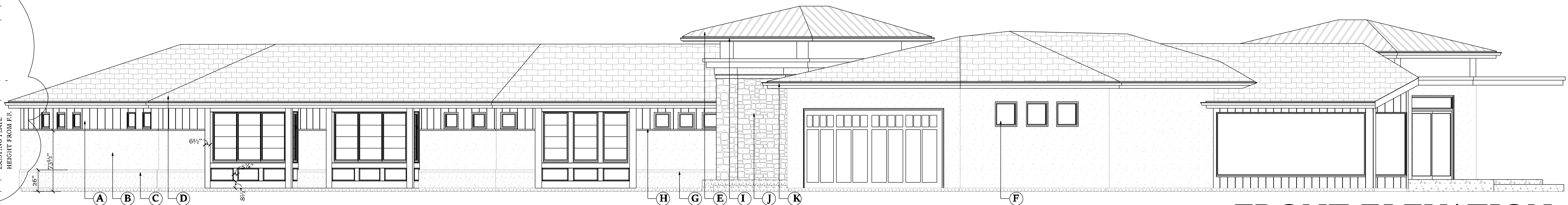
G. ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS: - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET - EXPOSED BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR - EXPOSED TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FINISHED FLOOR - WHERE A WALKING SURFACE IS WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING

NOT THAT TEMPERED GLAZING (EXCEPT TEMPERED SPANDREL GLASS) SHALL BE PERMANENTLY IDENTIFIED BY A MANUFACTURER MARKING THAT IS PERMANENTLY APPLIED AND CANNOT BE REMOVED WITHOUT BEING DESTROYED (E.G. SAND BLASTED,

Proposed Plan
 SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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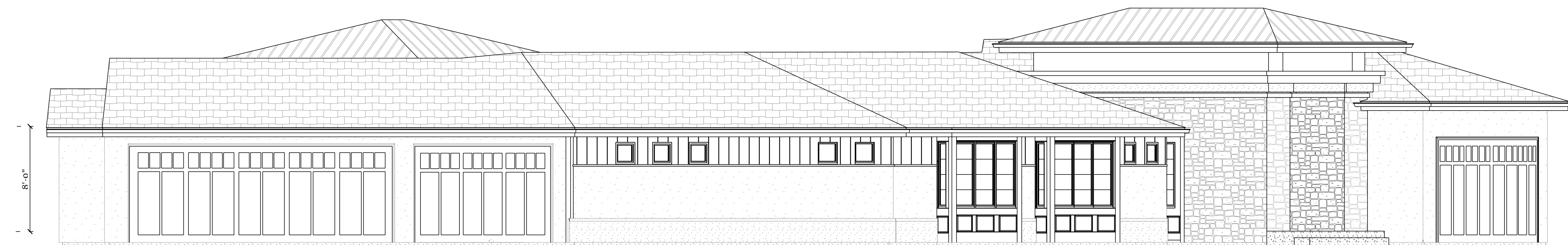
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PROPOSED EXTERIOR ELEVATIONS



REAR ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

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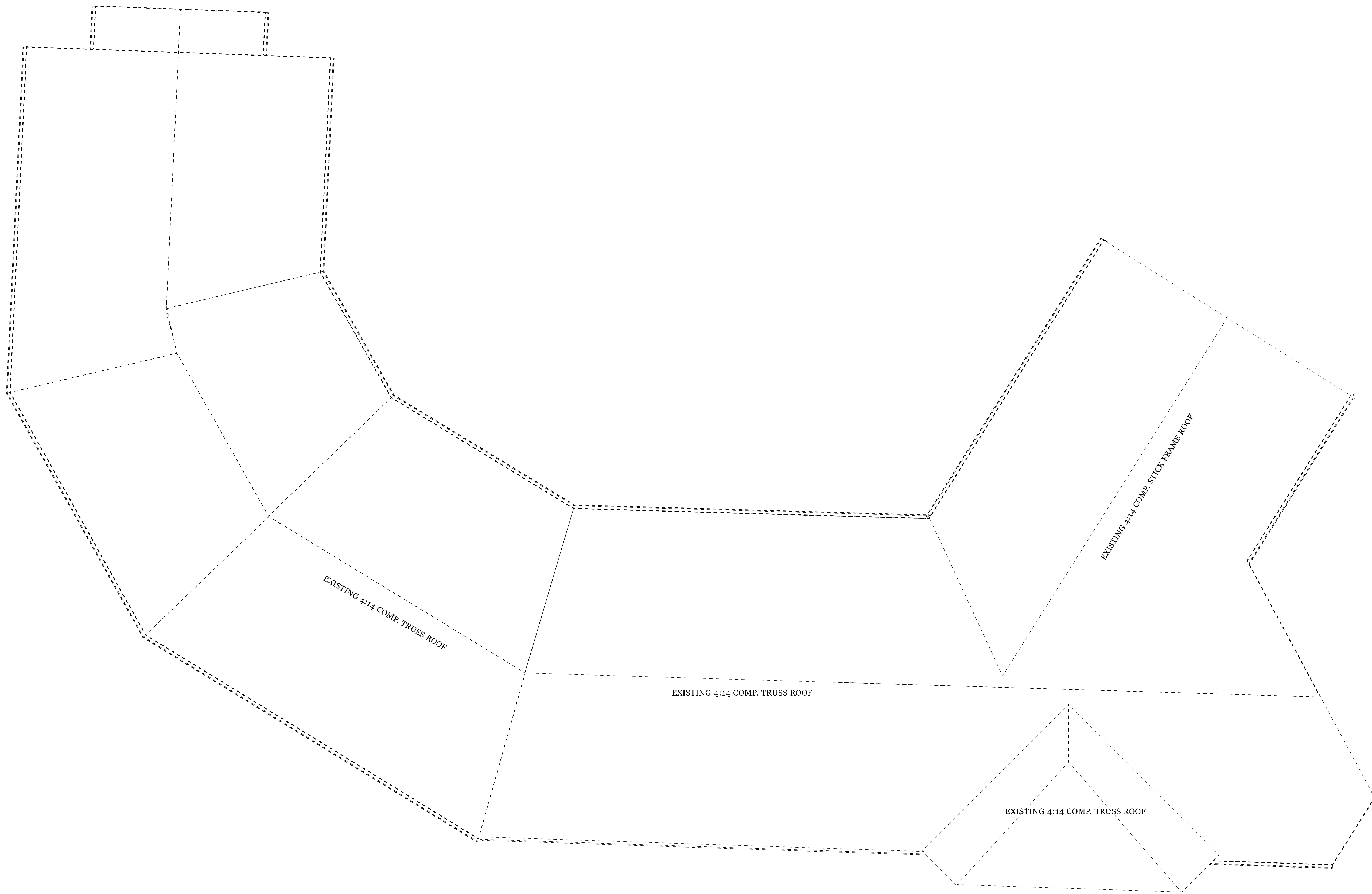
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EXISTING TOP ELEVATION
 SCALE: 3/16" = 1'-0"

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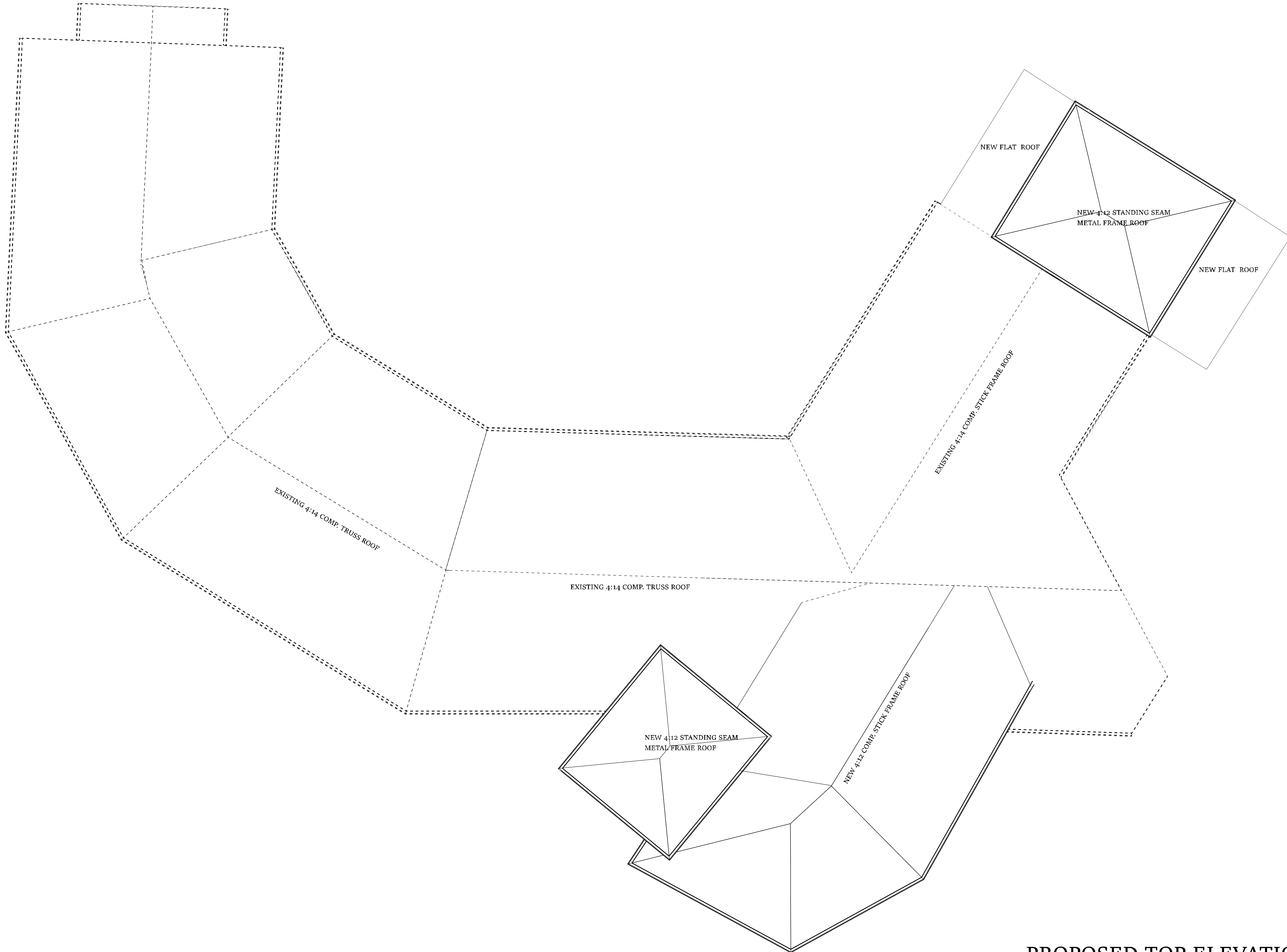
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PROPOSED TOP ELEVATION
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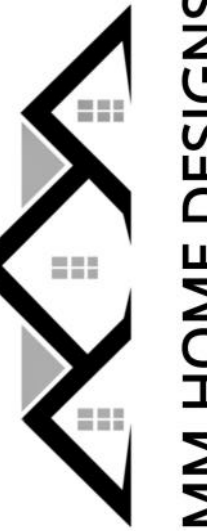
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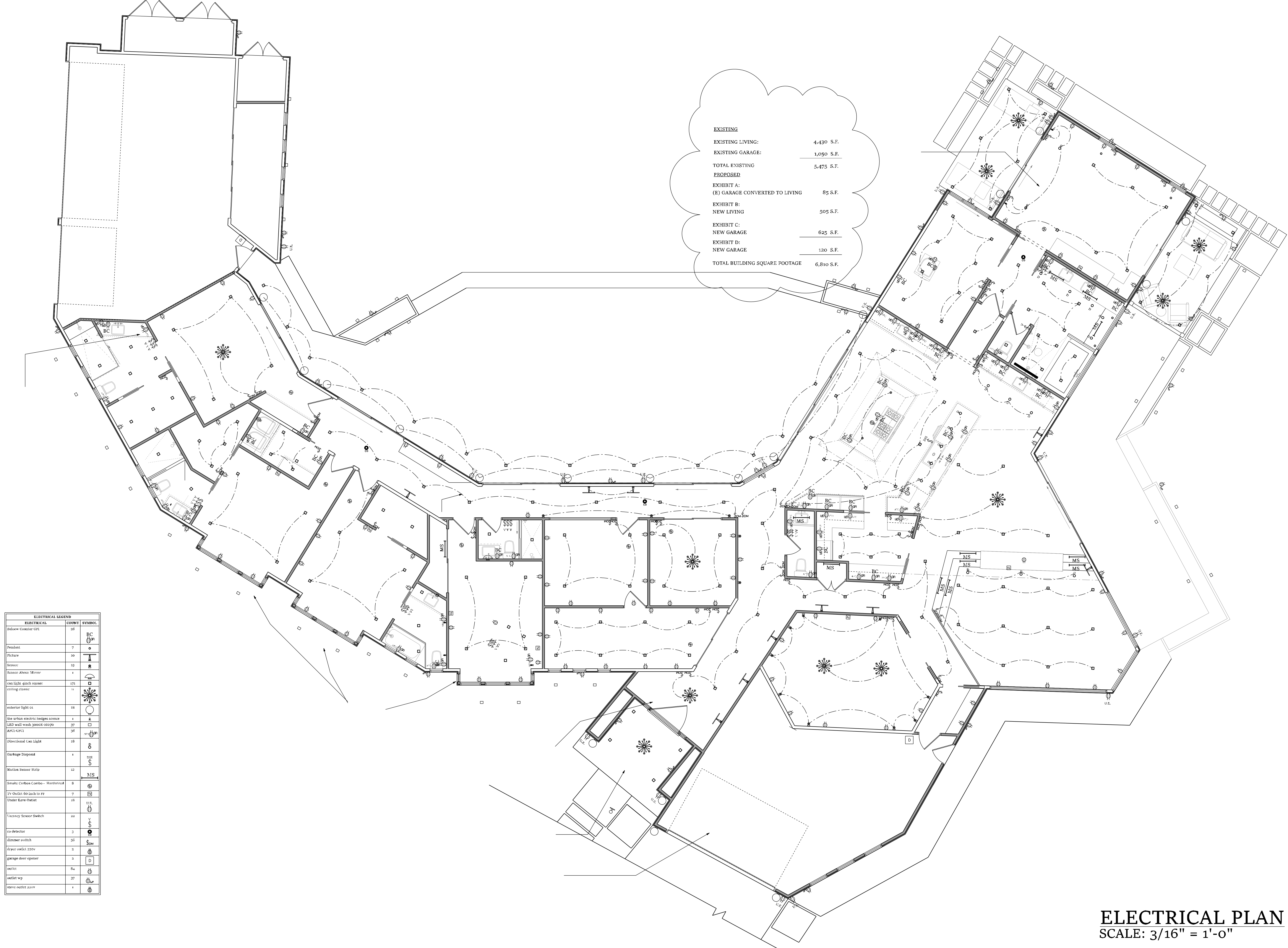
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ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
Follow Conduit EMT	36	BC
Recessed	7	○
Picture	10	□
Switch	19	⊞
Source Above Mirror	4	⊞
can light glass square ceiling classic	121	□
exterior light oval	18	○
line urban electric bridge source	1	⊞
LED wall wash 3000K-30070	37	□
APC-4013	36	⊞
Directional Cas Light	18	⊞
Garbage Disposal	4	⊞
Motion Sensor Strip	12	MS
Smoke Carbon Combo - Hardwired	8	⊞
TV Outlet 60 inch to 88	7	⊞
Under Base Outlet	18	⊞
Vacancy Sensor Switch	24	⊞
co detector	3	⊞
dimmer switch	50	⊞
dryer outlet 220v	3	⊞
garage door opener	3	⊞
outlet	84	⊞
walllet wp	37	⊞
wemo outlet 240v	4	⊞

EXISTING	
EXISTING LIVING:	4,430 S.F.
EXISTING GARAGE:	1,050 S.F.
TOTAL EXISTING	5,475 S.F.
PROPOSED	
EXHIBIT A: (E) GARAGE CONVERTED TO LIVING	85 S.F.
EXHIBIT B: NEW LIVING	505 S.F.
EXHIBIT C: NEW GARAGE	625 S.F.
EXHIBIT D: NEW GARAGE	120 S.F.
TOTAL BUILDING SQUARE FOOTAGE	6,810 S.F.

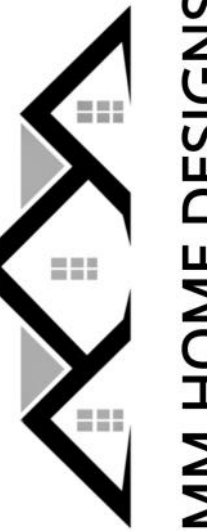


ELECTRICAL PLAN
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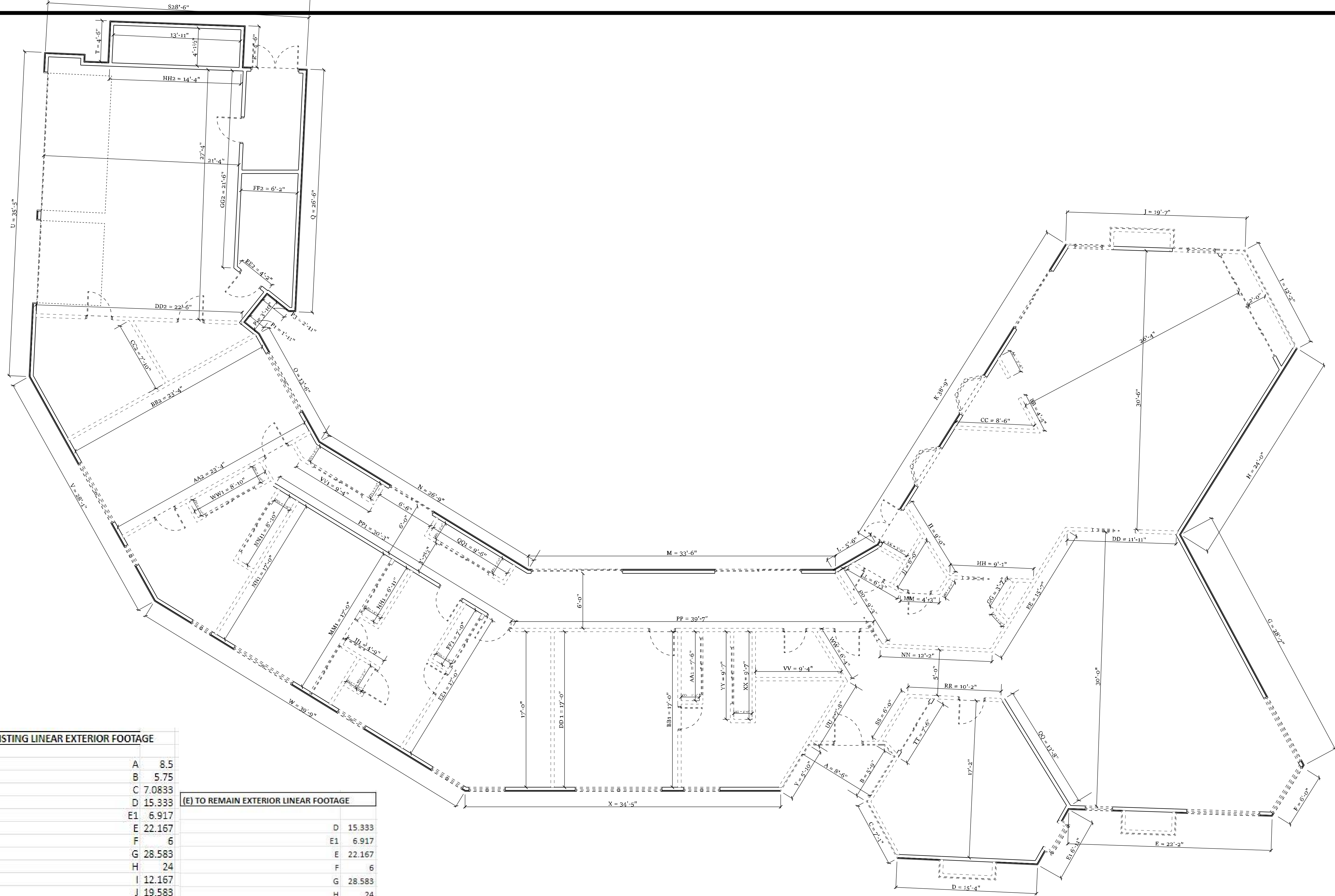
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EXISTING LINEAR FOOTAGES



EXISTING LINEAR INTERIOR FOOTAGE

AA	2.5
BB	4.417
CC	8.5
DD	11.917
EE	15.982
FF	1.75
GG	3.583
HH	9.0833
II	9
JJ	6
KK	3
LL	6.25
MM	4.25
NN	12.167
OO	9.25
PP	39.583
QQ	13.667
RR	10.167
SS	6
TT	7.6
UU	7.667
VV	9.333
WW	6.3333
XX	9.583
YY	9.333
ZZ	2
AA1	7.5
BB1	17
CC1	2
DD1	17
EE1	17
FF1	7
GG1	2
HH1	6.917
II1	2
JJ1	4.75
KK1	3
LL1	2
MM1	17
NN1	17
NN11	8.833
OO1	2
PP1	30.25
QQ1	9.5
RR1	2
SS1	2
TT1	2
UU1	2
VV1	9.333
WW1	8.833
XX1	2
ZZ1	2
AA2	23.33
BB2	23.33
CC2	7.8333
DD2	22.5
EE2	4.167
FF2	6.167
GG2	21.5
HH2	14.33
TOTAL	555

EXISTING LINEAR EXTERIOR FOOTAGE

A	8.5
B	5.75
C	7.0833
D	15.333
E1	6.917
E	22.167
F	6
G	28.583
H	24
I	12.167
J	19.583
K	38.75
L	5.5
M	33.5
N	26.75
O	13.5
P1	1.917
P	3.833
P2	2.917
Q	26.5
R	4.5
S	28.75
T	4.5
U	35.417
V	28.083
W	39.75
X	34.417
Y	5.833
TOTAL	491

(E) TO REMAIN EXTERIOR LINEAR FOOTAGE

D	15.333
E1	6.917
E	22.167
F	6
G	28.583
H	24
K	38.75
L	5.5
M	33.5
N	26.75
O	13.5
P1	1.917
P	3.833
P2	2.917
Q	26.5
R	4.5
S	28.75
T	4.5
U	35.417
V	28.083
W	39.75
X	34.417
TOTAL	432

(E) TO REMAIN INTERIOR LINEAR FOOTAGE

QQ	13.667
PP1	30.25
EE2	4.167
FF2	6.167
GG2	21.5
HH2	14.33
TOTAL	91

LINEAR FOOTAGES
SCALE: 3/16" = 1'-0"

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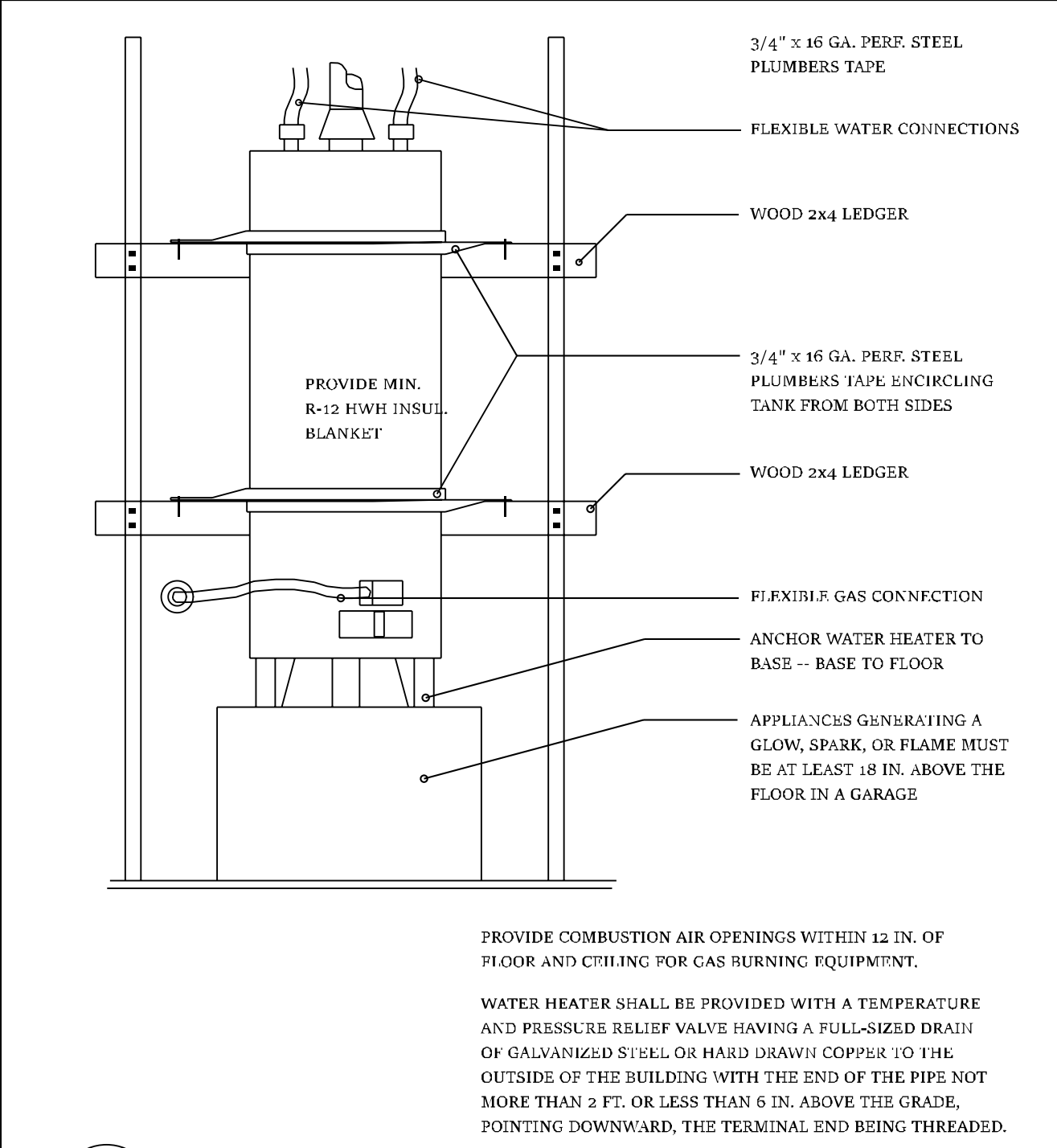
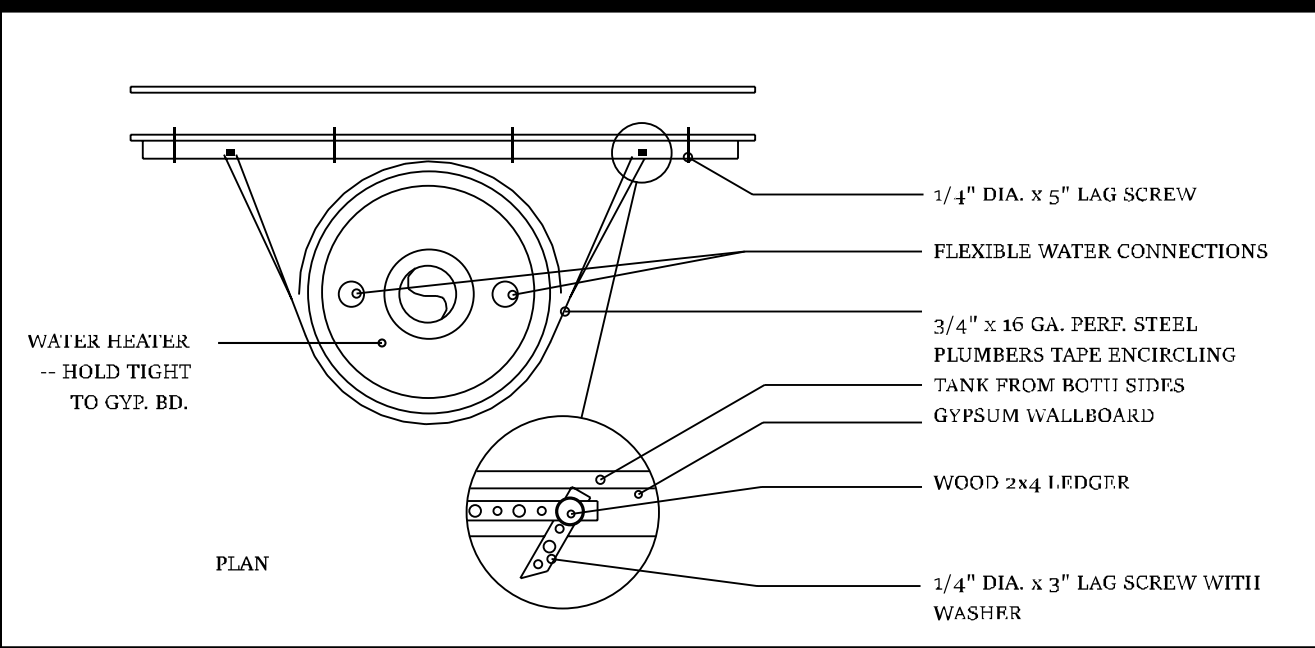
NEW INTERIOR LINEAR FOOTAGE

AA4	21.5
BB4	13
CC4	5.583
DD4	15.083
EE4	2
FF4	3.833
GG4	8.5
HH4	17.417
II4	8.5
JJ4	8.5
KK4	10.333
LL4	23.833
NN4	7.75
MM4	11
OO4	11
PP4	38.333
QQ4	5
RR4	8.167
SS4	19.083
TT4	4.333
UU4	6.0833
VV4	10.5
WW4	5
YY4	17
XX4	11.75
ZZ4	5
AA5	10.167
BB5	11.75
CC5	3.417
DD5	5.917
EE5	9.583
FF5	9.583
GG5	2.5
HH5	8.25
II5	13.5
JJ5	15
KK5	8.833
LL5	1.667
MM5	6
TOTAL	404

NEW EXTERIOR LINEAR FOOTAGE

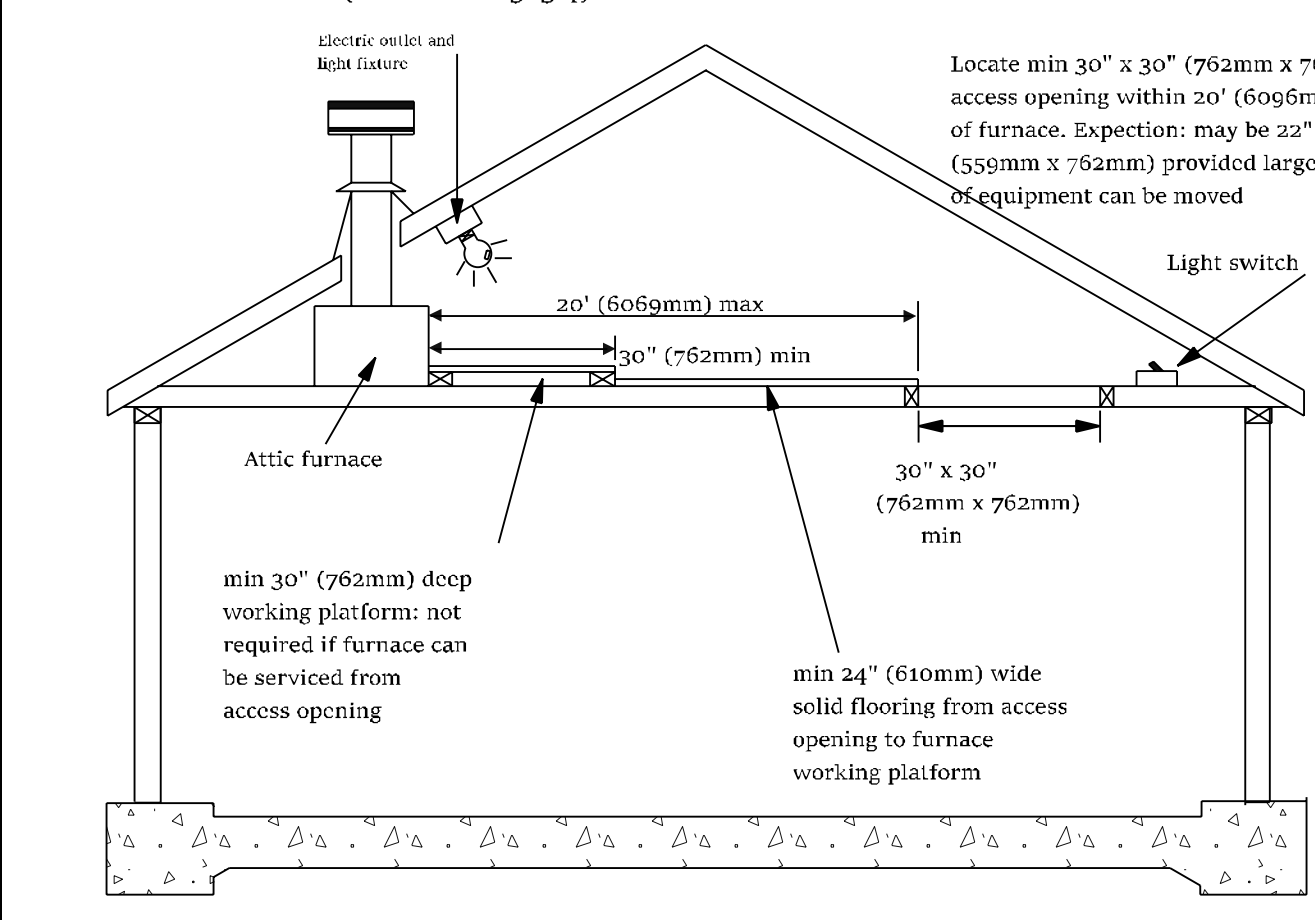
AA3	19.583
BB3	17
CC3	21.333
DD3	16.083
EE3	20.583
FF3	16.083
GG3	6.833
HH3	9.667
II3	9.667
JJ3	9.667
KK3	9.917
LL3	2
MM3	7.25
NN3	9.833
OO3	7.25
PP3	2
TOTAL	185

PROPOSED PLAN LINEAR FOOTAGES
SCALE: 3/16" = 1'-0"

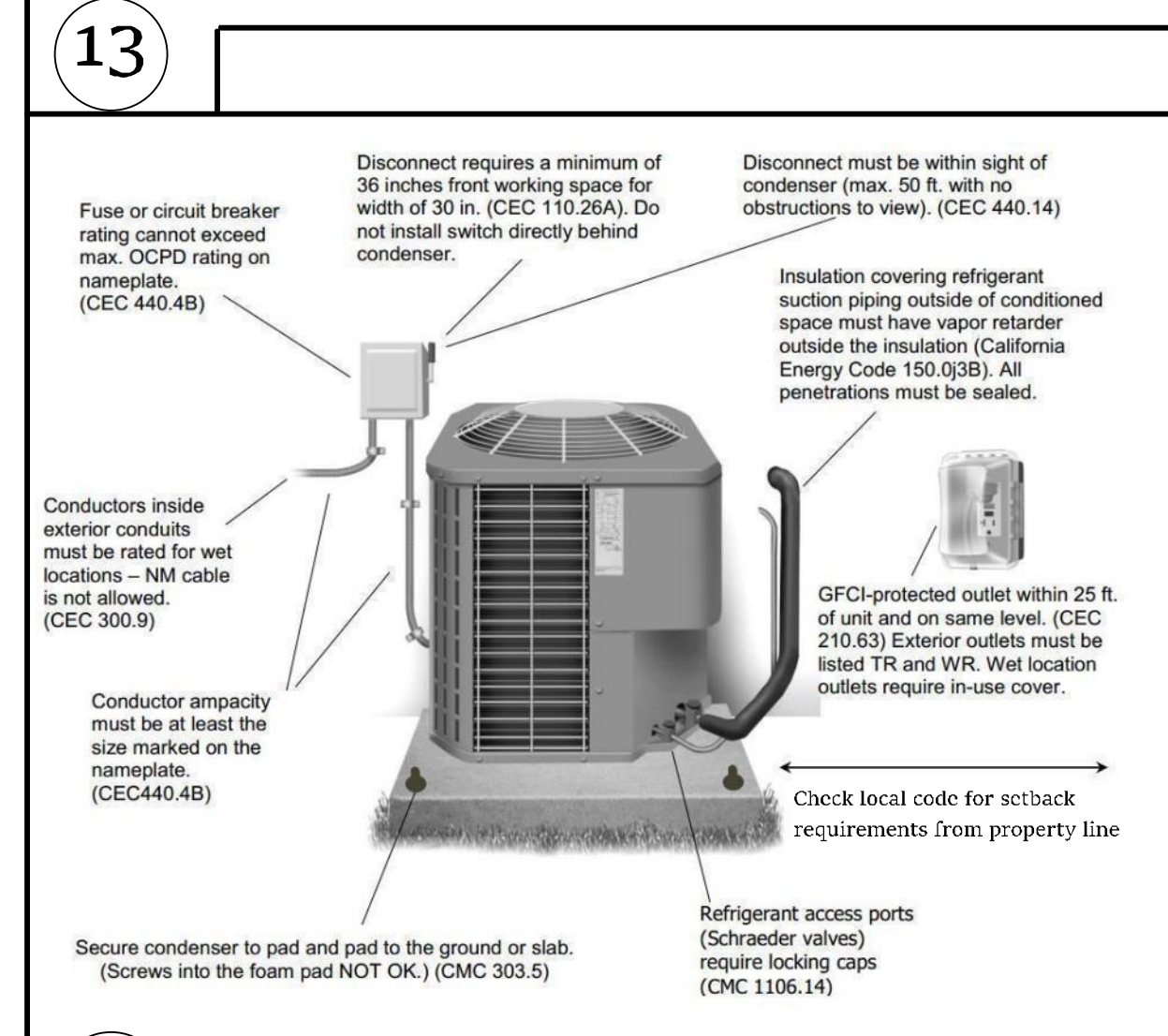
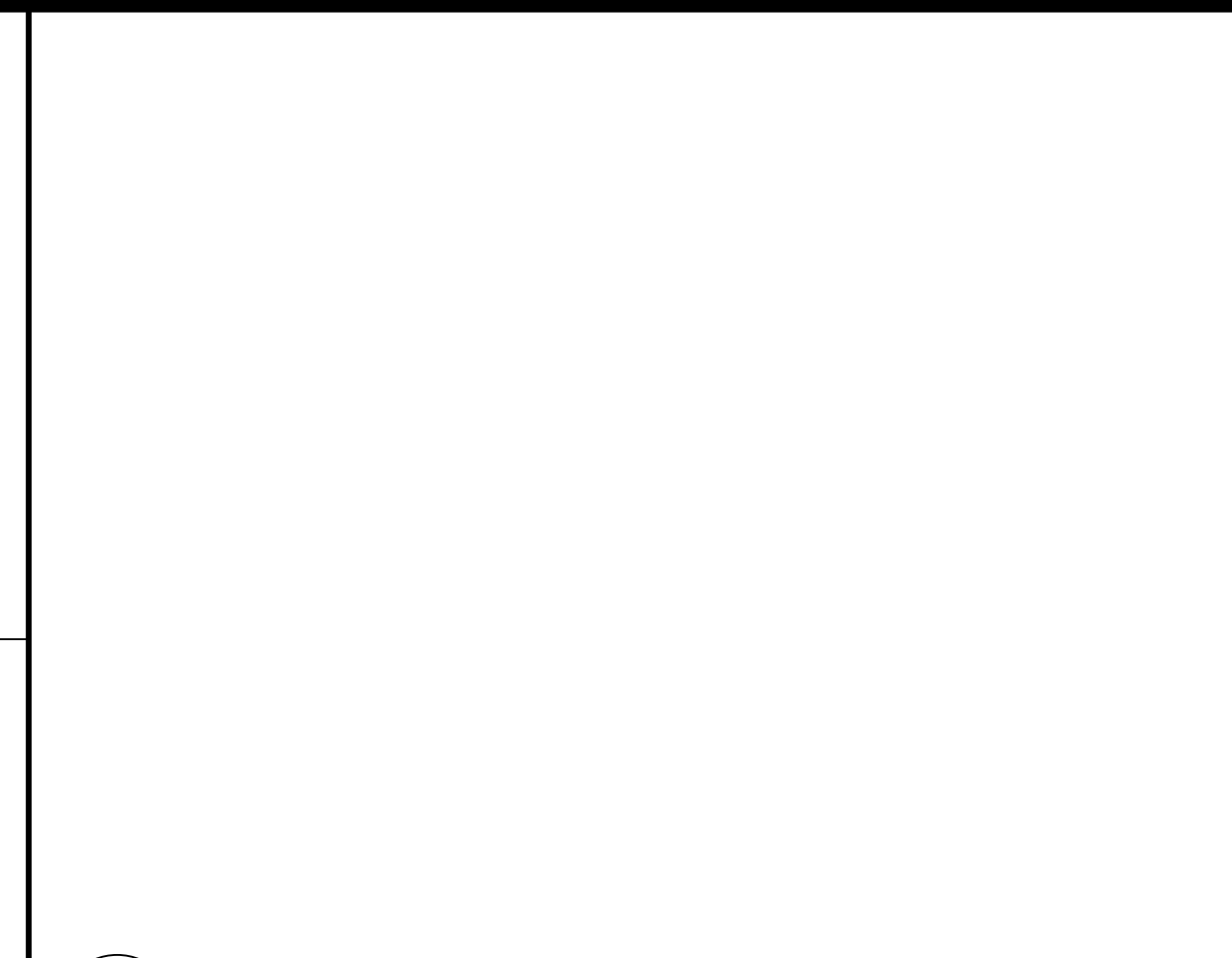


14 WATER HEATER SUPPORT & STRAPS

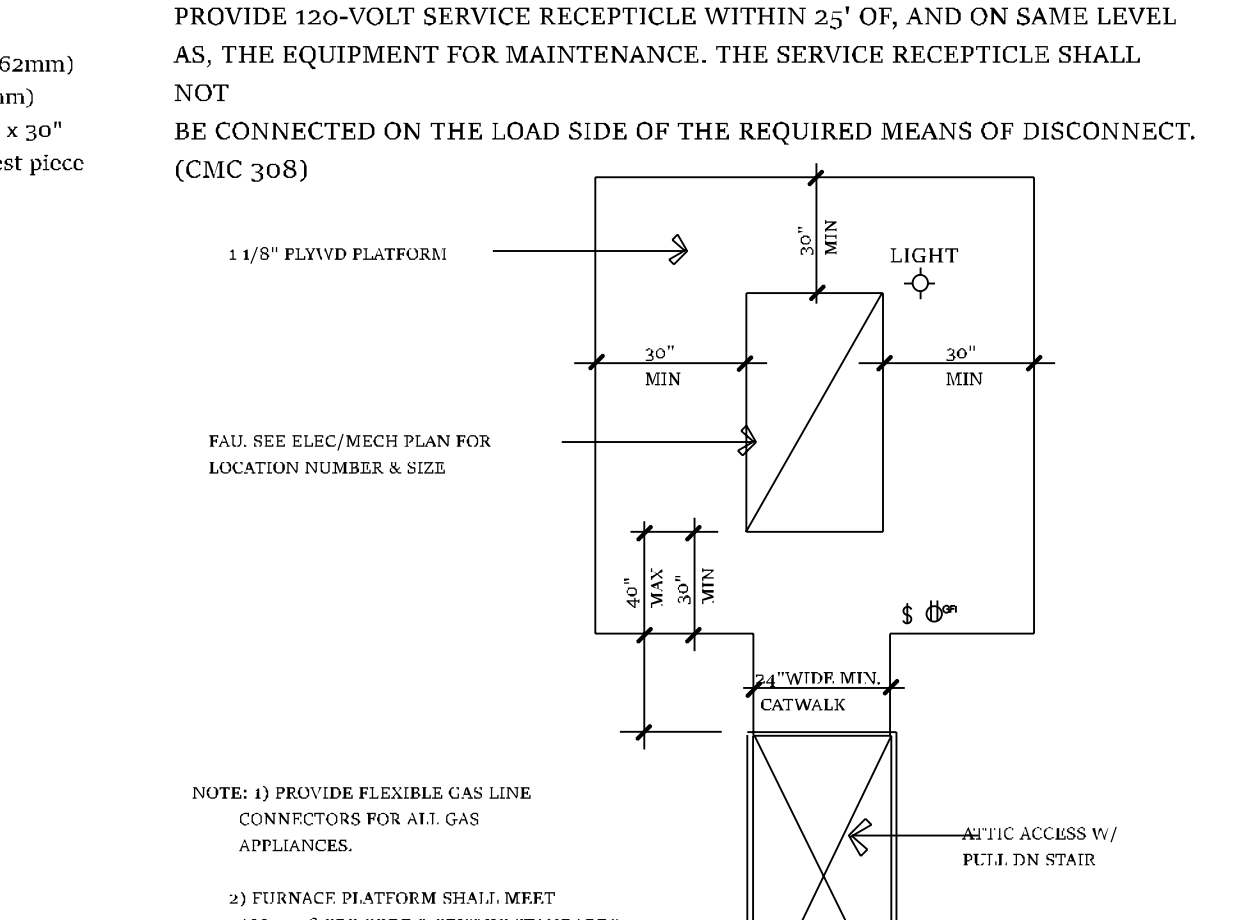
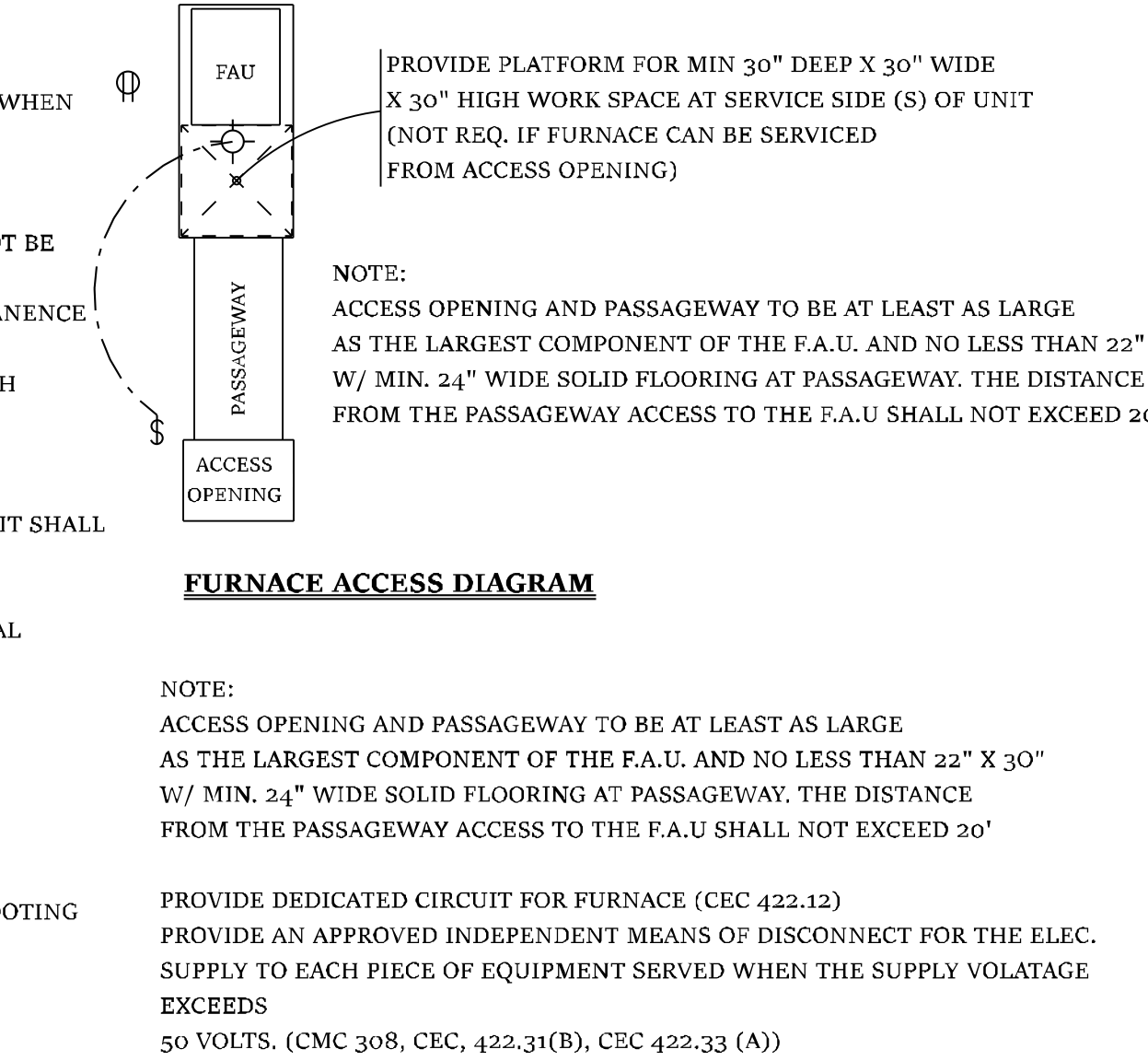
FURNACE:
 AN APPROVED, INDEPENDANT MEANS OF DISCONNECT FOR THE ELECTRICAL SUPPLY TO EA. PIECE OF EQUIPMENT SHALL BE PROVIDED WITHIN SIGHT OF THE EQUIPMENT SERVED WHEN THE SUPPLY VOLTAGE EXCEEDS 50 VOLTS. (CMC 308, CEC 422.31(B), CEC 422.33(A)) A DEDICATED CIRCUIT SHALL BE PROVIDED FOR THE FURNACE. (CEC 422.12) A 120 VOLT SERVICE RECEPTACLE SHALL BE LOCATED WITHIN 25 FEET OF, AND ON THE SAME LEVEL AS, THE EQUIPMENT FOR MAINTENANCE. THE SERVICE RECEPTACLE SHALL NOT BE CONNECTED ON THE LOAD SIDE OF THE REQUIRED MEANS OF DISCONNECT. (CMC 308) A PERMANENT SWITCH CONTROLLED LIGHTING FIXTURE SHALL BE INSTALLED FOR MAINTENANCE OF EQUIPMENT AND SHALL BE ACCESSIBLE. SUCH FIXTURE SHALL PROVIDE SUFFICIENT ILLUMINATION TO SAFELY APPROACH THE EQUIPMENT AND PERFORM THE TASKS FOR WHICH THE ACCESS IS PROVIDED. CONTROL OF THE LIGHTING SHALL BE PROVIDE AT THE ACCESS ENTRANCE. (CMC 904.11.5, CEC 210.70) COMBUSTION AIR MUST BE MAINTAINED (CMC CHAPTER 7) THE CLEAR SPACE AND DISTANCE TO COMBUSTIBLE MATERIALS AROUND THE FURNACE UNIT SHALL COMPLY WITH THE MANUF. INSTALLATION INSTRUCTIONS. (CMC 904.2) A SEDIMENT TRAP SHALL BE INSTALLED ON THE GAS LINE DOWNSTREAM OF THE APPLIANCE SHUT-OFF VALVE AND AS CLOSE TO THE INLET OF THE EQUIPMENT AS PRACTICAL. (CPC 1212.7) APPLIANCES GENERATING A GLOW, SPARK, OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS MAY BE INSTALLED IN A GARAGE PROVIDED THE PILOTS, BURNERS OR HEATING ELEMENTS AND SWITCHES ARE A MIN. OF 18" ABOVE THE FLOOR LEVEL. (CMC 307.1) EXCEPTION: SEALED COMBUSTION SYSTEM APPLIANCES MAY BE INSTALLED AT FLOOR LEVEL WHEN LOCATED IN A GARAGE AND SUBJECT TO VEHICULAR DAMAGE, ADEQUATE BARRIERS MUST BE INSTALLED (E.G. 4" DIAM. STEEL PIPE FILLED WITH CONCRETE INSTALLED IN A FOOTING MEASUREING 12" RND. AND 3" DEEP). (CPC AND CMC 307.1) THE FURNACE SHALL BE PROPERLY ANCHORED AND SUPPORTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS WITHIN THE STRESS LIMITATIONS SPECIFIED IN THE CALIFORNIA BUILDING CODE (CPC & CMC. 303.4)



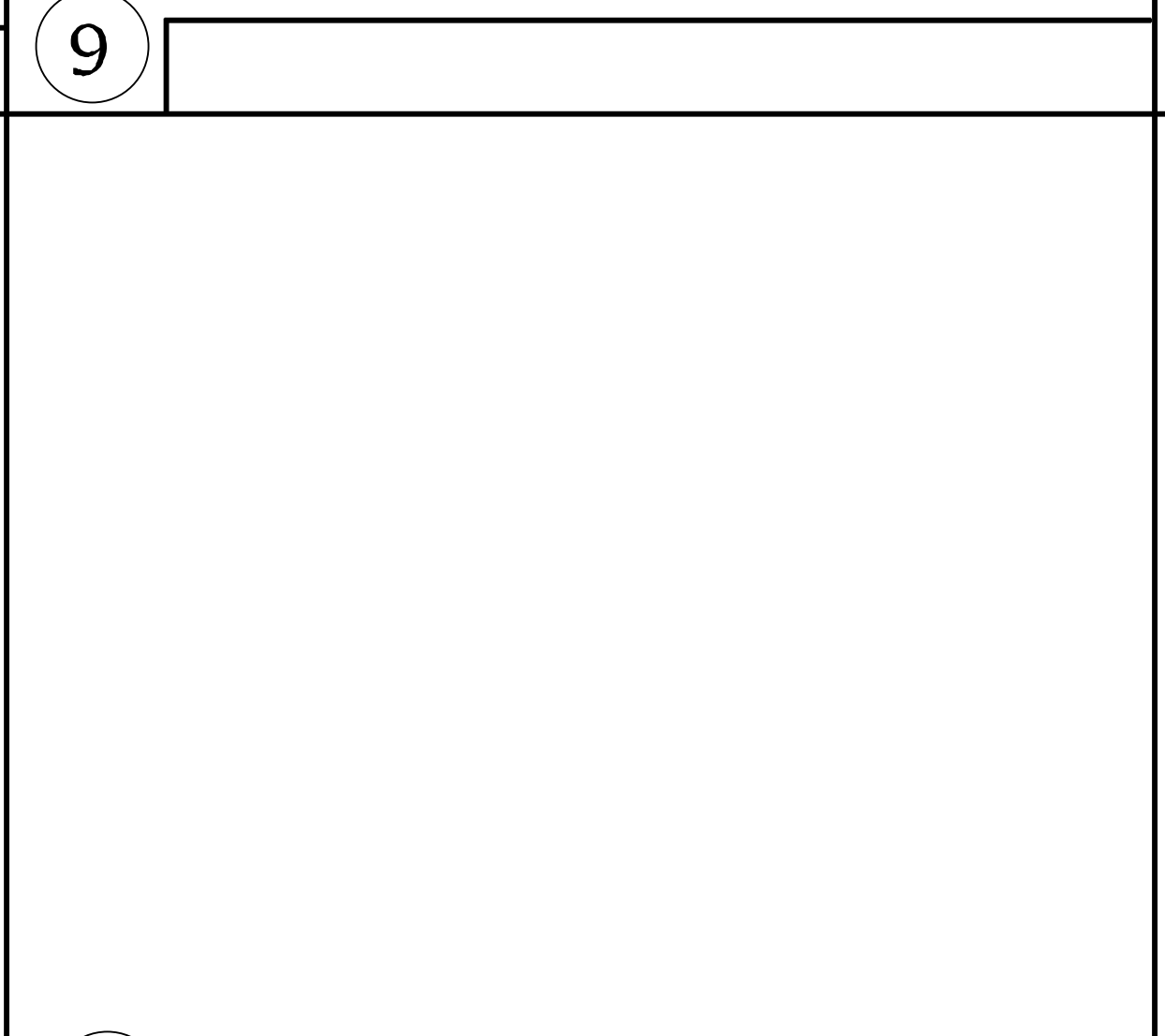
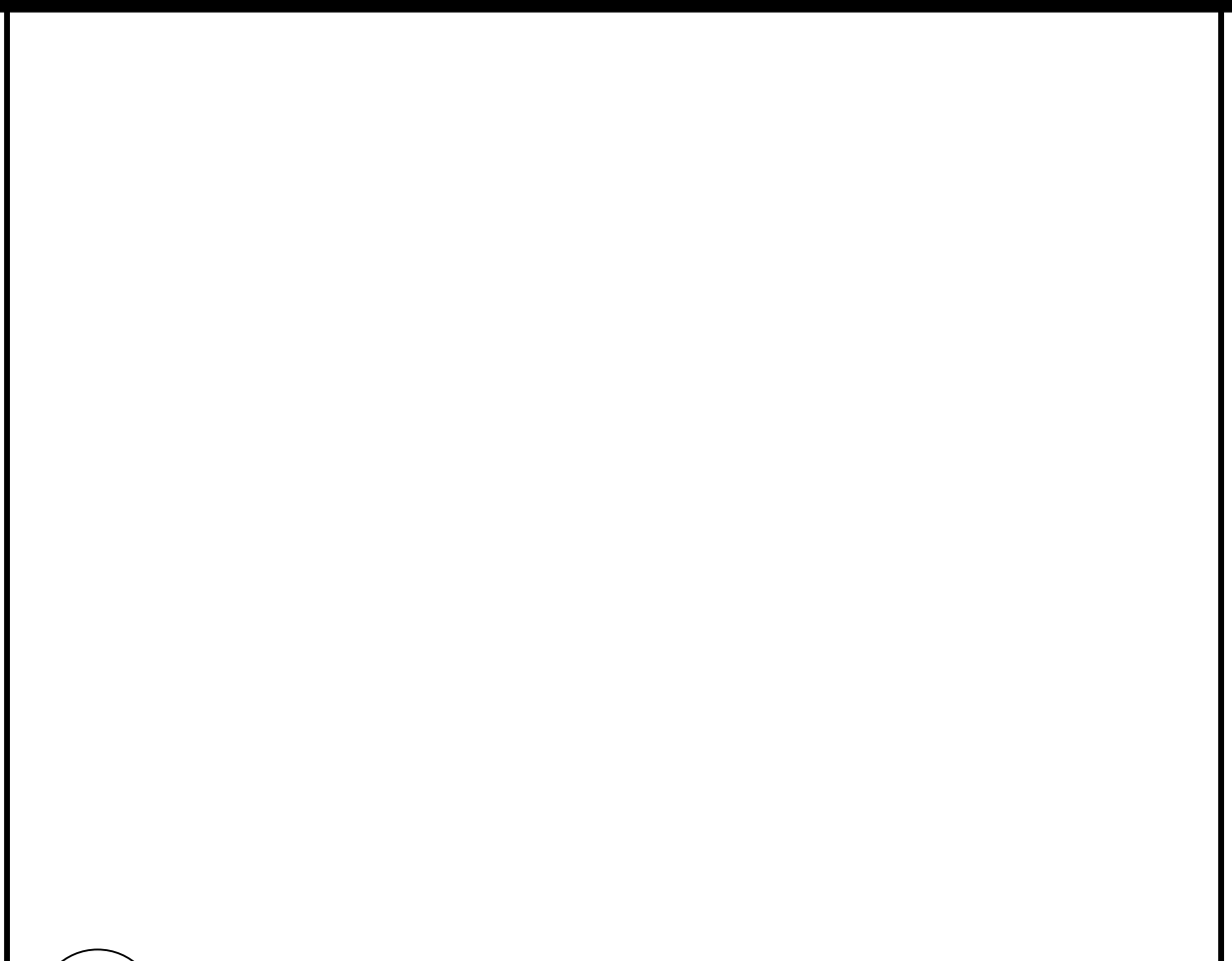
16 ATTIC FURNACE



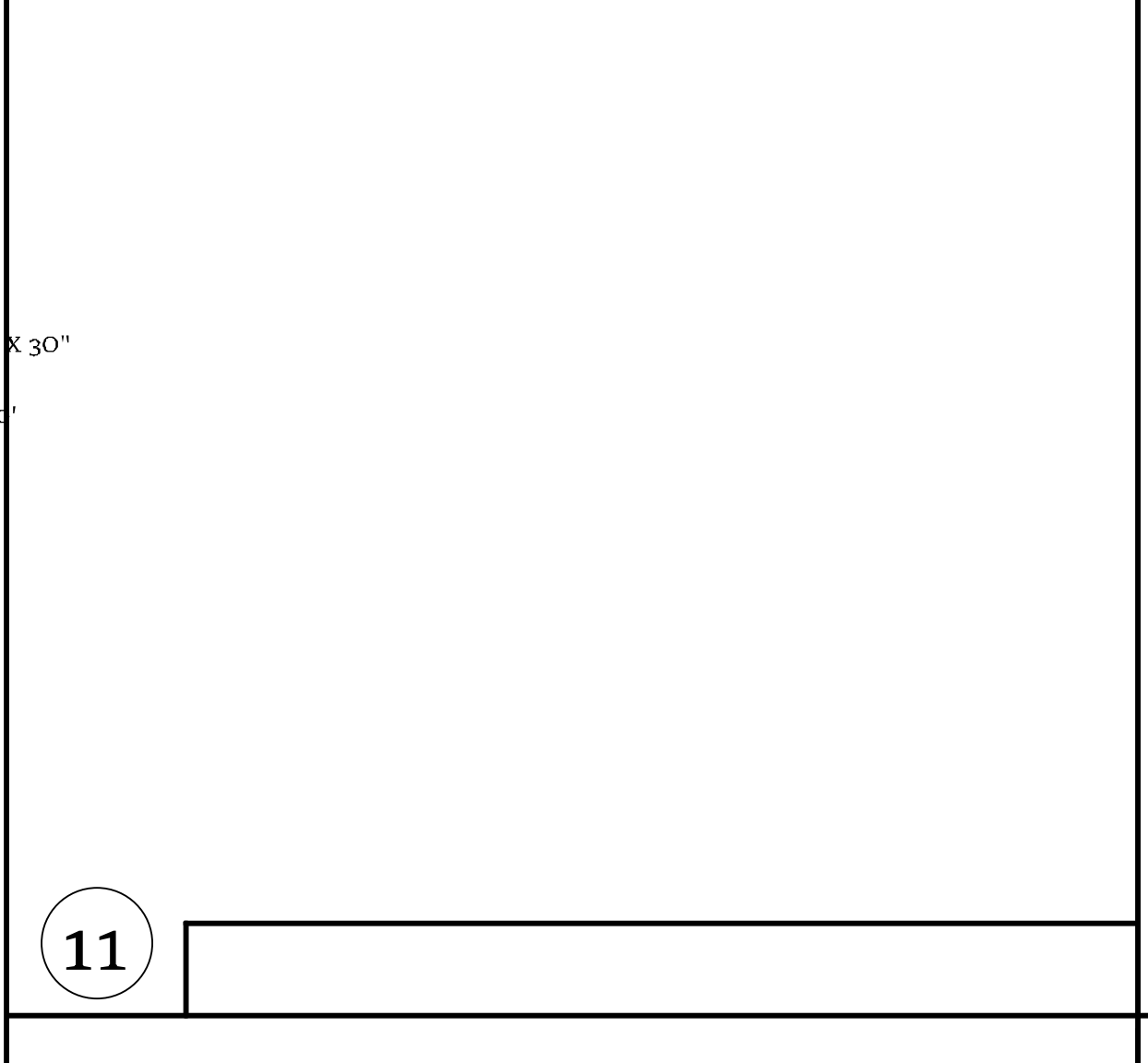
15 AIR CONDITIONING



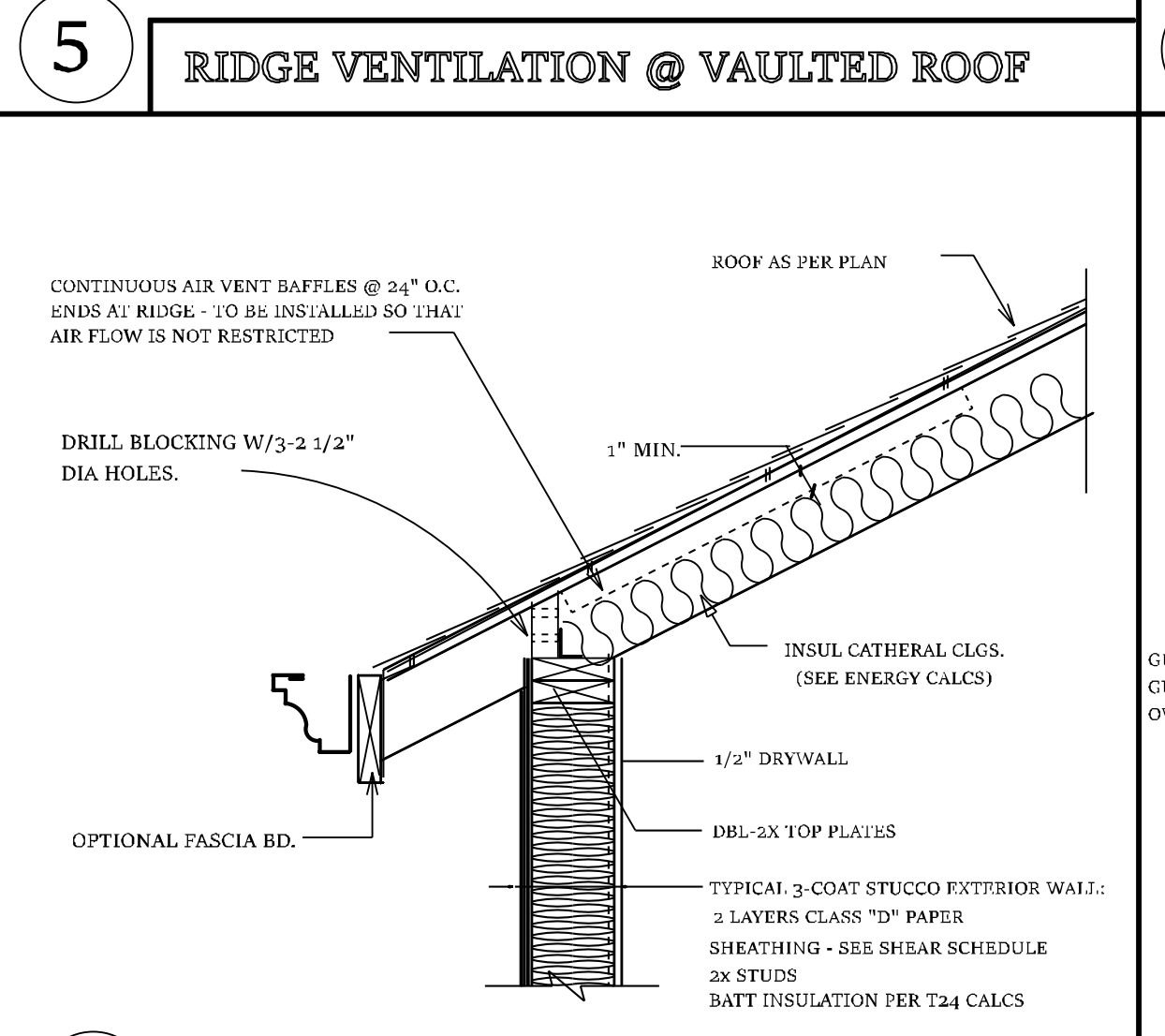
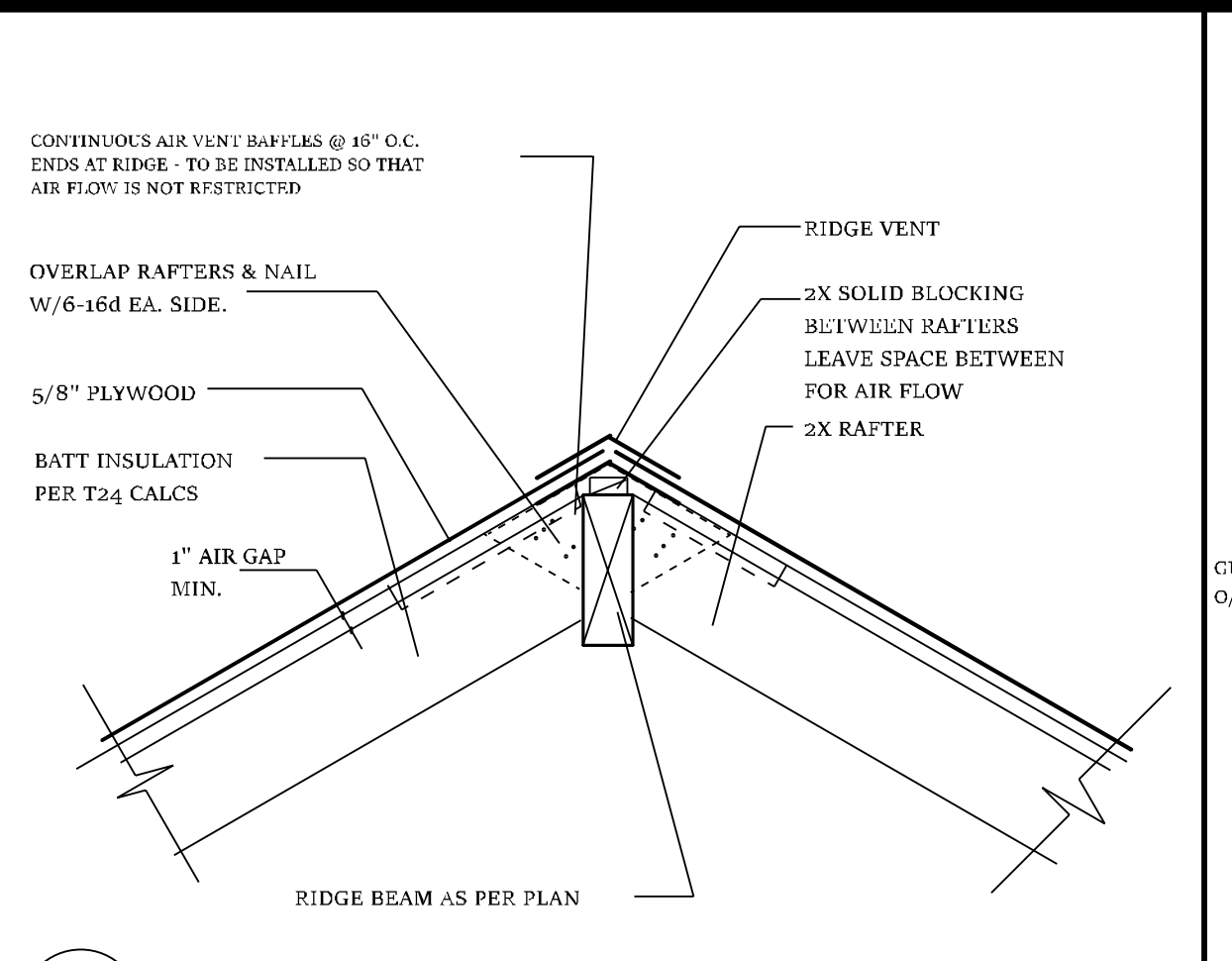
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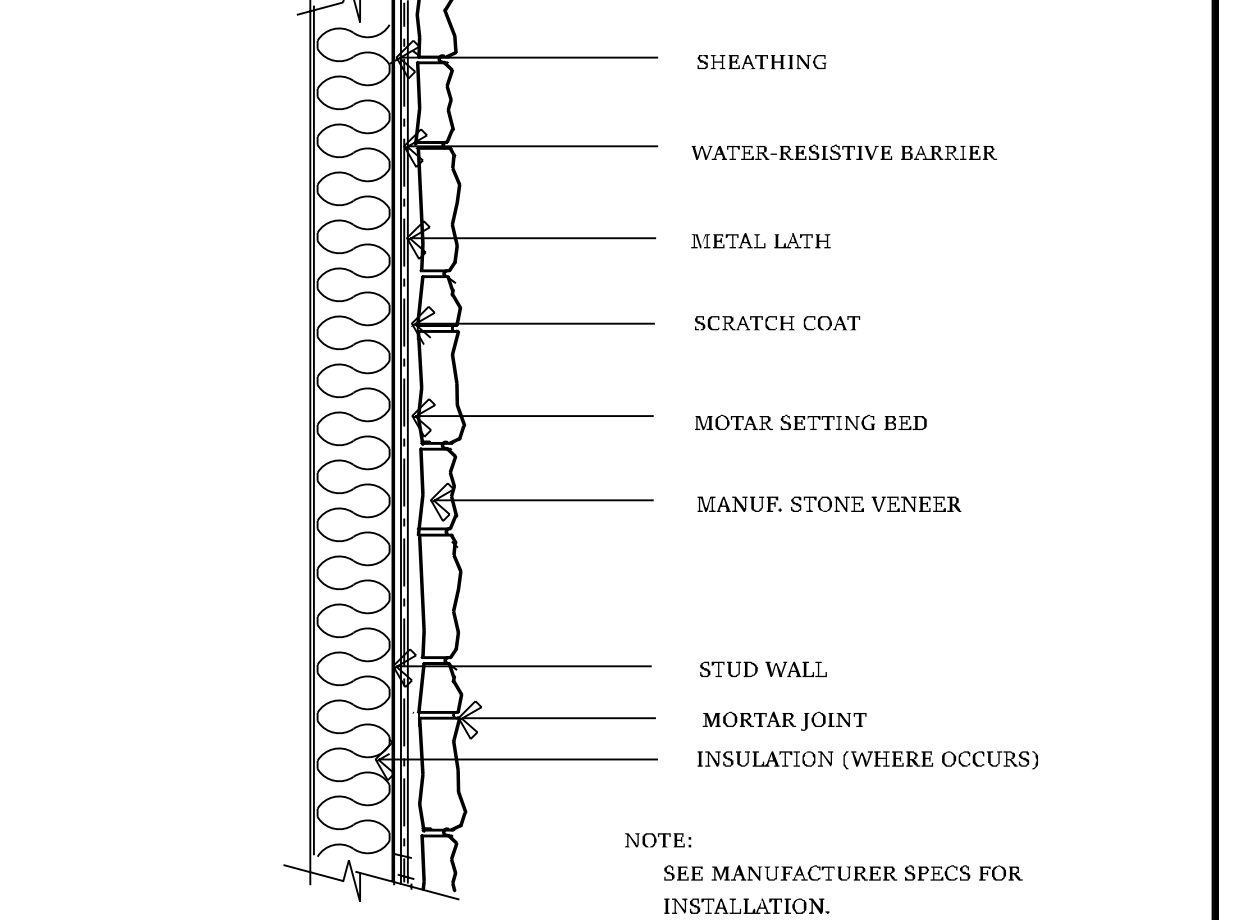
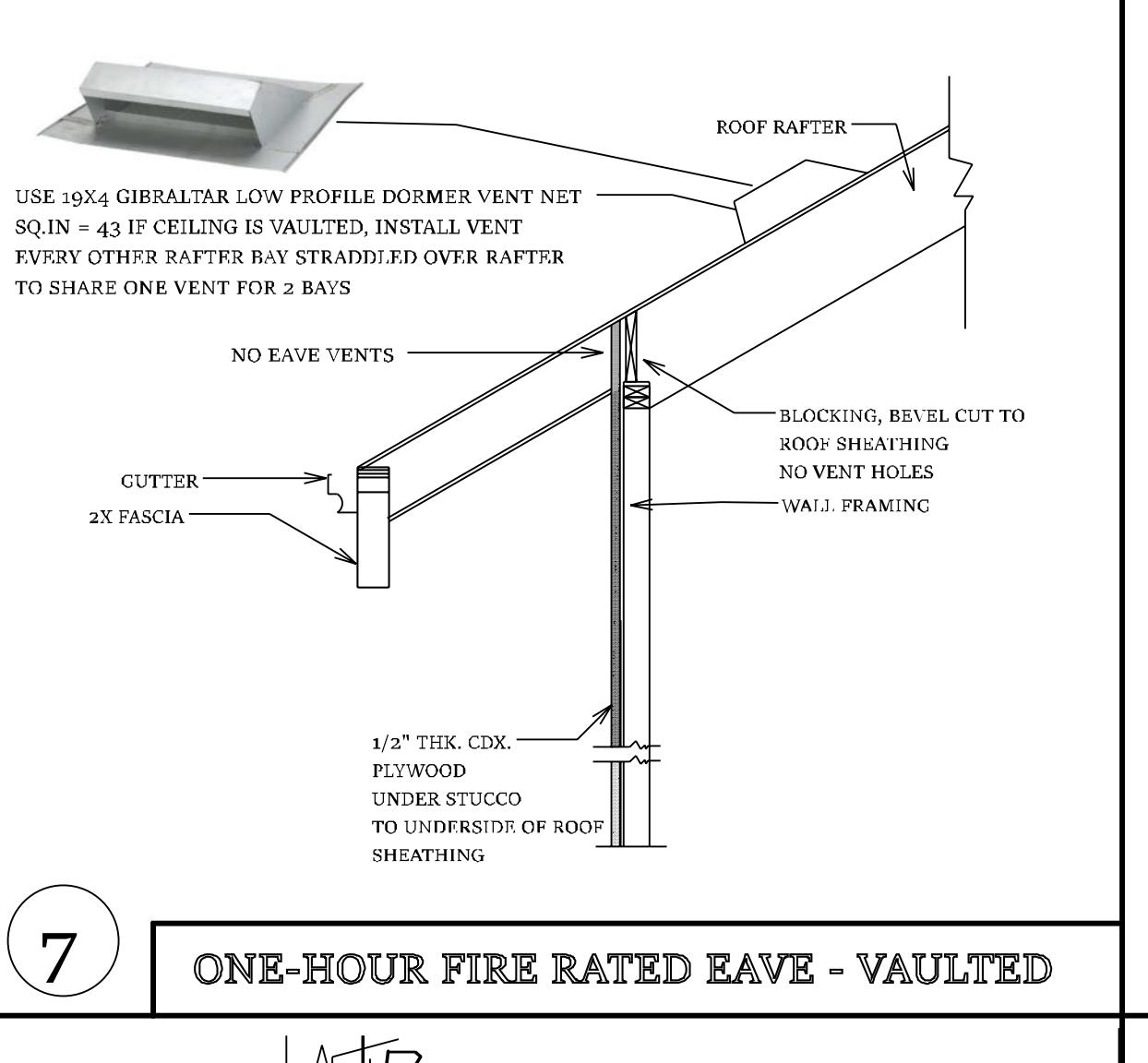
10 VAULTED ROOF INSUL.



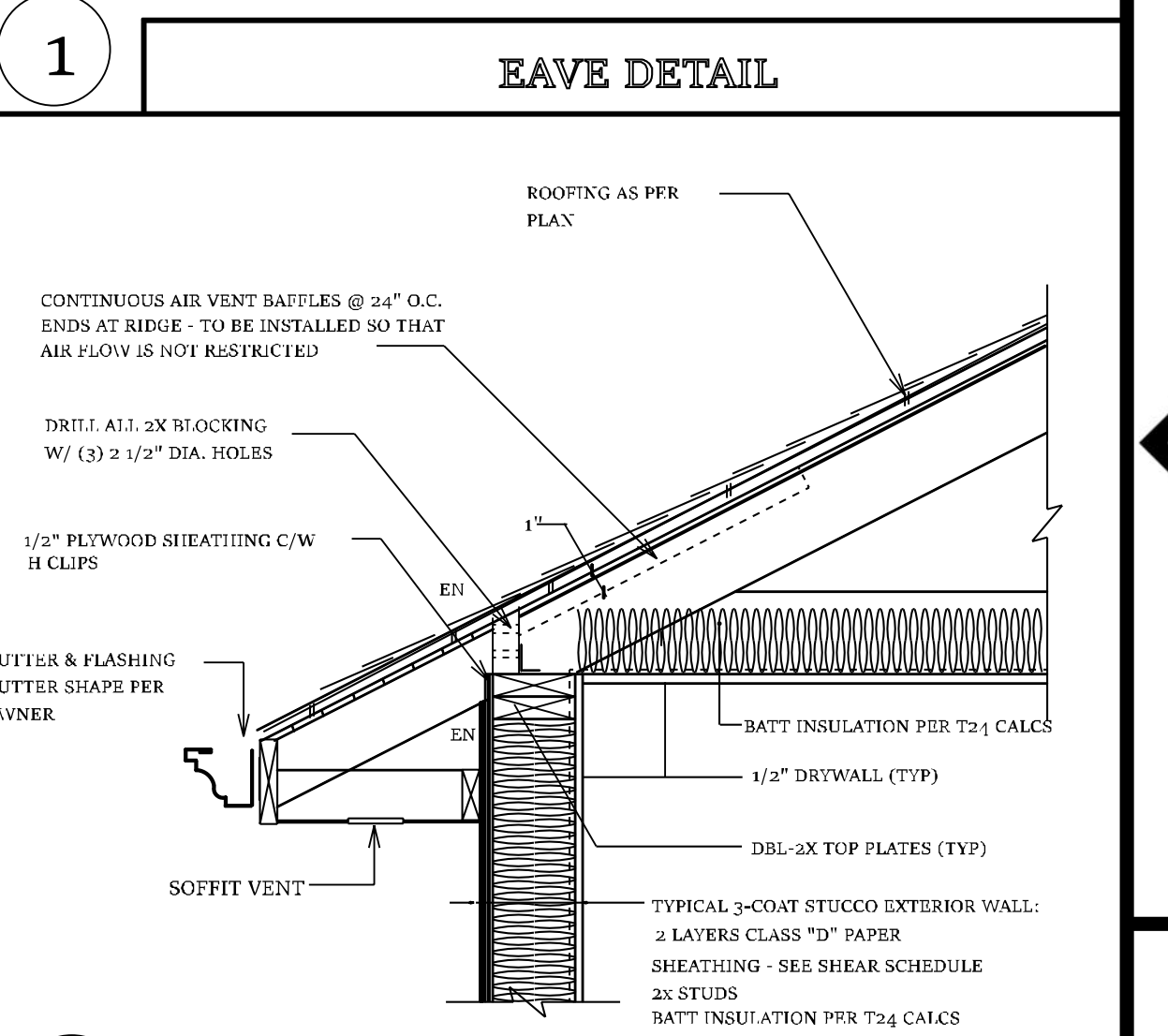
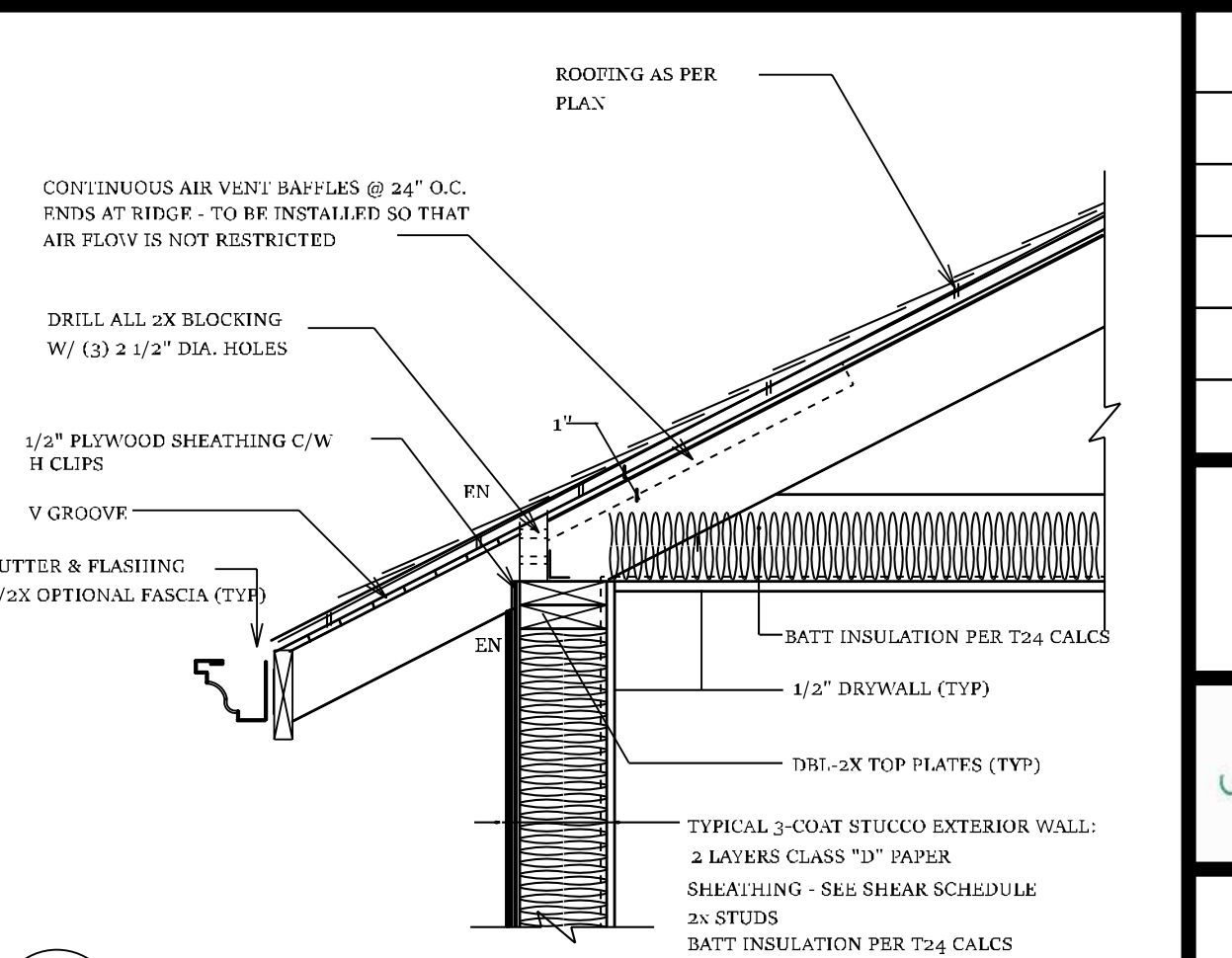
12 STONE VENEER OVER SHEATHING



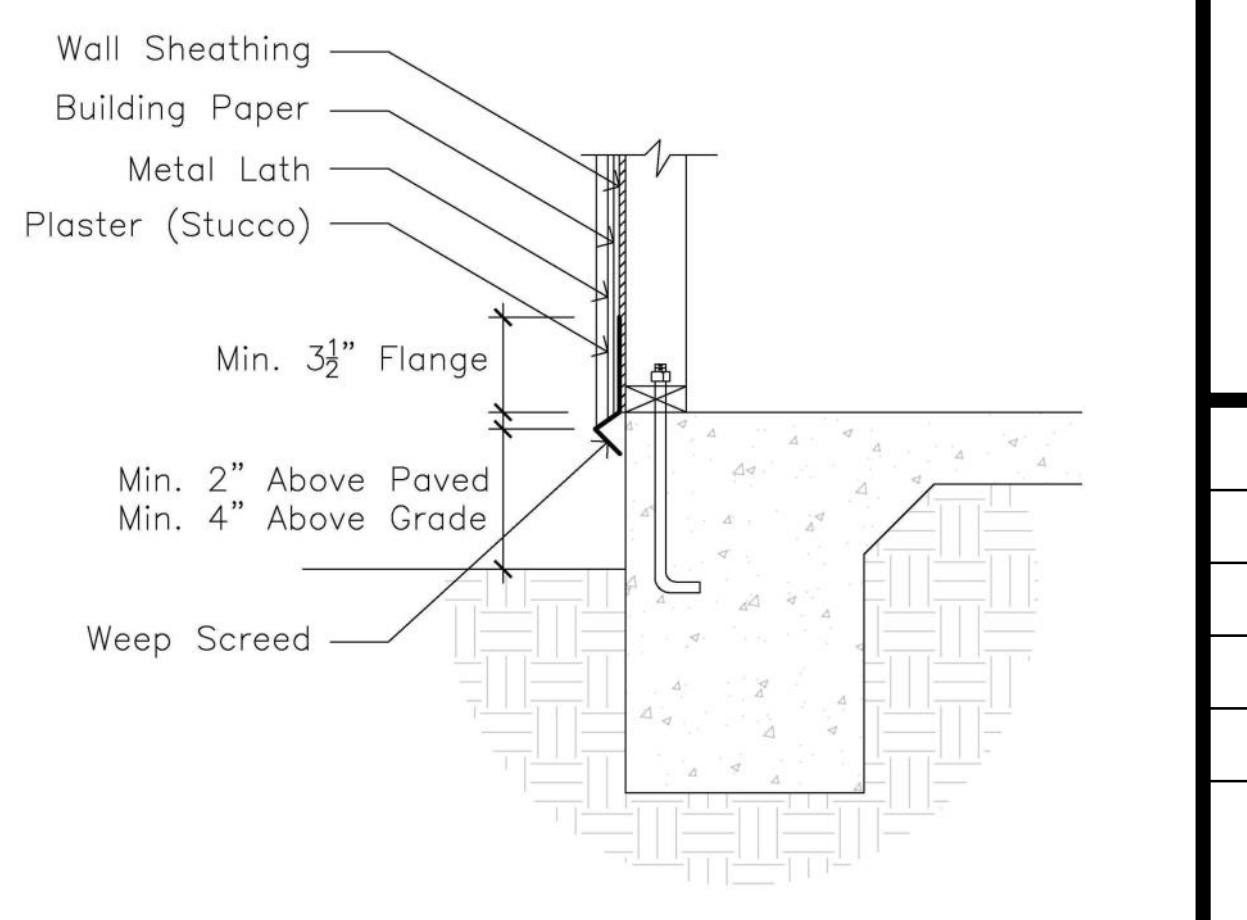
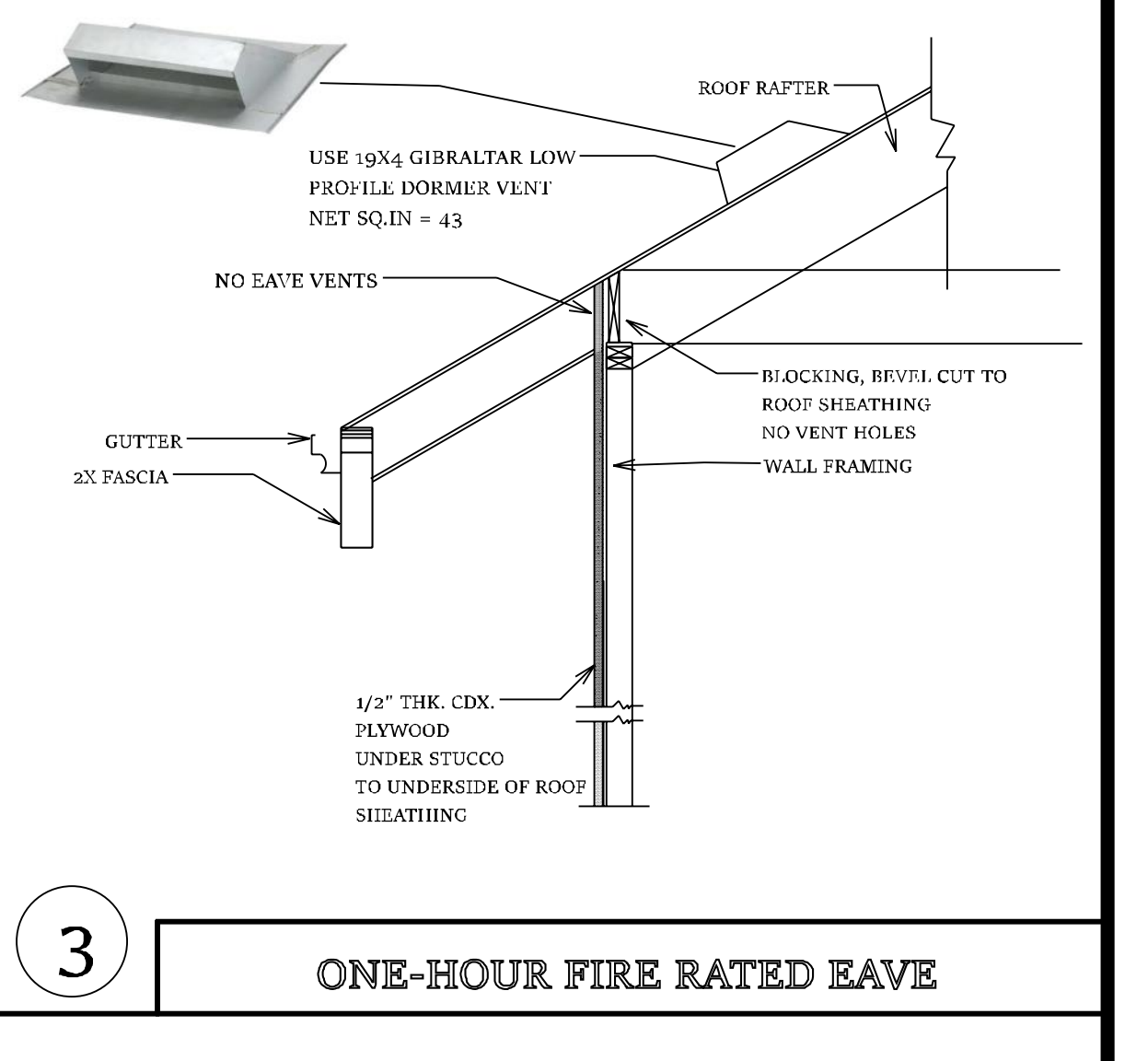
6 VAULTED ROOF INSUL.



8 STONE VENEER OVER SHEATHING



2 SOFFIT EAVE DETAIL



18 WEED SCREED DETAIL

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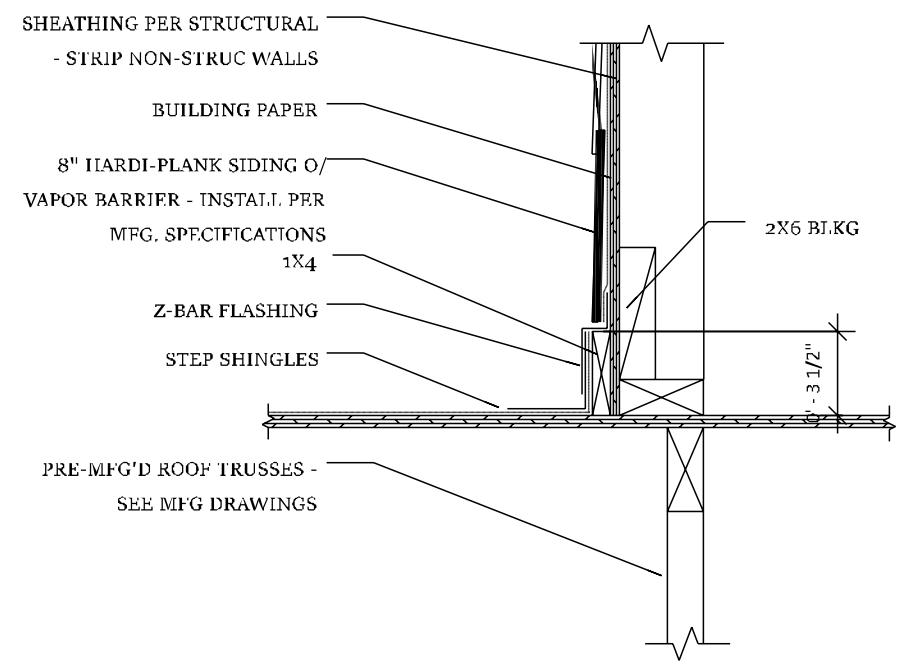
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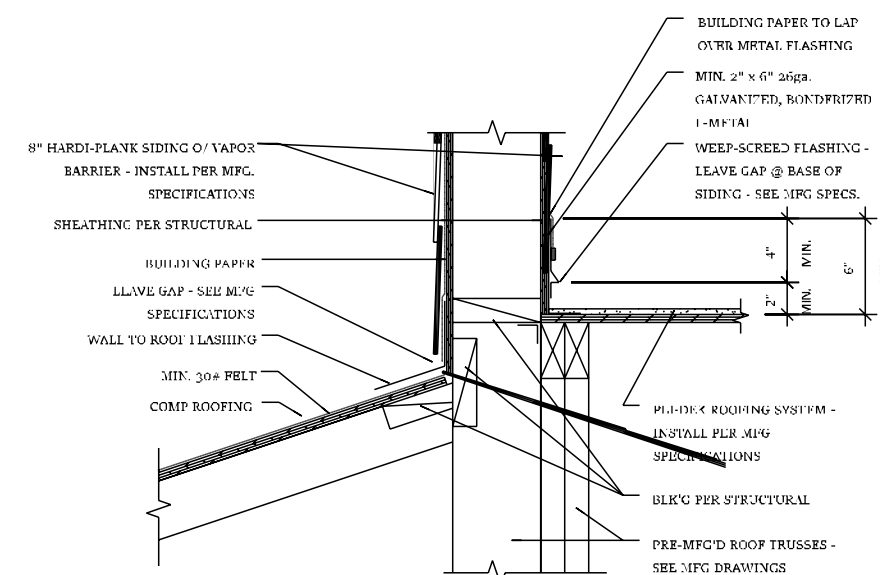
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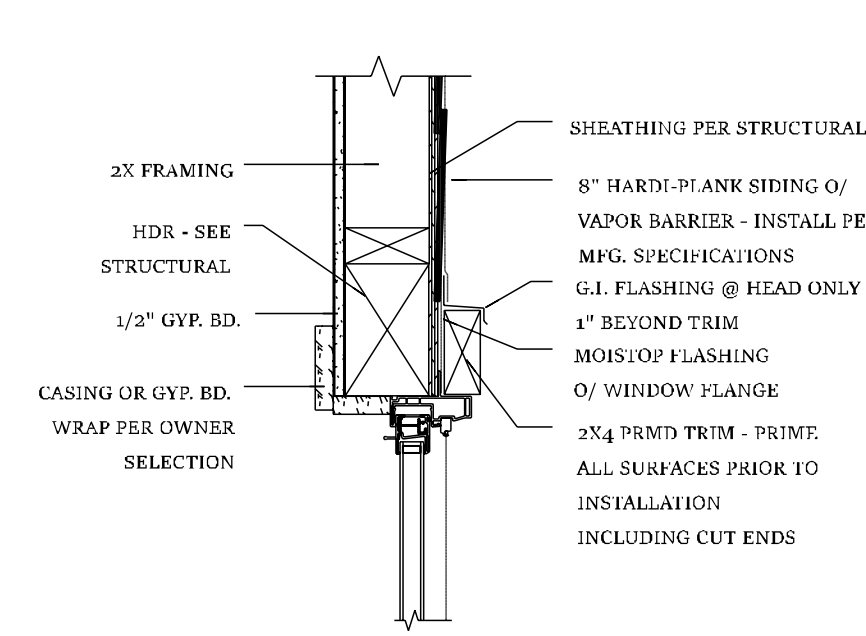
DETAILS



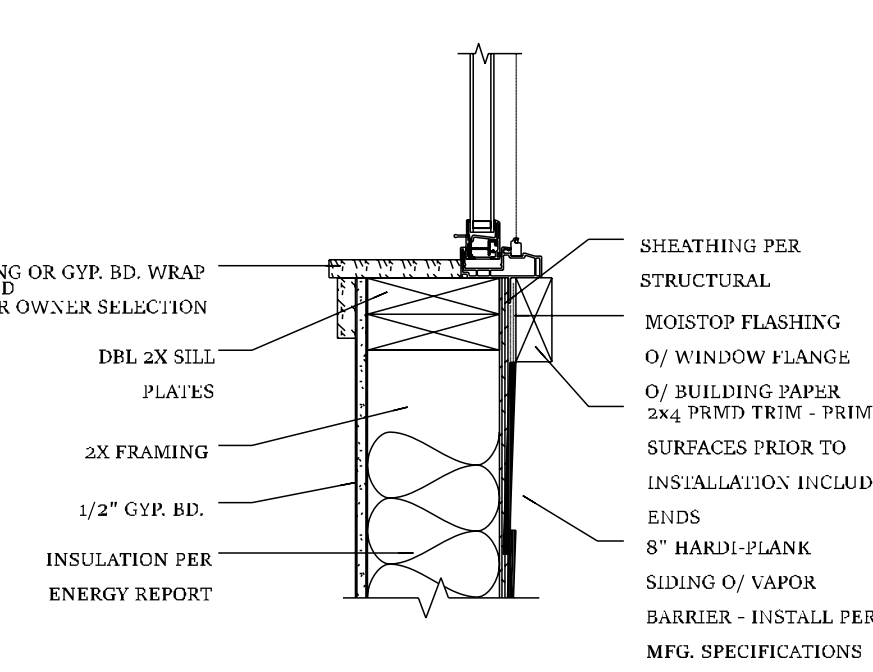
ROOF TO WALL FLASHING - PARALLEL



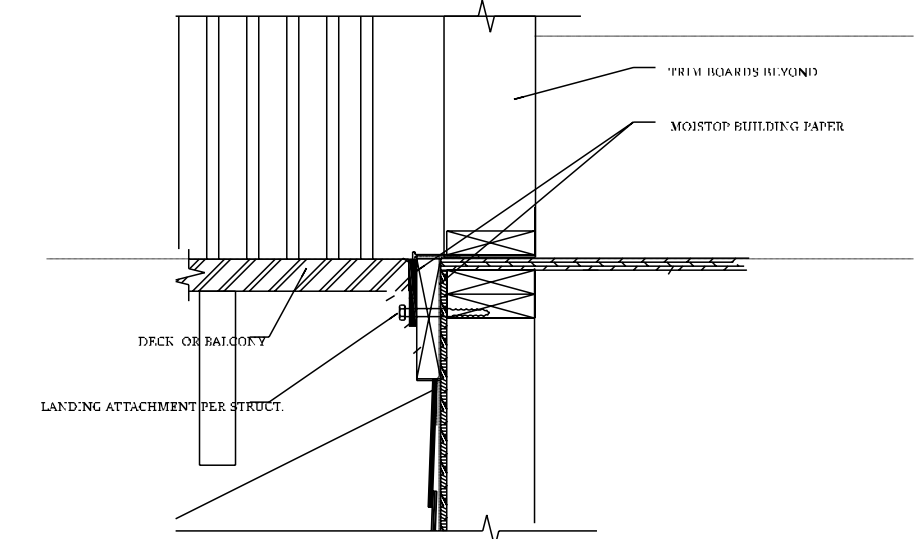
ROOF TO WALL FLASHING



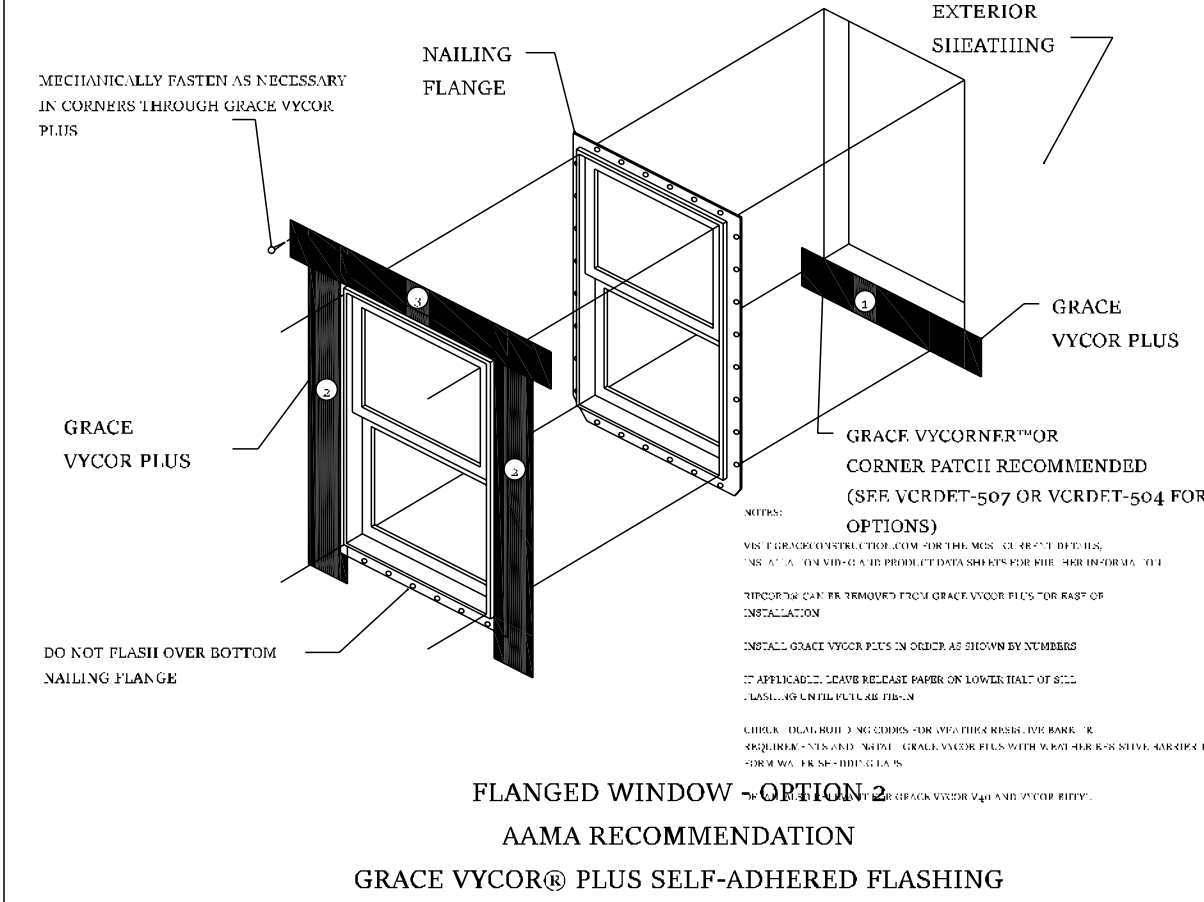
WINDOW HEAD



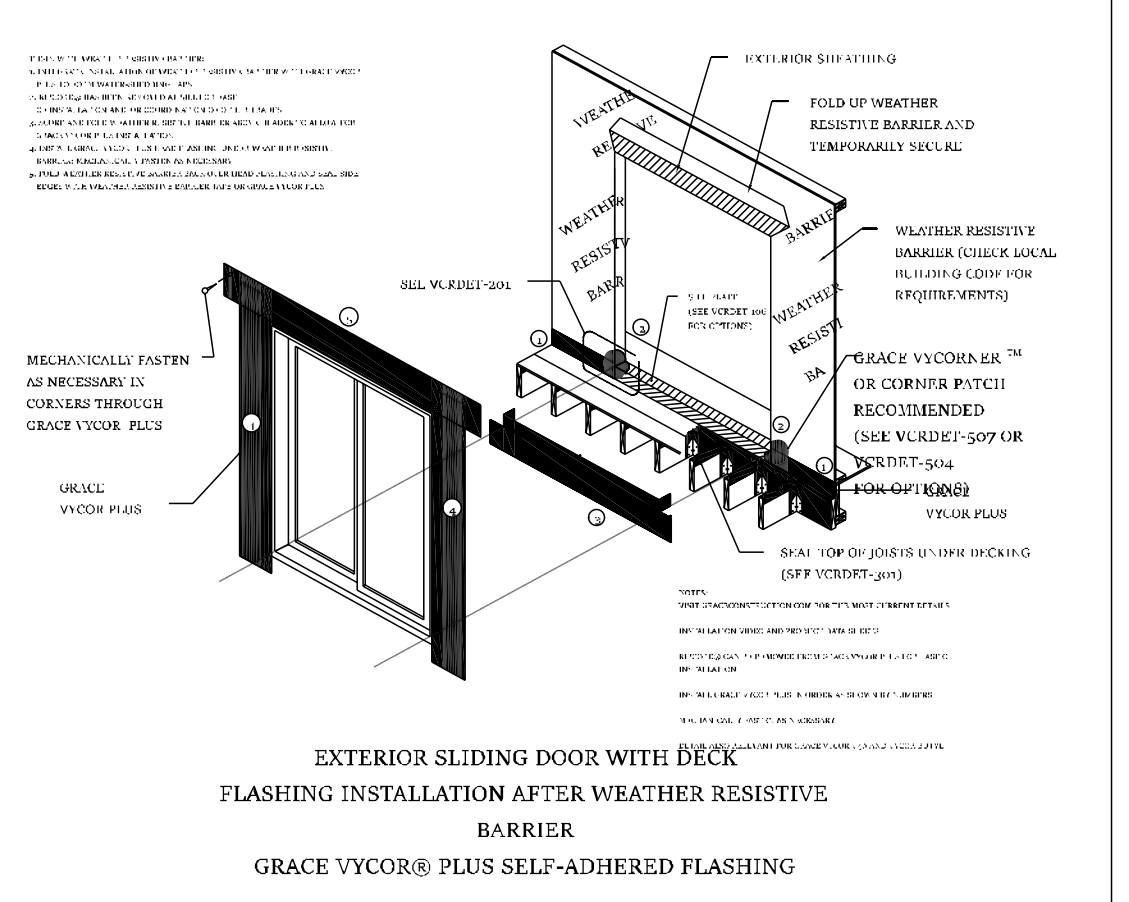
WINDOW JAMB



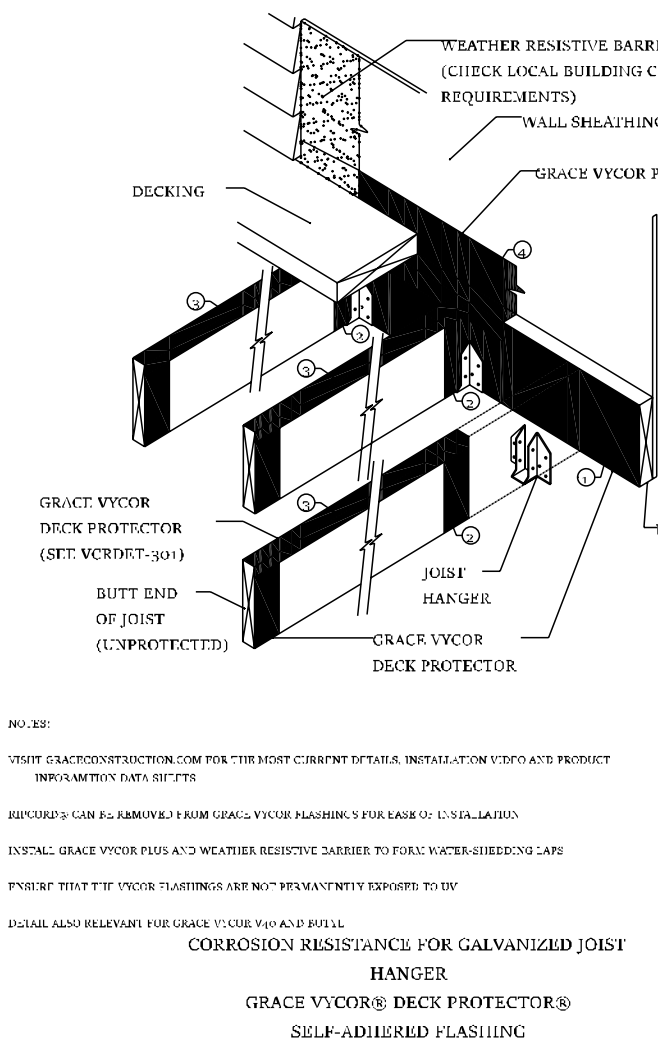
DECK OR PORCH TO WALL DETAIL



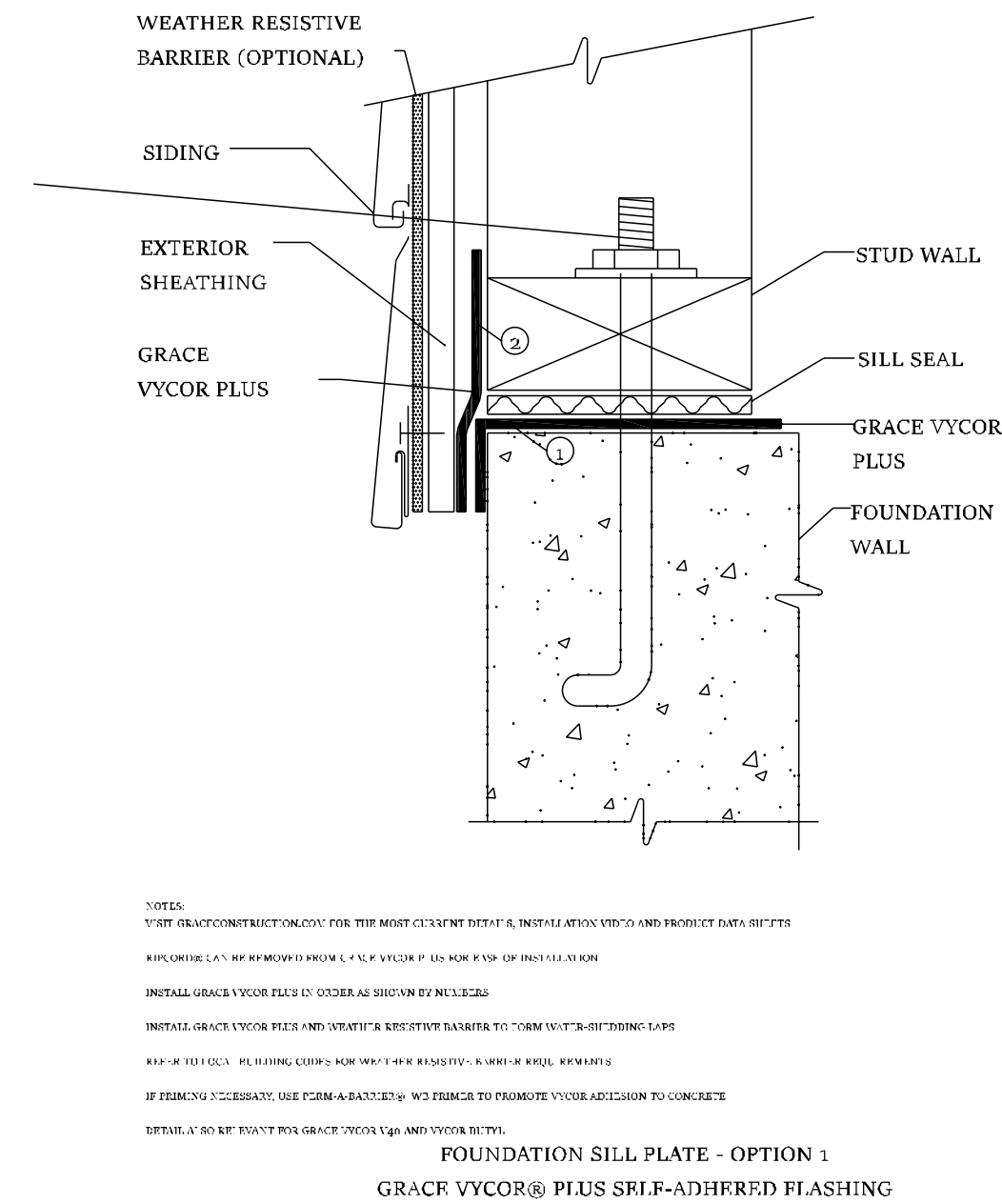
FLANGED WINDOW - OPTION 2
AAMA RECOMMENDATION
GRACE VYCOR® PLUS SELF-ADHERED FLASHING



EXTERIOR SLIDING DOOR WITH DECK
FLASHING INSTALLATION AFTER WEATHER RESISTIVE
BARRIER
GRACE VYCOR® PLUS SELF-ADHERED FLASHING



TOP OF DECK JOIST
GRACE VYCOR® DECK PROTECTOR®
SELF-ADHERED FLASHING



FOUNDATION SILL PLATE - OPTION 1
GRACE VYCOR® PLUS SELF-ADHERED FLASHING

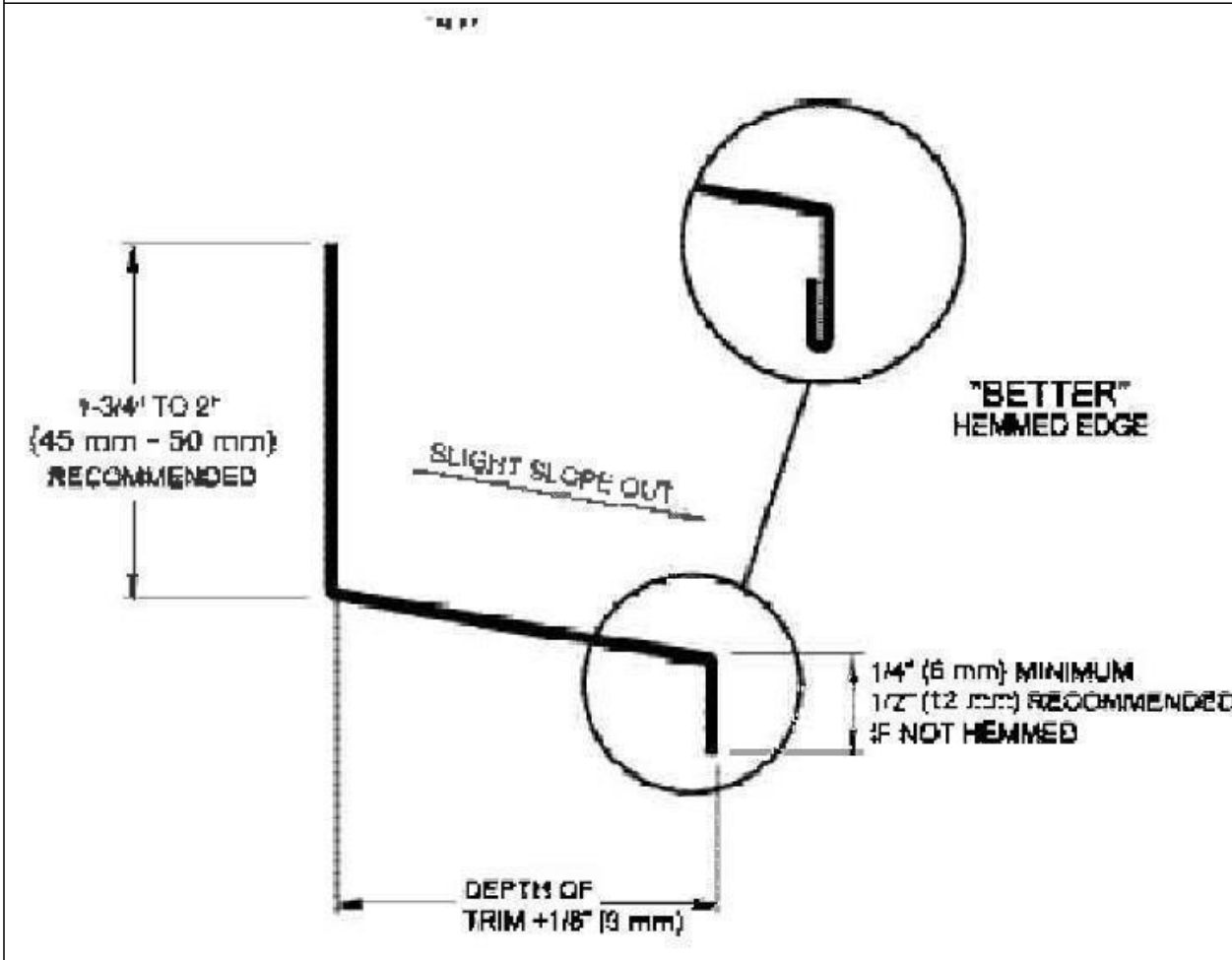
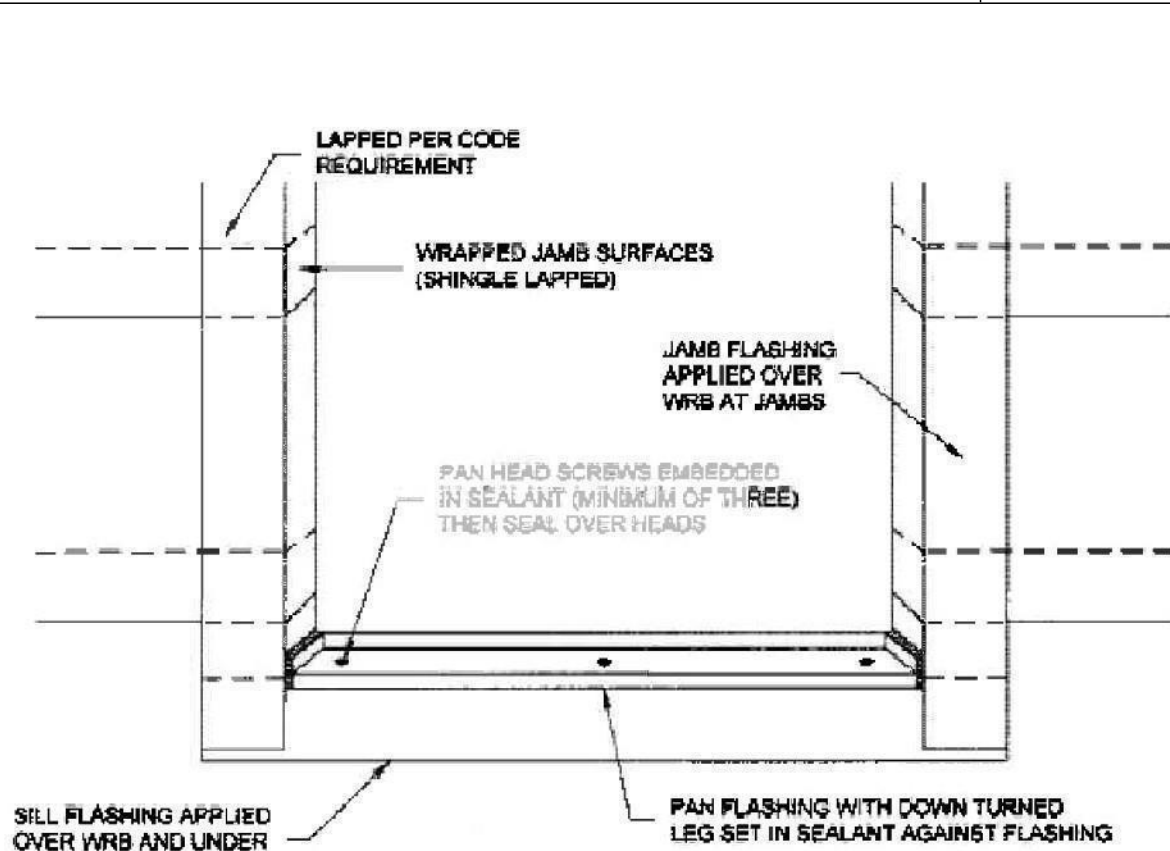
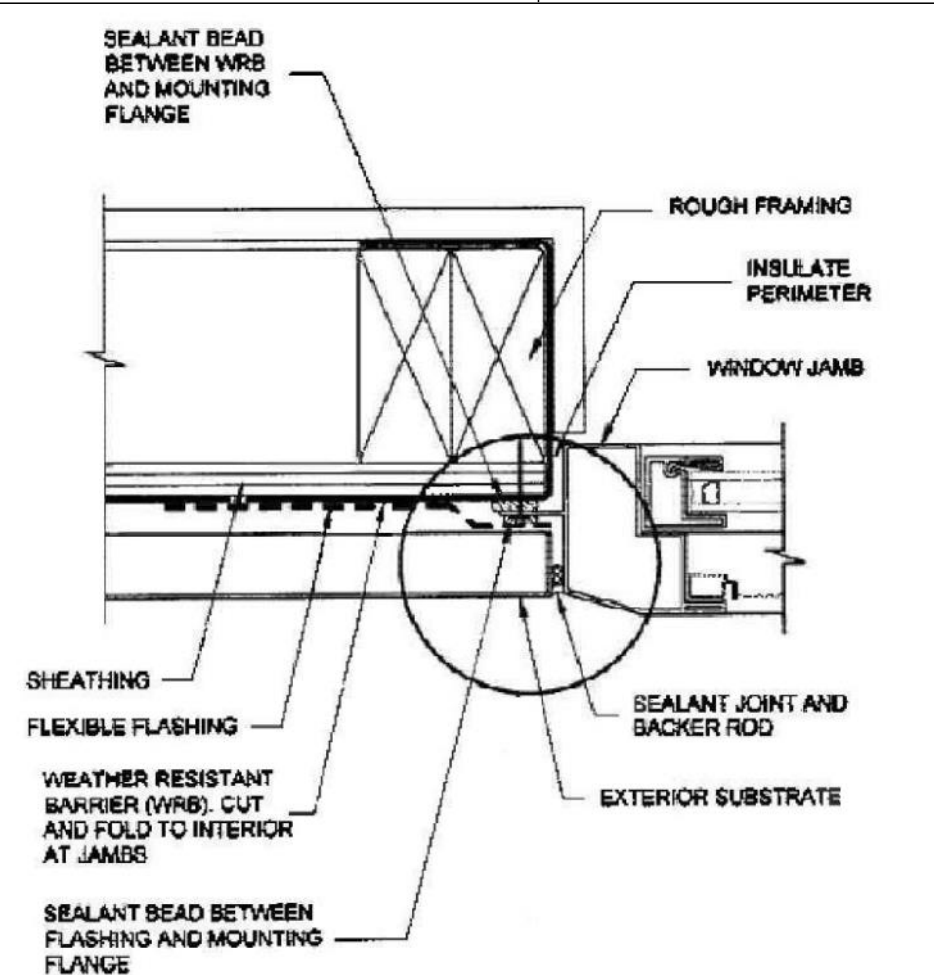


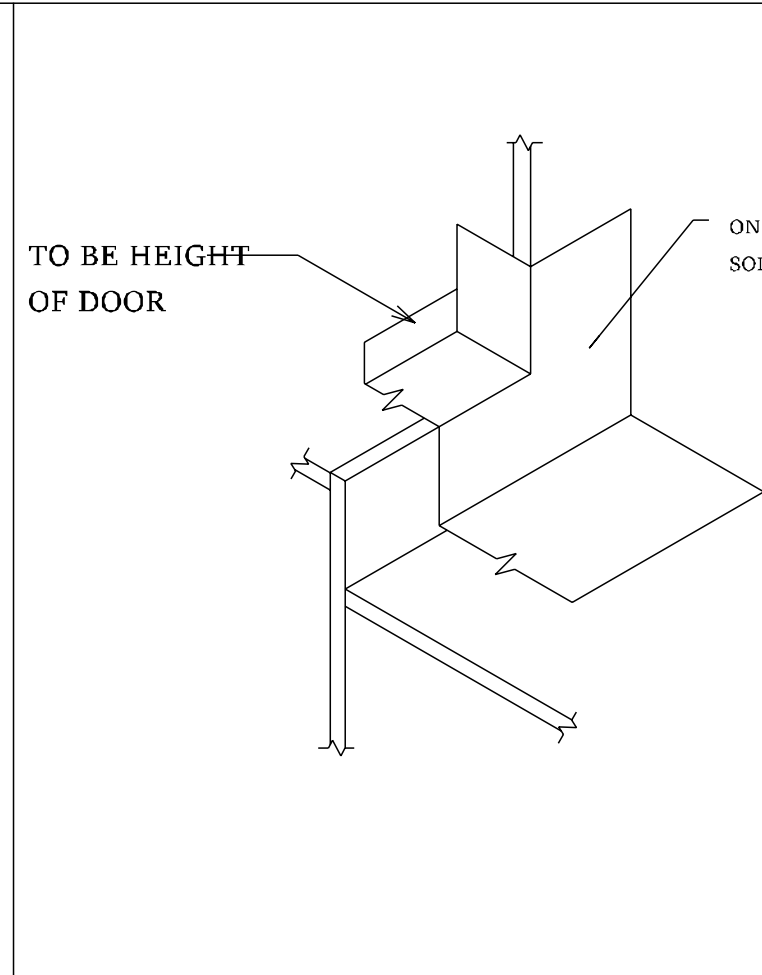
FIG. 31 Typical Head Flashing Detail



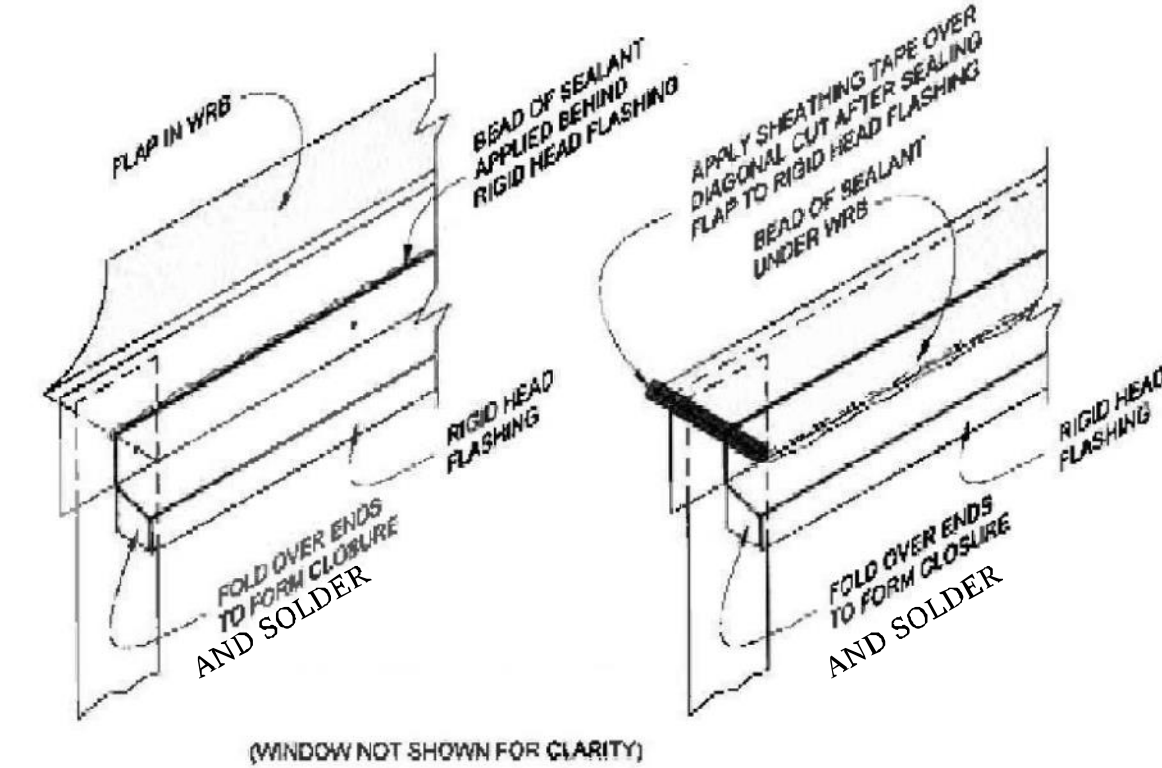
GSM SILL PAN FLASHING @
WINDOW/DOOR



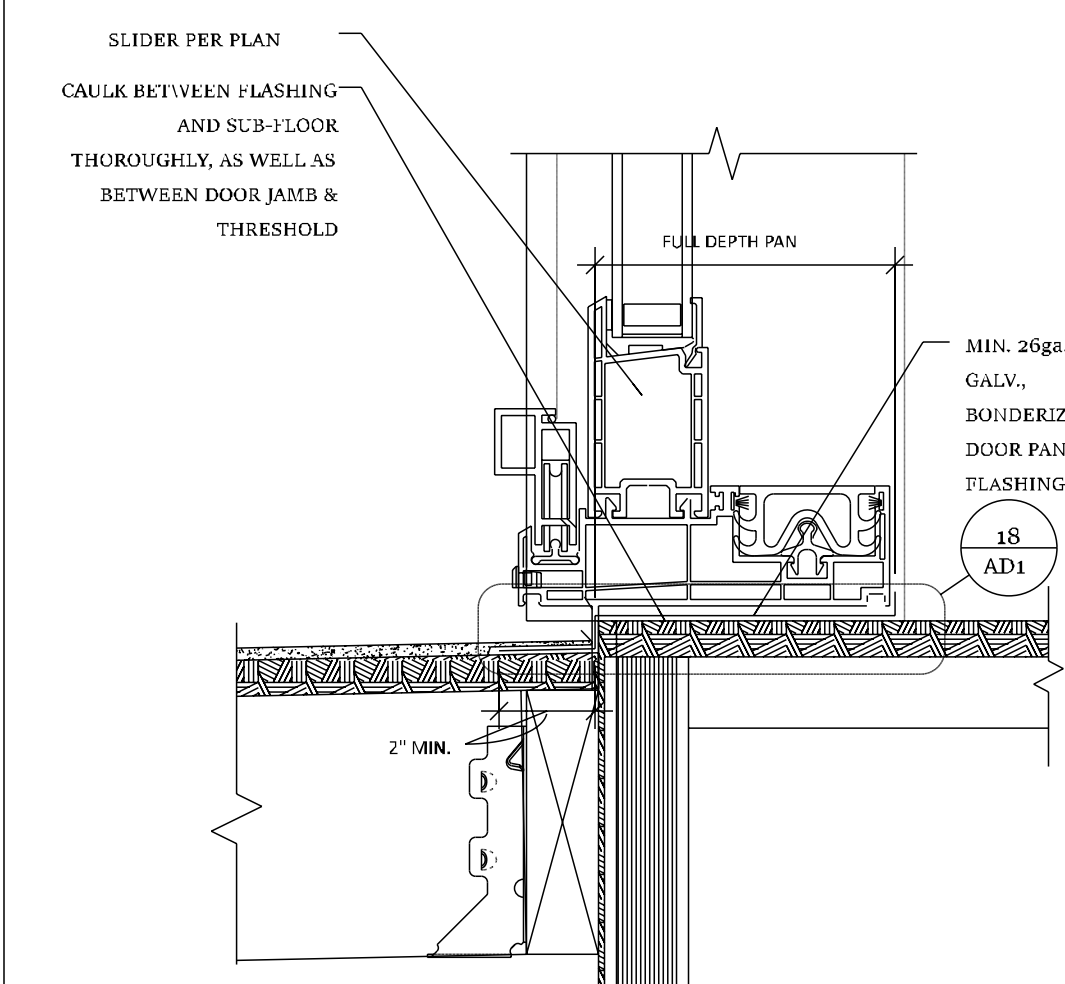
WINDOW JAMB



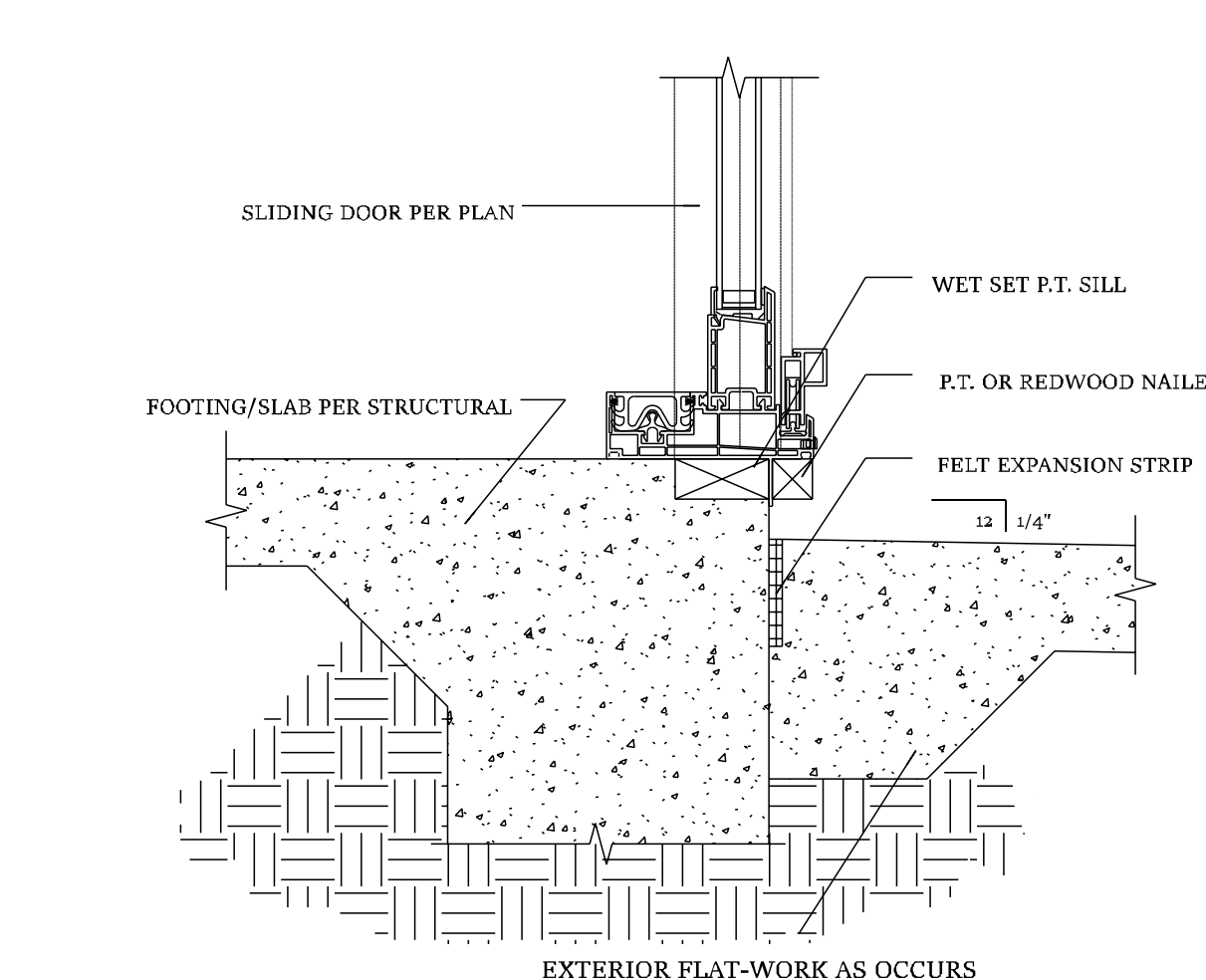
DOOR PAN FLASHING



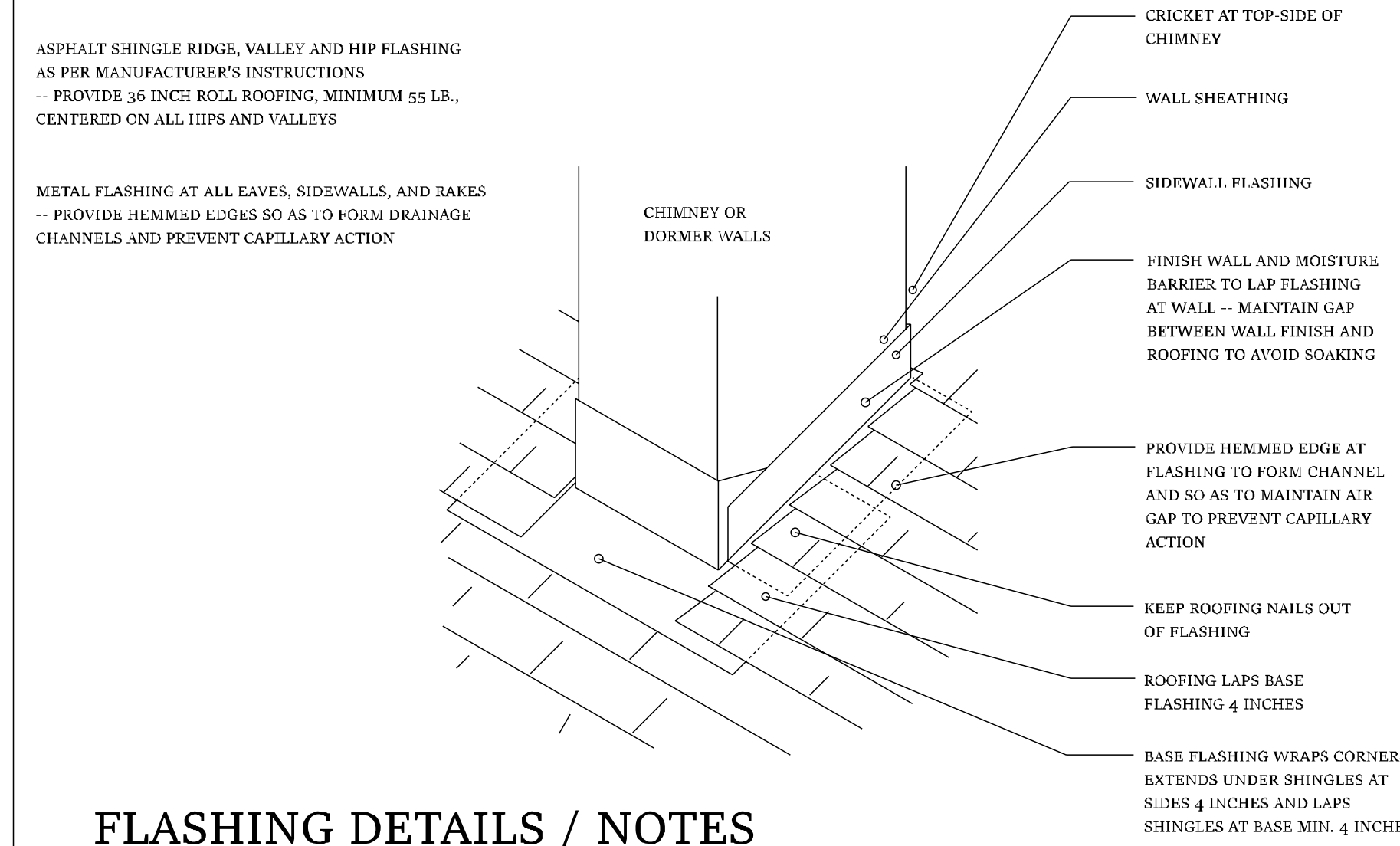
BONDERIZED
GSM Z-FLASHING WITH CLOSED END
@ WINDOW/DOOR HEAD



DOOR PAN FLASHING



THRESHOLD DETAIL



FLASHING DETAILS / NOTES

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WILDLAND URBAN INTERFACE NOTES

THE PROPOSED STRUCTURE IS IN THE STATE RESPONSIBILITY AREA (SRA) AND THE REQUIREMENTS OF THE WILDLAND-URBAN INTERFACE CODE (WUI) CBC CHAPTER 7A OR CBC R337 APPL. ANY NEW CONSTRUCTION IN THE STATE RESPONSIBILITY AREA (SRA) LOCATED WITHIN ANY SEVERITY ZONE SHALL COMPLY WITH THE REQUIREMENT OF THE WILDLAND-URBAN INTERFACE CODE (WUI) CBC R337.

THIS PROJECT IS CONSTRUCTION OF A NEW BUILDING REQUIRED TO BE FULLY FIRE SPRINKLERED. ALL PLAN SUBMITTALS REQUIRING FIRE SPRINKLERS, FIRE SERVICE UNDERGROUND, FIRE ALARMS, AND HOOD AND DUCT SYSTEMS, SHALL BE SUBMITTED AND SHALL BE APPROVED BY THE FIRE DEPARTMENT AND STATE FIRE MARSHALL BEFORE A FRAMING INSPECTION SHALL BE GRANTED BY THE BUILDING DEPARTMENT.

JOB COMES OF THE BUILDING AND FIRE SYSTEM PLANS AND PERMITS SHALL BE ON-SITE DURING INSPECTIONS. PRIOR TO THE FRAME INSPECTION, APPROVED FIRE SPRINKLERS AND/OR FIRE ALARM PLANS MUST BE ON SITE FOR THE FIRE/BUILDING INSPECTOR.

BUILDINGS SHALL BE OF APPROVED ADDRESS NUMBERS, BUILDING NUMBERS AND/OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION SHALL BE IN COMPLIANCE WITH THE JURISDICTIONAL REQUIREMENTS. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE, AND SHALL BE OF ARABIC NUMBERS OR ALPHABETICAL LETTERS, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

NOTICE TO CONTRACTORS - FIRE DEPARTMENT DOES NOT ALLOW INSTALLATION OF FIRE SERVICES MAINS (INCLUDING ON-SITE FIRE HYDRANTS), FIRE SPRINKLER SYSTEMS, FIRE ALARM SYSTEMS OR OTHER FIRE PROTECTION SYSTEMS PRIOR TO PLAN APPROVAL. CONTRACTORS WHO ENGAGE IN SUCH ACTIVITIES MAY BE CITED AND THE PROJECT WILL BE RED TAGGED.

ALL UNDERGROUND FIRE SERVICE (INCLUDING ON-SITE FIRE HYDRANTS), FIRE SPRINKLER SYSTEMS, FIRE ALARM SYSTEMS, FIRE PUMPS, COMMERCIAL HOOD & DUCT SYSTEMS, OTHER FIRE PROTECTION SYSTEMS REQUIRE SEPARATE PLANS, APPLICATION, REVIEW, PERMIT AND FEE. ANY OF THE ABOVE NAMED SYSTEMS INCLUDED WITH APPLICATION AND SHOWN OR NOTED ON THESE PLANS ARE TO BE USED FOR BID PURPOSES ONLY.

FIRE ALARM SYSTEM AND ALL COMPONENTS SHALL CONFORM TO NFPA 72 MINIMUM STANDARDS AND SHALL BE REVIEWED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. STAMPED, APPROVED PLANS MUST BE KEPT ON-SITE FOR THE FIRE INSPECTOR. FIRE ALARM CONTRACTOR MUST PICK UP SUBMITTAL PACKET PRIOR TO SUBMITTAL FROM FIRE DEPT. COMPLETED PACKET MUST BE INCLUDED WITH ALL FIRE ALARM PLAN SUBMITTALS. DOCUMENTATION OF FIRE ALARM MONITORING AND SERVICE MUST BE SUBMITTED.

ALL SITE INSPECTIONS REQUIRE A MINIMUM 24 HOURS NOTICE. ALL FIRE DEPARTMENT INSPECTIONS ARE TO BE REQUESTED THROUGH THE PERMIT CENTER, PLEASE BE SPECIFIC AS TO TYPE OF INSPECTION.

FIRE SAFETY DURING CONSTRUCTION SHALL FOLLOW CBC CHAPTER 33. FIRE EXTINGUISHERS SHALL BE PROVIDED. THE AUTOMATIC FIRE SPRINKLERS SYSTEM IS TO REMAIN IN SERVICE AT ALL TIMES. UNDER NO CIRCUMSTANCE SHALL THE FIRE SPRINKLER SYSTEM BE LEFT OUT OF SERVICE OVERNIGHT. FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED & MAINTAINED IN ACCORDANCE WITH SECTION 503.

ROOFING

1. ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF CBC §R337 & R901. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURE'S INSTALLATION INSTRUCTIONS. CLASS A ROOF ASSEMBLY'S ARE REQUIRED.
2. ROOF COVERINGS: WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBER. BE FIRE STOPPED WITH APPROVED MATE MATERIALS OR HAVE ONE LAYER OF NO. 72 LBS. CAPSHEET INSTALLED OVER THE COMBUSTIBLE DECKING. CBC §R337.5.2.(C)
3. ROOF VALLEYS: WHEN PROVIDED, VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL. INSTALLED OVER A MINIMUM 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 LBS. CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. CBC §R37.5.3.(C)
4. ROOF GUTTERS: ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. CBC §R337.5.4. EXCEPTION: AREAS DESIGNATED AS SA ZONES.

ATTIC - EAVE - SOFFIT - UNDERFLOOR VENTILATION

5. EAVE/ SOFFIT / ATTIC/ PORCH/ UNDERFLOOR PROTECTION: OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8" AND MATERIALS SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT. CBC §R337.6.2.
6. VENTS COMPLYING WITH THE REQUIREMENTS OF R327.6.3 MAY BE INSTALLED IF ATTIC IS FULLY SPRINKLERED OR THE EXTERIOR WALL COVERING OR UNDERSIDE OF EAVE/EAVES ARE OF IGNITION RESISTANT MATERIAL PER SFM 12-7 A-5 AND LOCATED MORE THAN 12' FROM THE GROUND OR WALKING SURFACE CBC §R337.6.3.

EXTERIOR WALLS

7. EXTERIOR WALLS SHALL BE APPROVED NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION, OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 12-7A-1. CBC §R337.7.3.
8. EXTERIOR WALL COVERINGS: EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. CBC §R337.7.3.1.
9. WINDOW GLAZING: EXTERIOR WINDOWS, GARAGE DOORS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTIVE RATING OF NOT LESS THAN 20 MINUTES. CBC §R337.8.
10. EXTERIOR DOOR ASSEMBLIES: EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7 A-2 OR SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20-MINUTES. CBC §R337.8.

DECKING FLOORS AND UNDERFLOOR PROTECTION

11. WALKING SURFACE: MATERIALS OF DECKS, PORCHES, BALCONIES, STAIR TREADS, RISERS, AND LANDINGS WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10' OF THE BUILDING SHALL COMPLY WITH ONE OF TEN FOLLOWING: CBC §R337.9.2
12. DECK SURFACES: SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIALS AND PASS THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-4. CBC §R337.9.3

UNDERFLOOR AND APPENDAGES PROTECTION

13. UNDERSIDE OF APPENDAGES AND FLOOR PROJECTIONS: THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE. CBC §R337.7.9.
14. UN-ENCLOSED UNDERFLOOR PROTECTION: BUILDINGS SHALL HAVE ALL UNDERFLOOR AREAS ENCLOSED TO THE GRADE THE SAME AS EXTERIOR WALL REQUIREMENTS. (EXCEPTION) THE COMPLETE ENCLOSURE OF UNDER FLOOR AREAS MAY BE OMITTED WHERE THE UNDERSIDE OF ALL EXPOSED FLOORS, EXPOSED STRUCTURAL COLUMNS, BEAMS AND SUPPORTING WALLS ARE PROTECTED AS REQUIRED WITH EXTERIOR IGNITION-RESISTANT MATERIAL CONSTRUCTION OR BE HEAVY TIMBER. CBC §R337.7.8.

DEFENSIBLE SPACE

15. PRIOR TO BUILDING PERMIT FINAL APPROVAL THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN CALIFORNIA PUBLIC RESOURCES CODE 4291 CALIFORNIA GOVERNMENT CODE SECTION 5182. CBC §R337.1.5.
16. THE ENFORCEMENT OF DEFENSIBLE SPACE AND INSPECTION SHALL BE PERFORMED BY THE LOCAL FIRE DEPARTMENT OR THE AUTHORITY HAVING JURISDICTION. CBC §R337.1.5.
17. SEE CAL-FIRE HANDOUTS FOR HOW TO OBTAIN DEFENSIBLE SPACE ZONES WHICH INCLUDE: FIREBREAK WITHIN 30' AND 100' OF EACH BUILDING OR STRUCTURE, DEAD AND DYING WOODY SURFACE FUELS SHALL BE REMOVED, DOWN LOGS OR STUMPS, FUEL SEPARATION, AND DEFENSIBLE SPACE WITH CONTINUOUS TREE CANOPY.

EXTERIOR WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THESE:

18. BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING OR,
19. BE CONSTRUCTED OF GLASS BLOCK UNITS OR,
20. HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTED WHEN TESTED ACCORDING TO NFPA 257, OR,
21. BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

OPERABLE SKYLIGHTS SHALL BE PROTECTED BY A NON-COMBUSTIBLE MESH SCREEN WHERE THE DIMENSIONS OF THE OPENINGS IN THE SCREEN SHALL NOT EXCEED 1/8"

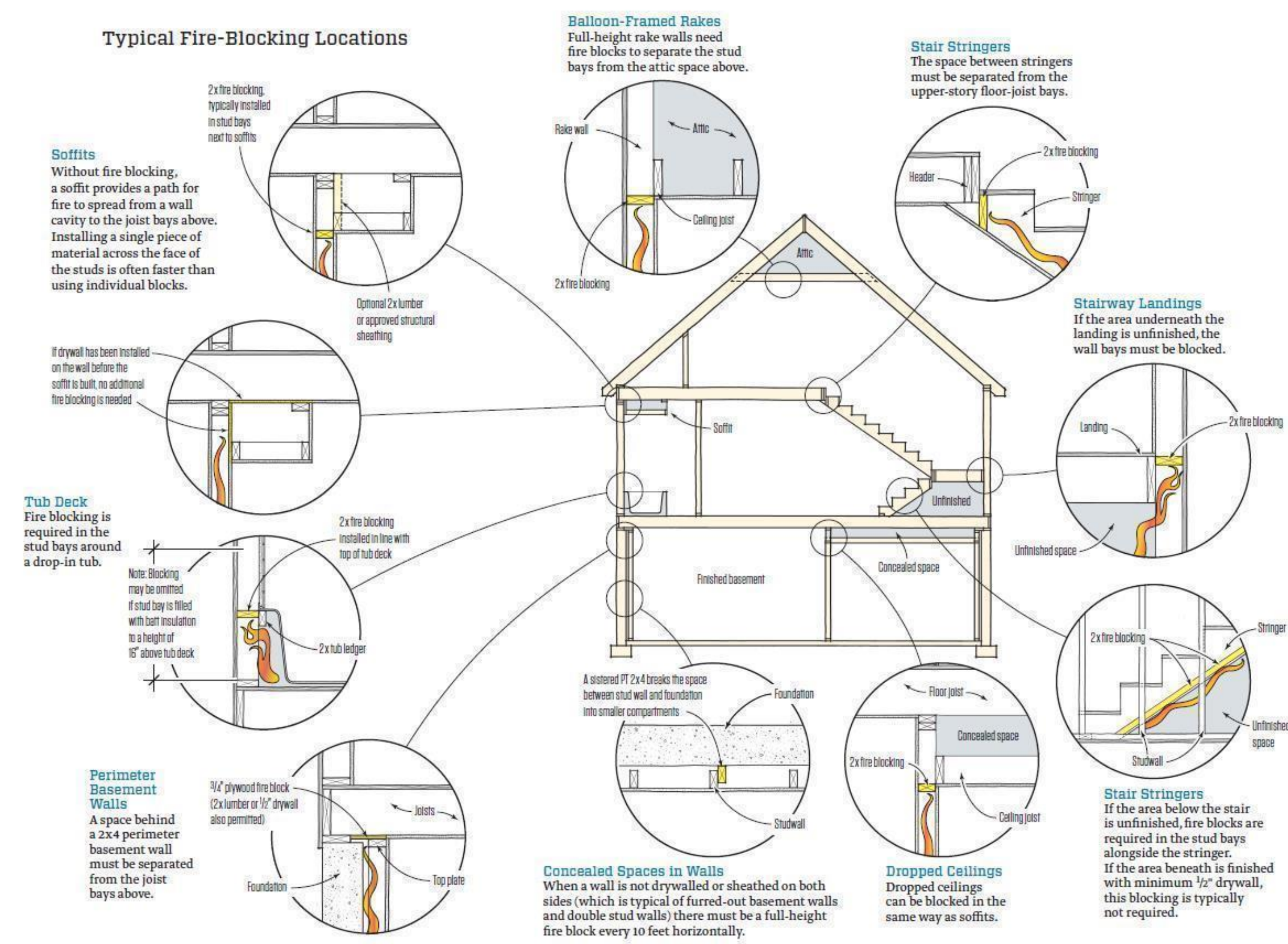
EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING:

22. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE MATERIAL.
23. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF IGNITION RESISTANT MATERIAL.
24. THE EXTERIOR DOOR SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLIES WITH THE FOLLOWING:
 - A. STILES AND RAILS SHALL NOT BE LESS THAN 1-3/8" THICK
 - B. PANELS SHALL NOT BE LESS THAN 1/4" THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE PANEL THAT SHALL BE PERMITTED TO TAPER TO A TONGUE NOT LESS THAN 3/8" THICK
 25. THE EXTERIOR DOOR ASSEMBLY SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTED WHEN TESTED ACCORDING TO NFPA 252.
 26. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SECTION 707A.3.1 WHEN TESTED IN ACCORDANCE WITH ASTM E2707
 27. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.

GLAZING IN EXTERIOR DOORS SHALL COMPLY WITH SECTION 708A.2, LISTED ABOVE

EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS FROM ENTERING BY PREVENTING GAPS BETWEEN DOORS AND DOOR OPENINGS, AT THE BOTTOM, SIDES AND TOPS OF DOORS, FROM EXCEEDING 1/8" GAPS BETWEEN DOORS AND DOOR OPENINGS SHALL BE CONTROLLED BY ONE OF THE FOLLOWING METHODS:

- A. WEATHER STRIPPING PRODUCTS MADE OF CODE SECTION COMPLIANT MATERIALS OR
- B. DOOR OVERLAPS ONTO JAMBS AND HEADER OR
- C. JAMBS AND HEADERS COVERED WITH METAL FLASHING.



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