A REMODEL FOR WEI-KEN SATO



WATER HEATER

2 NEW HIGH EFFICIENCY ELECTRIC HEAT PUMP WATER HEATER

HEATING AND AC

NEW HIGH EFFICIENCY DUCTED ELECTRIC HEAT PUMP FURNACE AND AIR HANDLER

FURNACE IN ATTIC

ASSESSOR'S PARCEL #

TYPE OF CONSTRUCTION:

LOT AREA:

ZONING:

VENTS ON FLOOR

CURBLESS SHOWERS?

ANALYSIS

51030003

59,242 S.F.

MASTER SHOWER AND ADU TO BE CURBLESS - SEE DETAIL ON INTERIOR FINISH SHEET

CITY STAMP AREA

REVISIONS BY Friday, November 3, 2**0**23

ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEVISED SOLEY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN



MMCHECKED AS SHOWN

JOB NO.

PAGE:

Friday, November 3, 2023

NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MEGAN MINER DESIGN. AND REQUIRES ASSISTANCE AS SOON AS POSSIBLE, IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MEGAN MINER DESIGN THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MEGAN MINER DESIGN. PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MEGAN MINER DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MEGAN MINER DESIGN

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND OTHER REQUIREMENTS WHICH HAVE BEEN ADOPTED BY THE LOCAL JURISDICTION OR ARE OTHERWISE APPLICABLE TO THIS PROJECT.
- 2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.
- 3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK
- 4. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.
- 5. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.
- 6. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.
- THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.
- . EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- . ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE.
- 10. ANY PROPOSED WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE, REQUESTS SHALL BE DIRECTED TO THE ARCHITECT,
- 11. PROVIDE ALL REQUIRED FIRE BLOCKING IN ACCORDANCE WITH SECTION 718 OF THE CURRENT ADOPTED EDITION OF C.B.C.
- 12. EXITING NOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.
- 13. JOB COPIES OF THE APPROVED BUILDING PLANS, REVISIONS, AND DEFERRED SUBMITTALS SHALL BE ON-SITE DURING INSPECTIONS.

CONSTRUCTION SITE SHALL BE ENCLOSED BY 6' OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.

NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC

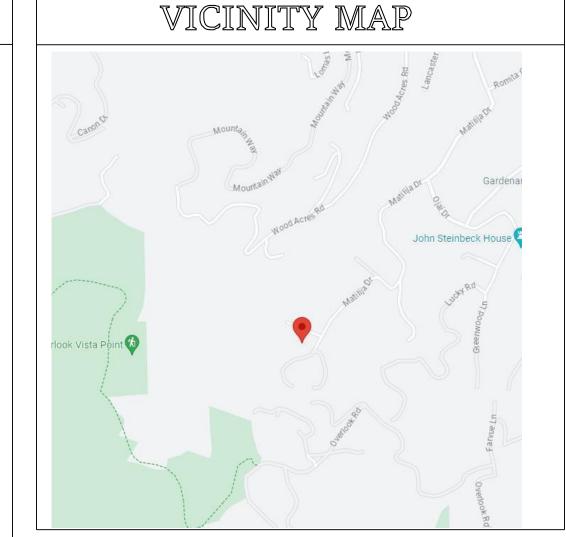
A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.

ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER,

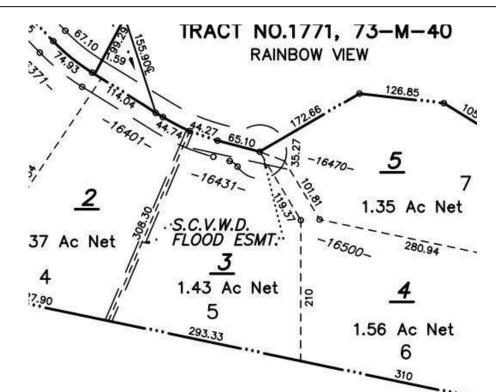
THE PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:30 AM TO 6 PM, SATURDAYS FROM 9AM TO 5 PM.

SPECIAL NOTES

BEFORE YOU START CONSTRUCTION REVIEW ALL SHEETS CAREFULLY. READ THE GREEN CHECKLIST SHEETS AND THE TITLE 24 SHEETS FOR REQUIREMENTS AS RULES HAVE CHANGED AND THERE MAY BE THINGS YOU ARE NOT EXPECTING



PARCEL MAP



SCOPE OF WORK

REMODEL OF ENTIRE 4 BEDROOM 5 BATH HOME FOR UPDATED 4 BEDROOM 4.5

ADDITION OF 505 SQFT FOR LIVING AND 625 SQFT FOR GARAGE. UPDATE TO 400 AMP. ELEC. SERVICE, UPDATE FURNACE/HEAT PUMP, UPDATE TANKLESS WATER HEATER, NEW REAR AND SIDE PATIO, NEW ROOFING, AND ALL NEW ELECTRICAL AND PLUMBING.

APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH:

- 2022 CALIF. FIRE CODE 2022 CALIF. BLDG CODE CALIF. RESIDENTIAL CODE
- 2022 CALIF. MECH. CODE 2022 CALIF. PLUMB'G CODE
- 2022 CALIF. ELEC. CODE 2022 CALIF. ENERGY CODES
- 2022 CALIF. GREEN BUILDING CODES ANY OTHER APPLICABLE LOCAL

& STATE LAWS & REGULATIONS.

PERSONAE

OWNER

WEI-KEN SATO 16431 MATILIJA DR LOS GATOS, CA MMHOMEDESIGNS@GMAIL.COM __408-396-0951

DESIGNER MEGAN MINER DESIGN MEGAN MINER 18488 PROSPECT RD. #6 SARATOGA, CA 95070 SHELMINER@AOL.COM 408-396-0951

STRUCTURAL ENGINEER NJM CONSULTING ENGINEERING INC. 18488 PROSPECT ROAD SUITE 12 SARATOGA, CA 95070

NATHAN@NJMENGINEERING.COM 415-676-9896 **SURVEYOR**

LEA & BRAZE SURVYOR PHONE: 510-887-4086 X.103 EMAIL: GBRAZE@LEABRAZE.COM

	OCCUPANCY RATING:	R-3, U	
	EXISTING USE:	SINGLE FAMILY RES.	
	SLOPE OF LOT	FLAT LOT	
	FLOOD ZONE	D	
	HISTORIC	NO	
	FIRE SPRINKLERS	NO	
	WUI	YES	
	STORIES	ONE	
_			
_	EXISTING		
	EXISTING LIVING:	4,430 S.F.	
	EXISTING GARAGE:	1,050 S.F.	
	TOTAL EXISTING	5,475 S.F.	
			<u> </u>
	PROPOSED		
	PROPOSED (E) GARAGE CONVERTED TO LIVING	85 S.F.	
		85 S.F. 505 S.F.	
	(E) GARAGE CONVERTED TO LIVING		
	(E) GARAGE CONVERTED TO LIVING NEW LIVING	505 S.F.	
	(E) GARAGE CONVERTED TO LIVING NEW LIVING NEW GARAGE	505 S.F. 625 S.F.	
	(E) GARAGE CONVERTED TO LIVING NEW LIVING NEW GARAGE FRONT COVERED PORCH	505 S.F. 625 S.F. 120 S.F.	
	(E) GARAGE CONVERTED TO LIVING NEW LIVING NEW GARAGE FRONT COVERED PORCH	505 S.F. 625 S.F. 120 S.F. 6,810 S.F.	
	(E) GARAGE CONVERTED TO LIVING NEW LIVING NEW GARAGE FRONT COVERED PORCH TOTAL BUILDING SQUARE FOOTAGE	505 S.F. 625 S.F. 120 S.F. 6,810 S.F.	

	-
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EXISITING SITE PLAN

STRUCTURAL DETAIL 1

DEFERRED SUBMITTALS DETAIL 2 FIRE SPRINKLERS REQUIRED

1. FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS -NOTE THAT PER CRC 313.3.7. A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUT OFF VALVE TO THE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE . DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS, AND AUTOMATIC SHUT OFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN."

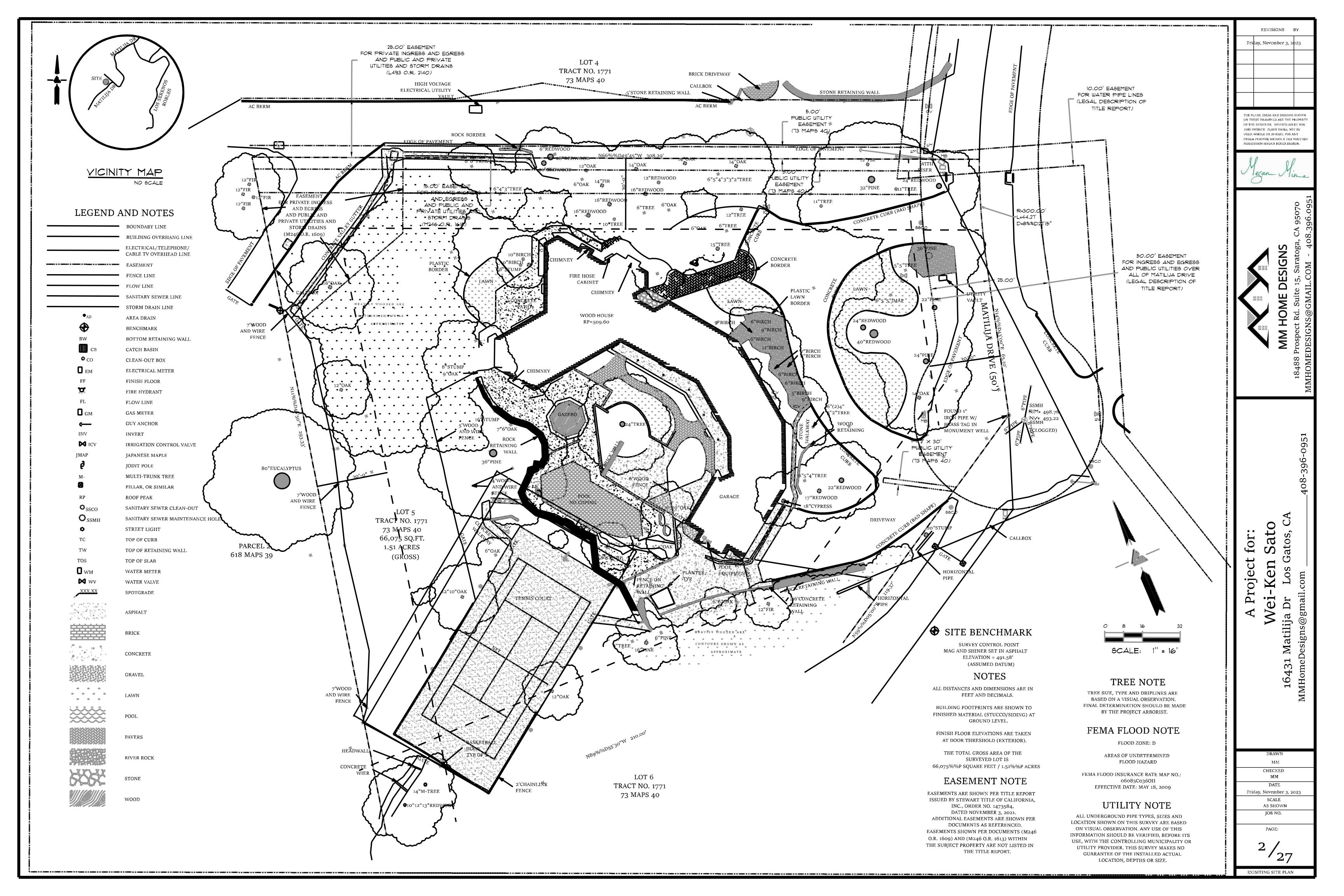
- 2. CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2 3. PHOTOVOLTAIC ROOFING SYSTEM
- 4. ROOF TRUSSES

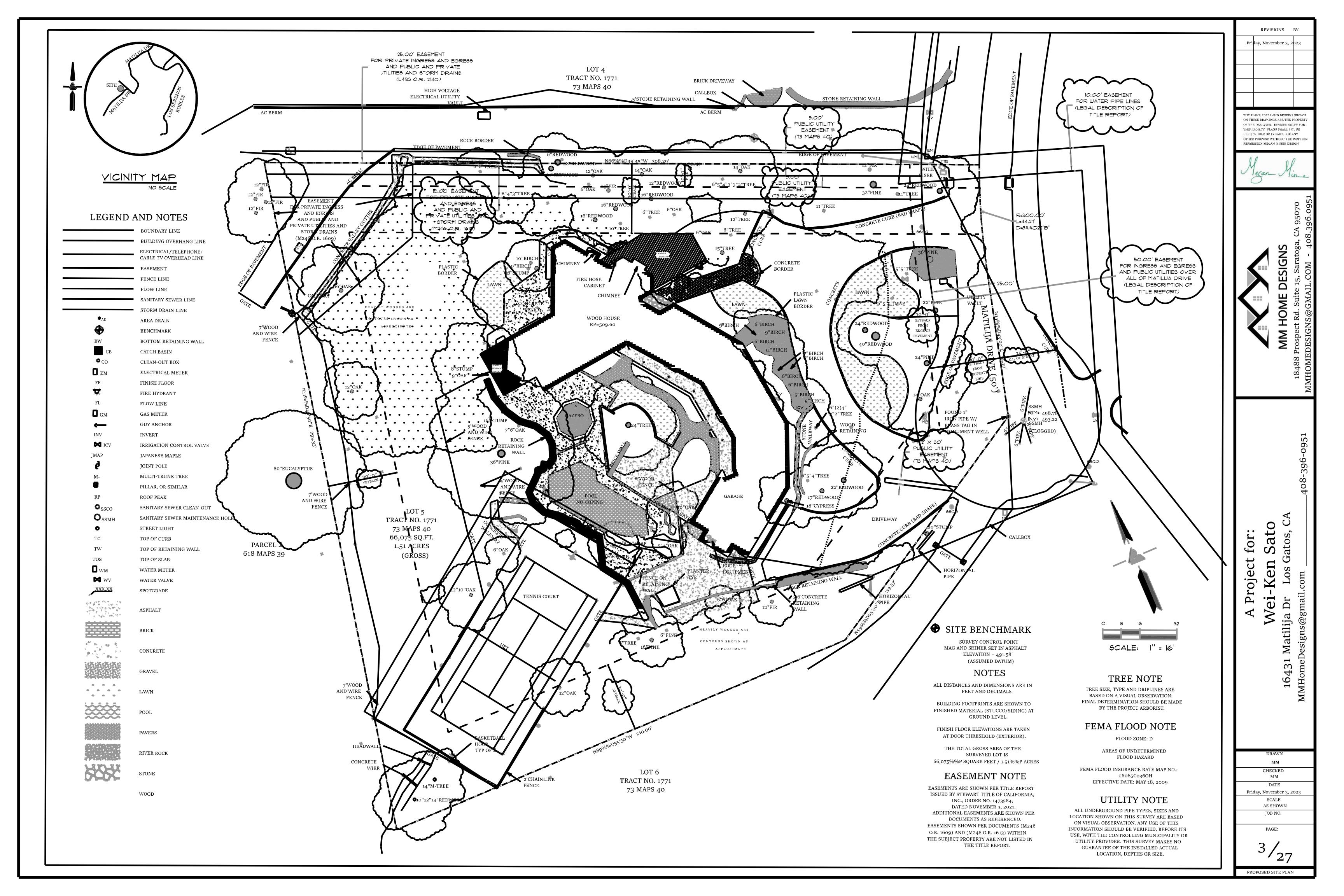
SEPARATE PERMIT

1. SWIMMING POOL AND RELATED EQUIPMENT

SD1

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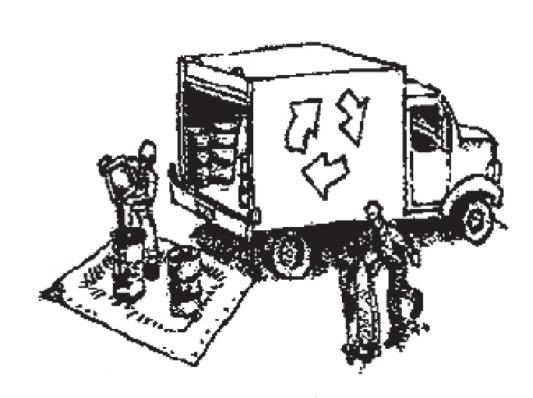




Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ☐ Use (but don't overuse) reclaimed water for dust control.
- ☐ Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☐ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ☐ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ☐ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ☐ Keep site free of litter (e.g. lunch items, cigarette butts).
- ☐ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



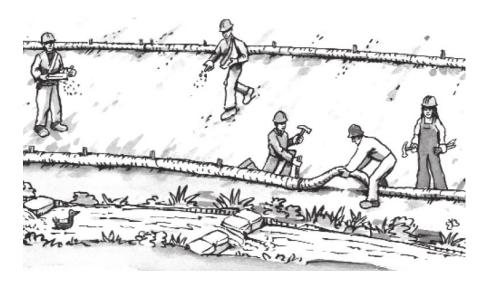
Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite

Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ☐ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ☐ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazrd to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

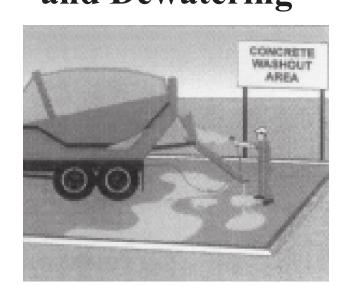
Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.
- ☐ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not distrurbed by construction activities.

Landscaping

- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- ☐ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ☐ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



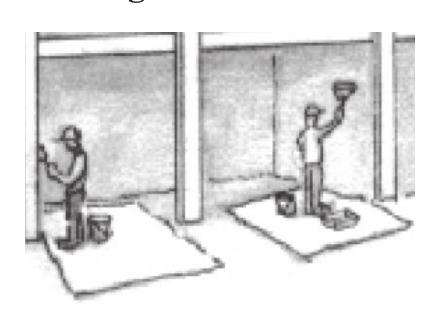
Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ☐ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- ☐ Protect storm drain inlets during saw cutting.
- ☐ If saw cut slurry enters a catch basin, clean it up immediately.
- ☐ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer.

 Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste.

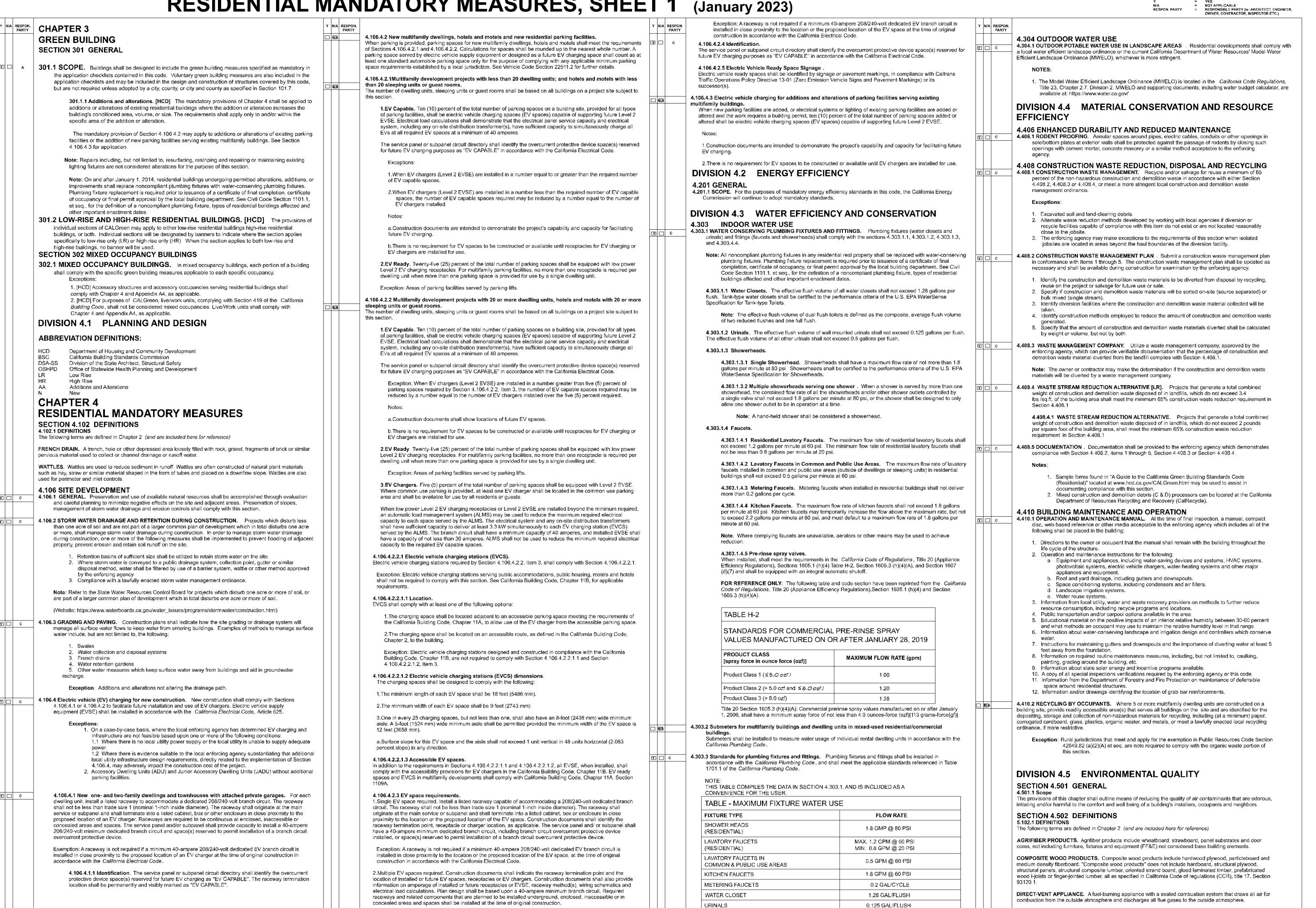
 Lead based paint removal requires a statecertified contractor.



Storm drain polluters may be liable for fines of up to \$10,000 per day!

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)



DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

REVISIONS BY Friday, November 3, 2023

A = ARCHITECT

C = CONTRACTOR

ON THESE DRAWINGS ARE THE PROPERT OF THE DESIGNER. DEVISED SOLEY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN

PERMISSION MEGAN MINER DESIGN.

ct roj

CHECKED

DATE Friday, November 3, 2023

SCALE AS SHOWN

JOB NO.

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

N/A RESPO				N/A RESPON. PARTY		
1 1	IRIT					
				_	TABLE 4 FOA 2 PEALANT VOC LIMIT	
c	c MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum chan compound to the "Base Reactive Organic Gas (ROG) Mixture" per wei	nge in weight of ozone formed by adding a			TABLE 4.504.2 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams	por Litor)
	hundredths of a gram (g O ³ /g ROC). Note: MIR values for individual compounds and hydrocarbon solvents				SEALANTS	VOC LIMIT
	and 94701.	are specified in CCR, Tide 17, Sections 94700			ARCHITECTURAL	250
	MOISTURE CONTENT. The weight of the water in wood expressed in	n percentage of the weight of the oven-dry wood.			MARINE DECK	760
	PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR	for all ingredients in a product subject to this			NONMEMBRANE ROOF	300
	article. The PWMIR is the total product reactivity expressed to hundred product (excluding container and packaging).	dths of a gram of ozone formed per gram of			ROADWAY	250
	Note: PWMIR is calculated according to equations found in CCR, Title	17, Section 94521 (a).			SINGLE-PLY ROOF MEMBRANE	450
	REACTIVE ORGANIC COMPOUND (ROC). Any compound that has	the potential, once emitted, to contribute to			OTHER	420
	ozone formation in the troposphere.				SEALANT PRIMERS	
	VOC. A volatile organic compound (VOC) broadly defined as a chemic with vapor pressures greater than 0.1 millimeters of mercury at room t				ARCHITECTURAL	
	hydrogen and may contain oxygen, nitrogen and other elements. See				NON-POROUS	250
	4.503 FIREPLACES				POROUS	775
□ c	4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent woodstove or pellet stove shall comply with U.S. EPA New Source Pel	sealed-combustion type. Any installed rformance Standards (NSPS) emission limits as			MODIFIED BITUMINOUS	500
	applicable, and shall have a permanent label indicating they are certifi- pellet stoves and fireplaces shall also comply with applicable local ordi	ed to meet the emission limits. Woodstoves,			MARINE DECK	760
		mances.			OTHER	750
□ c	c 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MED CONSTRUCTION. At the time of rough installation, during stor					
	startup of the heating, cooling and ventilating equipment, all due openings shall be covered with tape, plastic, sheet metal or other to reduce the amount of water, dust or debris which may enter the system.	ct and other related air distribution component er methods acceptable to the enforcing agency				
c	4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materia	als shall comply with this section.			TABLE 4.504.3 - VOC CONTENT LIM	ITS FOR
□ c	c 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealar requirements of the following standards unless more stringent to				ARCHITECTURAL COATINGS 2.3	
	management district rules apply:	ocar or regional air poliution or air quality			GRAMS OF VOC PER LITER OF COATING, LESS	WATER & LESS EXE
	Adhesives, adhesive bonding primers, adhesive prime				COMPOUNDS	<u> </u>
	shall comply with local or regional air pollution control applicable or SCAQMD Rule 1168 VOC limits, as sho	I or air quality management district rules where			COATING CATEGORY	VOC LIMIT
	Such products also shall comply with the Rule 1168 p	prohibition on the use of certain toxic			FLAT COATINGS	50
	tricloroethylene), except for aerosol products, as spec				NON-FLAT COATINGS	100
	Aerosol adhesives, and smaller unit sizes of adhesives.				NONFLAT-HIGH GLOSS COATINGS	150
	units of product, less packaging, which do not weigh than 16 fluid ounces) shall comply with statewide VO				SPECIALTY COATINGS	
	prohibitions on use of certain toxic compounds, of Commencing with section 94507.				ALUMINUM ROOF COATINGS	400
					BASEMENT SPECIALTY COATINGS	400
□ c	the ARB Architectural Suggested Control Measure, as shown in	Table 4.504.3, unless more stringent local limits			BITUMINOUS ROOF COATINGS	50
	apply. The VOC content limit for coatings that do not meet the collisted in Table 4.504.3 shall be determined by classifying the coa				BITUMINOUS ROOF PRIMERS	350
	coating, based on its gloss, as defined in subsections 4.21, 4.36	6, and 4.37 of the 2007 California Air Resources			BOND BREAKERS	350
				CONCRETE CURING COMPOUNDS	350	
□ c					CONCRETE/MASONRY SEALERS	100
	Limits for ROC in Section 94522(a)(2) and other requirements, i compounds and ozone depleting substances, in Sections 94522				DRIVEWAY SEALERS	50
	Regulations, Title 17, commencing with Section 94520; and in a Quality Management District additionally comply with the percer	areas under the jurisdiction of the Bay Area Air			DRY FOG COATINGS	150
	8, Rule 49.	in voo by weight of product infines of regulation			FAUX FINISHING COATINGS FIRE RESISTIVE COATINGS	350 350
□ c					FLOOR COATINGS	100
	enforcing agency. Documentation may include, but is not limited	d to, the following:			FORM-RELEASE COMPOUNDS	250
	 Manufacturer's product specification. Field verification of on-site product containers. 				GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
					HIGH TEMPERATURE COATINGS	420
					INDUSTRIAL MAINTENANCE COATINGS	250
	TABLE 4.504.1 - ADHESIVE VOC LIMI	T 1,2			LOW SOLIDS COATINGS 1	120
	(Less Water and Less Exempt Compounds in Grams	s per Liter)			MAGNESITE CEMENT COATINGS	450
	ARCHITECTURAL APPLICATIONS	VOC LIMIT			MASTIC TEXTURE COATINGS	100
	INDOOR CARPET ADHESIVES	50			METALLIC PIGMENTED COATINGS	500
	CARPET PAD ADHESIVES	50			MULTICOLOR COATINGS	250
	OUTDOOR CARPET ADHESIVES	150			PRETREATMENT WASH PRIMERS	420
	WOOD FLOORING ADHESIVES	100			PRIMERS, SEALERS, & UNDERCOATERS	100
	RUBBER FLOOR ADHESIVES	60			REACTIVE PENETRATING SEALERS	350
	SUBFLOOR ADHESIVES	50			RECYCLED COATINGS	250
	CERAMIC TILE ADHESIVES	65			ROOF COATINGS	50
	VCT & ASPHALT TILE ADHESIVES	50			RUST PREVENTATIVE COATINGS	250
	VOT & ASPITALI TILL ADTILSTVES				SHELLACS	200
	DRYWALL & PANEL ADHESIVES	50			CLEAR	
		50 50			ICLEAR	730
	DRYWALL & PANEL ADHESIVES					730 550
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES	50			OPAQUE SPECIALTY PRIMERS, SEALERS &	550
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE	50 70			OPAQUE	
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES	50 70 100			OPAQUE SPECIALTY PRIMERS, SEALERS &	550
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES	50 70 100 250			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	550 100
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED	50 70 100 250			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS	550 100 250
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS	50 70 100 250 50			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS	550 100 250 450
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING	50 70 100 250 50			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS	550 100 250 450 340
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING	50 70 100 250 50 510 490			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS	550 100 250 450 340 100
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING	50 70 100 250 50 510 490 325			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS	550 100 250 450 340 100 420
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING	50 70 100 250 50 510 490 325 250			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES	550 100 250 450 340 100 420 250
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC	50 70 100 250 50 510 490 325 250 550			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS	550 100 250 450 340 100 420 250 275
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE	50 70 100 250 50 510 490 325 250 550 80			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS WOOD PRESERVATIVES ZINC-RICH PRIMERS 1. GRAMS OF VOC PER LITER OF COATING, IN	550 100 250 450 340 100 420 250 275 350 340
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE	50 70 100 250 50 510 490 325 250 550 80 250			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS WOOD PRESERVATIVES ZINC-RICH PRIMERS 1. GRAMS OF VOC PER LITER OF COATING, IN EXEMPT COMPOUNDS	550 100 250 450 340 100 420 250 275 350 340 CLUDING WATER &
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE	50 70 100 250 50 510 490 325 250 550 80 250 140			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS WOOD PRESERVATIVES ZINC-RICH PRIMERS 1. GRAMS OF VOC PER LITER OF COATING, IN	550 100 250 450 340 100 420 250 275 350 340 CLUDING WATER &
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE TOP & TRIM ADHESIVE	50 70 100 250 50 510 490 325 250 550 80 250 140			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS WOOD PRESERVATIVES ZINC-RICH PRIMERS 1. GRAMS OF VOC PER LITER OF COATING, IN EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT IN ARE LISTED IN SUBSEQUENT COLUMNS IN THE SUBSEQUENT COLUMNS IN THE STABLE ARE DERIVED FROM	550 100 250 450 340 100 420 250 275 350 340 CLUDING WATER & JNLESS REVISED LIFE TABLE.
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE TOP & TRIM ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS	50 70 100 250 50 510 490 325 250 550 80 250 140 250			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS WOOD PRESERVATIVES ZINC-RICH PRIMERS 1. GRAMS OF VOC PER LITER OF COATING, IN EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT IN ARE LISTED IN SUBSEQUENT COLUMNS IN THE CALIFORNIA AIR RESOURCES BOARD, ARE	550 100 250 450 340 100 420 250 275 350 340 CLUDING WATER & JNLESS REVISED LIME TABLE. THOSE SPECIFIED RECHITECTURAL COAT
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE TOP & TRIM ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS METAL TO METAL	50 70 100 250 50 510 490 325 250 550 80 250 140 250			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS WOOD PRESERVATIVES ZINC-RICH PRIMERS 1. GRAMS OF VOC PER LITER OF COATING, IN EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT IN ARE LISTED IN SUBSEQUENT COLUMNS IN THE SUBSEQUENT COLUMNS IN THE STABLE ARE DERIVED FROM	550 100 250 450 340 100 420 250 275 350 340 CLUDING WATER & JNLESS REVISED LIME TABLE. THOSE SPECIFIED ECHITECTURAL COAT 8. MORE INFORMATI
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE TOP & TRIM ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS METAL TO METAL PLASTIC FOAMS	50 70 100 250 50 510 490 325 250 550 80 250 140 250 30 50			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS WOOD PRESERVATIVES ZINC-RICH PRIMERS 1. GRAMS OF VOC PER LITER OF COATING, IN EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT IN ARE LISTED IN SUBSEQUENT COLUMNS IN THE CALIFORNIA AIR RESOURCES BOARD, AR SUGGESTED CONTROL MEASURE, FEB. 1, 200	550 100 250 450 340 100 420 250 275 350 340 CLUDING WATER & JNLESS REVISED LIME TABLE. THOSE SPECIFIED ECHITECTURAL COAT 8. MORE INFORMATI
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE TOP & TRIM ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS METAL TO METAL PLASTIC FOAMS POROUS MATERIAL (EXCEPT WOOD)	50 70 100 250 50 510 490 325 250 550 80 250 140 250 30 50			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS WOOD PRESERVATIVES ZINC-RICH PRIMERS 1. GRAMS OF VOC PER LITER OF COATING, IN EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT IN ARE LISTED IN SUBSEQUENT COLUMNS IN THE CALIFORNIA AIR RESOURCES BOARD, AR SUGGESTED CONTROL MEASURE, FEB. 1, 200	550 100 250 450 340 100 420 250 275 350 340 CLUDING WATER & JNLESS REVISED LE TABLE. THOSE SPECIFIED CHITECTURAL COA8. MORE INFORMA
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE TOP & TRIM ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS METAL TO METAL PLASTIC FOAMS POROUS MATERIAL (EXCEPT WOOD) WOOD	50 70 100 250 50 510 490 325 250 550 80 250 140 250 30 50 30			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS WOOD PRESERVATIVES ZINC-RICH PRIMERS 1. GRAMS OF VOC PER LITER OF COATING, IN EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT IN ARE LISTED IN SUBSEQUENT COLUMNS IN THE CALIFORNIA AIR RESOURCES BOARD, AR SUGGESTED CONTROL MEASURE, FEB. 1, 200	550 100 250 450 340 100 420 250 275 350 340 CLUDING WATER & JNLESS REVISED LIE TABLE. THOSE SPECIFIED CHITECTURAL COA' 8. MORE INFORMAT
	DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE TOP & TRIM ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS METAL TO METAL PLASTIC FOAMS POROUS MATERIAL (EXCEPT WOOD) WOOD	50 70 100 250 50 510 490 325 250 550 80 250 140 250 30 50 30 80			OPAQUE SPECIALTY PRIMERS, SEALERS & UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COATINGS TRAFFIC MARKING COATINGS TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS WOOD PRESERVATIVES ZINC-RICH PRIMERS 1. GRAMS OF VOC PER LITER OF COATING, IN EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT IN ARE LISTED IN SUBSEQUENT COLUMNS IN THE CALIFORNIA AIR RESOURCES BOARD, AR SUGGESTED CONTROL MEASURE, FEB. 1, 200	550 100 250 450 340 100 420 250 275 350 340 CLUDING WATER & JNLESS REVISED I E TABLE. THOSE SPECIFIED CHITECTURAL COM 8. MORE INFORMA

THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

QUALITY MANAGEMENT DISTRICT RULE 1168.

// \\/			
(Less Water and Less Exempt Compounds in Grams per Liter)			
SEALANTS	VOC LIMIT		
ARCHITECTURAL	250		
MARINE DECK	760		
NONMEMBRANE ROOF	300		
ROADWAY	250		
SINGLE-PLY ROOF MEMBRANE	450		
OTHER	420		
SEALANT PRIMERS			
ARCHITECTURAL			
NON-POROUS	250		
POROUS	775		
MODIFIED BITUMINOUS	500		
MARINE DECK	760		
OTHER	750		

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS 1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	700
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340
1. GRAMS OF VOC PER LITER OF COATING, I	NCLUDING WATER &
EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT	FIINI ESS DEVISED I IMITS

		MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION			
		PRODUCT	CURRENT LIMIT		
		HARDWOOD PLYWOOD VENEER CORE	0.05		
		HARDWOOD PLYWOOD COMPOSITE CORE	0.05		
		PARTICLE BOARD	0.09		
		MEDIUM DENSITY FIBERBOARD	0.11		
		THIN MEDIUM DENSITY FIBERBOARD 2	0.13		
	1. VALUES IN THIS TABLE ARE DERIVED FROM BY THE CALIF. AIR RESOURCES BOARD, AIR THE MEASURE FOR COMPOSITE WOOD AS TESTE WITH ASTM E 1333. FOR ADDITIONAL INFORM CODE OF REGULATIONS, TITLE 17, SECTIONS 93120.12.	OXICS CONTROL IN ACCORDANCE ATION, SEE CALIF.			
		2. THIN MEDIUM DENSITY FIBERBOARD HAS A THICKNESS OF 5/16" (8 MM).	MAXIMUM		

Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. 4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for

formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.),

by or before the dates specified in those sections, as shown in Table 4.504.5 **4.504.5.1 Documentation.** Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1 Product certifications and specifications

4.506 INDOOR AIR QUALITY AND EXHAUST

2. Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see

CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.

5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,

ACI 302.2R-06. 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end

3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.

2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a a. Humidity controls shall be capable of adjustment between a relative humidity range less than or

equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.

2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential

Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.

3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper

installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or

Examples of acceptable HVAC training and certification programs include but are not limited to the following:

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be

considered by the enforcing agency when evaluating the qualifications of a special inspector:

project they are inspecting for compliance with this code.

shall be closely related to the primary job function, as determined by the local agency.

1. Certification by a national or regional green building program or standard publisher.

3. Successful completion of a third party apprentice training program in the appropriate trade.

homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with

this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a

recognized state, national or international association, as determined by the local agency. The area of certification

Note: Special inspectors shall be independent entities with no financial interest in the materials or the

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not

limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other

documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in

methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific

certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.

3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.

2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building

1. Special inspectors shall be independent entities with no financial interest in the materials or the

2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate

CHAPTER 7

702 QUALIFICATIONS

1. State certified apprenticeship programs. 2. Public utility training programs.

4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

performance contractors, and home energy auditors.

4. Other programs acceptable to the enforcing agency.

project they are inspecting for compliance with this code.

the appropriate section or identified applicable checklist.

703 VERIFICATIONS

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER

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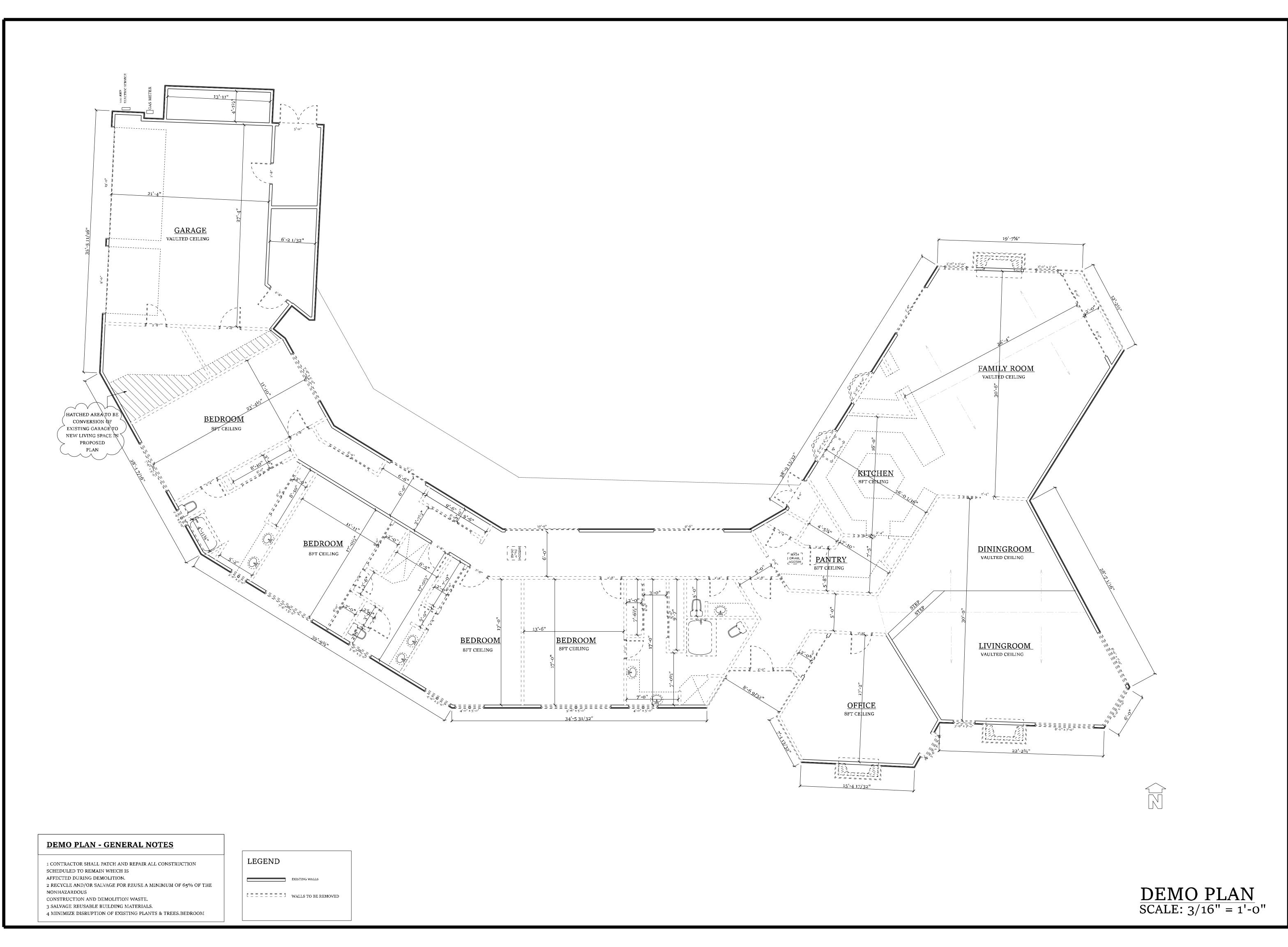
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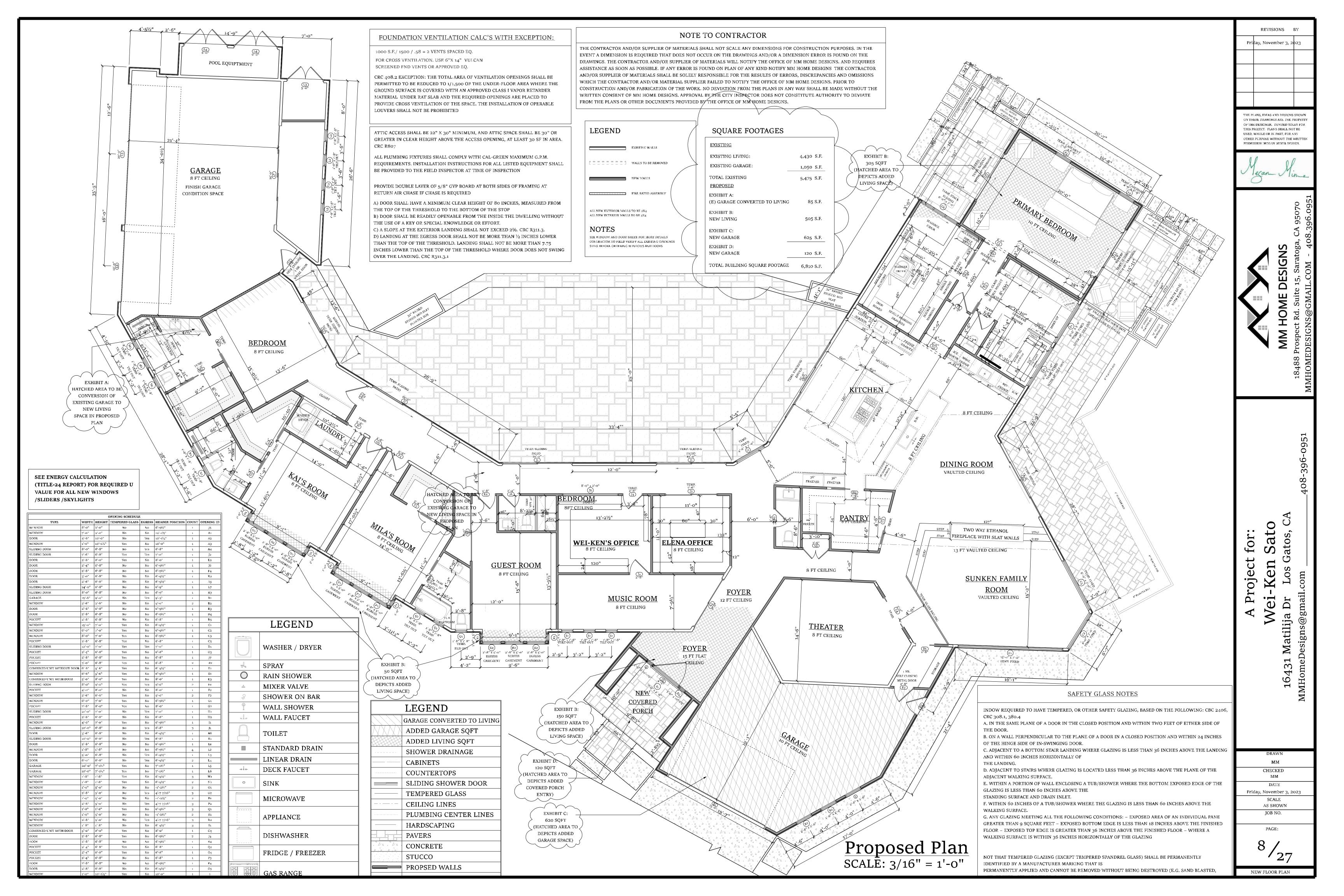
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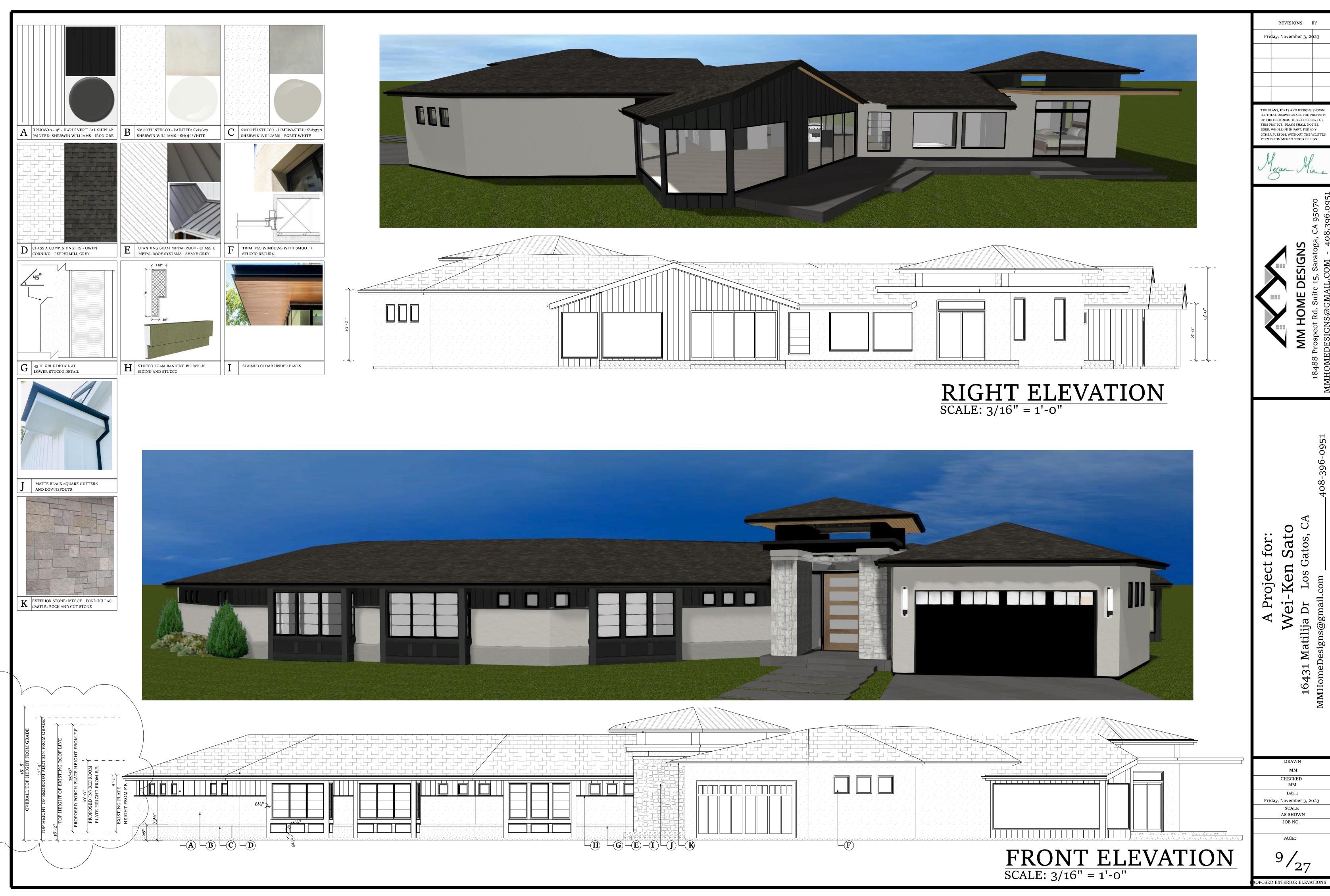
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DEMO FLOOR PLAN





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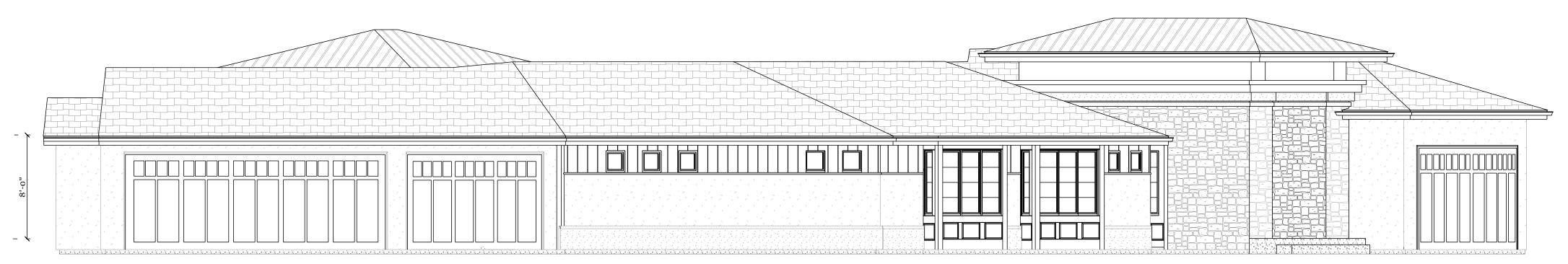
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REAR ELEVATION
SCALE: 3/16" = 1'-0"





LEFT ELEVATION
SCALE: 3/16" = 1'-0"

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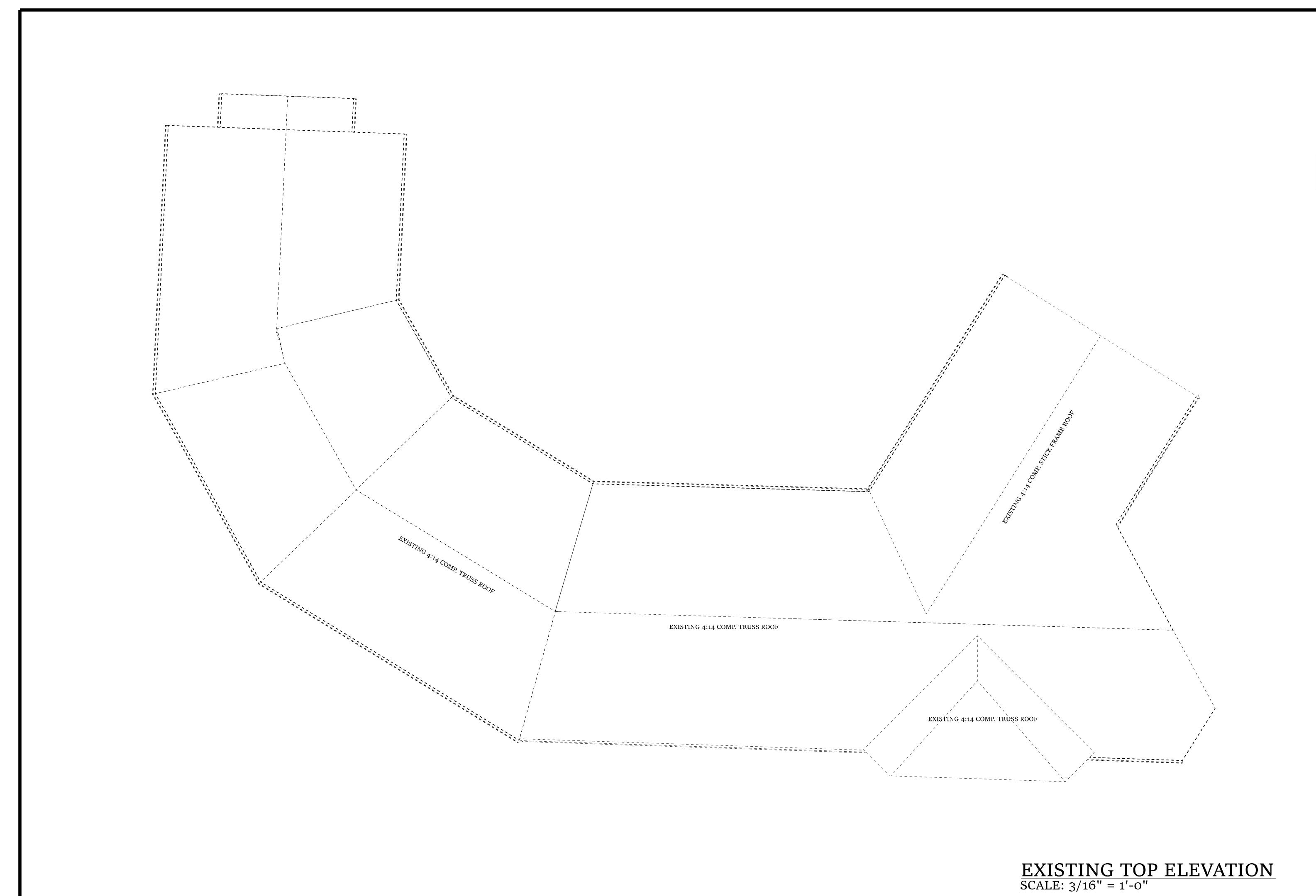
Ken Sato Los Gatos, CA A Project for:

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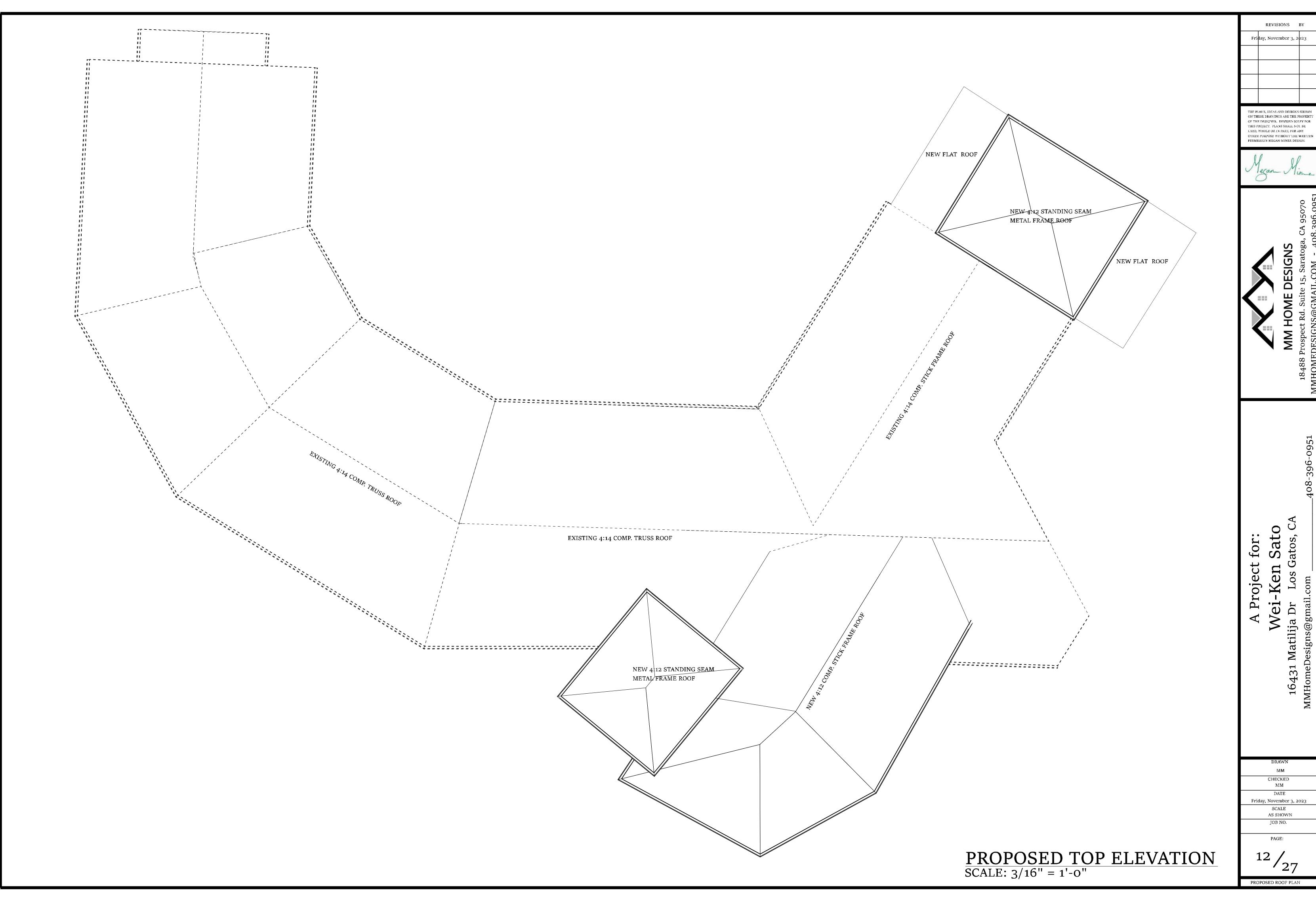
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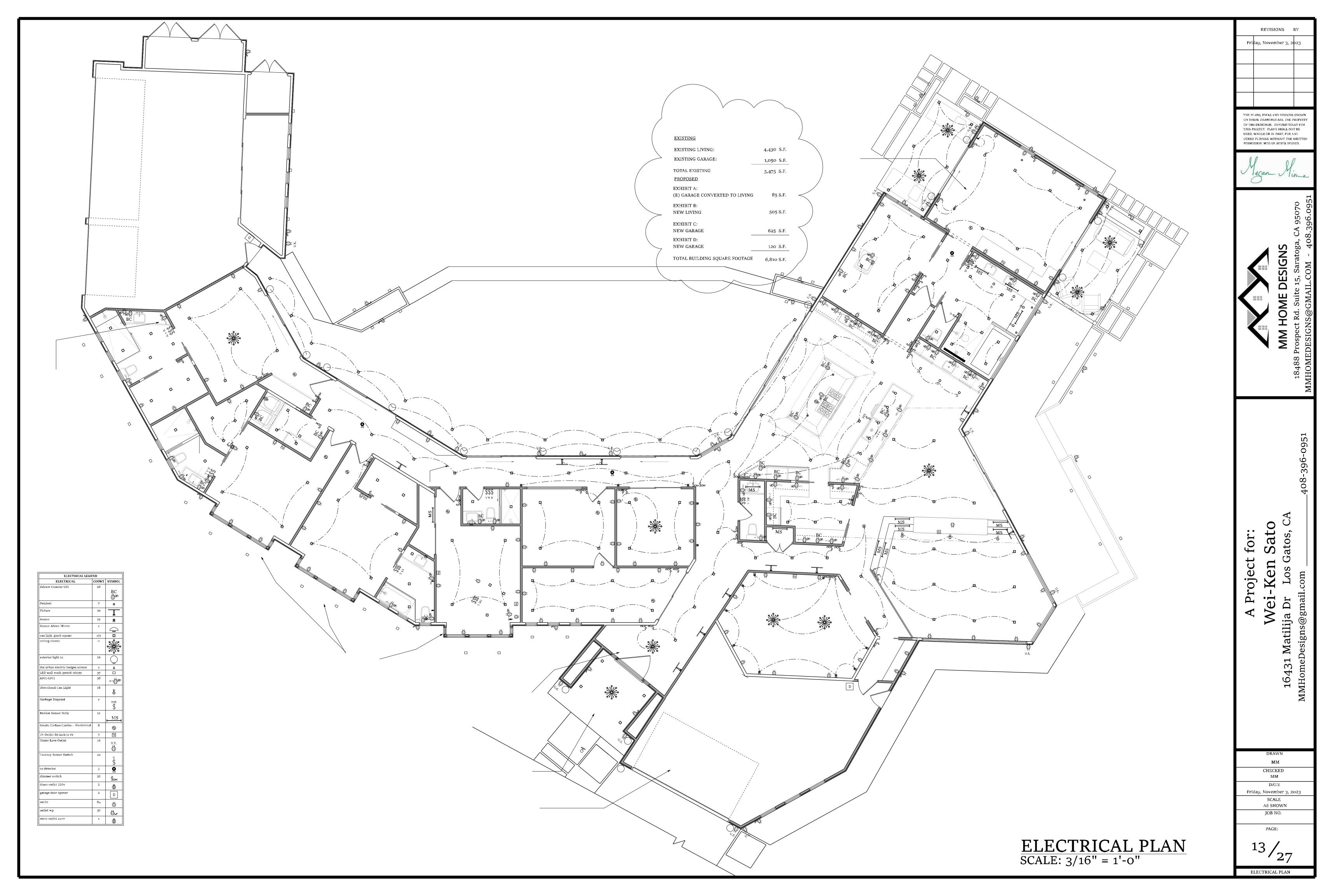
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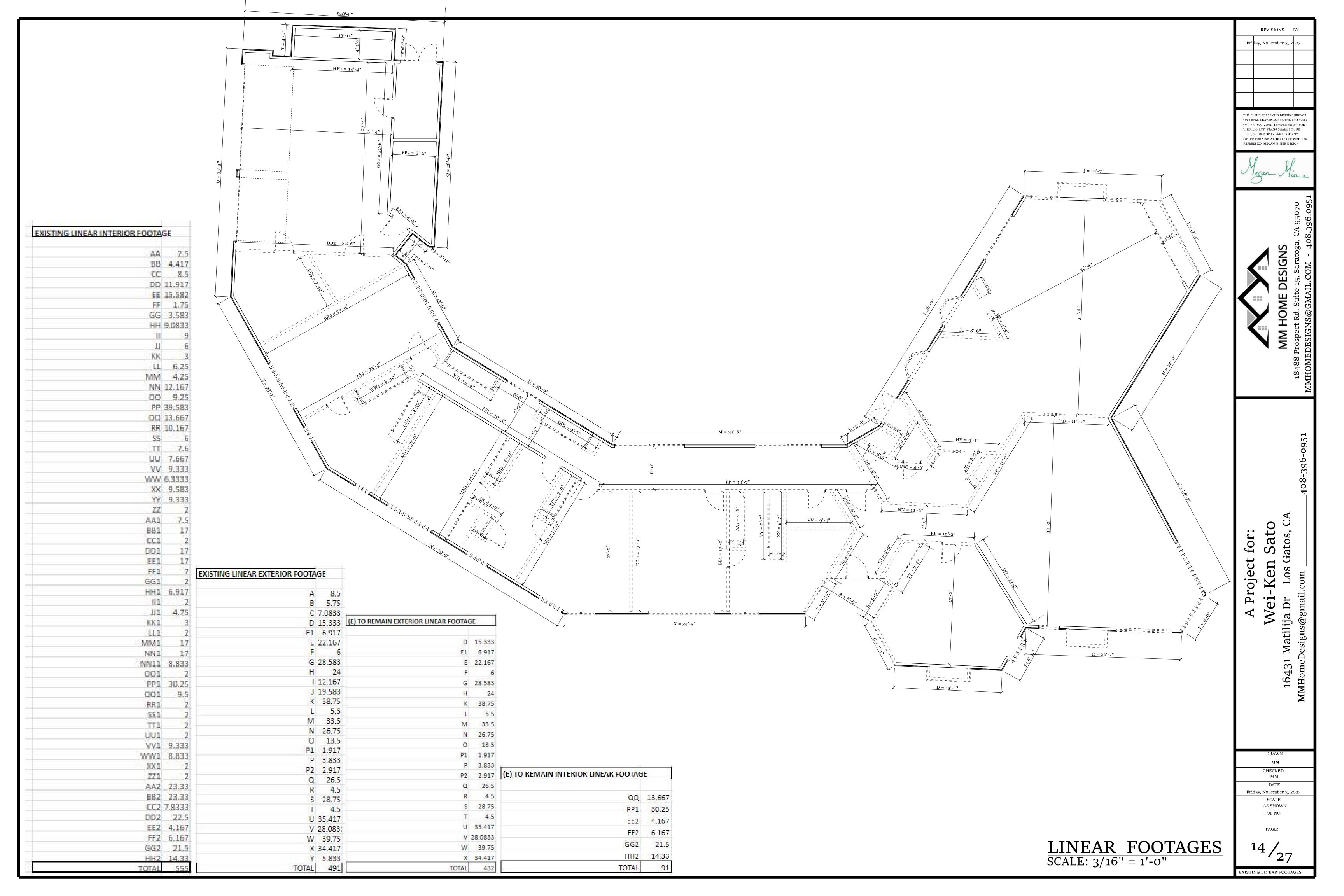


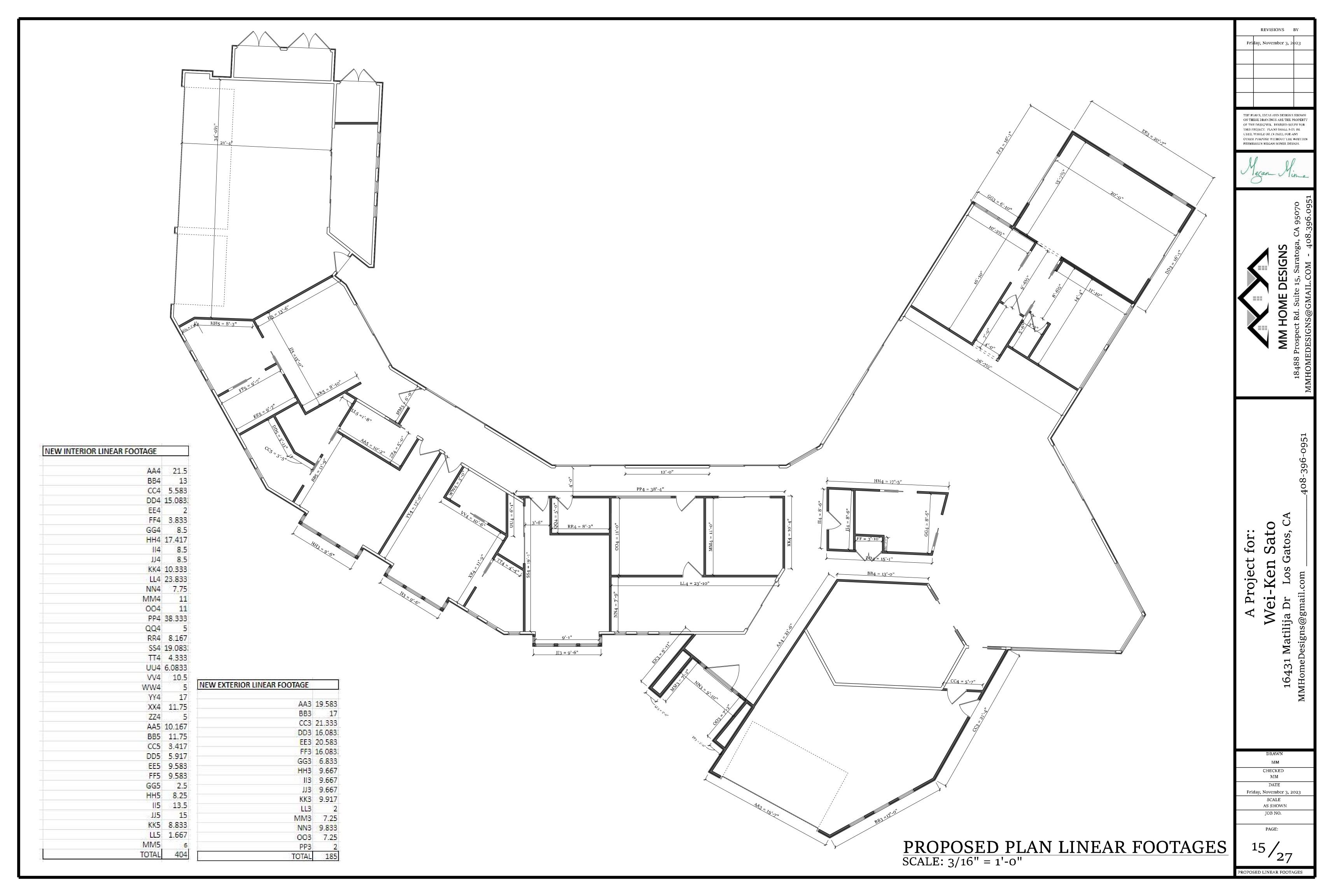
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GENERAL ELECTRICAL NOTES

1. ALL OUTLETS WITHIN 6'-O" OF ANY SINK OR WET LOCATION TO BE GFI PROTECTED

2. AT LEAST ONE RECEPTACLE MUST BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING UNIT, AND BE LISTED AS WEATHER TYPE RECEPTACLE.

3. AT LEAST ONE GENERAL PURPOSE RECEPTACLE MUST BE INSTALLED WITHIN EACH BASEMENT, ATTACHED GARAGE, DETACHED GARAGE WITH ELECTRICAL POWER AND HALLWAYS 10' OR MORE IN LENGTH. ALL GARAGE OUTLETS TO BE GFI

4. OWNER TO SELECT AND COORDINATE WITH CONTRACTOR ALL ELECTRICAL FIXTURES, EQUIPMENT AND DEVICES, INCLUDING SWITCHES AND OUTLETS NOT OTHERWISE SPECIFIED.

5. FIELD VERIFY LOCATION OF ALL OUTLETS, LIGHTS, TELEPHONE, CABLE JACKS AND ELECTRICAL EQUIPMENT WITH OWNER.

6. GENERAL LIGHTING MUST BE HIGH EFFICACY AND ON A DIMMER OR MANUAL ON-OCCUPANCY SENSOR. LUMINAIRES WITH INTEGRAL SOURCES AND CHANGEABLE LAMPS MUST BE CEC CERTIFIED AS MEETING THE REQUIREMENTS OF IAS, LIGHTING AT NEW CLOSETS UNDER 70 SE IS EXEMPT FROM THIS REQUIREMENT

7. NEW OUTDOOR LIGHTING ATTACHED TO BUILDINGS SHALL BE HIGH EFFICACY OR CONTROLLED BY BOTH A MOTION SENSOR AND PHOTO CONTROL. LIGHTING NOT ATTACHED TO THE BUILDING (I.E. LANDSCAPE LIGHTING IS EXEMPT FROM THIS REQUIREMENT

8. NEW EXTERIOR ELECTRICAL FIXTURES TO BE SUITABLE FOR WET LOCATIONS

9. ALL CAN LIGHTS TO BE IC & AT RATED.

10. ALL NEW EXTERIOR OUTLETS TO BE GFI PROTECTED AND INSTALLED IN A WEATHER PROOF BOX

11. REOUIRED NEW EXTERIOR OUTLETS TO BE WITHIN 6'-6" OF FINISH GRADE

AREAS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER. CEC 210.12

12. ALL REQ. 15/20 AMP RECEPTACLES LISTED IN SECTION 210.52, SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER CEC 406.11

13. NEW OUTLETS AT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR

14. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS OVER 6° FROM THE RECEPTACLE. THIS ALLOWS FOR A MAX OF 12' BETWEEN RECEPTACLES ON THE SAME WALL AND ON ANY WALL SPACE 2' OR MORE.

5. GARAGE, LAUNDRY, AND UTILITY ROOM LIGHTS ARE TO BE HIGH EFFICACY LUMINARIES AND CONTROLLED BY A VACANCY SENSOR (MANUAL - ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 110.9(B) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON).

16. SMOKE DETECTORS TO BE AC/DC WITH A BATTERY BACK UP AND LOCATED WITHIN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED OUTSIDE EACH SLEEPING ROOM, ON EACH FLOOR OF THE DWELLING INCLUDING BASEMENTS

17. ALL FLOOR LEVELS SHALL HAVE A SMOKE DETECTOR AND SHALL BE INTERCONNECTED, UL LISTED & CALIF. STATE FIRE MARSHALL APPROVED.

18. CARBON MONOXIDE DETECTORS SHALL BE LOCATED AT A POINT CENTRALLY LOCATED OUTSIDE EACH SLEEPING ROOM AND ON EACH LEVEL OF THE DWELLING, INCLUDING BASEMENTS

19. AN APPROVED, INDEPENDENT MEANS OF DISCONNECT FOR THE ELECTRICAL SUPPLY TO EACH PIECE OF EQUIPMENT SHALL BE PROVIDED WITHIN SIGHT OF THE EQUIPMENT SERVED WHEN THE SUPPLY VOLTAGE EXCEEDS 300 VOLTS. FOR CORD-AND-PLUG-CONNECTED APPLIANCES, AN ACCESSIBLE SEPARABLE CONNECTOR OR AN ACCESSIBLE PLUG AND RECEPTACLE COMBINATION SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS. THE ATTACHMENT FITTING SHALL BE A FACTORY INSTALLED PART OF THE APPLIANCE AND SUITABLE FOR DISCONNECTION OF THE APPLIANCE. WHERE THE SEPARABLE CONNECTOR OR PLUG AND RECEPTACLE COMBINATION ARE NOT ACCESSIBLE, CORD-AND-PLUG-CONNECTED OR ATTACHMENT FITTING-AND-PLUG-CONNECTED APPLIANCES SHALL BE PROVIDED WITH DISCONNECTING MEANS IN ACCORDANCE WITH 422.31.(CMC 308, CEC 422.31(B), CEC 422.33(A))

20. A DEDICATED CIRCUIT SHALL BE PROVIDED FOR THE FURNACE. (CEC 422.12)

21. A 120 VOLT SERVICE RECEPTACLE SHALL BE LOCATED WITHIN 25 FEET OF, AND ON THE SAME LEVEL AS, THE EQUIPMENT FOR MAINTENANCE. THE SERVICE RECEPTACLE SHALL NOT BE CONNECTED ON THE LOAD SIDE OF THE REQUIRED MEANS OF DISCONNECT.

22. A PERMANENT SWITCH CONTROLLED LIGHTING FIXTURE SHALL BE INSTALLED FOR MAINTENANCE OF EQUIPMENT AND SHALL BE ACCESSIBLE. SUCH FIXTURE SHALL PROVIDE SUFFICIENT ILLUMINATION TO SAFELY APPROACH THE EQUIPMENT AND PERFORM THE TASKS FOR WHICH THE ACCESS IS PROVIDED. CONTROL OF THE LIGHTING SHALL BE PROVIDE AT THE ACCESS ENTRANCE.

23. LIGHTING NOT AUTOMATICALLY CLASSIFIED AS HIGH EFFICACY BY THE CA ENERGY COMMISSION IS TO HAVE A LIGHT SOURCE OR LAMP INSTALLED IN THEM AT THE TIME OF INSPECTION THAT MEETS THE REQUIREMENTS OF JOINT APPENDIX JAS.

24. NEW LIGHTING FIXTURES IN CLOSETS TO HAVE THE FOLLOWING CLEARANCE TO COMBUSTIBLE SHELVES:

A. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE 12" CLEAR AND ENCLOSED LAME

B. FLUORESCENT & RECESSED FIXTURES TO HAVE MIN. 6" CLEARANCE

25. THE CARBON MONOXIDE ALARMS TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. (CRC R315.5)

26. ALL LIGHTING MUST BE HIGH EFFICACY. ALL LIGHT FIXTURES SHALL BE TITLE 20 COMPLIANT. ALL LIGHTS THROUGHOUT THE RESIDENCE, INCLUDING EXTERIORS SHALL BE HIGH EFFICACY (CENC 150.0(K)1A).

27. ALL LIGHTS SHALL BE LED LITHTING FIXTURES AND CONTROLLED WITH DIMMER SWITCHING. EXCEPTIONS ARE PROVIDED FOR CLOSETS SMALLER THAN 70 SQFT IN FLOOR AREA AND LIGHT FIXTURES FOR HALLWAYS. (CA ENERTY 150.O(K)2). BATHROOMS SHALL HAVE DIMMER AND VACANCY SENSORS.

28. RECESSED DOWNLIGTING IS TO CONTAIN LIGHT SOURCES THAT ARE JA8-CERTIFIED, SHALL NOT CONTAIN SCREW BASED LAMPS AND SHALL NOT CONTAIN LIGHT SOURCES THAT ARE LABELED "NOT FOR USE IN ENCLOSED FIXTURES" OR "NOT FOR USE IN RECESSED FIXTURES", THEY SHALL BE LISTED FOR ZERO CLEARANCE, HAVE A LABEL THAT CERTIFIES THE LUMINAIRE AS AIRTIGHT WHEN TESTED IN ACCORDANCE WITH ASTM E283 (WITH EXCEPTION OF EXHAUST FAN HOUSINGS) AND BE READILY ACCESSIBLE FOR BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT.

29. INSTALL AIRSCAPE 4.4E WHF WHOLE HOUSE FAN @ (57 CFM MIN.) AS PER MANUF SPECS OR APPROVED EQ.

30. PLAN DRAWINGS ARE FOR LAYOUT PURPOSES ONLY. EXACT FIXTURE AND RECEPTACLE LOCATIONS ARE TO BE DETERMINED ON SITE BY ELECTRICIAN AND VERIFIED BY OWNER.

31. CARBON MONOXIDE ALARMS: INSTALL PER CRC R315 AND INTERCONNECT WITH SMOKE DETECTORS. CARBON MONOXIDE ALARMS SHALL BE "LISTED" AS COMPLYING WITH US 2034 AND UL 2075. CRC R 315.3.

32. A COMPLETED CF2R-LTG-01-E FORM MUST BE PROVIDED TO THE CITY BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.

33. THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN FIVE FEET ABOVE THE FINISH FLOOR SHALL BE LIMITED TO NO MORE THAN THE NUMBER OF BEDROOMS. THESE BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL. (CEC 150.K.B).

34. RECESSED LIGHTING FIXTURES SHALL MEET ALL OF THE FOLLOWING:

A)LISTED FOR ZERO CLEARANCE INSULATION CONTACT

B)BE RATED AS AIR-TIGHT C)BE SEALED WITH A GASKET OR CAULK

D)BE READILY ACCESSIBLE FROM BELOW AT LUMINAIRES WITH HARDWIRED BALLASTS OR DRIVERS

E)NOT CONTAIN SCREW BASE SOCKETS F)CONTAIN LIGIIT SOURCES COMPLYING WITH REFERENCES JOINT APPENDIX JA8 AND MARKED "JA8-2019" OR JA8-2019-E"

35. SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8

COMPLIANT LIGHT SOURCES MUS BE MARKED AS "JA8-2019" OR" JA8-2019-E". (CEC 150.K.1.G)

36. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. (CEC 150.K.2.B).

37. JAS COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS (CEC 150.K.2.K)

A. CEILING RECESSED DOWNLIGHT LUMINAIRES B, LED LUMINAIRES WITH INTEGRAL SOURCES

C. PIN-BASED LED LAMPS (I.E. MR16, AR-111, ETC.)

D. GU-24 BASED LIGHT SOURCES E. PULSE-START MH

38. UNDERCABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS. (CEC 150.K.2.L)

39. ALL ELECTRICAL SHALL COMPLY WITH CA TITLE-24 ENERGY ODE AND OTHER REFERENCE CODES LISTED ON THE COVER SHEET. REFER TO PROJECT ENERGY COMPLIANCE REPORT AND CALGREEN MANDATORY MEASURES FOR INFORMATION, CONTRACTOR SHALL VERIFY COMPLIANCE OF FIXTURES AND EQUIPMENT PRIOR TO ORDERING.

40. CONTRACTOR SHALL CONDUCT AN ELECTRICAL PRE-WIRE WALK-THROUGH WITH OWNER AND ELECTRICAL CONTRACTOR TO VERIFY LOCATION OF FIXTURES, LIGHTS, RECEPTACLES, SWITCHES, AND LIGHTED MIRRORS.

41. PROVIDE SETBACK THERMOSTATS THAT ALLOW MINIMUM FOUR SETTINGS WITHIN A 24 HOUR PERIOD PER CEEC 150(1). 112(C), MANDATORY FEATURES FOR ENERGY COMPLIANCE.

42. CONTRACTOR TO VERIFY LOCATION OF DOOR BELL CHIME

43. WALL SWITCHES TO BE LOCATED 42" ABOVE FINISH FLOOR, TYP., U.N.O.

GENERAL ELECTRICAL NOTES CONTINUED

44. ARC-FAULT PROTECTION IS REQUIRED FOR ALL CIRCUITS SERVING DWELLING UNIT KITCHENS, FAMILY ROOMS, KITCHENS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS. (CCEC 210.12)

45. PROVIDE A DEDICATED 20 AMP CIRCUIT FOR THE FURNACE AND PROVIDE A RECEPTACLE WITHIN 25'.

46. ALL NEW BEDROOM OUTLETS (RECEPTACLES, SWITCHES, LIGHTING, ETC.) SHALL BE ON CIRCUITS PROTECTED WTH A COMBINATION ARC-FAULT CIRCUIT INTERRUPTER.

KITCHEN ELECTRICAL NOTES

1. PROVIDE DEDICATED CIRCUITS FOR: DISHWASHER, GARBAGE DISPOSAL, TRASH COMPACTOR AND BUILT IN MICROWAVE

2. PROVIDE COUNTER TOP OUTLETS AT 48" OC MAX

3. KITCHEN LIGHTING MUST BE HIGH EFFICACY AND BE ON A DIMMER SWITCH

4, TWO OR MORE 20-AMP SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE RECEPTACLE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS. NOTE: THESE CIRCUITS CANNOT SERVE OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHER, OR MICROWAVES ONLY THE REQUIRED COUNTERTOP/WALL OUTLETS INCLUDING THE REFRIGERATOR.

5. WALL COUNTER SPACES:

A. A RECEPTACLE SHALL BE INSTALLED FOR ANY COUNTER THAT IS 12" WIDE OR GREATER B. NO POINT ON THE KITCHEN COUNTER, MEASURED AT THE WALL MAY BE MORE THAT 24" AWAY FROM A RECEPTACLE

6. RECEPTACLE REQUIREMENTS FOR ISLAND AND PENINSULAR COUNTER SPACES:

A. AT LEAST ONE RECEPTACLE IS REQUIRED FOR AN ISLAND OR PENINSULAR COUNTER WITH DIMENSIONS OF AT LEAST 24" BY

B. AN ISLAND COUNTER WITH A RANGETOP OR SINK INSTALLED WHERE THE DIMENSION BEHIND THE RANGETOP OR SINK TO THE EDGE OF THE COUNTER IS LESS THAN 12" IS CONSIDERED AS TWO SEPARATE ISLAND COUNTERTOPS C. A PENINSULAR COUNTERTOP IS MEASURED FROM THE CONNECTING EDGE

7. RECEPTACLE INSTALLATION:

A MAX OF 20" ABOVE COUNTERTOP B. ISLAND OR PENINSULAR COUNTERTOPS MAY NOT EXTEND MORE THAN 6" BEYOND THE CABINET HOUSING THE

C. RECEPTACLE MAY NOT BE INSTALLED FACE-UP IN THE COUNTERTOP

8. COUNTERTOPS SEPARATED BY SINKS, RANGES, OR REFRIGERATORS SHALL BE TREATED AS SEPARATE SPACES. THE WALL BEHIND THE SINK OR COOKTOP IS NOT TO BE TREATED AS WALL SPACE UNLESS THE DISTANCE EXCEEDS 12" TO THE WALL OR 18" TO A CORNER

9. GFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, AS WELL AS PANTRIES, BREAKFAST ROOMS, DINING ROOMS AND SIMILAR AREAS

10. KITCHEN HOOD SHALL HAVE A MIN 100 CFM EXHAUST RATE, AND HOOD TO HAVE BACKDRAFT DAMPER, IF HOOD IS PART OF INTERMITTENT WHOLE HOUSE FAN VENTILATION SYSTEM PER ASHRAE 62.2 MAX SOUND RATING OF 3-SONES IS ALLOWED @ 100 CFM. PER ASHRAE 62.2 & 2019 ENERGY CODE.

11. KITCHEN EXHAUST FANS TO BE MINIMUM 100 CFM PER 2019 CALIFORNIA ENERGY CODE 150(0) AND ASHRAE 62,2.

12. ALL LIGHTS IN THE KITCHEN ARE TO BE HIGH EFFICACY LUMINARIES.

13. UNDER-CABINET LIGHTING SHALL HAVE SEPARATE SWITCHING FROM OTHER LIGHTING SYSTEMS.

14. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE. LOCATE UNDER KITCHEN SINK.

15. NO SMALL APPLIACNCE BRANCH CIRCUIT SHALL SERVE MORE THAN ONE KITCHEN.

16. SEPARATE CIRCUITS ARE REQUIRED FOR ALL BUILT IN APPLIANCES. PLUG IN APPLIANCES SHALL HAVE THE PLUG ACCESSIBLE FOR DISCONNECT WITHOUT REMOVING THE APPLIANCE.

17. ALL KITCHEN AND DINING COUNTER SPACES WIDER THAT 12" SHALL BE PROVIDED WITH OUTLETS SUCH THAT NO POINT ALONG THE COUNTER IS OVER 24" FROM A RECEPTACLE. CEC 210-52(C). OUTLETS AT THE KITCHEN COUNTERTOPS MUST BE LOCATED ABOVE THE COUNTERTOP NOT MORE THAT 18", AND CANNOT BE INSTALLED FACE UP IN THE COUNTER.

18. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACE WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER.

19. COUNTER TOP SPACES SERARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARAT

OUTDOOR ELECTRICAL NOTES

COUNTER TOP SPACES. OUTLET LAYOUT SHALL START AT KITCHEN SINK.

1. AT LEAST ONE RECEPTACLE MUST BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING UNIT, AND BE LISTED AS WEATHER TYPE RECEPTACLE

2. NEW OUTDOOR LIGHTING ATTACHED TO BUILDINGS SHALL BE HIGH EFFICACY OR CONTROLLED BY BOTH A MOTION SENSOR AND PHOTO CONTROL. LIGHTING NOT ATTACHED TO THE BUILDING (I.E. LANDSCAPE LIGHTING IS EXEMPT FROM THIS

3. NEW EXTERIOR ELECTRICAL FIXTURES TO BE SUITABLE FOR WET LOCATIONS.

4, ALL NEW EXTERIOR OUTLETS TO BE GFI PROTECTED AND INSTALLED IN A WEATHER PROOF BOX

5. REQUIRED NEW EXTERIOR OUTLETS TO BE WITHIN 6'-6" OF FINISH GRADE.

6. RECEPTACLES IN DAMP OR WET LOCATIONS - DAMP LOCATIONS - A RECEPTACLE INSTALLED OUTDOORS IN A LOCATION PROTECTED FROM THE WEATHER OR IN OTHER DAMP LOCATIONS SHAL HAVE AN ENCLOSURE FOR THE RECEPTACLE THAT IS WEATHERPROOF WHEN THE RECEPTACLE IS COVERED (ATTACHMENT PLUG CAP NOT INSERTED AND RECEPTACLE COVERS CLOSED). AN INSTALLATION SUITABLE FOR WET LOCATIONS SHALL ALSO BE CONSIDERED SUITABLE FOR DAMP LOCATIONS. A RECEPTACLE SHALL BE CONSIDERED TO BE IN A LOCATION PROTECTED FROM THE WEATHER WHERE LOCATED UNDER ROOFED OPEN PORCHES, CANOPIES, MARQUEES, AND THE LIKE, AND WILL NOT BE SUBJECTED TO A BEATING RAIN OR WATER RUNOFF. ALL 15 AND 20 AMP, 125 AND 250 VOLT NON LOCKING RECEPTACLES SHALL BE A LISTED WEATHER RESISTANT TYPE. WET LOCATIONS-RECEPTACLES OF 15 AND 20 AMP IN A WET LOCATION, 125 AND 250 VOLTS INSTALLED IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED. AN OUTLET BOX HOOD INSTALLED FOR THIS PURPOSE SHALL BE LISTED AND SHALL BE IDENTIFIED AS "EXTRA DUTY". OTHER LISTED PRODUCTS, ENCLOSURES, OR ASSEMBLIES PROVIDING WEATHERPROOF PROTECTION THAT DO NOT UTILIZE AN OUTLET

7. RECEPTACLES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL, RECEPTACLES SHALL NOT BE INSTALLED WITHIN SHOWER ROOMS OR STALLS OR BE ACCESSIBLE FROM WITHIN THESE AREAS.

GARAGE ELECTRICAL NOTES

1, ALL LIGHTS IN THE GARAGE ARE HIGH EFFICACY LUMINARIES AND CONTROLLED BY A VACANCY SENSOR (MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 110,9(B) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON). 2. ALL GARAGE OUTLETS TO BE GFI.

EV CHARGER NOTES

BOX HOOD NEED NOT BE MARKED "EXTRA DUTY".

1, A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCII CIRCUIT IS REQUIRED

2. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL1*) INSIDE KIAMETER 3. THE RACEWAY SHALL BE ORIGINAL AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX, PROPOSED LOCATION OF THE EV CHARGER.

4. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVER CURRENT PROTECTIVE DEVICE (CGBSC 4.106.4.4)

LAUNDRY/UTILITY ELECTRICAL NOTES

1. RECEPTACLE OUTLETS IN LAUNDRY ROOM (CEC 210.52(F)) SHALL BE COMBINATION GFCI/AFCI RECEPTACLES (CEC 210.12(A)).

2. ALL LIGHTS SHALL BE HIGH EFFICACY LUMINAIRES.

3. AT LEAST ONE FIXTURE SHALL BE CONTROLLED BY A VACANCY SENSOR (MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 110.99(b) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON).

BATHROOM ELECTRICAL NOTES

1. ALL BATHROOM LIGHTING TO BE HIGH EFFICACY (SEE WATTS AND LUMEN REQUIREMENTS IN GENERAL NOTES) AND CONTROLLED BY A VACANCY SENSOR (MANUAL-ON OCCUPANCY SENSOR OR DIMMER THAT COMPILES WITH CEC SECTION 110.9(B) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE ALWAYS ON.) 2019 CA ENERGY CODE SECTION 150(K) FOR LIGHTING.

2, LIGHTS OVER SHOWER AND TUBS MUST BE WATERPROOF.

3. A SEPARATE CIRCUIT IS REQUIRED FOR HYDROMASAGE BATHTUBS AND GFI PROTECTED AND BONDED.

4. AT LEAST ONE RECEPTACLE MUST BE INSTALLED WITHIN A RESIDENTIAL BATHROOM WITHIN 3' OF THE SINK AND ON THE WALL ADJACENT TO THE SINK AND ON THE SIDE OR FACE OF THE SINK CABINET.

5. BATHROOM RECEPTACLES SHALL BE INSTALLED ON A 20-AMPERE BRANCH CIRCUIT THAT IS DEDICATED TO ONLY

BATHROOM RECEPTACLES, OR DEDICATED TO THE RECEPTACLES AND LIGHTING WITHIN A SINGLE BATHROOM ONLY.

6. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. (CEC 150.K.2.B).

8. RECEPTACLES MAY NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL

7. GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION IS REQUIRED FOR ALL BATHROOM RECEPTACLES.

9. BATHROOMS SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND MUST BE CONTROLLED BY A HUMIDITY CONTROL (CALGREEN 4,506,1), AND MIN, 50 CFM,

10. THE FOLLOWING FIXTURES SHALL BE LISTED FOR A DAMP LOCATION OR A WET LOCATION WHEN SUBJECT TO

SHOWER SPRAY: A. LIGHTING FIXTURES LOCATED WITHIN THE TUB/SHOWER ENCLOSURE, AND

B. HANGING LIGHTING FIXTURES AND PADDLE FANS LOCATED WITHIN 3 FEET HORIZONTALLY ANE 8 FEET VERTICALLY OF THE BATHTUB RIM/SHOWER STALL THRESHOLD. (CEC 410.4)

11. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS, (CEC 150.K.2.B).

12. EACH BATHROOM IS REQUIRED TO HAVE A 50 CFM MINIMUM EXHAUST FAN DUCTED TO THE OUTSIDE. BATHROOM IS ANY ROOM WITH A BATHTUB, SHOWER, SPA OR SIMILAR SOURCES OF MOISTURE. TOILET ROOM IS NOT CONSIDERED A

13. THE DUCTING FOR THE EXHAUST FAN SHALL BE SIZED ACCORDANCE TO ASHRAE STANDARD 62.2, TABLE 7.1.

14. EXILAUST FANS TO BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN ROOMS SUCH AS BATHROOMS, WATER CLOSETS COMPARTMENTS, AND SIMILAR ROOMS. (MIN, 50 CFM INTERMITTENT) OR (MIN, 20 CFM FOR CONTINUOUS).

15. MOTORS SHALL BE UL LISTED FOR HYDRO MASSAGE USE AND A REMOVABLE PANEL OF SUFFICIENT SIZE TO ACCESS

T24 ENERGY REQUIREMENTS (2019

CALIFORNIA ENERGY CODE & ASHRAE 62.2)

A. OCCUPANCY SENSOR MUST BE MANUAL ON/OFF AND AUTOMATIC OFF. THE MAXIMUM TIME DELAY TO TURN OFF IS 30 MINUTES AFTER THE LAST DETECTED MOTION, SENSORS CANNOT HAVE AN OVERRIDE ALLOWING THE LIGHT FIXTURE TO BE CONTINUOSLY ON.

2. EXHAUST FANS WITH INTEGRAL LIGHTING SYSTEM SHALL BE SWITCHES SEPARATELY FROM LIGHTING SYSTEM OR HAVE A LIGHTING SYSTEM THAT CAN BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR LIGHTING SYSTEM THAT CAN BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME. LIGHTING INTEGRAL TO AN EXHAUST FAN MUST BE HIGH-EFFICACY.

3. PERMANENTLY INSTALLED NIGHT LIGHT MUST BE HIGH EFFICACY LIGHTING OR THE NIGHT LIGHT IS RATED TO CONSUME NO MORE THAN 5 WATTS OF POWER AND DOES NOT CONTAIN A MEDIUM SCREW-BASE

4. ALL LIGHTING SHALL BE HIGH EFFICACY SUCH AS FLUORESCENT. LED LIGHTING SYSTEMS AND GU24 LAMP HOLDER SHAL BE LISTED BY ENERGY COMMISSION AND SHALL MEET THE REQUIREMENT OF TABLE

WATTS LUMENTS/ WATTS 5 OR LESS _____ 30

>5 TO 15 _____ 40

>15 TO 40 _____ 50

OVER 40 _____ 60

GENERAL RESIDENTIAL RECEPTACLE

REQUIREMENTS

RECEPTACLES ON THE SAME WALL.

REQUIRED RECEPTACLE

APPLIANCE

1. THIS DOCUMENT APPLIES TO ALL DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS,

2. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS OVER 6 FEET FROM THE RECEPTACLE. THIS ALLOWS FOR A MAXIMUM OF 12 FEET BETWEEN

3. RECEPTACLES INSTALLED IN THE FLOOR MUST BE WITHIN 18 INCHES OF THE WALL TO BE INCLUDED AS A

4. ANY RECEPTACLE INSTALLED FOR A SPECIFIC APPLIANCE MUST BE LOCATED WITHIN 6 FEET OF THE

5. AT LEAST ONE RECEPTACLE MUST BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING UNIT, AND BE

6. AT LEAST ONE GENERAL-PURPOSE RECEPTACLE MUST BE INSTALL WITHIN EACH BASEMENT, ATTACHED

GARAGE, DETACHED GARAGE WITH ELECTRICAL POWER, AND HALLWAYS 10 FEET OR MORE IN LENGTH.

LISTED AS WEATHER RESISTANT AND GELTYPE RECEPTACLE.

7. WALL SPACE INCLUDES THE FOLLOWING: A. ANY SPACE 2 FOOT OR MORE (INCLUDING SPACE MEASURED AROUND CORNERS) AND UNBROKEN ALONG THE

FLOOR LINE BY DOORWAYS, FIREPLACES, AND SIMILAR OPENING B. THE SPACE OCCUPIED BY FIXED DOOR PANELS

C. THE SPACE AFFORDED BY FIXED ROOM DIVIDERS SUCH AS BAR COUNTERS OR RAILINGS

ATTIC

1. PROVIDE A LIGHT WITH A LIGHT SWITCH IN ATTIC MOUNTED FURNACE SPACES.

REVISIONS BY Friday, November 3, 2023

> THE PLANS, IDEAS AND DESIGNS SHOW ON THESE DRAWINGS ARE THE PROPERT OF THE DESIGNER. DEVISED SOLEY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN



for:

CHECKED Friday, November 3, 2023 SCALE AS SHOWN JOB NO.

GENERAL NOTES

A. OPENINGS SHALL COMPLY WITH THE FOLLOWING IN ACCORDANCE WITH THE CITY MUNICIPAL CODE SECTION 15,48.060. I, DOOR BETWEEN THE GARAGE AND DWELLING TO BE EQUIPPED WITH DEAD BOLT LOCKS, STRIKE PLATES SHALL BE SECURED TO WOODEN JAMBS WITH AT LEAST TWO AND ONE-HALF INCH WOOD SCREWS.

II. EXTERIOR DOORS AND DOORS LEADING FROM THE GARAGE AREA SHALL BE SOLID CORE WITH A MINIMUM THICKNESS OF 1-3/4". GARAGE DOOR TO HAVE SELF CLOSING HINGE.

III. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. CRC

B. WALLS SEPARATING THE DWELLING AND ATTIC FROM THE GARAGE SHALL BE PROVIDED WITH ½" MINIMUM GYPSUM BOARD APPLIED ON THE GARAGE SIDE.

C. WHERE HABITABLE ROOMS OCCUR ABOVE THE GARAGE, SPECIFY THE FOLLOWING:

I. 5/8" MINIMUM TYPE X GYPSUM BOARD ON THE CEILING. II. ½" MINIMUM GYPSUM BOARD ON ALL STRUCTURES SUPPORTING THE FLOOR/CEILING ASSEMBLIES.

2. INSTALL 1/2" GYP BOARD FROM FOUNDATION TO ROOF SHEATHING ON GARAGE SIDE OF WALLS COMMON TO LIVING SPACE AND 5/8"TYPE "X" GYP. ONE - HOUR FIRE-RESISTIVE CONSTRUCTION TO BEPROVIDED ON THE GARAGE CEILING WHEN LIVING SPACE IS ABOVE THE GARAGE. APPLY TO WALLS, POST AND BEAMS OF GARAGEADJACENT TO AND SUPPORTING THE RESIDENCE. APPLIED VENT.OR HORIZONTALLY. NAIL W/6D COOLER OR WALLBOARD NAILS @ 7" OCW/ END JOINTS O/ NAILING MEMBERS. STAGGER IOINTS EA. SIDE.

3. NO DIRECT OPENINGS BETWEEN THE GARAGE AND SLEEPING ROOMS

4. ALL DUCTS IN GARAGE THAT PASS THRU LIVING/GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER

5. EXTERIOR STUD WALLS TO BE 2 X 4 STUDS 16" O.C. W/BATT INSULATION. (UNLESS OTHER WISE NOTED - CHECK FLOORPLANS.)

6. ALL DIMENSIONS ARE TO THE FACE OF STUDS.

7. CEILING HEIGHT OF ALL ROOMS TO INCLUDE FLOOR FINISH.

8. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM WALL BOARD EXCEPT OTHERWISE NOTED.

9. GYPSUM WALL BOARD SHALL BE INSTALLED PER CURRENT C.B.C.

10. PROVIDE 2 X SOLID BACKING FOR RAILINGS, CABINETS, SHELVING, ACCESSORIES, ETC. AS NEEDED.

11. EXTERIOR DOORS SHALL BE 1-3/4" THICK SOLID CORE. EXCEPTIONS: EXTERIOR DOORS 1-3/4" THICK WITH SOLID WOOD PANELS NOT LESS THAN 9/16" THICK ARE A SATISFACTORY ALTERNATIVE TO A SOLID CORE DOORS

12. INSTALL ALL WINDOWS AND DOOR AS PER MANUFACTURER. SPECIFICATIONS

13. ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOOR, GLASS SUBJECT TO HUMAN IMPACT, ETC SHALL BE SAFETY TEMPERED

14. WINDOWS MARKED AS "EGRESS" MUST MEET C.B.C. MINIMUM REQUIREMENTS. OF MAX 44" HIGH SILL & MINIMUM. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MINIMUM. CLEAR OPENING OF 5.7 SQ. FEET

15. WINDOWS AND DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MRG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIERS AND OR OWNERS

16, FLASH ALL EXTERIOR OPENINGS WITH SHEET METAL TO EXTEND 6" UNDER BUILDING PAPER BEHIND WALL OPENING.

17. INSTALL 5/8" TYPE "X" GYP. BD. ON WALLS AND CEILING@ USABLE UNDER STAIR CLOSET, WHERE APPLICABLE.

18. PROVIDE WATER RESISTANT GYP. BD. ON ALL "WET" AREAS

SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (U.N.O.)

19. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3' FROM ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH & UTILITY FANS, ETC., MUST BE 3' AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS). CMC 504.5

20. WATER-RESISTANT GYPSUM BACKING BOARD LIMITATIONS (CBC 2509.3) SHALL NOT BE USED IN THE FOLLOWING

LOCATIONS: A. OVER A VAPOR RETARDENT IN SHOWER OR BATHROOM COMPARTMENT.

B. WHERE THERE WILL BE DIRECT EXPOSURE TO WATER OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY SUCH AS

C. ON CEILINGS WHERE FRAME SPACING EXCEEDS 12 INCHES ON CENTER FOR ½" THICK WATER-RESISTANT GYPSUM BOARD OR MORE THAN 16 INCHES ON CENTER FOR 5/8" THICK WATER RESISTANT GYPSUM BOARD.

21. OPENINGS AROUND GAS VENTS, DUCTS & PIPING @ EACH FLOOR SHALL BE FIRE STOPPED

22. DRAFTSTOPPING SHALL BE INSTALLED IN ALL ATTIC SPACES AND CONCEALED ROOF SPACES SUCH THAT NO HORIZONTAL AREA EXCEEDS 3,000 S.F.

23. ATTIC ACCESS TO BE 30"X 22" MIN.

24. ATTICS WITH A VERTICAL HEIGHT OF 30" OR MORE REQUIRES ACCESS. ALL ATTICS ACCESS ARE A 1/2" PLYWOOD PANEL FINISHED WITH A GRADE SIDE TO THE OCCUPIED SPACE. PAINT TO MATCH THE CEILING TO THE PLYWOOD PANEL.

25. ACCESSIBLE UNDER-FLOOR AREA SHALL BE PROVIDED WITH A MIN. 18" X 24" OPENING.

26. UNDER-FLOOR AREA SHALL BE VENTILATED BY OPENINGS OF A NET AREA OF NOT LESS THAN 1/150 OF UNDER-FLOOR AREA. VENTILATED OPENINGS SHALL BE PROTECTED BY METAL MESH WITH A 1/4" MAX. OPENING.

27. FIREPLACE INSTALLATION AND USE SHALL BE IN ACCORDANCE WITH THEIR LISTING & LOCAL CODES AND INSTALLED PER MANUFACTURER, SPECIFICATIONS.

28. PROVIDE FIRE STOPS IN OPENINGS @ FLOOR CEILINGS OF ALL FIREPLACES

29. INTERIOR HANDRAILS & GAURD RAILS TO BE WOOD.

30. EXTERIOR HANDRAILS & GUARDRAILS TO BE W.I. UNLESS OTHERWISE NOTED.

31. CABINET MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR CONTRACTOR, OWNER, OR HIS AGENTS APPROVAL FOR ALL CABINET SIZES AND FINISHES, MATERIAL ETC. SHOP DRAWING SUPERCEDE ALL INTERIOR ELEVATIONS.

32. CONTRACTOR SHALL PROVIDE GALVANIZED SHEET METAL PAN UNDER ALL CLOTHES WASHER, WHEN LOCATED ON AN UPPER FLOOR.

33. LANDINGS SHALL HAVE A WIDTH NOT LESS THAN A WIDTH OF THE DOOR OR A STAIRWAY.

34. STAIRWAYS: 36" MINIMUM WIDTH, 73/4" MAX. RISE, 10" MIN. RUN AND 6'-8"MIN. HEAD ROOM.

35. PROVIDE COMBUSTION AIR FOR SOLID FUEL BURNING APPLIANCES

36. THE EV CHARGER TO PROVIDE A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT AND A DEDICATED 40 AMP BRANCH CIRCUIT FOR THE EV CHARGER. IN ADDITION, INSTALL A LEVEL 2 EV READY CIRCUIT AND LEVEL 1 EV READY CIRCUIT (ORDINANCE NO.19-2193, SECTION 16.58.400)

37. BATHROOM VENTILATION - PROVIDE MECHANICAL VENTILATION CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING 50 CFM IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS (CBC 1203.4.2.1, TABLE 4-4 CMC)

38. DRYER VENTILATION - DRYER SHALL VENT TO OUTSIDE WITH A 4" DIAMETER RIGID METAL DUCT, MAX LENGTH 14 FT WITH MAX OF TWO 90 DEGREE ELBOWS, AND A BACK DRAFT DAMPER. VENT SHALL DISCHARGE MIN 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING (CMC 504). MAKEUP AIR SHALL BE PROVIDED FOR TYPE 1 CLOTHES DRYER IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. (NFPA 54:10.4.3.1). WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, AN OPENING OF NOT LESS THAT 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS, INSTALL, 7.5" X 14" LOUVER VENT IN CLOSET DOOR.

39. CONTRACTOR SHALL VERIFY ALL APPLIANCES AND EQUIPMENT REQUIREMENTS PRIOR TO BEGINNING WORK AND SHALL PROVIDE ALL HOOK UPS.

40. EARTHQUAKE ACTUATED GAS SHUT-OFF VALVES ARE REQUIRED FOR ALL NEW OR RELOCATED GAS METERS.

TANKLESS WATER HEATER - GAS

1. MOST TWHS ARE INSTALLED IN GARAGES, BASEMENTS, OR ON EXTERIOR WALLS OF GARAGES OR STRUCTURES. THWS MAY BE INSTALLED IN BEDROOM OR BATHROOM CLOSETS ONLY IF THEY ARE OF THE DIRECT-VENT TYPE OR THEY ARE IN A CLOSET DEDICATED SOLELY TO THE THW, WITH SELF-CLOSING GASKETED DOORS AND ALL COMBUSTION AIR FROM THE EXTERIOR

2. A TWH MAY BE LOCATED IN AN ATTIC WHEN ALL REQUIREMENTS FOR A CODE COMPLIANT INSTALLATION ARE MET INCLUDING REQUIRED ACCESS, CLEARANCE TO COMBUSTIBLES, LIGHTING WITH A SWITCH NEAR THE ATTIC ENTRY, AND AN ADIACENT RECEPTACLE

3. A TWH SHALL NOT BE INSTALLED IN LOCATIONS WHERE DAMAGE TO THE SUPPORTING STRUCTURE WOULD OCCUR FROM AN UNDETECTED LEAK UNLESS A WATER TIGHT CORROSION RESISTANT PAN IS INSTALLED BENEATH THE TWH WITH A MINIMUM ¾ INCH DIAMETER DRAIN LINE DISCHARGING TO AN APPROVED LOCATION

4. TWH VENTING AND INSTALLATION:

A. MOST TWHS USE POSITIVE PRESSURE (FORCED) VENTS. SUCH VENTS SHALL COMPLY WITH THE VENT MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR CATEGORY III AND IV APPLIANCES. MOST ARE STAINLESS STEEL DUE TO THE SLIGHTLY ACIDIC CONTENT OF THE CONDENSATE, MOST DO NOT ALLOW COMMON VENT WITH OTHER APPLIANCES, ALL POSITIVE PRESSURE VENT PIPES SHALL BE SEALED AIR TIGHT AT EACH JOINT FROM FLUE COLLAR TO TERMINATION. TYPE B VENTING MATERIAL IS NOT ACCEPTABLE FOR POSITIVE PRESSURE VENTS.

B. LISTED PRESSURE-ONLY RELIEF VALVES (PRVS) SHALL BE INSTALLED AS REQUIRED BY THE MANUFACTURER. C. CPVC PIPING USED WITH ANY TWH SHALL BE INSTALLED WITH RESTRICTIONS AS REQUIRED BY TWH OR CPVC MANUFACTURER, WHICHEVER IS MOST RESTRICTIVE.

TO DISCHARGE ONTO SOIL. THEY SHOULD NOT DISCHARGE OVER HARDSCAPED (CONCRETE) SURFACES OR WALKWAYS.

5. TWH ELECTRICAL: A. GAS-FIRED TWH UNITS USUALLY REQUIRE A 120-VOLT RECEPTACLE FOR OPERATION OF THE THERMOSTATICS CONTROLS WHEN INSTALLED IN A GARAGE, THE POWER FOR THESE GAS-FIRED UNITS MAY BE PROVIDED BY AN ADJACENT

D. CONDENSATE DRAINS NEED NOT COMPLY WITH THE SAME REQUIREMENTS AS FOR AC CONDENSATE, AND ARE ALLOWED

GFCI-PROTECTED RECEPTACLE B. WHEN INSTALLED OUTDOORS, THE RECEPTACLE MUST BE GFCI PROTECTED AND LISTED WEATHER-RESISTIVE (WR) WITH A WEATHERPROOF "BUBBLE COVER" OR BE HARD WIRED WITH A DISCONNECT SWITCH IN SIGHT OF THE UNIT

C. CORDS ON OUTDOOR THWS MUST BE LISTED AS SUITABLE FOR A WET LOCATION AND FOR SUNLIGHT RESISTANCE. IF THE

LAST LETTER OF THE LETTER CODE PRINTED ON THE CORD IS A "W" THE CORD IS COMPLIANT. D. ATTIC OR BASEMENT INSTALLATIONS WILL REQUIRE A 120-VOLT RECEPTACLE AND SWITCHED LUMINARIES AT OR NEAR THE TWH. THE SWITCH FOR THE LUMINARIES MUST BE LOCATED ADJACENT TO THE ATTIC OR BASEMENT ACCESS

6. GAS PIPING

A. A TWH GENERALLY REQUIRES A SIGNIFICANTLY GREATER QUANTITY OF GAS THAN A STORAGE TANK HEATER. TYPICALLY, A DEDICATED GAS LINE MUST BE INSTALLED FROM THE GAS METER TO THE TWH AND A LARGER GAS METER MAY BE REQUIRED. TO PROPERLY SIZE GAS PIPING USE THE APPROPRIATE TABLE IN CHAPTER 12 OF THE CURRENT CPC.

B, ALL NEW AND ALTERED GAS PIPING SYSTEMS MUST BE PRESSURE TESTED AS PRESCRIBED BY CODE

7. COMBUSTION AIR:

12" FROM THE BOTTOM OF AN ENCLOSURE

A. TWH INSTALLATIONS SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS AND CURRENT CPC AND CMC REQUIREMENTS FOR COMBUSTION AND MAKE-UP AIR OR BE THE DIRECT-VENT TYPE. PROPERLY SIZED COMBUSTION AIR VENTS ARE TO BE LOCATED COMMENCING WITHIN THE UPPER 12" OF AN ENCLOSURE AND COMMENCING WITHIN THE LOWER

B, F.A.U. & WATER HEATER INSTALLED ON 18" HIGH WOOD F.A.U. & WATER HEATER INSTALLED ON 18" HIGH WOOD PLATFORM W/ 1 1/8" PLYWOOD TOP SURFACE.

C. INSTALL SEISMIC STRAP ON ALL WATER HEATERS AND FURNACES TO BE CEC

E. ALL NEW ELECTRICAL WORK REQUIRES AN ELECTRIC PERMIT

CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE STRAPS TO BE INSTALLED AT POINTS WITHIN UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT LOWER POINT, A 4" CLEARANCE SHALL BE MAINTAINED ABOVE CONTROLS, WHEN LOCATED IN GARAGE, SEE DETAIL SHEET,

9. ATTIC FURNACE:

A. MINIMUM OF 5' IN HEIGHT OF CLEAR SPACE. A CONTINUOUS ACCESSIBLE OPENING AND PASSAGEWAY WITH A MIN. OF 22" X 30" IN SIZE OR AS LARGER AS THE SMALLEST PIECE OF EQUIPMENT. MAX, 20 FEET TRAVEL PATH AND 24" WIDE W/ SOLID FLOOR PASSAGEWAY. MIN. 30" X 30" WORKING PLATFORM IN FRONT OF THE ENTIRE FIREBOX. A PERMANENT ELECTRICAL OUTLET AND LIGHTING FIXTURE. SEE DETAIL SHEET.

ELECTRIC HEAT PUMP WATER HEATER

D.INSTALLING CONTRACTOR TO DESIGN & BUILD COMPLETE AND FUNCTIONING SYSTEMS.

INSTALL PER MANUFACTURERS SPECIFICATIONS AND INSTALLATION INSTRUCTIONS

IF INSTALL IN A CLOSET - USE FULL LOUVERED DOOR TO INSURE SUFFICIENT AIR CIRCULATION.

PROVIDE A PAN WITH DRAIN

KITCHEN NOTES

1. NO DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISH-\VASHING MACHINE

2. PROVIDE GAS SHUT-OFF @ STOVE IN AN ACCESSIBLE LOCATION

3. RANGE HOOD MUST EXTEND FULL WIDTH OF RANGE. INSTALL PER MANUF. SPECIFICATIONS.

4. RANGE HOOD MUST TERMINATE A MIN. OF 3' FROM ANY AIR INTAKE OR OPENING INTO THE BUILDING

5. RANGE HOOD VENT TO OUTSIDE AS PER CEC SECTION 150(0)

6. KITCHEN HOOD SHALL HAVE A MIN 100 CFM EXHAUST RATE, AND HOOD TO HAVE BACKDRAFT DAMPER, IF HOOD IS PART OF INTERMITTENT WHOLE HOUSE FAN VENTILATION SYSTEM PER ASHRAE 62.2 MAX SOUND RATING OF 3-SONES IS ALLOWED @ 100 CFM. PER ASHRAE 62.2 & 2019 ENERGY CODE.

7. KITCHEN FAUCETS NOT TO EXCEED 1.8 GPM @ 60 PSI, MIN 0.8 GPM AS PER 2019 CPC SECTION 402.1.2, TABLE 4.303.2 OF

8. KITCHEN EXHAUST FANS TO BE MINIMUM 100 CFM PER 2019 CALIFORNIA ENERGY CODE 150(0) AND ASHRAE 62.2.

GENERAL BATHROOM NOTES

1. WALL COVERING SHALL BE CEMENT BACKER BOARD, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.

2. SHOWER LINING REQUIRED IN PERMANENT BUILT IN SHOWER SEATS UP THE WALL 3" AND PITCHED 1/4" PER FT.

3. SHOWER COMPARTMENTS SHALL BE A MIN OF 1024 S.I. AND SHALL BE CAPABLE OF ENCOMPASSING A 30" CIRCLE.

4. TOILETS TO HAVE MIN. 30" SIDE X 24" DEEP CLEARANCE IN FRONT OF TOILET AND A MIN. 15" CLEAR FROM CENTERLINE OF TOILET TO EACH SIDE.

5. MOTORS SHALL BE UL LISTED FOR HYDRO MASSAGE USE AND A REMOVABLE PANEL OF SUFFICIENT SIZE TO ACCESS MOTOR.

6. DIMENSION SHALL BE INSTALLED TO ACCESS PUMP.

7, ALL BATHROOMS REQUIRE A VENT FAN WITH MIN, 50 CFM

8. ALL VENT TERMINATIONS MUST BE 10' AWAY OR 3' ABOVE ANY OPENING. TYP.

9. EACH BATHROOM IS REQUIRED TO HAVE A 50 CFM MINIMUM EXHAUST FAN DUCTED TO THE OUTSIDE. BATHROOM IS ANY ROOM WITH A BATHTUB. SHOWER, SPA OR SIMILAR SOURCES OF MOISTURE, TOILET ROOM IS NOT CONSIDERED A BATHROOM

10. THE DUCTING FOR THE EXHAUST FAN SHALL BE SIZED ACCORDANCE TO ASHRAE STANDARD 62.2, TABLE 7.1.

11. WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED AS A BASE FOR TILE IN WATER CLOSET COMPARTMENT WALLS, INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

12. GYPSUM BOARD IN SHOWERS AND WATER CLOSETS (CBC 2509.2), CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS SHALL BE USED AS A BASE FOR WALL TILE IN TUB, SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS.

13. EXHAUST FANS TO BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN ROOMS SUCH AS BATHROOMS, WATER CLOSETS COMPARTMENTS, AND SIMILAR ROOMS. (MIN. 50 CFM INTERMITTENT) OR (MIN. 20 CFM FOR CONTINUOUS)

BATHROOM PLUMBING NOTES

1. SHOWER DRAIN & TRAP 2" MINIMUM. (CPC TABLE 7-3)

2, PROVIDE PRESSURE BALANCE VALVES FOR ALL SHOWERS AND SHOWER/TUB.

3. LAVATORY FAUCETS TO BE LESS THAN 1.2 GPM @ 60 PSI. min. 0.8 GPM @ 20 PSI PER 2019 CPC 402.1.2 TABLE 4.304.2 OF 2019

4. WATER CLOSETS SHALL HAVE MAX 1.28 GALLON/FLUSH, SHOWER HEAD TO HAVE MAX FLOW OF 1.8 GPM @ 80 PSI PER 2019 CPC SECTION 402.1.1, TABLE 4.303.2 OF 2019 CGBC. THE WATER CLOSET SHALL HAVE A MINIMUM 15 INCH DIMENSION FROM CENTERLINE OF WATER CLOSET TO WALL OR BARRIER ON EACH SIDE, AND PROVIDE A CLEAR SPACE OF NOT LESS THAN 24" IN FRONT OF WATER CLOSET (CPC 402.5).

5. ON SITE SHOWER PAN (RECEPTOR) ON GROUND TYPE SHALL BE WATER TIGHT, CONSTRUCTED WITH APPROVED MATERIAL, ADEQUATELY REINFORCED AND WITH AN APPROVED FLANGE FLOOR DRAIN. LINING TO BE PITCHED 1/4" PER FOOT TO WEEP HOLES IN DRAIN. (CPC 411.8 (1) ABOVE GROUND TYPE, WATER TIGHT LINING WITH MINIMUM OF 3" ABOVE FINISHED DAM, CURB OR THRESHOLD HEIGHT. IN NO CASE SHALL ANY DAM OR THRESHOLD BE LESS THAN 2" OR MORE THAN 9" IN DEPTH WHEN MEASURED FROM THE TOP OF THE DAM OR THRESHOLD TO THE TOP OF THE DRAIN. (CPC 411.5 AND CPC 411.6)

6. SHOWER AND TUB-SHOWER CONTROL VALVES SHALL BE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION OF PRESSURE BALANCE/THERMOSTATIC MIXING VALVES. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER THE MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 OF. (CPC)

7. SHOWER COMPARTMENTS

A. MINIMUM INTERIOR OF 1024 SQUARE". B. MINIMUM DIMENSIONS SO A 30" CIRCLE WILL FIT IN THE COMPARTMENT.

C. MINIMUM HEIGHT ABOVE FLOOR DRAIN IS 70".

D. SHOWER DOORS SHALL OPEN TO PROVIDE A MINIMUM OF 22" UNOBSTRUCTED EGRESS OPENING

9. ALL SHOWER HEADS TO BE LESS THAN 1.8 GALLONS PER MINUTE (GPM) @ 80 PSI WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW OF ALL SHOWER HEADS AND OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONE SHOWER

GENERAL PLUMBING NOTES

1. NO REQUIRED UNDERFLOOR CLEAN-OUT SHALL BE MORE THAN 20' FROM AN ACCESS DOOR (CPC 707.10)

2. PROVIDE WALL CLEANOUTS FOR ALL NEW SINKS

3. NEW HOSE BIBBS SHALL BE PROVIDED W/ ANTI SIPHON VALVES

4. GAS SHUT OFF VALVE FOR FIREPLACE TO BE INSTALLED OUTSIDE OF THE HEARTH AREA, MIN, 36" AND MAX OF 48" FROM GAS SUPPLY VALVE.

5. COMBUSTION AIR MUST BE MAINTAINED (CMC CHAPTER 7)

6. THE CLEAR SPACE AND DISTANCE TO COMBUSTIBLE MATERIALS AROUND THE FURNACE UNIT SHALL COMPLY WITH THE MANFUFACTURERS INSTALLATION INSTRUCTIONS. (CMC 904.2)

7. A SEDIMENT TRAP SHALL BE INSTALLED ON THE GAS LINE DOWNSTREAM OF THE APPLIANCE SHUT-OFF VALVE AND AS CLOSE TO THE INLET OF THE EQUIPMENT AS PRACTICAL (CPC 1212.7)

8. APPLIANCES GENERATING A GLOW, SPARK, OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS MAY BE INSTALLED IN A GARAGE PROVIDED THE PILOTS, BURNERS OR HEATING ELEMENTS AND SWITCHES ARE A MIN. OF 18" ABOVE THE FLOOR LEVEL. (CMC 307.1) EXCEPTION: SEALED COMBUSTION SYSTEM APPLIANCES MAY BE INSTALLED AT FLOOR LEVEL WHEN LOCATED IN A GARAGE AND SUBJECT TO VEHICULAR DAMAGE, ADEQUATE BARRIERS MUST BE INSTALLED (E.G. 4" DIAM. STEEL PIPE FILLED WITH CONCRETE INSTALLED IN A FOOTING

9. PLUMBING VENTS TO BE A MINIMUM 10' FROM OPERABLE SKYLIGHTS OR OPENINGS.

10. INSTALL NON REMOVABLE BACK FLOW PREVENTORS ON HOSE BIBS PER ALL APPLICABLE CODES.

WATER EFFICIENT PLUMBING FIXTURES

ALL SHOWER HEADS TO BE LESS THAN 1.8 GALLONS PER MINUTE (GPM) @ 80 PSI

LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM @ 60 psi.

KITCHEN AND UTILITY FAUCETS LESS THAN 1.8 GALLONS PER MINUTE @ 60 psi.

TOILETS TO BE LESS THAN 1.28 GALLONS PER FLUSH

WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW OF ALL SHOWER HEADS AND OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME 4,303.1.3,2

GENERAL RESIDENTIAL RECEPTACLE REQUIREMENTS

1. THIS DOCUMENT APPLIES TO ALL DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, OR SIMILAR ROOMS.

2. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS OVER 6 FEET FROM THE RECEPTACLE. THIS ALLOWS FOR A MAXIMUM OF 12 FEET BETWEEN

3. RECEPTACLES INSTALLED IN THE FLOOR MUST BE WITHIN 18 INCHES OF THE WALL TO BE INCLUDED AS A REQUIRED RECEPTACLE

4. ANY RECEPTACLE INSTALLED FOR A SPECIFIC APPLIANCE MUST BE LOCATED WITHIN 6 FEET OF THE APPLIANCE

5. AT LEAST ONE RECEPTACLE MUST BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING UNIT, AND BE LISTED AS WEATHER RESISTANT AND GFI TYPE RECEPTACLE.

6. AT LEAST ONE GENERAL-PURPOSE RECEPTACLE MUST BE INSTALL WITHIN EACH BASEMENT, ATTACHED GARAGE, DETACHED GARAGE WITH ELECTRICAL POWER, AND HALLWAYS 10 FEET OR MORE IN LENGTH.

7. WALL SPACE INCLUDES THE FOLLOWING:

A. ANY SPACE 2 FOOT OR MORE (INCLUDING SPACE MEASURED AROUND CORNERS) AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS, FIREPLACES, AND SIMILAR OPENING B. THE SPACE OCCUPIED BY FIXED DOOR PANELS

C. THE SPACE AFFORDED BY FIXED ROOM DIVIDERS SUCH AS BAR COUNTERS OR RAILINGS

LAUNDRY

1, AT LEAST ONE RECEPATACLE REQUIRED FOR LAUNDRY

2. PROVIDE A MIN OF ONE 20 AMP LAUNDRY BRANCH CIRCUIT, SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS (CEC

3. VENT DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING, 3 FEET FROM THE PROPERTY LINE W/ MIN. 4" RND BY 14' MAXIMUM LENGTH DUCT INCLUDING NO MORE THAN 2-90 DEGREE ELBOWS AND EQUIPED W/ BACK DRAFT

T24 ENERGY REQUIREMENTS (2019 CALIFORNIA ENERGY CODE & ASHRAE 62.2)

A. OCCUPANCY SENSOR MUST BE MANUAL ON/OFF AND AUTOMATIC OFF. THE MAXIMUM TIME DELAY TO TURN OFF IS 30 MINUTES AFTER THE LAST DETECTED MOTION. SENSORS CANNOT HAVE AN OVERRIDE ALLOWING THE LIGHT FIXTURE TO BE CONTINUOSIA ON.

2. EXHAUST FANS WITH INTEGRAL LIGHTING SYSTEM SHALL BE SWITCHES SEPARATELY FROM LIGHTING SYSTEM OR HAVE A LIGHTING SYSTEM THAT CAN BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR LIGHTING SYSTEM THAT CAN BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME. LIGHTING INTEGRAL TO AN EXHAUST FAN MUST BE HIGH-EFFICACY.

3. PERMANENTLY INSTALLED NIGHT LIGHT MUST BE HIGH EFFICACY LIGHTING OR THE NIGHT LIGHT IS RATED TO CONSUME NO MORE THAN 5 WATTS OF POWER AND DOES NOT CONTAIN A MEDIUM SCREV-BASE SOCKET.

4. ALL LIGHTING SHALL BE HIGH EFFICACY SUCH AS FLUORESCENT. LED LIGHTING SYSTEMS AND GU24 LAMP HOLDER SHAL BE LISTED BY ENERGY COMMISSION AND SHALL MEET THE REQUIREMENT OF TABLE 150-C

LUMENS/ WATTS 5 OR LESS >5 TO 15 — 40 >15 TO 40 _____ 50

OVER 40 — 60

FINISHES

1. USE LOW-VOC INTERIOR WALLS/CEILING PAINTS (<50 GRAMS PER LETTER (GPL) VOCS REGARDLESS OF SHEEN)

3. All CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING: A. CARPET AND RUG INDUSTRIES GREEN LABEL PLUS PROGRAM

B. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD OF TESTING AND EVALUATION OF VOLATILE ORGANIC

2. USE LOW-VOC COATINGS THAT MEET SCAOMD RULE 1113

CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS." VERSION 1.1, FEB 201 (AKA SPEC 01350) C. NSF/ANSI 140 AT THE GOLD LEVEL D. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD.

4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: A, COC EMISSION LIGHTS DEFINES IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS HIGH PERFORMANCE PRODUCTS DATABASE.

B. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREEN GUARD CHILDREN & SCHOOLS PROGRAM C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE FLOOR SCORE PROGRAM D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH , "STANDARD METHOD OF TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS." VERSION 1.1, FEB 201

(AKA SPEC 01350) 5. HARDWOOD PLYWOOD, PARTICAL BOARD AND MDF COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OF EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED ON ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ET SEQ), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN ON TABLE

MECHANICAL

1. INSTALL FURNACE AND WATER-HEATER PLATFORMS PER ALL APPLICABLE CODES.

6. ALL CARPET ADHESIVES SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1

2. PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES PER ALL APPLICABLE CODES. 3. AIR DUCTS THAT PASS THROUGH LIVING/GARAGE COMMON WILL SHALL BE 26 GUAGE STEEL OR THICKER PER THE CBC. 4. SEISMICALLY BRACE WATER HEATER AND FURNACE PER ALL APPLICABLE CODES.

5. HEATING SYSTEM TO BE SIZED AND LAID OUT BY A MECHANICAL CONTRACTOR, IN ACCORDANCE WITH REQUIREMENTS OF TITLE 24 AND OTHER CODES. 6. EXHAUST DRYER TO OUTDOORS WITH RIGID METAL DUCT PER ALL CODES.

7. HEW HEATING EQUIPMENT THAT GENERATES A GLOW, FLAME, OR SPARK, LOCATED IN THE GARAGE SHALL BE INSTALLED SUCH THAT THE SOURCE OF IGNITION IS AT LEAST 18" ABOVE THE FLOOR. 8. HERS VERIFICATION REQUIRED FOR HVAC COOLING, HVAC-DISTRIBUTION, HVAC-FAN SYSTEMS, AND IAQ FANS. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATIONS (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION PER

TITLE 24 REQUIREMENTS. 9. VENTILATION HEATING AND AC SYSTEMS SHALL HAVE MERV 6 FILTERS OR BETTER. CEC 150.0(M)12B. 10. AT FINAL INSPECTION, PLACE IN THE BUILDING A MANUAL, WEB BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA

INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBSC SECTION 4.410.1 11. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE

CONSTRUCTION SITE AND UNTIL STARTUP OF THE HEATING AND COOLING EQUIPMENT. 12. ALL ENVIRONMENTAL AIR DUCTS SHALL TERMINATE A MINIMUM OF 3 FEET FROM PROPERTY LINE OR OPENINGS INTO BUILDING, AND 10 FEET FROM A FORCED AIR INLET. CMC 502.2.1

REVISIONS BY Friday, November 3, 2023

> THE PLANS, IDEAS AND DESIGNS SHOW ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEVISED SOLEY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MEGAN MINER DESIGN.



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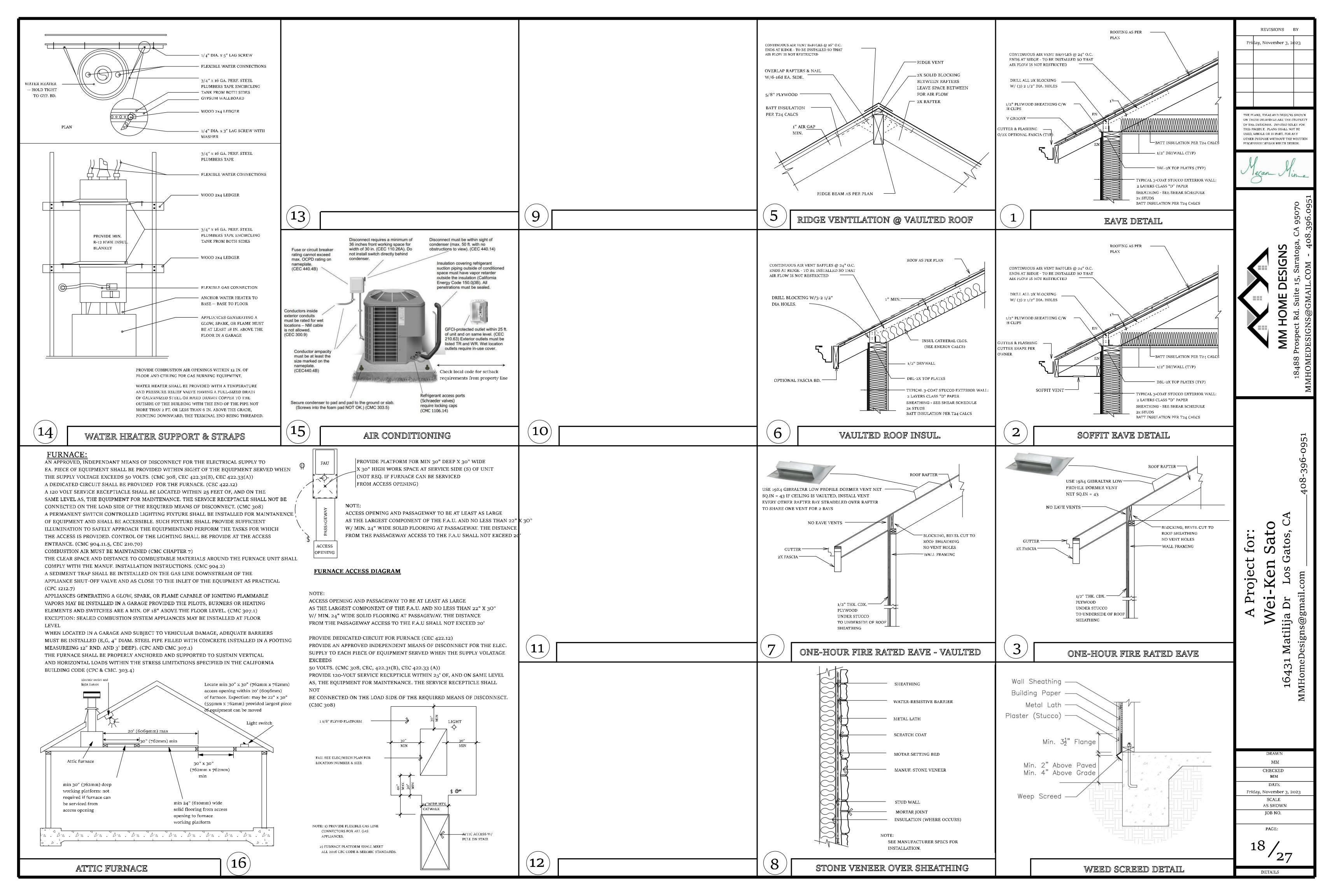
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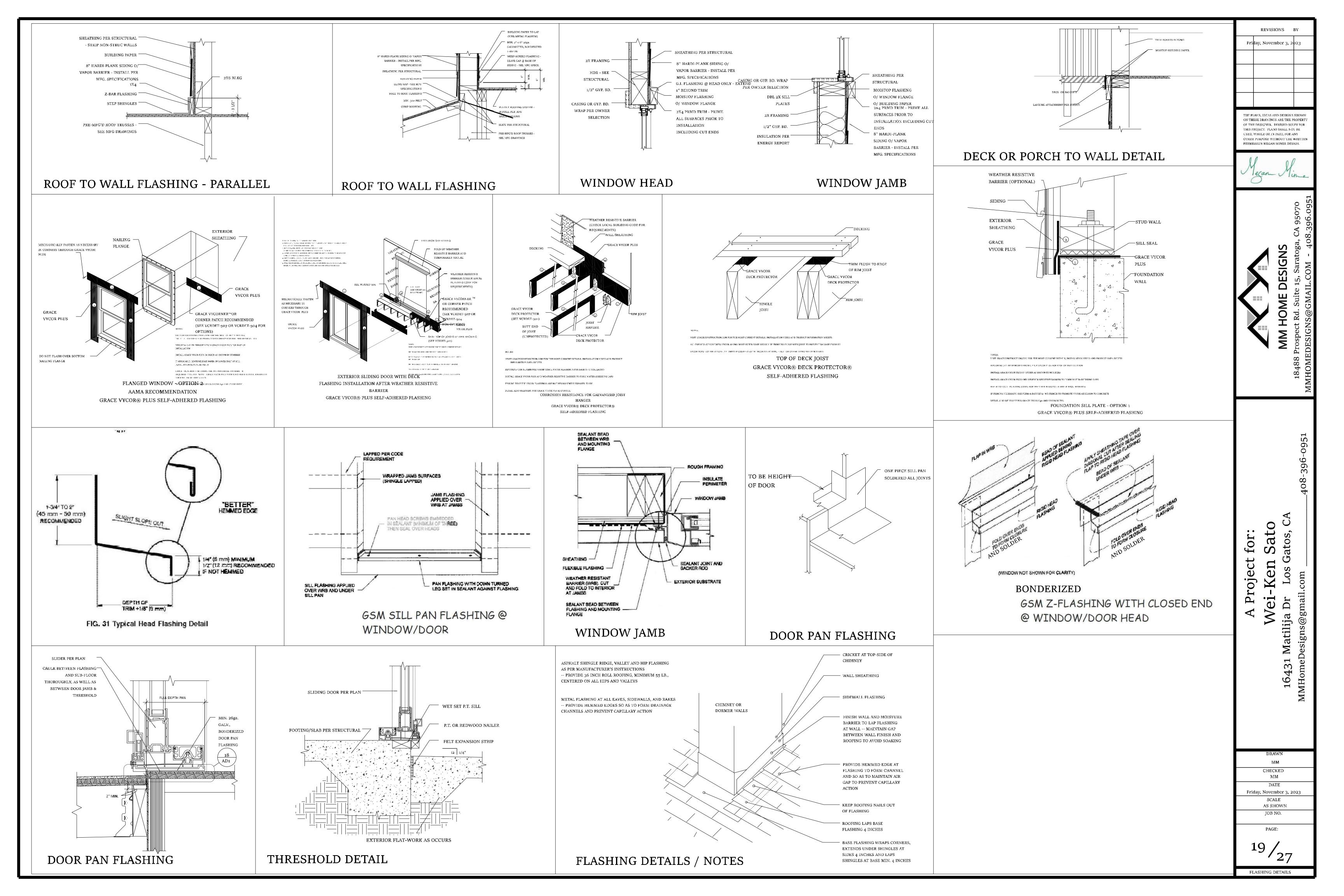
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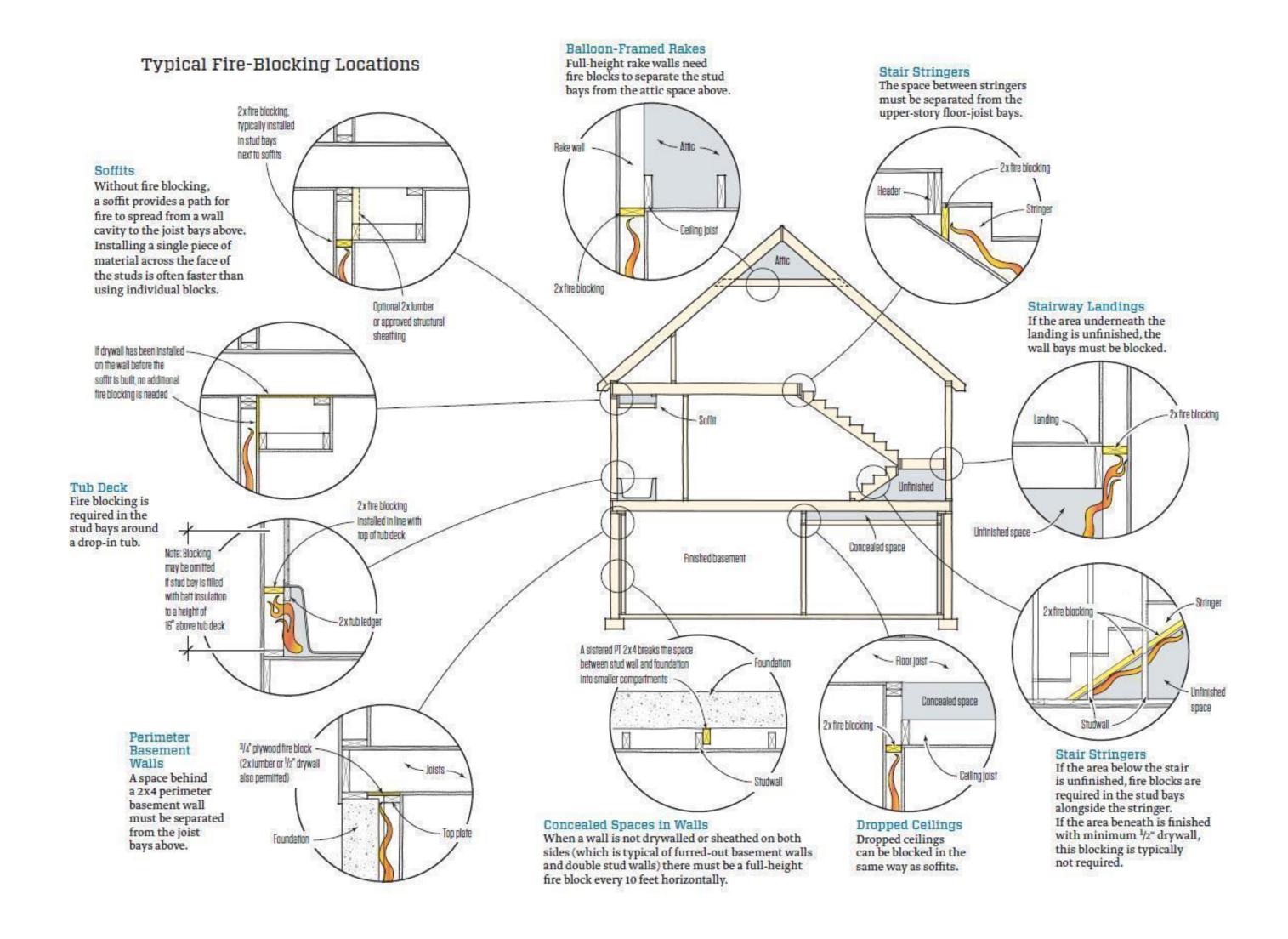
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WILDLAND URBAN INTERFACE NOTES

THE PROPOSED STRUCTURE IS IN THE STATE RESPONSIBILITY AREA (SRA) AND THE REQUIREMENTS OF THE WILDLAND-URBAN INTERFACE CODE (WUI) CBC CHAPTER 7A OR CRC R337 APPLY. ANY NEW CONSTRUCTION IN THE STATE RESPONSIBILITY AREA (SRA) LOCATED WITHIN ANY SEVERITY ZONE SHALL COMPLY VITH THE REQUIREMENT OF THE WILDLAND-URBAN INTERFACE CODE (WEI) CRC R337.

THIS PROJECT IS CONSTRUCTION OF A NEW BUILDING REQUIRED TO BE FULLY FIRE SPRINKLERED. All PLAN SUBMITTALS REQUIRING FIRE SPRINKLERS, FIRE SERVICE UNDERGROUND, FIRE ALARMS, AND HOOD AND DUCT SYSTEMS, SHALL BE SUBMITTED AND SHALL BE APPROVED BY THE FIRE DEPARTMENT AND STATE FIRE MARSHALL BEFORE A FRAMING INSPECTION SHALL BE GRANTED BY THE BUILDING

JOB COMES OF THE BUILDING AND FIRE SYSTEM PLANS AND PERMITS SHALL BE ON-SITE DURING INSPECTIONS. PRIOR TO THE FRAME INSPECTION, APPROVED FIRE SPRINKLERS AND/OR FIRE ALARM PLANS MUST BE ON SITE FOR THE FIRE/BUILDING INSPECTOR.

BUILDINGS SHALL BE OF APPROVED ADDRESS NUMBERS, BUILDING NUMBERS AND/OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION SHALL BE IN COMPLIANCE WITH THE JURISDICTIONAL REQUIREMENTS. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE PROVIDE IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE, AND SHALL BE OF ARABIC NUMBERS OR ALPHABETICAL LETTERS. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

NOTICE TO CONTRACTORS - FIRE DEPARTMENT DOES NOT Allow INSTALLATION OF FIRE SERVICES MAINS (INCLUDING ON SITE FIRE HYDRANTS), FIRE SPRINKLER SYSTEMS, FIRE ALARM SYSTEMS OR OTHER FIRE PROTECTION SYSTEMS PRIOR TO PLAN APPROVAL. CONTRACTORS WHO ENGAGE IN SUCH ACTIVITIES MAY BE CITED AND THE PROJECT WILL BE RED TAGGED.

All underground fire service (including on site fire hydrants), fire sprinkler systems, fire alarm systems, fire pumps, COMMERCIAL HOOD & DUCT SYSTEMS, OTHER FIRE PROTECTION SYSTEMS REQUIRE SEPARATE PLANS, APPLICATION, REVIEW, PERMIT AND FEE. ANY OF THE ABOVE NAMED SYSTEMS INCLUDED WITH APPLICATION AND SHOWN OR NOTED ON THESE PLANS ARE TO BE USED FOR BID PURPOSES ONLY.

FIRE ALARM SYSTEM AND ALL COMPONENTS SHALL CONFORM TO NFPA 72 MINIMUM STANDARDS AND SHALL BE REVIEWED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. STAMPED, APPROVED PLANS MUST BE KEPT ON SITE FOR THE FIRE INSPECTOR. FIRE ALARM CONTRACTOR MUST PICK UP SUBMITTAL PACKET PRIOR TO SUBMITTAL FROM FIRE DEPT. COMPLETED PACKET MUST BE INCLUDED WITH All FIRE ALARM PLAN SUBMITTAL. DOCUMENTATION OF FIRE ALARM MONITORING AND SERVICE MUST BE

All SITE INSPECTIONS REQUIRE A MINIMUM 24 HOURS NOTICE. ALL FIRE DEPARTMENT INSPECTIONS ARE TO BE REQUESTED THROUGH THE PERMIT CENTER, PLEASE BE SPECIFIC AS TO TYPE OF INSPECTION.

FIRE SAFETY DURING CONSTRUCTION SHALL FOLIOW CFC CHAPTER 33. FIRE EXTINGUISHERS SHALL BE PROVIDED. THE AUTOMATIC FIRE SPRINKLERS SYSTEM IS TO REMAN IN SERVICE AT All TIMES. UNDER NO CIRCUMSTANCE SHALL THE FIRE SPRINKLER SYSTEM BE LEFT OUT OF SERVICE OVERNIGHT. FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED & MAINTAINED IN ACCORDANCE WITH SECTION 503.

ROOFING

1. ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF CRC §R337 & R901. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURE'S INSTALLATION INSTRUCTIONS. CLASS A ROOF ASSEMBLY'S ARE REQUIRED.

2. ROOF COVERINGS: WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, IHE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBER, BE FIRE STOPPED WITH APPROVED MA TE MATERIALS OR HA VE ONE LA YER OF NO. 72 LBS. CAPSHEET INSTALLED OVER THE COMBUSTIBLE DECKING. CRC \$R337.5.2.(C) 3. ROOF VALLEYS: WHEN PROVIDED, VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 LBS. CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. CRC §R37.5.3.(C)

4. ROOF GUTTERS: ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. CRC \$R337.5.4. EXCEPTION: AREAS DESIGNATED AS SRA

ATTIC- EAVE - SOFFIT - UNDERFLOOR VENTILATION

5. EAVE/ SOFFIT / ATTIC/ PORCH/ UNDERFLOOR PROTECTION: OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8" AND MATERIALS SHALL BE NON-COMBUSTIBLE ANDCORROSION RESISTANT. CRC §R337.6.2.

6. VENTS COMPLYING WITH THE REQUIREMENTS OF R327.6.3 MAY BE INSTALLED IF ATTIC IS FULLY SPRINKLED OR THE EXTERIOR WALL COVERING OR UNDERSIDE OF EAVE EAVES ARE OF IGNITION RESISTANT MATERIAL PER SFM-12-7 A-5 AND LOCATED MORE THAN 12' FROM THE GROUND OR WALKING SURFACE CRC §R337.6.3.

EXTERIOR WALLS

7. EXTERIOR WALLS SHALL BE APPROVED NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION, OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 12-7A-1. CRC §R337.7.3.

RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. CRC §R337.7.3. l. 9. WINDOW GLAZING: EXTERIOR WINDOWS, GARAGE DOORS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED

PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTIVE RATING OF NOT LESS THAN 20 MINUTES. CRC §R337.8. 10. EXTERIOR DOOR ASSEMBLIES; EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7 A-2 OR SHALL BE APPROVED NONCOMBUSTIBLE

8, EXTERIOR WALL COVERINGS: EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN

CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20-MINUTES. CRC §R327.8.

DECKING FLOORS AND UNDERFLOOR PROTECTION

11. WALKING SURFACE: MATERIALS OF DECKS, PORCHES, BALCONIES, STAIR TREADS, RISERS, AND LANDINGS WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10' OF THE BUILDING SHALL COMPLY WITH 12. DECK SURFACES: SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIALS AND PASS THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-4. CRC §R337.9.3

UNDERFLOOR AND APPENDAGES PROTECTION

13. UNDERSIDE OF APPENDAGES AND FLOOR PROJECTIONS: THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE. CRC §R337.7.9.

14. UN-ENCLOSED UNDERFLOOR PROTECTION: BUILDINGS SHALL HAVE ALL UNDERFLOOR AREAS ENCLOSED TO THE GRADE THE SAME AS EXTERIOR WALL REQUIREMENTS. (EXCEPTION) THE COMPLETE ENCLOSURE OF UNDER FLOOR AREAS MAY BE OMITTED WHERE THE UNDERSIDE OF ALL EXPOSED FLOORS, EXPOSED STRUCTURAL COLUMNS, BEAMS AND SUPPORTING WALLS ARE PROTECTED AS REQUIRED WITH EXTERIOR IGNITION-RESISTANT MATERIAL CONSTRUCTION OR BE HEAVY TIMBER. CRC §R337.7.8.

15. PRIOR TO BUILDING PERMIT FINAL APPROVAL THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN CALIFORNIA PUBLIC RESOURCES CODE 4291 CALIFORNIA GOVERNMENT CODE SECTION 51182. CRC §R337.1.5.

16. THE ENFORCEMENT OF DEFENSIBLE SPACE AND INSPECTION SHALL BE PERFORMED BY THE LOCAL FIRE DEPARTMENT OR THE AUTHORITY HAVING JURISDICTION. CRC §R337.1.5. 17. SEE CAL-FIRE HANDOUTS FOR HOW TO OBTAIN DEFENSIBLE SPACE ZONES WHICH INCLUDE: FIREBREAK WITHIN 30' AND 100' OF EACH BUILDING OR STRUCTURE, DEAD AND DYING WOODY SURFACE FUELS SHALL BE REMOVED, DOWN LOGS OR STUMPS, FUEL SEPARATION, AND DEFENSIBLE SPACE WITH CONTINUOUS TREE CANOPY.

EXTERIOR WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THESE:

18. BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINUMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING OR,

19. BE CONSTRUCTED OF GLASS BLOCK UNITS OR,

20. HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTED WHEN TESTED ACCORDING TO NFPA 257, OR,

21. BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

OPERABLE SKYLIGHTS SHALL BE PROTECTED BY A NON-COMBUSTIBLE MESH SCREEN WHERE THE DIMENSIONS OF THE OPENINGS IN THE SCREEN SHALL NOT EXCEED 1/8"

EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING:

22. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON COMBUSTIBLE MATERIAL

23. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF IGNITION RESISTANT MATERIAL 24. THE EXTERIOR DOOR SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLIES WITH THE FOLLOWING:

A. STILES AND RAILS SHALL NOT BE LESS THAN 1 3/8" THICK

B. PANELS SHALL NOT BE LESS THAN 1 1/4" THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE PANEL THAT SHALL BE PERMITTED TO TAPER TO A TONGUE NOT LESS THAN 3/8" THICK

25. THE EXTERIOR DOOR ASSEMBLYSHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTED WHEN TESTED ACCORDING TO NFPA 252.

26. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SECTION 707A.3.1 WHEN TESTED IN ACCORDANCE WITH ASTM E2707 27. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.

GLAZING IN EXTERIOR DOORS SHALL COMPLY WITH SECTION 708A.2, LISTED ABOVE

EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS FROM ENTERING BY PREVENTING GAPS BETWEEN DOORS AND DOOR OPENINGS, AT THE BOTTOM, SIDES AND TOPS OF DOORS, FROM EXCEEDING 1/8". GAPS BETWEEN DOORS AND DOOR OPENINGS SHALL BE CONTROLLED BY ONE OF THE FOLLOWING METHODS:

A. WEATHER STRIPPING PRODUCTS MADE OF CODE SECTION COMPLIANT MATERIALS OR

B. DOOR OVERLAPS ONTO JAMBS AND HEADER OR C. JAMBS AND HEADERS COVERED WITH METAL FLASHING.

REVISIONS BY Friday, November 3, 2023

ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEVISED SOLEY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN





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FIRE BLOCKING - WUI NOTES