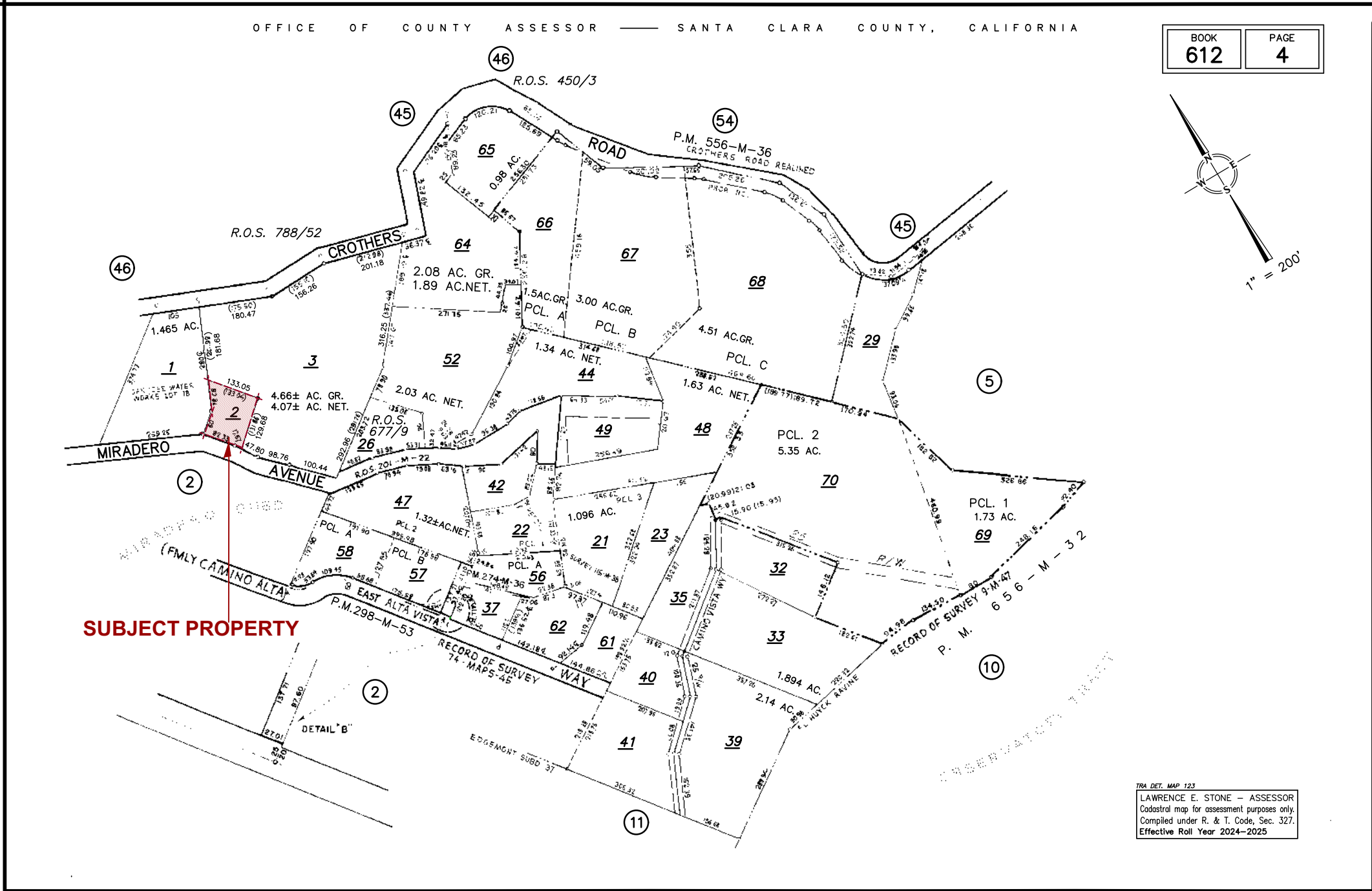
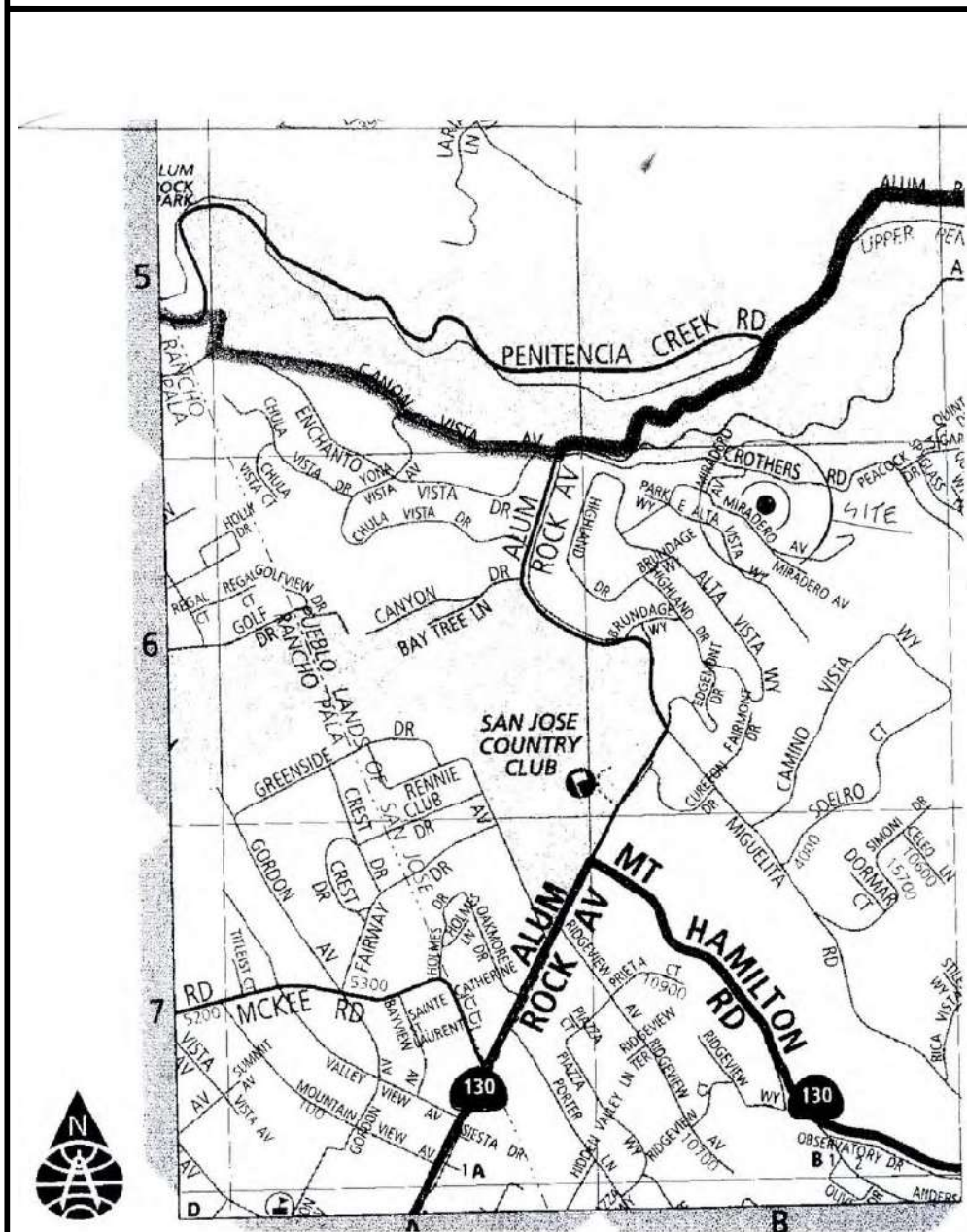




15820 MIRADERO AVENUE, SAN JOSE , CA



PARCEL / VICINITY MAP



SHEET INDEX

- ARCHITECTURAL
- A-1 SITE PLAN
 - A-2 FIRST FLOOR PLAN
 - A-3 SECOND FLOOR PLAN
 - A-4 ROOF PLAN, FLOOR AREA CALCULATIONS
 - A-5 EXTERIOR ELEVATIONS
 - A-6 EXTERIOR ELEVATIONS
 - A-7 SECTIONS

SCOPE OF WORK

1. DEMOLISH EXISTING RETAINING WALL
2. NEW 2 STORY SFR W/ ATTACHED GARAGE
3. NEW RETAINING WALL
4. NEW UTILITIES TO EXISTING IN STREET

PROJECT DATA

HOUSE FLOOR AREA	3,748.17 SQFT
GARAGE	475.17 SQFT
TOTAL FLOOR AREA	4,223.34 SQFT

NOTES

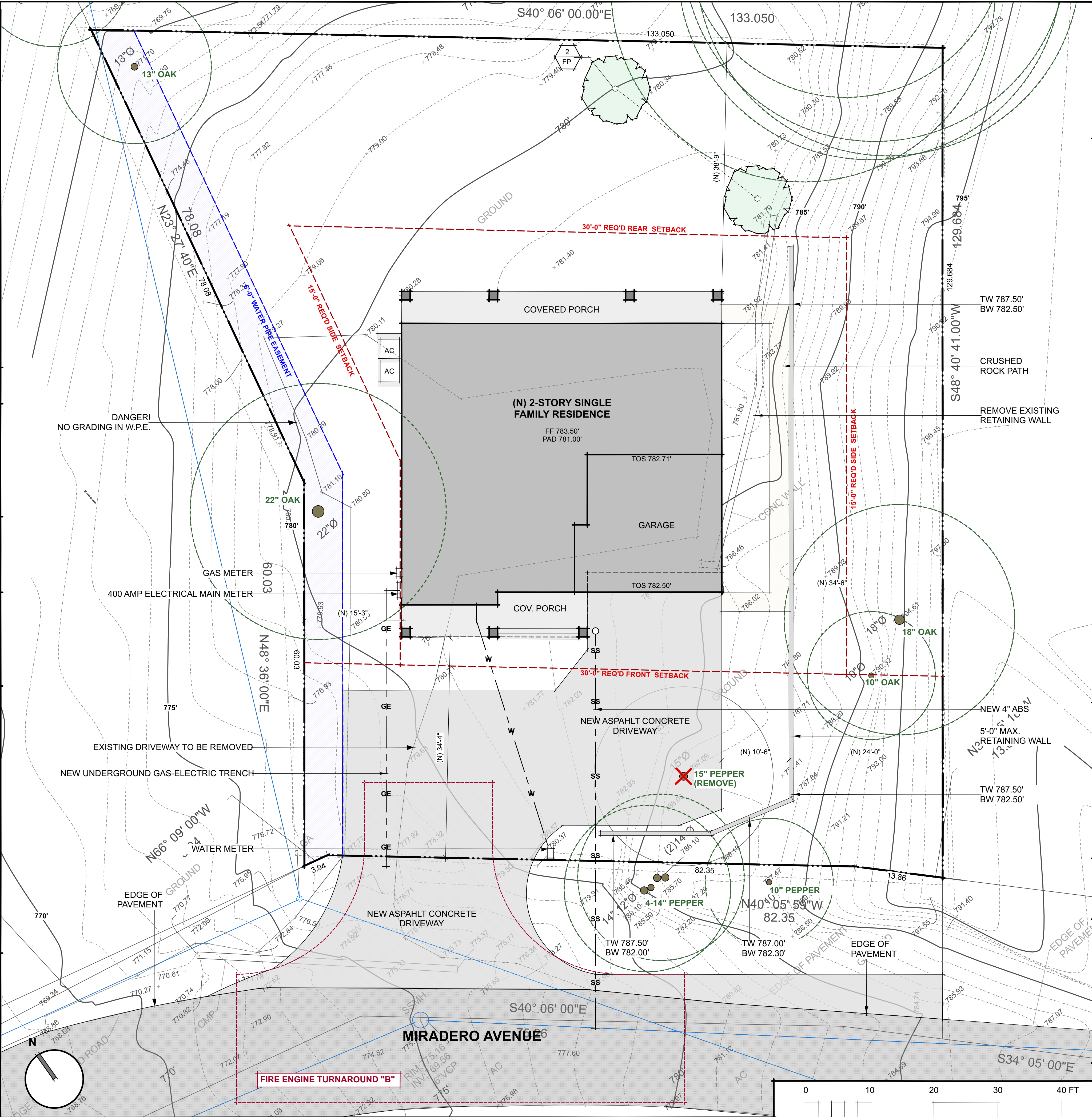
1. PAINT TO HAVE LIGHT REFLECTIVITY VALUE OF 45 OR LESS.
2. PRUNE ALL EXISTING SHRUBS TO 24" HIGH MAX. PRUNE ALL FRONT YARD TREES TO 6' ABOVE GRADE. APPLIES TO ALL EXISTING VEGETATION IN THE FRONT YARD, PROVIDE CLEAR VIEWS OF STREET TO CARS EXITING THE DRIVEWAY.
3. CHAPTER 7A OF THE CBC IS TO BE MET AT BUILDING PERMIT SUBMITTAL
4. DEFENSIBLE SPACE IS TO BE MAINTAINED AT ALL TIMES.
5. FIRE SPRINKLER ARE TO DEFERRED SUBMITTAL.
6. EXISTING FIRE HYDRANT IS 240' FROM SOUTWEST CORNER OF PROPERTY
7. 100% FIRE SPRINKLERS ARE TO BE DEFERRED SUBMITTAL
8. NO GRADING WITHIN THE 6' WATER PIPELINE EASEMENT.

WATER PIPELINE EASEMENT:

An easement affecting that portion of said land and for the purposes stated herein and incidental purposes as provided in the following

Instrument : Agreement
For : 6 foot water pipe line and maintenance
Recorded : May 25, 1957 in Book 3812 of Official Records, Page 473
Affects : As follows:

Beginning at a point in the Northeasterly line of Miradero Avenue at the most Southerly corner of that certain Tract noted as Penitencia Reservoir Site and Deed to the San Jose Water Works (a corporation) by East Side County Water District (Inc.) by Deed dated July 5, 1945 and recorded August 1, 1945 in Book 1274 of Official Records, Page 427, in the Office of the County Recorder of Santa Clara County, California and running thence along the Southeasterly line of said Tract, North 88° 36' East 60.00 feet and North 23° 36' East 78.08 feet, as provided for in the Agreement executed by, between and among Raymond G. Wilkins and Josephine J. Wilkins, his wife, Kenneth T. Bacon and Barbara Lee Bacon, his wife, Harold H. Hallin and Kathryn Hallin, his wife, John M. O'Keefe Sr., and Lou A. O'Keefe, his wife, and George Byrd Clark and Bonnie Jean Clark, his wife, dated May 25, 1957 in Book 3812 of Official Records, Page 473.



AM GENERAL CONTRACTORS, INC.
295 KINNEY DRIVE
SAN JOSE, CA, 95112
408.286.4800

NEW SINGLE FAMILY RESIDENCE:
15820 MIRADERO AVENUE, SAN JOSE, CA
A.P.N. 612-04-002

REVISIONS:

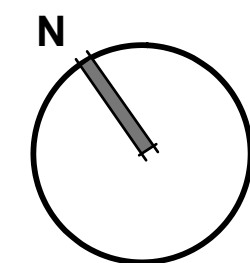
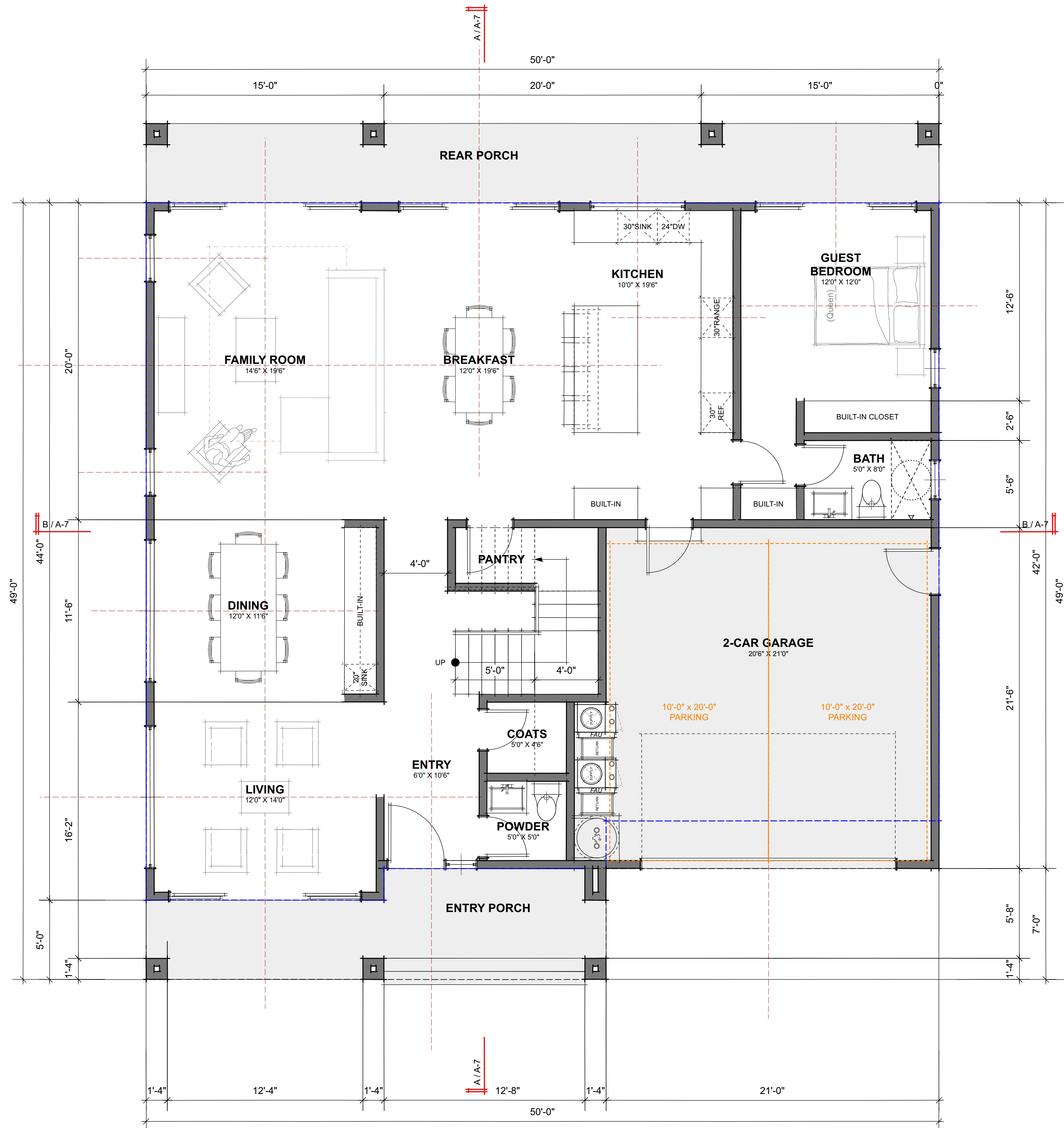
STATUS:
FOR DESIGN REVIEW

CONTENTS:
SITE PLAN

DATE: 05.27.25

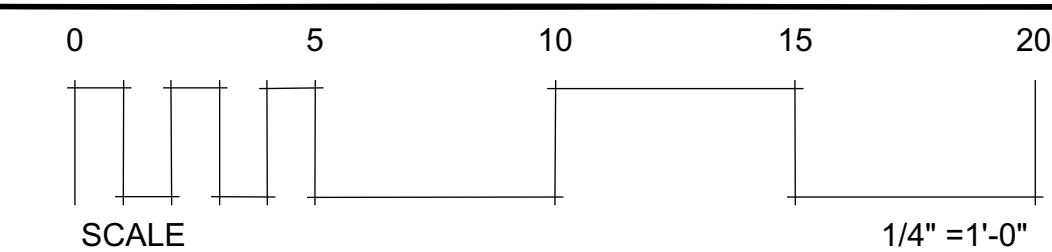
SHEET NO.:

A-1



WALL KEY	
	NEW 2"x6" WALL FRAMING, U.N.O.
	NEW 2"x4" WALL FRAMING, U.N.O.

CEILING HEIGHT NOTE:
ALL CEILING HEIGHTS ARE TO BE TYPICAL AT +/-10'-0" (U.N.O.)



MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE

This handout identifies the requirements of chapter 7A of the current California Building Code (CBC) and Section R337, of the Residential (CRC)

Application date and where required:
See page 2 of 2

1. The dimensions of the openings thereto shall be a minimum of 1/16-inch and shall not exceed 1/8-inch.

2. The materials used shall be noncombustible. Exception: Vents located under the roof covering, along the ridge of roofs, with the exposed surface of the vents covered by noncombustible wire mesh, may be of combustible materials.

3. The materials used shall be corrosion resistant.

2. The materials used shall be noncombustible. Exception: Vents located under the roof covering, along the ridge of roofs, with the exposed surface of the vents covered by noncombustible wire mesh, may be of combustible materials.

3. The materials used shall be corrosion resistant.

Exposed wood beams shall be sawn or glued laminated

• With smallest minimum nominal dimension of 4 inches.

Exposed wood columns shall be sawn or glued laminated

• With smallest minimum nominal dimension 4 inches.

** Garage doors shall resist the intrusion of embers by preventing gaps by the items listed per IBC 703.4

1. Noncombustible material (Stucco, Metal)

2. Ignition-resistant material

3. Heavy timber exterior wall assembly

4. Exterior wall architectural trim, embellishments, fascias, and gutters do not require protection

5. Exterior porch ceilings

6. Noncombustible material

7. Ignition-resistant material

8. One layer of 5/8-inch Type X gypsum sheathing applied behind the exterior covering on the underside of the eaves

9. Exterior windows and glazed doors shall be:

10. Constructed of multi-pane glazing with a minimum of one tempered pane meeting the requirements of Section 2405 Safety Glazing, or

11. Constructed of glass block units, or

12. Have a fire resistance rating of not less than 30 minutes when tested according to NFPA 257, or

13. Tested to meet the performance requirements of SIFM Standards 12-7A-2 708A.2.2 Structural glass veneer

14. Guards shall be ignition resist or min 2x nominal framing

15. All exterior doors:

16. The exterior surface or cladding shall be of noncombustible or ignition-resistant material

17. Shall be constructed of solid core wood (1-3/8" with min 1-1/4" top panels)

18. Shall have a fire-resistance rating of not less than 20 minutes.

Soffit Vents

We offer a large variety of ember/fire-stopping soffit and undereave vent options to meet your home's specific requirements. BrandGuard Vents® are made out of metal and comply with the most stringent requirements of the WUI code for use in high fire risk zones.

Foundation Vents

Foundation vents will not only protect your home from embers, but they'll also ventilate your crawl space or basement. Prevent musty air, and say goodbye to mildew, mold, and wood rot. These vents are easy to install without disturbing your siding or stucco.

Gable End Vents

BrandGuard's Gable Vents feature a patented baffle design to stop embers and prevent the spread of fires. They are ideal for use in Wildfire-Urban Interface (WUI) areas.

Under Eave Vents (Bird Block Vents)

All embers need to penetrate your home, so our under eave vents keep wind-blown embers outdoors, where they belong. Attic ventilation is key from an energy efficiency point of view, so you need a product, which allows air to move freely while keeping embers and fire from entering your home. Our patented technology does just that.

Dormer Vents

Our amber and fire-resistant dormer vents protect your home from outside forces, like embers, rain, snow, and pests, while still allowing uninterrupted air circulation through your attic. BrandGuard dormers are available for new construction or retrofit applications. The retrofit dormer "face" is installed onto existing traditional vents, without removing roof tiles. The installation is quick and easy.

Sub-Flashing Vents

If you already have existing low-profile roof vents, turbine, or mushroom vents, our sub base vents can be installed to convert your current vents into ember-resistant ones. Retrofitting your vents will offer you critical fire safety and make your vents WUI-compliant. BrandGuard sub flashing vents are installed from the attic without touching your existing low-profile vents, basically transforming a traditional unsafe low-profile vent into a fire/ember stopping vent.

Gutter Guards

As mandated by Assembly Bill 38 and recommended by CAL Fire, gutters should be protected by a metal screen to avoid accumulation of leaves and pine needles. Dry leaves are a source of fire ignition in case of an ember shower generated by nearby wildfire. BrandGuard gutter protection metal micro-mesh is made with Stainless Steel for long-lasting performance.

Removable Balcony Vents

All wood frame balconies in multifamily dwellings in California must be inspected at regular intervals to comply with the recent Senate bill. BrandGuard Vents® has developed an innovative vent that provides proper air circulation while protecting the structures from flying embers and fire. Our balcony vents are the only product on the market that is fully compliant with the WUI code. Their easy opening and closing allow for regular inspections without any damage to the balcony itself.

WALL KEY

NEW 2"X6" WALL FRAMING, U.N.O.

NEW 2"X4" WALL FRAMING, U.N.O.

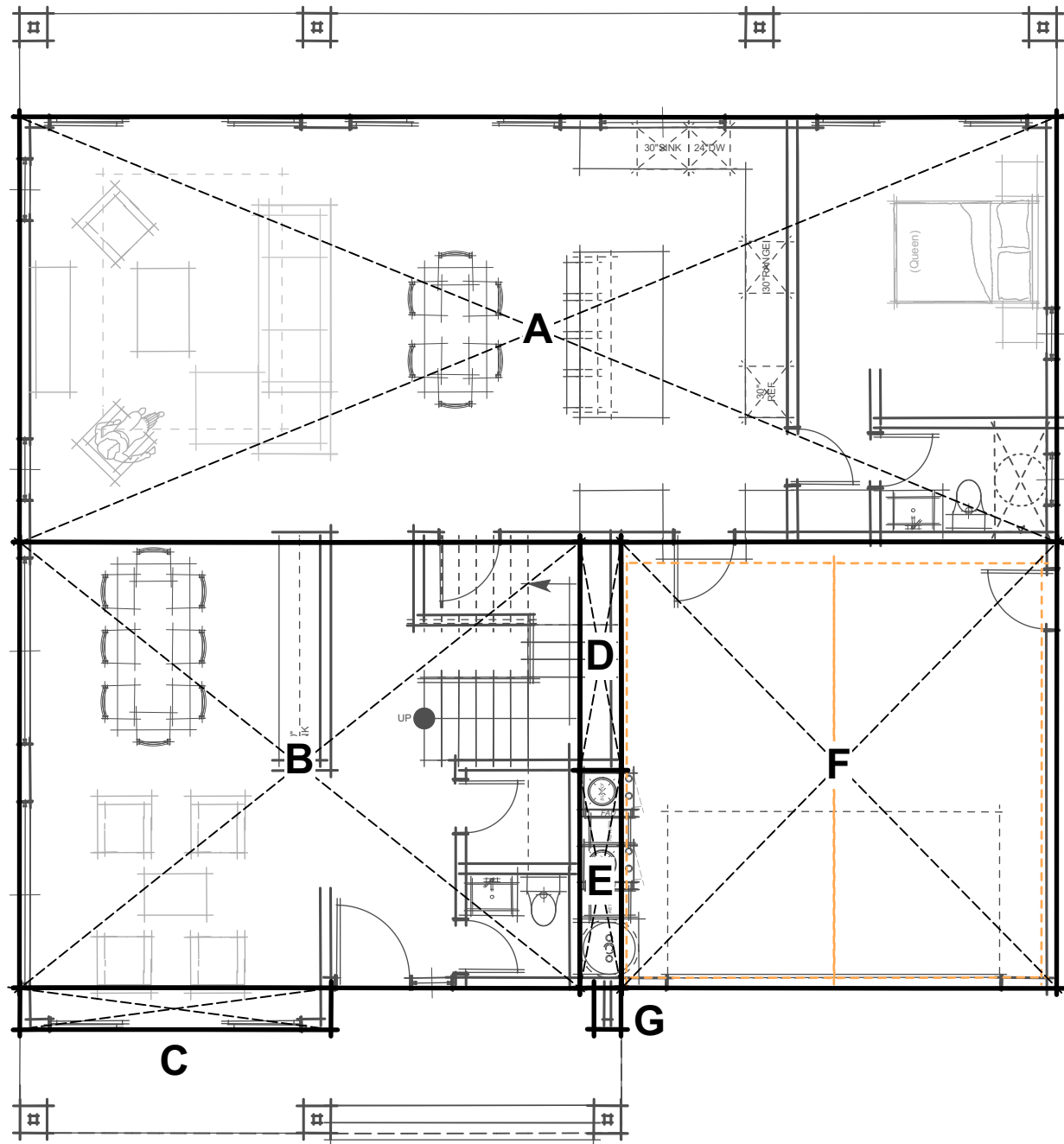
CEILING HEIGHT NOTE:
ALL CEILING HEIGHTS ARE TO BE TYPICAL AT +/-10'-0" (U.N.O.)

SECOND FLOOR PLAN

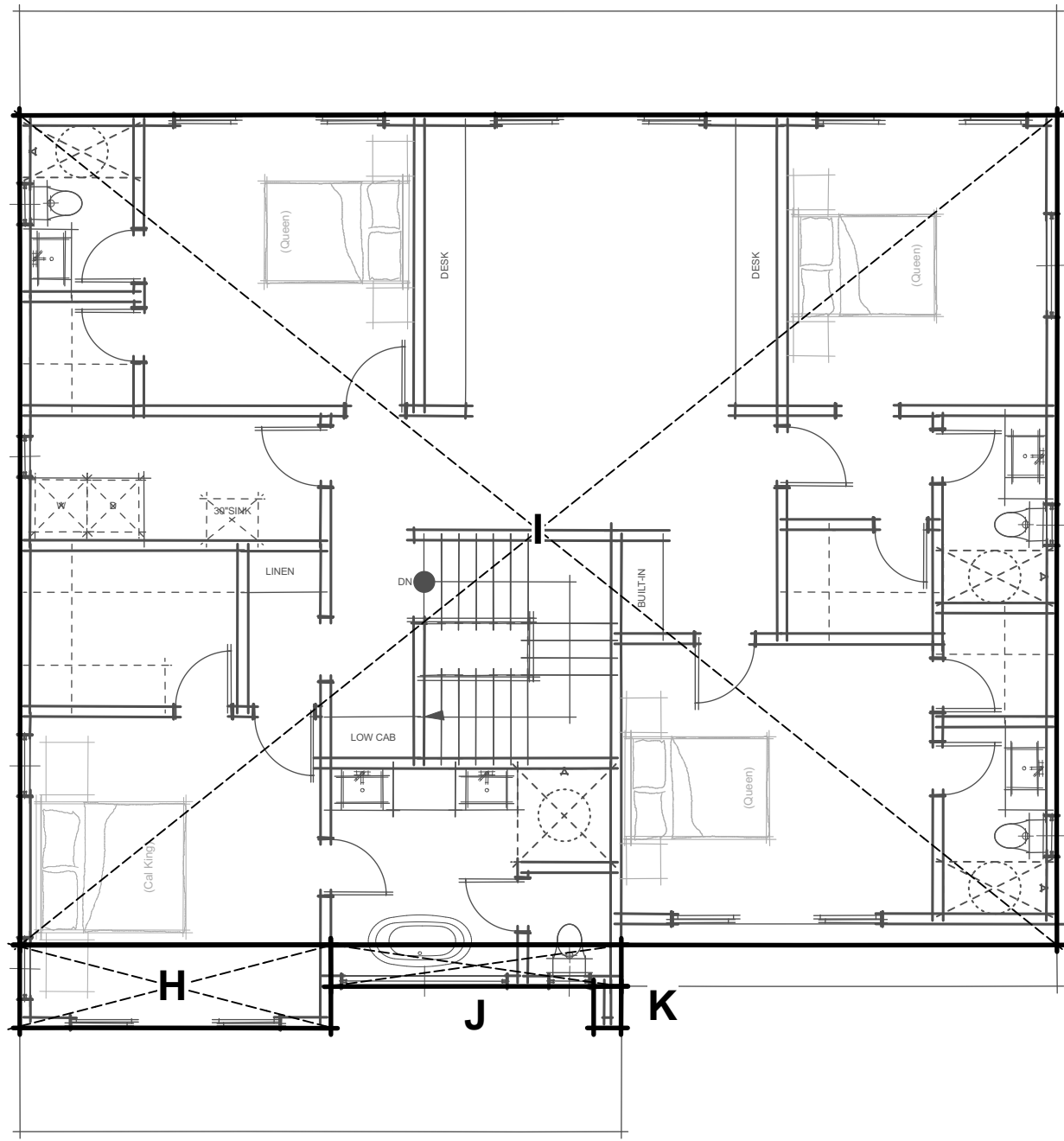
AM GENERAL CONTRACORS, INC.
295 KINNEY DRIVE
SAN JOSE, CA, 95112
408.286.4800

NEW SINGLE FAMILY RESIDENCE:
15820 MIRADERO AVENUE, SAN JOSE, CA
A.P.N. 612-04-002

REVISIONS:
STATUS: FOR DESIGN REVIEW
CONTENTS: SECOND FLOOR PLAN
DATE: 05.27.25
SHEET NO.: A-3



FIRST FLOOR PLAN 1/8" = 1'-0"



SECOND FLOOR PLAN 1/8" = 1'-0"

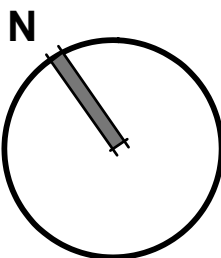
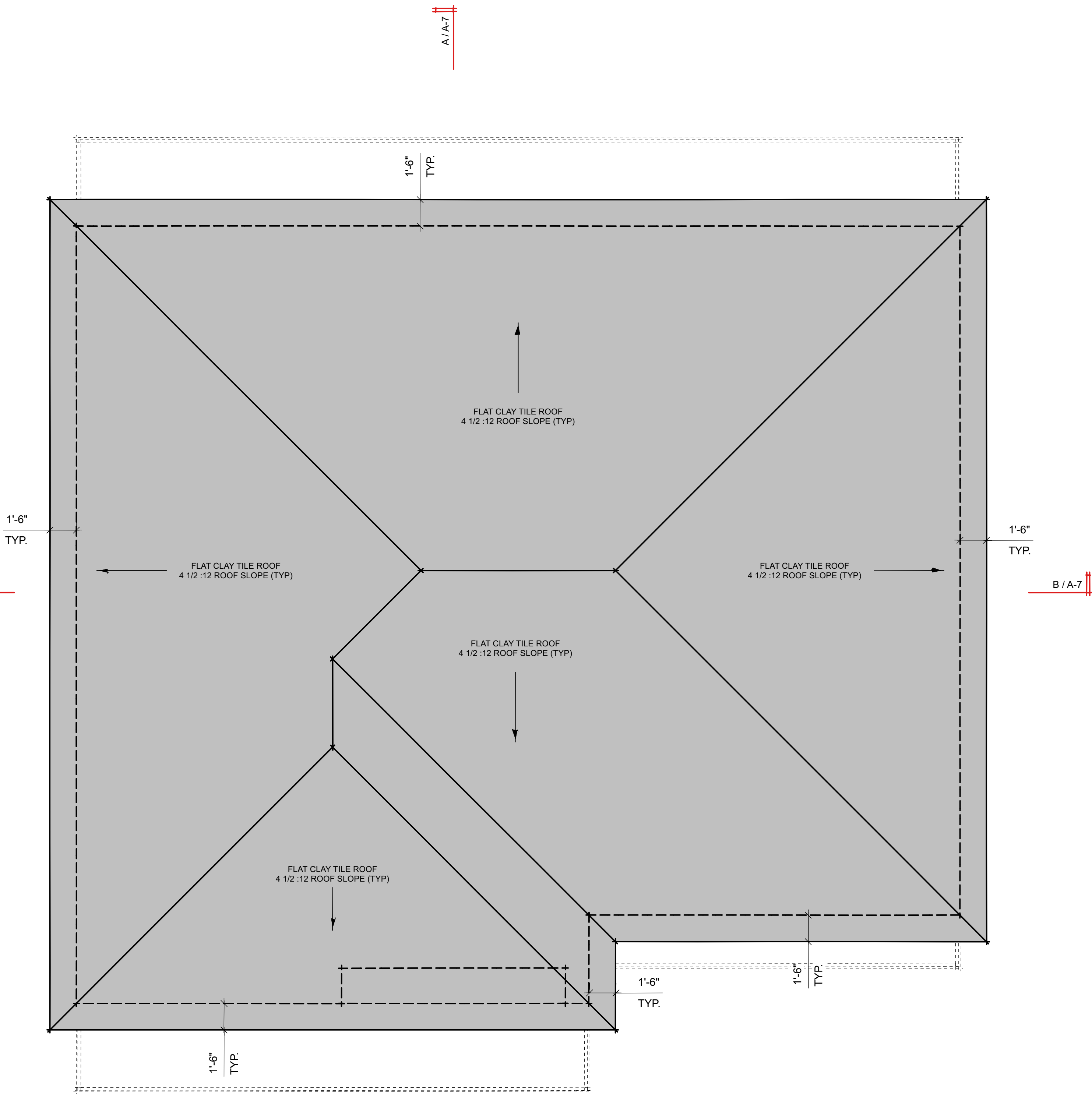
FLOOR AREA CALCULATIONS

FIRST FLOOR		
AREA		TOTAL (SQ. FT.)
A	50'-0" X 20'-6"	1,025.00 SQ. FT.
B	27'-0" X 21'-6"	580.50 SQ. FT.
C	15'-0" X 2'-0"	30.00 SQ. FT.
D	2'-0" X 11'-0"	22.00 SQ. FT.
SUBTOTAL		1,657.50 SQ. FT.

GARAGE		
AREA		TOTAL (SQ. FT.)
E	2'-0" X 10'-6"	21.00 SQ. FT.
F	21'-0" X 21'-6"	451.50 SQ. FT.
G	1'-4" X 2'-0"	2.67 SQ. FT.
SUBTOTAL		475.17 SQ. FT.

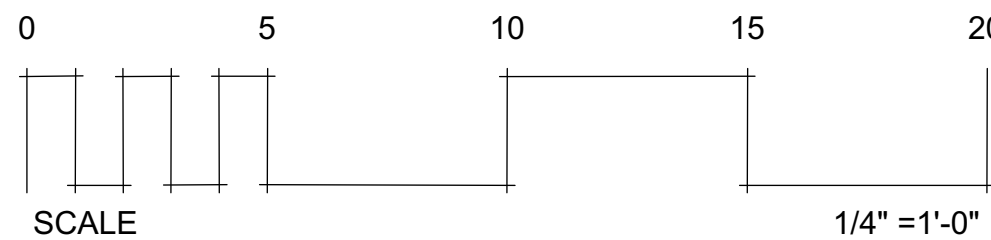
SECOND FLOOR		
AREA		TOTAL (SQ. FT.)
H	15'-0" X 4'-0"	60.00 SQ. FT.
I	50'-0" X 40'-0"	2,000.00 SQ. FT.
J	14'-0" X 2'-0"	28.00 SQ. FT.
K	1'-4" X 2'-0"	2.67 SQ. FT.
SUBTOTAL		2,090.67 SQ. FT.

TOTAL FLOOR AREA	4,223.34 SQ. FT.
------------------	------------------



WALL KEY	
	NEW 2"X6" WALL FRAMING, U.N.O.
	NEW 2"X4" WALL FRAMING, U.N.O.

CEILING HEIGHT NOTE:
ALL CEILING HEIGHTS ARE TO BE TYPICAL AT +/-10'-0" (U.N.O.)



REVISIONS:

STATUS:
FOR DESIGN REVIEW

CONTENTS:
ROOF PLAN &
FLOOR AREA
CALCULATIONS

DATE: 05.27.25

SHEET NO.:

A-4

16.06.060 SECTION R337 - MATERIALS AND CONSTRUCTIONS
METHODS FOR EXTERIOR WILDFIRE EXPOSURE

R337.7.10 Underside of Appendages

When required by the enforcing agency the underside of overhanging appendages shall be enclosed to grade in accordance with the requirements of this chapter or the underside of the exposed underfloor shall be protected by one or more of the following:

1. Noncombustible material.
2. Ignition-resistant material. The ignition-resistant material shall be labeled for exterior use and shall meet the requirements of Section R337.7.2.
3. Fire-retardant-treated wood. The fire-retardant-treated wood shall be labeled for exterior use and shall meet the requirements of Section 2303.2 of the California Building Code.
4. Materials approved for not less than 1-hour fire-resistance-rated construction on the exterior side, as tested in accordance with ASTM E119 or UL 263.
5. One layer of $\frac{5}{8}$ -inch (16 mm) Type X gypsum sheathing applied behind an exterior covering on the underside of the appendage projection.
6. The exterior portion of a 1-hour fire-resistance-rated exterior assembly, as tested in accordance with ASTM E119 or UL 263, applied to the underside of the appendage, including assemblies using the gypsum panel and sheathing products listed in the Gypsum Association Fire Resistance Design Manual.
7. The underside of an appendage assembly that meets the performance criteria in Section R337.7.11 when tested in accordance with the test procedures set forth in ASTM E2957.
8. The underside of an appendage assembly that meets the performance criteria in accordance with the test procedures set forth in SFM Standard 12-7A-3.

Exception to Section R337.7.10: Structural columns and beams do not require protection when they are constructed with sawn lumber or glue-laminated wood with the smallest minimum nominal dimension of 4 inches (102 mm). Sawn or glue-laminated planks shall be splined, tongue-and-groove, or set close together and well spiked.

NEW SINGLE FAMILY RESIDENCE:
15820 MIRADERO AVENUE, SAN JOSE, CA
A.P.N. 612-04-002

REVISIONS:

STATUS:
FOR DESIGN REVIEW

CONTENTS:
EXTERIOR
ELEVATIONS

DATE: 05.27.25

SHEET NO.:

A-5

SOUTH / FRONT ELEVATION

NORTH / REAR ELEVATION

15820 Miradero Av, San Jose, CA 95127
Project Address
612-04-002
APN

PLN23-208
Project File Number

Color/Materials Board*

Roof

Eagle 295 Dark Charcoal
Manufacture & Material
Product Name, Number

Door & Window Frames, Railings

Sherwin Williams/SW7019/Gauntlet Gray, LRV 17
Manufacture / Number
Color Name, LRV

Trim

Sherwin Williams/SW6003/Proper Gray, LRV 39
Manufacture / Number
Color Name, LRV

Exterior Walls

Sherwin Williams/SW7643/Pussywillow LRV 42
Manufacture / Number
Color Name, LRV

Architectural Accents (Ex. Stone Veneer)

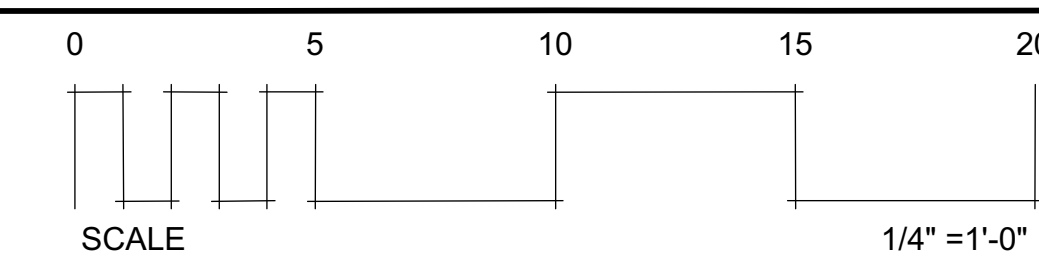
Sherwin Williams/SW6003/Proper Gray, LRV 43
Manufacture / Number
Color Name, LRV

Retaining Walls

Sherwin Williams/SW7643/Pussywillow LRV 42
Manufacture / Number
Color Name, LRV

*This information shall also be provided on the elevation drawings in the plans.

1/24/2019



16.06.060 SECTION R337 - MATERIALS AND CONSTRUCTIONS
METHODS FOR EXTERIOR WILDFIRE EXPOSURE

R337.7.10 Underside of Appendages

When required by the enforcing agency the underside of overhanging appendages shall be enclosed to grade in accordance with the requirements of this chapter or the underside of the exposed underfloor shall be protected by one or more of the following:

- Noncombustible material.
- Ignition-resistant material. The ignition-resistant material shall be labeled for exterior use and shall meet the requirements of Section R337.7.2.
- Fire-retardant-treated wood. The fire-retardant-treated wood shall be labeled for exterior use and shall meet the requirements of Section 2303.2 of the California Building Code.
- Materials approved for not less than 1-hour fire-resistance-rated construction on the exterior side, as tested in accordance with ASTM E119 or UL 263.
- One layer of 5/8-inch (16 mm) Type X gypsum sheathing applied behind an exterior covering on the underside of the appendage projection.
- The exterior portion of a 1-hour fire-resistance-rated exterior assembly, as tested in accordance with ASTM E119 or UL 263, applied to the underside of the appendage, including assemblies using the gypsum panel and sheathing products listed in the Gypsum Association Fire Resistance Design Manual.
- The underside of an appendage assembly that meets the performance criteria in Section R337.7.11 when tested in accordance with the test procedures set forth in ASTM E2957.
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Exception to Section R337.7.10: Structural columns and beams do not require protection when they are constructed with sawn lumber or glue-laminated wood with the smallest minimum nominal dimension of 4 inches (102 mm). Sawn or glue-laminated planks shall be splined, tongue-and-groove, or set close together and well spiked.

NEW SINGLE FAMILY RESIDENCE:
15820 MIRADERO AVENUE, SAN JOSE, CA
A.P.N. 612-04-002

REVISIONS:

STATUS:
FOR DESIGN REVIEW

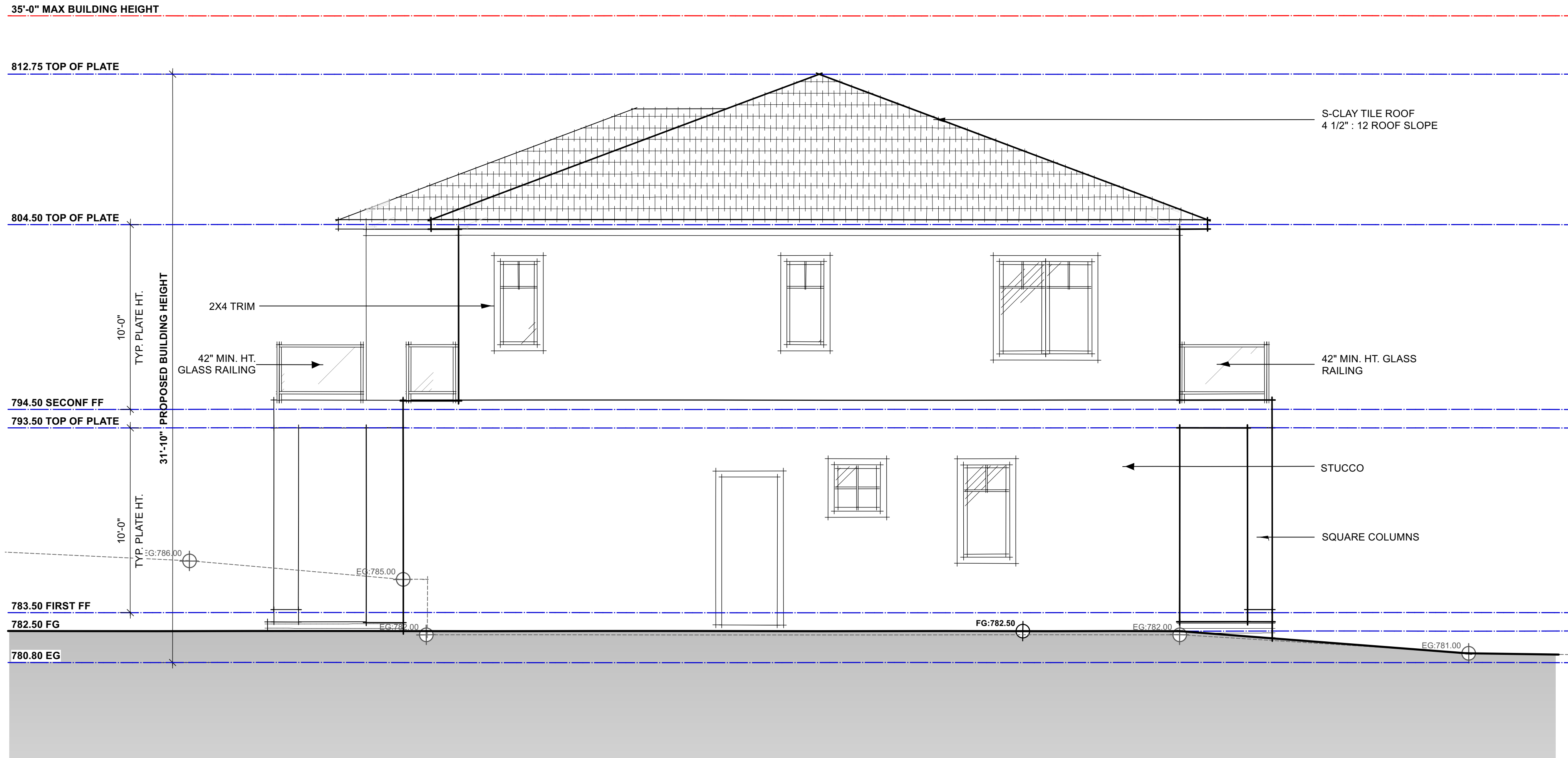
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EXTERIOR ELEVATIONS

DATE: 05.27.25

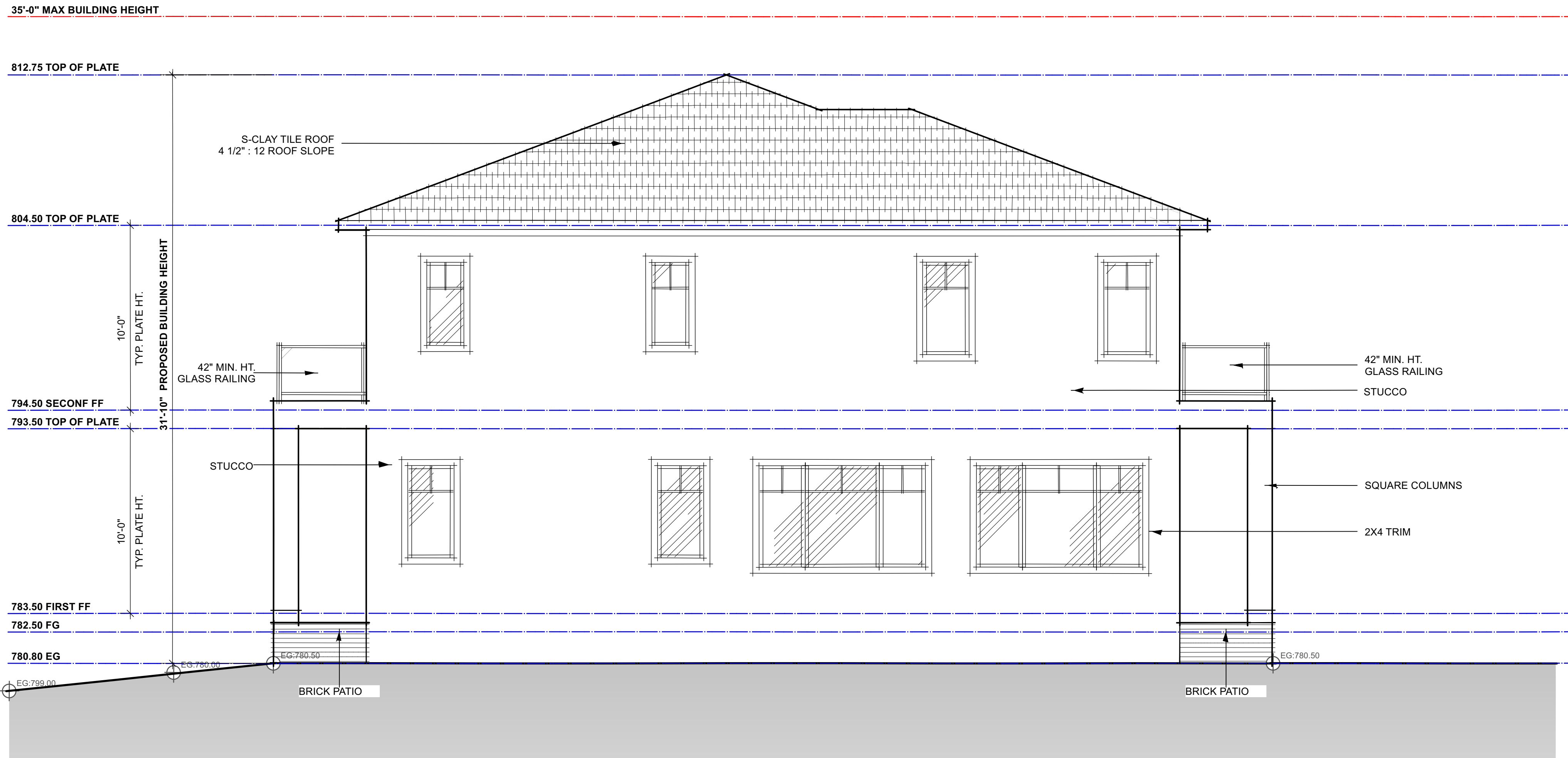
SHEET NO.:

A-6

EAST / RIGHT ELEVATION



WEST / LEFT ELEVATION



15820 Miradero Av, San Jose, CA 95127
Project Address
612-04-002
APN

PLN23-208
Project File Number

Color/Materials Board*

Roof

Eagle 295 Dark Charcoal
Manufacture / Material
Product Name, Number

Door & Window Frames, Railings

Sherwin Williams/SW7019/Gauntlet Gray, LRV 17
Manufacture / Number
Color Name, LRV

Trim

Sherwin Williams/SW6003/Proper Gray, LRV 39
Manufacture / Number
Color Name, LRV

Exterior Walls

Sherwin Williams/SW7643/Pussywillow LRV 42
Manufacture / Number
Color Name, LRV

Architectural Accents (Ex. Stone Veneer)

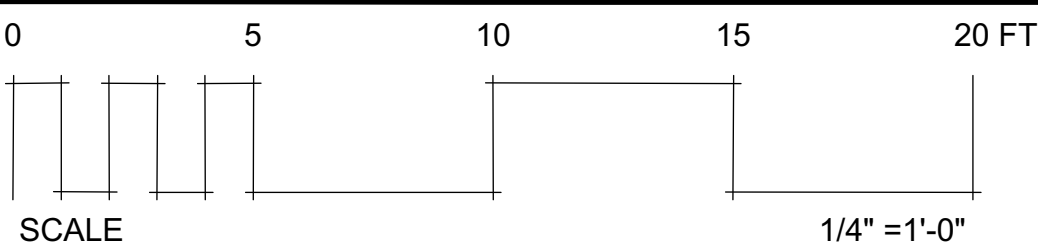
Sherwin Williams/SW6003/Proper Gray, LRV 43
Manufacture / Number
Color Name, LRV

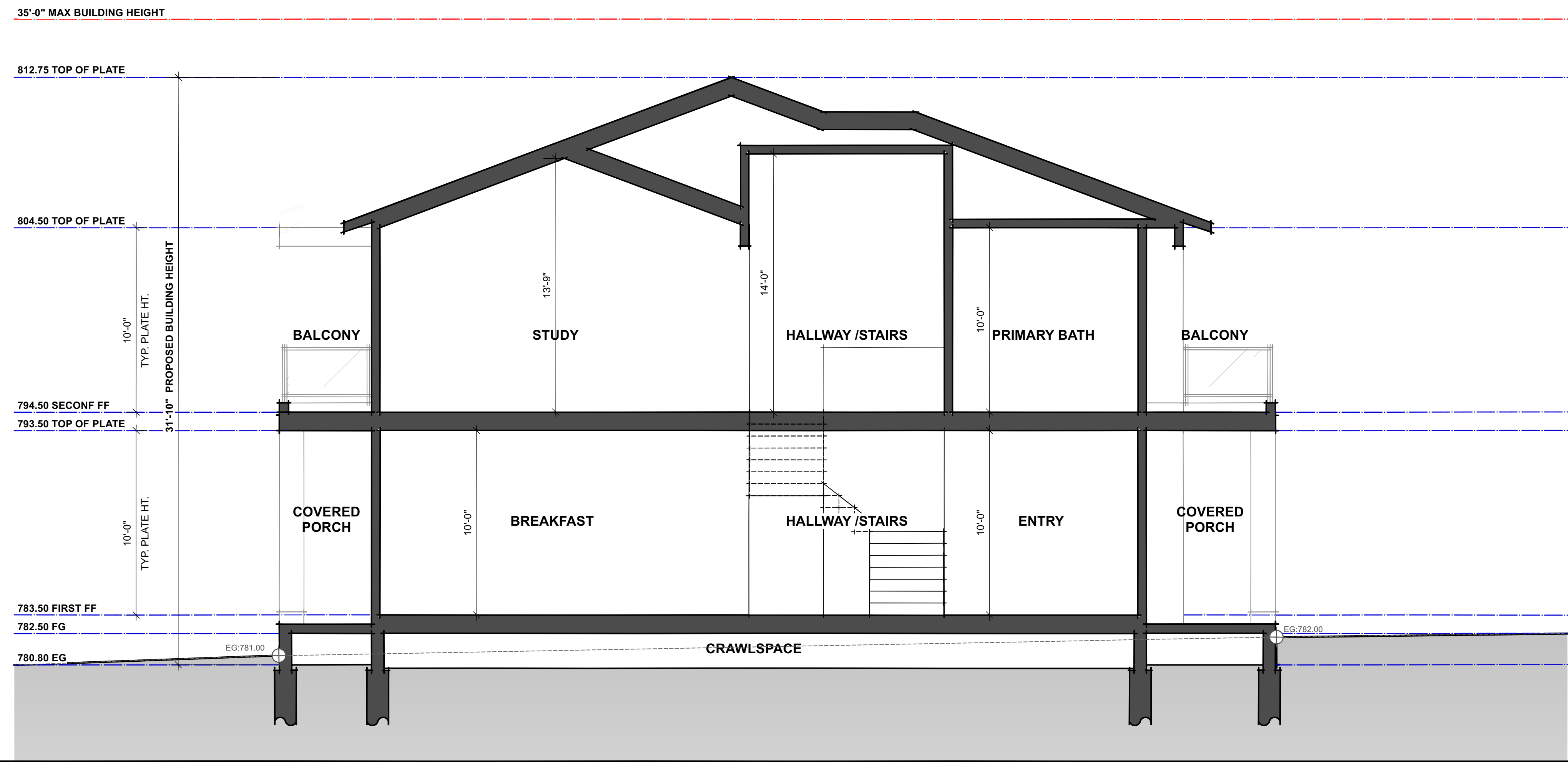
Retaining Walls

Sherwin Williams/SW7643/Pussywillow LRV 42
Manufacture / Number
Color Name, LRV

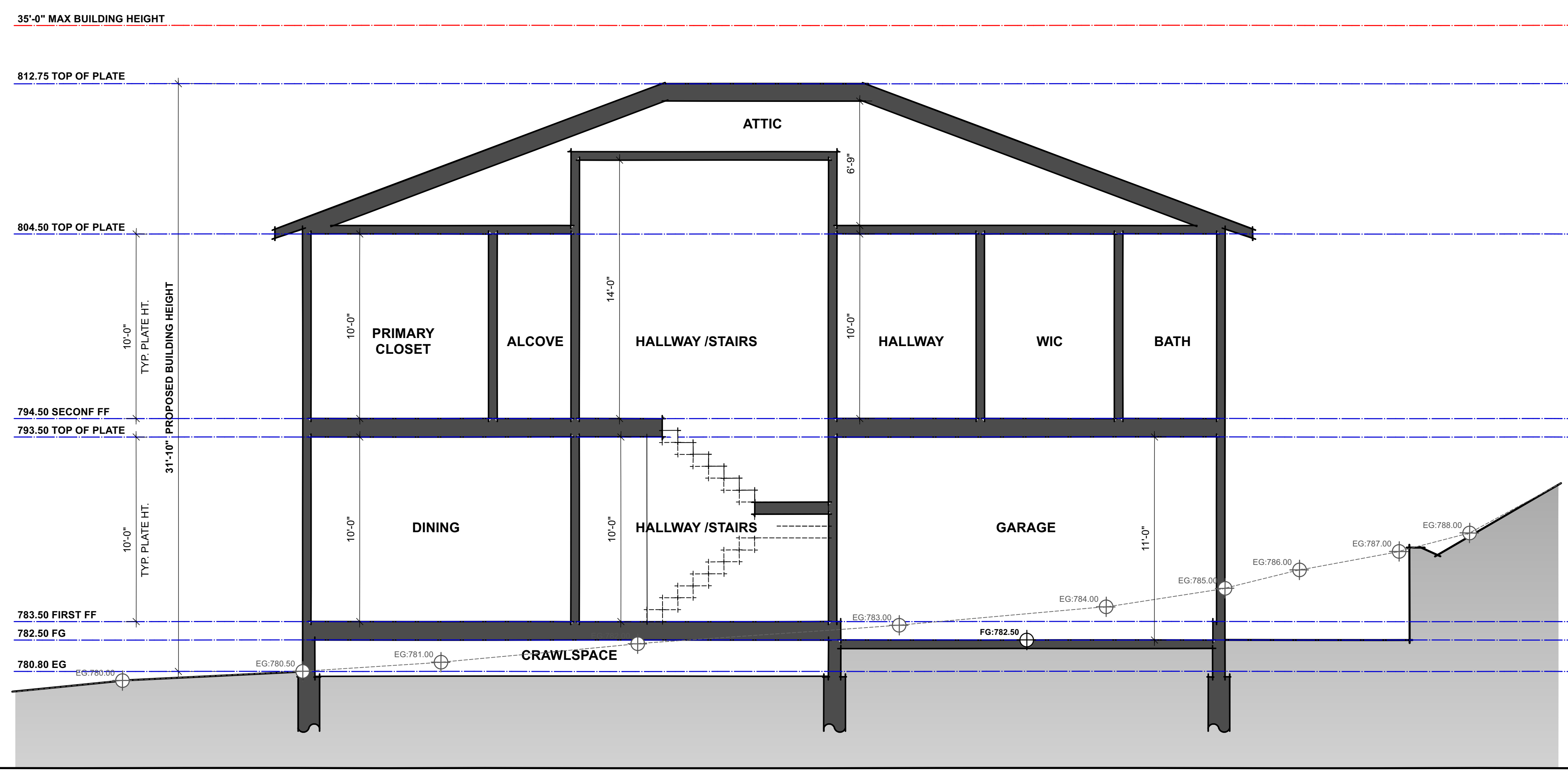
*This information shall also be provided on the elevation drawings in the plans.

1/24/2019





SECTION A



SECTION B

