

GENERAL NOTES

SMOKE DETECTORS & CARBON MONOXIDE REQUIREMENTS:

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

- IN EACH SLEEPING ROOM
- OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

- OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S).
- ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

POWER AND INTERCONNECTION:

- POWER MUST BE SUPPLIED BY THE BUILDINGS PRIMARY POWER SOURCE FOR BOTH SMOKE AND CARBON MONOXIDE DETECTORS AND THEY MUST HAVE A BATTERY BACK-UP.
- FOR EXISTING BUILDINGS WHERE WALLS ARE NOT BEING OPENED A BATTERY ONLY DEVICE MAY BE USED
- WHERE MORE THAN ONE SMOKE DETECTOR IS INSTALLED THEY MUST BE INTERCONNECTED
- WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS INSTALLED THEY MUST BE INTERCONNECTED
- INTERCONNECTION IS NOT REQUIRED IN EXISTING DWELLING UNITS WHERE REPAIRS DO NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES. THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWLSPACE, AND NO PREVIOUS METHOD FOR INTERCONNECTION EXISTED.

FIRE DEPARTMENT REQUIREMENTS:

1. THE APPLICANT SHALL MEET ALL REQUIREMENTS IN THE 2019 FIRE CODE AND CITY/COUNTY FIRE DEPARTMENT DISTRICT.
2. THE APPLICANT SHALL INSTALL AN APPROVED AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D COMPLYING WITH LOCAL AMENDMENTS. RESIDENCE SPRINKLER HEADS SHALL BE USED IN THE DWELLING / GUEST PORTIONS OF THE BUILDING. THE SPRINKLER SYSTEM SHALL PROVIDE PROTECTION TO AT LEAST ALL OF THE FOLLOWING AREAS: GARAGES, CARPORTS, BATHROOMS, CONCEALED SPACES, WATER HEATER / FURNACE ROOMS, CLOSETS, LAUNDRY ROOMS, ATTIC SPACES, UNDER WALKS, OR OVERHANGS, BALCONIES OR DECKS GREATER THAN FOUR FEET IN DEPTH, FLOOR LANDINGS IF WHOLLY OR PARTIALLY ENCLOSED, COVERED GUEST CARPORTS OR OTHER AREAS AS REQUIRED. FIRE SPRINKLER TEST WATER MUST DRAIN TO AN APPROPRIATELY-SIZED LANDSCAPED AREA. PLANS SHOWING PIPING OF AFES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.
3. A SEPARATE PERMIT IS REQUIRED FOR THE FIRE SPRINKLER SYSTEM. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE SAN JOSE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. A COPY OF THE PLAN CHECK COMMENTS SHALL BE REQUIRED AT THE TIME OF THE PERMIT APPLICATION. THIS WILL BE A DEFERRED SUBMITTAL (AFTER BUILDING PERMIT IS ISSUED).
4. THE INSPECTION, HYDROSTATIC TEST, AND FLUSHING OF THE AFES SHALL BE WITNESS BY THE BUILDING INSPECTOR FIRE SPECIALIST, AND NO PIPING SHALL BE COVERED OR HIDDEN FROM VIEW UNTIL AN INSPECTION HAS BEEN COMPLETED. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY SMC.
5. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUB-CONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS AND / OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.
6. THE MINIMUM SIZE WATER METER WHICH CAN BE USED WITH A SPRINKLER SYSTEM IS 3/4 INCH. LARGER WATER METERS MAY BE REQUIRED.
7. WATER SUPPLIES AND FIRE HYDRANTS - THE REQUIRED FIRE FLOW SHALL BE NOT LESS THAN 1,000 GALLONS PER MINUTE AT 20 PSI. THE FIRE FLOW SHALL BE AVAILABLE FROM ONE (1) FIRE HYDRANT. THE MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT IS 250 FEET.
 - PLEASE OBTAIN FIRE FLOW INFORMATION FROM THE WATER COMPANY. FIRE FLOW INFORMATION FOR THE SITE IS REQUIRED AT TIME OF SUBMITTING YOUR SPRINKLER PERMIT.
8. FIRE HYDRANT LOCATION - WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 400 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CHIEF.
 - THE NEW STRUCTURE MUST COMPLY WITH DISTANCE TO FH REQUIREMENT PER ABOVE.
9. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP.33.
10. ADDRESS IDENTIFICATION - APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. SUBUNITS OF ANY BUILDING OR COMPLEX, NOT HAVING INDIVIDUAL ADDRESSES, SHALL BE IDENTIFIED IN A CONSISTENT MANNER, EITHER NUMERICALLY OR ALPHABETICALLY, USING A LOGICAL SEQUENCE. UNIT NUMBERS OR LETTER SHALL BE AFFIXED NEAR THE MAIN ENTRANCE OF EACH OCCUPANCY IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE.
11. FIRE ACCESS - THE FIRE ACCESS ROAD SHALL EXTEND TO WITHIN 200 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
12. THE APPLICANT MUST IMMEDIATELY NOTIFY THE FIRE DEPARTMENT, HAZARDOUS MATERIALS UNIT OF ANY UNDERGROUND PIPES, TANKS OR STRUCTURES, ANY SUSPECTED OR ACTUAL CONTAMINATED SOILS, OR OTHER ENVIRONMENTAL ANOMALIES ENCOUNTERED DURING SITE DEVELOPMENT ACTIVITIES. ANY CONFIRMED ENVIRONMENTAL LIABILITIES WILL NEED TO BE REMEDIATED PRIOR TO PROCEEDING WITH SITE DEVELOPMENT.

PLUMBING NOTES:

1. **GENERAL:** ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2016 CALIFORNIA PLUMBING CODE. (CGSBC SECTION 4.303.3.2)
2. **SHOWER & SHOWER / TUB COMBINATIONS:** SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR THE COMBINATION OF THE TWO TYPES, TO PROVIDE SCALD AND THERMAL SHOCK PROTECTION (CPC 418.0).
 - MINIMUM INTERIOR DIMENTION = 30"
 - MINIMUM INTERIOR AREA = 1,024 SQUARE INCHES
 - WATERPROOF WALL FINISHES MUST EXTEND A MINIMUM 70" ABOVE SHOWER DRAIN
 - SHOWER HEADS MUST DISCHARGE BELOW THE TOP EDGE OF WATERPROOF WALL FINISH.
 - HINGED SHOWER DOORS MUST SWING OUTWARD WITH 22 INCH NET OPENING.
3. **SHOWERS AND TUBS WITH SHOWERS:** REQUIRE A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72-INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED. A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. (CRC SECTIONS R307.2 AND R702.3.8)
4. **TUB / SHOWER WALLS (SECTION CRC R702.4.2):** FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER REINFORCED GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1288, C 1325, C1178 OR C 1278, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.
5. **WATER CLOSETS:** TO BE A MAX. 1.28 GAL. PER FLUSH (CPC 402.2.2). PROVIDE A CLEAR WIDTH OF 30" MIN. PREFERABLY 36" WITH A FRONTAL CLEAR ACCESS OF 24" MIN. (CPC 407.6)
6. **PIPING:** PROVIDE R-3 INSULATION ON ALL HOT WATER PIPES IN UNCONDITIONED SPACES & ON ALL HOT WATER RE-CIRCULATING PIPES. DOMESTIC WATER LINES WITH BUILDING SHALL HAVE COPPER, NATURAL GAS PIPING, EXPOSED TO WEATHER SHALL BE GALVANIZED. PROVIDE "DIELECTRIC" UNIONS "FPCO" @ ALL DISSIMILAR MATERIAL CONNECTIONS. PROVIDE A SOFT WATER LOOP WITH (2) GATE VALVES AS APPLICABLE. HEATED WATER SHALL HAVE A CONTINUOUS LOOP SYSTEM. ALL HOSE BIBS & LAWN SPRINKLER SYSTEMS SHALL HAVE AN APPROVED BACK-FLOW PREVENTION DEVICE.
7. **WHIRLPOOL TUBS:** A REMOVABLE PANEL SHALL BE INSTALLED FOR SERVICE ACCESS TO THE MOTOR / PUMP. THE CIRCULATION PUMP SHALL BE LOCATED ABOVE THE WIRE OF THE TRAP. THE PUMP FITTINGS ON WHIRLPOOL TUBS SHALL COMPLY WITH THE LISTED STANDARDS. RECEPTACLES THAT PROVIDE POWER FOR THE WHIRLPOOL TUBS SHALL BE GFCI PROTECTED. WHIRLPOOL BATH TUBS SHALL BE "HARD-WIRED" WITH A DISCONNECT SWITCH WITHIN SIGHT OF THE APPLIANCE. WIRING SHALL COMPLY WITH THE LISTING ON THE FIXTURE.
 - a. ALL ELECTRIC SPA OR HOT TUB HEATERS SHALL BE LISTED (NEC 680-41-h).
 - b. PROVIDE ACCESS TO HYDRO-MASSAGE TUB MOTOR AND JUNCTION BOX BY AN ACCESS PANEL (LPC 413.0).
 - c. ALL RECEPTACLES LOCATED WITHIN 10 FEET OF THE INSIDE WALLS OF A SPA / HOT TUB SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT-INTERRUPTER (NEC 680-41-h-1).
 - d. ALL LIGHTING FIXTURES AND LIGHTING OUTLETS OVER THE SPA OR WITHIN 5 FEET OF THE INSIDE WALLS SHALL BE A MIN. OF 7'-6" ABOVE THE MAXIMUM WATER LEVEL AND SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT-INTERRUPTER (NEC 680-41-a-2).
 - e. HYDRO-MASSAGE TUB CONTROLS AND WALL SWITCHES SHALL BE LOCATED A MIN. OF 5 FT. FROM THE TUB (NEC 680-41-3).
 - f. RECEPTACLES THAT PROVIDE POWER FOR A SPA OR HOT TUB SHALL BE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTED (NEC 680-41-a-3).
8. **WATER HEATER:** ALL WATER HEATER APPLIANCES SHALL BE DETERMINED BY THE PLUMBING CONTRACTOR AND / OR TRADESMEN. SEE PLAN FOR LOCATION OF APPLIANCES. PROVIDE A MIN. (2) SEISMIC STRAPS @ THE UPPER 1/2 OF ITS DIMENSION. PROVIDE R-12 INSULATION BLANKET @ WATER HEATER. HOT WATER INLET & OUTLET PIPES SHALL BE INSULATED WITH R-3 INSULATION MIN. STEEL OR HARD DRAWN COPPER TO THE EXTERIOR OF THE BUILDING WITH THE END OF THE PIPE BRACKERS IN COMPLIANCE WITH ASTM C 1288, C 1325, C1178 OR C 1278, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.
 - A. PROVIDE WATER HEATER PRESSURE AND TEMPERATURE RELIEF VALVE AT TERMINATION TO OUTSIDE OF BUILDING (CPC 608, SOP P10.008)
 - B. PROVIDE A WATER HEATER AS SPECIFIED IN THE ELECTRICAL, MECHANICAL, AND PLUMBING PLANS FOR THIS PROJECT IN COMPLIANCE WITH THE TITLE 24 SHEETS, CEC APPROVED.
 - C. PROVIDE "EARTHQUAKE" STRAPPING: 1 1/2" X 16 GAUGE STRAPS AT TOP & BOTTOM WITH 3/8" ø. X 3" LONG LAG BOLT AT EACH END. (CPC 308.2)
 - D. PROVIDE AN 120V ELECTRICAL RECEPTACLE LOCATED WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS.
 - E. PROVIDE A CATEGORY II OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED
 - F. PROVIDE A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER AND ALLOWS NATURAL DRAINING WITHOUT PUMPS ASSISTANCE.
 - G. PROVIDE A GAS SUPPLY LINE WITH A MINIMUM CAPACITY OF AT LEAST 200,000 BUTHR FOR EACH NEW WATER HEATER DESIGN GAS INPUT. CEC SECTION 150.009.
 - H. PROVIDE DOCUMENTATION TO SHOW THAT THE GAS PIPING IS ADEQUATE IN SIZE FOR THE LOADING PROVIDED. INCLUDE APPLIANCE BTU RATING AND LENGTHS OF PIPING FROM THE METER TO THE MOST REMOTE OUTLET (CPC 1216.0).
9. **PLUMBING VENT TERMINATION:** EACH VENT SHALL TERMINATE NOT LESS THAN 10 FEET HORIZONTALLY FROM, AND 3 FEET ABOVE ANY OPERABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT OR NOT LESS THAN 3 FEET IN EVERY DIRECTION FROM ANY LOT LINE, ALLEY OR STREET. (CPC 906.2).
10. **DISHWASHER:** NO DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIRGAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF SINK OR DRAIN BOARD, WHICHEVER IS HIGHER.
11. PROVIDE ANTI-SIPHON VALVES ON LL HOSE BIBS (CPC 603.4.7).

MECHANICAL NOTES:

- APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORTS FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL & HORIZONTAL LOADS WITHIN THE STRESS LIMITATIONS SPECIFIED IN THE BUILDING CODE. CMC 303.4.
- LISTED HEATING & COOLING EQUIPMENT** SHALL BE INSTALLED PER THE MANUFACTURER'S INSTALLATION REQUIREMENTS.
- DWELLINGS** ARE TO MEET CALIFORNIA ENERGY COMMISSION (CEC) STANDARDS. PROVIDE COMPLIANCE DOCUMENTATION AND MANDATORY FEATURES.
- BATHROOMS:** ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED. ROOMS CONTAINING A WATER CLOSET SHALL HAVE AN EXHAUST FAN WITH A MINIMUM RATING OF 50 CFM. (CMC TABLE 4-4). PROVIDE VENTILATION FOR PRODUCTS OF COMBUSTION TO OUTSIDE AIR (CMC 801.1).
- BATHROOM EXHAUST FANS** WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH CGBS 4.506 AND SHALL COMPLY WITH THE FOLLOWING:
 - a. ENERGY STAR
 - b. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF 50% TO 80%.
- ENVIRONMENTAL COMFORT:** HEATING SYS. IS REQUIRED TO MAINTAIN 68 DEGREES AT 3 FT. ABOVE FLOOR LEVEL IN ALL HABITABLE ROOMS. (R303.8)
- DUCT SYSTEMS** ARE SIZED, DESIGNED, AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS (SECTION CGBS 4.507):
 - A. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUAL J OR EQUIVALENT.
 - B. SIZE DUCT SYSTEMS ACCORDING TO ACCA 29-3 (MANUAL D) OR EQUIVALENT.
 - C. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-2 (MANUAL S) OR EQUIVALENT.
- WHOLE HOUSE EXHAUST FANS** SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2. (SECTION CGBS 4.507)
- HVAC SYSTEM INSTALLERS:** ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. (SECTION CGBS 702)
- ALL RESIDENTIAL PROJECTS CURRENTLY SUBJECT TO CAL GREEN REGULATIONS** TO TEST HEATING AND COOLING DUCTS FOR LEAKAGE. DUCT LEAKAGE TESTING IS NOT REQUIRED IF THE DUCTS ARE INSTALLED WITHIN THE CONDITIONED ENVELOPE OF THE BUILDING.
- VERIFICATIONS:** VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE. (SECTION CGBS 703)
- HEATING EQUIPMENT** THAT MAY GENERATE A GLOW, SPARK OR FLAME SHALL HAVE BURNERS OR PILOTS 18" ABOVE THE GARAGE FLOOR (CMC 308.1).
- SUFFICIENT ACCESS** SHALL BE PROVIDED TO ALL MECHANICAL EQUIPMENT FOR SERVICING (CMC 305).
- RANGES** SHALL HAVE A VERTICAL CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN 30" TO UNPROTECTED COMBUSTIBLE MATERIAL (CMC 916.2).
- ATTICS** CONTAINING EQUIPMENT REQUIRING ACCESS SHALL PROVIDE AN ACCESS OPENING LARGE ENOUGH FOR THE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30" X 22". HAS CONTINUOUS SOLID FLOORING 24" WIDE, AND A LEVEL SERVICE SPACE 30" X 30" IN FRONT OF EQUIPMENT.
- PROVIDE ADEQUATE AIR FOR COMBUSTION, VENTILATION, AND DILUTION** OF FLUE GASES FOR ALL GAS-FIRED APPLIANCES PER CMC 701.1.1.
- PROVIDE CLOTHES DRYER VENT** TO OUTSIDE OF BUILDING (NOT TO UNDERFLOOR AREA) WITH A MAXIMUM LENGTH OF 14 FEET. EQUIPPED WITH A BACK-DRAFT DAMPER INCLUDING TWO 90-DEGREE ELBOWS AND A MINIMUM DIAMETER OF 4-INCHES (CMC 405.3.2.2).
- MECHANICAL DUCTS:** TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC. MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS). CMC 504.45.
- FLEXIBLE DUCTWORK:** IN ATTICS OR UNDER-FLOOR AREAS SHALL BE SUPPORTED AT MANUFACTURER'S RECOMMENDED INTERVALS, BUT NO GREATER THAN 4 FEET ON CENTER.
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS:** SHALL PROTECT AGAINST THE PASSAGE OF RODENCE BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD PER SECTION CGBS 4.406.
- AT THE TIME OF FINAL INSPECTION,** AN OPERATION AND MAINTENANCE MANUAL ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER SECTION CGBS 4.410.
- INSTALLED GAS FIREPLACE(S)** SHALL BE A DIRECT-VENT SEALED COMBUSTION TYPE, ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS WHERE APPLICABLE PER CGBS 4.503.
 - a. A MASONRY OR FACTORY-BUILT FIREPLACE SHALL HAVE A CLOSABLE METAL OR GLASS COVERING THE ENTIRE OPENING OF THE FIREBOX (CEC 150 (e)).
- ADHESIVES, SEALANTS, AND CAULKS** SHALL BE COMPLIANT WITH "VOC" AND OTHER TOXIC COMPOUND LIMITS PER CGBS SECTION 4.504:
 - A. PAINT, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS
 - B. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR COB AND OTHER TOXIC COMPOUNDS.
 - C. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
 - D. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
 - E. 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
 - F. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- INTERIOR MOISTURE CONTROL ELEMENTS PER CGBS SECTION 4.505:**
 - A. VAPOR RETARDER AND CAPILLAR BREAK IS REQUIRED TO BE INSTALLED AT THE SLAB ON GRADE FOUNDATIONS
 - B. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALLS AND FLOOR FRAMING IS TO BE CHECKED FOR THE MINIMUM REQUIREMENTS BEFORE ENCLOSURE.


ELECTRICAL NOTES:

- GENERAL:** CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT AND PROVIDE ALL LABOR REQUIRED FOR A COMPLETE INSTALLATION READY FOR OPERATION.
- MAIN PANEL SIZE:** MAINTAIN EXISTING ELECTRICAL SERVICE. (PANEL MUST BE MINIMUM SIZE 3-WIRE, 100-AMP. PANEL. CEC 230-70(a) AND 230-79(c)). SEE SITE AND ELECTRIC PLANS FOR LOCATION.
- VERIFY WITH LOCAL SERVICE PROVIDER AS REQUIRED. DO NOT INSTALL ELECTRICAL PANELS LARGER THAN 100 SQ. IN. IN FIRE WALLS. NEVER INSTALL ELECTRICAL PANELS IN CLOSETS. MAINTAIN A CLEARANCE OF 36 IN. IN FRONT OF THE PANELS (CEC 110.26).
- ARC-FAULT CIRCUIT INTERRUPTERS REQUIRED:** ALL NEW BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER. (CEC 210.12.(B)).
- ALL 15 AMP & 20 AMP DWELLING UNIT RECEPTACLE OUTLETS:** SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC ARTICLE 406.12 CEC 2016)
- KITCHEN:** TWO SMALL BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS. THESE CIRCUITS CANNOT SERVE OUTSIDE PLUGS, RANGE HOODS, DISPOSALS, DISHWASHERS OR MICROWAVES - ONLY THE REQUIRED COUNTERTOP / WALL OUTLETS INCLUDING THE REFRIGERATOR. CEC 210-11 (c) 1) AND 210-52 (b).
- BATHROOMS:** PROVIDE A DEDICATED 20-AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION: WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) (CEC 210.11 (C) (3) AND 210.52 (D)).
- LAUNDRY:** PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE LAUNDRY ROOM OUTLET. (CEC 210-11 (c) (2) AND 210-52 (f)).
- BATHROOMS:** ALL RECEPTACLES SHALL HAVE GFCI PROTECTION WITH AT LEAST ONE RECEPTACLE WITHIN 36" OF EACH SINK. (CEC SECTION 210.8 & 210.52 (D))
- OUTLETS, TYPICAL:** UNLESS OTHERWISE NOTED, HEIGHT OF OUTLETS AND SWITCHES WILL BE AS FOLLOWS:
 - OUTLETS: CENTER 12" A.F.F.
 - SWITCHES: CENTER 48" A.F.F.
 - ABOVE COUNTER OUTLETS SHALL BE CENTERED 6" ABOVE COUNTER, BUT NOT MORE THAN 20" ABOVE THE COUNTERTOP (CEC SECTION 210.52(C)/5).
- LIGHTING NOTES:**
- KEY TERMS PERTAINING TO T24 LIGHTING COMPLIANCE INCLUDE:**
- **ADDITIONS:** INCLUDES ANY ADDITION OF NEW SQUARE FOOTAGE, WHERE NEW LUMINAIRES ARE INSTALLED.
 - **ALTERATIONS:** INCLUDES MODIFICATIONS WHERE EXISTING LUMINAIRES ARE RE-USED.
 - **PERMANENTLY INSTALLED LIGHTING:** INCLUDES CEILING LUMINAIRES, CHANDELIERS, VANITY LAMPS, WALL SCONCES, UNDER-CABINET LUMINAIRES, AND ANY OTHER TYPE OF LUMINAIRE THAT IS ATTACHED TO THE DWELLING.
- LIGHTING PER TITLE 24:** ALL NEW OR ALTERED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.
- RECESSED DOWNLIGHT LUMINAIRE REQUIREMENTS:**
- MUST BE LISTED, AS DEFINED IN SECTION 100.1 FOR ZERO CLEARANCE INSULATION CONTACT (IC) BY UL OR OTHER NATIONALLY RECOGNIZED LAB.
 - HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283
 - BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK.
 - SHALL NOT CONTAIN SCREW BASE SOCKETS.
 - SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JAB.
- SCREW BASED LUMINAIRE REQUIREMENTS:**
- SHALL NOT BE RECESSED DOWNLIGHT IN CEILINGS.
 - SHALL CONTAIN LAMPS THAT COMPLY W/ REFERENCE JOINT APPENDIX
 - SHALL BE MARKED WITH JA8-2016 OR JA8-2016-E AS SPECIFIED IN REFERENCE JOINT APPENDIX JAB.
- SWITCHING CONTROL REQUIREMENTS:**
- EXHAUST FANS SHALL BE SWITCHED SEPARATELY, EXCEPT WHEN LIGHTING INTEGRAL TO THE FAN MAY BE ON THE SAME SWITCH AS THE FAN PROVIDED, THE LIGHTING CAN BE SWITCHED OFF IN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150.0 (K)2 WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.
- LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
 - LIGHTING CONTROLS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
 - DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8.
 - CEILING RECESSED DOWNLIGHT LUMINAIRES
 - LED LUMINAIRES WITH INTEGRAL SOURCES
 - P/N-BASED LED LAMPS
 - CU-24 BASED LED LIGHT SOURCES
 - LUMINAIRES IN CLOSETS LESS THAN 70 SF AND HALLWAY LUMINAIRES NEED NOT HAVE DIMMERS OR VACANCY SENSORS.
 - UNDERCABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- BATHROOM LIGHTING:** LIGHTS OVER TUB AND SHOWER SHALL BE LISTED FOR WET OR DAMP LOCATION. (CEC SECTION 410.4)
- CLOSET LIGHTING:** ALL FIXTURES SHALL HAVE A COMPLETELY ENCLOSED LAMP OR BE RECESSED.
- ELECTRICAL BOXES:** LIMIT THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR TO NOT GREATER THAN THE NUMBER OF BEDROOMS. ALL SUCH ELECTRICAL BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL.
- EXTERIOR LIGHTING:** MUST MEET THE CRITERIA OF SECTION 150.0 (K)A CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO "ON" THE AUTOMATIC ACTIONS OF ONE OF THE FOLLOWING:
 - PHOTOCCELL AND MOTION SENSOR
 - PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
 - ASTRONOMICAL TIME CLOCK
 - ENERGY MANAGEMENT CONTROL SYSTEM

GENERAL BUILDING CODE NOTES:

- UNDERFLOOR VENTS (AS APPLICABLE):** MINIMUM 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA. LOCATE 1-VENT WITHIN 3 FEET OF EACH CORNER. COVER OPENINGS WITH CORROSION RESISTANT WIRE MESH WITH AN OPENING SIZE NOT EXCEEDING 1/2 INCH (CERE 408).
- AREA UNDER STAIRWAY AND COMMON WALL BETWEEN GARAGE AND HOUSE SHALL HAVE 5/8" TYPE "X" GYPSUM BOARD AND SOLID CORE TIGHT FITTING AND SELF-CLOSING DOOR.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED WITH A MINIMUM NO. 26 GAGE (0.48mm) SHEET STEEL OR OTHER APPROVED MATERIAL AND HAVE NO OPENINGS INTO THE GARATE (R302.5.2).
- ALL HABITABLE ROOMS** SHALL HAVE AN AGGREGATE GLAZING AREA FOR LIGHT NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM SERVED; THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED (CRC R303.1).
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AN AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQUARE FEET, ONE-HALF MUST BE OPENABLE.
- EXCEPTION:** WHEN ARTIFICIAL LIGHT AND MECHANICAL VENTILATION SYSTEM IS PROVIDED AT 50 CFM INTERMITTENT OR 25 CFM CONTINUOUSLY, VENTILATION AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. (CRC303.3).
- INTERIOR SPACE DIMENSIONS (CRC SECTIONS 304 & 305):**
- HABITABLE SPACES, OTHER THAN A KITCHEN, SHALL NOT BE LESS THAN 7 FEET IN ANY PLAN DIMENSION. KITCHENS SHALL HAVE A CLEAR PASSAGEWAY OF NOT LESS THAN 3 FEET BETWEEN COUNTER FRONTS AND APPLIANCES OR COUNTER FRONTS AND WALLS.
 - OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET, 6 INCHES. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE & LAUNDRY ROOMS SHALL BE PERMITTED TO HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET.
 - MINIMUM WIDTH OF HALLWAY IS 3 FEET.
 - MINIMUM ROOM SIZES:
 - 70 SF FOR HABITABLE ROOMS
 - MINIMUM 10'0" CLEAR WIDTH OF DOOR
 - 7 FEET WIDTH FOR HABITABLE ROOMS OTHER THAN KITCHENS.
- PROVIDE TEMPERED SAFETY GLAZING AT THE FOLLOWING LOCATIONS (CRC 308.4):**
- WINDOWS LOCATED WITHIN 24" ARC OF THE VERTICAL EDGE OF DOORS.
 - ALL GLAZED DOORS WITH SIDELIGHTS
 - WINDOWS GREATER THAN 9 SQ. FT. WITHIN 18" OR LESS OF A FLOOR AND 30" WITHIN A WALKING SURFACE.
 - WINDOWS AT MID-LANDING OF STAIRS.
 - WINDOWS OVER A TUB OR SHOWER.
 - ALL GLASS SHOWER ENCLOSURES.
 - SEE LOCATIONS ON PLAN.
- PERMITTED MATERIALS FOR UNIT SKYLIGHTS (CRC 308.6.2):**LAMINATED GLASS WITH A MIN. 0.015 INCH POLYVINYL BUTYRAL INTERLAYER FOR GLASS PANES 16 SQ. FT. OR LESS IN AN AREA LOCATED SUCH THAT THE HIGHEST POINT IS NOT MORE THAN 12 FT. ABOVE WALKING SURFACE.
- FULLY TEMPERED GLASS
 - HEAT STRENGTHENED GLASS
 - WIRED GLASS
 - APPROVED RIGID PLASTIC
- EVERY SLEEPING ROOM AND EVERY BASEMENT MUST HAVE AT LEAST ONE OPENABLE WINDOW OR DOOR APPROVED FOR EMERGENCY RESCUE WITH THESE MINIMUM DIMENSIONS (CRC SECTION 310):
- MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., AND MINIMUM 5 SQ. FT. AT GRADE.
 - MINIMUM NET CLEAR HEIGHT OPENINGS OF 20 INCHES.
 - LARGE ENOUGH FOR THE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30" X 22".
 - THE BOTTOM OF THE CLEAR WINDOW OPENING SHALL BE NO MORE THAN 44 INCHES FROM THE FLOOR.
- MEANS OF EGRESS (SECTION R311):**
- R311.1 FLOORS AND LANDINGS AT EXTERIOR DOORS. THERE SHALL BE A LANDING OR FLOOR ON EACH OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OF 36 INCHES MINIMUM MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOP NOT EXCEEDING 1/4" PER FOOT SLOPE OR 2%.
- R311.3.1 LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD.
- EXCEPTION:** THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7-3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHEN EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.
- R311.3.2 DOORS OTHER THAN THE REQUIRED EGRESS DORRS SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7-3/4 INCHES BELOW THE TOP OF THE THRESHOLD.
- STAIRWAYS (CRC 311.7)**
- RISER SHALL BE 4" MIN. & 7-3/4" MAX.
 - TREAD SHALL BE 10" MIN. WINDER TREAD 6" MIN. AND 10" MIN. AT WALK LINE.
 - VARIATION BETWEEN RISER HEIGHTS AT 3/8" MAX.
 - HEADROOM SHALL BE 80" MIN.
 - WIDTH SHALL BE 36" MIN., AND 36" X 36" LANDING REQUIRED.
 - FIREBLOCKING IS REQUIRED IN CONCEALED SPACES BETWEEN STAIR STRINGS AT THE TOP AND BOTTOM OF THE RUN (CRC 302.11)
 - ENCLOSED USEABLE SPACE UNDER INTERIOR STAIRS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD (CRC 302.7)
 - THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. WIDTH AND LENGTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY. INTERIOR STAIRS FROM HOSUE TO GARAGE NEED NOT HAVE A LANDING PROVIDED DOOR DOES NOT SWING OVER STAIRS.
- HANDRAILS & GUARDS (SECTION CRC 313)**
- HANDRAILS SHALL HAVE A 1-1/2" TO 2" GRIPPADE CROSS-SECTION WITH NO SHARP EDGES.
 - HEIGHT SHALL BE 34" TO 38" ABOVE NOSING.
 - CLEARANCE BETWEEN HANDRAIL AND ADJACENT WALL IS 1-1/2"
 - CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
 - GUARDS ARE REQUIRED IF EXTERIOR DECK OR FLOOR IS OVER 30" ABOVE GRADE.
 - GUARDS SHALL BE ADEQUATE IN STRENGTH AND ATTACHMENT: SEE STRUCTURAL DRAWINGS.

DATE	
REVISIONS	
DESCRIPTION	
NO.	



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BON VISTA CT HOME

APN: 583 - 15 - 019

SAN JOSE

Project No: _____

Designed: K.L. _____

Checked: N.L. _____

Date: 6 / 13 / 2022

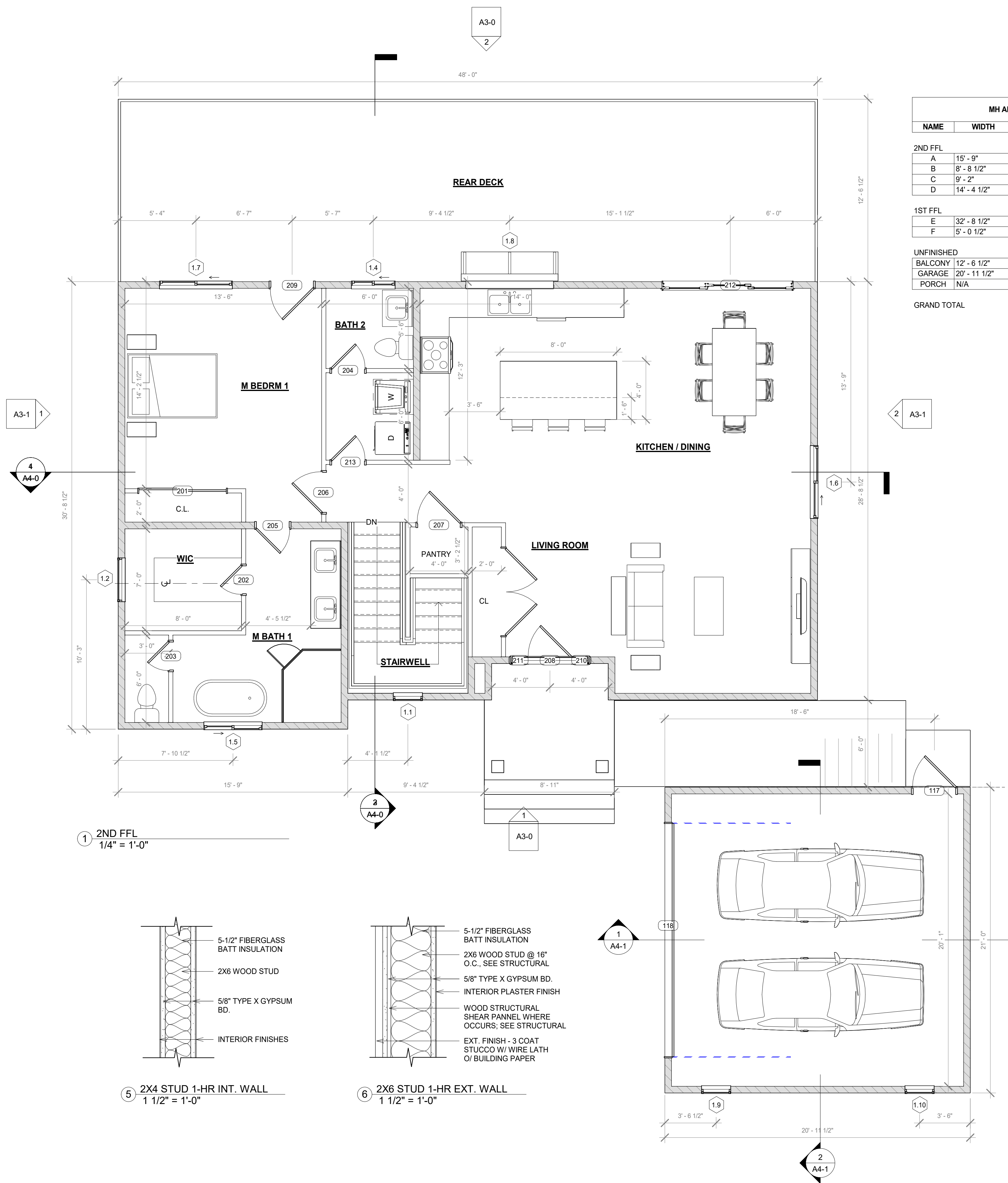
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PRELIMINARY

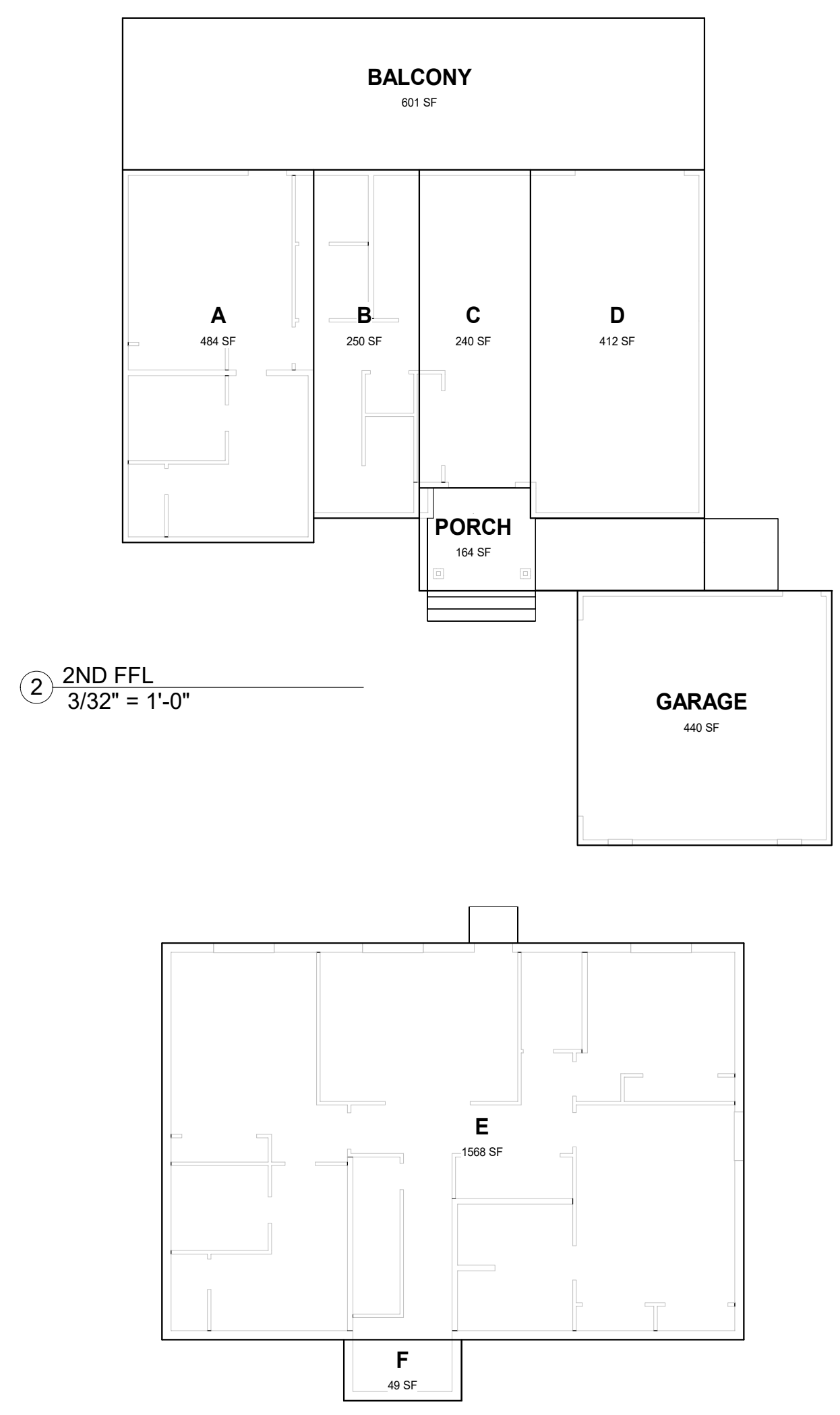
GENERAL NOTES

A0-1

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MH AREA SCHEDULE			
NAME	WIDTH	LENGTH	AREA
2ND FFL			
A	15' - 9"	30' - 8 1/2"	484 SF
B	8' - 8 1/2"	28' - 8 1/2"	250 SF
C	9' - 2"	26' - 2 1/2"	240 SF
D	14' - 4 1/2"	28' - 8 1/2"	412 SF
			1387 SF
1ST FFL			
E	32' - 8 1/2"	48' - 0"	1568 SF
F	5' - 0 1/2"	9' - 8 1/2"	49 SF
			1617 SF
UNFINISHED			
BALCONY	12' - 6 1/2"	48' - 0"	601 SF
GARAGE	20' - 11 1/2"	21' - 0"	440 SF
PORCH	N/A	N/A	164 SF
			1204 SF
GRAND TOTAL			4207 SF



② 2ND FFL
3/32" = 1'-0"

③ 1ST FFL
3/32" = 1'-0"

FLOOR PLAN NOTES

- ALL WALLS DIMENSIONED TO FACE OF STUD.
 - (P) 5 1/2" STUD WALL
 - (P) 3 1/2" STUD WALL
 - (P) ALUM BLOCK BASEMENT WALL
- EXTERIOR WALLS WITH STUCCO FINISH: (6" WALLS) TO BE 2X6 STUDS @ 16" O.C. W/ DBL. SILL PLATE AND DBL. 2X6 TOP PLATES AS INDICATED ON STRUCTURAL PLANS, 3-LAYER STUCCO FINISH, TYP.

TYPICAL INTERIOR WALLS: TO BE 2X4 STUDS @ 16" O.C. TYP. WITH 1/2" GYP. BD., EACH SIDE, PLASTER FINISH TYP. U.N.O.

1-HR RATED INTERIOR WALLS: SEE SHEET A2-0, DRAWING 5. REFERENCES CBC TABLE 721.1(2) ITEM 15-1.15 AND UL U305.

1-HR RATED EXTERIOR WALLS WITH STUCCO FINISH: PROVIDE FOR ALL (P) EXTERIOR WALLS LOCATED LESS THAN 5' FROM PROPERTY LINE. SEE SHEET A2-0, DRAWING 6 FOR ASSEMBLY DETAIL. (CBC TABLE 721.1(2) ITEM 15-1.12, UL U305)

PROVIDE 2X6 PLUMBING WET WALLS AS REQUIRED.

1HR RATED GARAGE / RESIDENCE COMMON WALL AND CEILING - PROVIDE A 5/8" GYPSUM BOARD FROM FLOOR TO UNDERSIDE OF ROOF SHEATHING (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA). PROVIDE 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD AT ENTIRE GARAGE CEILINGS WITH HABITABLE ROOMS ABOVE AND 1-HR RATED WALLS SUPPORTING THIS FLOOR/CEILING. (INSTALLATION PER CRC TABLE 721.1(3) ITEM 13-1.4) SEE SHEET A2-1, DRAWINGS
- ALL TOILETS SHALL HAVE A MINIMUM CLEAR WIDTH OF 34".
- ALL BEDROOMS SHALL BE PROVIDED WITH AN EGRESS WINDOW
 - AN OPENING FOR EMERGENCY THAT IS AT LEAST 5.7 SF IN OPENING AREA
 - MIN. OPENING SIZE IS 20" WIDTH X 24" HIGH
 - HAVE EGRESS OPENING NO MORE THAN 44" A.F.F.
 - IN ORDER TO MEET THE REQUIRED 5.7 SF TOTAL EITHER THE WIDTH, HEIGHT, OR BOTH MUST EXCEED THE MINIMUM DIMENSION.

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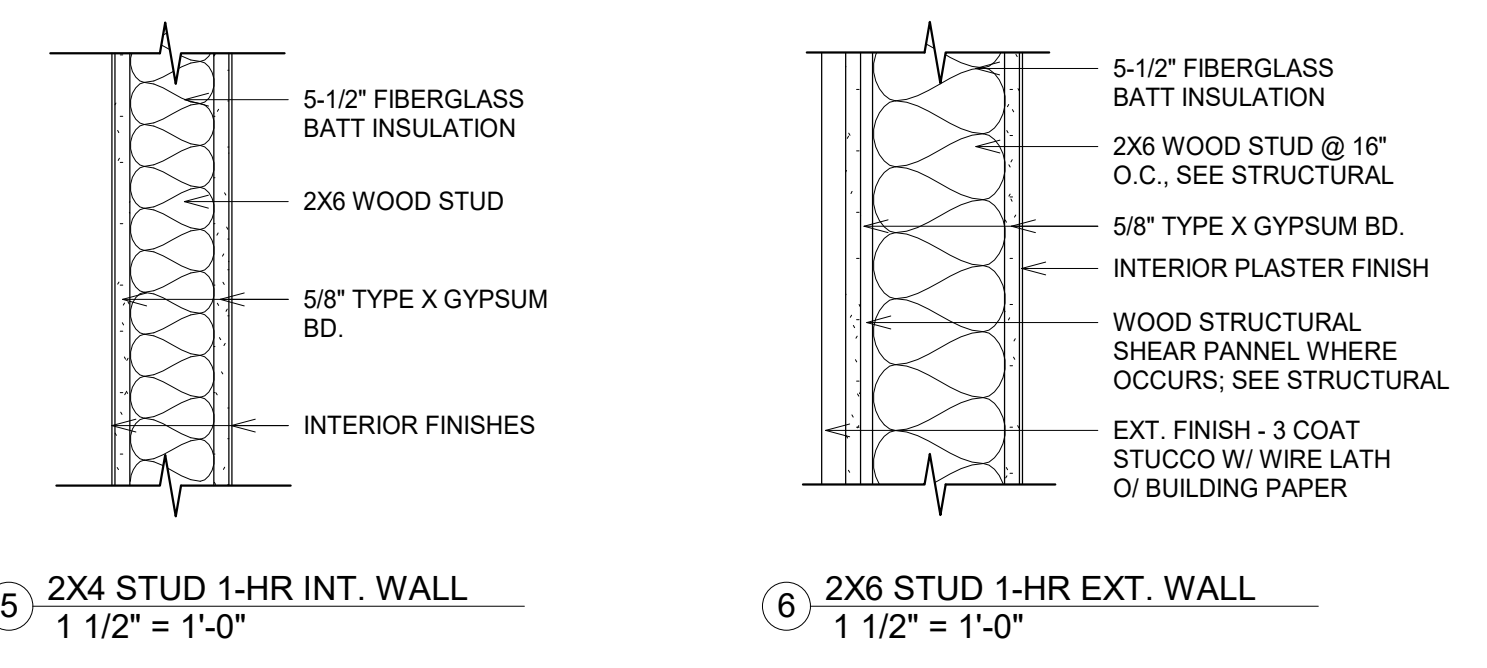
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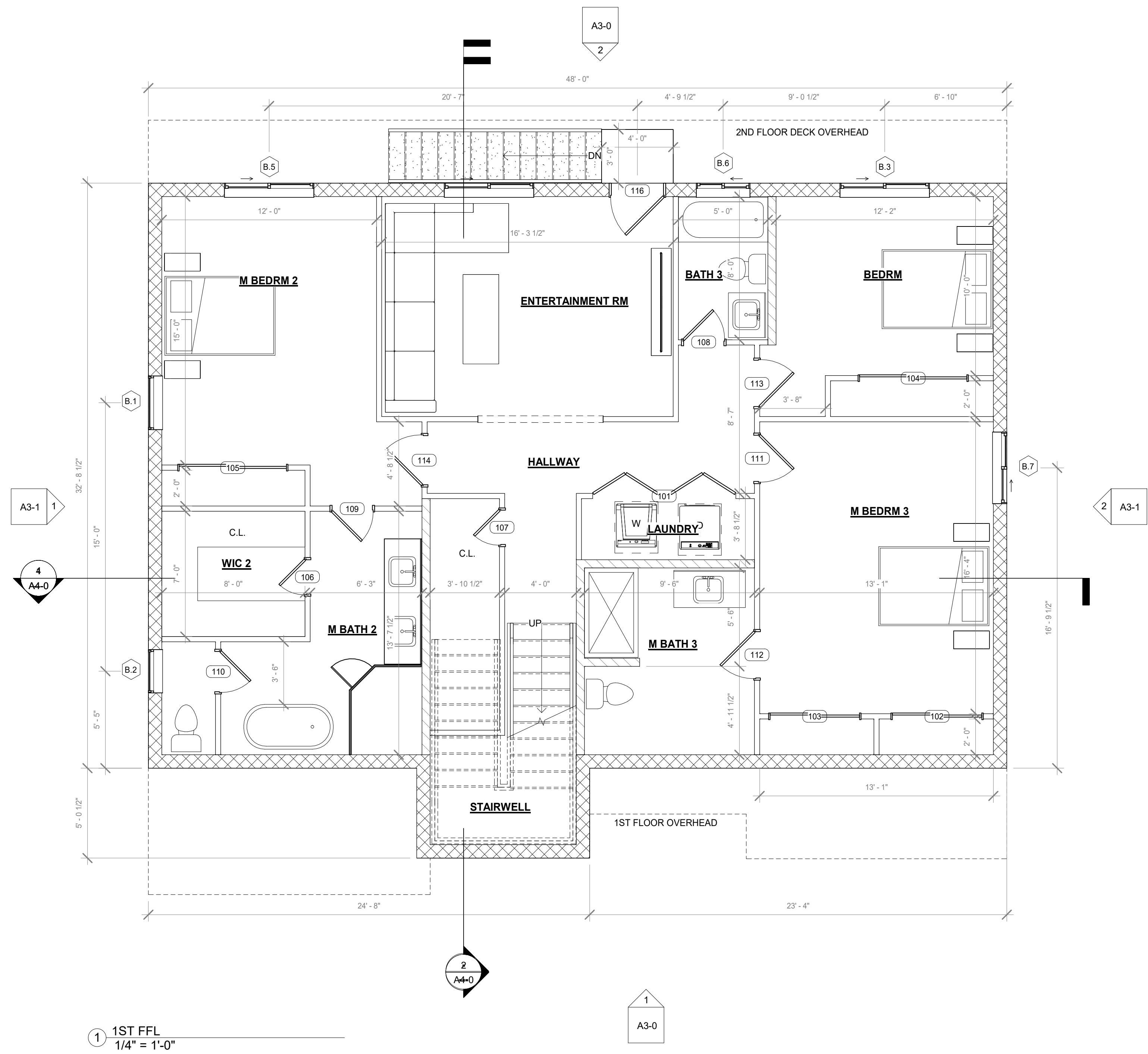
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 SECOND FLOOR PLAN
 A2-0
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1 1ST FFL
1/4" = 1'-0"

FLOOR PLAN NOTES

- 1. SEE NOTES ON SHEET A2-0
- (P) 5 1/2" STUD WALL
- (P) 3 1/2" STUD WALL
- (P) ALUM BLOCK BASEMENT WALL

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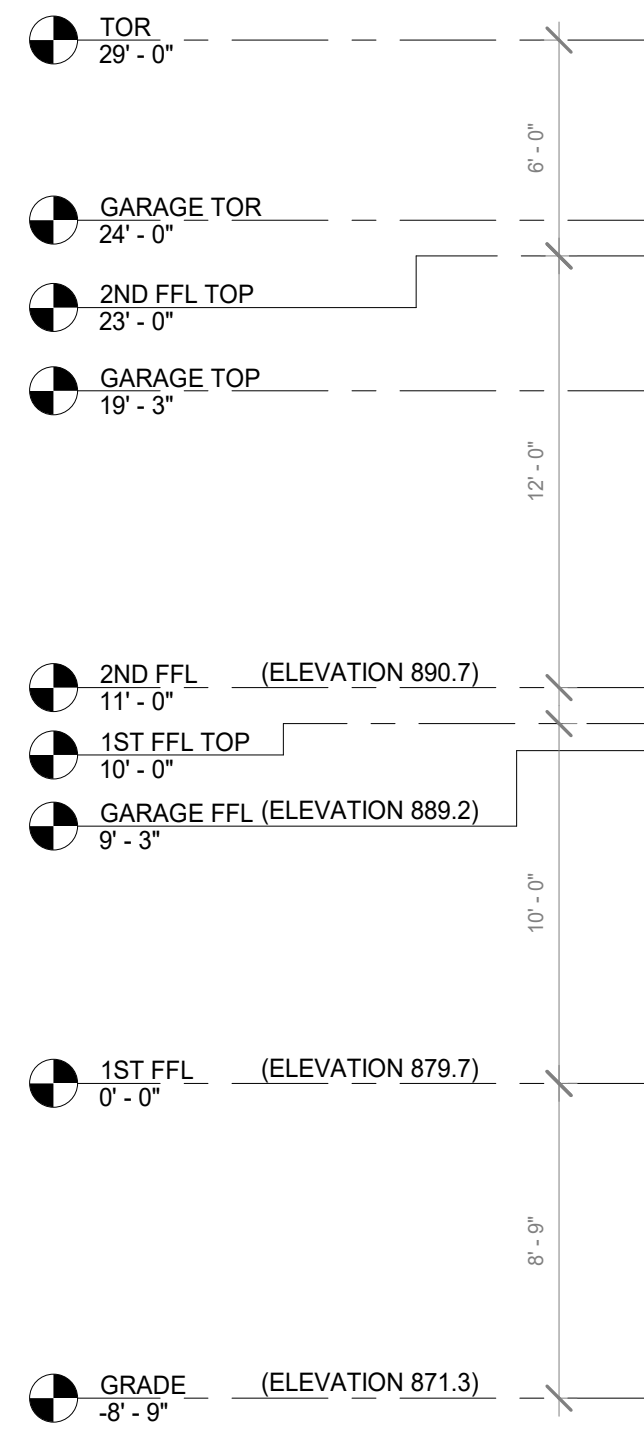
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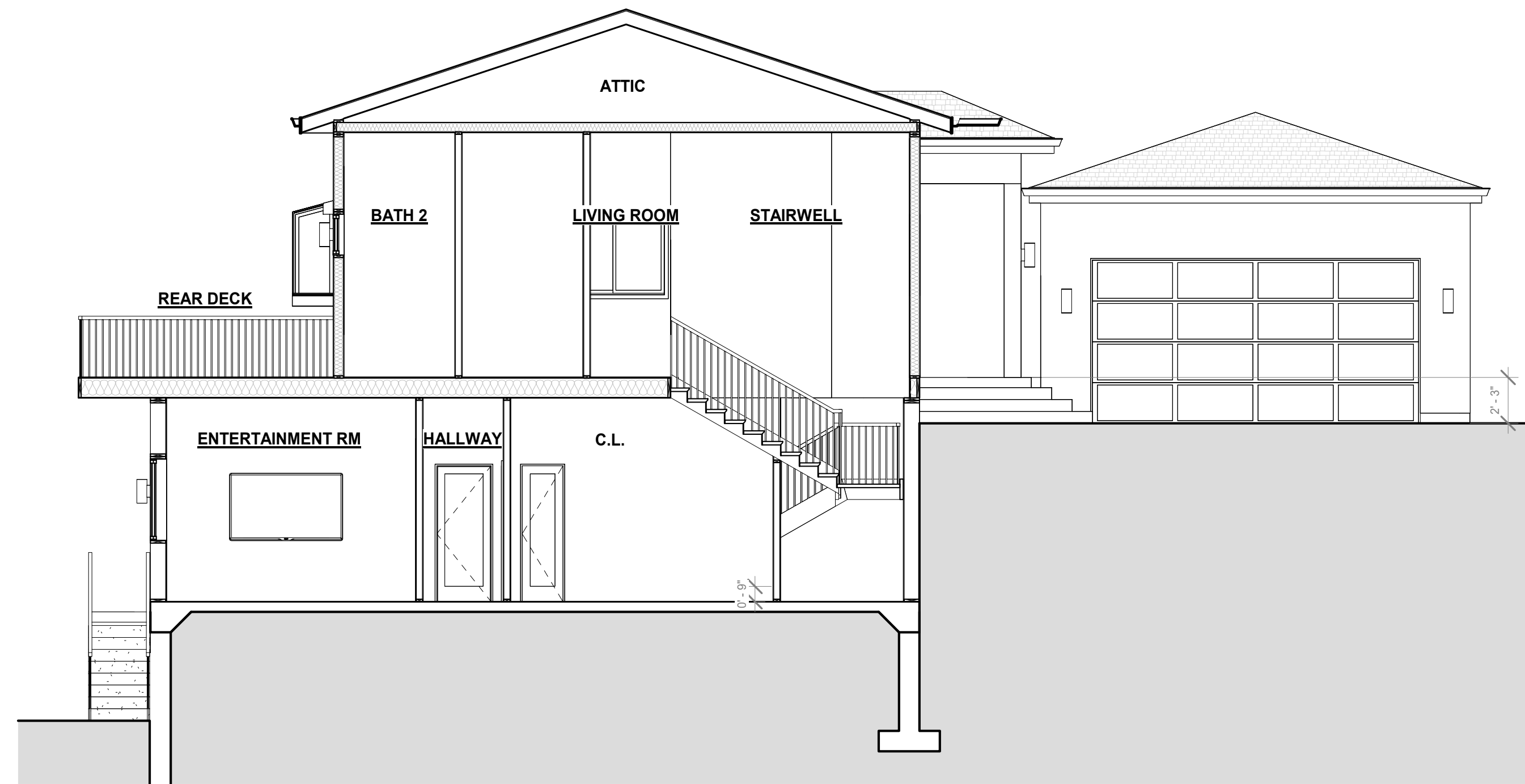
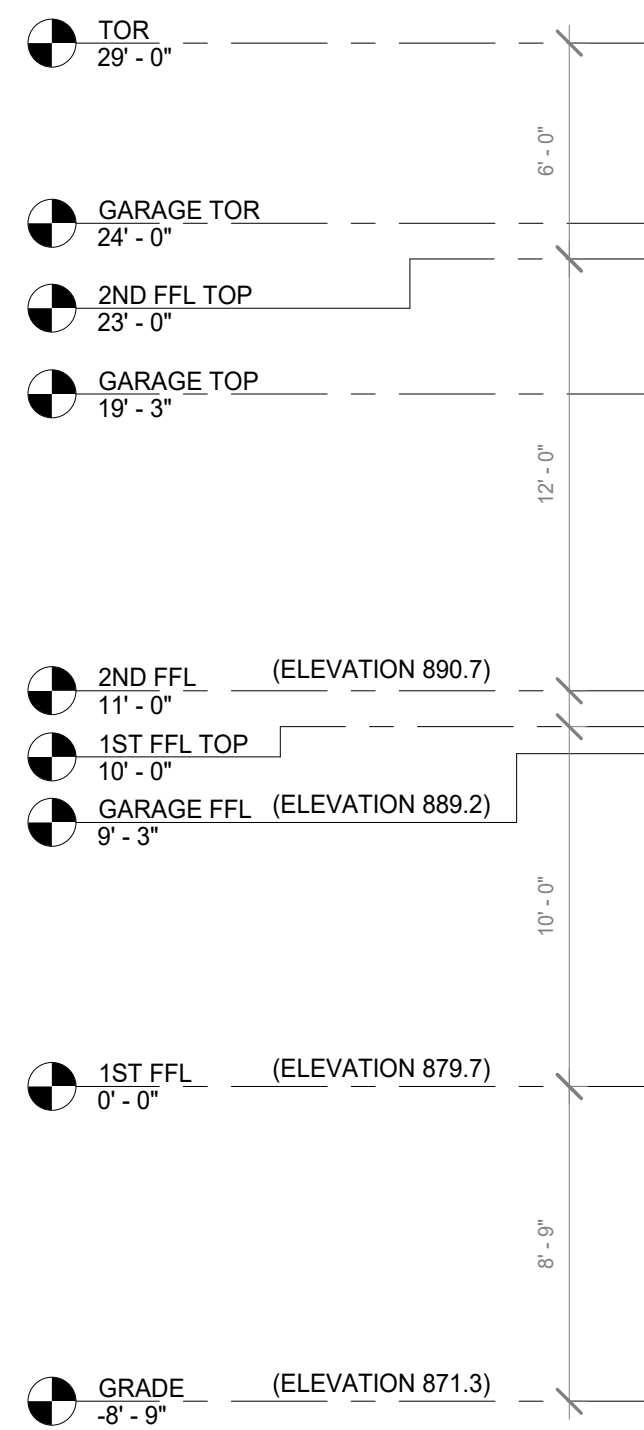
FIRST FLOOR PLAN

A2-1

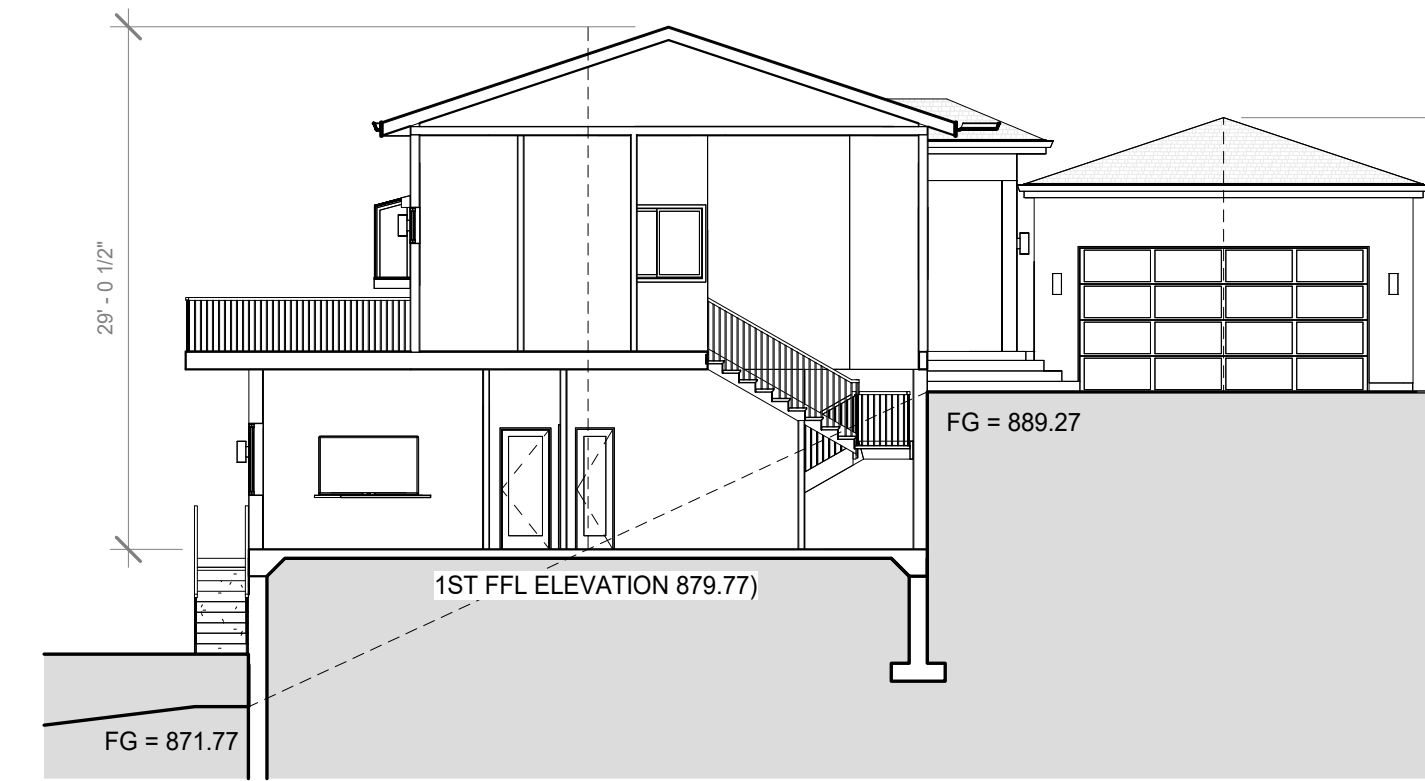
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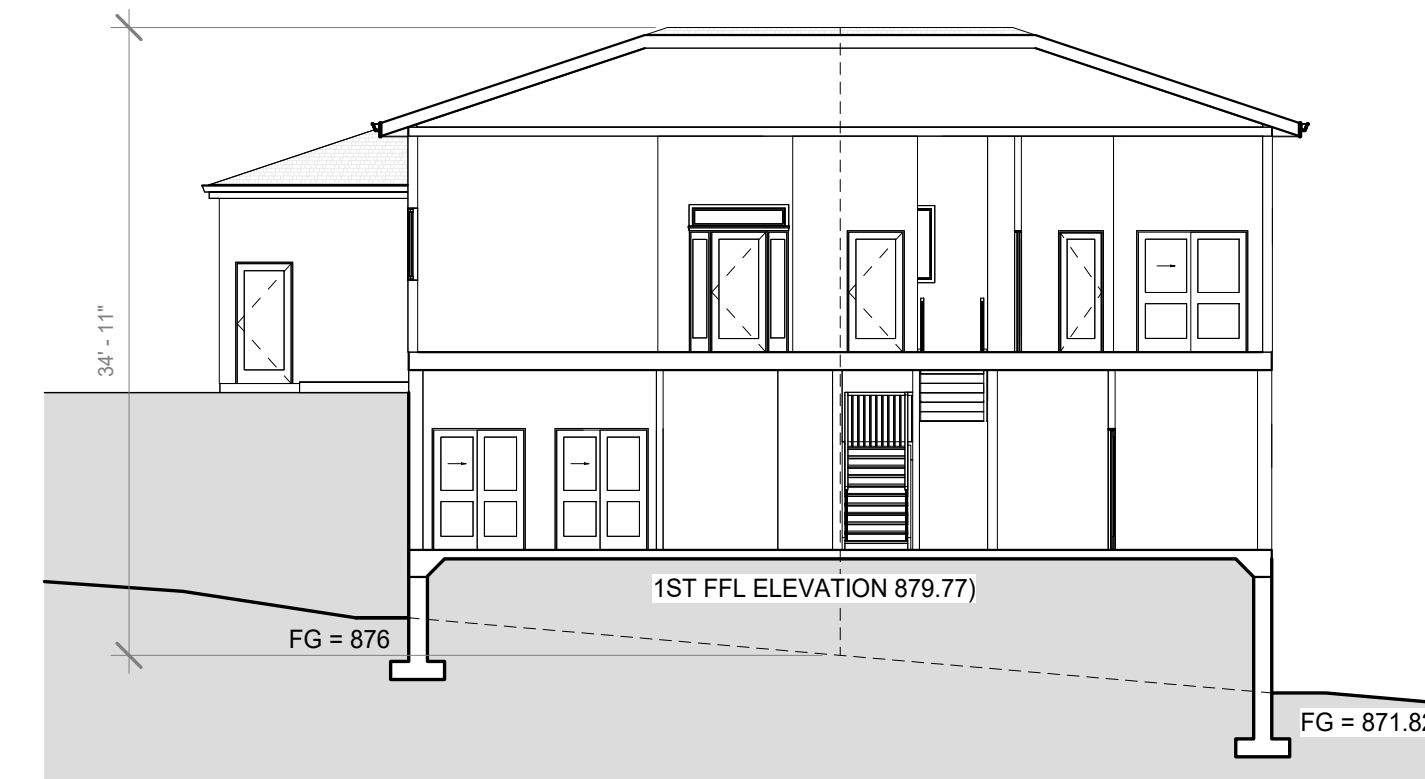
1 MAIN HOUSE - SECTION A
3/16" = 1'-0"



2 MAIN HOUSE - SECTION B
3/16" = 1'-0"



3 BUILDING HEIGHT CALCULATION A
3/32" = 1'-0"



4 BUILDING HEIGHT CALCULATION B
3/32" = 1'-0"

HEIGHT CALCULATIONS:

IN SECTION A, THE FRONT FACE OF THE HOUSE MEETS THE PROPOSED GRADE AT AN ELEVATION OF 889.27.

AT THE REAR FACE, THE PROPOSED GRADE IS AT 871.77.

AVERAGING THE TWO NUMBERS RESULTS IN THE PROJECTED SURFACE SITTING AT A HYPOTHETICAL ELEVATION OF 880.52. MEASURING FROM THIS POINT, THE HEIGHT OF THE STRUCTURE IN SECTION A IS 29'-11/2".

IN SECTION B, THE RIGHT FACE OF THE HOUSE MEETS THE PROPOSED GRADE AT AN ELEVATION 876.

AT THE LEFT FACE, THE PROPOSED GRADE IS 871.82.

AVERAGING THE TWO NUMBERS RESULTS IN THE PROJECTED SURFACE SITTING AT A HYPOTHETICAL ELEVATION OF 873.91. MEASURING FROM THIS POINT, THE HEIGHT OF THE STRUCTURE IN SECTION B IS 34'-11".

$$(29'-11/2" + 34'-11") / 2 = 31'-11 3/4"$$

THE HEIGHT OF THE STRUCTURE IS 31' - 11 3/4", PER ZONING ORDINANCE (1.30.030).

*ELEVATION VALUES FROM GRADING PLAN

SECTION NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION
- SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION
 - SEE STRUCTURAL DRAWINGS FOR (E) WALL TO (P) WALL CONNECTION DETAILS
- 15 ML VAPOR BARRIER SHALL BE PROVIDED BETWEEN NEW SLAB AND GRADE.
- SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION

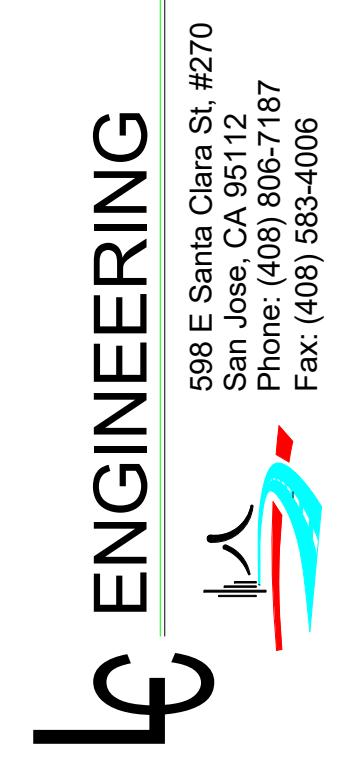
FIRE BLOCKING: PROVIDE FIREBLOCKING PER C.R.C. SECTION R301.11 AT THE FOLLOWING COMBUSTIBLE CONSTRUCTION LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS, OR STAGGERED STUDS PER C.R.C. SECTION R302.11 AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.
 - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES THAT OCCUR, SUCH AS AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS PER C.R.C. SECTION R302.11.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN PER C.R.C. SECTION R302.11.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES SEE C.R.C. SECTION R1003.19.
 - FACTORY BUILT FIREPLACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 103 AND UL 127 PER C.C. SECTION 717.2.5.1.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
 - WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WHERE PERMITTED TO BE COMBUSTIBLE CONSTRUCTION PER C.B.C. SECTION 1406, OR WHERE ERECTED WITH COMBUSTIBLE FRAMES AT MAXIMUM INTERVALS OF 20 FEET, SO THAT THERE WILL BE NO OPEN SPACE EXCEEDING 100 SQUARE FEET PER C.B.C. SECTION 717.2.6.
 - WHERE WOOD FURRING STRIPS ARE USED, THEY SHALL BE ON AN APPROVED WOOD OF NATURAL DECAY RESISTANCE OR PRESERVATIVE-TREATED WOOD. IF CONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH 4-INCH MINIMUM SEPARATION BETWEEN SECTIONS PER C.B.C. SECTION 717.2.6.
- EXCEPTIONS: (PER C.B.C. 717.2.6)**
- ALUMINUM HAVING A MINIMUM THICKNESS OF 0.019 INCH.
 - CORROSION-RESISTANT STEEL HAVING A BASE METAL THICKNESS NOT LESS THAN 0.016 INCH AT ANY POINT.
 - OTHER APPROVED NONCOMBUSTIBLE MATERIALS.

NO.	DESCRIPTION	DATE



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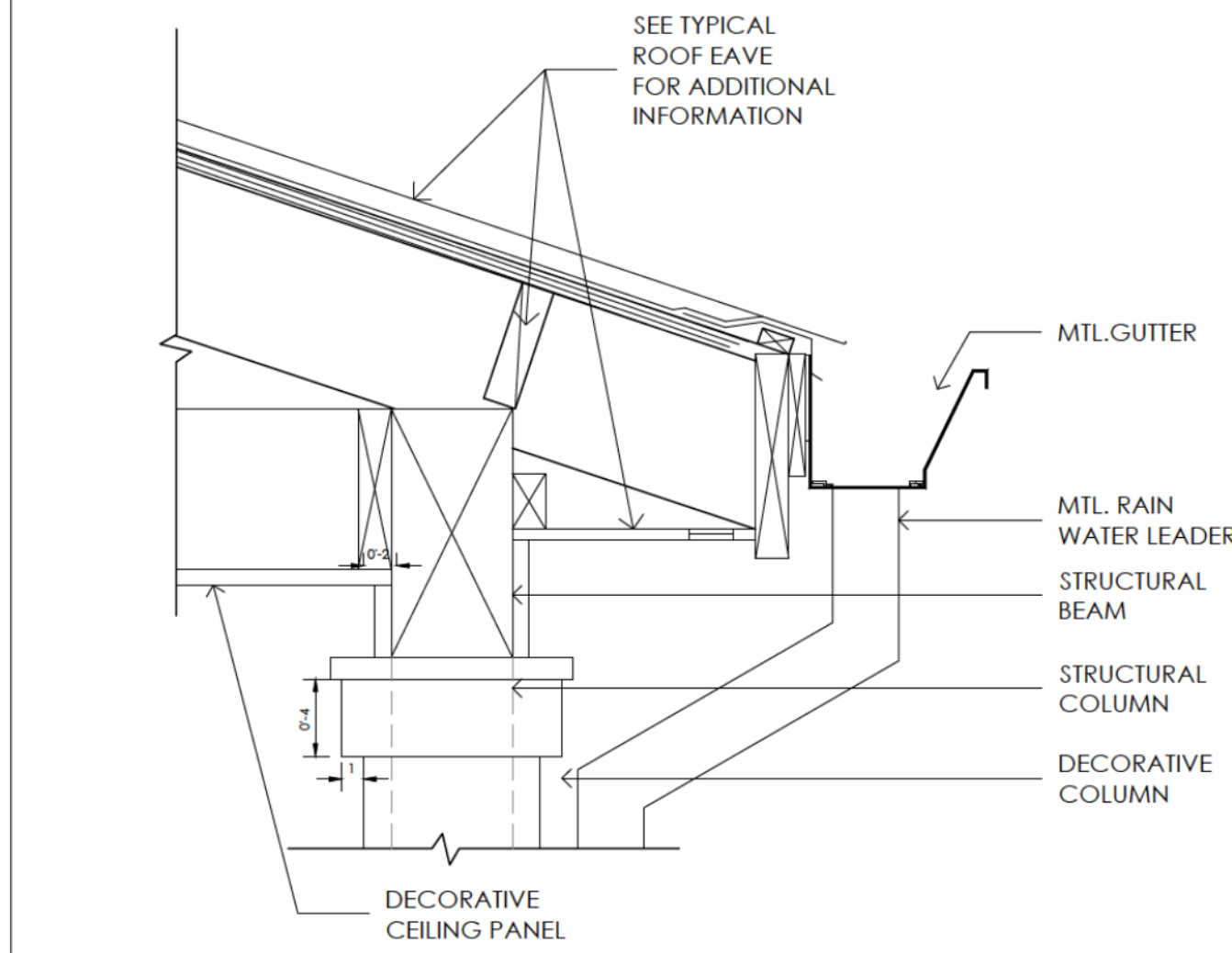


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SAN JOSE CALIFORNIA

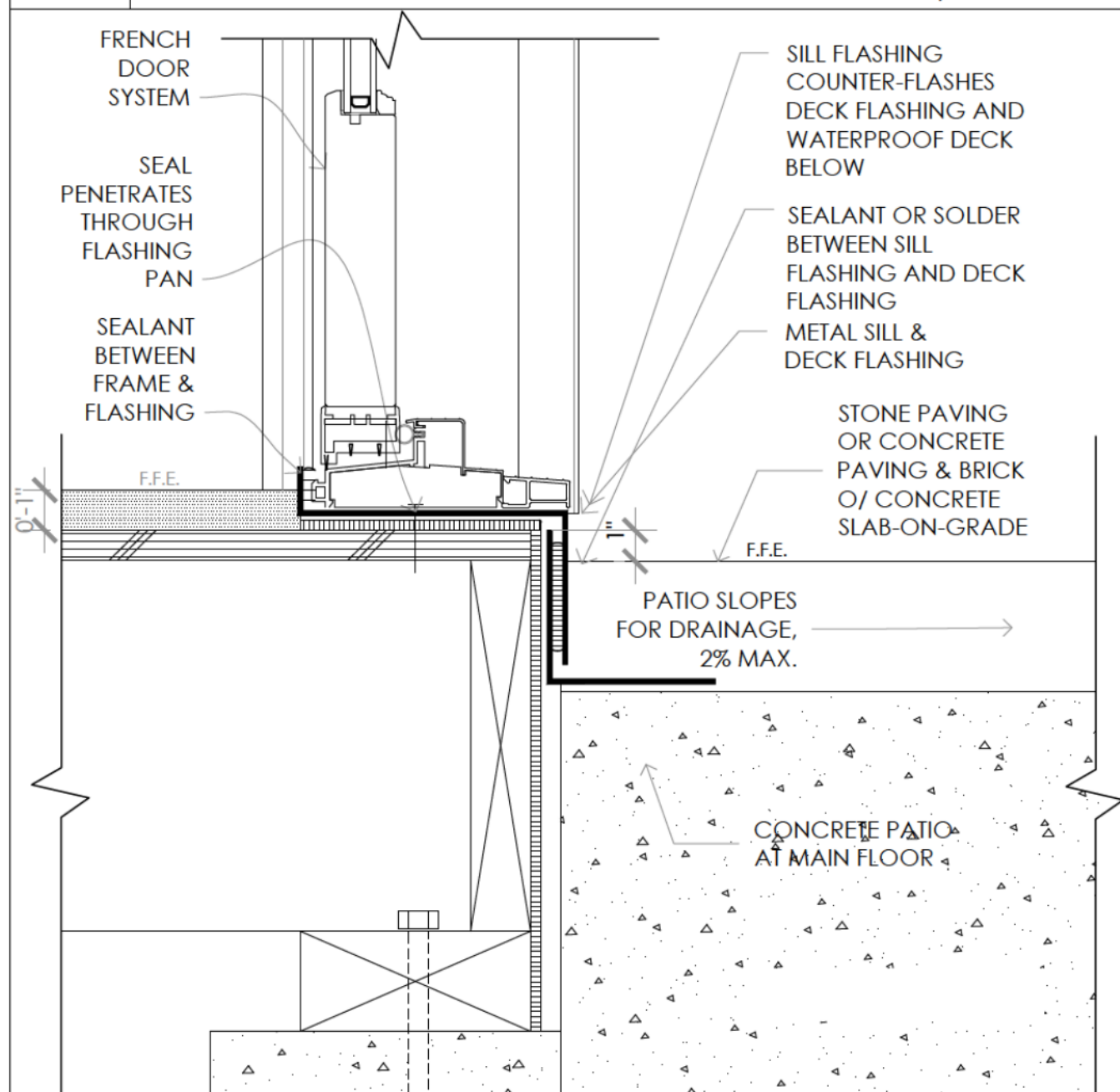
MAIN HOUSE SECTIONS

A4-0

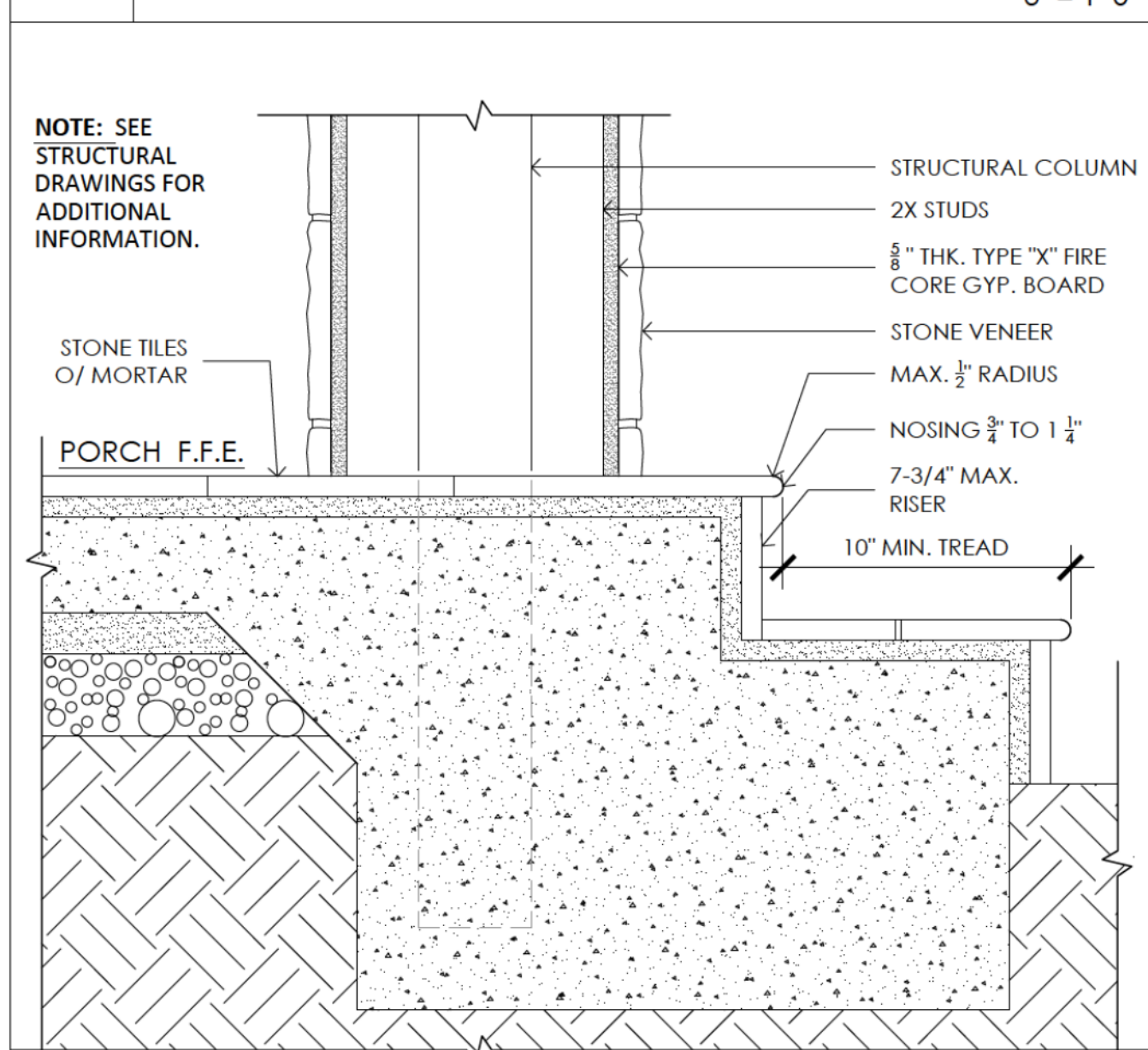
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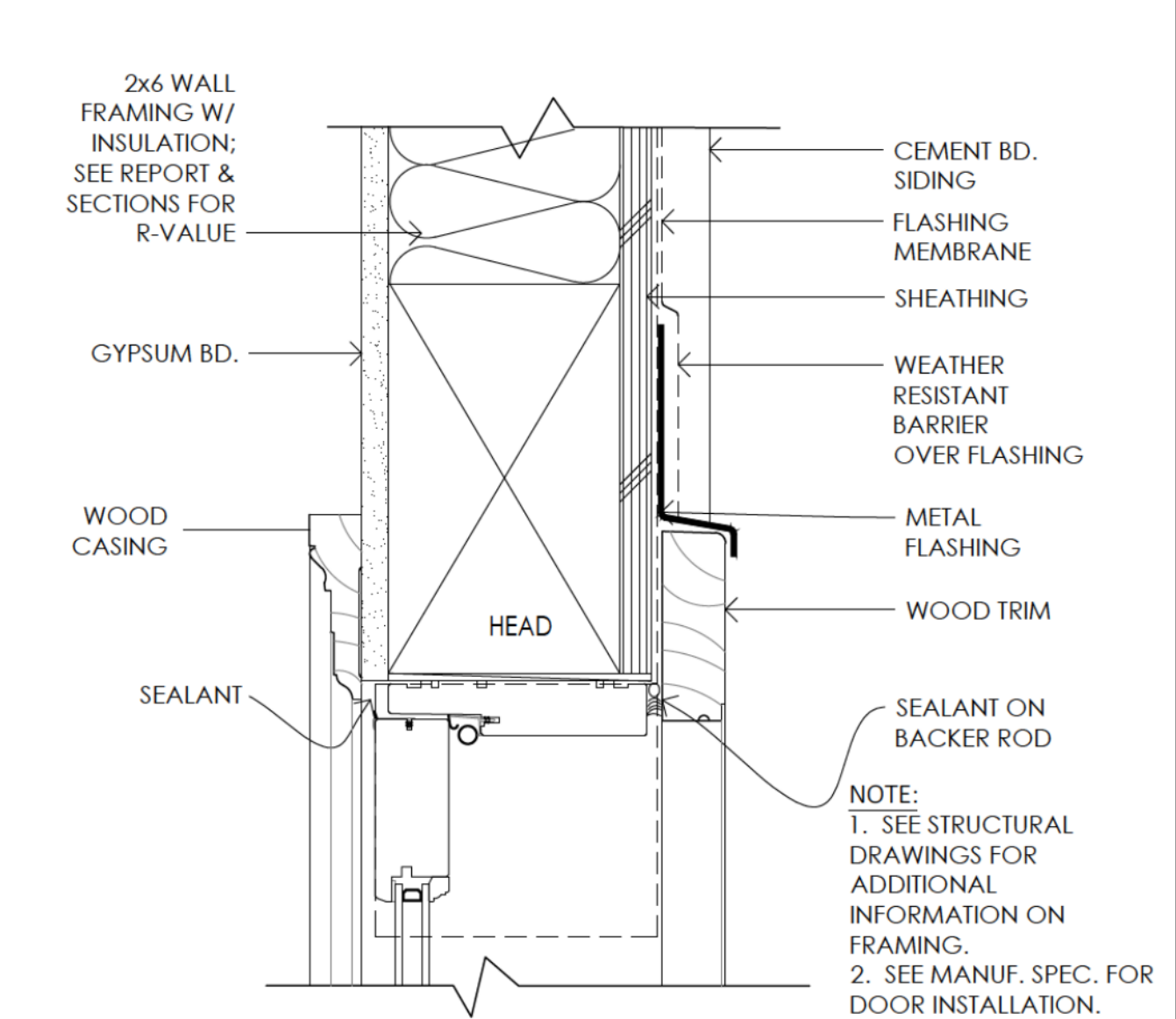
10 PORCH COLUMN & ROOF
1-1/2" = 1'-0"



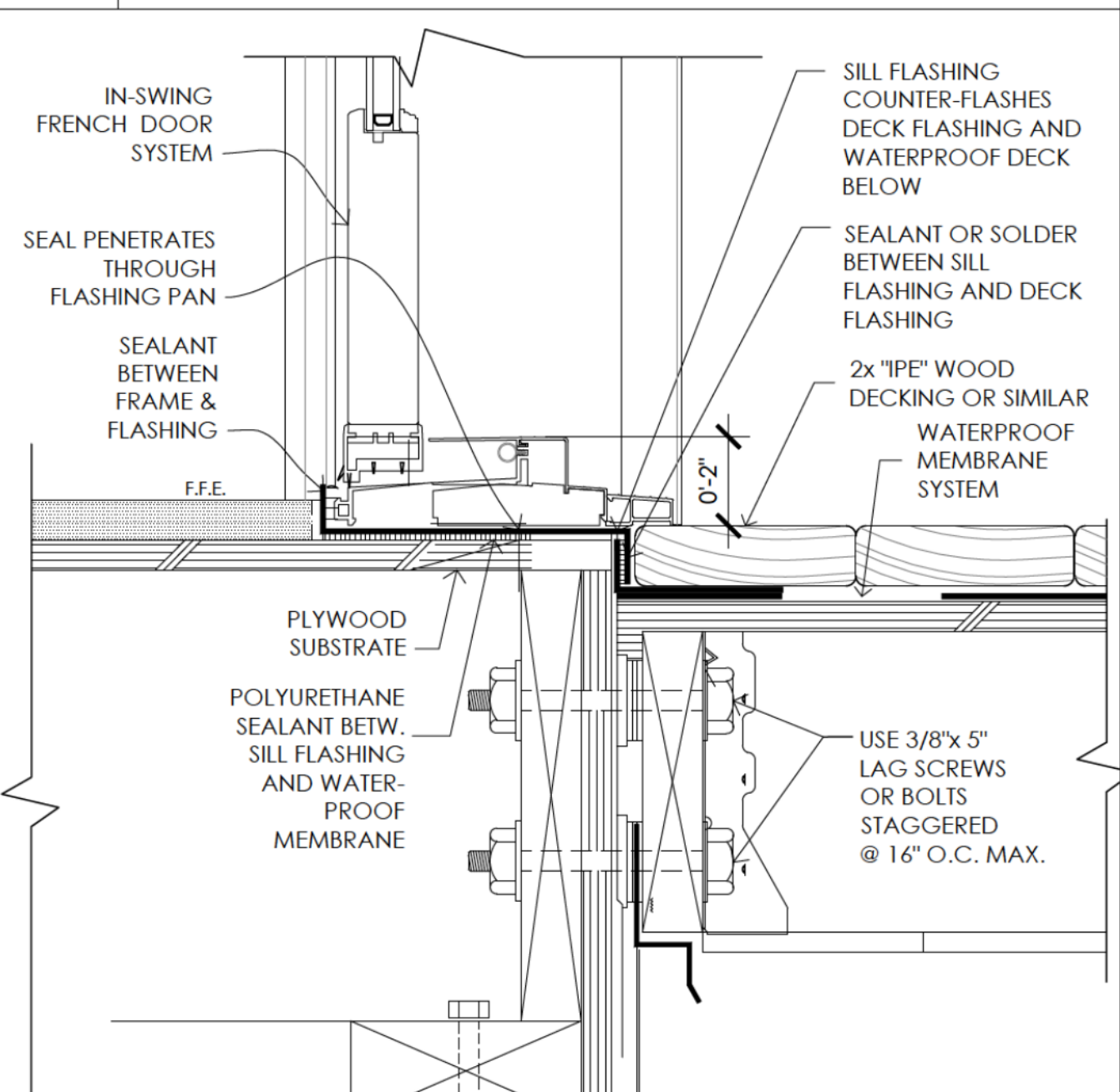
11 DOOR SILL @ PAVING, TYPICAL
3" = 1'-0"



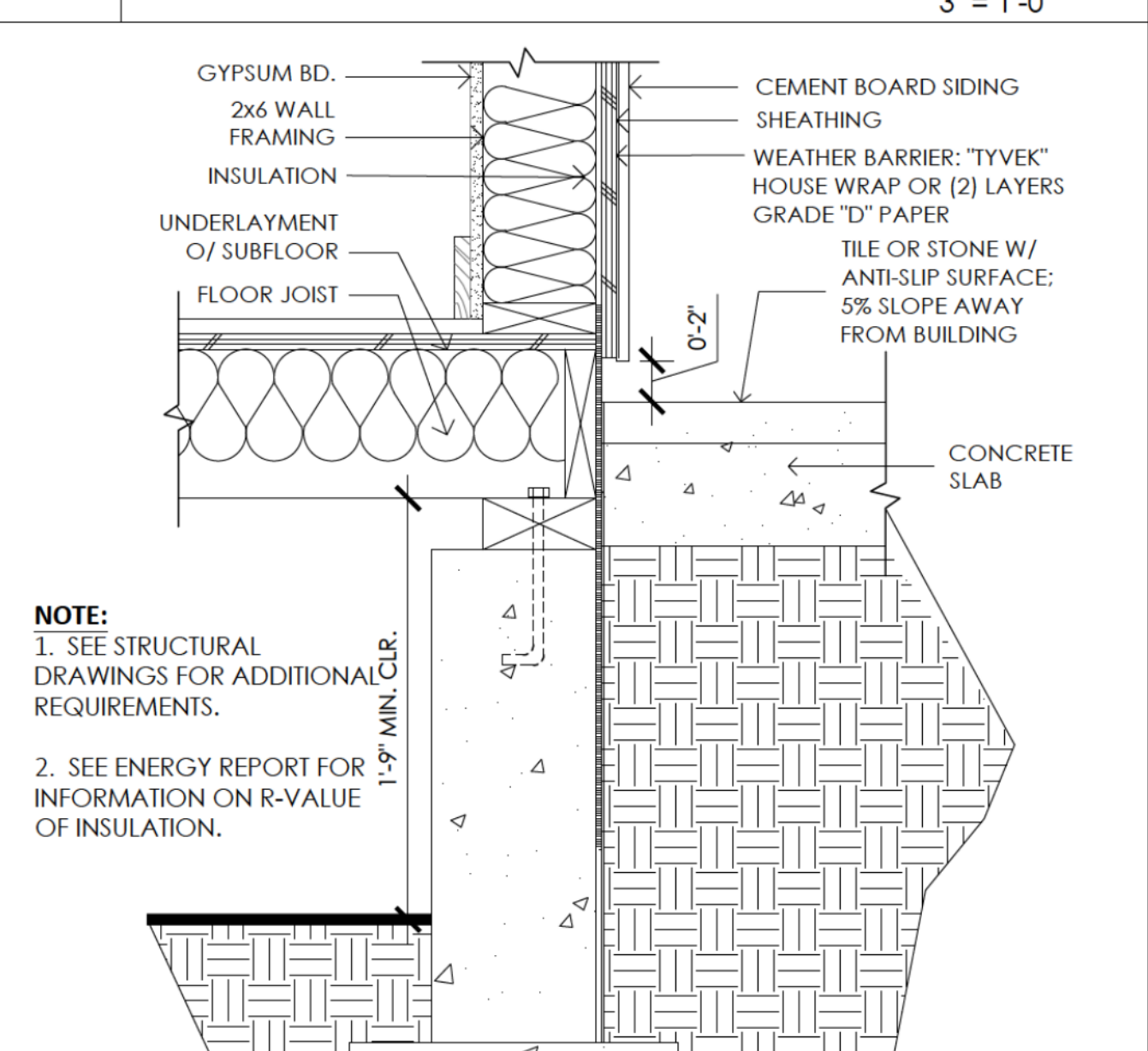
12 PORCH STAIR & COLUMN
1-1/2" = 1'-0"



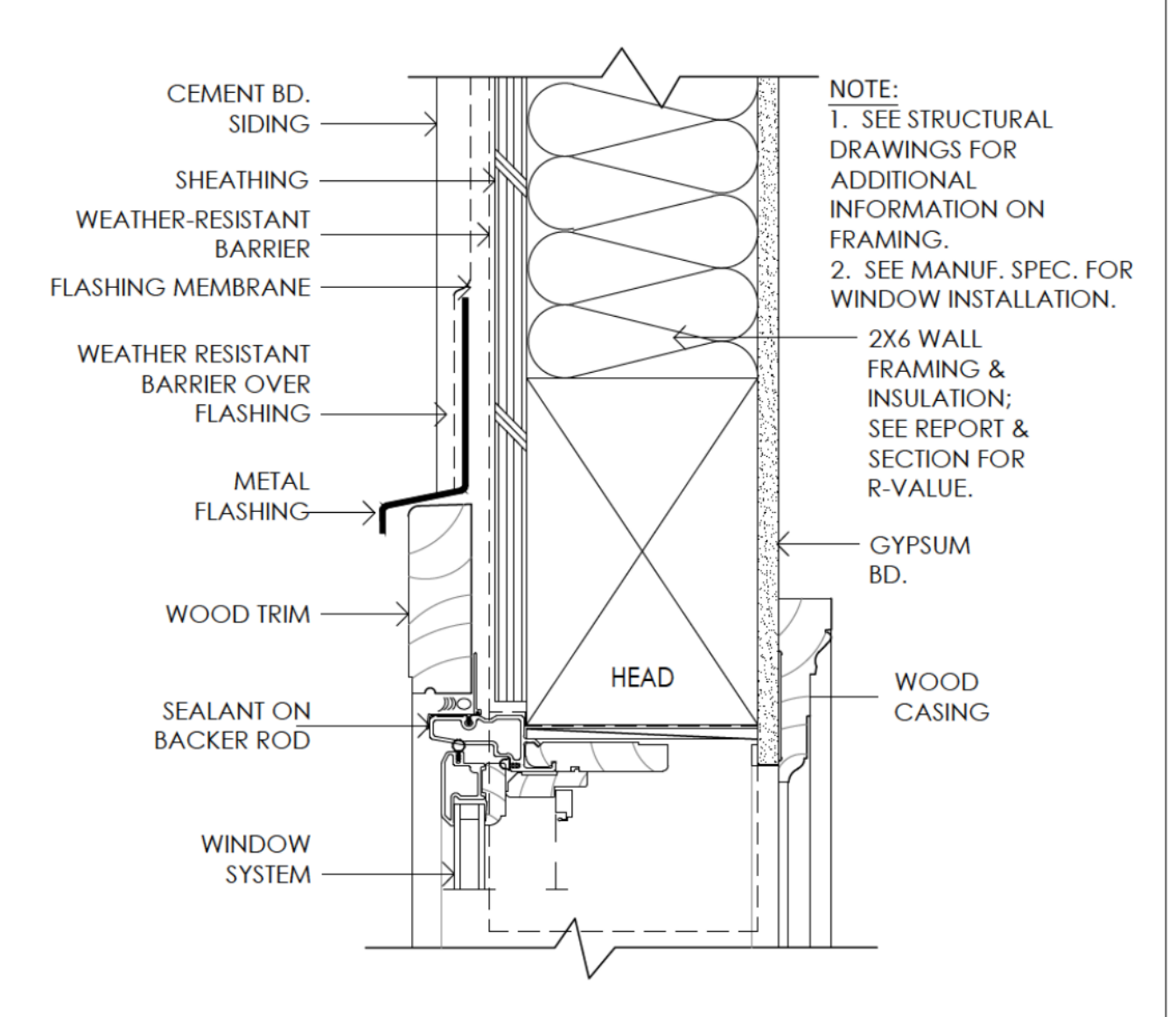
7 DOOR HEAD, TYPICAL
3" = 1'-0"



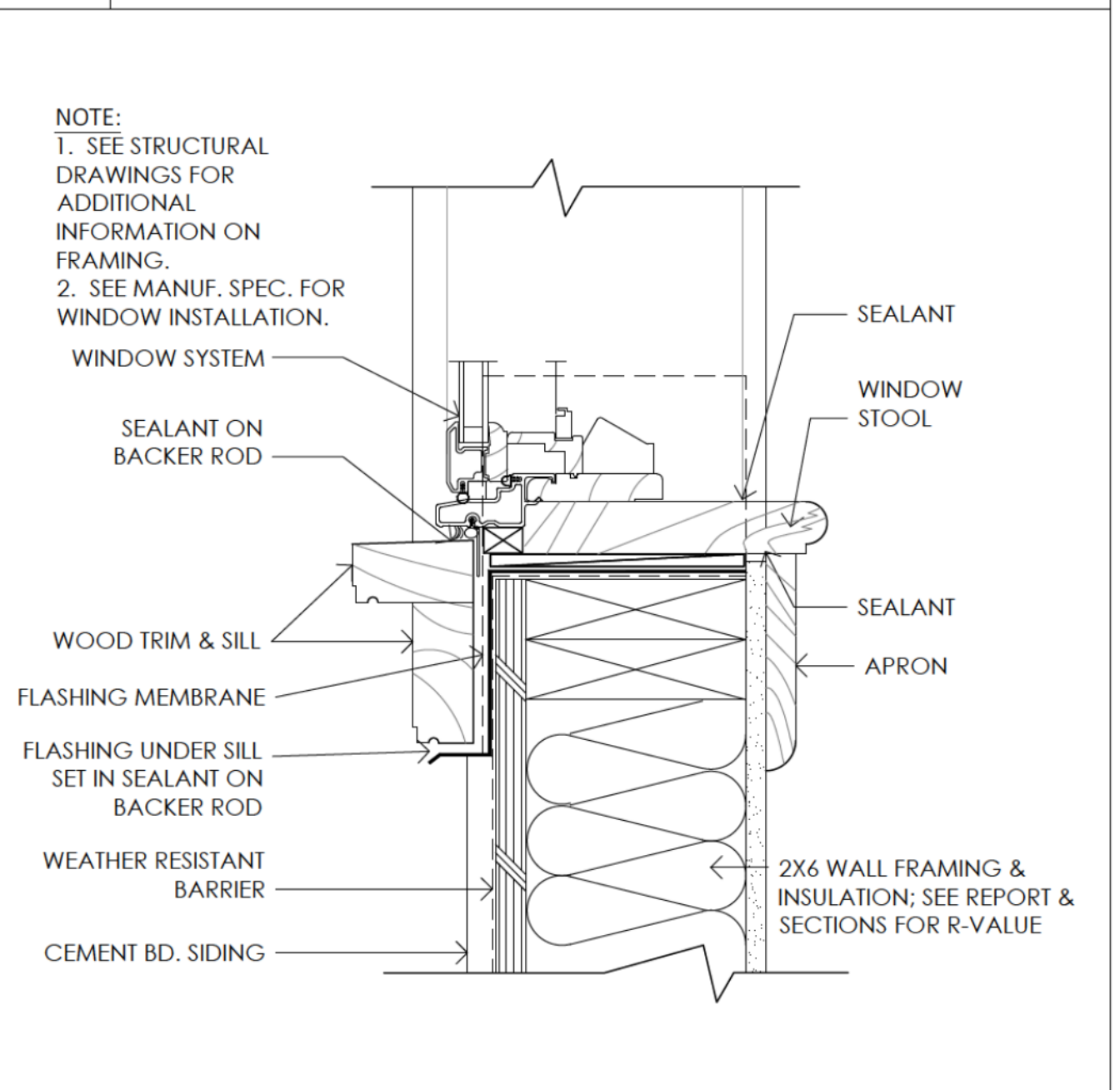
8 DOOR SILL @ DECK, TYPICAL
3" = 1'-0"



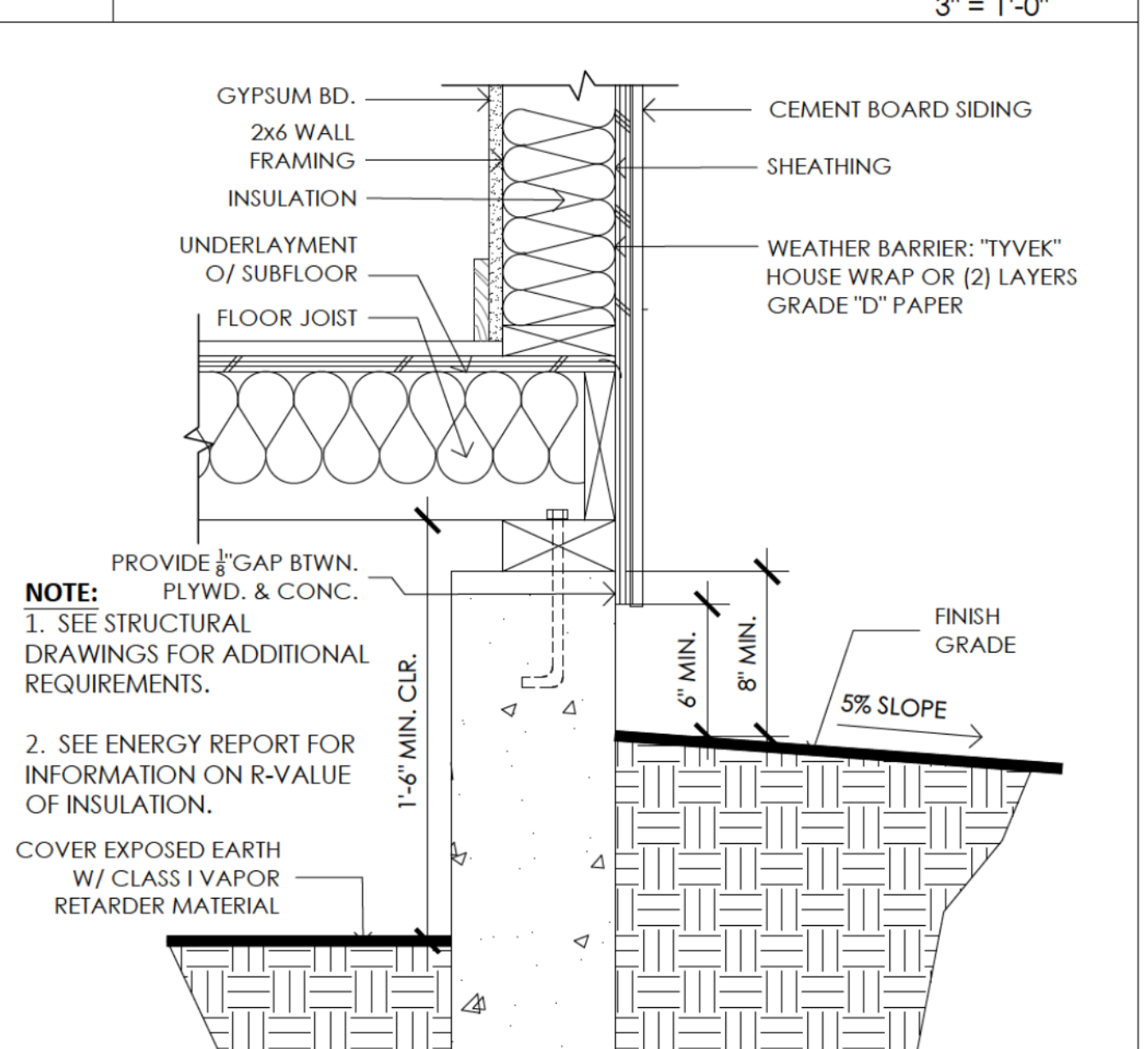
9 FOUNDATION @ PAVING, TYPICAL
1-1/2" = 1'-0"



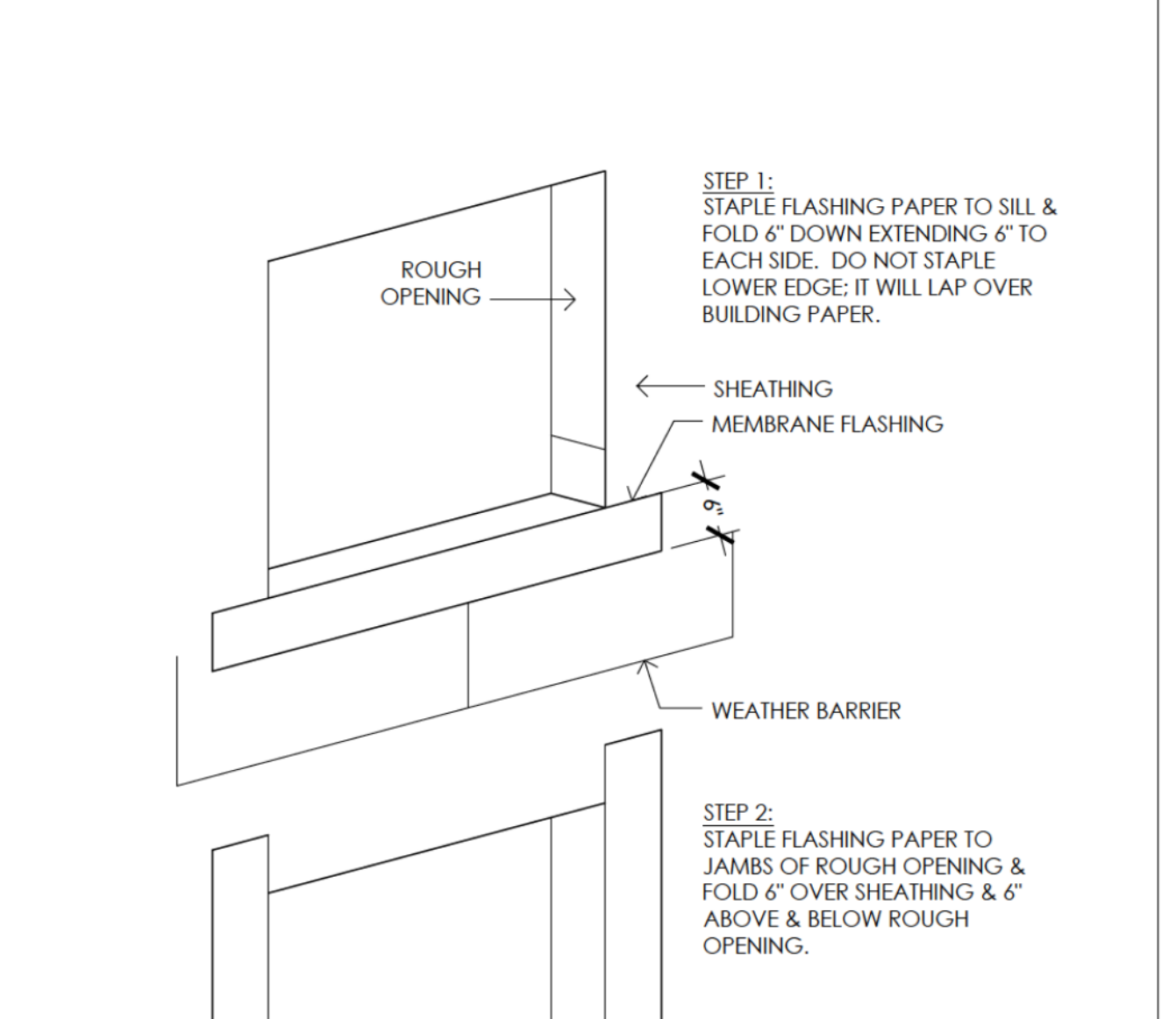
4 WINDOW HEAD, TYPICAL
3" = 1'-0"



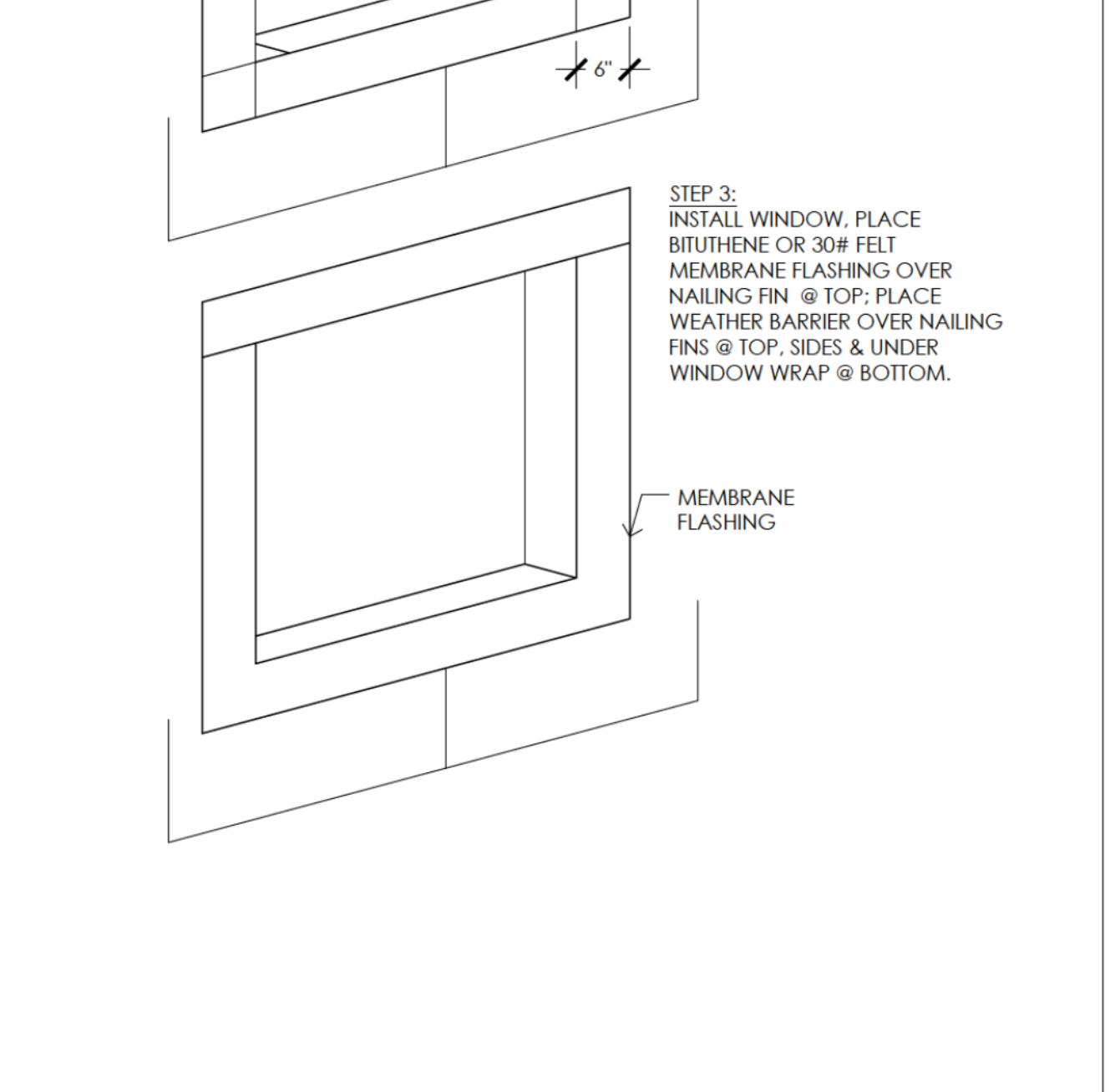
5 WINDOW SILL, TYPICAL
3" = 1'-0"



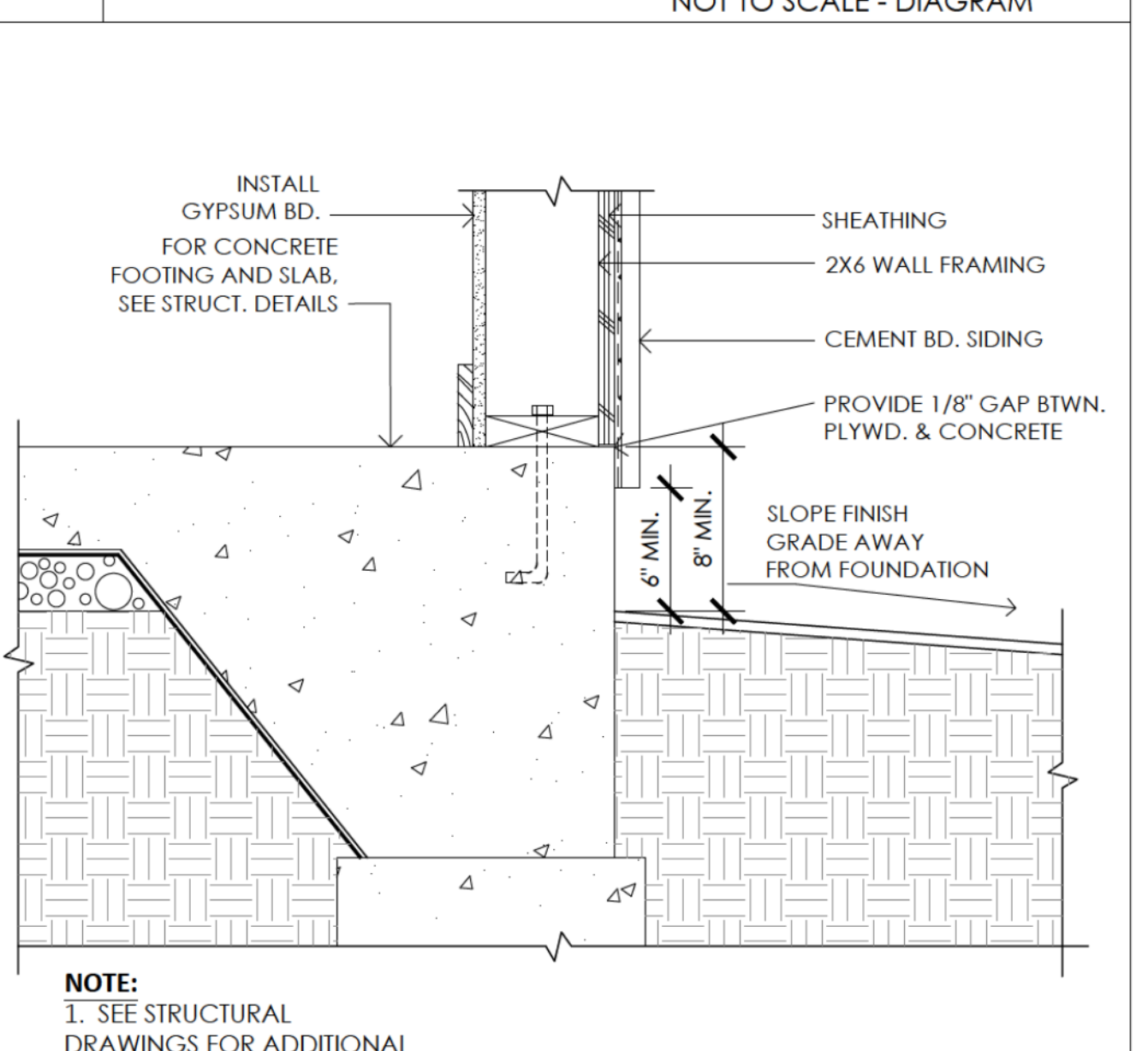
6 FOUNDATION, TYPICAL
1-1/2" = 1'-0"



2 ROUGH OPENING WRAP
NOT TO SCALE - DIAGRAM



3 FOUNDATION @ GARAGE
1-1/2" = 1'-0"



3 FOUNDATION @ GARAGE
1-1/2" = 1'-0"

NO.	REVISIONS	DESCRIPTION	DATE

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Fax: (408) 553-4006

BON VISTA CT HOME

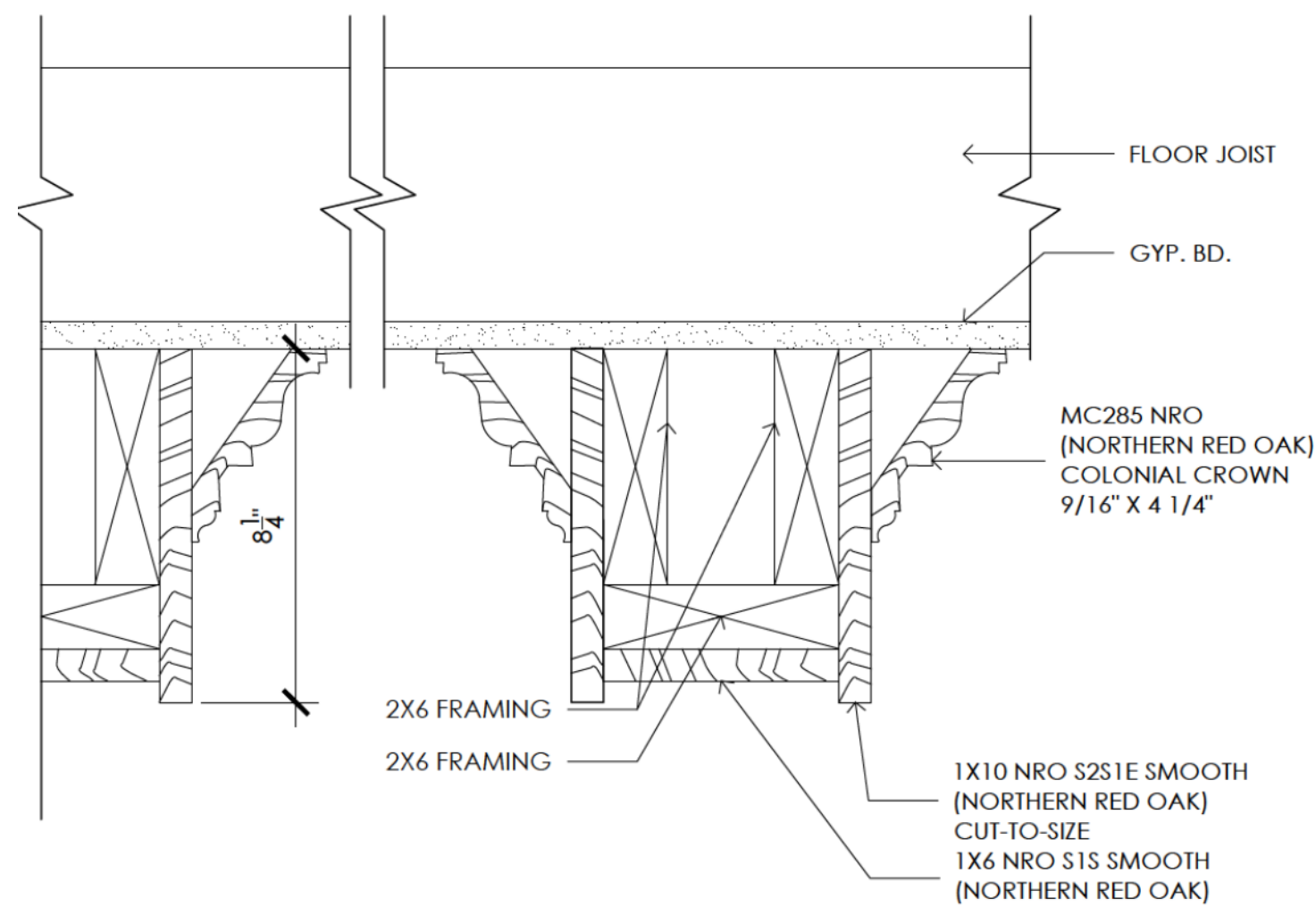
APN: 583 - 15 - 019

San Jose, California
Project No.:
Designed: K.L.
Checked: N.L.
Date: 6/13/2022

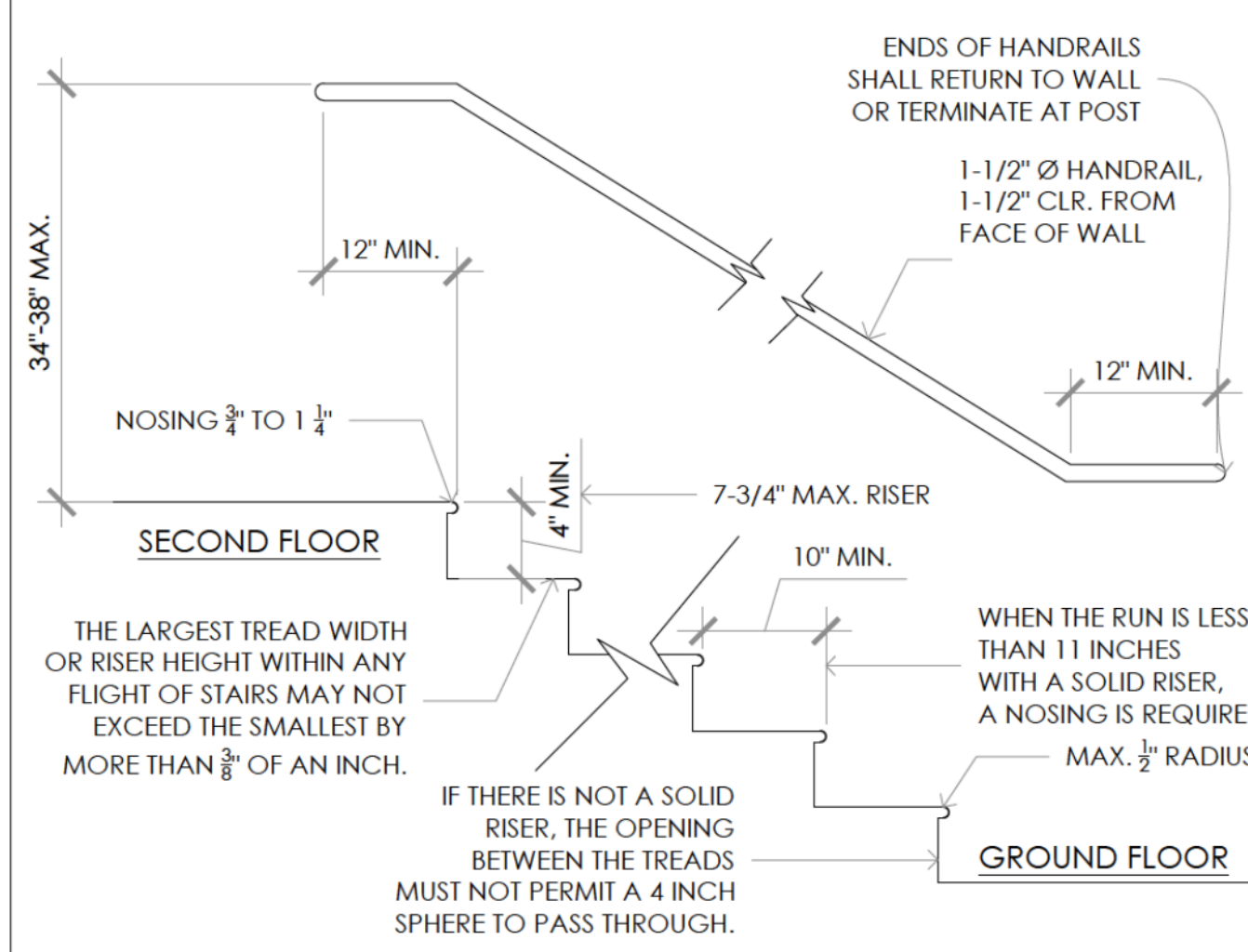
PRELIMINARY

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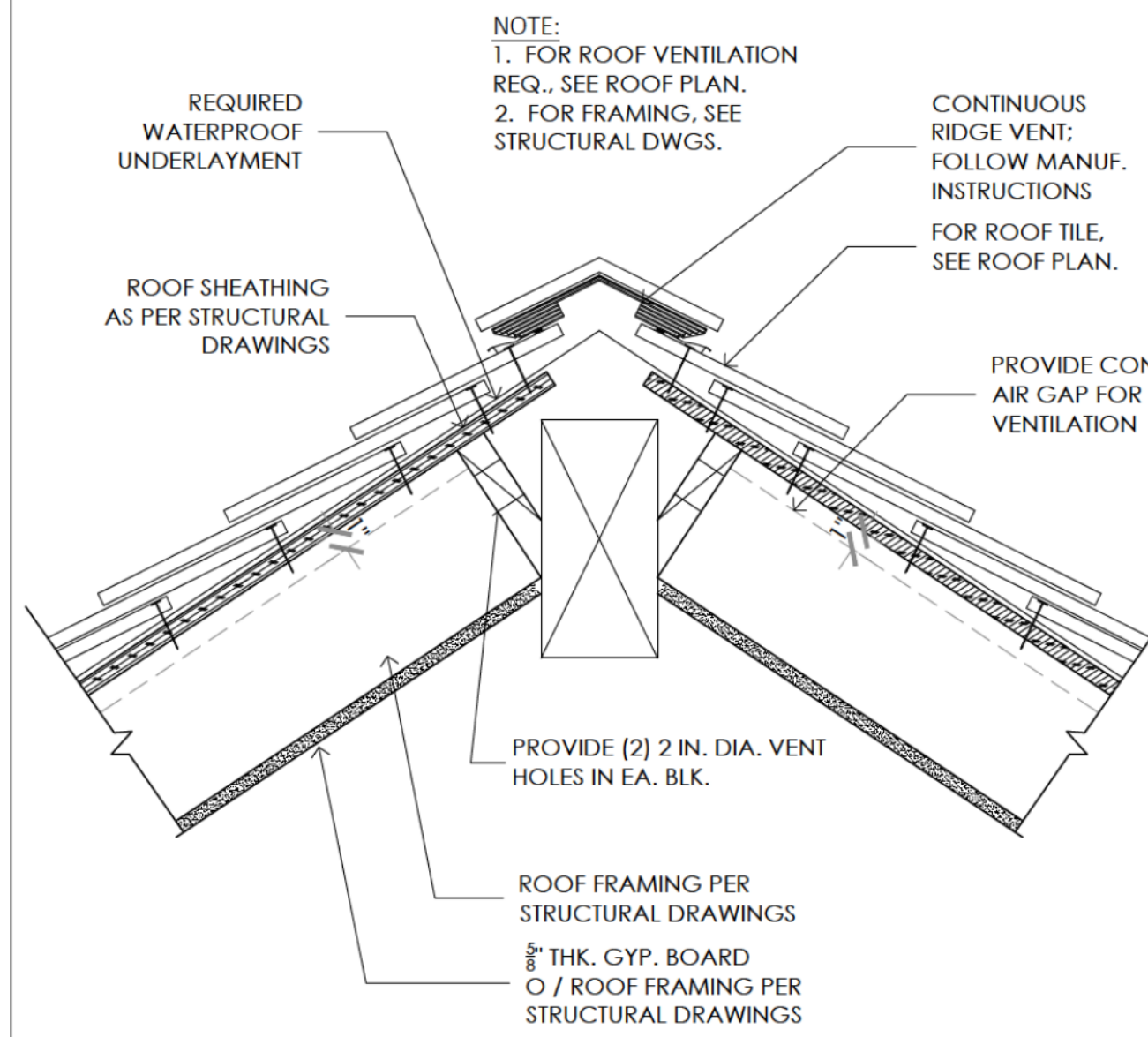
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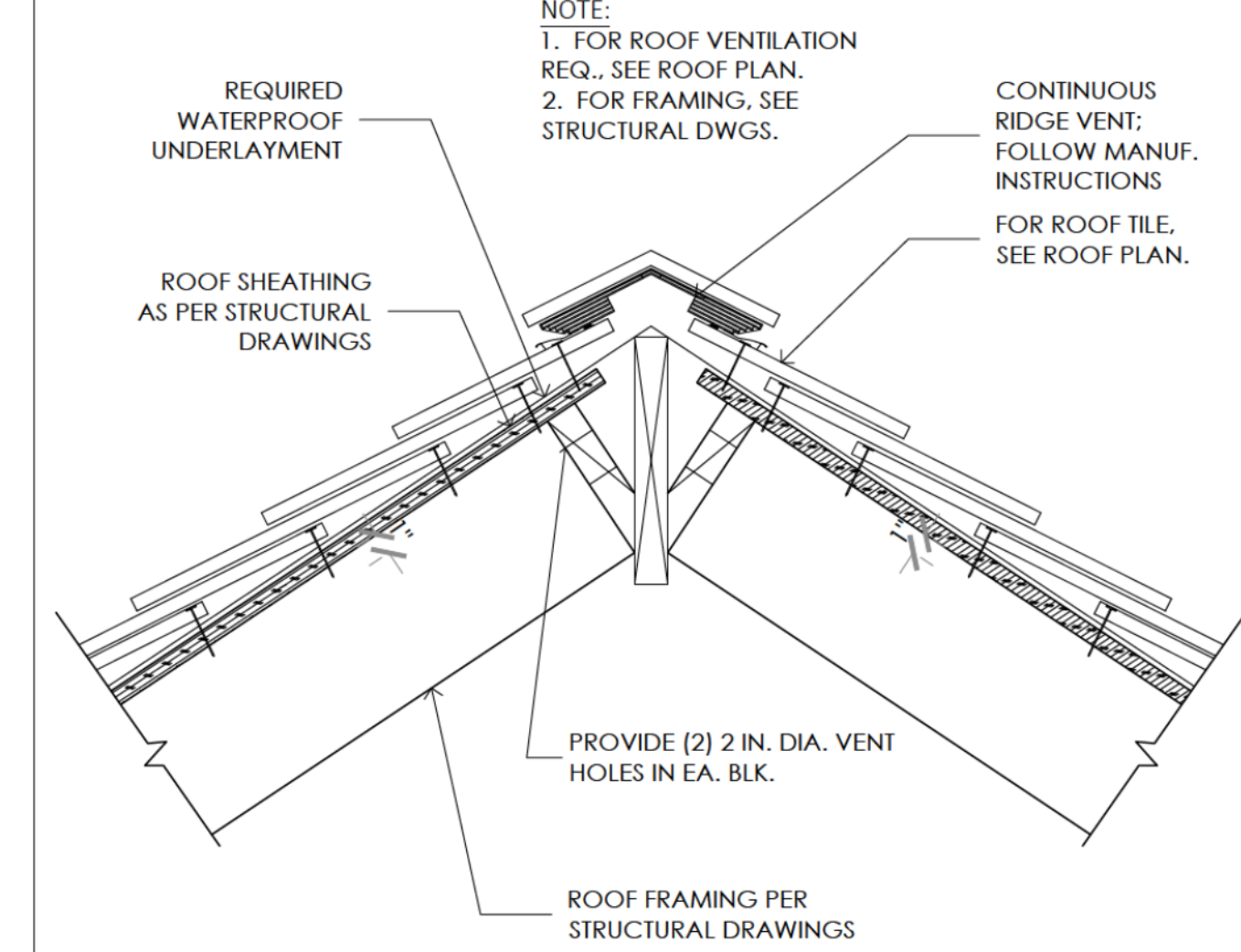
10 **INTERIOR BEAM DETAIL**
3" = 1'-0"



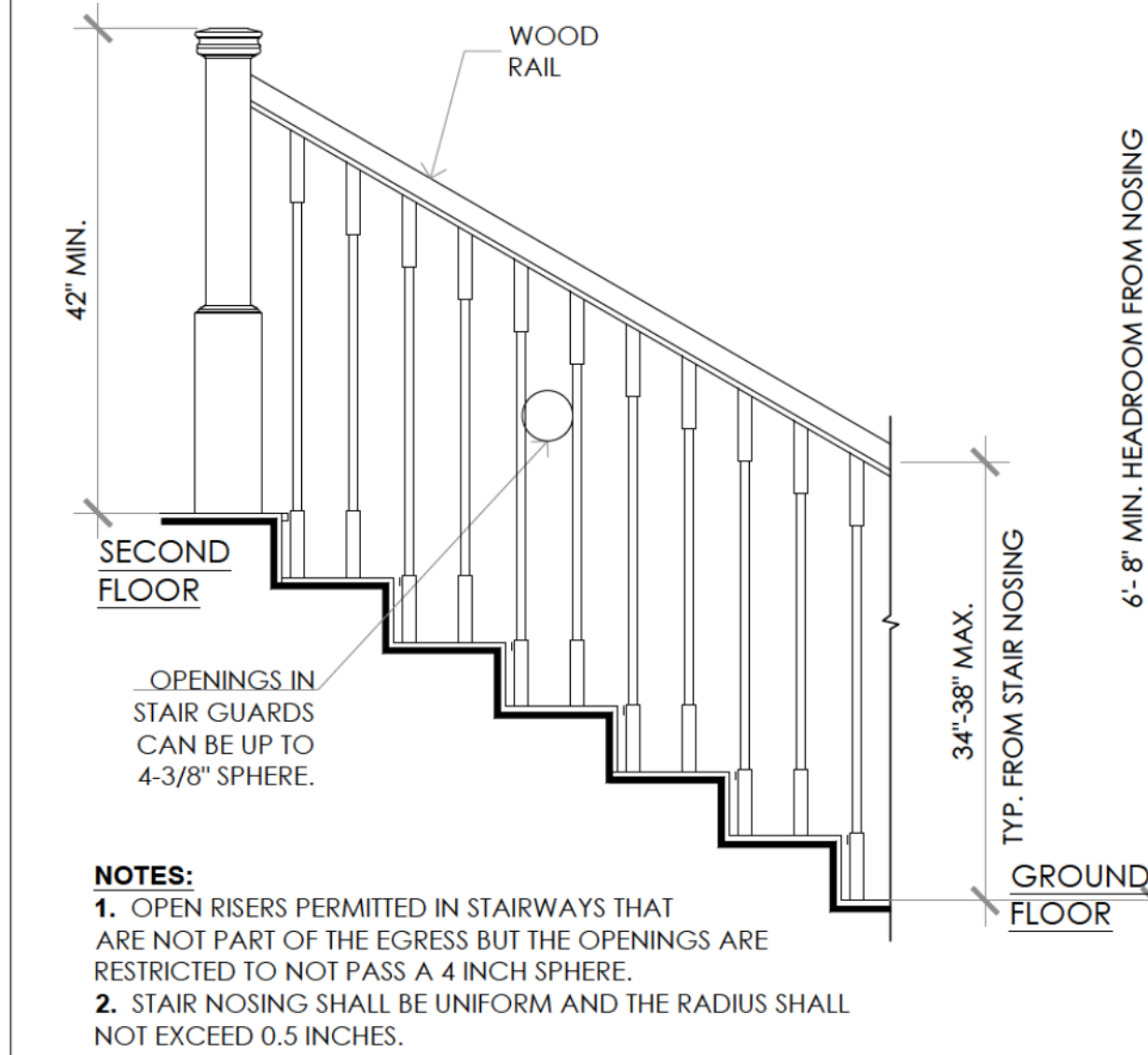
7 **INTERIOR STAIRS**
3/4" = 1'-0"



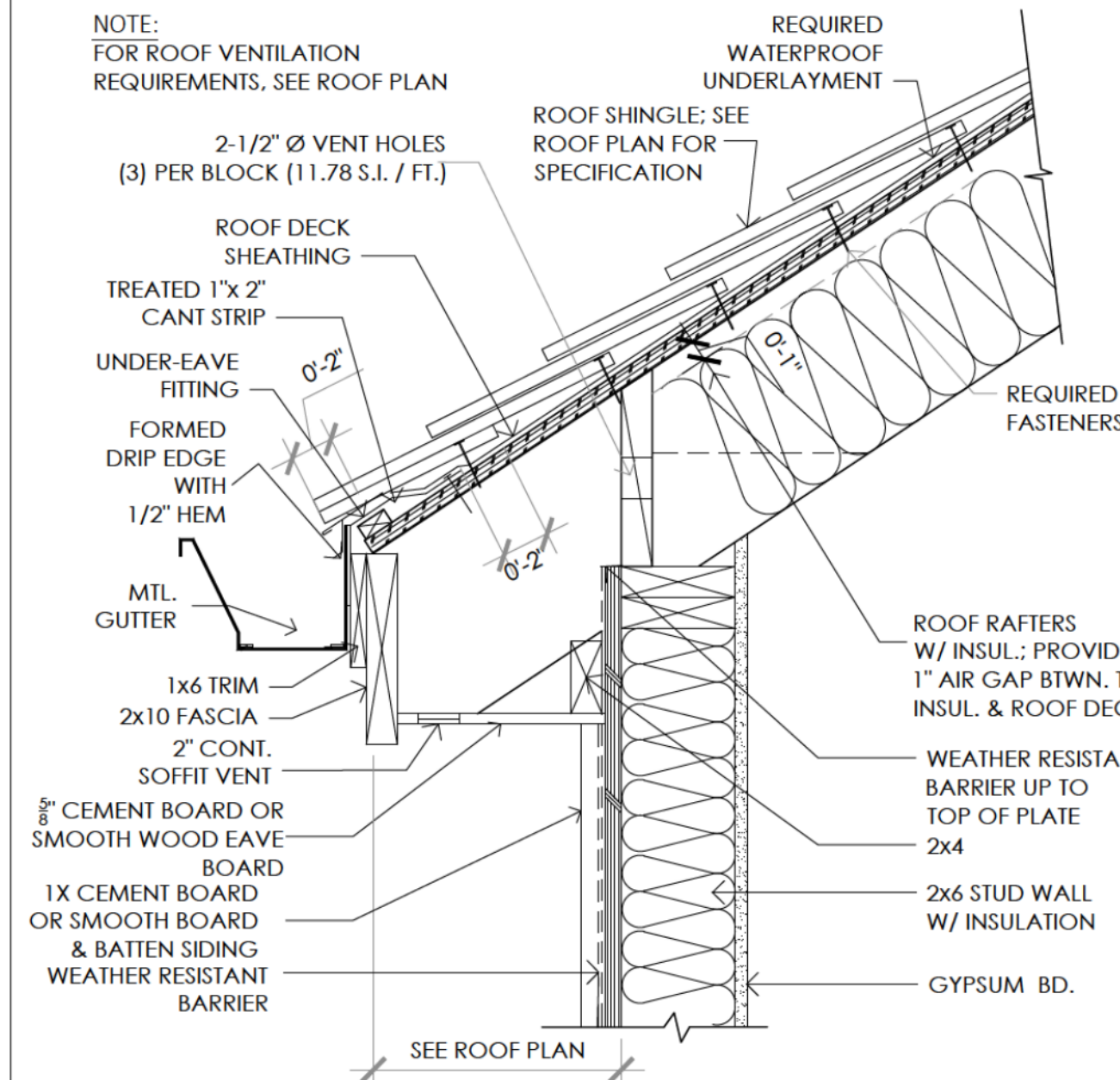
4 **ROOF RIDGE @ VAULTED CLG.**
1-1/2" = 1'-0"



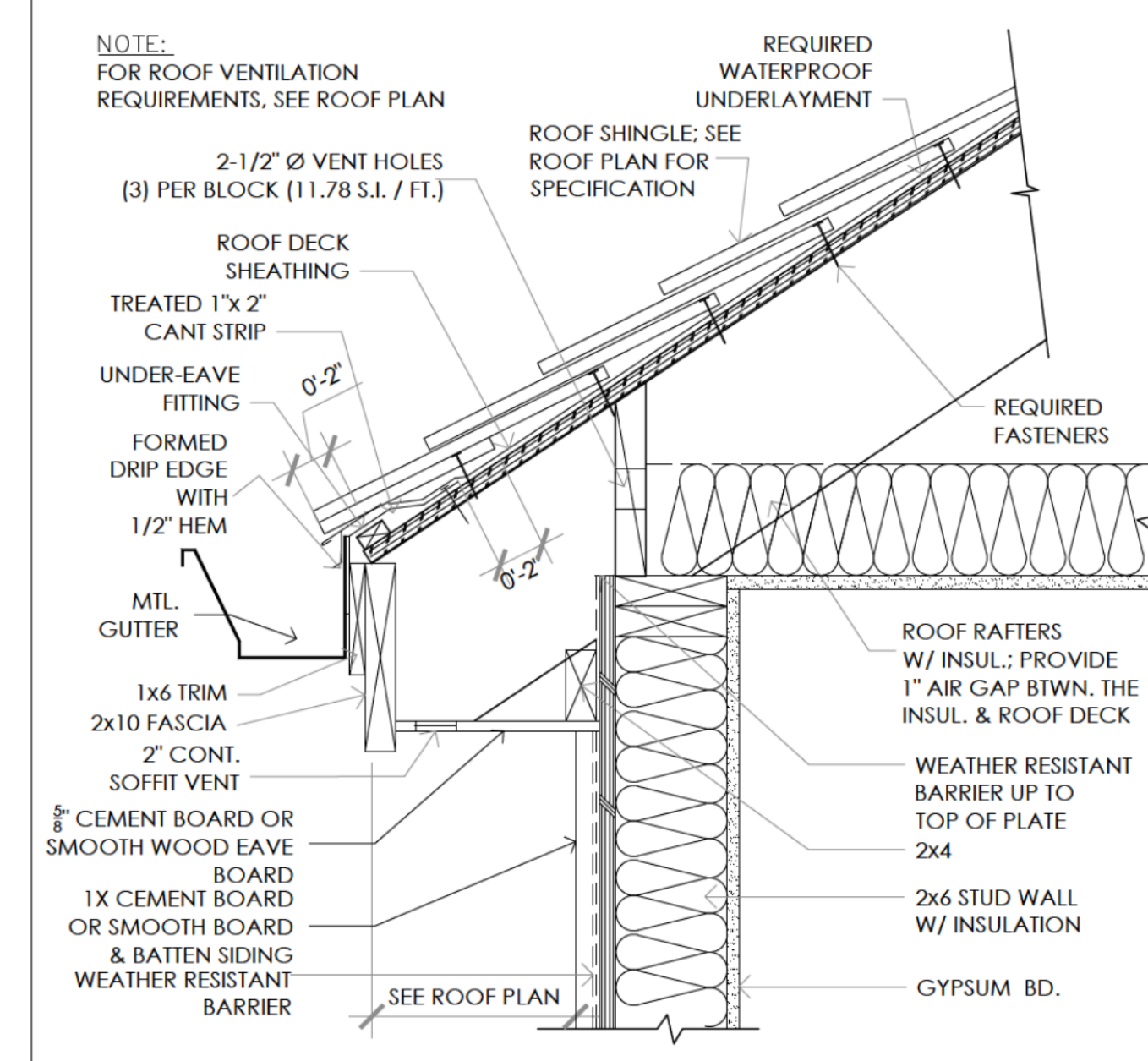
1 **ROOF RIDGE, TYPICAL**
1-1/2" = 1'-0"



8 **STAIRWAY RAILING**
3/4" = 1'-0"

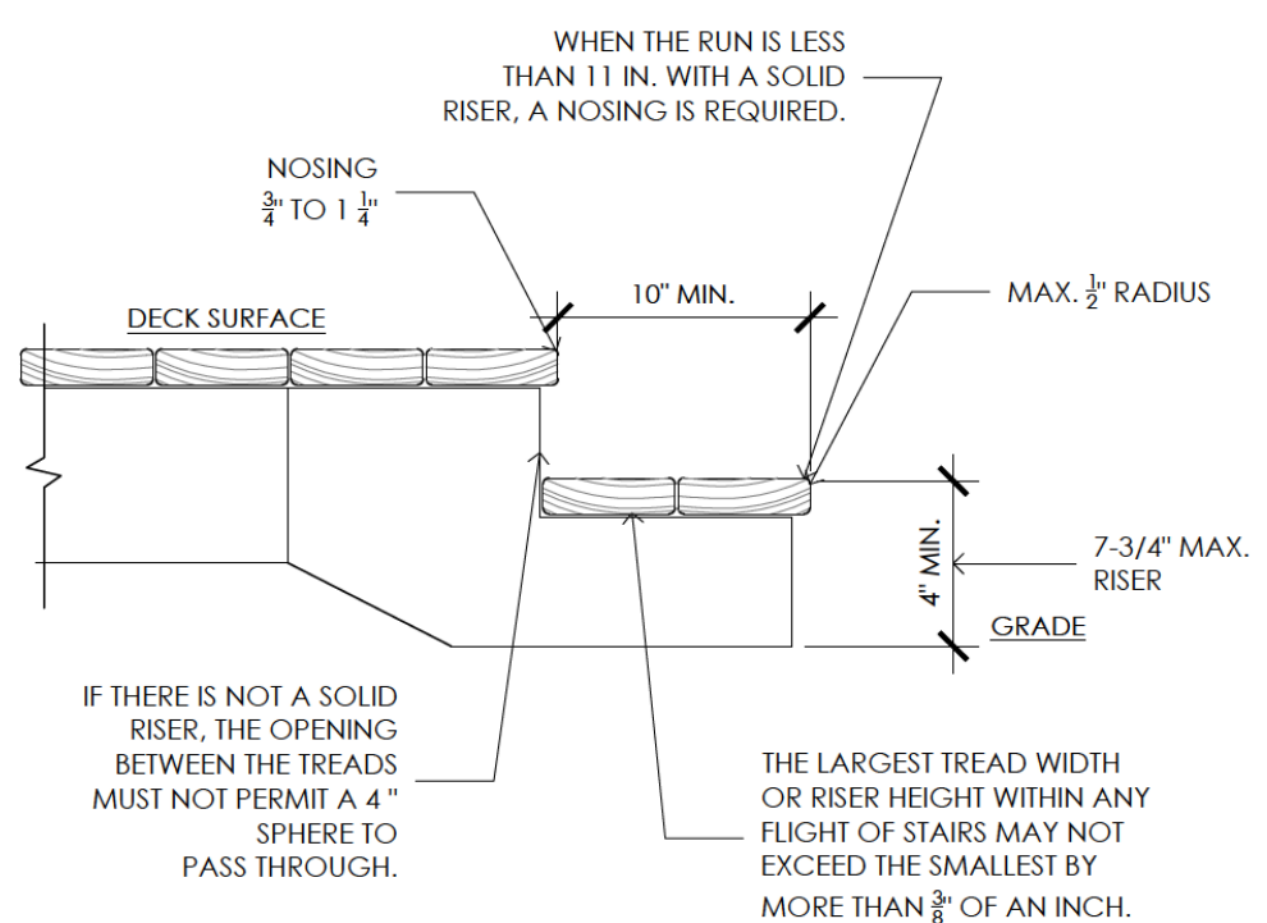


5 **ROOF EAVE @ VAULTED CLG.**
1-1/2" = 1'-0"

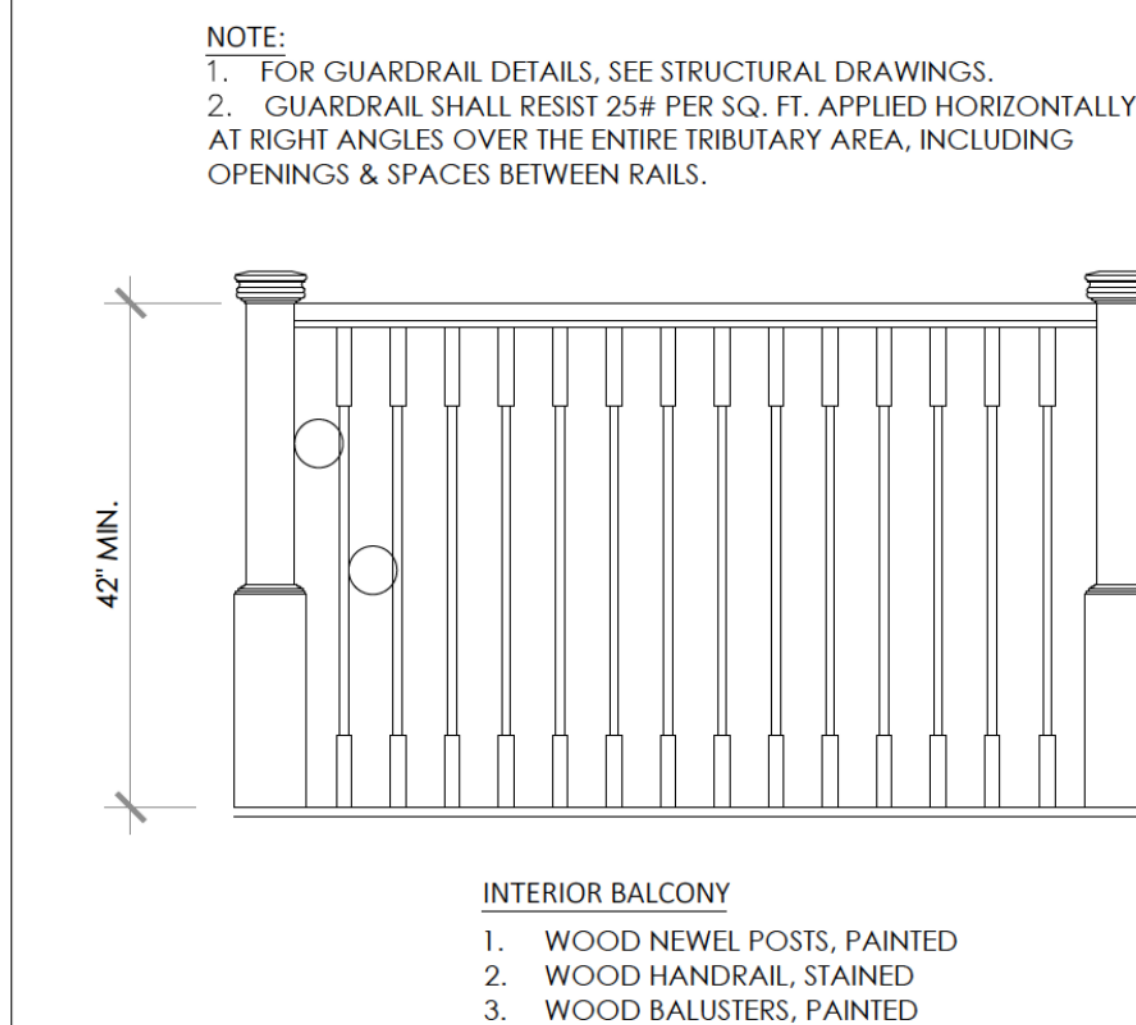


2 **ROOF EAVE, TYPICAL**
1-1/2" = 1'-0"

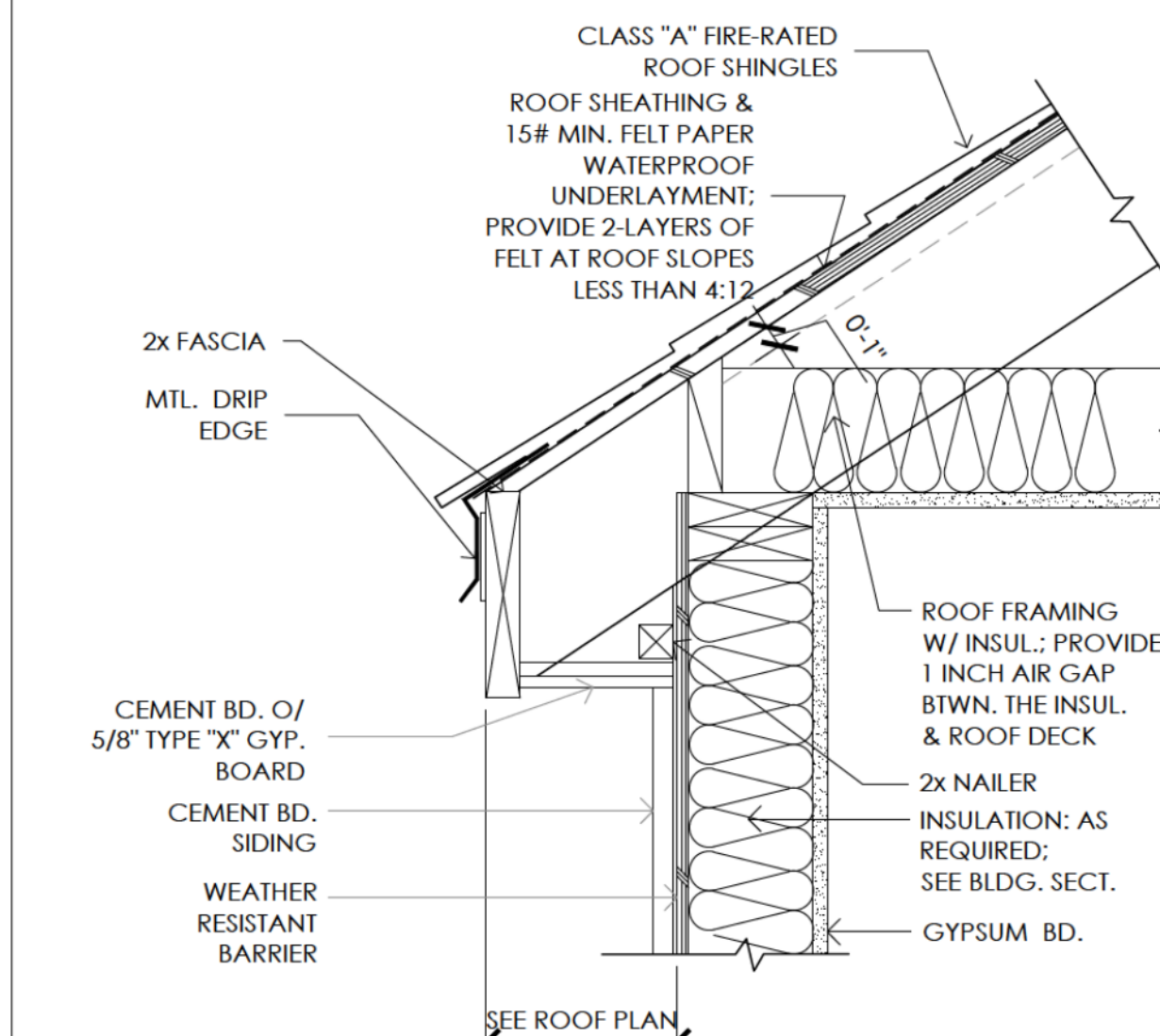
11 **NOT IN USE**
NO SCALE



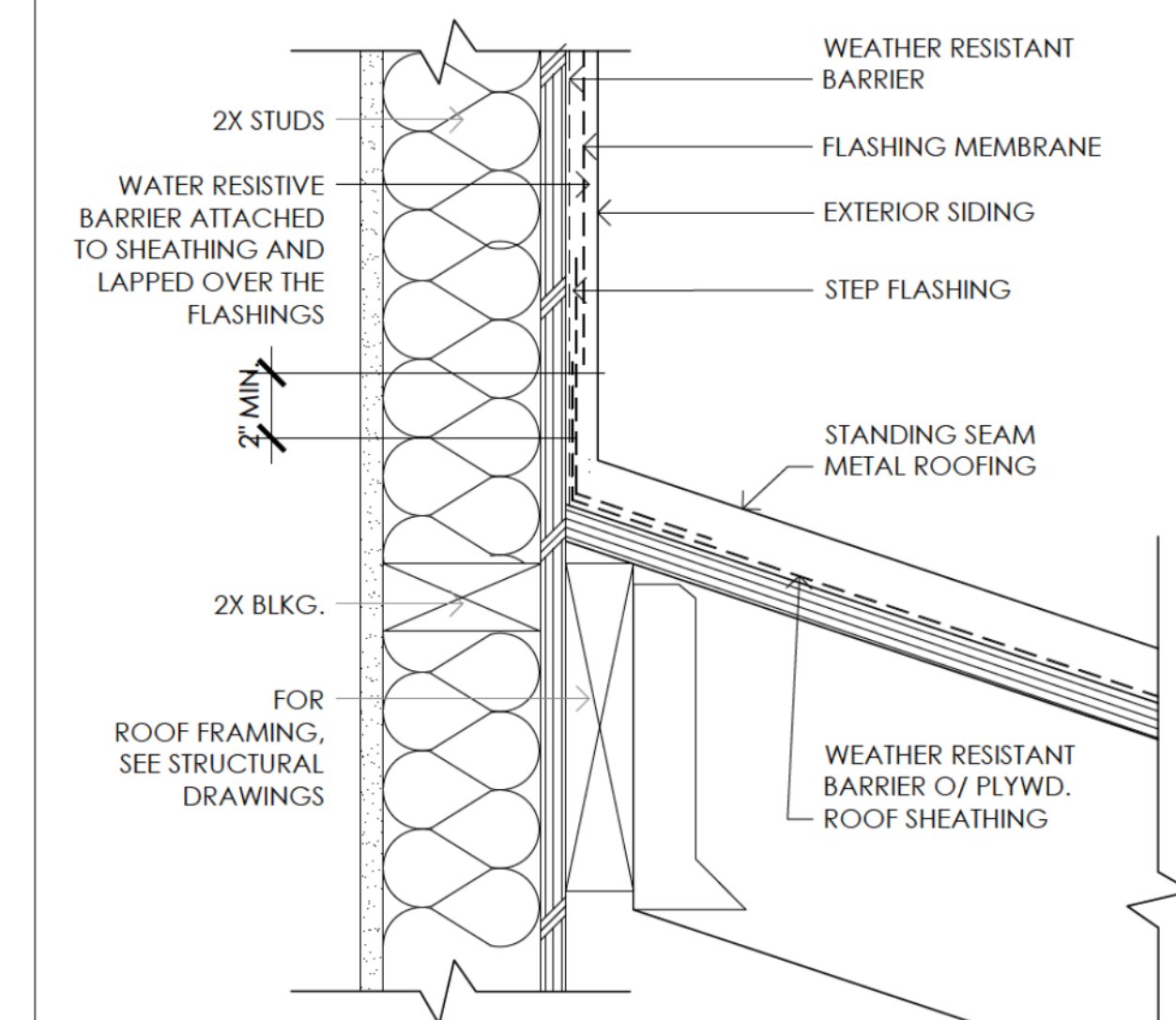
12 **DECK STEPS**
1-1/2" = 1'-0"



9 **INTERIOR GUARDRAIL**
3/4" = 1'-0"



6 **FIRE-RATED ROOF EAVE**
1-1/2" = 1'-0"



3 **ROOF @ WALL**
3" = 1'-0"

NO.	REVISIONS	DESCRIPTION	DATE

Raymond Nguyen
Professional Engineer
No. 47518
CIVIL
STATE OF CALIFORNIA

Bon Vista Ct, San Jose, CA, 95127

ENGINEERING
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BON VISTA CT HOME
APN: 583 - 15 - 019
SAN JOSE CALIFORNIA
Project No.:
Designed: K.L. Checked: N.L. Date: 6 / 13 / 2022

COUNTY OF SANTA CLARA

GENERAL CONSTRUCTION SPECIFICATIONS

GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY POLAK ENGINEERING, INC. 61 EAST MAIN STREET, SUITE D, LOS GATOS, CA 95030 AND DATED DECEMBER 05, 2016 PROJECT No: 1225 THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS, IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER, THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. 6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED. 7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR. 8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
- UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 06-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDING OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE
- UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO A DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYS IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
- SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
- NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
- THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
BLDG	5	391	6.3
ACCESSORY STRUCTURE	-	-	-
POOL/HARDSCAPE	-	-	-
LANDSCAPE	-	-	-
DRIVEWAY	55	175	13.2
OFF SITE IMPROVEMENTS	-	-	-
TOTAL	60	566	-

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.

- EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
- ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%
- ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
- THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
- GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
- TOTAL DISTURBED AREA FOR THE PROJECT 15,682 SF.
- WDD NO. _____
- THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

- FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
 - FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES.
 - THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 - FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 - SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
- SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROAD AND DRIVEWAY

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
- ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
- THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

- PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

- CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

NOTICE TO CONTRACTORS

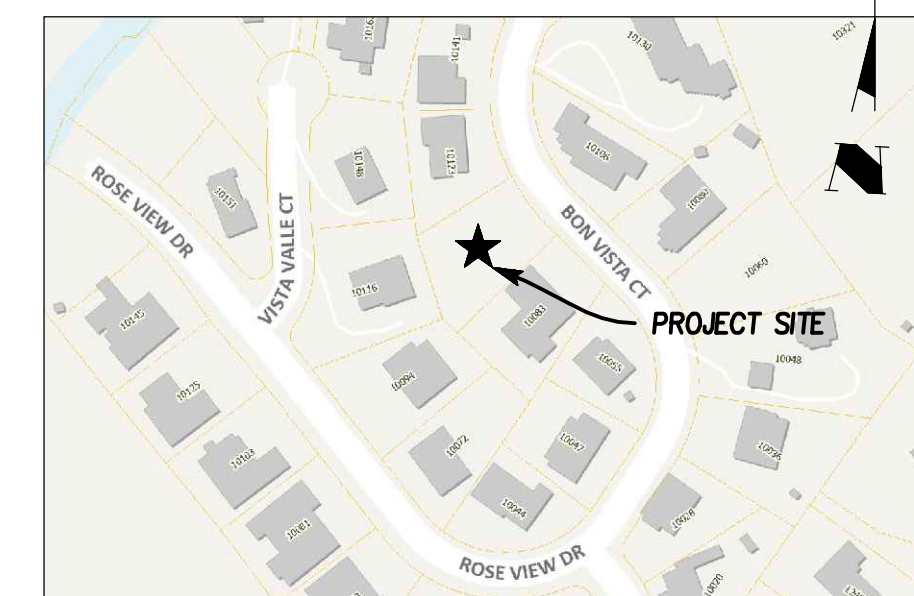
CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 800-277-2600 A MINIMUM OF 24 HOURS OF THE LOCATION OF UNDERGROUND UTILITIES.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

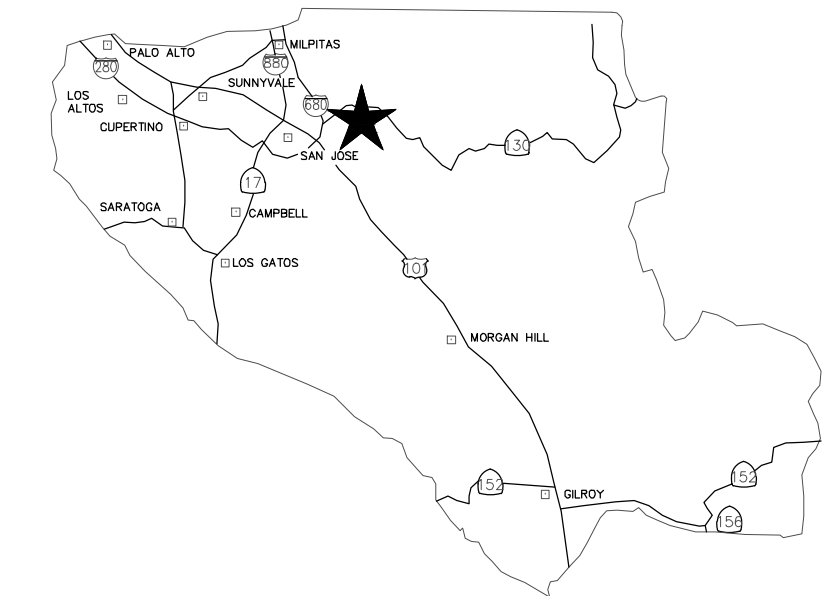
- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
- ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
 - 15 MILES PER HOUR (MPH) SPEED LIMIT
 - 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
 - TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367.
- ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
- ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
- ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
- THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
- THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
 - PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
 - PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
- EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004/ ORDER NO. 2013-0001-DWQ.
- DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
- UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
- THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.



VICINITY MAP NTS



COUNTY LOCATION MAP NTS

SURVEY MONUMENT PRESERVATION

- THE LANDOWNER/CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
- THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

NEW IMPERVIOUS AREA

- PRE DEVELOPMENT IMPERVIOUS AREA 0 SF
- POST DEVELOPMENT IMPERVIOUS AREA 4,348 SF

DIFFERENCE: +4,348 SF

* SEE SHEET 2 FOR DETAILS

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (____ WERE) (____ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (*). THERE (____ WERE) (____ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ

DATE _____ SIGNATURE _____

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

SCOPE OF WORK

- THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.
- GRADE DRIVEWAY, BLDG AND DETACHED GARAGE
- INSTALL DRAINAGE FACILITIES
- GRADING IMPROVEMENTS
- PAVE DRIVEWAY
- SEED ALL DISTURBED AREAS

SHEET INDEX:

- SHEET 1: TITLE SHEET
- SHEET 2: OVERALL SITE PLAN
- SHEET 3: DEMOLITION PLAN
- SHEET 4: GRADING & DRAINAGE PLAN
- SHEET 5: BUILDING CROSS SECTIONS
- SHEET 6: UTILITY PLAN
- SHEET 7: EROSION CONTROL PLAN
- SHEET 8: EROSION CONTROL DETAILS - 1
- SHEET 9: EROSION CONTROL DETAILS - 2

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
ISSUED BY: _____ DATE: _____
ENCROACHMENT PERMIT NO. _____

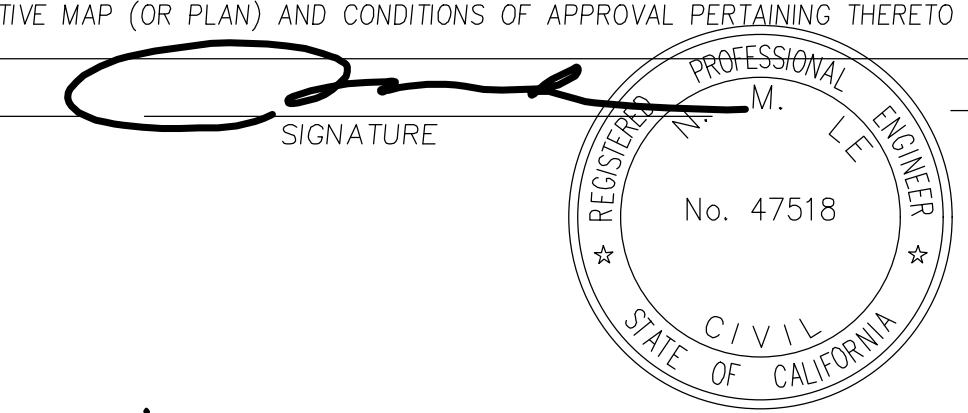
COUNTY OF SANTA CLARA
LAND DEVELOPMENT ENGINEERING & SURVEYING
GRADING / DRAINAGE PERMIT NO. _____
ISSUED BY: _____ DATE: _____

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO FILE(S) NO. _____

DATE _____ SIGNATURE _____ 47518 R.C.E. NO.



COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE, OR ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR A DEPARTURE FROM) THE SPECIFICATIONS OR THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE _____ CHRISTOPHER L. FREITAS
42107 3/31/2022
R.C.E. NO. EXPIRATION DATE

ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

California

TITLE SHEET
LANDS OF NGUYEN
BON VISTA CT
APN 612-50-014

DRAWING NO. 1
SHEET NO. 1 OF 9
FILE NO.

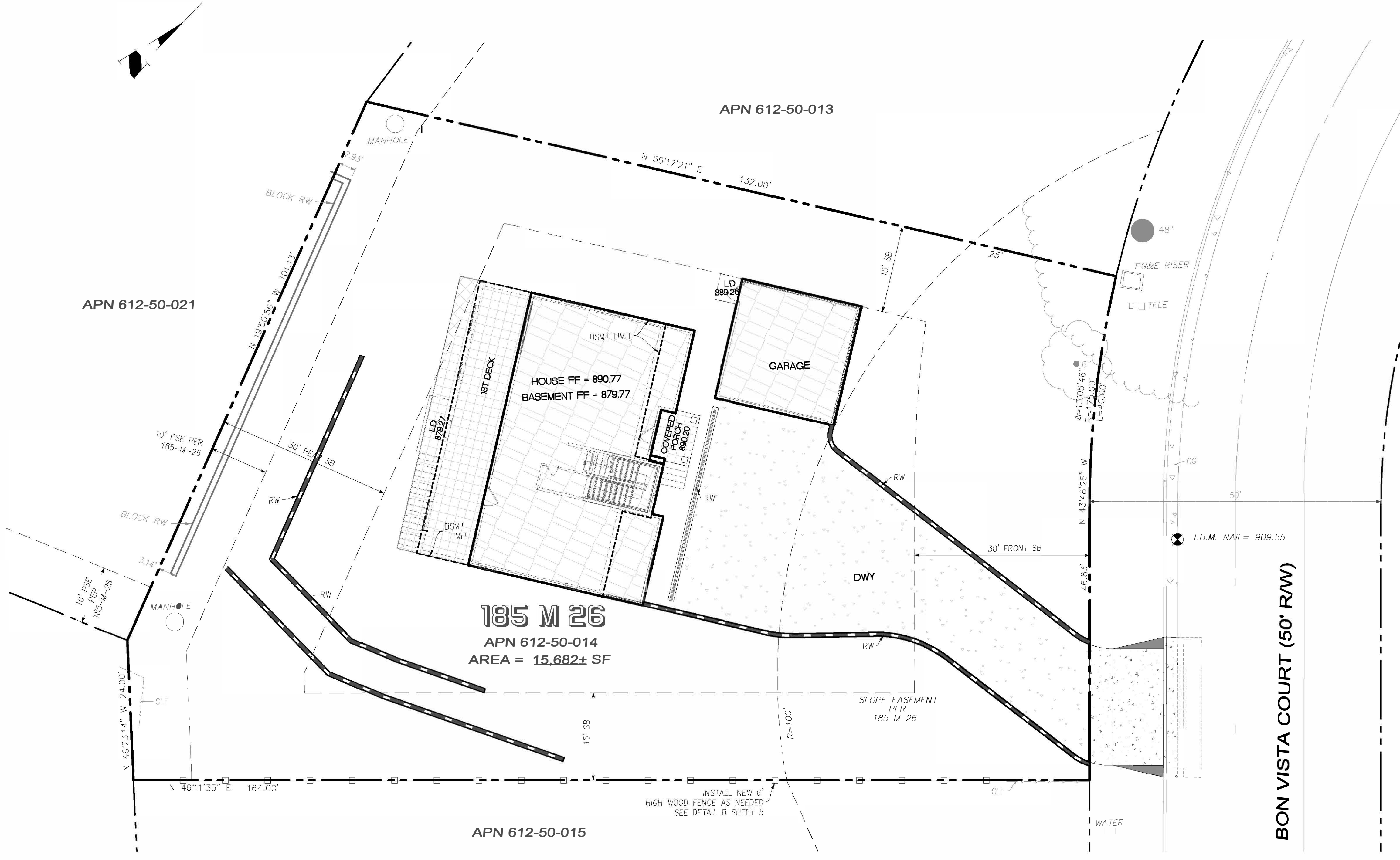
PROJECT NO. CONTRACT NO.

DESIGNED DATE: 06/20/2023
DRAWN DATE: 06/20/2023
SCALE: AS SHOWN
CHECKED DATE: 06/20/2023

NO. REVISIONS

DATE APP'D BY

ABBREVIATIONS		LEGEND	
AB	AGGREGATE BASE	⊕	AREA DRAIN
AC	ASPHALT CONCRETE	⊕	BENCHMARK
AD	AREA DRAIN	⊕	BOUNDARY
AE	ANCHOR EASEMENT	⊕	CATCH BASIN
BB	BUBBLER BOX	⊕	COBBLE ROCK ENERGY DISSIPATOR
BLDG	BUILDING	⊕	CONCRETE
BSL	BUILDING SETBACK LINE	⊕	CONTOUR: EXISTING
BW	BOTTOM OF WALL	⊕	CONTOUR: PROPOSED OR NEW
CG	CHAIN LINK FENCE	⊕	DESIGN GRADE
CLF	CENTERLINE	⊕	DOWNSPOUT WITH SPLASHBLOCK
CO	SANITARY SEWER CLEANOUT	⊕	DRAINAGE EMITTER
COP	CURB OPENING	⊕	DIVERSION VALVE
CONC	CONCRETE	⊕	BACKWATER VALVE
CSD	COUNTY STANDARD DETAIL	⊕	DRAINAGE SWALE
DE	DRAINAGE EMITTER	⊕	EASEMENT LINE
DI	DRAINAGE INLET	⊕	EXISTING ELEVATION
DS	DOWNSPOUT	⊕	EXISTING FENCE
DWY	DRIVEWAY	⊕	EXISTING TREE TO BE REMOVED
EA	EASEMENT	⊕	EXISTING TREE TO REMAIN
ELEV	ELEVATION	⊕	FOUND IRON PIPE AT PROPERTY CORNER
EGR	EGRESS	⊕	FIBER ROLLS
EM	ELECTRIC METER	⊕	GAS METER
EOH	ELECTRIC OVERHEAD	⊕	GAS VALVE
E(UG)	ELECTRIC UNDERGROUND	⊕	GRADE TO DRAIN
EP	EDGE OF PAVEMENT	⊕	GUY POLE
EX	EXISTING	⊕	GUY WIRE ANCHOR
FC	FACE OF CURB	⊕	HIGH POINT
FD	FOUND	⊕	HYDRANT: EXISTING
FF	FINISH ELEVATION OF SUBFLOOR	⊕	HYDRANT: PROPOSED OR NEW
FG	GROUND FINISH GRADE	⊕	V12 DRAINBOX 12"x12" (OTHERWISE NOTED)
FH	FIRE HYDRANT	⊕	JOINT POLE
FL	FLOW LINE	⊕	LIGHTING POLE
G	GARAGE SLAB ELEVATION	⊕	LOW POINT
GPE	GENERAL PUBLIC EASEMENT	⊕	OVERLAND FLOW DIRECTION
GSB	GRADING SETBACK	⊕	PGE BOX
GM	GAS METER	⊕	PROJECT SITE
HP	HI POINT	⊕	RETAINING WALL
INGR	INGRESS	⊕	EXISTING RIGHT OF WAY
INV	INVERT	⊕	PROPOSED RIGHT OF WAY
LIP	LIP OF CUTTER	⊕	EXISTING CONCRETE
LS	LANDSCAPED AREA	⊕	ITEM OR AREA TO REMAIN
MAX	MAXIMUM	⊕	PROPOSED CONCRETE
MH	MANHOLE	⊕	BUILDING
MIN	MINIMUM	⊕	LANDING
N&S	NAIL AND SHINER	⊕	DECK
NTS	NOT TO SCALE	⊕	SANITARY SEWER CLEAN OUT MANHOLE
OH	OVERHEAD	⊕	SANITARY SEWER MANHOLE
OG	ORIGINAL GROUND	⊕	STORM DRAIN MANHOLE
OG	PAVEMENT FINISH GRADE	⊕	SUMP PUMP
PA	PATIO	⊕	TELEPHONE BOX
PAD	PAD ELEVATION	⊕	TELEVISION BOX
P	PEDESTRIAN EQUESTRIAN EASEMENT	⊕	TEST PIT
PEE	PERFORATED	⊕	TOP OF FILL
PERF	PORCH	⊕	TOP OF CUT
PO	POWER POLE PROP PROPOSED	⊕	TOP OF CUT
PSDE	PRIVATE STORM DRAINAGE EASEMENT	⊕	TREE NUMBER
PSE	PUBLIC SERVICE EASEMENT	⊕	T-VAULT
PUE	PUBLIC UTILITY EASEMENT	⊕	UTILITY: EXISTING
PVMT	PAVEMENT	⊕	UTILITY: PROPOSED OR NEW
PVC	POLYVINYL CHLORIDE	⊕	WATER METER
R	RADIUS	⊕	WATER VALVE
RW	RETAINING WALL	⊕	WELL
REM	REMOVE	⊕	SECTION NUMBER
R/W	RIGHT OF WAY	⊕	SHEET NUMBER
SD	STORM DRAIN	⊕	
SE	SLOPE EASEMENT	⊕	
SEP	SLOPE EASEMENT PRIVATE	⊕	
SS	SANITARY SEWER/LATERAL	⊕	
SSE	SANITARY SEWER EASEMENT	⊕	
STA	STATION	⊕	
STD	STANDARD COUNTY DETAIL	⊕	
SW	SIDEWALK	⊕	
TB	TOP OF BANK	⊕	
TC	TOP OF CURB	⊕	
TEMP	TEMPORARY	⊕	
TOC	TOP OF COVER	⊕	
TOE	TOE OF BANK	⊕	
TC	TOP OF GRATE	⊕	
TPF	TREE PROTECTION FENCE	⊕	
TW	TOP OF WALL	⊕	
TYP	TYPICAL	⊕	
VG	VALLEY GUTTER	⊕	
W	WATER	⊕	
WCE	WIRE CLEARANCE EASEMENT	⊕	
WLK	WALKWAY	⊕	
WM	WATER METER	⊕	
WOE	WIRE OVERHANG EASEMENT	⊕	
WV	WATER VALVE	⊕	



PRE DEVELOPMENT PERVIOUS AREA

1. LANDSCAPE	15,682 SF
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POST DEVELOPMENT IMPERVIOUS AREA

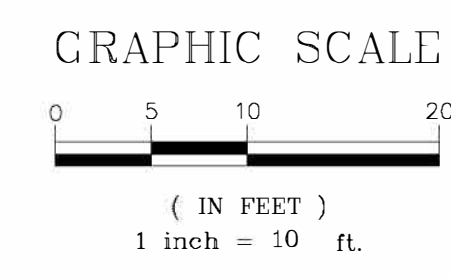
BLDG	1,387 SF
1ST DECK	601 SF
PORCH	56 SF
GARAGE	440 SF
DRIVEWAY	1,864 SF
TOTAL:	4,348 SF

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON WERE TAKEN FROM THE MPA OF TRACT 3794, ROSE VIEW HEIGHTS. (185 M 26)

PROJECT BENCHMARK

THE ELEVATION HEREON DERIVED FROM G.P.S. OBSERVATION AND BASED ON NAVD88 DATUM T.B.M.=909.55



FILE NO.	2	OF	9
SHEET NO.	2	OF	9
DRAWING NO.	OVERALL SITE PLAN		
PROJECT NO.	LANDS OF NGUYEN		
CONTRACT NO.	BON VISTA CT		
DATE	APN 612-50-014		
CHECKED	DATE	BY	DATE
NC	06/30/2023		
SCALE	DATE	APPR'D	REVISIONS
NO	06/30/2023		
DESIGNED	DATE	BY	DATE
HV	06/30/2023		
DRAWN	DATE	BY	DATE
HV	06/30/2023		

San Jose

California

ENGINEERING

598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

ABBREVIATIONS									
AB	AGGREGATE BASE	COP	CURB OPENING	E(UG)	ELECTRIC UNDERGROUND	GM	GAS METER	R	RADIUS
AC	ASPHALT CONCRETE	CONC	CONCRETE	EP	EDGE OF PAVEMENT	HP	HI POINT	RW	RETAINING WALL
AD	AREA DRAIN	CSD	COUNTY STANDARD DETAIL	EX	EXISTING	INGR	INGRESS	REM	REMOVE
AE	ANCHOR EASEMENT	DE	DRAINAGE EMITTER	FC	FACE OF CURB	INVT	INVERT	R/W	RIGHT OF WAY
BB	BUBBLER BOX	DI	DRAINAGE INLET	FD	FOUND	LIP	LIP OF GUTTER	SD	STORM DRAIN
BLDG	BUILDING	DS	DOWNSPOUT	FF	FINISH ELEVATION OF SUBFLOOR	LS	LANDSCAPED AREA	SDE	STORM DRAIN EASEMENT
BSL	BUILDING SETBACK LINE	DWY	DRIVEWAY	FG	GROUND FINISH GRADE	MAX	MAXIMUM	SE	SLOPE EASEMENT
BW	BOTTOM OF WALL	EA	EASEMENT	FH	FIRE HYDRANT	MH	MANHOLE	SEP	SLOPE EASEMENT PRIVATE
	/BACK OF WALK	ELEV	ELEVATION	FL	FLOW LINE	MIN	MINIMUM	SS	SANITARY SEWER/LATERAL
CG	CURB & GUTTER	EGR	EGRESS	G	GARAGE SLAB ELEVATION	N&S	NAIL AND SHINER	SSE	SANITARY SEWER EASEMENT
CL	CENTERLINE	EM	ELECTRIC METER	GPE	/GAS LINE	NTS	NOT TO SCALE	STA	STATION
CLF	CHAIN LINK FENCE	E(OH)	ELECTRIC OVERHEAD	GSE	GENERAL PUBLIC EASEMENT	OH	OVERHEAD	STD	STANDARD COUNTY DETAIL
CO	SANITARY SEWER CLEANOUT			GSB	GRADING SETBACK	OG	ORIGINAL GROUND	SW	SIDEWALK
						P	PAVEMENT FINISH GRADE	TB	TOP OF BANK
						PA	PATIO	TC	TOP OF CURB
						PAD	PAD ELEVATION	TEMP	TEMPORARY
						P	PROPERTY LINE	TOC	TOP OF COVER
						PEE	PEDESTRIAN EASEMENT	TOE	TOE OF BANK
						PERF	PERFORATED	TG	TOP OF GRATE
						PO	PORCH	TPF	TREE PROTECTION FENCE
						PP	POWER POLE PROP PROPOSED	TW	TOP OF WALL
						PSDE	PRIVATE STORM DRAINAGE EASEMENT	TYP	TYPICAL
						PSE	PUBLIC SERVICE EASEMENT	VG	VALLEY GUTTER
						PUE	PUBLIC UTILITY EASEMENT	W	WATER
						PVT	PAVEMENT	WCE	WIRE CLEARANCE EASEMENT
						PVC	POLYVINYL CHLORIDE	WLK	WALKWAY
								WM	WATER METER
								WOE	WIRE OVERHANG EASEMENT
								WV	WATER VALVE

LEGEND	
	AREA DRAIN
	BENCHMARK
	BOUNDARY
	CATCH BASIN
	COBBLE ROCK ENERGY DISSIPATOR
	CONCRETE
	CONTOUR: EXISTING
	CONTOUR: PROPOSED OR NEW
	DESIGN GRADE
	DOWNSPOUT WITH SPLASHBLOCK
	DRAINAGE EMITTER
	DIVERSION VALVE
	BACKWATER VALVE
	DRAINAGE SWALE
	EASEMENT LINE
	EXISTING ELEVATION
	EXISTING FENCE
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	FOUND IRON PIPE AT PROPERTY CORNER
	FIBER ROLLS
	GAS METER
	GAS VALVE
	GRADE TO DRAIN
	GUY POLE
	GUY WIRE ANCHOR
	HIGH POINT
	HYDRANT: EXISTING
	HYDRANT: PROPOSED OR NEW
	JOINT POLE
	LIGHTING
	LIGHTING POLE
	LOW POINT
	OVERLAND FLOW DIRECTION
	PGE BOX
	PROJECT SITE
	RETAINING WALL
	EXISTING RIGHT OF WAY
	PROPOSED RIGHT OF WAY
	EXISTING CONCRETE
	ITEM OR AREA TO REMAIN
	PROPOSED CONCRETE
	BUILDING
	LANDING
	DECK
	SANITARY SEWER CLEAN OUT MANHOLE
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	SUMP PUMP
	TELEPHONE BOX
	TELEVISION BOX
	TEST PIT
	TOP OF FILL
	TOE OF FILL
	TOP OF CUT
	TOE OF CUT
	TREE NUMBER
	T-VAULT
	UTILITY: EXISTING
	UTILITY: PROPOSED OR NEW
	WATER METER
	WATER VALVE
	WELL
	SECTION NUMBER
	SHEET NUMBER

NO.	REVISIONS	DATE	APP'D	BY

ENGINEERING
 598 E Santa Clara St, #270
 San Jose, CA 95112
 Phone: (408) 806-7187
 Fax: (408) 583-4006

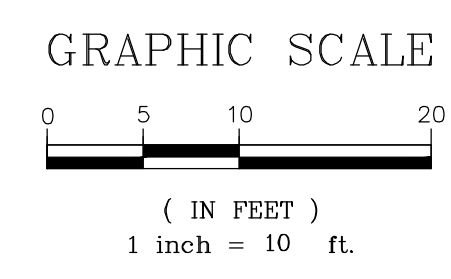
DEMOLITION PLAN
LANDS OF NGUYEN
BON VISTA CT
APN 612-50-014

PROJECT NO. _____
 CONTRACT NO. _____
 San Jose



BASIS OF BEARINGS
 THE BEARINGS SHOWN HEREON WERE TAKEN FROM THE MPA OF TRACT 3794, ROSE VIEW HEIGHTS. (185 M 26)

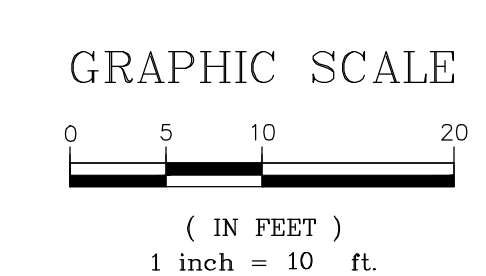
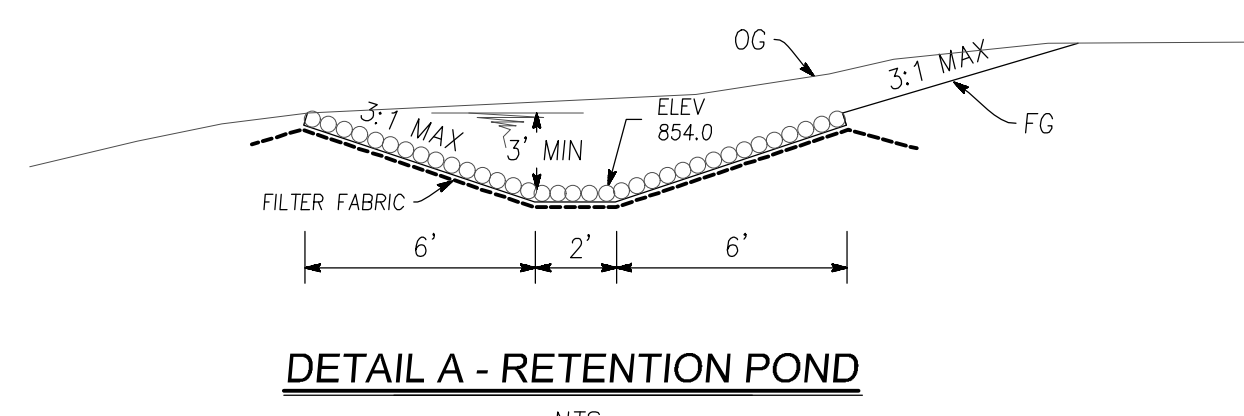
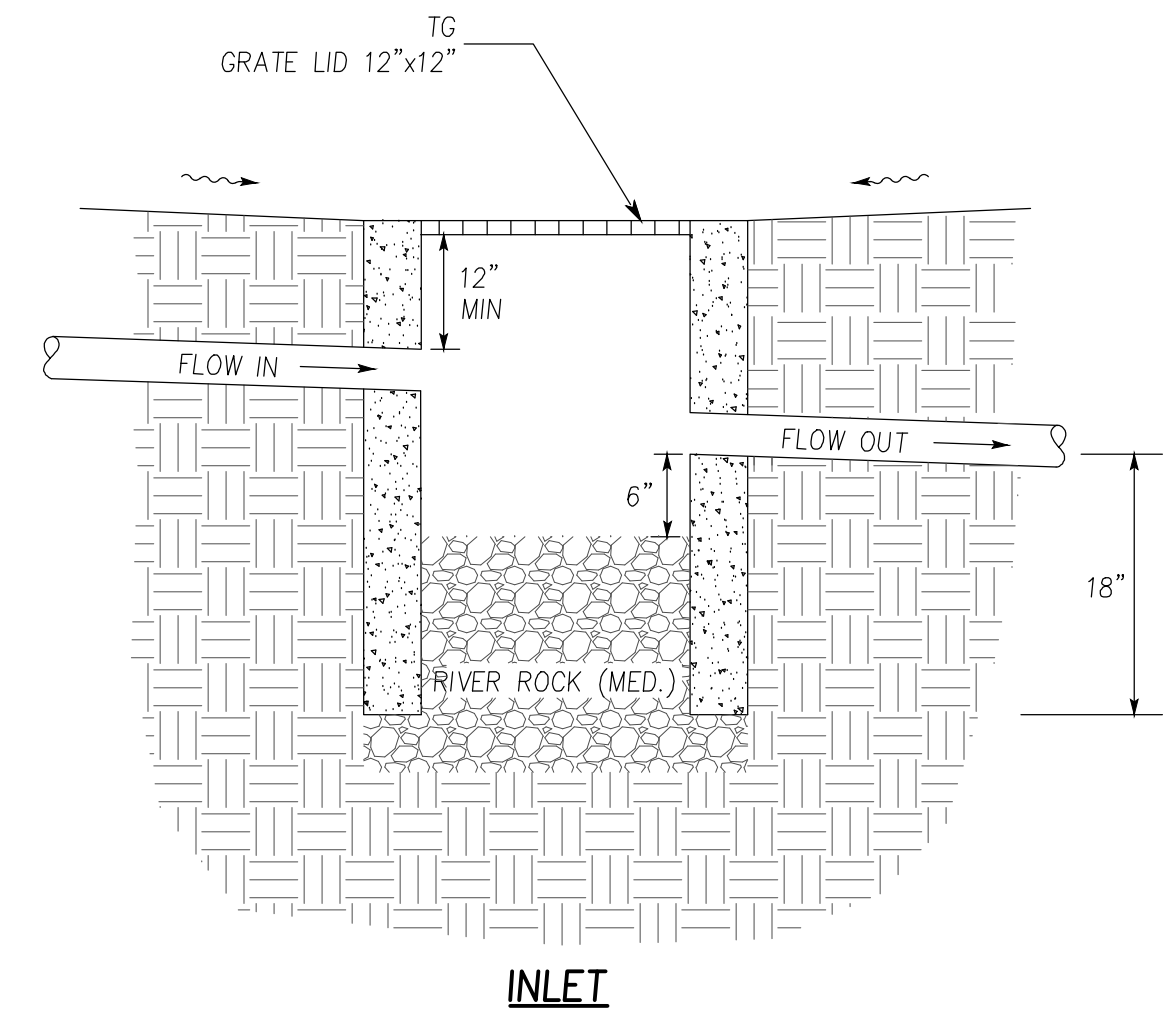
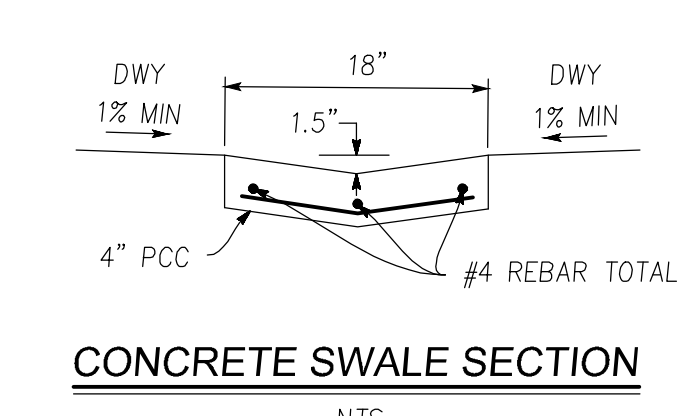
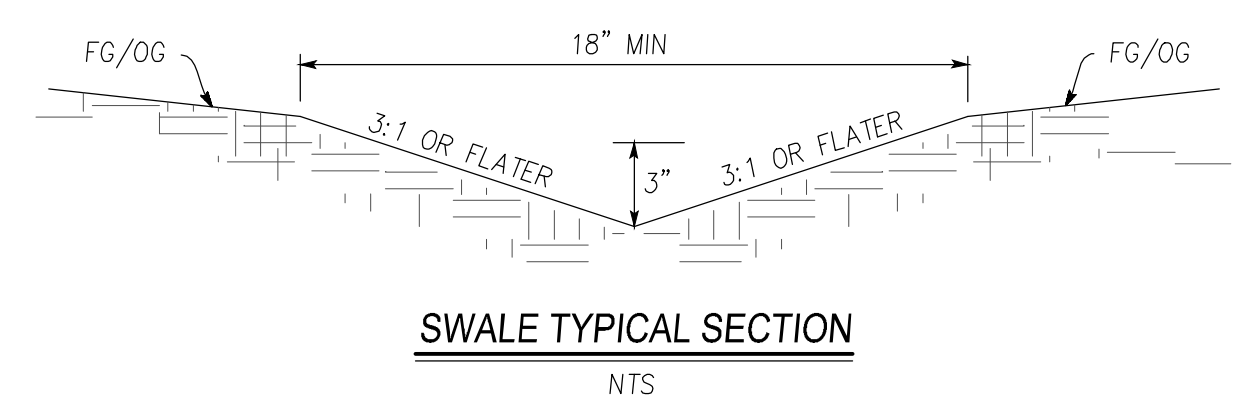
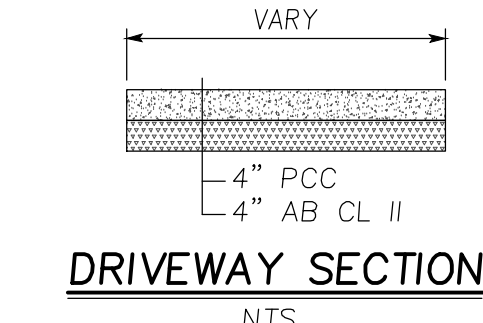
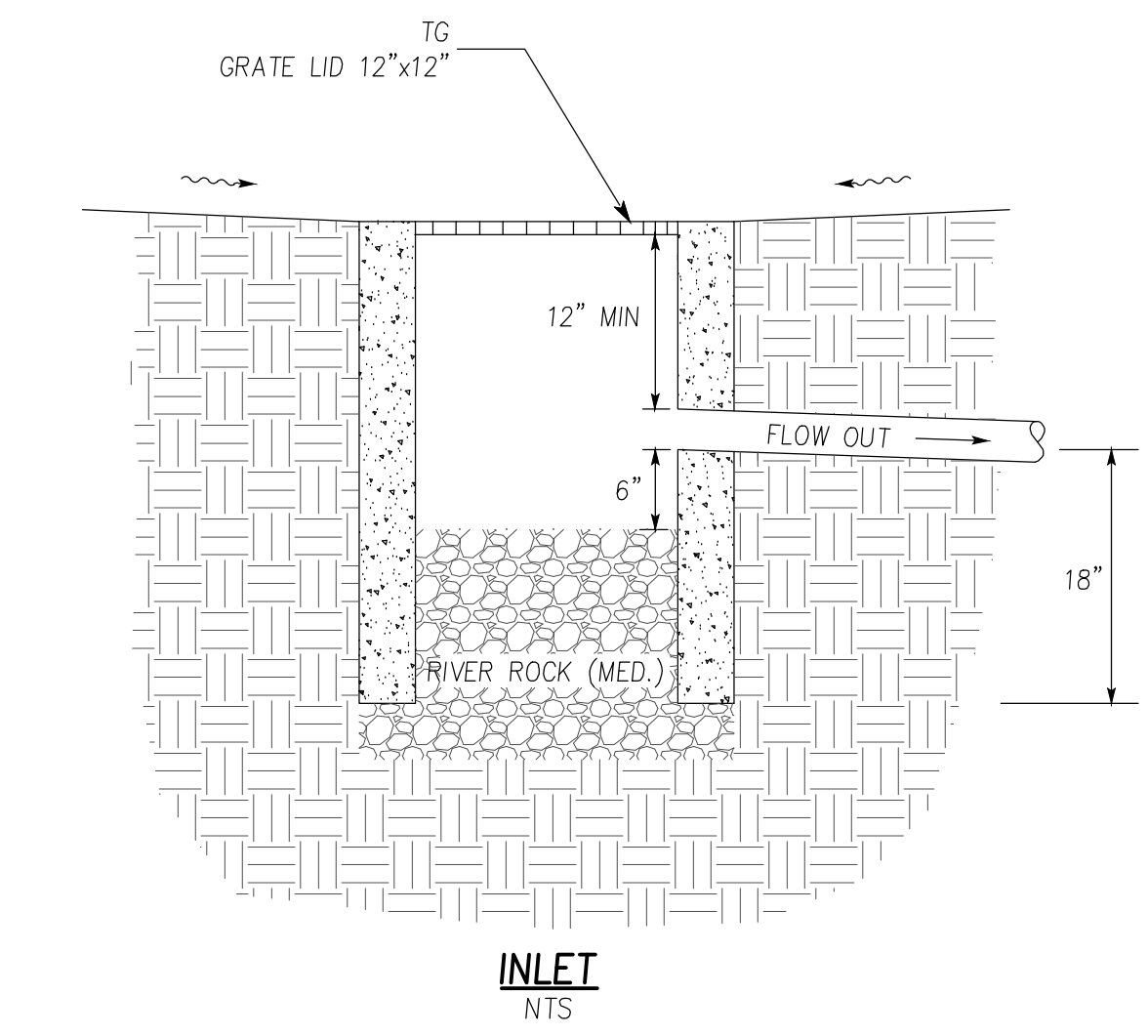
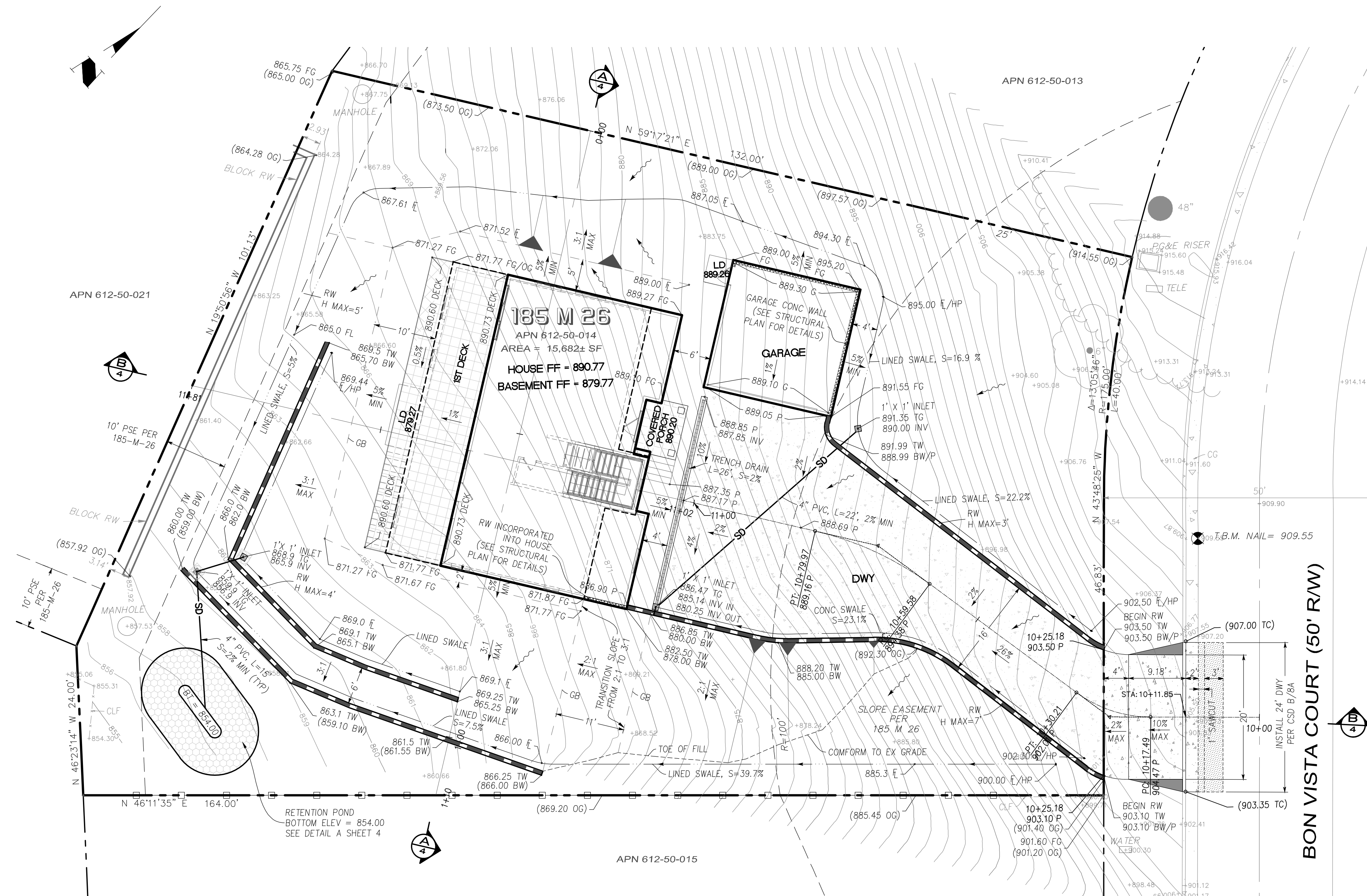
PROJECT BENCHMARK
 THE ELEVATION HEREON DERIVED FROM G.P.S. OBSERVATION AND BASED ON NAVD88 DATUM T.B.M.=909.55



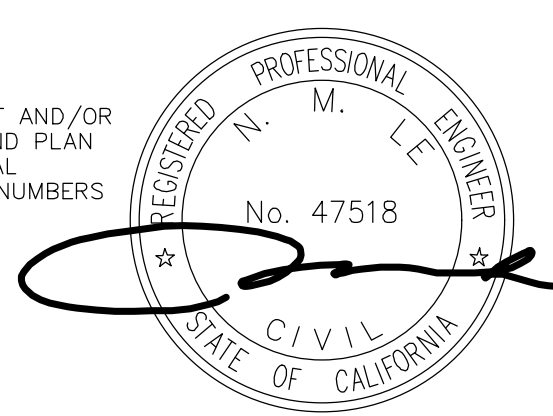
APPLICANT : RAYMOND NGUYEN

ROAD NAME : BON VISTA CT

COUNTY FILE NO :



APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS



NO.	DATE	BY	DATE	REVISIONS

ENGINEERING
 598 E Santa Clara St, #270
 San Jose, CA 95112
 Phone: (408) 806-7187
 Fax: (408) 583-4006

California

GRADING AND DRAINAGE PLAN
LANDS OF NGUYEN
BON VISTA CT
APN 612-50-014

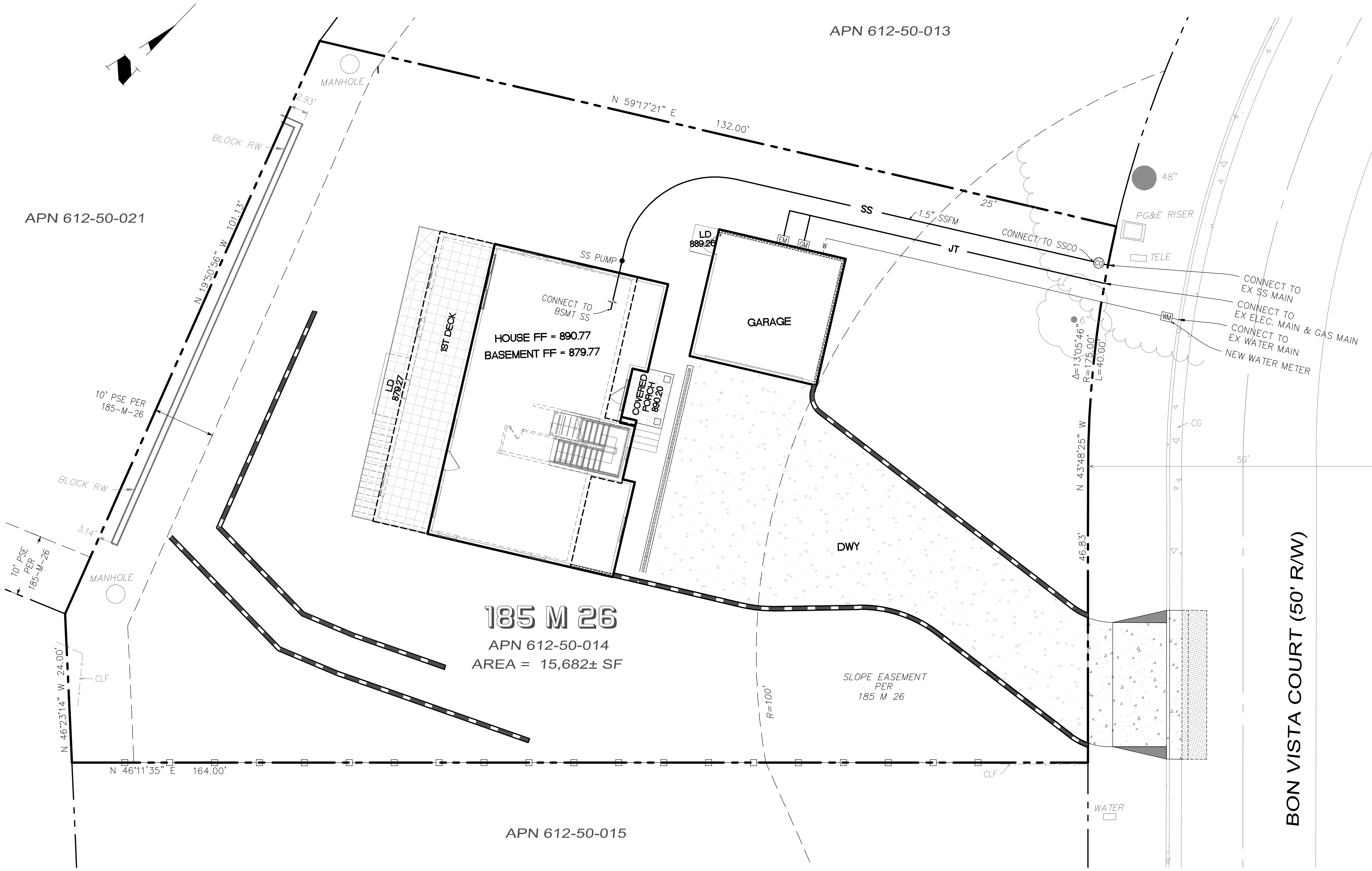
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FILE NO. _____

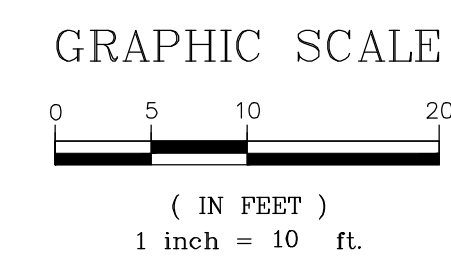
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SHEET NO. **4** OF **9**

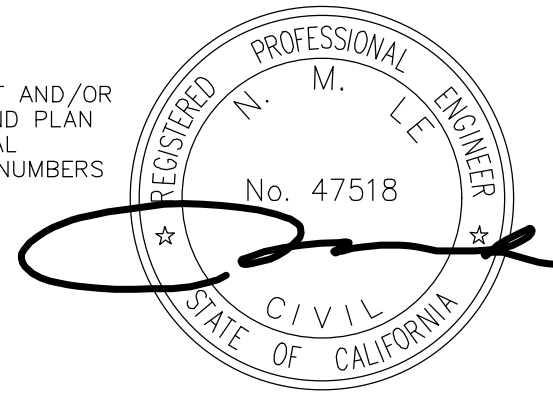
San Jose



NOTES:
 1. THE CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER FOR ANY UTILITIES CONFLICT NOT SHOW ON THIS PLAN.



APPROVED FOR ISSUANCE
 REFER TO ENCROACHMENT AND/OR
 CONSTRUCTION PERMIT AND PLAN
 COVER SHEET FOR SPECIAL
 CONDITIONS AND PERMIT NUMBERS



NO.	DATE	BY	DATE	APP'D	REVISIONS

DATE	DESIGNED	DATE	DRAWN	DATE	CHECKED
06/30/2023		06/30/2023			

LE ENGINEERING
 598 E Santa Clara St, #270
 San Jose, CA 95112
 Phone: (408) 806-7187
 Fax: (408) 583-4006

UTILITY PLAN
LANDS OF NGUYEN
BON VISTA CT
APN 612-50-014

San Jose California

DRAWING NO.	0
SHEET NO.	6 OF 9
FILE NO.	
CONTRACT NO.	
PROJECT NO.	

APPLICANT : RAYMOND NGUYEN

ROAD NAME : BON VISTA CT

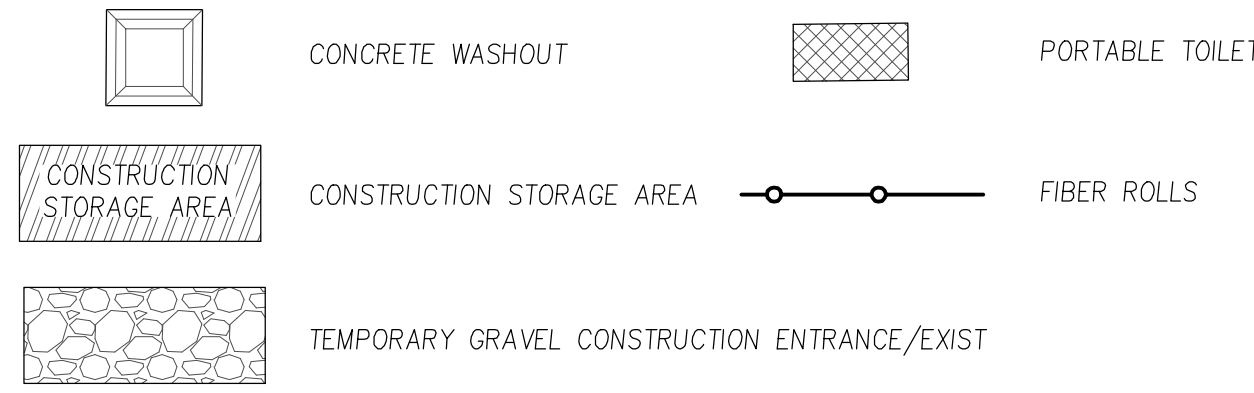
COUNTY FILE NO :

EROSION AND SEDIMENT CONTROL MEASURES

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN ARE NECESSARY WITH THE APPROVAL OF THE COUNTY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR COUNTY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE COUNTY.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ON TO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.
- IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS OR THREE-STEP APPLICATIONS OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3)

- TRICKIFIER AND MULCH.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.

LEGEND



GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- OWNER: RAYMOND NGUYEN
ADDRESS: BON VISTA CT, SAN JOSE, CA 95127
PHONE NUMBER: (408) 828-3930
IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
- CIVIL ENGINEER: LC ENGINEERING
598 E SANTA CLARA STREET, SAN JOSE
(408) 806-7187
- CONTRACTOR:
ADDRESS:
24-HOUR PHONE NUMBER:
CONSTRUCTION SUPERINTENDENT:
ADDRESS:
24-HOUR PHONE NUMBER:
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- DEVELOPER WILL SUBMIT TO THE COUNTY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 15TH AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE TOWN WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.

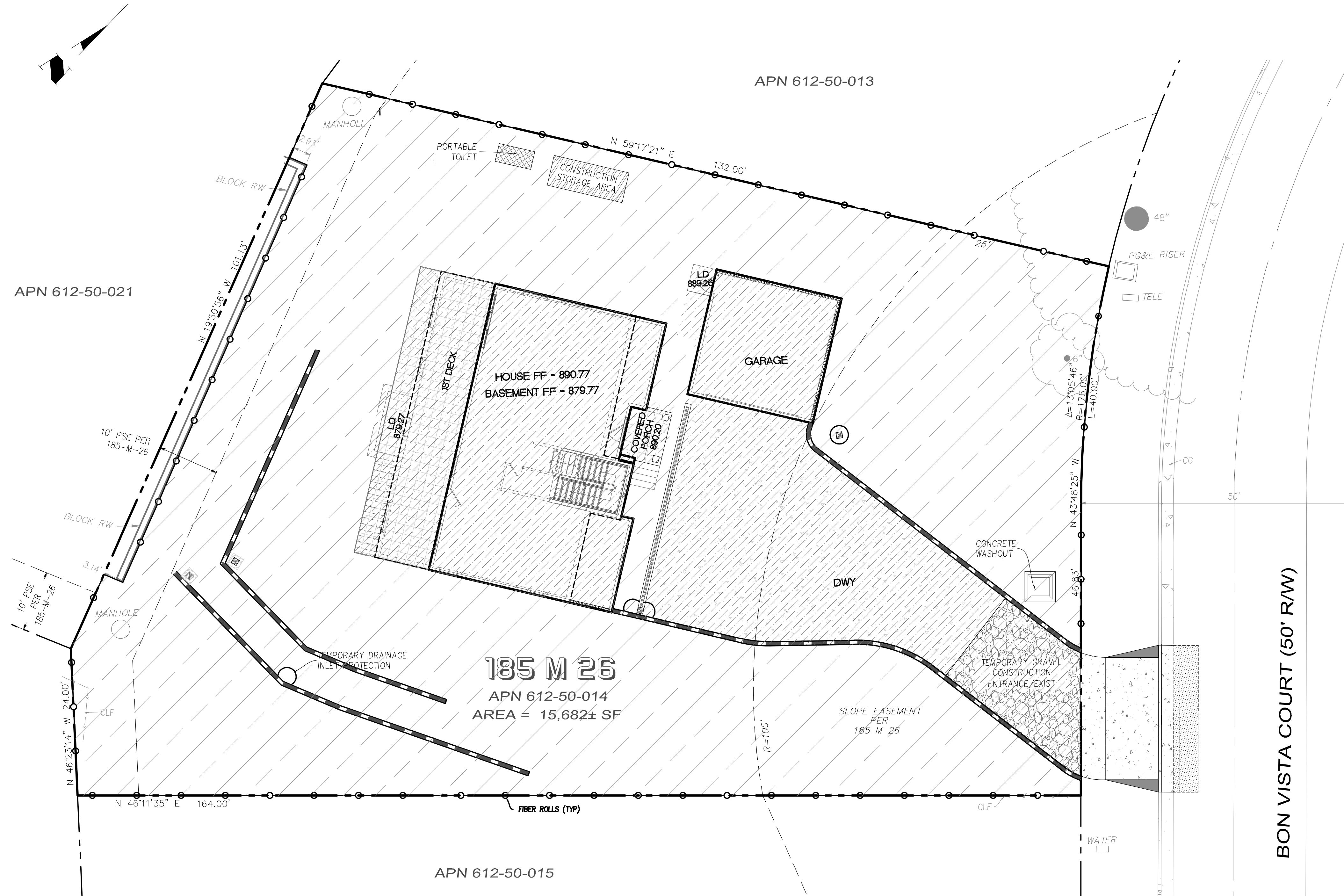
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH. 11. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.

MAINTENANCE NOTES

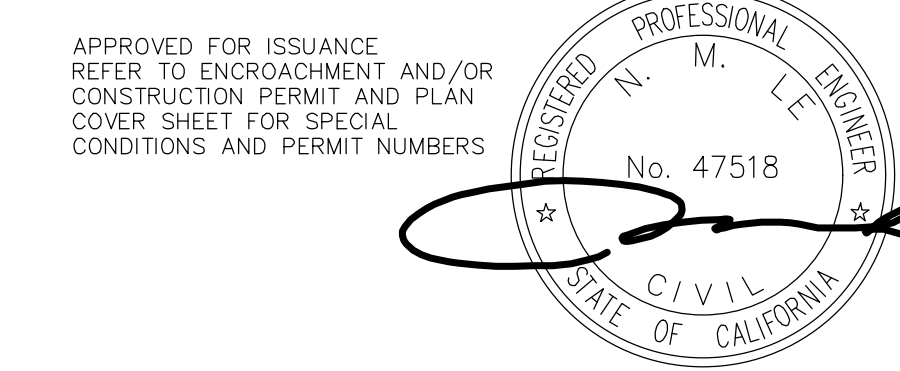
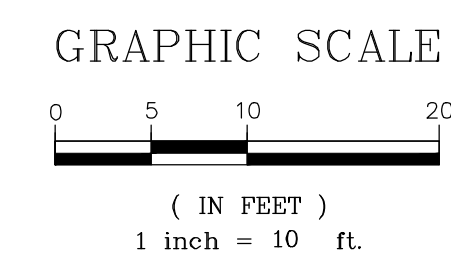
- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- SAND BAD INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.

DISTURBED AREAS

NO.	DESCRIPTION	AREA (SQ. FEET)
1.	TEMPORARY	11,132
2.	PERMANENT	4,550
TOTAL AREA		15,682



- NOTES:**
- EROSION AND SEDIMENTS CONTROL SHALL REMAIN IN PLACE AND MAINTAINED UNTIL THE PERMANENT LANDSCAPING IS INSTALLED.
 - CONTRACTOR TO PROVIDE STORMDRAIN INLET PROTECTION AT NEAREST INLET DOWNSTREAM OF PROJECT SITE



DESIGNED	DATE	06/30/2023
DRAWN	DATE	06/30/2023
SCALE	DATE	06/30/2023
CHECKED	DATE	06/30/2023

LC ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

California

San Jose

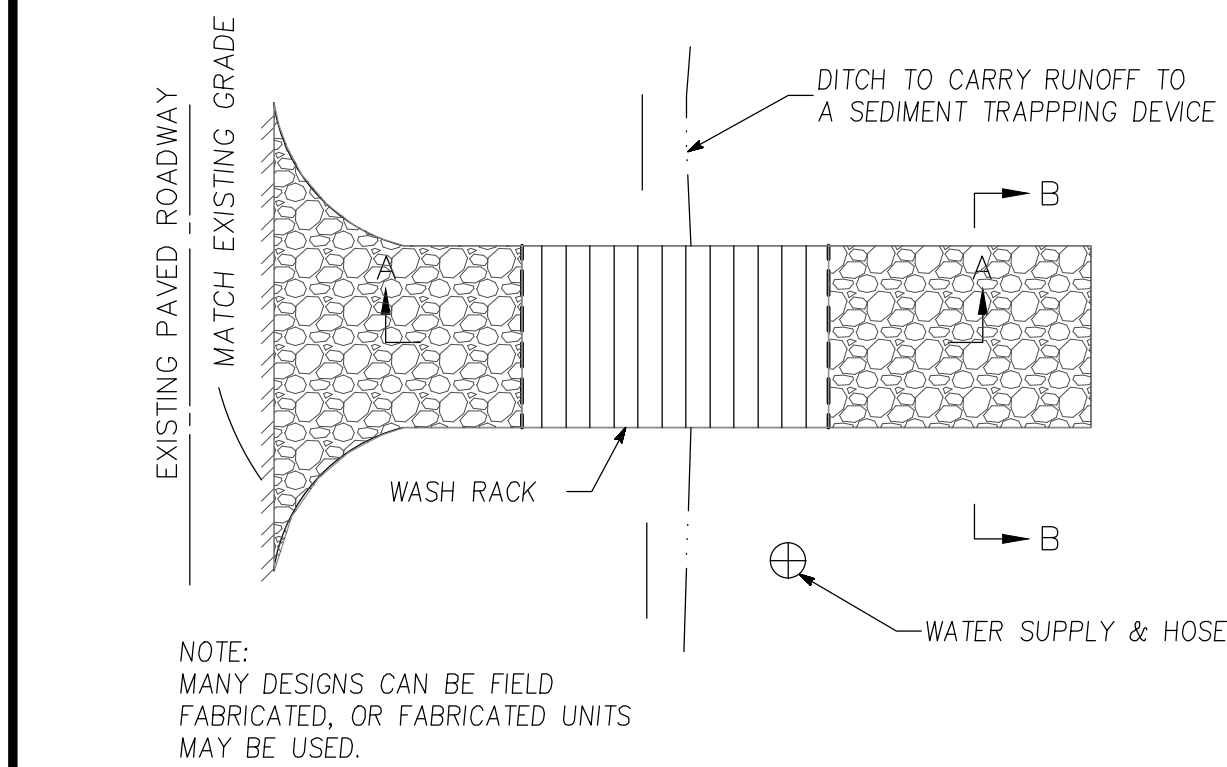
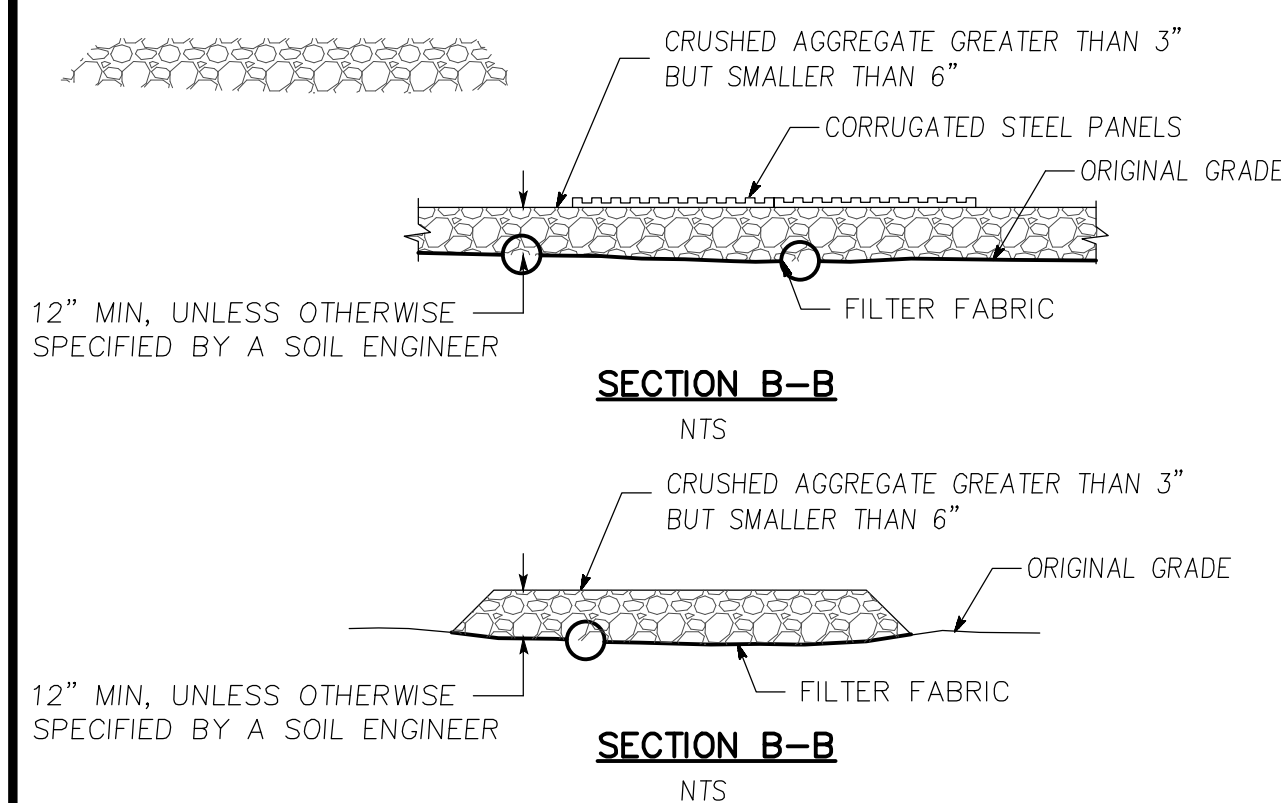
EROSION CONTROL PLAN
LANDS OF NGUYEN
BON VISTA CT
APN 612-50-014

PROJECT NO. _____
CONTRACT NO. _____

7 OF 9
FILE NO. _____

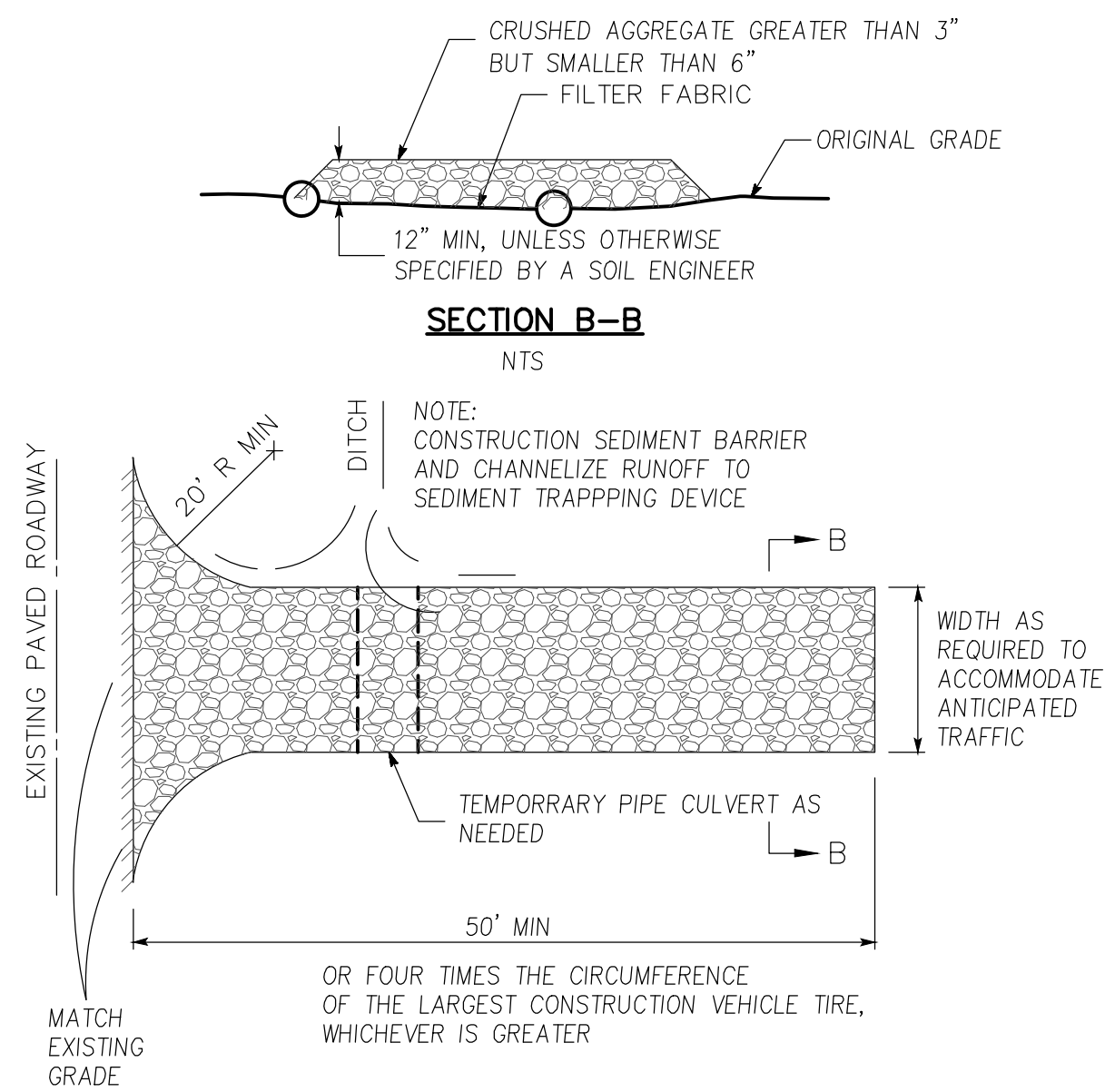
5 ENTRANCE/OUTLET TIRE WASH

CASQA DETAIL TC-3



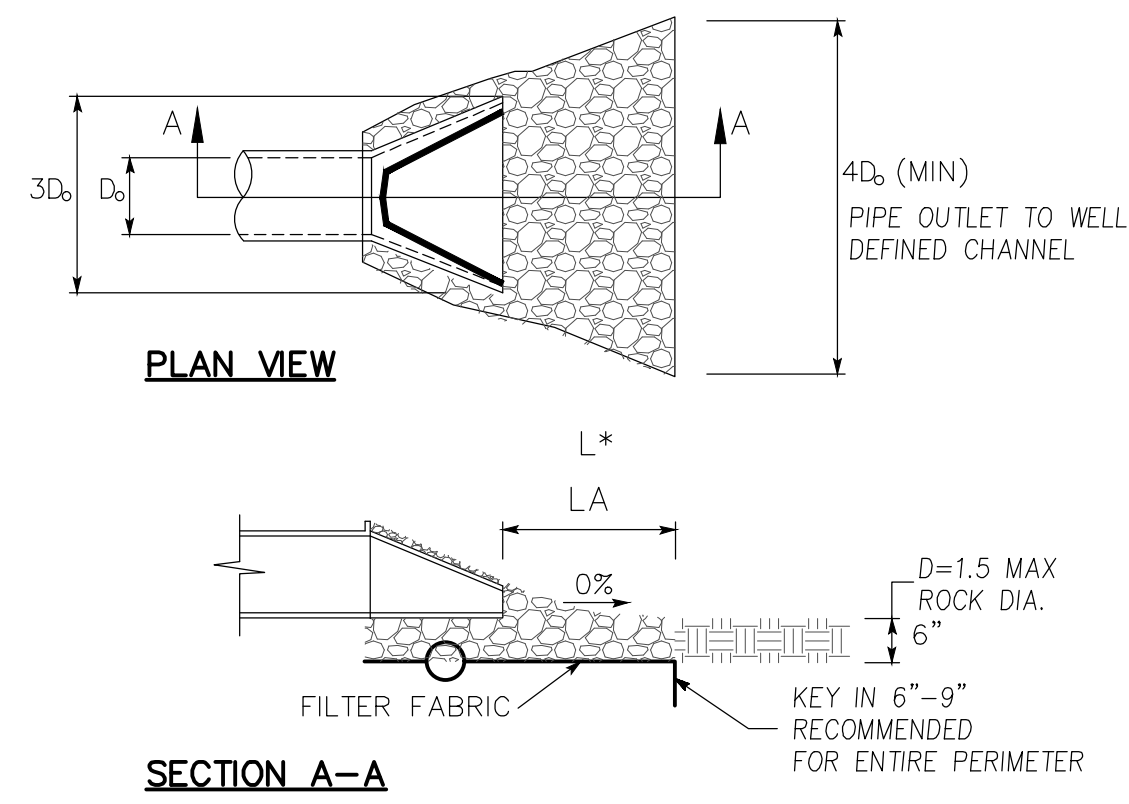
3 STABILIZED CONSTRUCTION ENTRANCE/EXIT

CASQA DETAIL TC-1



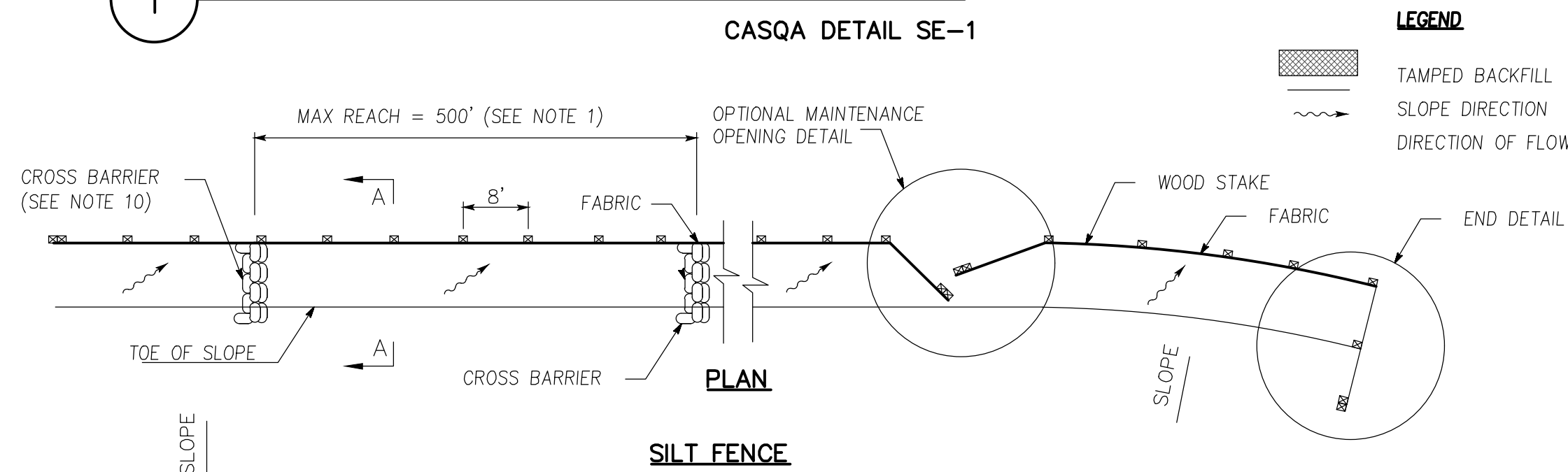
4 VELOCITY DISSIPATION DEVICES

CASQA DETAIL EC-10



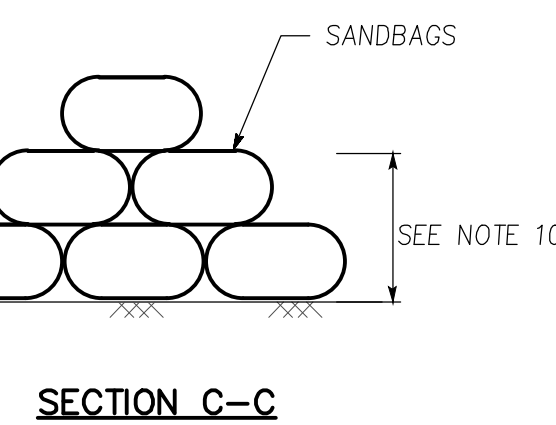
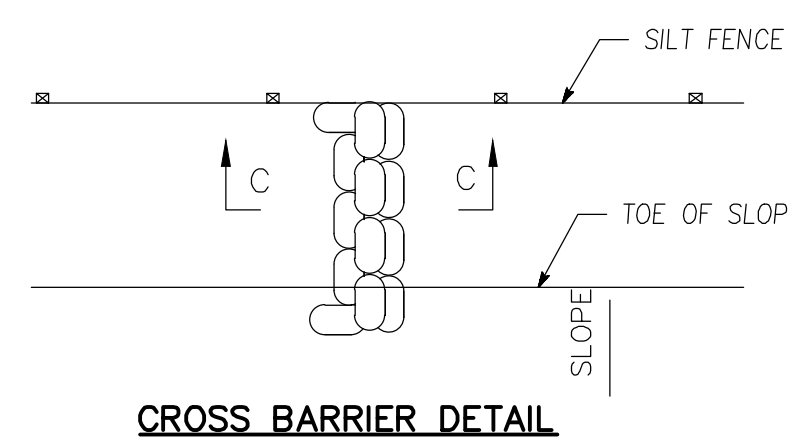
1 SILT FENCE

CASQA DETAIL SE-1



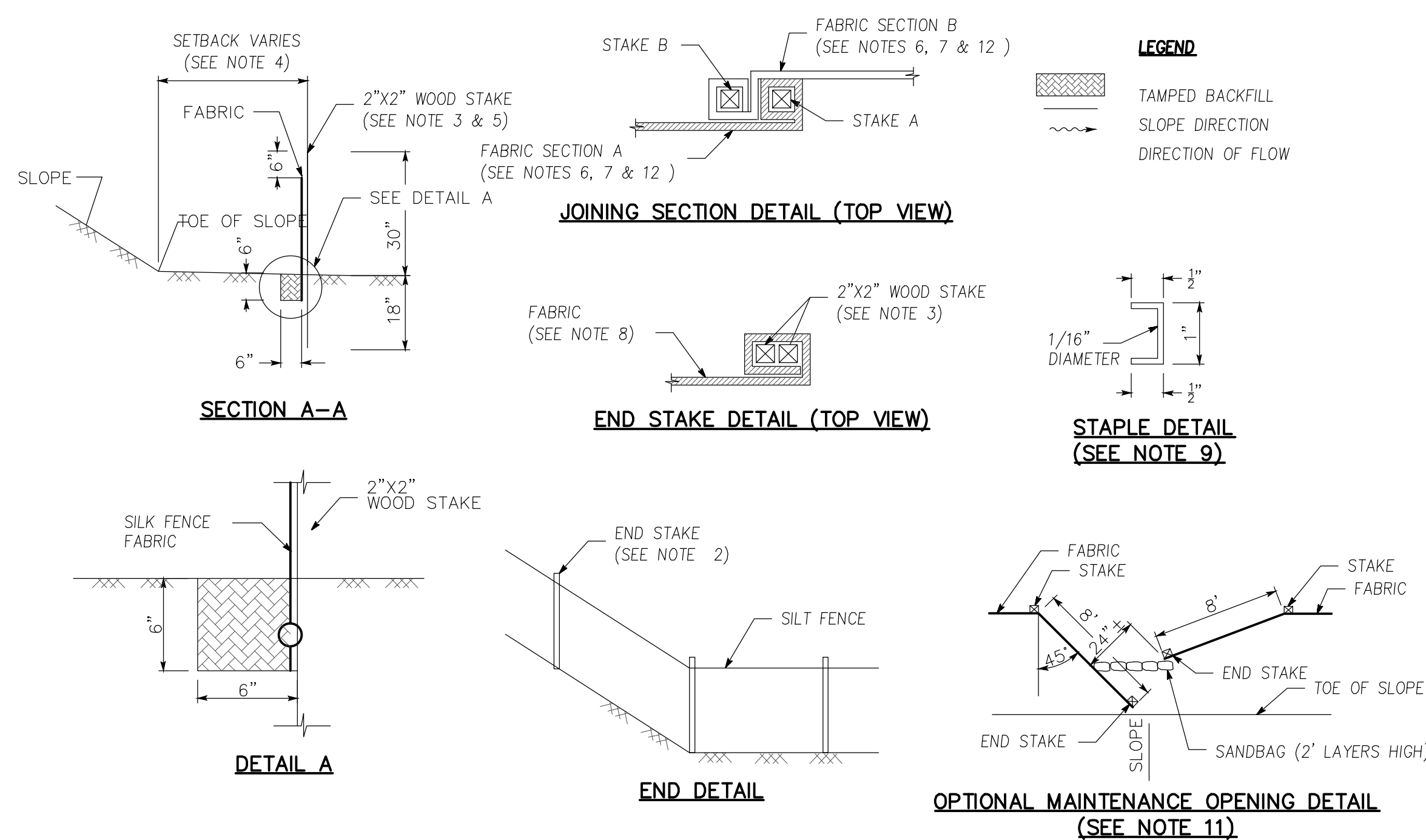
NOTES:

- CONSTRUCTION THE LENGTH OF EACH REACH SO THAT THE CHANGE IS BASE ELEVATION ALONG THE REACH DOES NOT EXCEED 1/3 THE HEIGHT OF THE LINEAR BARRIER, IN NO CASE SHALL THE REACH LENGTH EXCEED 500'
- THE LAST 8'-0" AT FENCE SHALL BE TURNED UP SLOPE.
- STAKE DIMENSIONS ARE NOMINAL.
- DIMENSION MAY VARY TO FIT FIELD CONDITION.
- STAKES SHALL BE SPACED AT 8'-0" MAXIMUM AND SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
- STAKE SHALL BE OVERLAP DRIVEN TIGHTLY TOGETHER TO PREVENT POTENTIAL FLOW-THROUGH OF SEDIMENT AT JOINT. THE TOP OF STAKE SHALL BE SECURE WITH WIRE.
- FOR END STAKE, FENCE FABRIC SHALL BE FOLDED AROUND TWO STAKES ONE FULL TURN AND SECURED WITH 4 STAPLES.
- MINIMUM 4 STAPLES PER STAKE. DIMENSIONS SHOWN ARE TYPICAL.
- CROSS BARRIERS SHALL BE A MINIMUM OF 1/3 A MAXIMUM AT 1/2 THE HEIGHT OF THE LINEAR BARRIER.
- MAINTENANCE OPENINGS SHALL BE CONSTRUCTED IN A MANNER TO ENSURE SEDIMENT REMAINS BEHIND SILT FENCE.
- JOINING SECTIONS SHALL NOT BE PLACED AT SUMP LOCATIONS.
- SANDBAG ROWS AND LAYERS SHALL BE OFFSET TO ELIMINATE GAPS.



2 SILT FENCE

CASQA DETAIL SE-1



STANDARD BEST MANAGEMENT PRACTICE NOTES

- SOLID AND DEMOLITION WASTE MANAGEMENT: PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS ON SITE AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS, AND ARRANGE FOR REGULAR DISPOSAL. WASTE CONTAINERS MUST BE WATERTIGHT AND COVERED AT ALL TIMES EXCEPT WHEN WASTE IS DEPOSITED. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C3) OR LATEST. HAZARDOUS WASTE MANAGEMENT: PROVIDE PROPER HANDLING AND STORAGE.
- DISPOSAL OF HAZARDOUS WASTES BY A LICENSED HAZARDOUS WASTE MATERIAL HAULER. HAZARDOUS WASTES SHALL BE STORED AND PROPERLY LABELED IN SEALED CONTAINERS CONSTRUCTED OF SUITABLE MATERIALS. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-5 TO C-6) OR LATEST.
- SPILL PREVENTION AND CONTROL: PROVIDE PROPER STORAGE AREAS FOR LIQUID AND SOLID MATERIALS, INCLUDING CHEMICALS AND HAZARDOUS SUBSTANCES, AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS. SPILL CONTROL MATERIALS MUST BE KEPT ON SITE WHERE READILY ACCESSIBLE. SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINATED SOIL DISPOSED PROPERLY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-7 TO C-8, C-13 TO C-14) OR LATEST. VEHICLE AND CONSTRUCTION EQUIPMENT SERVICE AND STORAGE.
- AN AREA SHALL BE DESIGNATED FOR THE MAINTENANCE, WHERE ON-SITE MAINTENANCE IS REQUIRED, AND STORAGE OF EQUIPMENT THAT IS PROTECTED FROM STORMWATER RUN-ON AND RUNOFF. MEASURES SHALL BE PROVIDED TO CAPTURE ANY WASTE OILS, LUBRICANTS, OR OTHER POTENTIAL POLLUTANTS AND THESE WASTES SHALL BE PROPERLY DISPOSED OF OFF SITE. FUELING AND MAJOR MAINTENANCE/REPAIR, AND WASHING SHALL BE CONDUCTED OFF-SITE WHENEVER FEASIBLE. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C9) OR LATEST.
- MATERIAL DELIVERY, HANDLING AND STORAGE: IN GENERAL, MATERIALS SHOULD NOT BE STOCKPILED ON SITE. WHERE TEMPORARY STOCKPILES ARE NECESSARY AND APPROVED BY THE COUNTY, THEY SHALL BE COVERED WITH SECURED PLASTIC SHEETING OR TARP AND LOCATED IN DESIGNATED AREAS NEAR CONSTRUCTION ENTRANCES AND AWAY FROM DRAINAGE PATHS AND WATERWAYS. BARRIERS SHALL BE PROVIDED AROUND STORAGE AREAS WHERE MATERIALS ARE POTENTIALLY IN CONTACT WITH RUNOFF. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-11 TO C-12) OR LATEST.
- HANDLING AND DISPOSAL OF CONCRETE AND CEMENT: WHEN CONCRETE TRUCKS AND EQUIPMENT ARE WASHED ON-SITE, CONCRETE WASTEWATER SHALL BE CONTAINED IN DESIGNATED CONTAINERS OR IN A TEMPORARY LINED AND WATERTIGHT PIT WHERE WASTED CONCRETE CAN HARDEN FOR LATER REMOVAL. IF POSSIBLE HAVE CONCRETE CONTRACTOR REMOVE CONCRETE WASH WATER FROM SITE. IN NO CASE SHALL FRESH CONCRETE BE WASHED INTO THE ROAD RIGHT-OF-WAY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-15 TO C-16) OR LATEST.
- PAVEMENT CONSTRUCTION MANAGEMENT: PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS, USING MEASURES TO PREVENT RUN-ON AND RUNOFF POLLUTION AND PROPERLY DISPOSING OF WASTES. AVOID PAVING IN THE WET SEASON AND RESCHEDULE PAVING WHEN RAIN IS IN THE FORECAST. RESIDUE FROM SAW-CUTTING SHALL BE VACUUMED FOR PROPER DISPOSAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-17 TO C-18) OR LATEST.
- CONTAMINATED SOIL AND WATER MANAGEMENT: INSPECTIONS TO IDENTIFY CONTAMINATED SOILS SHOULD OCCUR PRIOR TO CONSTRUCTION AND AT REGULAR INTERVALS DURING CONSTRUCTION. REMEDIATING CONTAMINATED SOIL SHOULD OCCUR PROMPTLY AFTER IDENTIFICATION AND BE SPECIFIC TO THE CONTAMINANT IDENTIFIED, WHICH MAY INCLUDE HAZARDOUS WASTE REMOVAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-19 TO C-20) OR LATEST.
- SANITARY/SEPTIC WATER MANAGEMENT: TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE PATHS, WATERWAYS, AND TRAFFIC AREAS. ONLY LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED. SECONDARY CONTAINMENT SHOULD BE PROVIDED FOR ALL SANITARY FACILITIES. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C-21) OR LATEST.
- INSPECTION & MAINTENANCE: AREAS OF MATERIAL AND EQUIPMENT STORAGE SITES AND TEMPORARY SANITARY FACILITIES MUST BE INSPECTED WEEKLY. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.

STANDARD EROSION CONTROL NOTES

- SEDIMENT CONTROL MANAGEMENT: TRACKING PREVENTION & CLEAN UP: ACTIVITIES SHALL BE ORGANIZED AND MEASURES TAKEN AS NEEDED TO PREVENT OR MINIMIZE TRACKING OF SOIL ONTO THE PUBLIC STREET SYSTEM. A GRAVEL OR PROPRIETARY DEVICE CONSTRUCTION ENTRANCE/EXIT IS REQUIRED FOR ALL SITES. CLEAN UP OF TRACKED MATERIAL SHALL BE PROVIDED BY MEANS OF A STREET SWEEPER PRIOR TO AN APPROACHING RAIN EVENT, OR AT LEAST ONCE AT THE END OF EACH WORKDAY THAT MATERIAL IS TRACKED, OR MORE FREQUENTLY AS DETERMINED BY THE COUNTY INSPECTOR. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-31 TO B-33) OR LATEST.
- STORM DRAIN INLET AND CATCH BASIN INLET PROTECTION: ALL INLETS WITHIN THE VICINITY OF THE PROJECT AND WITHIN THE PROJECT LIMITS SHALL BE PROTECTED WITH GRAVEL BAGS PLACED AROUND INLETS OR OTHER INLET PROTECTION. AT LOCATIONS WHERE EXPOSED SOILS ARE PRESENT, STAKED FIBER ROLLS OR STAKED SILT FENCES CAN BE USED. INLET FILTERS ARE NOT ALLOWED DUE TO CLOGGING AND SUBSEQUENT FLOODING. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-49 TO B-51) OR LATEST. STORM WATER RUNOFF: NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN IN TO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM DRAIN SYSTEM OR OTHER ABOVE GROUND WATERCOURSES UNTIL APPROPRIATE EROSION CONTROL MEASURES ARE FULLY INSTALLED. DUST CONTROL: THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN GRADED AREAS AS REQUIRED BY PROVIDING WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS, PROVIDING FOR RAPID CLEAN UP OF SEDIMENTS DEPOSITED ON PAVED ROADS, FURNISHING CONSTRUCTION ROAD ENTRANCES AND VEHICLE WASH DOWN AREAS, AND LIMITING THE AMOUNT OF AREAS DISTURBED BY CLEARING AND EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES. STOCKPILING: EXCAVATED SOILS SHALL NOT BE PLACED IN STREETS OR ON PAVED AREAS. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (TARPS, STRAW BALES, SILT FENCES, ECT.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM OR NEIGHBORING WATERCOURSE.
- EROSION CONTROL: DURING THE RAINY SEASON, ALL DISTURBED AREAS MUST INCLUDE AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL. IT IS REQUIRED THAT TEMPORARY EROSION CONTROL MEASURES ARE APPLIED TO ALL DISTURBED SOIL AREAS PRIOR TO A RAIN EVENT. DURING THE NON-RAIN SEASON, EROSION CONTROL MEASURES MUST BE APPLIED SUFFICIENT TO CONTROL WIND EROSION AT THE SITE.
- INSPECTION & MAINTENANCE: DISTURBED AREAS OF THE PROJECT'S SITE, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THE EROSION CONTROL PLANS MUST BE INSPECTED BY THE CONTRACTOR BEFORE, DURING, AND AFTER STORM EVENTS, AND AT LEAST WEEKLY DURING SEASONAL WET PERIODS. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.
- PROJECT COMPLETION: PRIOR TO PROJECT COMPLETION AND SIGNOFF BY THE COUNTY INSPECTOR, ALL DISTURBED AREAS SHALL BE RESEDED, PLANTED, OR LANDSCAPED TO MINIMIZE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR ROUND OR UNTIL VEGETATION IS FULLY ESTABLISHED ON LANDSCAPED SURFACES.
- GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF SANTA CLARA COUNTY BUILDING OFFICIAL.
- EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LBS ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOILS FOR EACH 100 GALLONS OF WATER.

Best Management Practices and Erosion Control Details Sheet 1
County of Santa Clara

SOURCE FOR GRAPHICS: CALIFORNIA STORMWATER BMP HANDBOOK, CALIFORNIA STORMWATER QUALITY ASSOCIATION, JANUARY 2003. AVAILABLE FROM WWW.CABMPHANDBOOKS.COM.

APPROVED FOR ISSUANCE REFER TO ENCROACHMENT AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL CONDITIONS AND PERMIT NUMBERS



FILE NO.	8 OF 9	PROJECT NO.	CONTRACT NO.
DRAWING NO.	00	PROJECT NO.	CONTRACT NO.
DATE	06/20/2023	DATE	06/20/2023
DESIGNED	HY	DRAWN	HY
CHECKED	NC	SCALE	AS SHOWN
BY	DATE	BY	DATE
REVISIONS		DATE	

ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

EROSION CONTROL DETAILS
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BON VISTA CT
APN 612-50-014

