

LU NEW RESIDENCE & ADU CONVERSION

19513 Mockingbird Hill Ln, San Jose, CA 95120

GENERAL NOTES

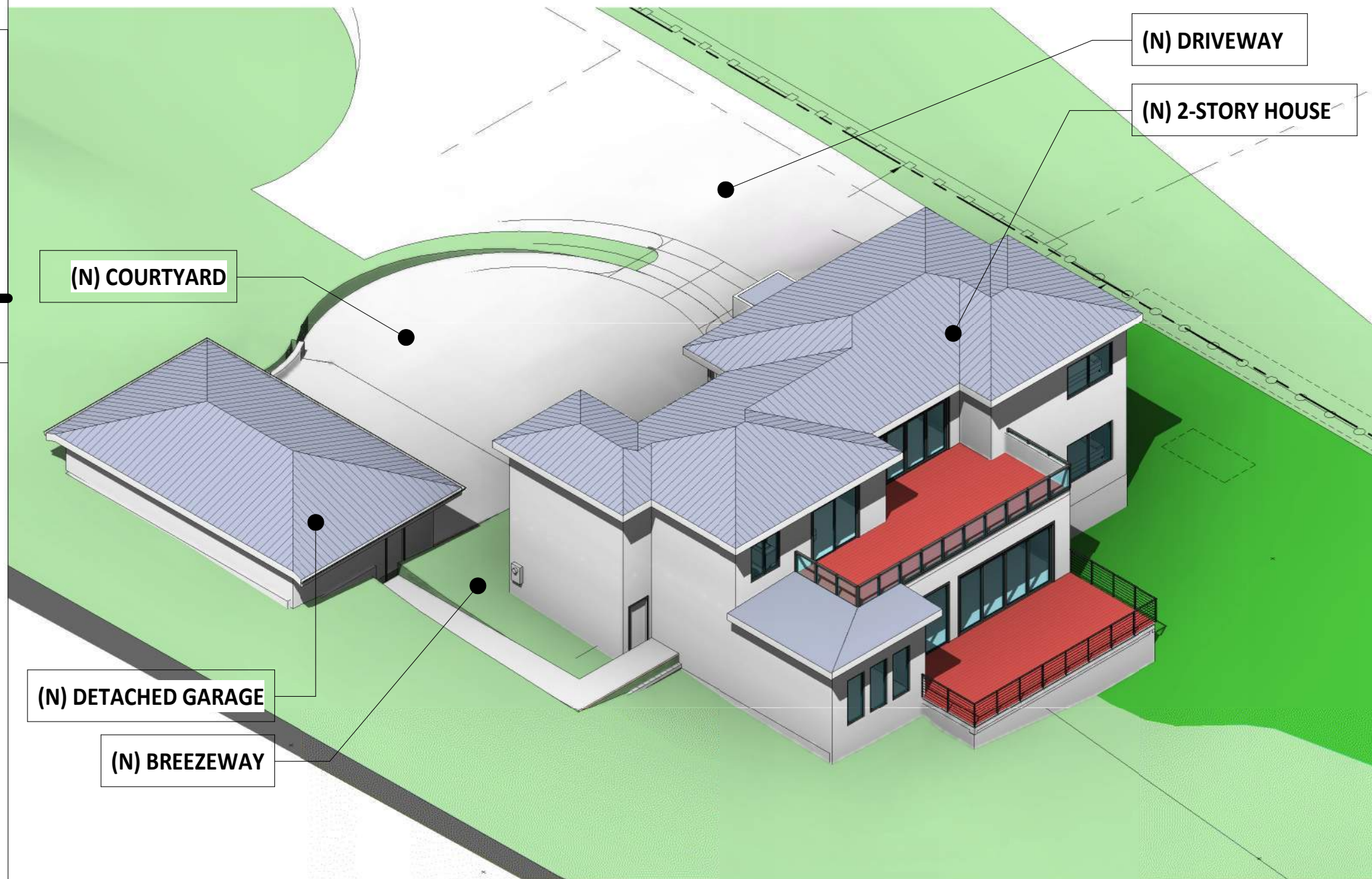
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WILL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE DESIGN DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OF SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: 2019 CBC, CFC, CMC, ETC. AND CPC.
- THE GENERAL CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- GENERAL CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
- ALL NEW INTERIOR PAINT SHALL USE LOW/NO-VOC PAINT. USE LOW/NO VOC ADHESIVES AND USE FSC CERTIFIED MATERIALS FOR INTER. COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- ALL RESIDENTIAL BUILDINGS, NEW & ADDITION, SHALL COMPLETE WITH THE MANDATORY REQUIREMENTS OF 2019 CALIFORNIA GREEN BUILDING CODE.
- THE BUILDING ADDRESS SHALL BE PLAINLY LEGIBLE AND VISIBLE FROM THE PUBLIC STREET. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.
- TOPSOIL SHALL BE PROTECTED OR SAVED FOR REUSE AS SPECIFIED. TIER 1. DISPLACED TOPSOIL SHALL BE STOCKPILES FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION. TIER 2. THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA.
- GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING, OR GRADING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN REROUTING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. G.C. SHALL MAINTAIN ALL ELECTRICAL AND COMMUNICATION SYSTEMS IN HOUSE AT ALL TIMES.
- IN CASE OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS, CONSULT THE DESIGNER PROFESSIONALS BEFORE PROCEEDING.
- GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- WEATHER STRIP ALL EXTERIOR DOORS AND WINDOWS.
- CAULK OR OTHERWISE SEAL AROUND ALL OPENINGS TO LIMIT INFILTRATION, INCLUDING BUT NOT LIMITED TO: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
- GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WATERTIGHT. ALL JOINTS EXPOSED TO THE ELEMENTS SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO SUBSTANTIAL COMPLETION.
- ADDRESS IDENTIFICATION CPC 505.1.4.
- APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- A COPY OF PREMISES IDENTIFICATION REQUIREMENTS ARE AVAILABLE ON THE CITY OF SAN JOSE WEBSITE: [HTTP://WWW.SANJOSECA.GOV/DOCUMENTCENTER/VIEW/11672](http://www.sanjoseca.gov/documentcenter/view/11672) PREMISES IDENTIFICATION WILL BE VERIFIED IN FIELD UPON FINAL LIFE-SAFETY INSPECTION.



FRONT ELEVATION (COLORED)



3D BIRDVIEW (FRONT-LEFT)



3D BIRDVIEW (REAR-RIGHT)

NOTE TO CONTRACTOR:
 THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE PROJECT DESIGNER (KERELATION) AND REQUIRES ASSISTANCE AS SOON AS POSSIBLE. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE PROJECT DESIGNER (KERELATION) PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF PROJECT DESIGNER (KERELATION). APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE PROJECT DESIGNER (KERELATION).

SYMBOL	ABBREVIATION
EXTERIOR SECTION: 1 - SIM SECTION NUMBER A101 - SHEET NUMBER	ROOM IDENTIFICATION: BATHROOM - ROOM NAME TILE - FINISH MATERIAL
INTERIOR ELEVATION: ELEVATION NUMBER A-601 - SHEET NUMBER	CONSTRUCTION DETAIL: 1 - DETAIL NUMBER A6.2 - SHEET NUMBER
ENLARGED PLAN DETAIL: 1 - DETAIL NUMBER A6.2 - SHEET NUMBER	DOOR IDENTIFICATION: SIZE TAG 1 - DETAIL NUMBER A6.2 - SHEET NUMBER
KEYED NOTE: 1	WINDOW IDENTIFICATION: SIZE TAG 4'-0"X3'-0" (A)
DRAWING REVISIONS: CLOUD INDICATES EXTENT OF REVISION ON SHEET REVISION NUMBER (SEE TITLEBLOCK FOR DATE & ISSUE INFORMATION)	ALIGN SURFACES:
CENTERLINE: C	BREAKLINE:
	ALT. Alternate (R) REMODEL BLKG Blocking /RELOCATED BM Beam CONT. Continuous CONC. Concrete DCKG Decking DIA. Diameter EA. Existing E.C. Etcetera EXT. Exterior FLR Floor FNDR Foundation FRMG Framing FTG Footing GA. Gauge GALV. Galvanized G.B. Gypsum Board MFR. Manufacturer (N) New O.C. On Center OPNG Opening PLYWD Plywood P.T. Pressure Treated RDWD Redwood REQD Required RET. Retaining SIM. Similar SSD See Structural Document TYP. Typical U.O.N. Unless Otherwise Noted V.I.F. Verify In Field (by GC)

SCOPE OF WORK	PROJECT DATA
CREATE A NEW 2-STORY SINGLE FAMILY RESIDENCE WITH BASEMENT. - TOTAL 4998 SF GROSS FLOOR AREA - TOTAL 6 BEDROOMS, 5 BATHROOMS, 1 POWDER ROOM, 1 OFFICE, 1 LIVING ROOM, 1 GREAT ROOM, 1 DINING ROOM, 1 KITCHEN, 1 GYM, 2 LAUNDRY & 1 FOYER. BUILD A NEW DETACHED 1-STORY 1000SF FOUR CAR GARAGE. THE NEW GARAGE IS SEMI-SUBMERGED. CONVERT EXISTING 1-STORY SINGLE FAMILY HOUSE INTO A DETACHED ADU (THIS IS A SEPARATE PERMIT W SEPARAT SET OF DRAWINGS).	19513 Mockingbird Hill Ln, San Jose, CA 95120 APN: 583-12-004 ZONING: RR-d1 LOT AREA: 50094 SF OWNER: WARREN LU 1293 Juli Lynn Dr, San Jose, CA 95120 TEL: 408-663-8975 huajuanlu@gmail.com # OF STORIES: 2 BLDG HEIGHT: 31'-0" USE: SFR OCCUPANCY GROUP: R3/U CONSTRUCTION TYPE: VB (YES FIRE SPRINKLER)

PROJECT TEAM	LOT AREA:	50094 SF
PROJECT DESIGNER: GUANGHE ZOU, PM KERELATION LLC 3190 VERDANT WAY SAN JOSE, CA 95117 TEL: 408-551-0705 kerelationllc@gmail.com	STRUCTURAL ENGINEER: TBD	CODE & ORDINANCE
LAND SURVEYOR: ZCIVIL ENGINEER: RICHARD S. SITAR 173 NEWCASTLE DRIVE, VALLEJO, CA 94591 510-648-4276 agmtim@yahoo.com	ENERGY CONSULTANT: TBD	(E) GROSS FLOOR AREA
		(E) 1-STORY SFD 1256.6 SF (E) GARAGE 344.7 SF (E) 1-STORY GARAGE /SHOP 1838.5 SF 9439.8 SF
		PROPOSED NEW RESIDENCE GROSS FLOOR AREA
		NEW RESIDENCE -1ST FLR 2920.6 SF NEW RESIDENCE -2ND FLR 2078.3 SF 4998.9 SF
		PROPOSED NEW BASEMENT GROSS FLOOR AREA
		BASEMENT 1232.6 SF
		PROPOSED NEW GARAGE GROSS FLOOR AREA
		NEW GARAGE 994.0 SF 994.0 SF

DRAWING INDEX	
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FIRE PROTECTION NOTES
1. THE BUILDINGS SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH NFPA 13D W/ SAN JOSE AMENDMENT. AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM (AFES) IS REQUIRED FOR THE ENTIRE BUILDING (EXISTING PLUS ADDITION) INCLUDING GARAGE AND ATTACHED ROOM. AUTOMATIC SPRINKLER SYSTEMS IN ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13D.
2. APPROVED ADDRESS NUMBERS ON BUILDING ELEVATIONS, SHOULD BE PLAINLY LEGIBLE AND VISIBLE FROM THE ADJACENT ACCESS STREET OR ROAD FRONTING THE PROPERTY. EACH NUMERIC CHARACTER SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2". WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. CBC 501.2
3. ROOF COVERINGS TO BE NO LESS THAN CLASS "A" RATED ROOF.
DEFERRED SUBMITTALS
1. FIRE SUPPRESSION SYSTEM TO BE DEFERRED PER ADDITIONAL SUBMITTAL. THE FIRE SPRINKLER PLAN WILL INDICATE THE PROPOSED AUTOMATIC FIRE SPRINKLER SYSTEM, INCLUDING HYDRAULIC CALCULATIONS AND SPECIFICATIONS, IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA STANDARD 13-D, AS AMENDED BY THE SOUTH COUNTY FIRE AUTHORITY. ALL PLANS SHALL BE PREPARED BY A CALIFORNIA LICENSED FIRE SPRINKLER CONTRACTOR, OR A FIRE PROTECTION ENGINEER.
2. PREFABRICATED TRUSS DESIGN TO BE SUBMITTED BY TRUSS COMPANY.
3. GAS PIPING DIAGRAM, COMPLETE WITH BTU USAGE OF EACH PIECE OF EQUIPMENT AND GAS PIPE DIAMETER AND LENGTH OF EACH PIPE RUN WILL BE A DEFERRED SUBMITTAL BY PLUMBING DESIGN-BUILT CONTRACTOR.



VICINITY MAP

LU NEW RESIDENCE & ADU CONVERSION

WARREN LU
 19513 Mockingbird Hill Ln, San Jose, CA 95120

No.	Description	Date
	OWNER REV v1.1 & PLN RESP	10.25.23
COVERSHEET		
SCALE	As indicated	
PROJECT NO	221208	
SHEET NUMBER	A0.1	

George Lee



EYE-LEVEL 3D VIEW @ BACKYARD 01



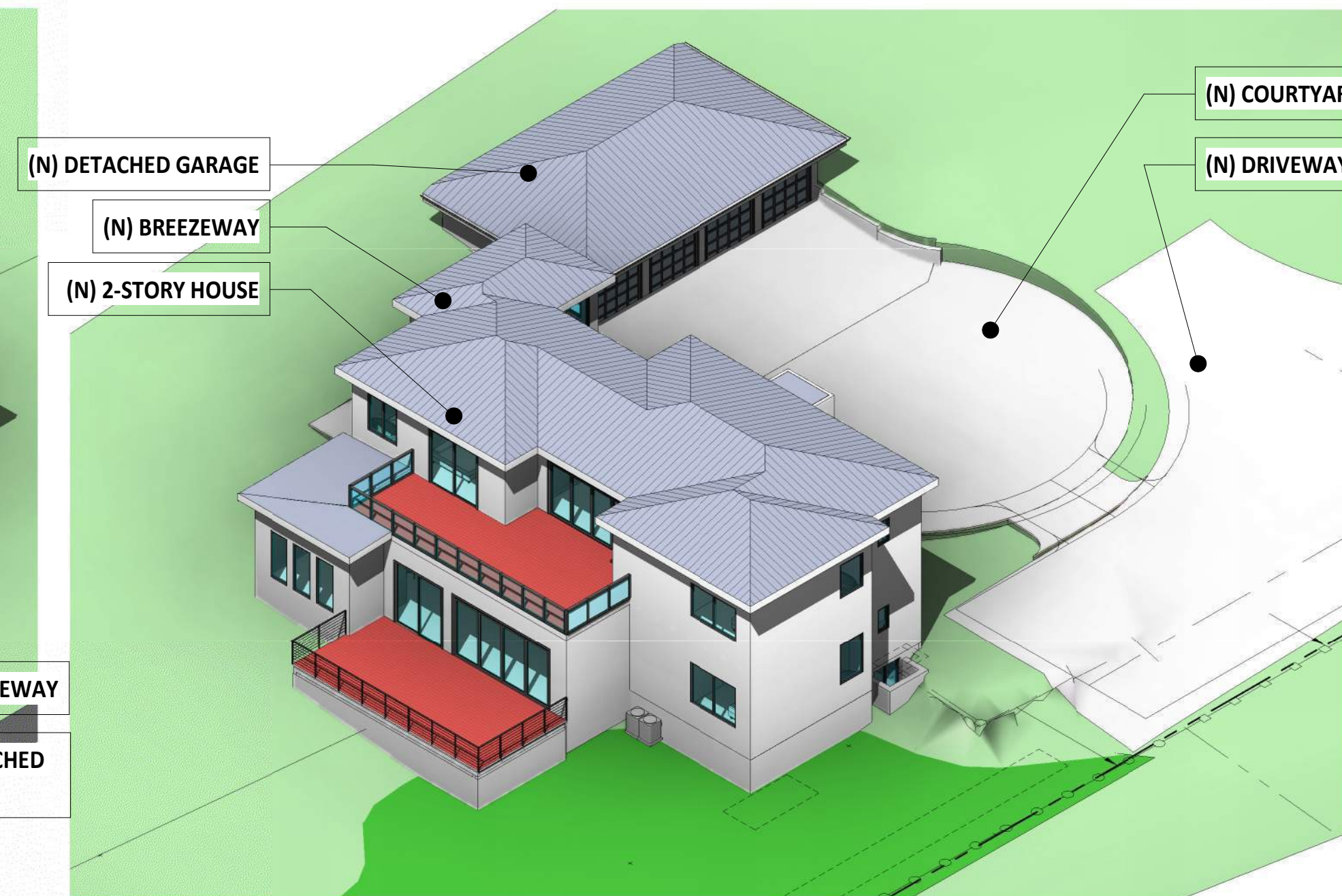
EYE-LEVEL 3D VIEW @ DRIVEWAY 01



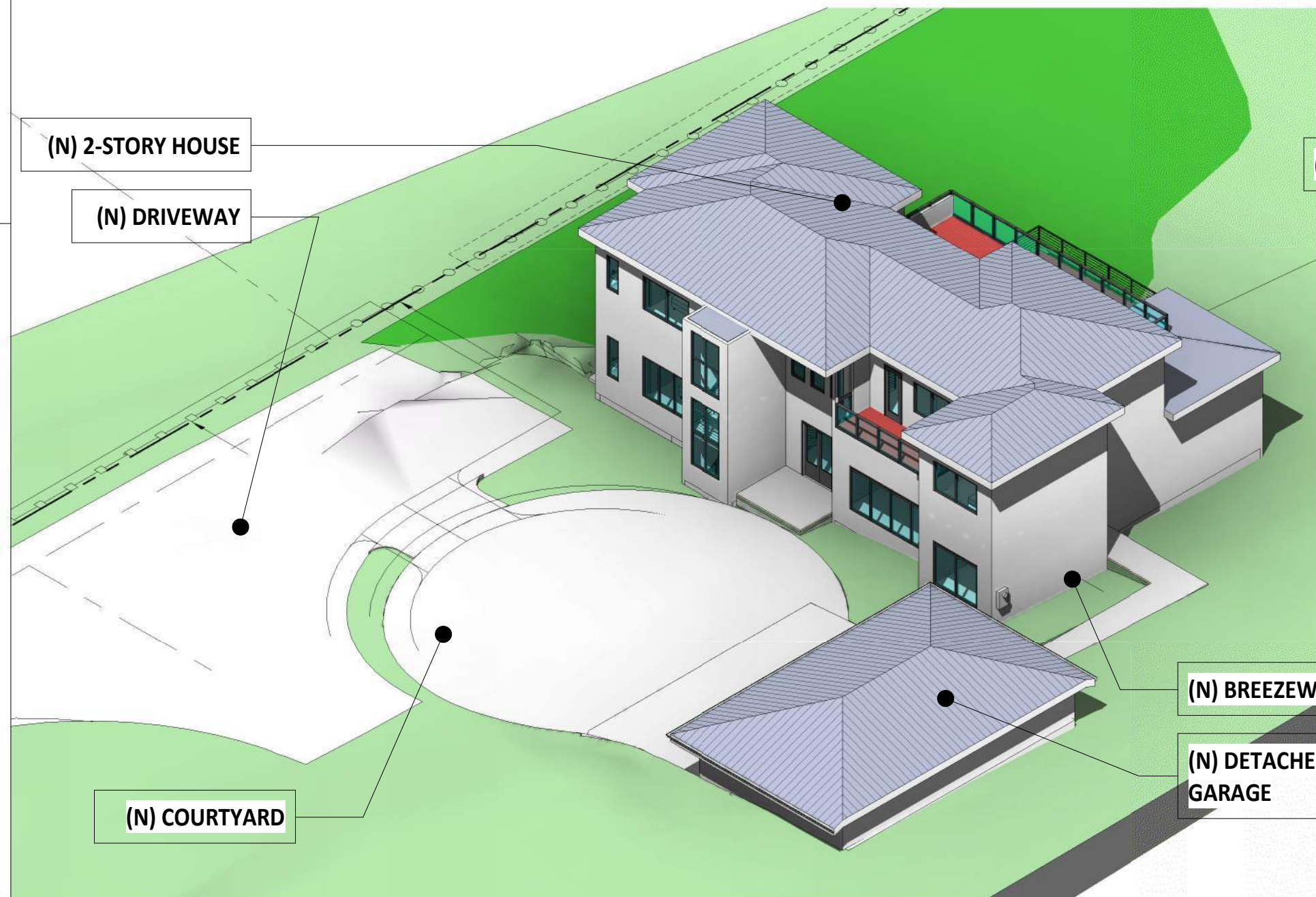
EYE-LEVEL 3D VIEW @ BACKYARD 02



EYE-LEVEL 3D VIEW @ DRIVEWAY 02



3D BIRDVIEW (REAR-LEFT)



3D BIRDVIEW (FRONT-RIGHT)_FR



EYE-LEVEL 3D VIEW @ DRIVEWAY 03

LU NEW RESIDENCE & ADU CONVERSION

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No.	Description	Date
OWNER REV v11 & PLN RESP		10.25.23

3D VIEWS

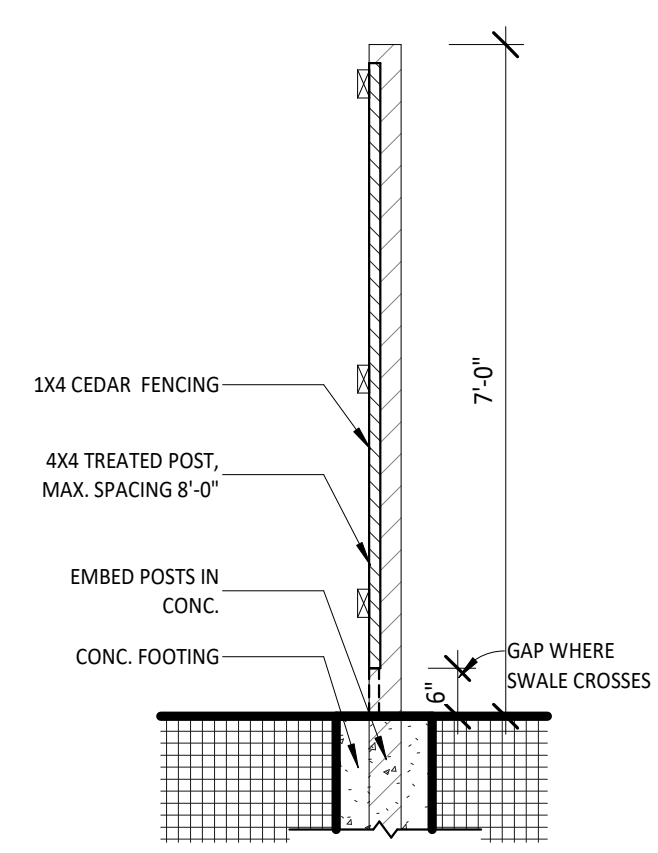
SCALE	
PROJECT NO	221208
SHEET NUMBER	A0.2

George Lee

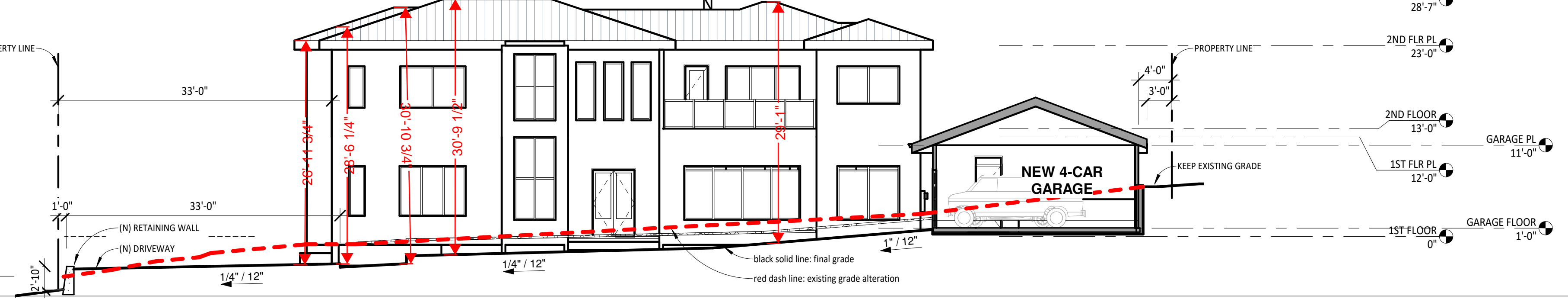


③ (E) SITE PLAN
 1" = 20'-0"

⑥ PROPOSED SITE PLAN
 1" = 20'-0"



② SITE SECTION THROUGH NEW GARAGE
 1" = 10'-0"



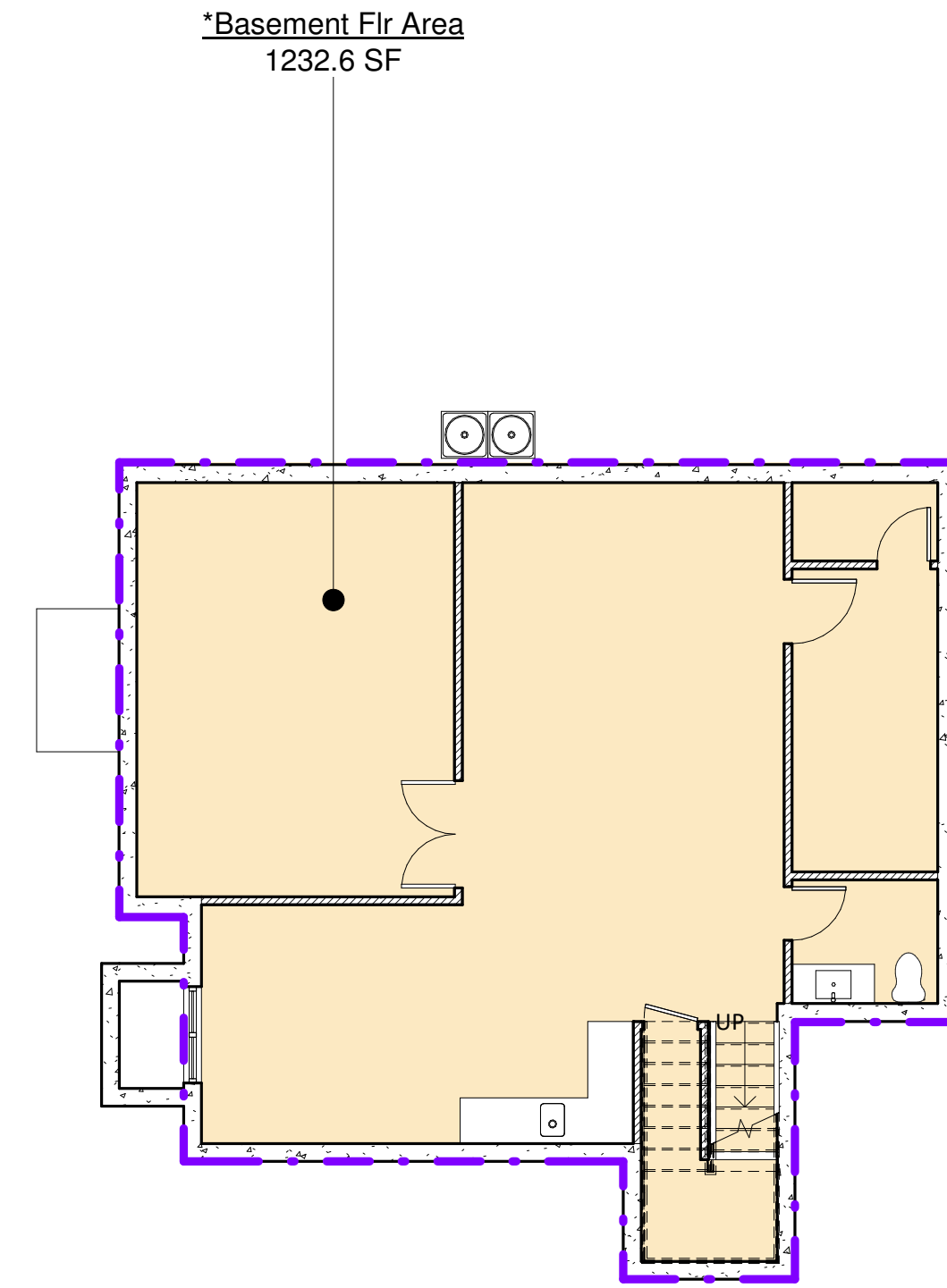
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**SITE PLANS & DEMO
 PLAN**

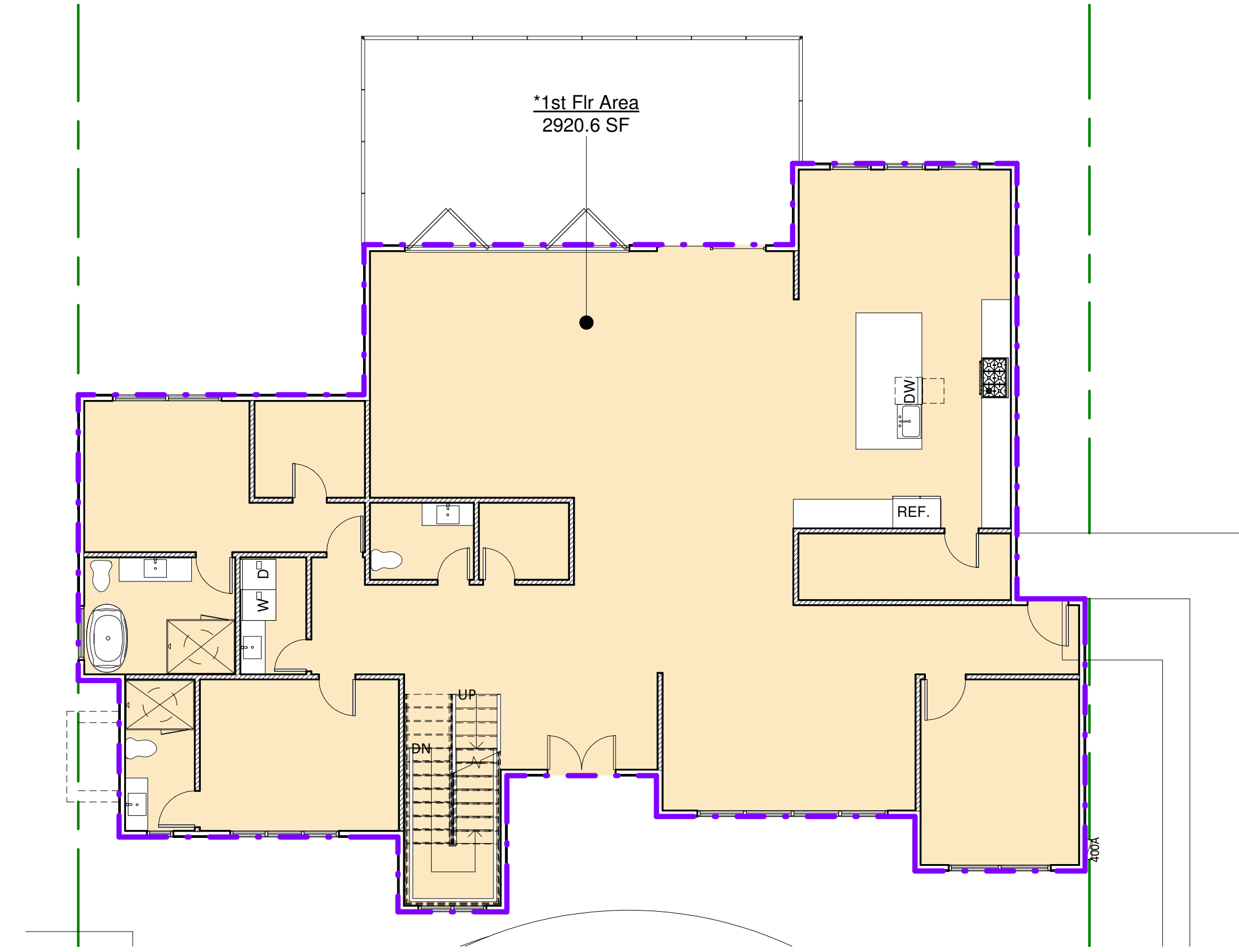
SCALE	As indicated
PROJECT NO	221208
SHEET NUMBER	A1.1

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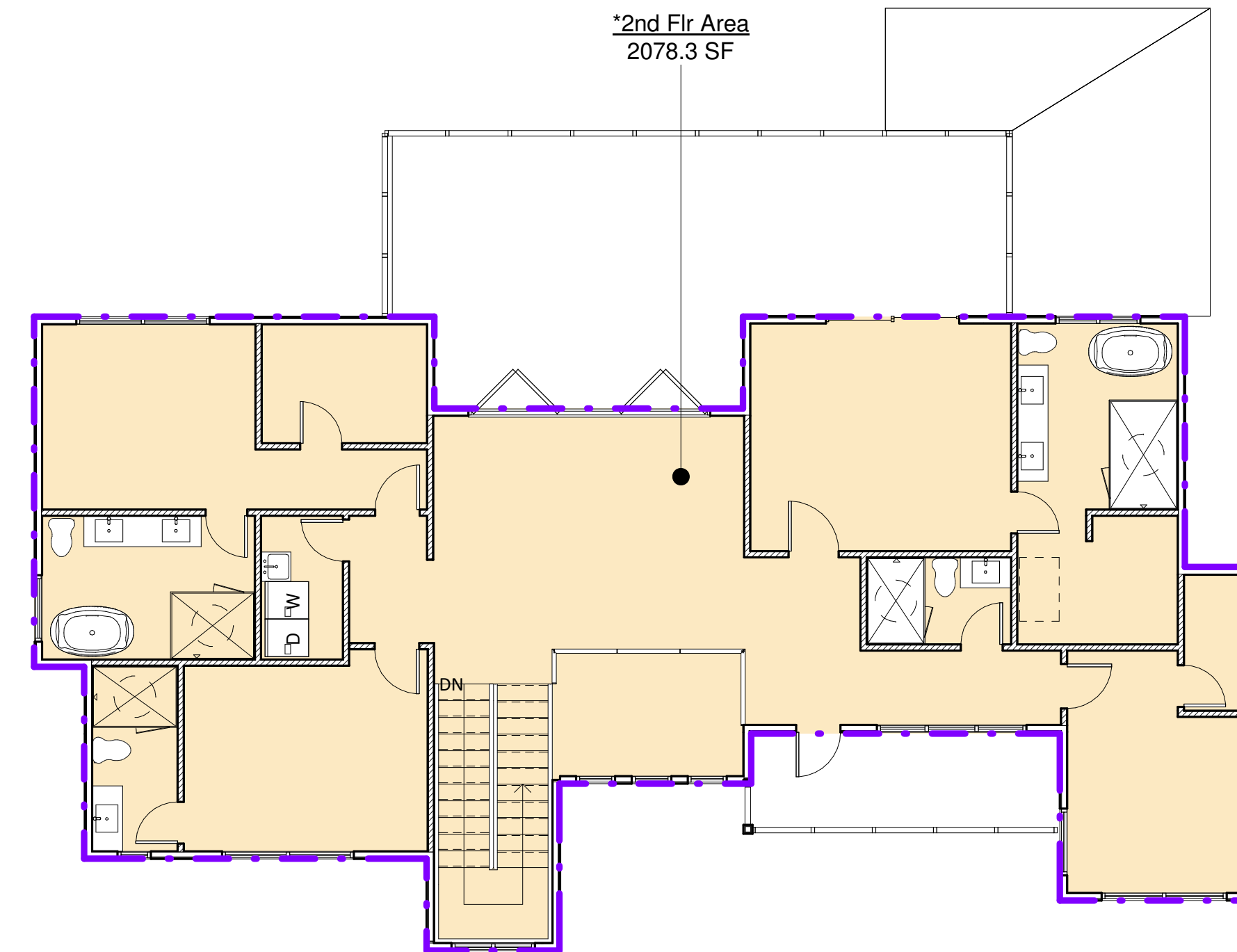


3 BLOCK DIAGRAM-BASMEENT
1/8" = 1'-0"

Area Schedule (OR-3(Planing))		
*Basement Flr Area	1233 SF	basement
basement	1233 SF	
*1st Flr Area	2921 SF	FAR CALCS
*2nd Flr Area	2078 SF	FAR CALCS
FAR CALCS	4999 SF	
Grand total	6232 SF	



1 BLOCK DIAGRAM-1ST FLOOR
1/8" = 1'-0"



2 BLOCK DIAGRAM-2ND FLOOR
1/8" = 1'-0"

LU NEW RESIDENCE & ADU CONVERSION

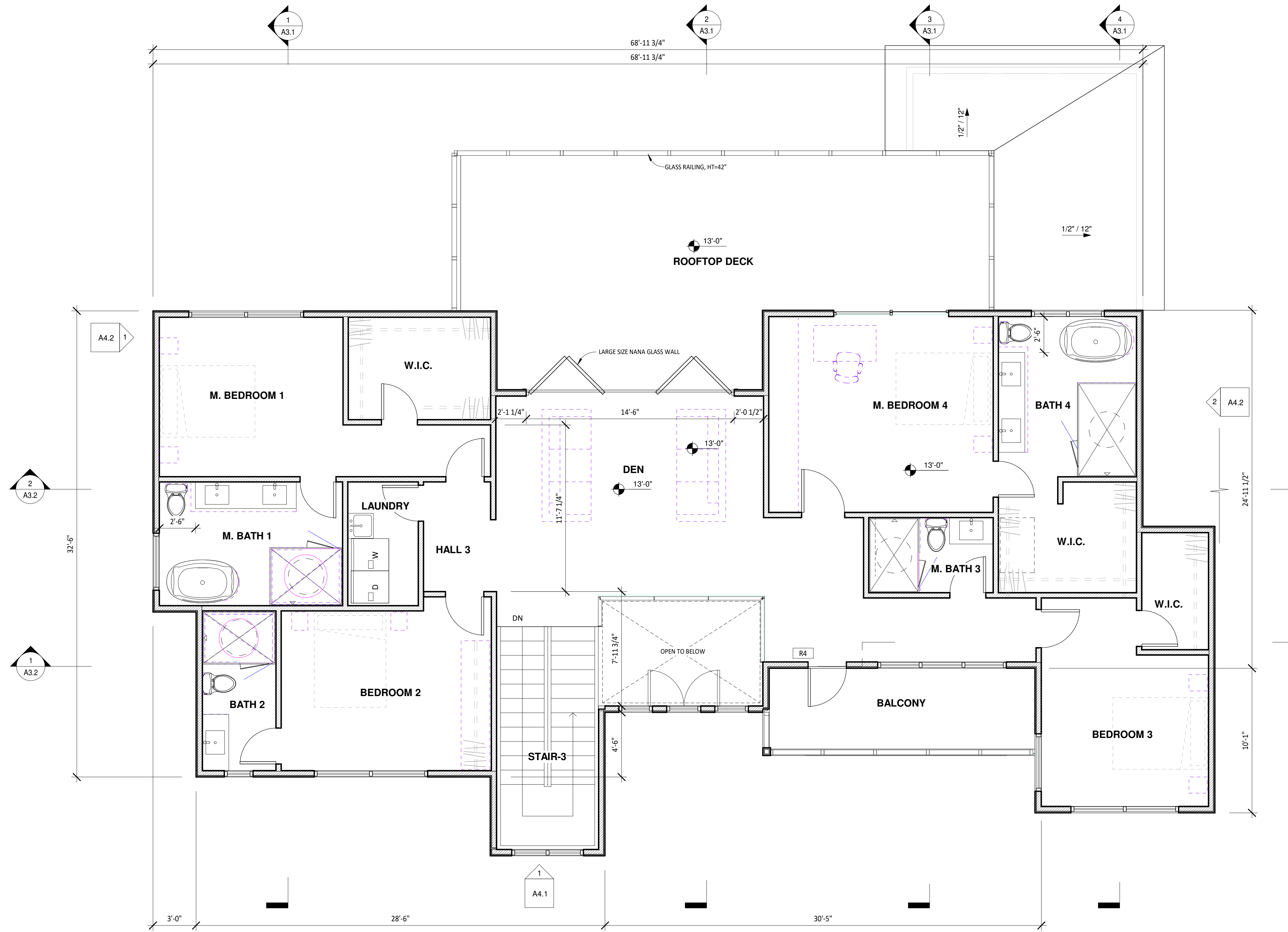
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No.	Description	Date
	OWNER REV v11 & PLN RESP	10.25.23

GROSS FLOOR AREA CALCULATION

SCALE	1/8" = 1'-0"
PROJECT NO	221208
SHEET NUMBER	A1.2

George Lee



1 PROPOSED (N) RESIDENCE 2ND FLOOR PLAN
1/4" = 1'-0"



PROPOSED (N) RESIDENCE 2ND FLOOR PLAN - KEYED NOTES	
R4	ROOF CRICKET

LU NEW RESIDENCE & ADU CONVERSION

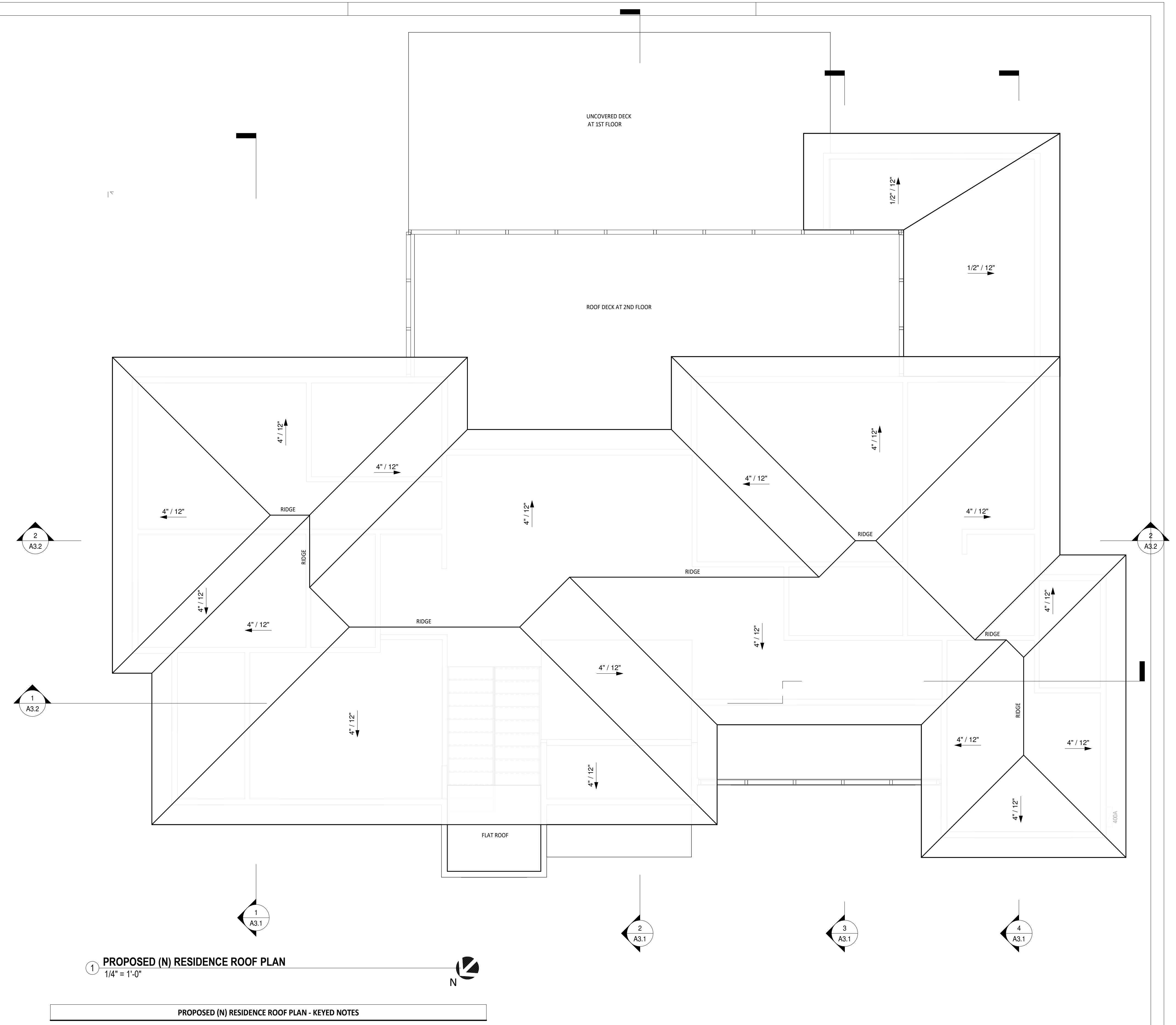
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PROPOSED (N) RESIDENCE 2ND FLOOR PLAN

SCALE	1/4" = 1'-0"
PROJECT NO	221208
SHEET NUMBER	A2.2

George Lee



1 PROPOSED (N) RESIDENCE ROOF PLAN
1/4" = 1'-0"

PROPOSED (N) RESIDENCE ROOF PLAN - KEYED NOTES

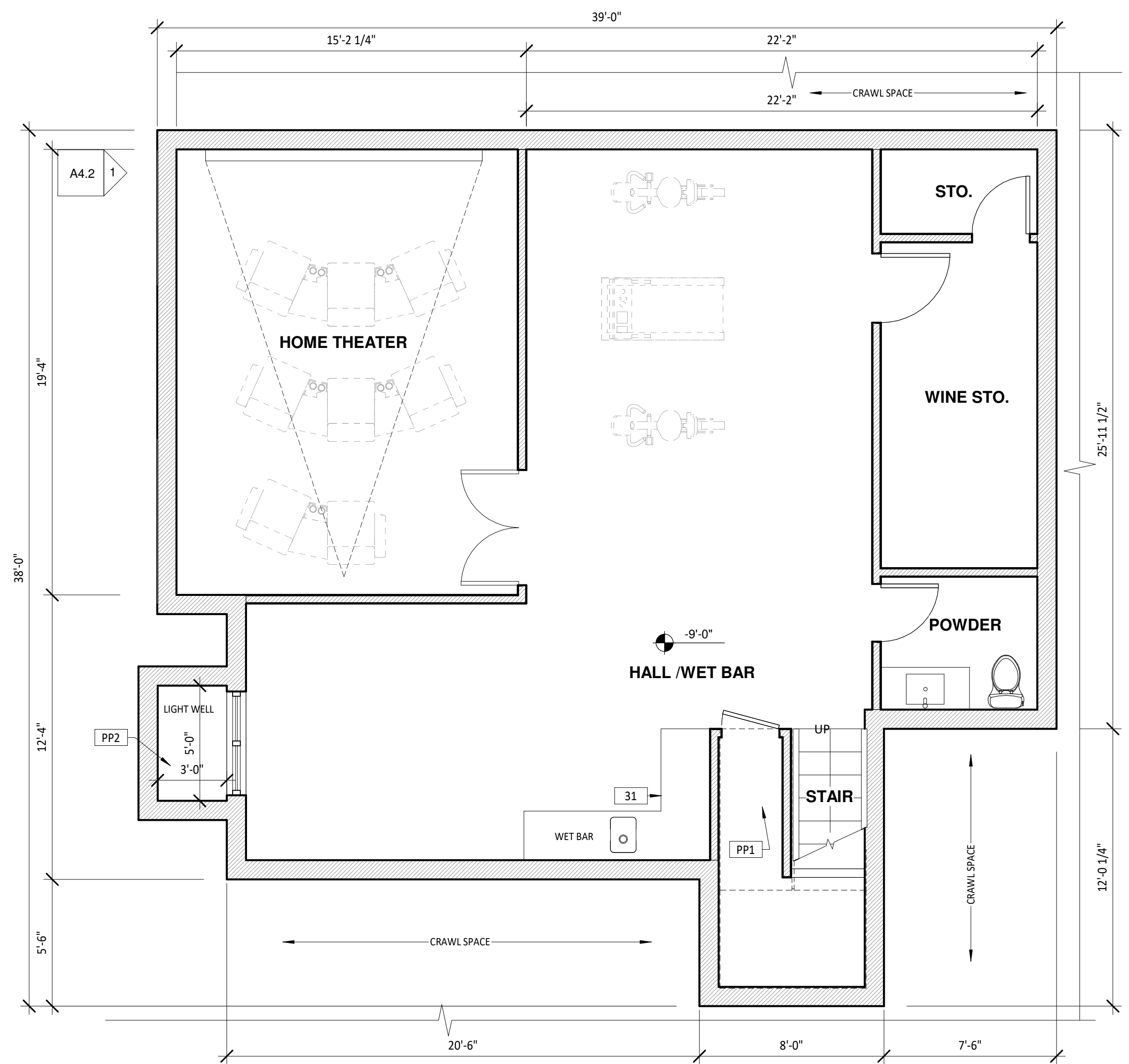
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No.	Description	Date
1	OWNER REV v1.1 & PLN RESP	10.25.23

**PROPOSED (N)
RESIDENCE ROOF PLAN**

SCALE	1/4" = 1'-0"
PROJECT NO	221208
SHEET NUMBER	A2.3

George Lee



1 PROPOSED (N) RESIDENCE BASEMENT FLOOR PLAN
 1/4" = 1'-0"

PROPOSED (N) RESIDENCE BASEMENT PLAN - KEYED NOTES	
31	CASEWORK
PP1	SEWER EJECTOR PUMP (IN PUMP PIT), SEE MANUFACTURER'S SPECS.
PP2	SUMP PUMP (IN PUMP PIT)

LU NEW RESIDENCE & ADU CONVERSION

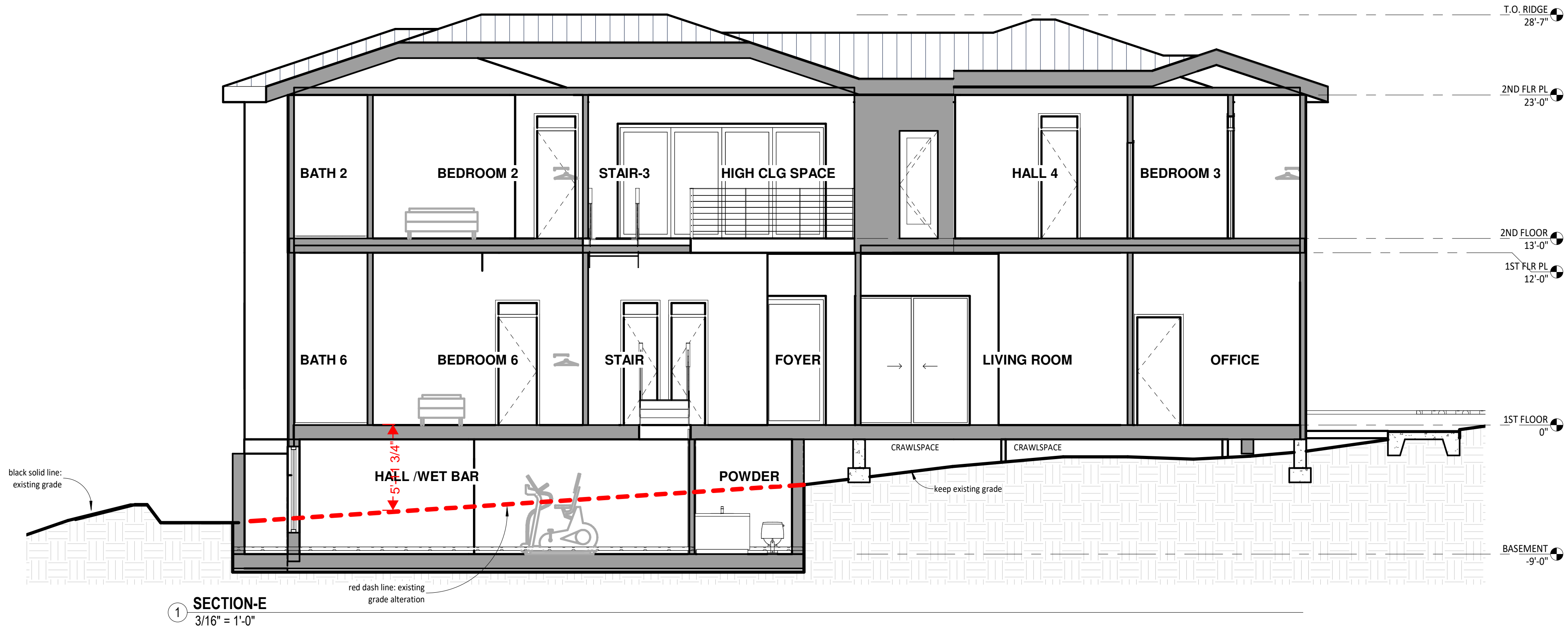
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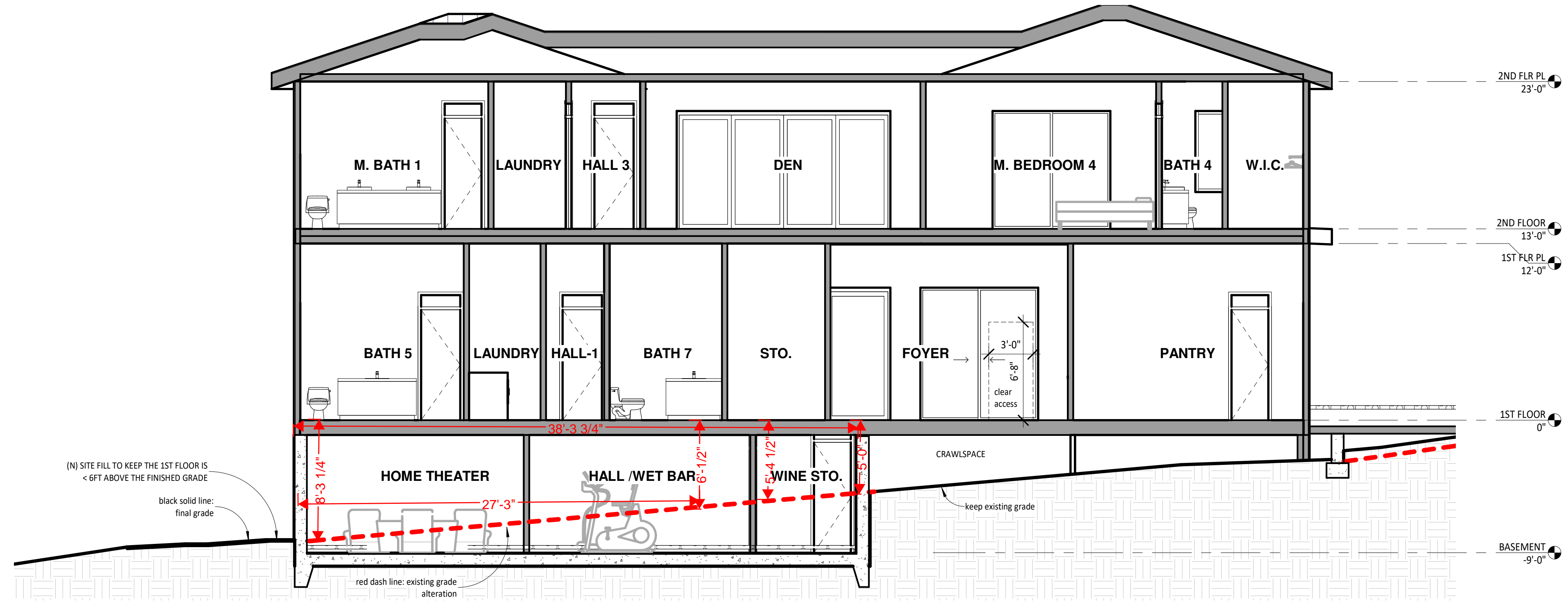
PROPOSED (N) RESIDENCE BASEMENT FLOOR PLAN

SCALE	1/4" = 1'-0"
PROJECT NO	221208
SHEET NUMBER	A2.B

George Lee



① SECTION-E
3/16" = 1'-0"



② SECTION-F
3/16" = 1'-0"

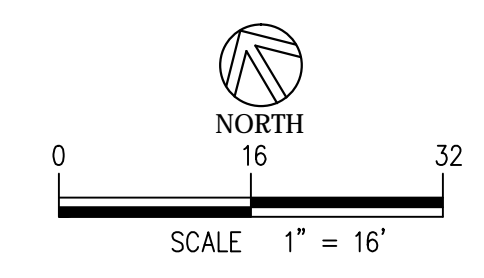
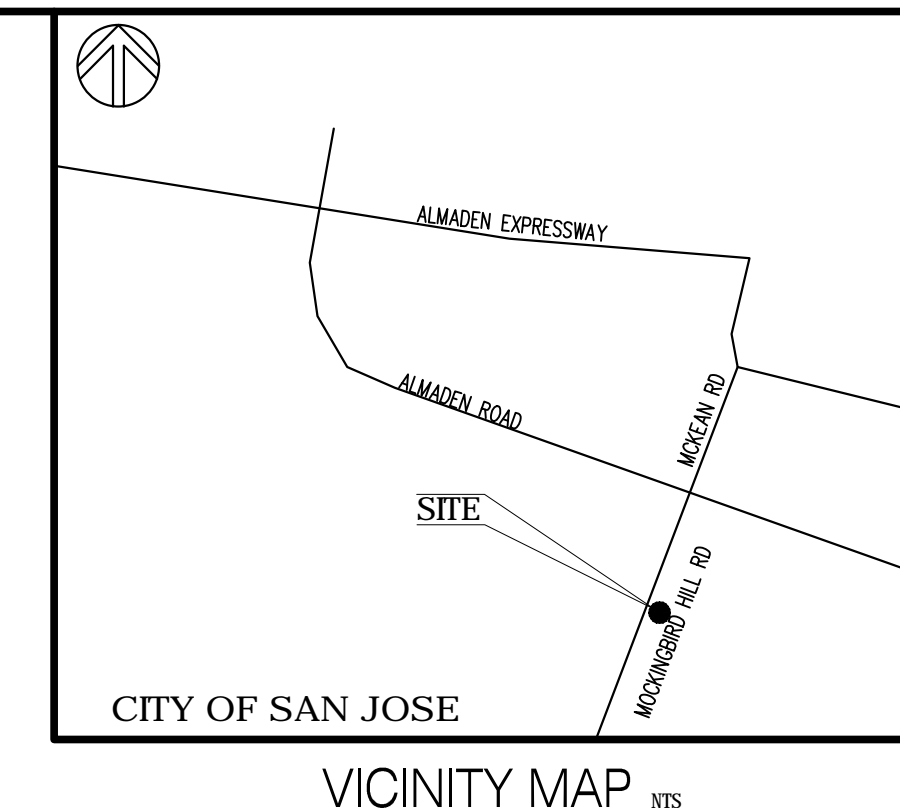
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No.	Description	Date
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BUILDING SECTIONS-2

SCALE	3/16" = 1'-0"
PROJECT NO	221208
SHEET NUMBER	A3.2



BASIS OF BEARINGS
 THE BEARING BETWEEN TWO FOUND MONUMENTS ALONG MOCKINGBIRD HILL LANE TAKEN AS SHOWN ON PARCEL MAP BK 686 PG 39-40 SANTA CLARA COUNTY RECORDS.

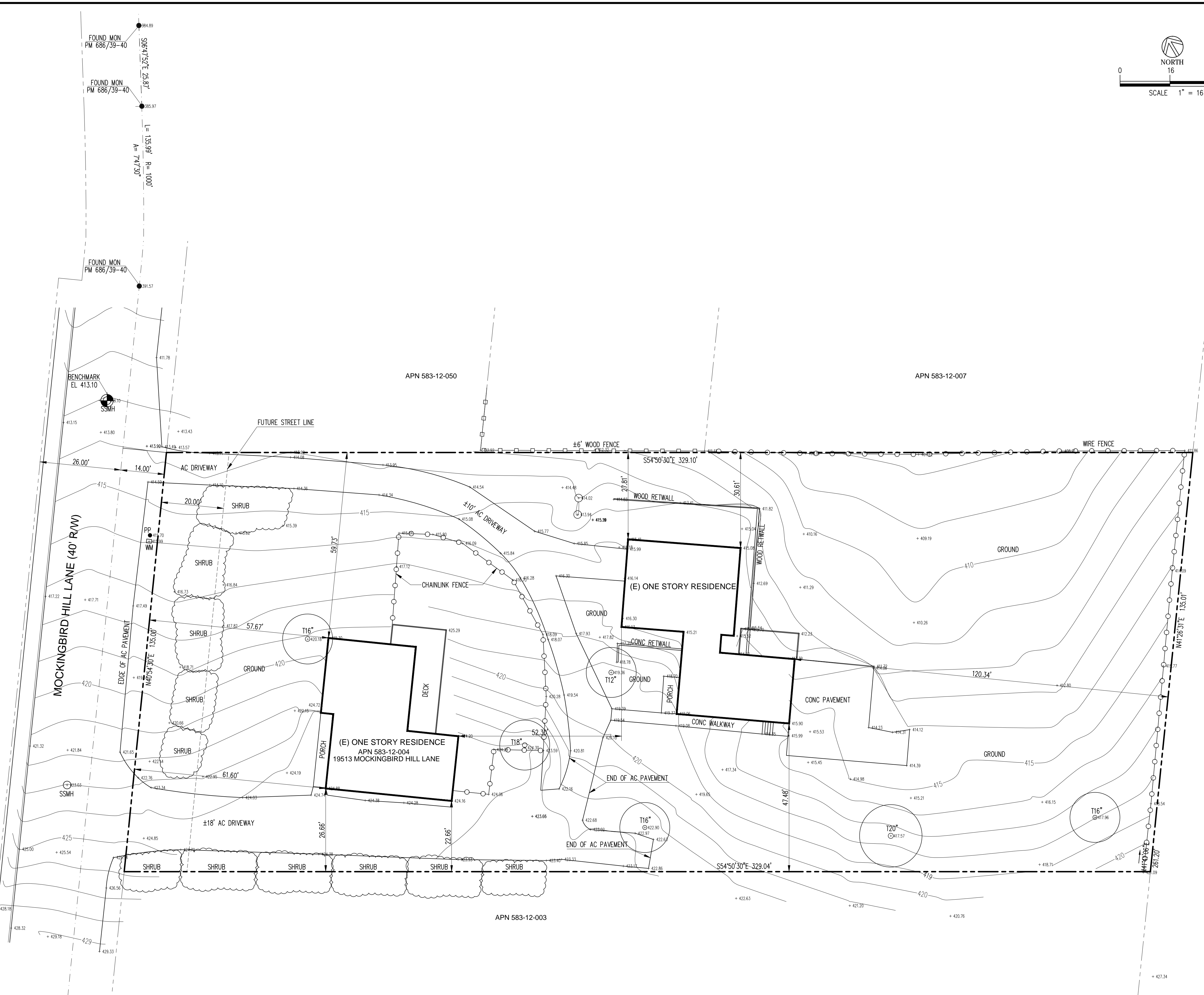
BENCHMARK
 RIM OF SANITARY SEWER MANHOLE ELEVATION 413.10 WAS USED AS A BENCHMARK FOR THIS SURVEY.

- REFERENCES**
1. PARCEL MAP BK 686 PG 39-40 SANTA CLARA COUNTY RECORDS.
 2. RECORD OF SURVEY BK 79 PG 20 SANTA CLARA COUNTY RECORDS.
 3. ASSESSORS PARCEL MAP BK 583 PG 12 SANTA CLARA COUNTY RECORDS.

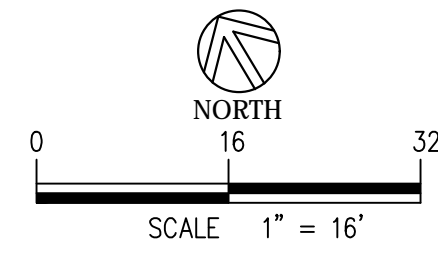
LEGEND & ABBREVIATIONS

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CENTER LINE / MONUMENT LINE
	FENCE LINE
	BUILDING LINE
	EASEMENT LINE
	SANITARY SEWER MANHOLE
	SANITARY SEWER MANHOLE
	FOUND MONUMENT
	SPOT ELEVATION
	BENCH MARK
	TREE & DIAMETER
	SEWER CLEAN OUT
	WATER METER
	WATER VALVE
	UTILITY BOX
	ASSESSORS PARCEL NUMBER
	ASPHALT CONCRETE
	BACK OF CURB, BLDG CORNER
	CALCULATED CONCRETE
	CENTER LINE
	EXISTING LINE
	EDGE OF PAVEMENT
	FOUND
	FINISH FLOOR
	GROUND
	LIGHT POST, CURB & GUTTER
	PAVEMENT
	POWER POLE
	POST
	RIGHT OF WAY
	CONTOUR INTERVAL 1 FEET

- NOTES:**
1. UTILITY LOCATIONS WERE BASED ON A FIELD SURVEY AND DOES NOT REFLECT THE LOCATION UNDERGROUND.
 2. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
 3. BUILDING DIMENSIONS ARE MEASURED TO THE EXISTING EXTERIOR PANNELLING OR STUCCO OF THE STRUCTURE.



RICARDO S. SITJAR CIVIL ENGINEER + LAND SURVEYOR 173 NEWCASTLE DRIVE, VALLEJO, CA 94591 TEL: (707) 704-3139 (510) 648-4276		DATE 09-16-22 TOPOGRAPHIC SURVEY	PROJECT TOPOGRAPHIC & BOUNDARY SURVEY A P N 583 - 12 - 004 19513 MOCKINGBIRD HILL LANE SAN JOSE CALIFORNIA	OWNER WARREN LU 19513 MOCKINGBIRD HILL LANE SAN JOSE CALIFORNIA	SHEET CONTENT TOPOGRAPHIC PLAN	SHEET NO. 1
DRAWN BY: [Signature] CHECKED BY: [Signature] AGM 091822 RSS 092222		REGISTERED PROFESSIONAL ENGINEER RICARDO S. SITJAR C 25358 EXPIRES: 12-31-2023 CIVIL ENGINEER STATE OF CALIFORNIA 09-22-22				



GRADING QUANTITIES

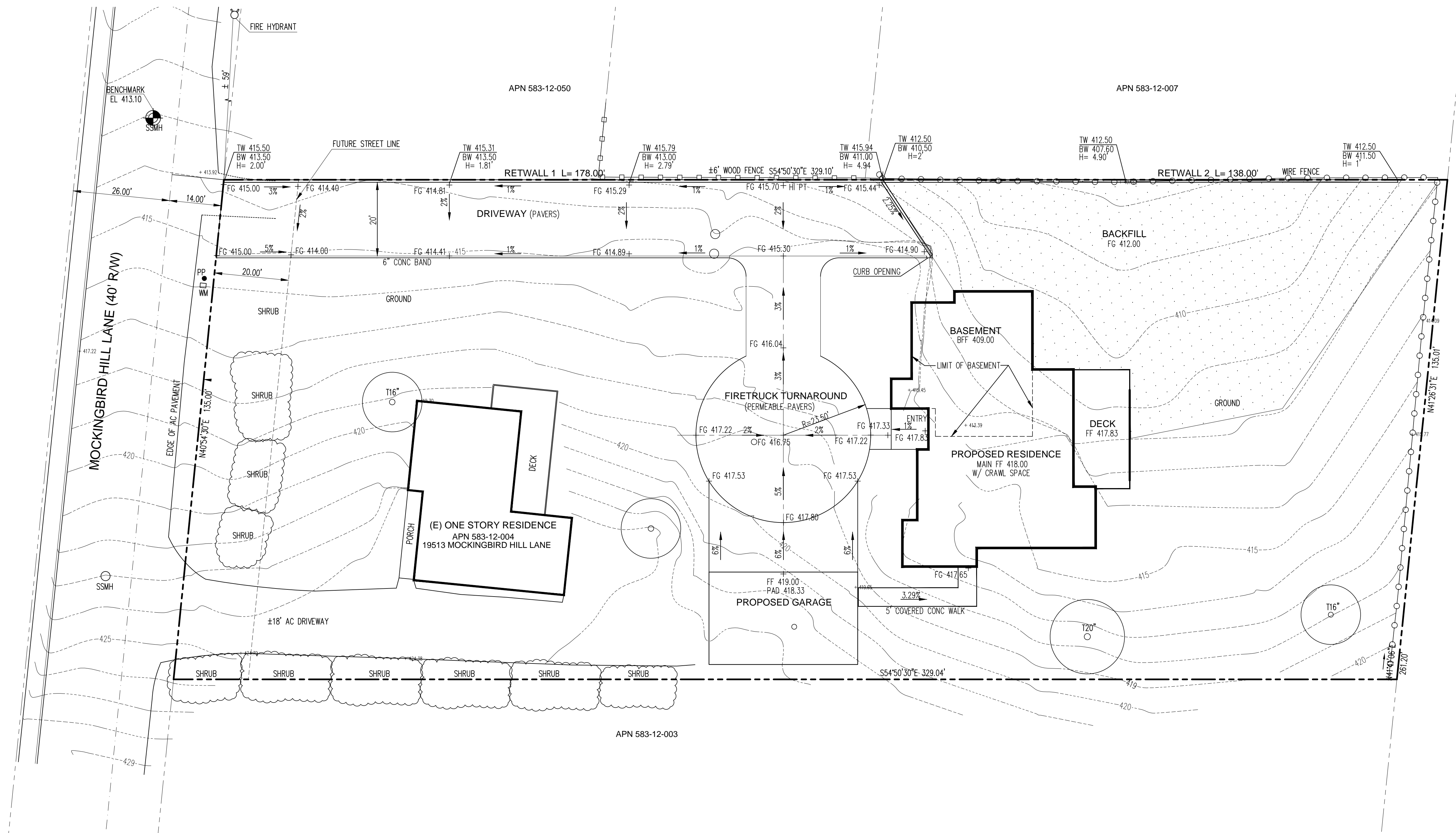
	CUT (CY)	FILL (CY)	MAX DEPTH CUT (FT)	MAX DEPTH FILL(FT)
GARAGE	94			
COURTYARD	86			
DRIVEWAY	78			
BASEMENT	212		6 FT	
BACKYARD		400		4.90 FT
TOTAL	470	400		

NOTES

1. DRIVEWAY VERTICAL CLEARANCE AT ENTRANCE 20'
2. DRIVEWAY PAVEMENT LOAD CAPACITY = 80,000 LBS

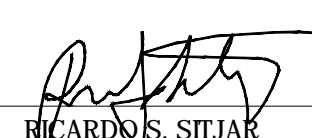

GENERAL GRADING & DRAINAGE NOTES:

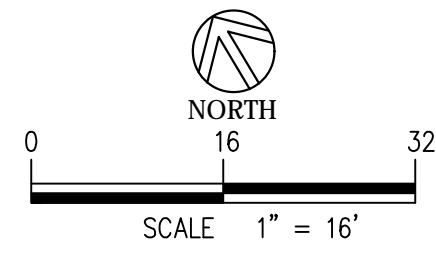
1. A GRADING PERMIT MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY EARTHWORK.
2. ALL GRADING SHALL CONFORM TO THE CITY SPECIFICATIONS AND STANDARDS.
3. CONTRACTOR WILL BE RESPONSIBLE FOR ADEQUATE TEMPORARY DRAINAGE FACILITIES DURING RAINY SEASON OPERATIONS AND PROTECT ALL GRADING AREAS FROM EROSION.
4. THE APPROXIMATE QUANTITY OF CUT= 470 CU. YD AND FILL= 400 CU. YD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ABOVE EARTHWORK QUANTITIES PRIOR TO THE START OF GRADING OPERATION.
5. ALL EXISTING CESSPOOLS, FOUNDATIONS, BASEMENTS, TANKS OR OTHER UNDERGROUND STRUCTURES IF ENCOUNTERED SHALL BE REMOVED AND THE RESULTING DEPRESSIONS SHALL BE BACKFILLED AND COMPACTED.
6. ADEQUATE PROVISIONS SHALL BE MADE FOR DUST CONTROL.
7. ANY DEVIATION FROM APPROVED PLANS DURING CONSTRUCTION WILL REQUIRE APPROVAL BY THE CITY ENGINEER.
8. THE MINIMUM FILL DENSITY COMPACTION WILL BE IN ACCORDANCE WITH ASTM D-1557-78.
9. ALL EXCAVATED MATERIALS WILL BE USED FOR BACKFILL PER SOIL'S ENGINEER RECOMMENDATION.



LEGEND & ABBREVIATIONS

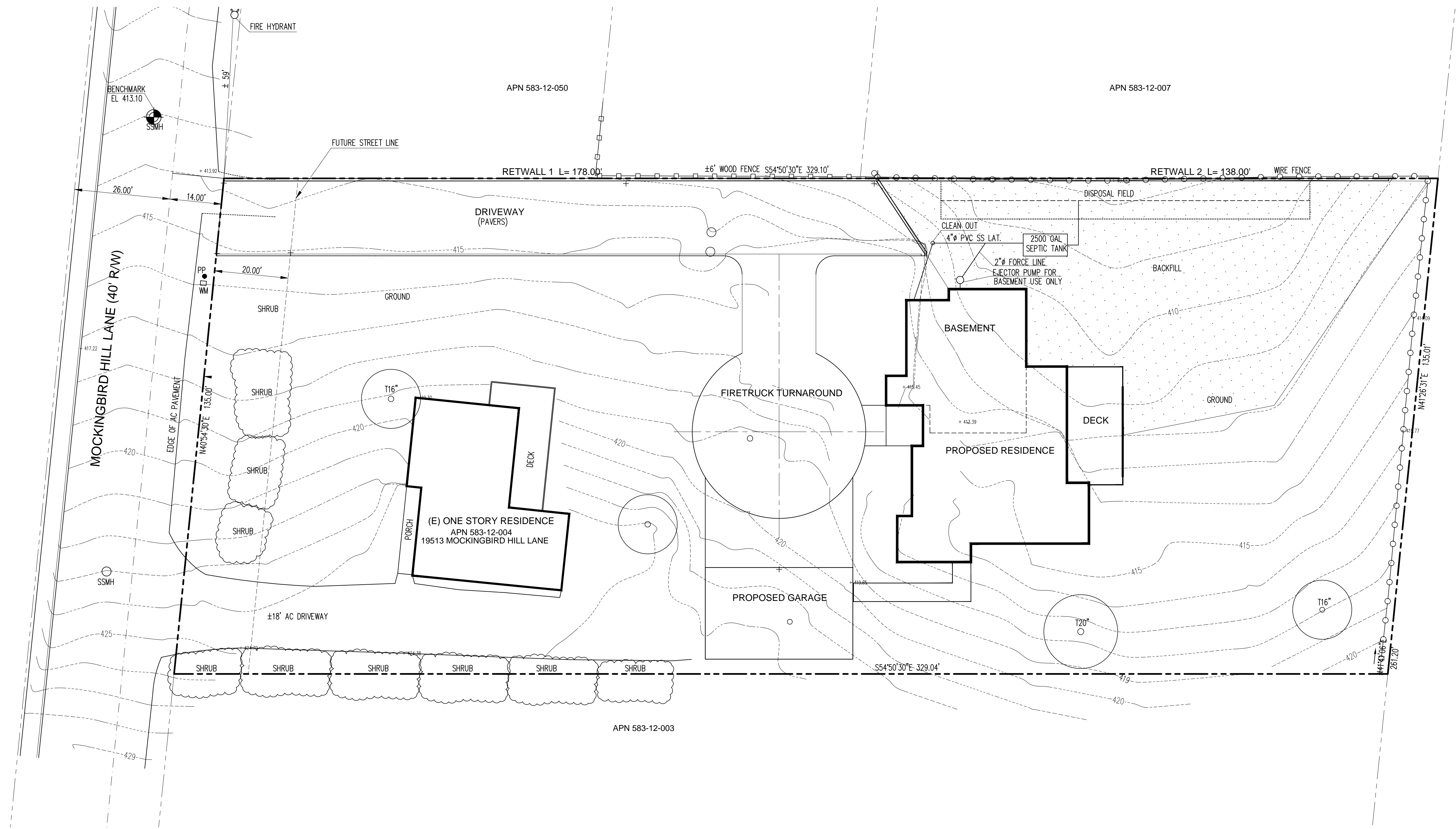
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CENTER LINE / MONUMENT LINE
	FENCE LINE
	BUILDING LINE
	EASEMENT LINE
	SANITARY SEWER MANHOLE
	SANITARY SEWER MANHOLE
	FOUND MONUMENT
	SPOT ELEVATION
	BENCHMARK
	TREE & DIAMETER
	SEWER CLEAN OUT
	WATER METER
	WATER VALVE
	UTILITY BOX
APN	ASSESSORS PARCEL NUMBER
AC	ASPHALT CONCRETE
BC	BACK OF CURB, BLDG CORNER
CALC	CALCULATED
CONC	CONCRETE
CL	CENTER LINE
(E)	EXISTING
EP	EDGE OF PAVEMENT
FND	FOUND
FF	FINISH FLOOR
G	GROUND
LP	LIGHT POST, CURB & GUTTER
P	PAVEMENT
PP	POWER POLE
PST	POST
R/W	RIGHT OF WAY
	CONTOUR INTERVAL: 1 FEET

<p>RICARDO S. SIJAR CIVIL ENGINEER + LAND SURVEYOR</p> <p>173 NEWCASTLE DRIVE, VALLEJO, CA 94591 TEL. (707) 704-3139 (510) 648-4276</p> <p>DRAWN BY: AGM CHECKED BY: BSS</p>  <p>RICARDO S. SIJAR P.E. NO. 25358 EXP. 12/31/23</p>			<p>DATE</p>	<p>PROJECT</p> <p>PROPOSED RESIDENCE A P N 583 - 12 - 004 19513 MOCKINGBIRD HILL LANE SAN JOSE CALIFORNIA</p>	<p>OWNER</p> <p>WARREN LU 19513 MOCKINGBIRD HILL LANE SAN JOSE CALIFORNIA</p>	<p>SHEET CONTENT</p> <p>GRADING PLAN</p>	<p>SHEET NO.</p> <p>1</p>
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SEPTIC TANK VOLUME CALCULATION

PROPOSED RESIDENCE : 6 BEDROOMS
 FIRST 2 BEDROOMS = 1000 GALLONS
 EVERY ADDITIONAL BEDROOMS ADD 250 GALLONS
 CAPACITY = 1000 GAL + (4)250 GAL = 2000 GAL ~ SAY 2500 GAL



LEGEND & ABBREVIATIONS

	PROPERTY LINE
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	SANITARY SEWER MANHOLE
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R/W	RIGHT OF WAY
CONTOUR INTERVAL	1 FEET

RICARDO S. SITJAR CIVIL ENGINEER + LAND SURVEYOR 173 NEWCASTLE DRIVE, VALLEJO, CA 94591 TEL. (707) 704-3139 (510) 648-4276			DATE	PROJECT	OWNER	SHEET CONTENT	SHEET NO.
DRAWN BY CHECKED BY AGM	DATE PROJECT PROPOSED RESIDENCE APN 583 - 12 - 004 19513 MOCKINGBIRD HILL LANE SAN JOSE CALIFORNIA		OWNER WARREN LU 19513 MOCKINGBIRD HILL LANE SAN JOSE CALIFORNIA	SHEET CONTENT SEPTIC SYSTEM PLAN	SHEET NO. C-2		