

Applicant/Owner:

Vic Riches
395 Del Monte Center #307
Monterey, CA
415-559-7864
vicriches1@yahoo.com

Engineer:

David L. Faria, RCE 92432
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
davidf@mhengineering.com

Project Information:

APN: 825-14-056
Present Use: Rural
Proposed Use: Rural Residential
Present Zoning: RR-5Ac-sr-sm (63.1%) & RR-5Ac-s (36.9%)
Existing Improvements: As Shown
Water: San Martin County Water District
Sanitary Sewer: Proposed OWTS
Gas & Electric: PGE
Fire Responsibility Area: LRA
Wildland Urban Interface: N/A
HCP Area: Rural Development Not Covered
Hazard Zone(s): N/A
Gross Area: 6.770 ac
Net Area: 5.986 ac

Fire Notes:

1. Fire Sprinklers shall be a deferred submittal.
2. Property is located in the Local Response Area.
3. Structures to meet WUI construction requirements.
4. Property to maintain defensible space at all times.
5. Driveway width will be maintained at 22' minimum with a clear height of 13' 6".
6. All proposed driveways to be made of an all weather surface capable of supporting 75,000 lbs.

Impervious Area Summary

Proposed Structure	4,900 SF
Proposed Walk	800 SF
Proposed Driveway	12,120 SF
Total New Impervious Area	17,820 SF


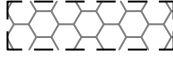



Proposed Floor Area

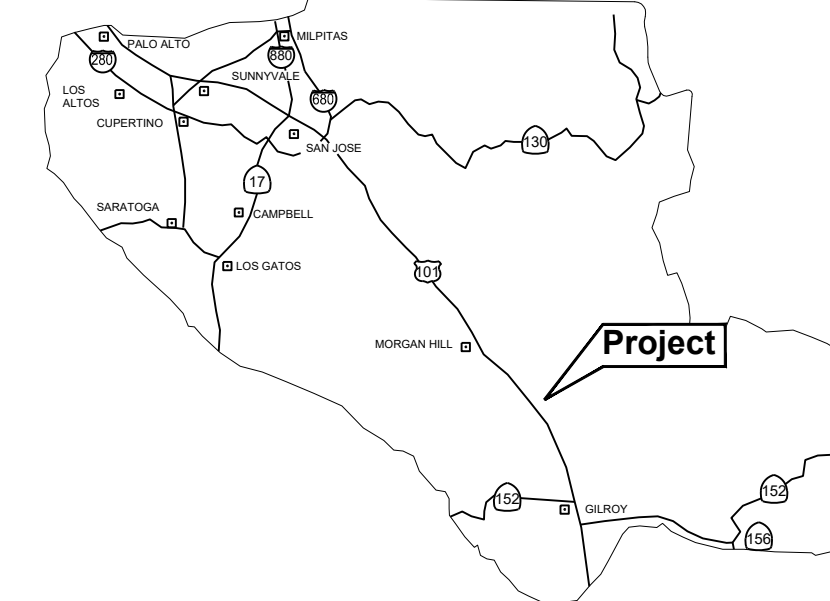
Proposed Structure	4,900 SF
Total Floor Area	4,900 SF

Grading Permit Earthwork Quantities

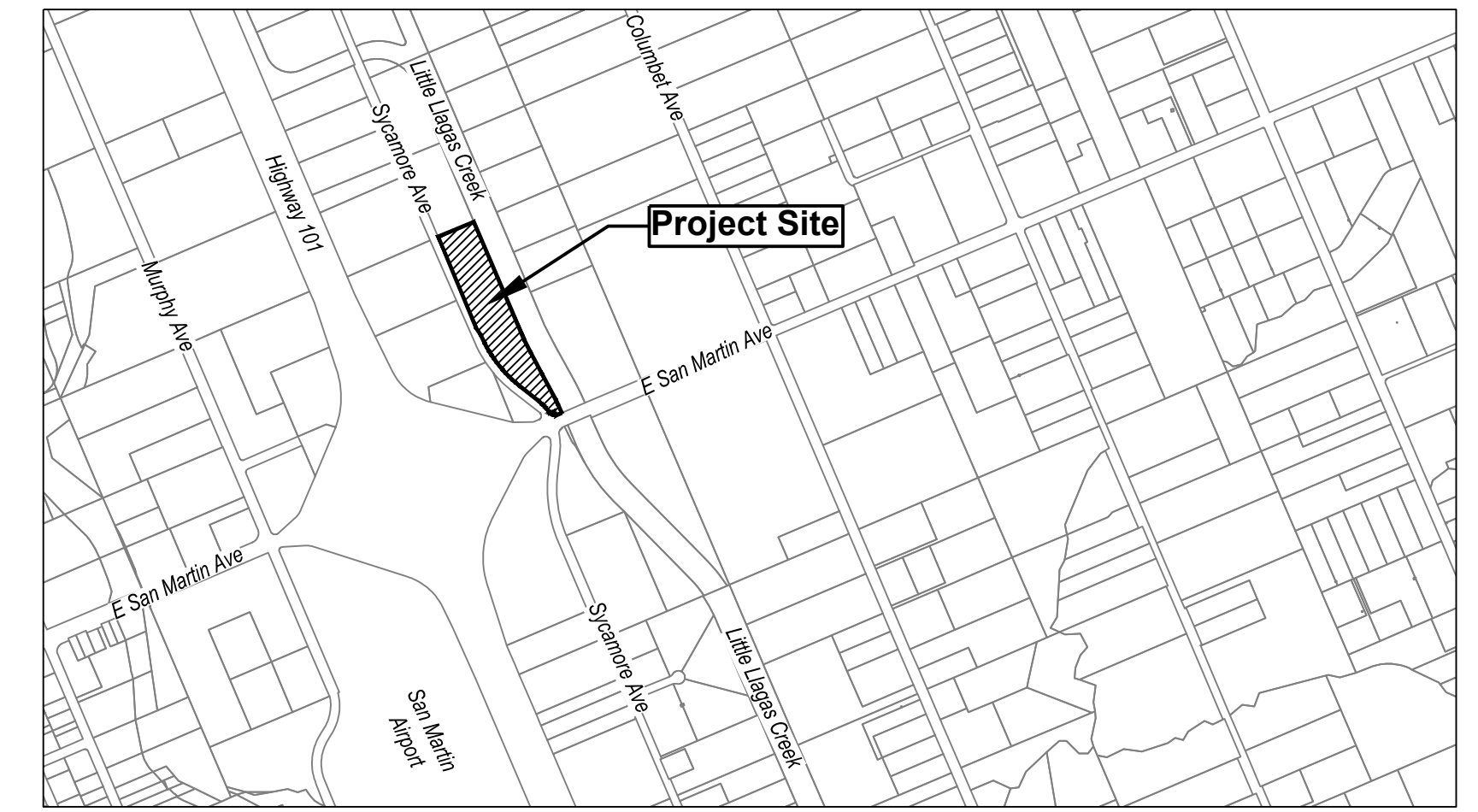
	Cut	Fill	Max Cut	Max Fill
Proposed Structure	0 cy	550 cy	0.00'	3.40'
Proposed Walk	0 cy	72 cy	0.70'	3.00'
Proposed Driveway	271 cy	51 cy	1.40'	1.10'
Proposed SW Treatment	238 cy	0 cy	6.50'	0.00'
Total	509 cy	673 cy		

LEGEND

-  Proposed Structure
-  Proposed Aggregate Base
-  Proposed Asphalt Concrete
-  Existing Contour
-  Proposed Contour



COUNTY LOCATION MAP

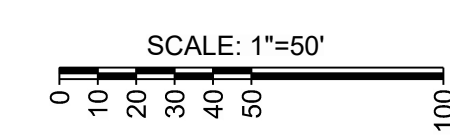
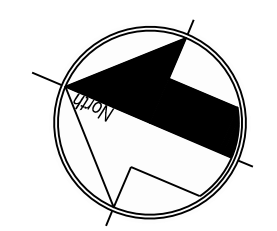
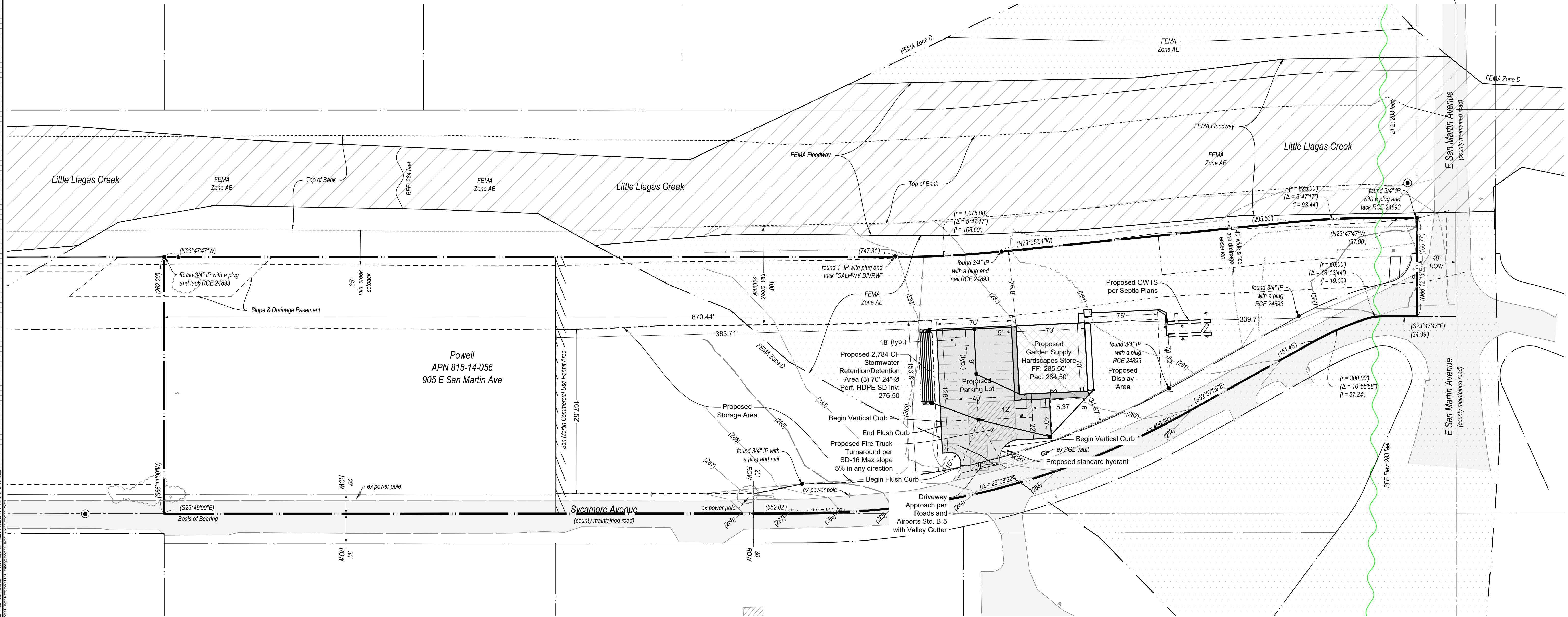


VICINITY MAP

Boundary Note: Property lines shown on this plan are based on record data.

Flood Zone: The property lies partially in Zone D (60.6%), areas in which flood hazards are undetermined, but possible, and partially in Zone AE (39.4%), area inundated by the Base Flood with Base Flood Elevations determined per FEMA Firm Panel 06085C0628H, effective May 18, 2009.

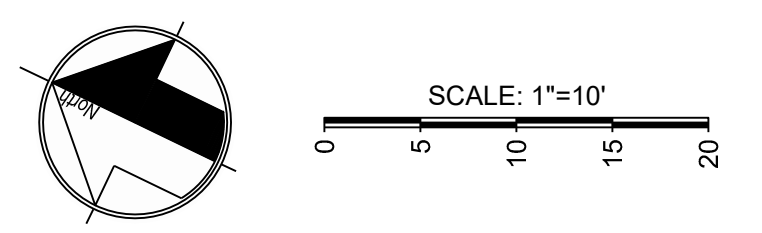
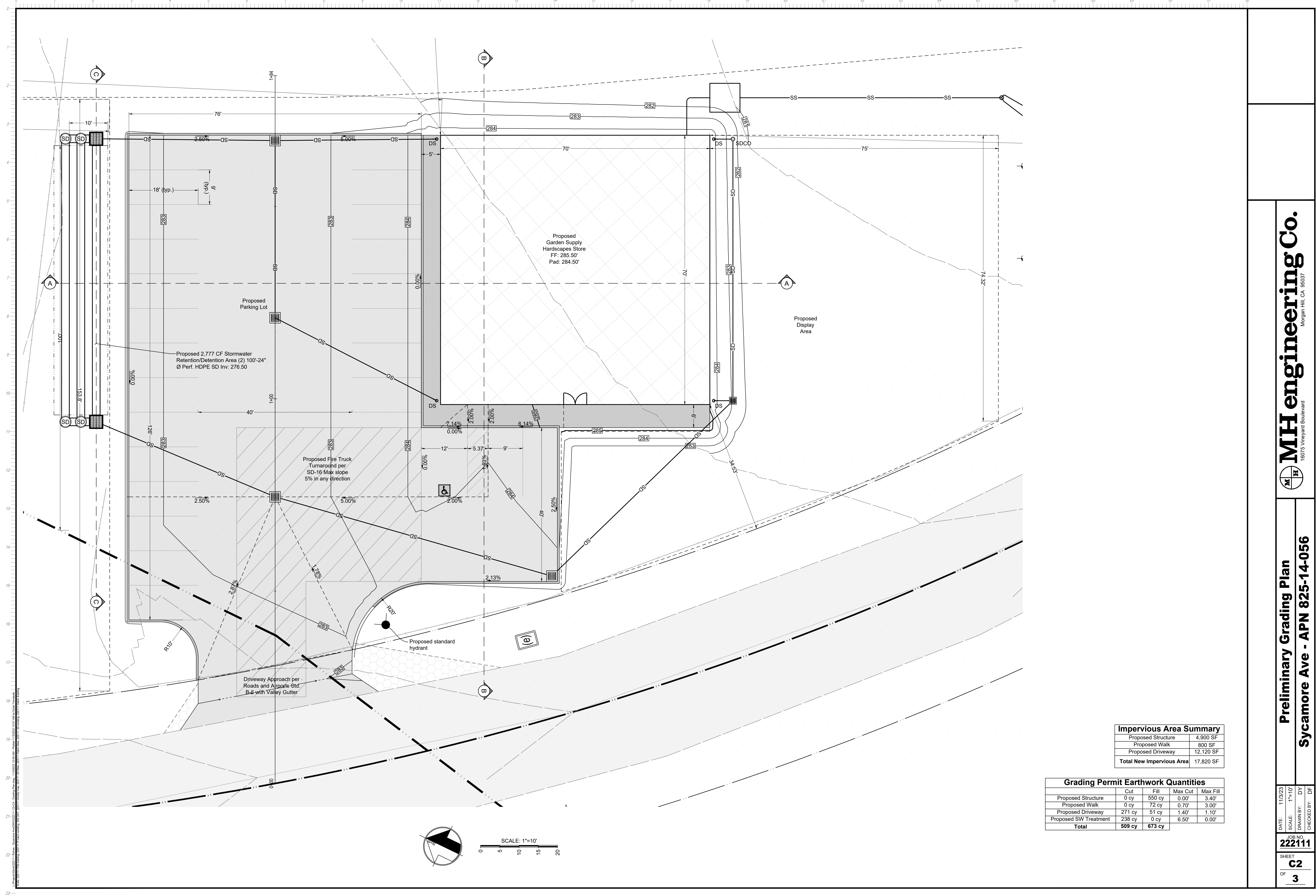
Basis of Bearings: The bearings shown on this map are based on the centerline of Center Avenue as recorded as South 23° 49' 00" East, on that record of survey thereof recorded in Book 806 of Maps at Page 39, Santa Clara County Records.



MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Site Plan
Sycamore Ave - APN 825-14-056

DATE: 11/13/23
SCALE: 1"=50'
DRAWN BY: DY
JOB NO: 222111
SHEET: C1
OF: 3
CHECKED BY: DF

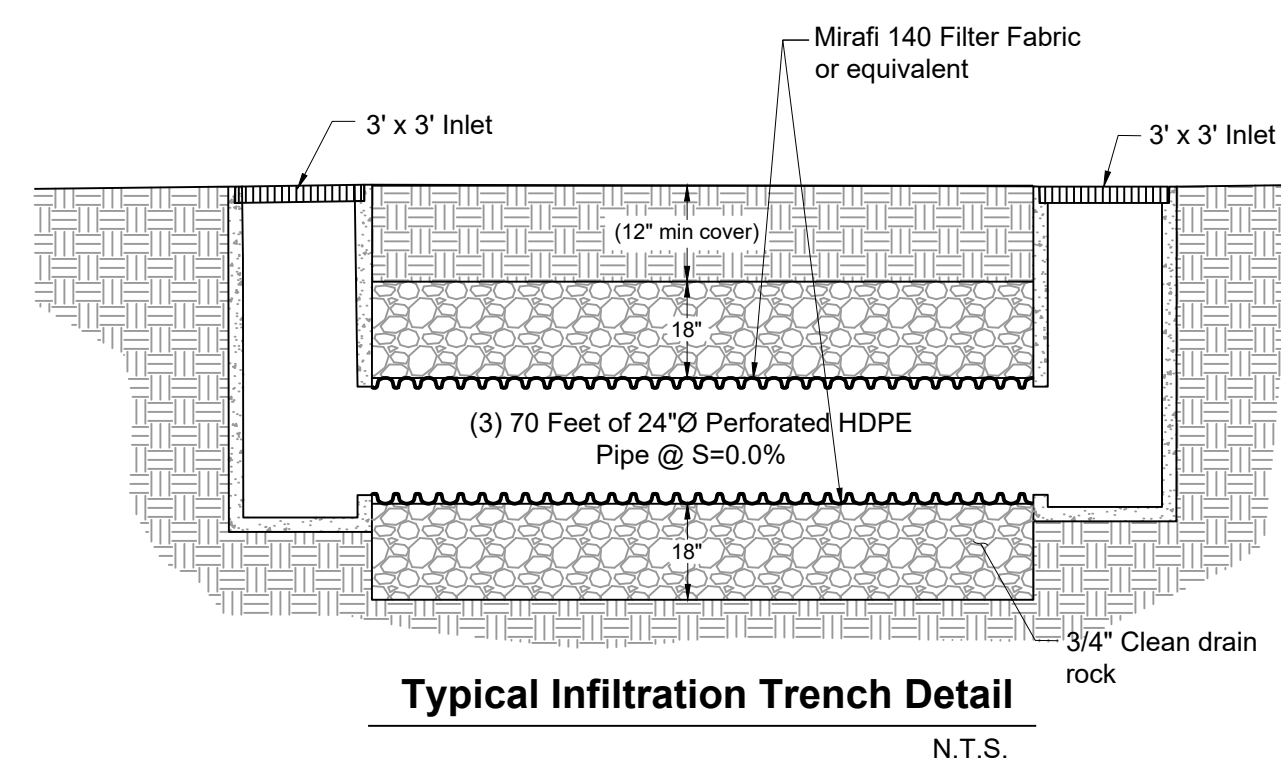
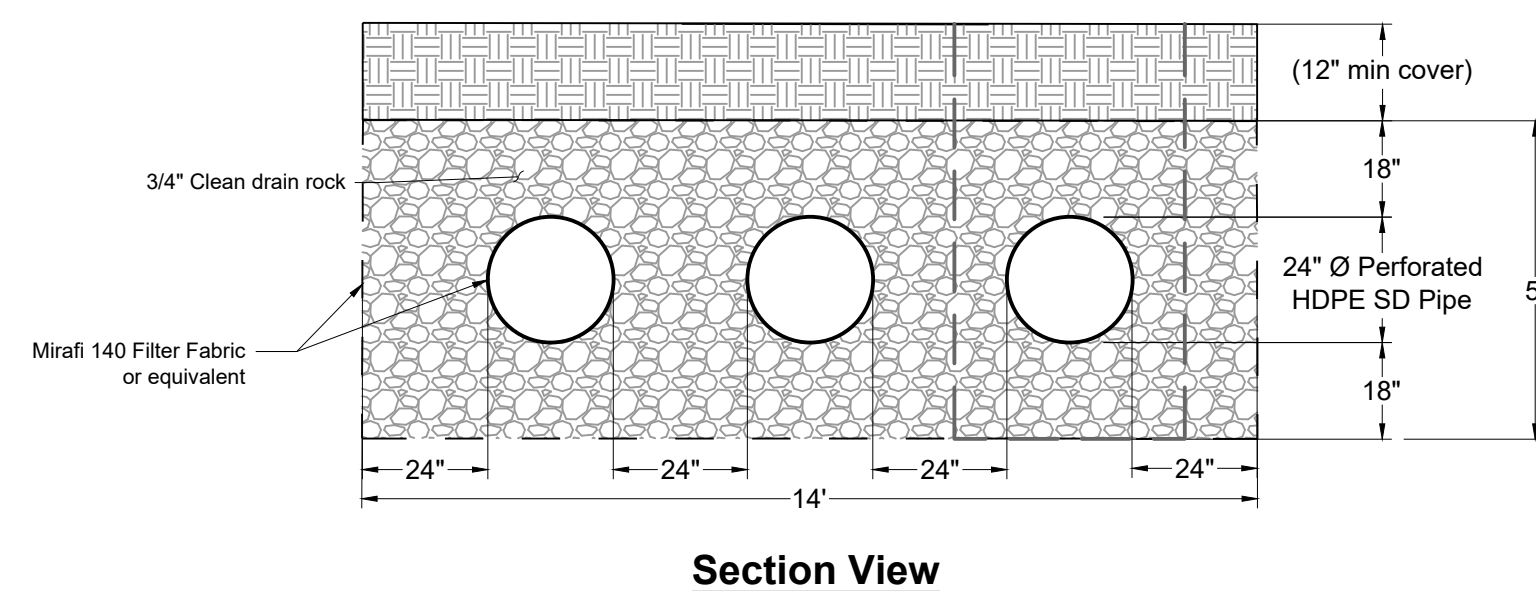
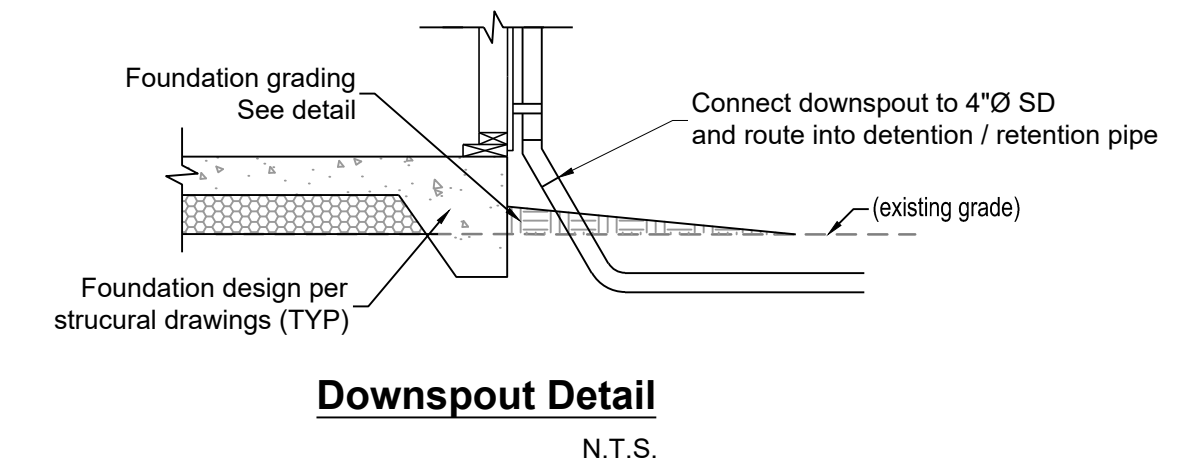
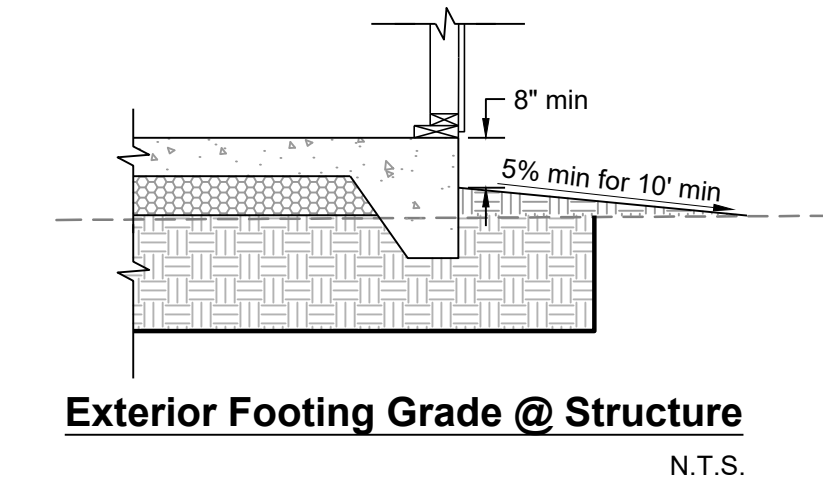
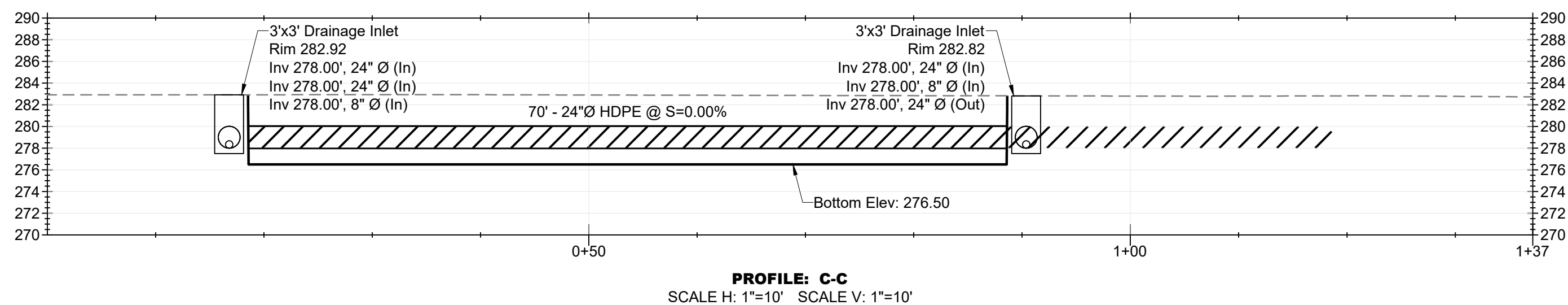
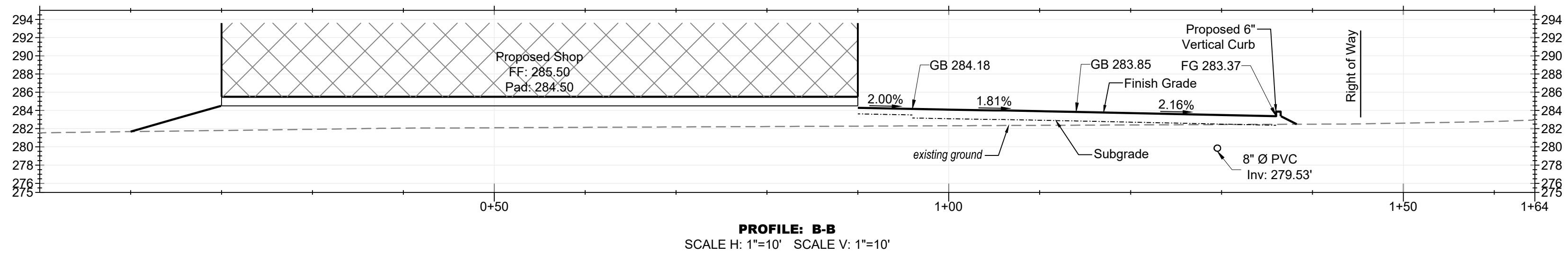
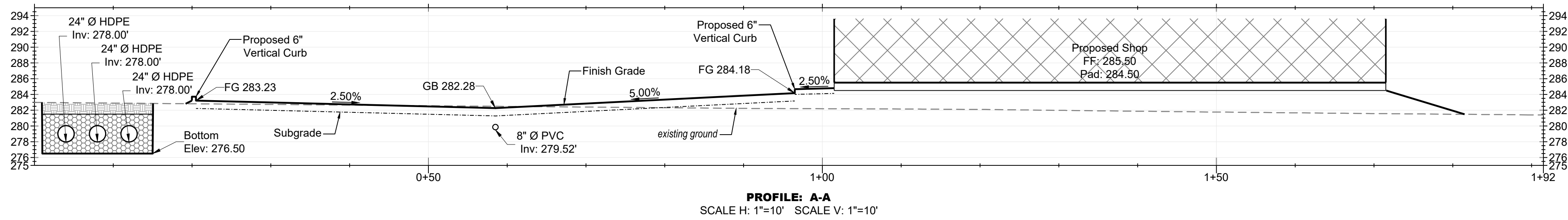
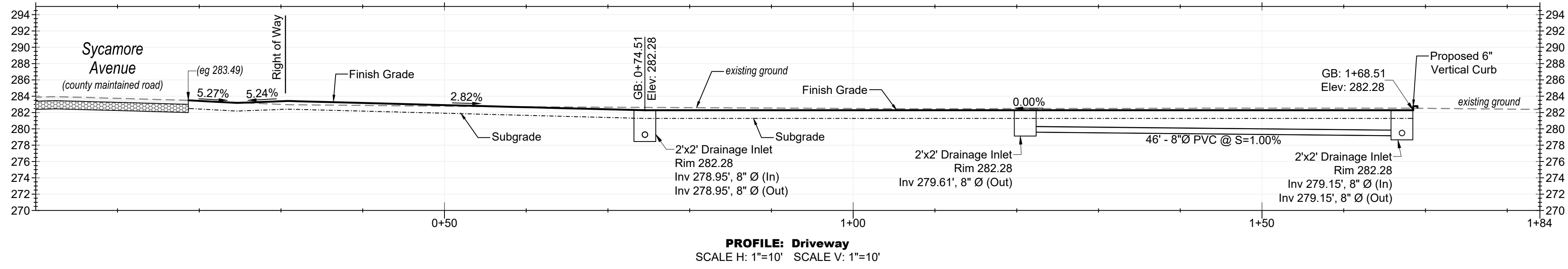


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REVISIONS	BY



KAREN AITKEN & ASSOCIATES
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 Calif. Reg. #2239 (408) 842-0245
 karen@KAA.Design

SAN MARTIN LANDSCAPE SUPPLY
 Sycamore Ave, San Martin, CA
LANDSCAPE PLAN



DATE 10-27-23
 SCALE 1"=20'-0"
 DRAWN SL-PD
 JOB SAN MARTIN

L-1



Refer to Sheet L-2 for this Area

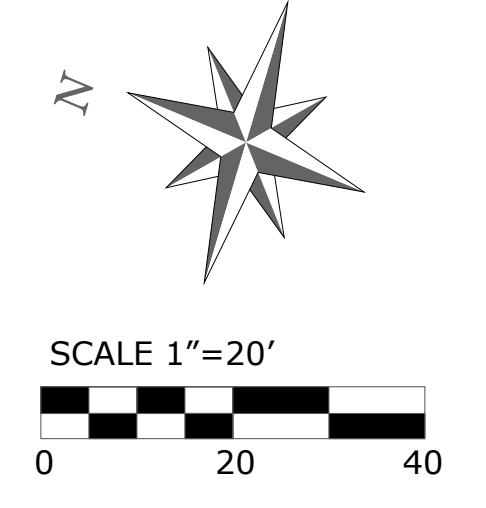
Plant Legend					
Botanical	Common	Size	Qty	Water	Remarks
Tree					
<i>Aesculus californica</i>	California Buckeye	24" box	6	Very Low, Low	
<i>Cercis occidentalis</i>	Western Redbud	24" box	3	Very Low	
<i>Platanus racemosa</i>	California Sycamore	24" box	6	Medium, Extra in Summer	
<i>Platanus x acerifolia</i> 'Yarwood'	'Yarwood' Plane Tree	24" box	7	Medium	
<i>Quercus agrifolia</i>	Coast Live Oak	24" box	35	Very Low, Low	
Shrub					
<i>Arctostaphylos bakeri</i> 'Louis Edmunds'	Louis Edmunds Manzanita	5 gal	39	Low	
<i>Ceanothus thyrsiflorus</i> 'Skylark'	Skylark Mountain Lilac	5 gal	29	Low	
<i>Heteromeles arbutifolia</i>	Toyon	5 gal	10	Very Low, Low	
<i>Myrica californica</i>	Pacific Wax Myrtle	5 gal	21	Low	
<i>Salvia clevelandii</i>	Cleveland Blue Sage	5 gal	39	Very Low, Low	
Grass					
<i>Calamagrostis</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	5 gal	30	Medium, Extra in Summer	
<i>Chondropetalum tectorum</i>	Cape Rush	5 gal	18	Low	
<i>Juncus patens</i>	California Gray Rush	1 gal	85	Low, Medium	



Platanus x acerifolia 'Yarwood' 'Yarwood' Plane Tree 24" Box 40-50' x 30-45' (At Maturity) Growth Rate: Fast
Platanus racemosa California Sycamore 24" Box 40-50' x 30-45' (At Maturity) Growth Rate: Fast
Aesculus californica California Buckeye 24" Box 15-40' x 15-40' (At Maturity) Growth Rate: Slow
Quercus agrifolia Coast Live Oak 24" Box 20-70' x 20-70' (At Maturity) Growth Rate: Moderate
Cercis occidentalis Western Redbud 24" Box 15-20' x 15-20' (At Maturity) Growth Rate: Moderate



Salvia clevelandii Cleveland Blue Sage 5 Gal. 3-5' x 5-8" (At Maturity) Growth Rate: Fast
Myrica californica Pacific Wax Myrtle 5 Gal. 20-30" x 10-20" (At Maturity) Growth Rate: Moderate
Heteromeles arbutifolia Toyon 5 Gal. 6-20' x 6-10' (At Maturity) Growth Rate: Moderate
Arctostaphylos bakeri 'Louis Edmunds' Louis Edmunds Manzanita 5 Gal. 6-8' x 4-6' (At Maturity) Growth Rate: Slow
Ceanothus 'Skylark' Dark Star California Lilac 5 Gal. 4-6' x 5' (At Maturity) Growth Rate: Fast
Chondropetalum tectorum Cape Rush 5 Gal. 3' x 3' (At Maturity) Growth Rate: Fast
Calamagrostis 'Karl Foerster' Karl Foerster Feather Reed Grass 5 Gal. 2'-6' x 2' (At Maturity) Growth Rate: Fast
Juncus patens California Gray Rush 1 Gal. 1'-2' x 3'-5" (At Maturity) Growth Rate: Fast



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REVISIONS	BY



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 Sycamore Ave, San Martin, CA
LANDSCAPE PLAN



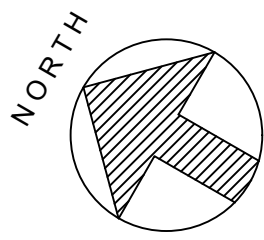
DATE 10-27-23
 SCALE 1"=20'-0"
 DRAWN SL-PD
 JOB SAN MARTIN

L-2



Powell
 APN 815-14-056
 905 E San Martin Ave

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1

2

3

4

A

B

C

D

20'-0"

25'-0"

25'-0"

25'-0"

70'-0"

20'-0"

25'-0"

STORAGE

OFFICE 3

OFFICE 2

OFFICE 1

RESTROOM

OFFICE 4

OFFICE 5

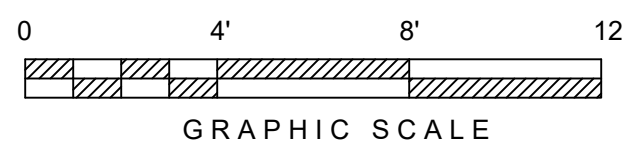
REINFORCED CONCRETE FLOOR SLAB

SHOWROOM

MEETING

ENTRY

FLOOR PLAN



ISSUED / REVISED

28 JUNE 2023



REID LERNER ARCHITECTS
7880 MONTEREY STREET #105
GILROY, CALIFORNIA 95020
www.reidlerner.com
408.842.3942

NEW AGRICULTURAL BUILDING
GARDEN SUPPLY HARDSCAPES
905 EAST SAN MARTIN AVENUE
SAN MARTIN, CALIFORNIA

FLOOR PLAN

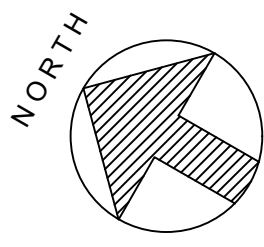
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DRAWN: RL

CHECKED: LERNER

A-3



1

2

3

4

A

B

C

D

20'-0"

25'-0"

25'-0"

70'-0"

25'-0"

70'-0"

20'-0"

25'-0"

SLOPE

SLOPE

SLOPE

SLOPE

RIDGE

RIDGE

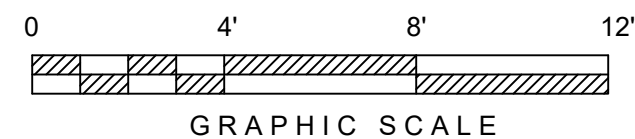
RIDGE

METAL RIDGE VENT

SKYLIGHT =
TRANSLUCENT ROOF PANEL

FORMED METAL ROOFING

FORMED METAL GUTTER



ROOF PLAN

ISSUED / REVISED

28 JUNE 2023



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NEW AGRICULTURAL BUILDING
GARDEN SUPPLY HARDSCAPES
905 EAST SAN MARTIN AVENUE
SAN MARTIN, CALIFORNIA

ROOF PLAN

SCALE: 1 / 48

SCALE: 1/4" = 1'-0"

DRAWN: RL

CHECKED: LERNER

A-4



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905 EAST SAN MARTIN AVENUE
SAN MARTIN, CALIFORNIA

EXTERIOR ELEVATIONS

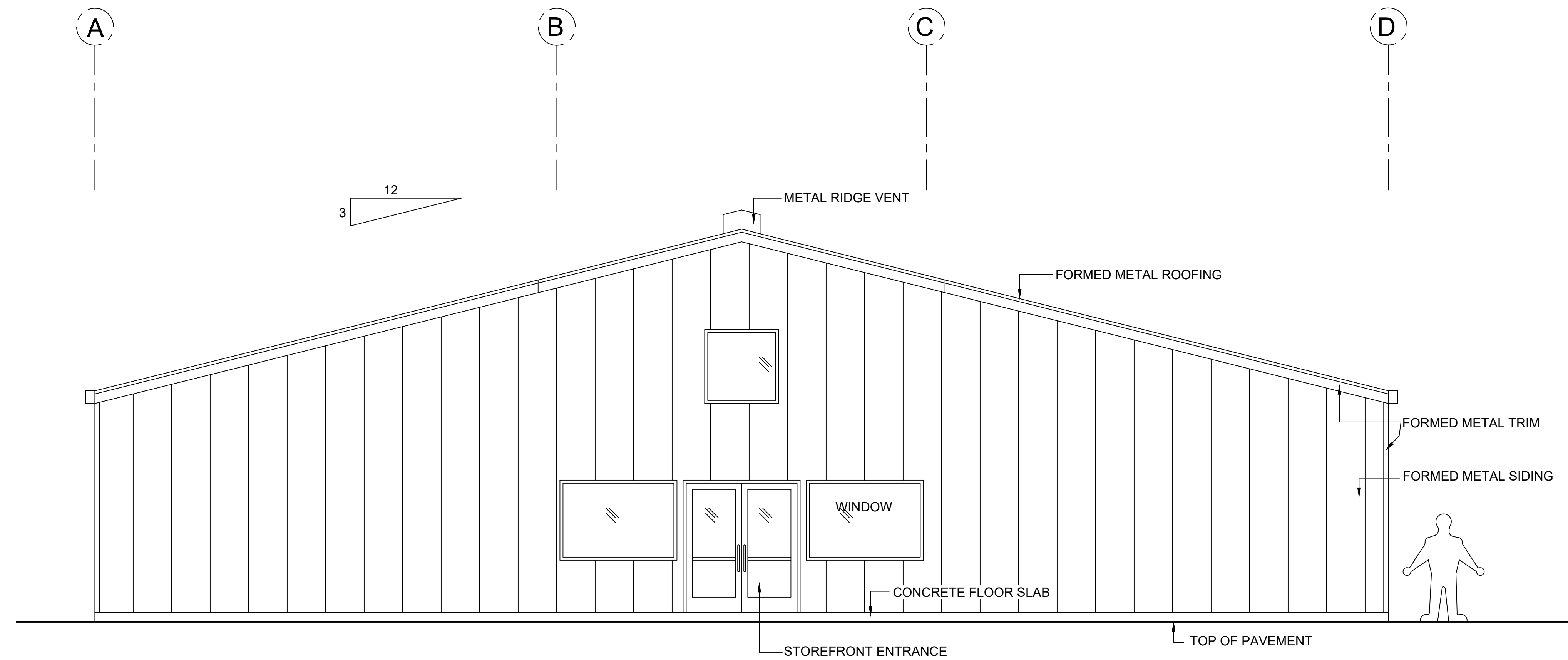
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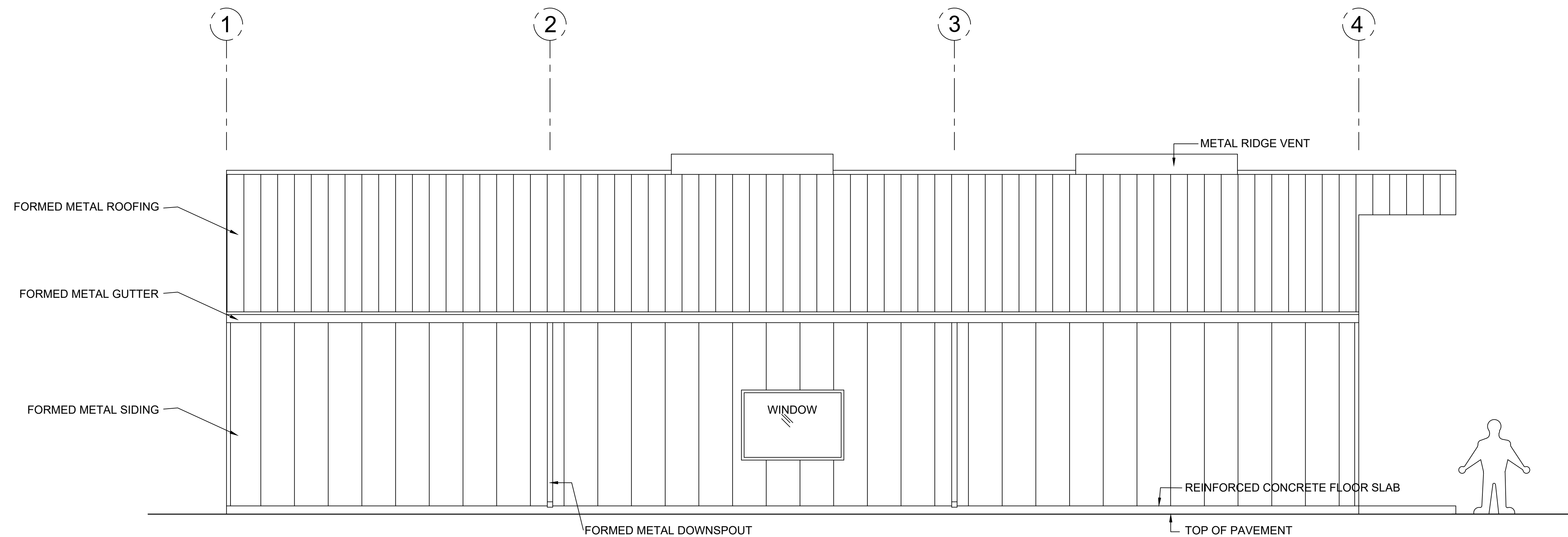
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CHECKED: LERNER

A-5



WEST ELEVATION = FRONT VIEW @ SYCAMORE AVENUE



EAST ELEVATION = SIDE VIEW



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SAN MARTIN, CALIFORNIA

EXTERIOR ELEVATIONS

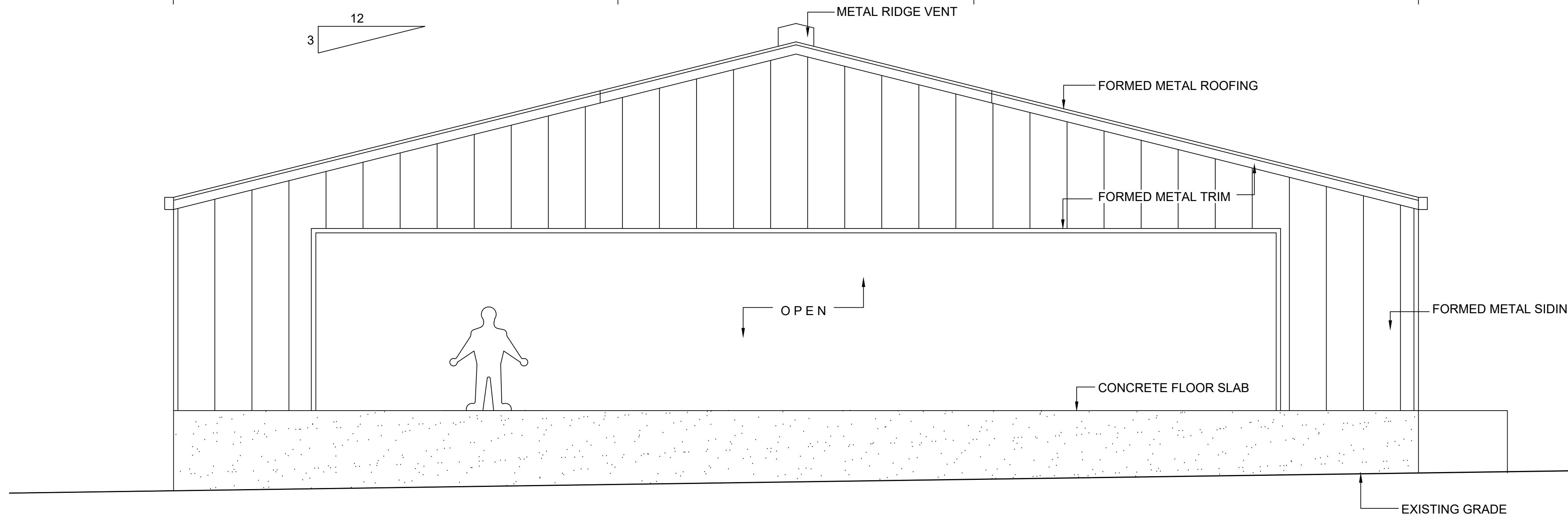
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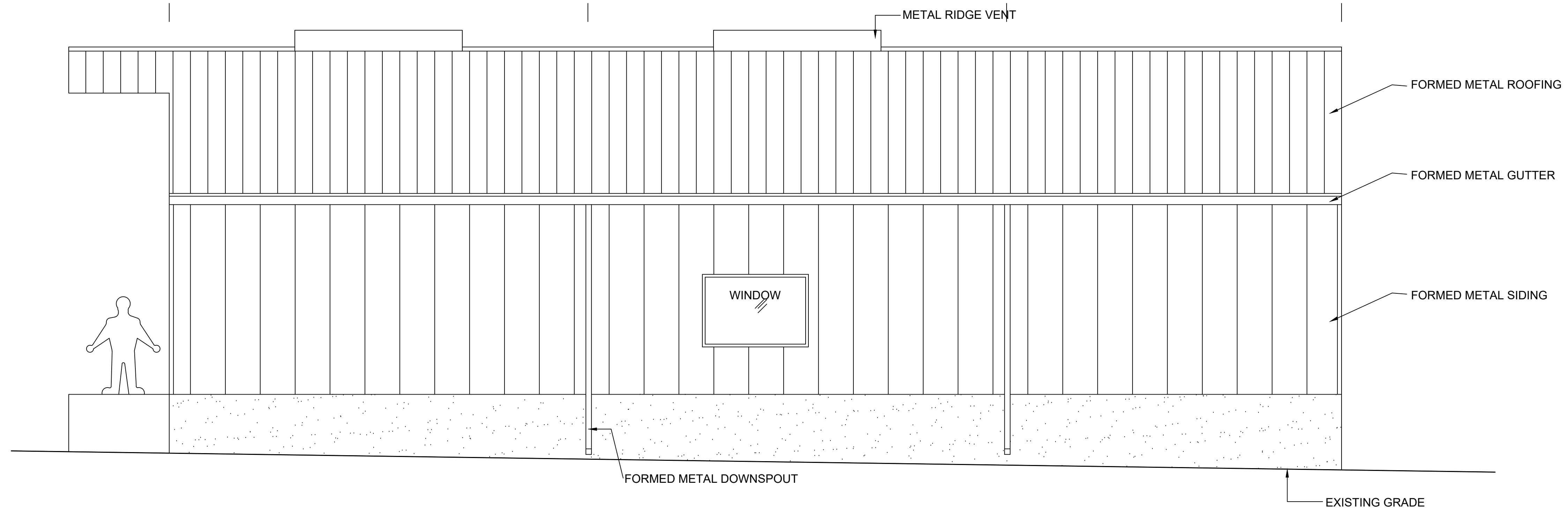
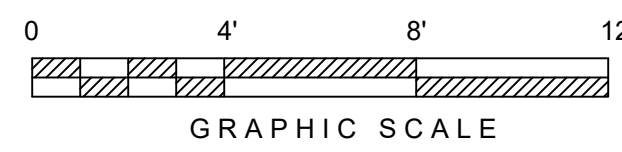
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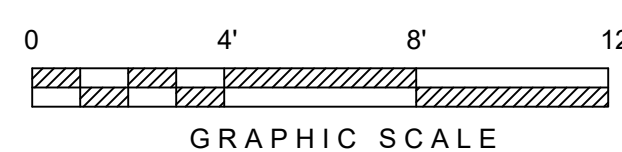
A-6



EAST ELEVATION = REAR VIEW



WEST ELEVATION = SIDE VIEW @ E SAN MARTIN AVENUE





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NEW AGRICULTURAL BUILDING
GARDEN SUPPLY HARDSCAPES
905 EAST SAN MARTIN AVENUE
SAN MARTIN, CALIFORNIA

BUILDING SECTIONS

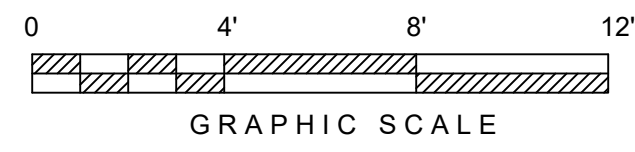
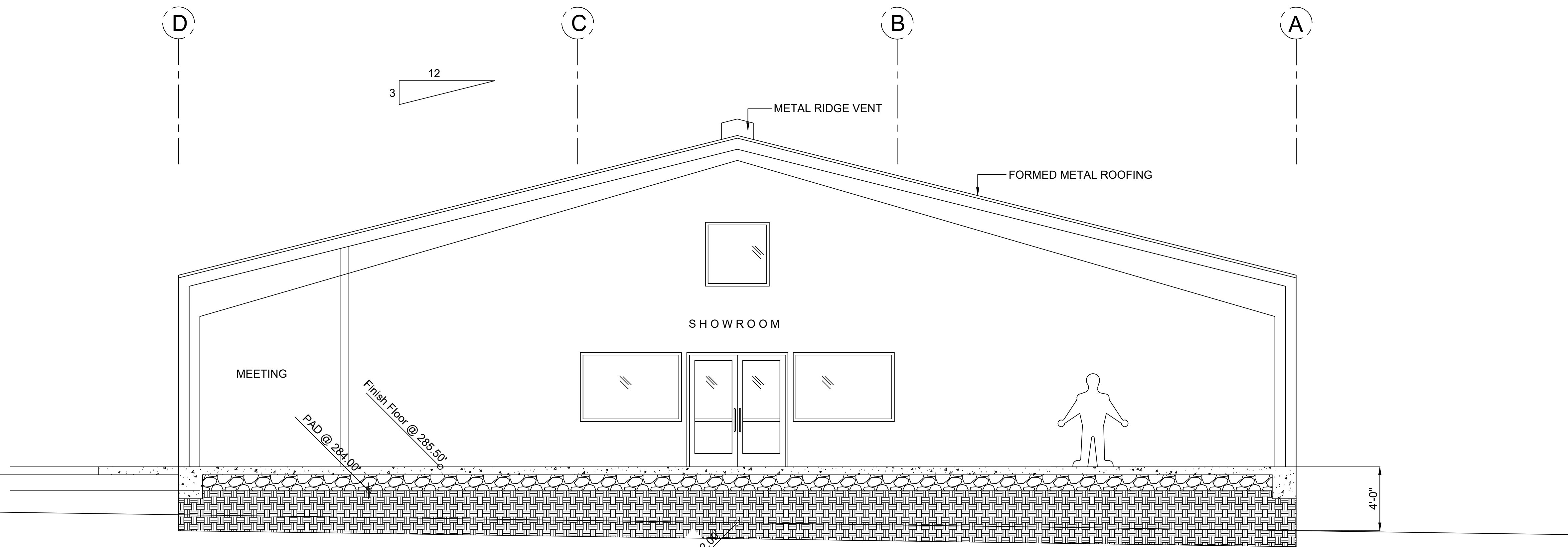
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SCALE: 1/4" = 1'-0"

DRAWN: RL

CHECKED: LERNER

A-7



BUILDING SECTION

Project Notes

1. This plan is a design of an OWTS to serve a commercial landscape supply store.
2. The store will have 8-10 full time employees and 3 to 4 part time employees.
3. Topographic survey performed by MH Engineering.
4. Grading and Drainage plan by MH Engineering.
5. Domestic water by San Martin Water.

Sizing Calculations

Commercial Store - Fourteen (14) Employees

Stabilized Percolation Rate (MPI)

$P1 = 10.85, P2 = 8.54, P3 = 25.23, P4 = 5.46, P5 = 5.25, P6 = 0.7$

Average Stabilized Percolation Rate = 10 MPI

Wastewater Application Rate = 0.80 GPD/SQFT

1. Wastewater design flow = 210 GPD
2. Stabilized percolation rate = 10 MPI
3. Wastewater application rate = 0.80 GPD/SQFT
4. Width of Trench = 36 Inches
5. Rock below perforated drain pipe = HC Infiltrator Chambers
6. Infiltration area per linear foot = 4.0

Design Calculations

$210 \text{ GPD} / 0.80 = 262.5$

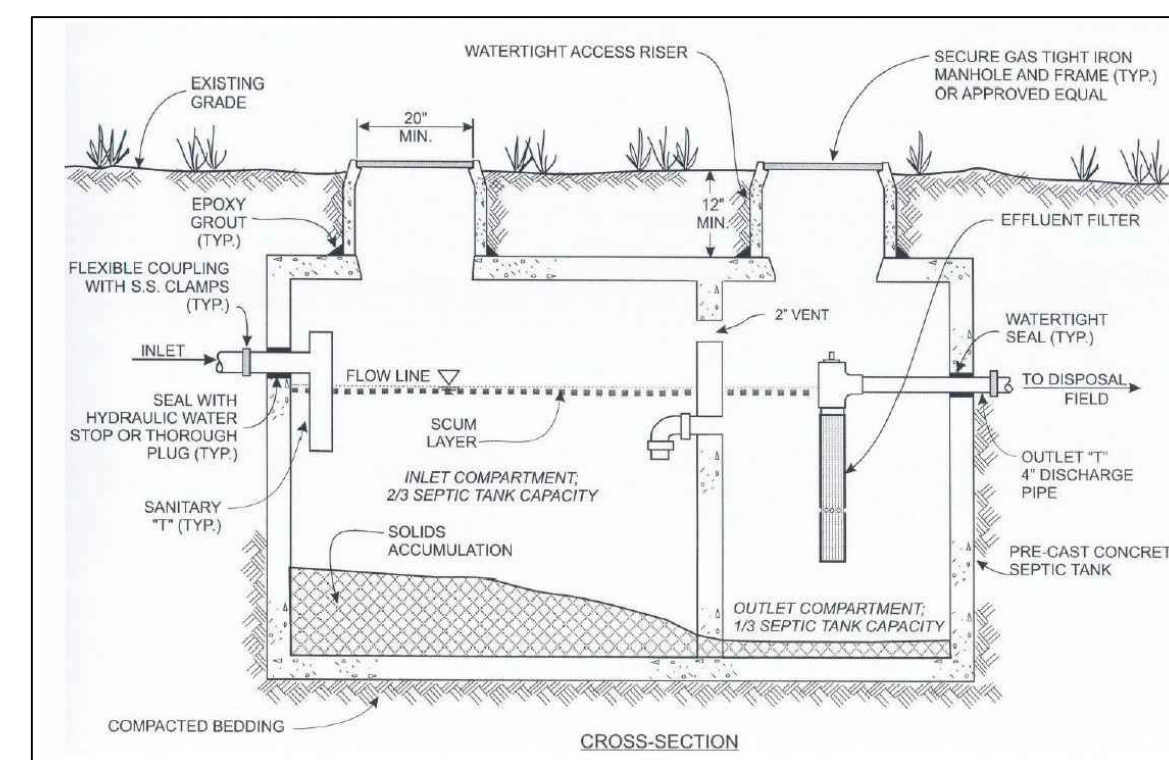
$262.5 / 4 = 65.625$

Dispersal Field Using Quick 4 Plus Infiltrator Chambers

Required = 42 LF + 42 LF

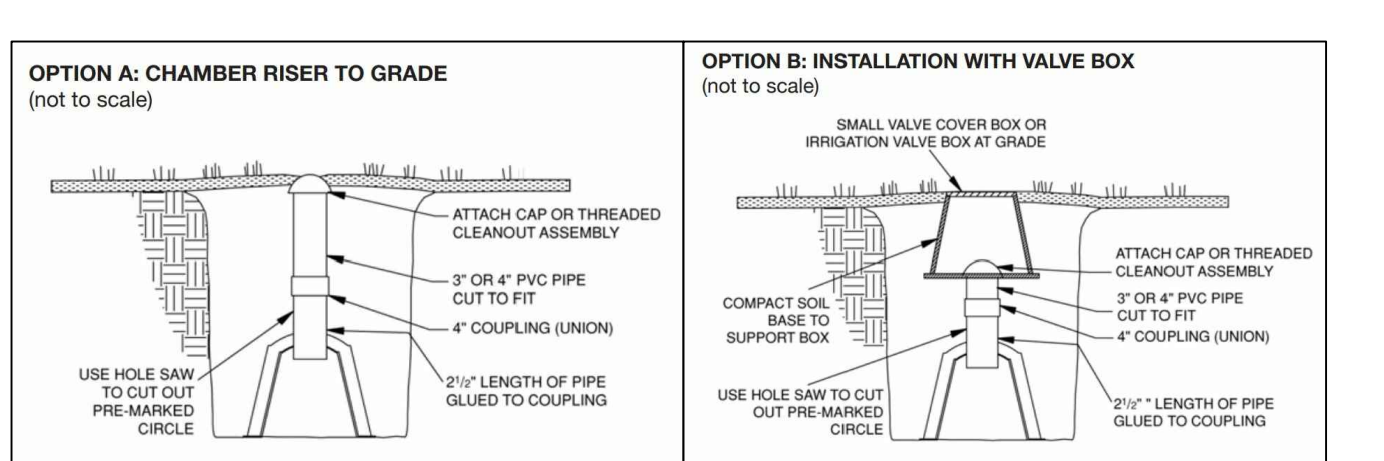
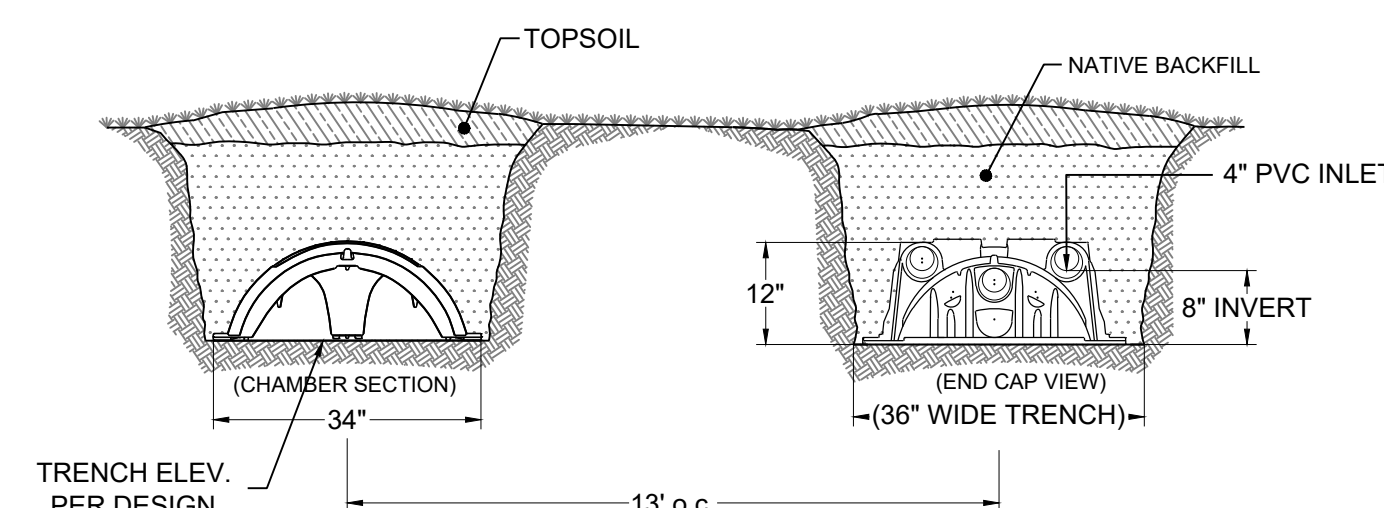
Construction Notes

1. Install Chapin Precast "Pinnacle" septic tank Model IPS-1500 with Orenco riser adapters and effluent filter cartridge Model PL-68 on outlet.
2. The manhole riser covers shall extend to the ground surface with bolt down lids.
3. The septic tank must pass the water tightness test required by DEH.
4. Install Bull Run diversion valve in location shown. The diversion valve shall be enclosed (covered) by a Oldcastle Precast Underground box (10"x16") or equal with waterproof cover.
5. Each outlet of the diversion valve shall connect to a 4" PVC pipe as shown.
6. Install dual dispersal fields of 44 linear feet of Quick 4 plus Infiltrator Chambers each side of the diversion valve as shown.
7. Trenches shall be 36 inches wide and 3 feet deep.
8. Install inspection port at end of each trench and cover each riser with a utility box for ease of access and protection from damage.
9. No portion of the dispersal field shall be within 100 feet of a well.

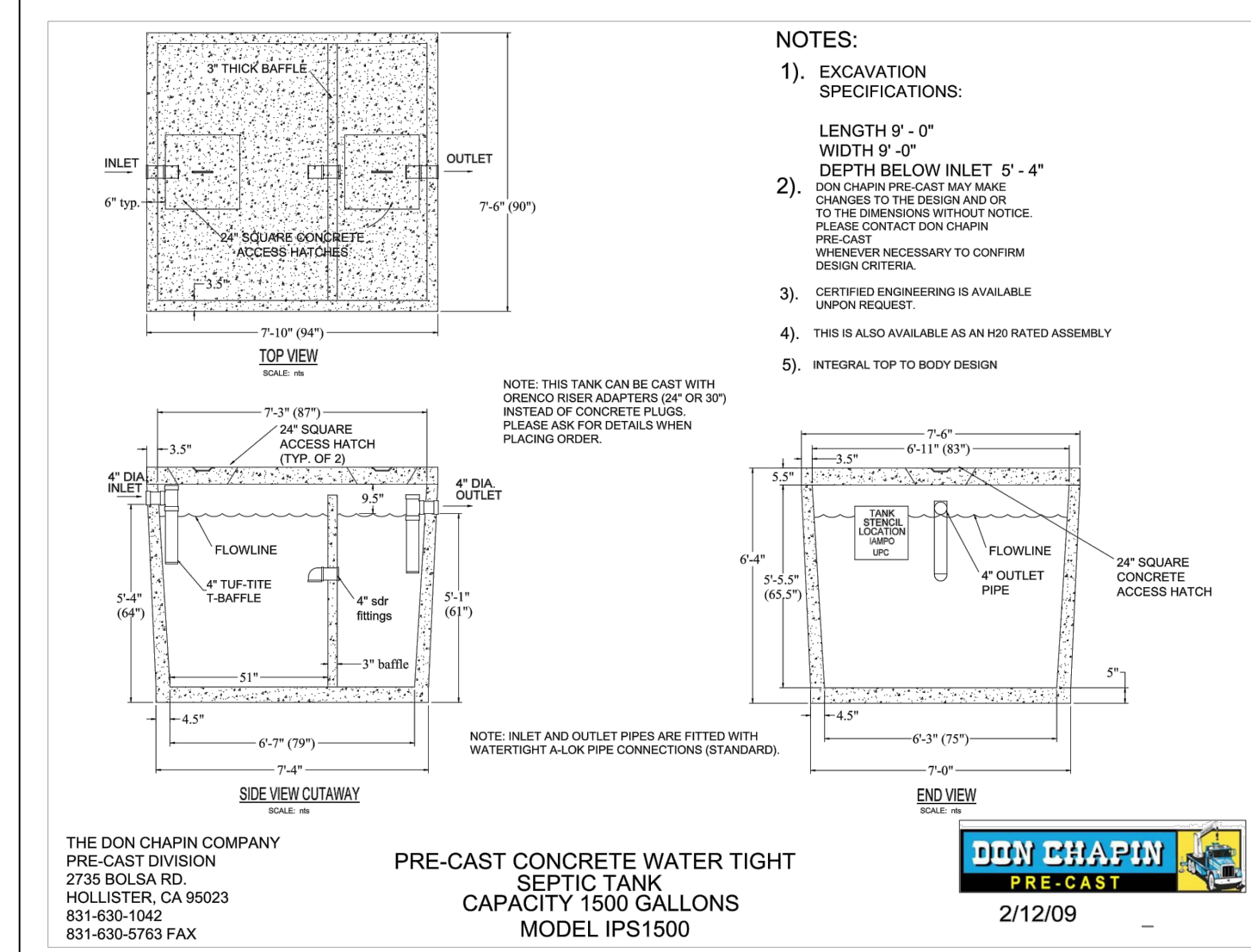


INFILTRATOR WATER TECHNOLOGIES

QUICK4 PLUS STANDARD CHAMBER
TYPICAL TRENCH DETAIL
SECTION VIEW
(NOT TO SCALE)



Typical Inspection Riser Detail



Applicant:
Vic Riches
395 Del Monte Center #307
Monterey, CA
415-559-7864
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Engineer:
David L. Faria, RCE 92432
1656-100 Cienega Road
Hollister, CA 95023
602.515.7650
david@fariaengineering.com

County of Santa Clara - Department of Environmental Health
SOIL PERCOLATION TEST RECORDED MEASUREMENTS

OWNER/APPLICANT: Vic Riches
LOCATION: Sycamore Ave
CONTACT PERSON: David Faria
SR# 05-29230
SR# 05-29230
DATE: 9/17/23

TEST #	DEPTH (FEET)	PERCOLATION RATE (MPI)	TESTER
1	0-5.0	10.85	DAVID FARIA
2	5.0-8.5	8.54	DAVID FARIA
3	8.5-16.0	25.23	DAVID FARIA
4	16.0-24.5	5.46	DAVID FARIA
5	24.5-33.0	5.25	DAVID FARIA
6	33.0-41.5	0.7	DAVID FARIA

TEST PIT LOG

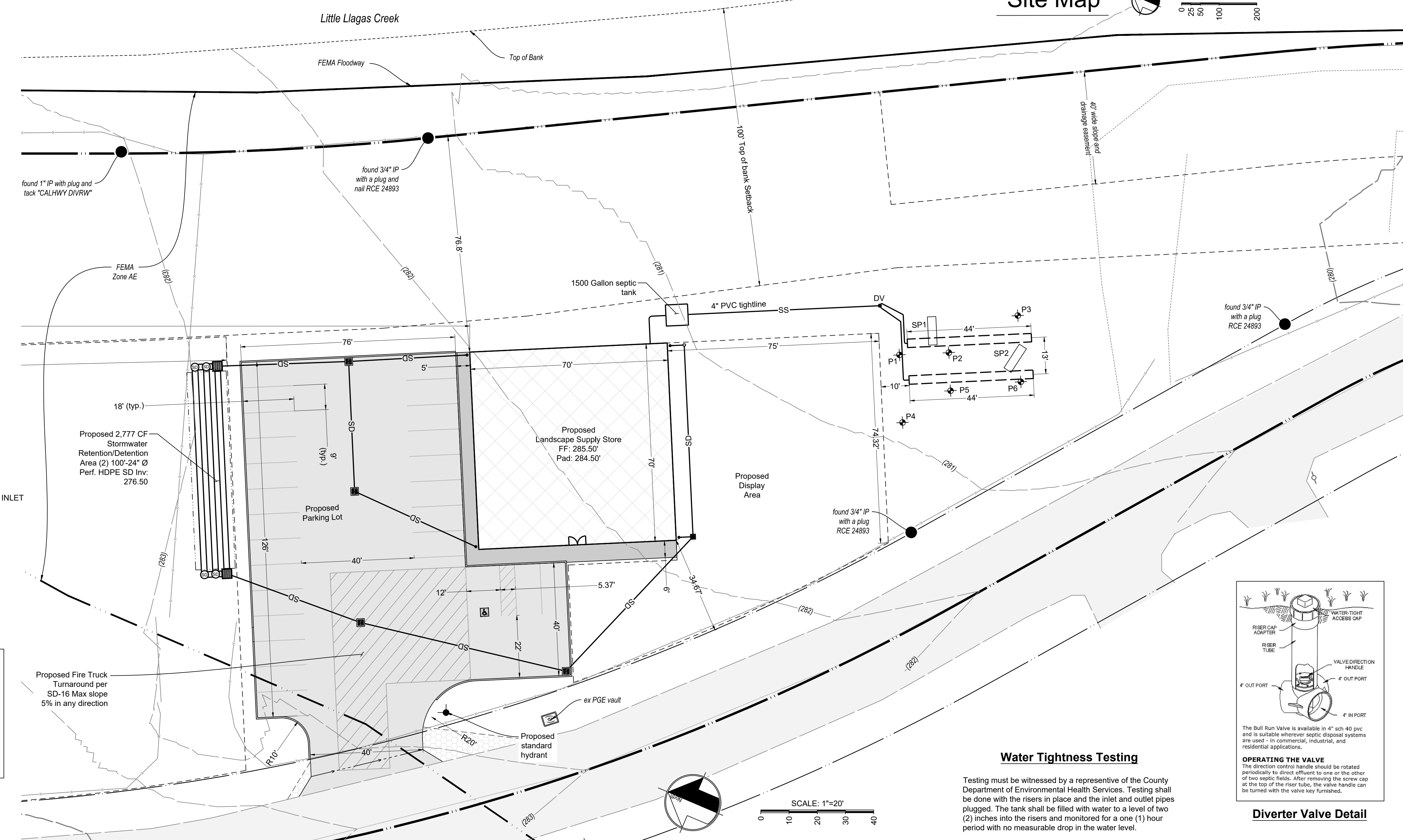
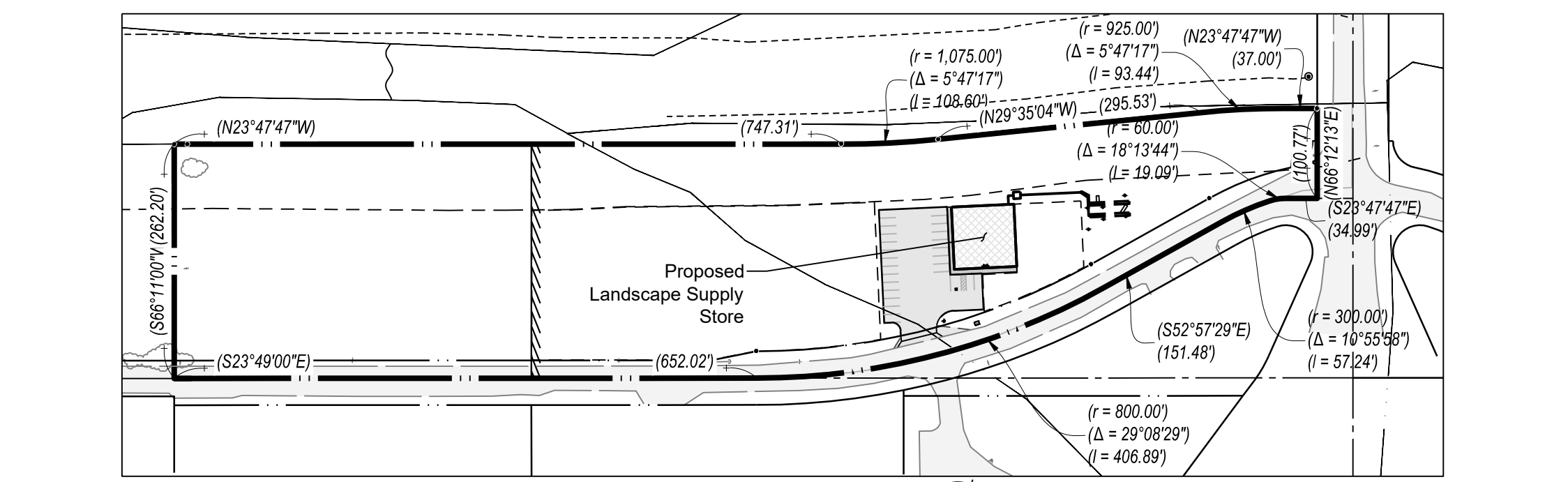
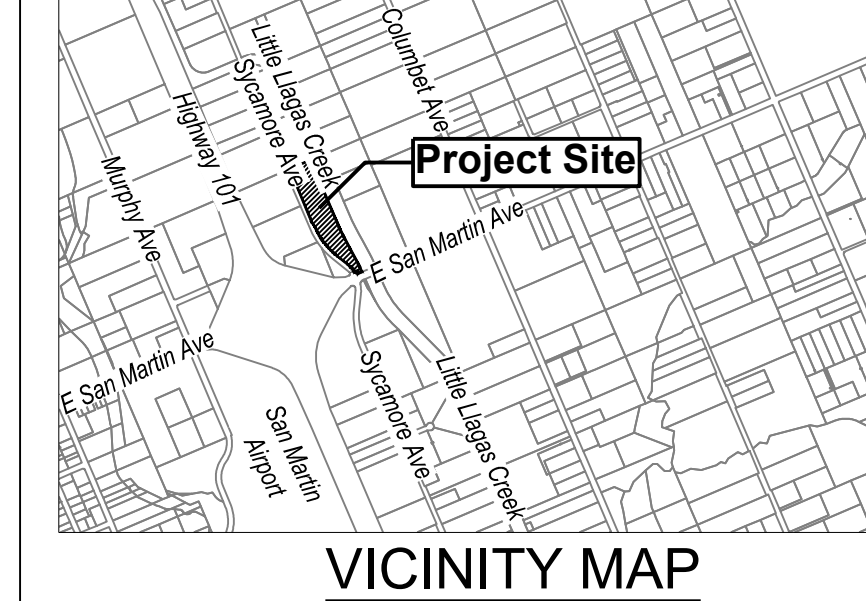
TP-1

Depth (feet)	Description
0 - 5.0	Clay, silty, with some fine-grained sand, increasing below a depth of 4.0 feet and becoming friable, dry to damp, dark gray (CL-ML)
5.0 - 8.5	Gravel, sandy grading to gravelly sand, slight clay matrix, damp, dark gray (GM-SM)
8.5 - 16.0	Clay, gravelly, with cobbles, sticky. Grades to gravelly clay with cobbles below depth of 12.5 feet; moist. Wet at 13.0 feet to total depth explored, and becoming sandy, tan to light tan (CL-GC)

TEST PIT LOG

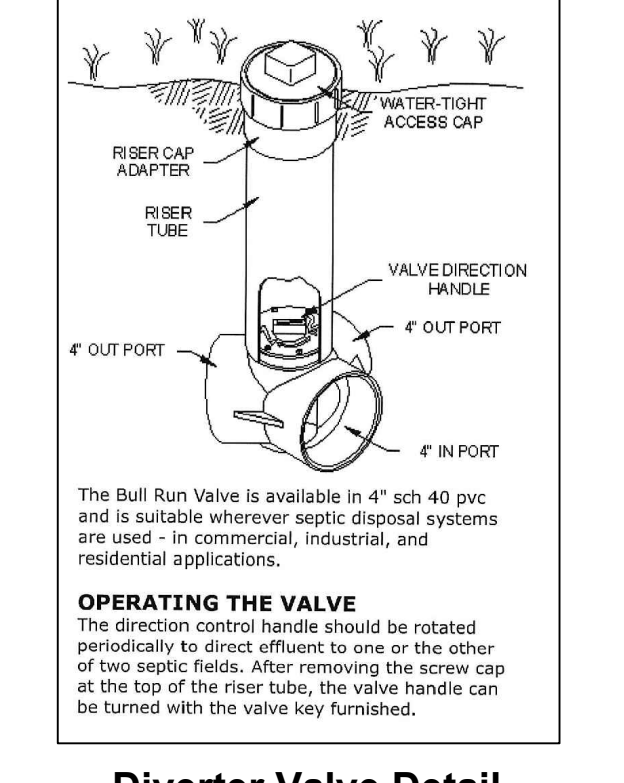
TP-2

Depth (feet)	Description
0 - 7.5	Clay, silty, with some fine-grained sand, scarce gravel. Sand increasing below a depth of 5.0 feet and becoming friable, dry to damp, dark gray to black (CL-ML)
7.5 - 15.0	Clay, gravelly, grading to clayey and sandy gravel, damp to moist but wet below depth of 11.5 feet, continuing to depth of exploration. Some tan to brown silt clay inclusions noted below depth of 13.0 feet. Excavation caving at total depth (CL-GC)



Water Tightness Testing

Testing must be witnessed by a representative of the County Department of Environmental Health Services. Testing shall be done with the risers in place and the inlet and outlet pipes plugged. The tank shall be filled with water to a level of two (2) inches into the risers and monitored for a one (1) hour period with no measurable drop in the water level.



Diverter Valve Detail

Septic Plan
Sycamore Ave - APN 825-14-056

DATE: 10/11/2023
SCALE: 1" = 20'
DRAWN BY: DF
CHECKED BY: DF
JOB NO: 222111
SHEET 1 OF 1