

**Fire Notes:**

1. Fire Sprinklers are not proposed.
2. Property is located in the Local Response Area.
3. Property is not in the Wildland Urban Interface (WUI).
4. Driveway width will be maintained at 12' minimum with a clear height of 13'.
5. Existing access capable of supporting 75,000 lbs.
6. All proposed driveways to be made of an all weather surface capable of supporting 75,000 lbs.
7. All proposed driveways shall have a max. slope of 15%.

**Applicant/Owner:**

Bruce Field  
15000 Seymour Ave  
San Martin, CA  
408-218-0554  
bfield@flagshipinc.com

**Engineer:**

David L. Faria, RCE 92432  
MH Engineering  
16075 Vineyard Blvd.  
Morgan Hill, CA 95037  
408.779.7381  
davidf@mhengineering.com

**Project Information:**

APN 825-07-026  
Present Use: Residential A-20Ac-sr  
Proposed Use: Residential A-20Ac-sr  
Present Zoning: As Shown  
Existing Improvements: ex well, ex OWTS, ex PGE  
Water: ex OWTS, ex PGE  
Sanitary Sewer: LRA  
Gas & Electric: N/A  
Fire Responsibility Area: Rural Development Not Covered  
HCP Area: Flood  
Wildland Urban Interface: 2.0 ac  
Hazard Zone(s): 1.9 ac  
Gross Area:  
Net Area:

**Boundary Note:** Property lines shown on this plan are based on record data and boundary monumentation measured to date.

**Flood Zone:** The property lies wholly in Zone AE per FEMA Firm Panel 06085C0626H, effective May 17, 2009.

**Basis of Bearings:** The bearings shown on this map are based on the centerline of Seymour Avenue as found monumented and recorded as South 23°49' East, in F-1 of Maps, Page 1, Santa Clara County Records.

**Benchmark:** Elevations shown on this plan are based on Santa Clara Valley Water District Benchmark BM535, brass disk on northerly side of Tennant Avenue; 230 feet easterly of the centerline intersection of Tennant Avenue and Hill Road; on top of the northwesterly 10 inch wide wing wall for small bridge; 0.9 feet easterly of the westerly end of wall. Unincorporated Santa Clara County. ELEVATION = 340.16' (NAVD89)

**Impervious Area Summary**

Description	Proposed Area (SF)
Proposed Garage	5000
Proposed Driveway	11889
<b>Total Impervious Area</b>	<b>16889</b>

**Floor Areas**

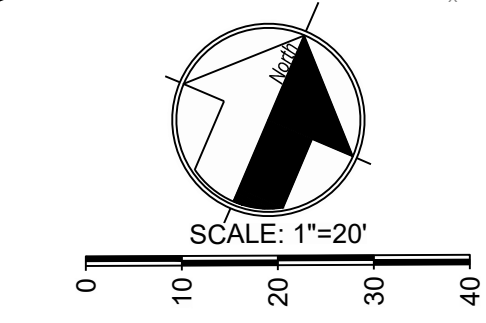
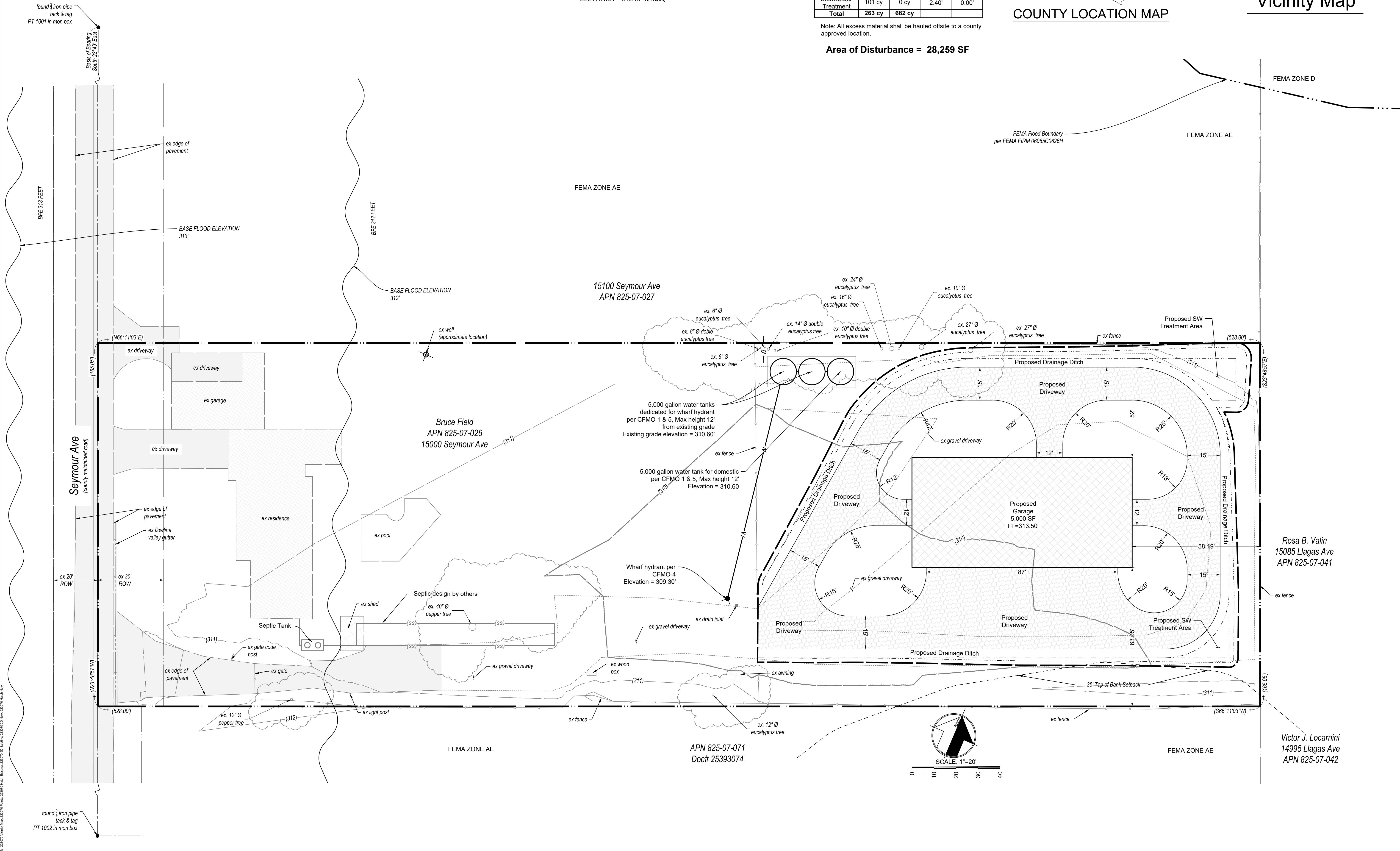
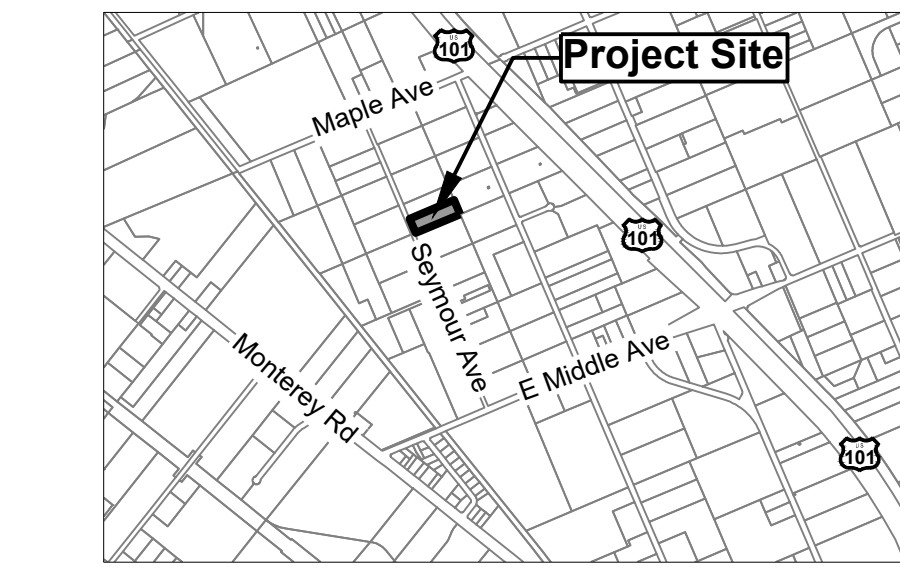
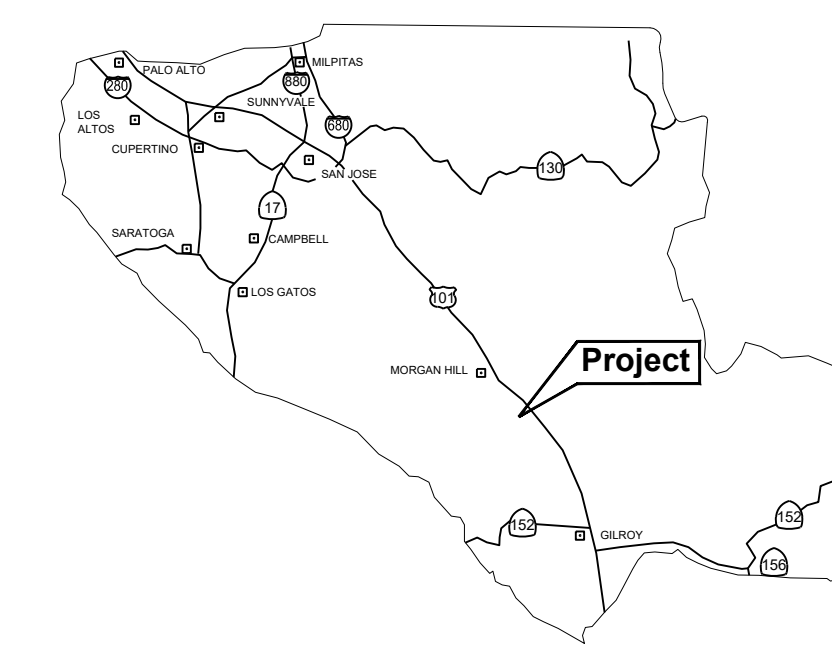
Description	Area (SF)
Proposed Garage	5000
<b>Total Floor Area</b>	<b>5000</b>

**Earthwork Quantities**

Description	Cut	Fill	Max Cut	Max Fill
Garage	0 cy	492 cy	0.00'	2.70'
Driveway	162 cy	190 cy	1.00'	2.65'
Stormwater Treatment	101 cy	0 cy	2.40'	0.00'
<b>Total</b>	<b>263 cy</b>	<b>682 cy</b>		

Note: All excess material shall be hauled offsite to a county approved location.

**Area of Disturbance = 28,259 SF**



**MH engineering Co.**  
16075 Vineyard Boulevard  
Morgan Hill, CA 95037

**Field - Site Plan**  
**15000 Seymour Ave - APN 825-07-026**

DATE: 11/21/23  
SCALE: As noted  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
JOB NO: **223070**  
SHEET: **C1**  
OF: **3**

Rosa B. Valin  
15085 Llagas Ave  
APN 825-07-041

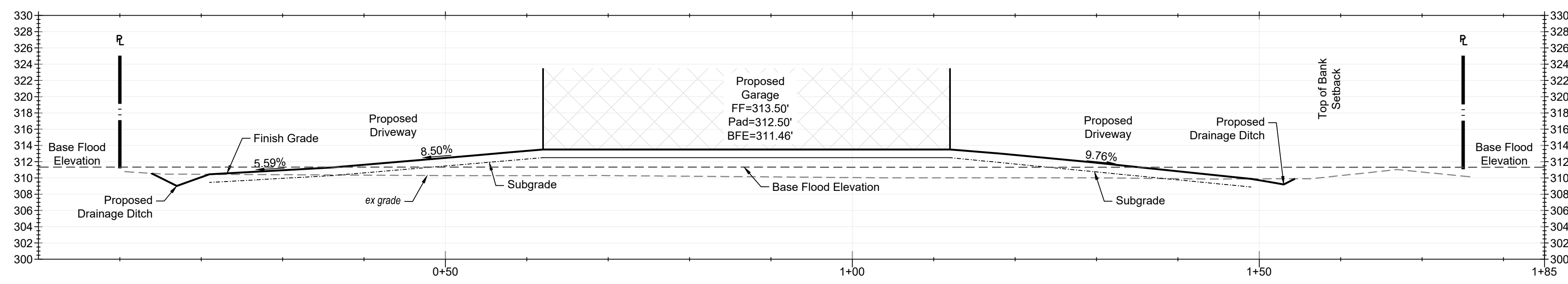
Victor J. Locarni  
14995 Llagas Ave  
APN 825-07-042

found 1/2 iron pipe  
tack & tag  
PT 1001 in man box

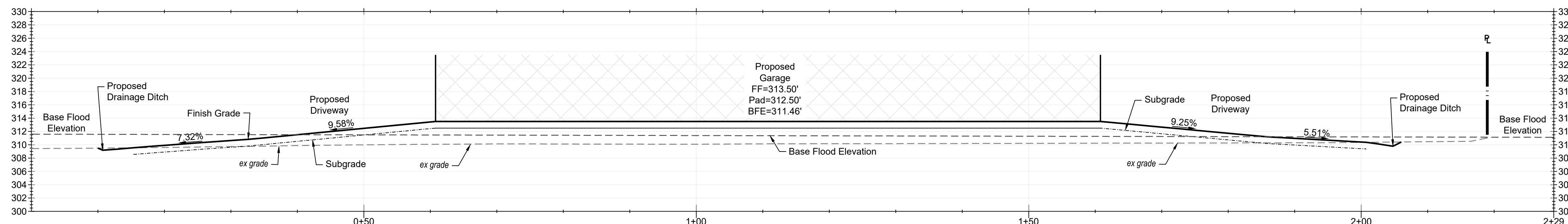
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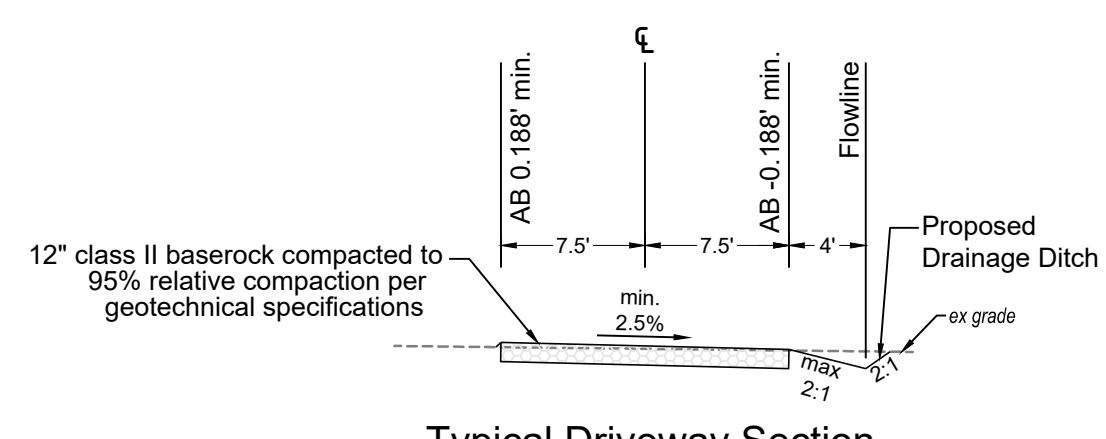
11/21/2023 2:17 PM  
**FOR PLANCHHECK ONLY**  
 REGISTERED PROFESSIONAL ENGINEER  
 DAVID L. FARIA  
 No. 92432  
 EXP. 06-30-2025  
 CIVIL  
 STATE OF CALIFORNIA  
**FOR PLANCHHECK ONLY**  
regular and as possible per contract



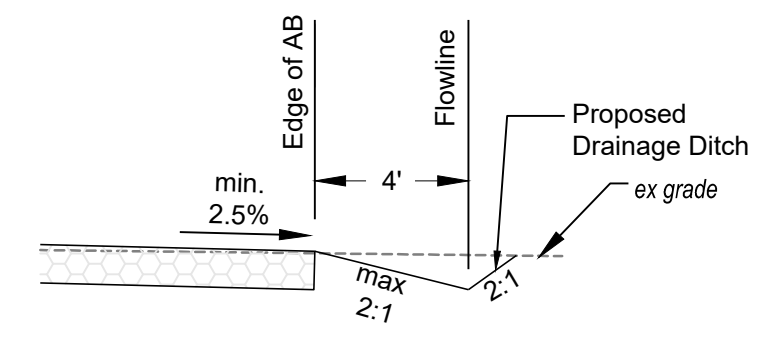
**PROFILE: A-A**  
 SCALE H: 1"=10' SCALE V: 1"=10'



**PROFILE: B-B**  
 SCALE H: 1"=10' SCALE V: 1"=10'



**Typical Driveway Section**



**Typical Drainage Ditch Detail**

**MIH engineering Co.**  
 16075 Vineyard Boulevard  
 Morgan Hill, CA 95037

**Sections & Details**  
**15000 Seymour Ave - APN 825-07-026**

DATE: 11/21/23  
 SCALE: As noted  
 DRAWN BY:  
 CHECKED BY:  
 JOB NO  
**223070**  
 SHEET  
**C3**  
 OF  
**3**

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