

County of Santa Clara

Department of Planning and Development

County Government Center, East Wing, 7th Floor

70 West Hedding Street

San Jose, CA 95110

Phone: (408) 299-5700

www.sccplandev.org



May 3, 2024

16075 Vineyard Blvd

Morgan Hill, CA 95037

Email: davidF@mhengineering.com

****Sent via email only****

FILE NUMBER: PLN23-229
SUBJECT: Grading Approval for proposed garage
SITE LOCATION: 15000 Seymour Ave, San Martin, CA 95046 (APN: 825-07-026)
DATE RECEIVED: April 4, 2024

Dear David Faria,

Your application for Grading Approval which was received on the above date is **incomplete**. For the application processing to resume, you must resolve the following issues and submit the information listed below.

Please note that the Department is only accepting electronic submittals. Please refer to procedures for planning resubmittals, available on the County website at:
<https://plandev.sccgov.org/how/apply-permit/planning-resubmittal-procedures>.

If you have any questions about the information being requested, you should first call the person whose name is listed as the contact person for that item. He or she represents a specialty or office and can provide details about the requested information.

**AN APPOINTMENT IS REQUIRED FOR THIS RESUBMITTAL.
PLEASE CALL ME AT (408) 299-6724 TO SCHEDULE AN APPOINTMENT.**

Please submit a complete revised plan set and a *written response* with the resubmittal materials, addressing the following items. All items must be addressed and included in the resubmittal.

PLANNING OFFICE

Contact Buyan Batbaatar at (408)299-6724 or buyan.batbaatar@pln.sccgov.org regarding the following comments:

1. Please provide the top of bank and center line of East Little Llagas Creek on the site plan so that staff can confirm 30 feet setback to the proposed driveway.

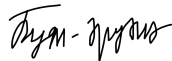
2. Please clarify if any tree is proposed to be removed. Provide location, type, size and drip line of all trees with a trunk diameter of 12 inches or more, measured at a point four and half feet above ground level, within the development area or where the drip line of the tree is disturbed or affected by the proposed grading. The plans shall indicate which trees are proposed to be removed and those that are proposed to remain per section [C12-424](#) in the County Ordinance. If no tree is proposed to be removed, include a note stating no tree is proposed to be removed on the site plan.

If the requested information is not submitted within 180 days, you will be required to pay a fee of 10% of the application fee at the time the information is submitted. All requested information must be submitted within 1 year of the date of this letter and will not be accepted after 1 year. PARTIAL RESUBMITTALS WILL NOT BE PROCESSED. Fees required at the time of resubmittal will be those in effect at that time.

In submitting this land use application, the owner/applicant included an initial application fee. Application fees are categorized as "fixed fees" and "billable fees", based on the particular application types. "Fixed fee" applications do not require any additional fees to continue processing. However, when funds associated with a "billable fee" application have been spent, an additional deposit will be required to continue processing the application. As of the date of this letter, approximately 20% of the initial deposit associated with your "billable fee" application has been spent on the processing of your application.

If you have any additional questions regarding this application or would like to clarify Planning incomplete comments, please contact me at (408) 299-6724 / buyan.batbaatar@pln.sccgov.org or schedule an appointment to do so.

Sincerely,



Buyan Batbaatar, Assistant Planner

Cc:

Sam, Principal Planner