

Fire Notes:

1. Fire Sprinklers are not proposed.
2. Property is located in the Local Response Area.
3. Property is not in the Wildland Urban Interface (WUI).
4. Driveway width will be maintained at 12' minimum with a clear height of 13' 6".
5. Existing access capable of supporting 75,000 lbs.
6. All proposed driveways to be made of an all weather surface capable of supporting 75,000 lbs.
7. All proposed driveways shall have a max. slope of 15%.

Applicant/Owner:

Bruce Field
15000 Seymour Ave
San Martin, CA
408-218-0554
bfield@flagshipinc.com

Engineer:

David L. Faria, RCE 92432
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.773.7381
davidl@mhengineering.com

Project Information:

APN 825-07-026
Present Use: Residential
Proposed Use: A-20Ac-sr
Present Zoning: As Shown
Existing Improvements: ex well, ex OWTS, ex PGE, LRA
Sanitary Sewer: N/A
Gas & Electric: Rural Development Not Covered
Fire Responsibility Area: Flood
HCP Area: 2.0 ac
Hazard Zone(s): 1.9 ac
Gross Area:
Net Area:

Boundary Note: Property lines shown on this plan are based on record data and boundary monumentation measured to date.

Flood Zone: The property lies wholly in Zone AE per FEMA Firm Panel 06085C0626H, effective May 17, 2009.

Basis of Bearings: The bearings shown on this map are based on the centerline of Seymour Avenue as found monumented and recorded as South 23°49' East, in F-1 of Maps, Page 1, Santa Clara County Records.

Benchmark: Elevations shown on this plan are based on Santa Clara Valley Water District Benchmark BM535, brass disk on northerly side of Tennant Avenue; 230 feet easterly of the centerline intersection of Tennant Avenue and Hill Road; on top of the northwesterly 10 inch wide wing wall for small bridge; 0.9 feet easterly of the westerly end of wall. Unincorporated Santa Clara County.
ELEVATION = 340.16' (NAVD88)

Tree Note: No trees proposed to be removed.

Impervious Area Summary	
Description	Proposed Area (SF)
Proposed Garage	5000
Proposed AB	11948
Proposed AC	154
Total Impervious Area	17102

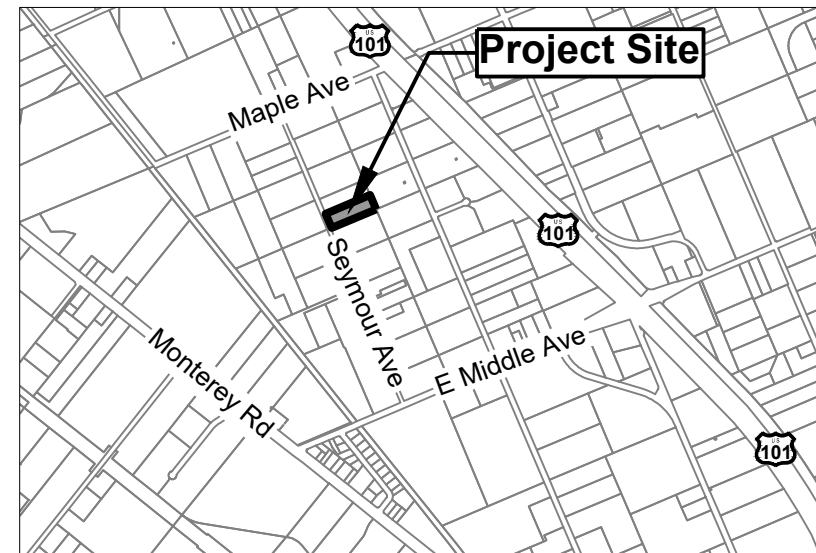
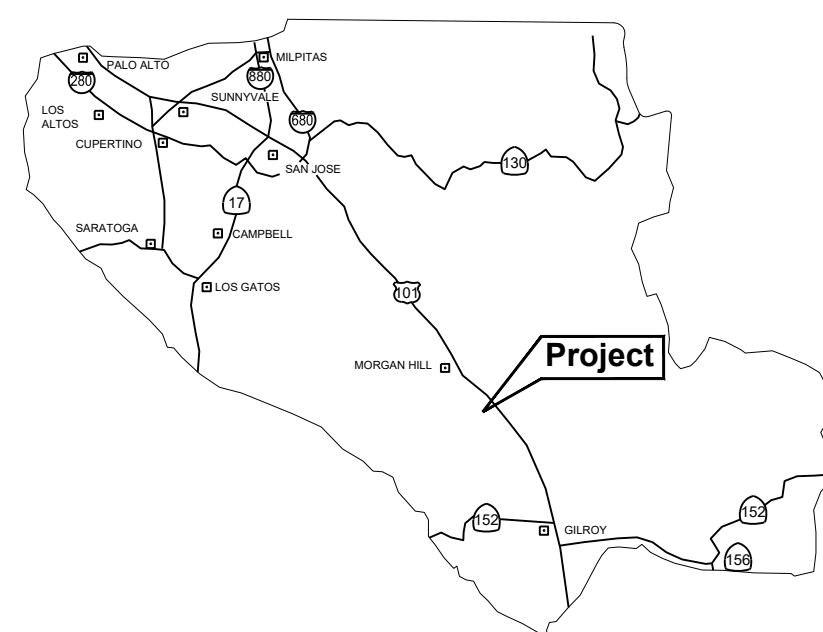
Floor Areas	
Description	Area (SF)
Proposed Garage	5000
Total Floor Area	5000

Earthwork Quantities				
	Cut	Fill	Max Cut	Max Fill
Garage	0 cy	492 cy	0.00'	2.70'
Driveway	118 cy	220 cy	1.20'	2.70'
Stormwater Treatment	119 cy	0 cy	2.40'	1.00'
ex AB Driveway	0 cy	173 cy	0.00'	0.25'
Total	237 cy	885 cy		

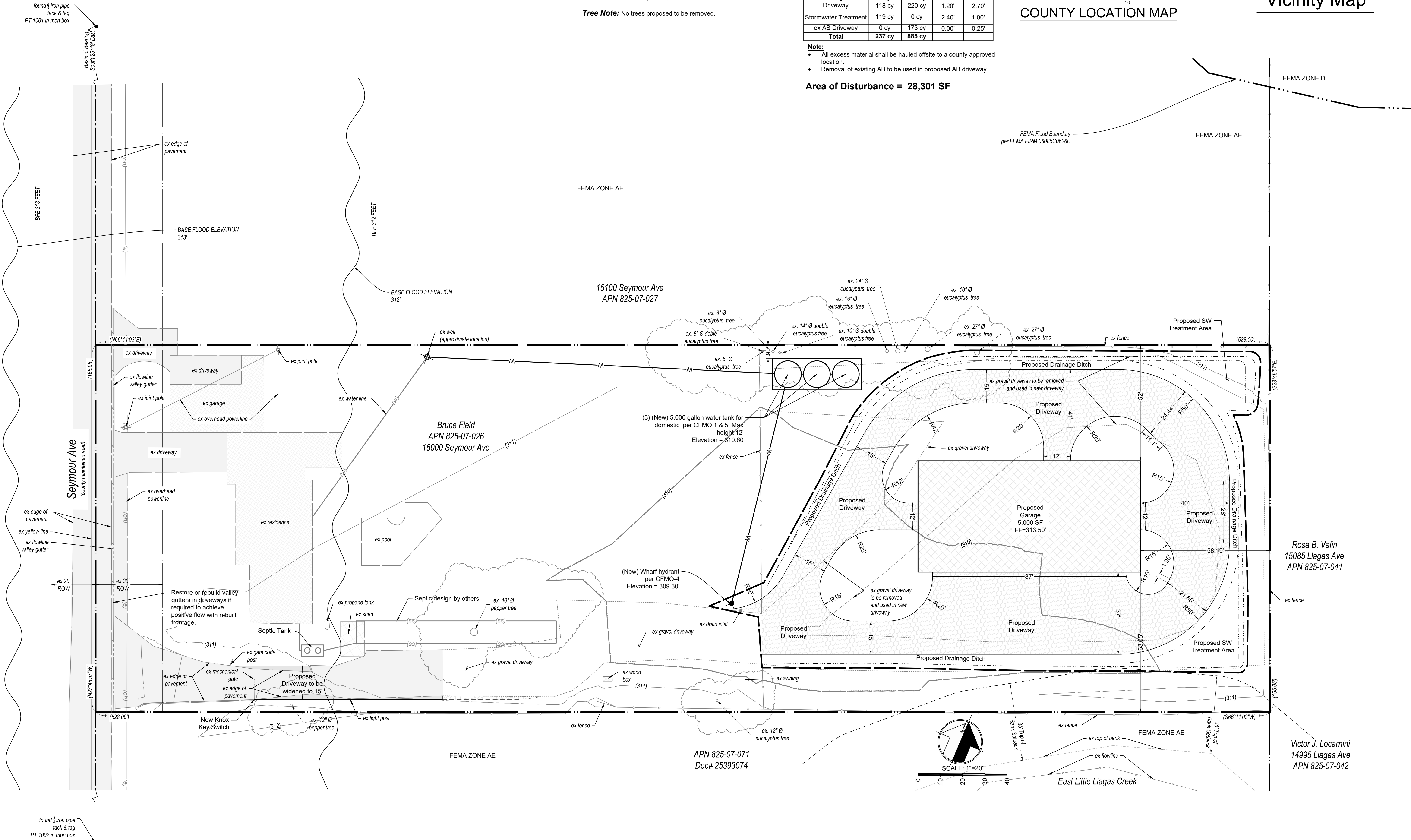
Note:

- All excess material shall be hauled offsite to a county approved location.
- Removal of existing AB to be used in proposed AB driveway

Area of Disturbance = 28,301 SF



Vicinity Map



MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Field - Site Plan
15000 Seymour Ave - APN 825-07-026

DATE: 5/6/2024
SCALE: As noted
DRAWN BY: DF
CHECKED BY: DF
JOB NO: 223070
SHEET: C1
OF: 3

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Morgan Hill, CA 95037
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davidf@mhengineering.com

APN	825-07-026
Present Use:	Residential
Proposed Use:	Residential
Present Zoning:	A-20Ac-sr
Existing Improvements:	As Shown
Water:	
Sanitary Sewer:	
Gas & Electric:	ex PGE
Fire Responsibility Area:	LRA
Wildland Urban Interface:	N/A
HCP Area:	Rural Development Not
Covered	
Hazard Zone(s):	Flood
Gross Area:	2.0 ac
Net Area:	1.9 ac

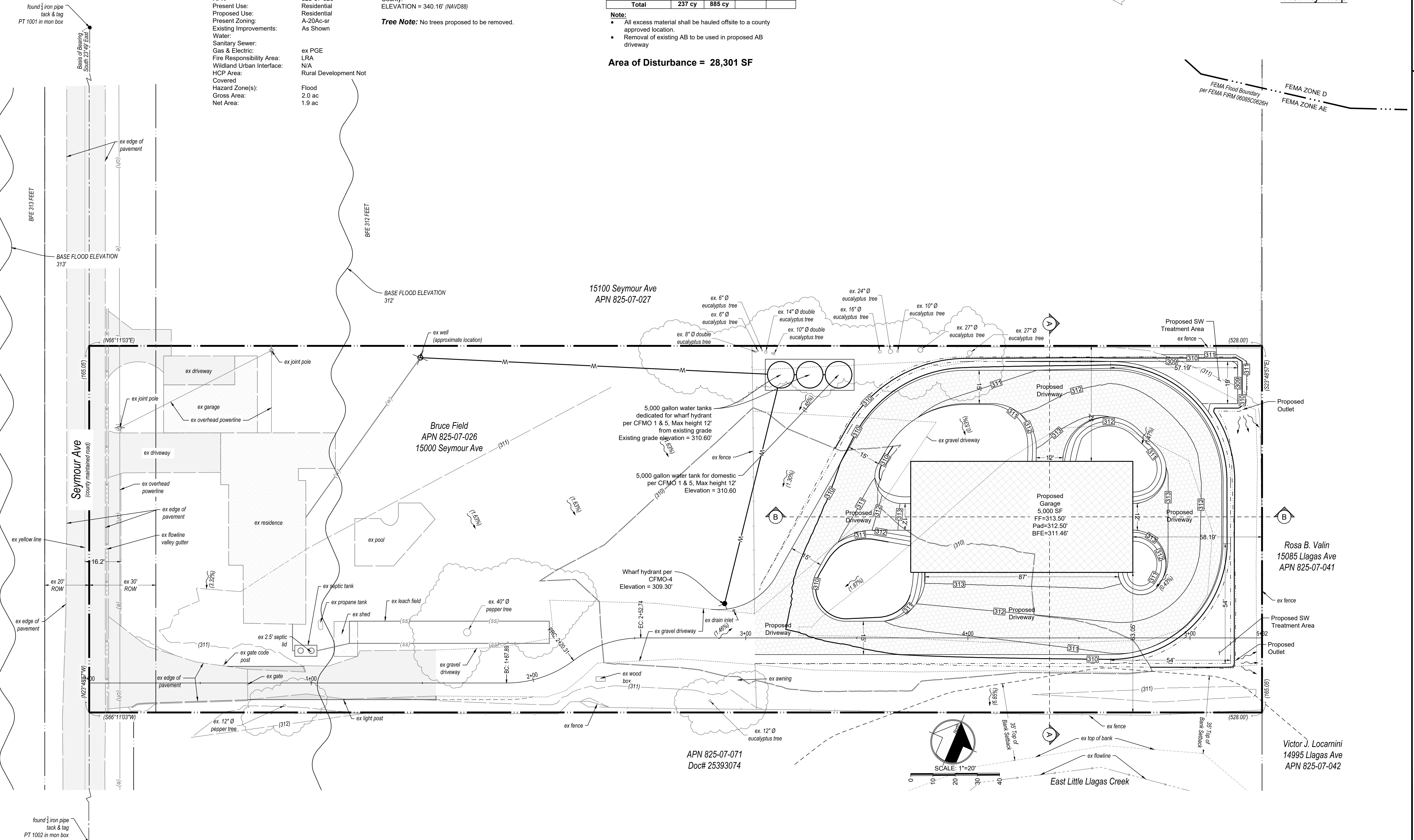
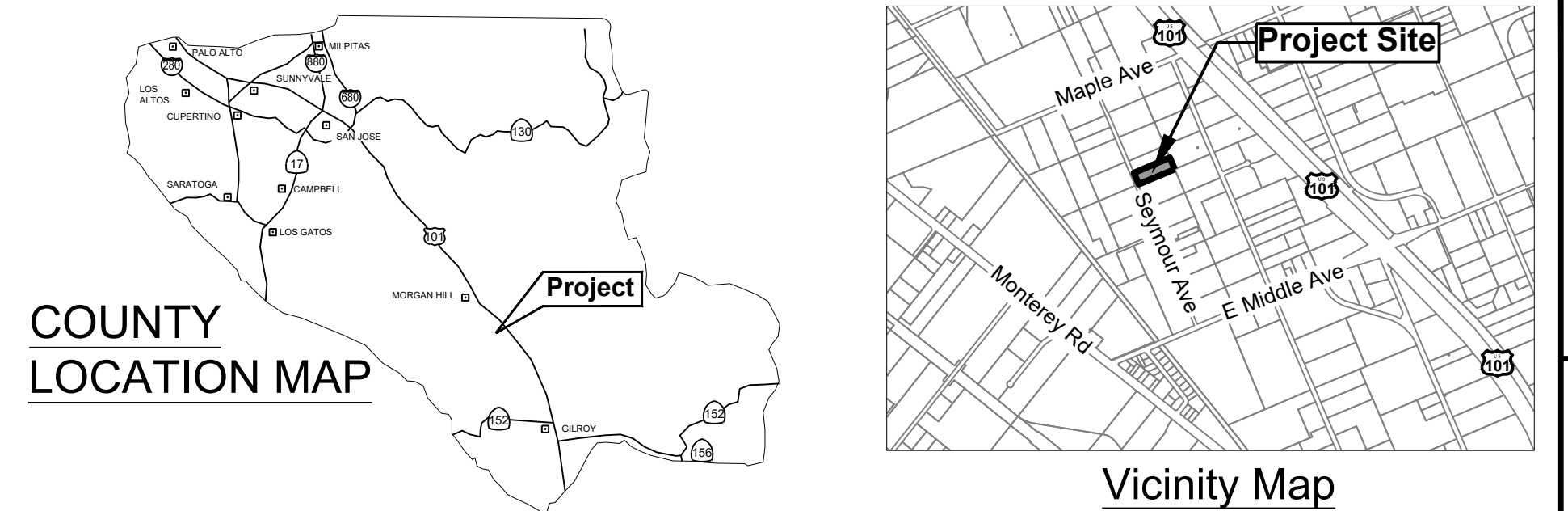
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Area of Disturbance = 28,301 SF



REGISTERED PROFESSIONAL ENGINEER
DAVID L. FARIA
No. 92432
EXP. 06-30-2025
CIVIL
STATE OF CALIFORNIA

FOR PLANCHHECK ONLY
signatures shall be provided upon approval

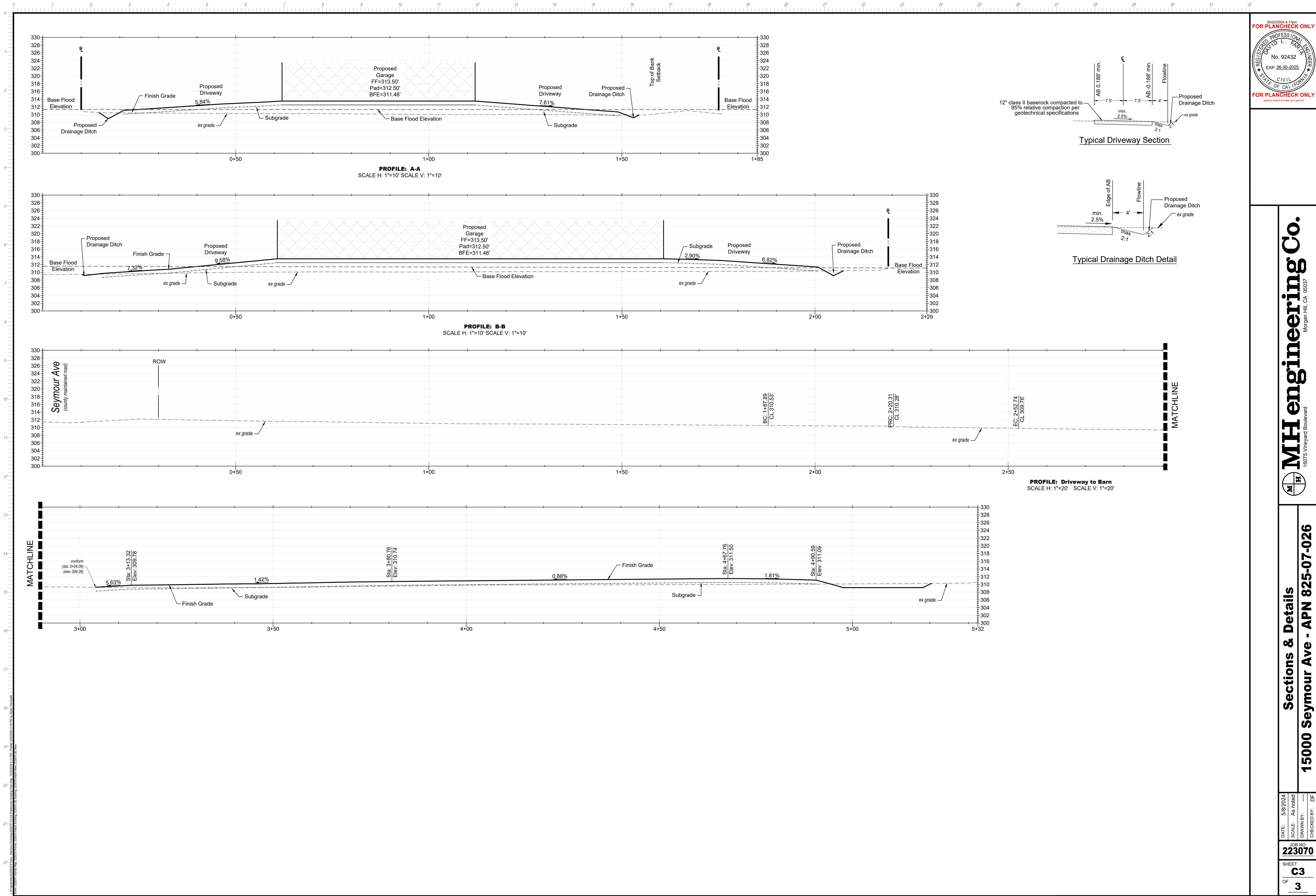
MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Preliminary Grading Plan
15000 Seymour Ave - APN 825-07-026

DATE:	5/8/2024
SCALE:	As noted
DRAWN BY:	----
CHECKED BY:	DF

JOB NO.
223070

SHEET
C2
OF
3



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16075 Vineyard Boulevard
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