

A Design Review and Grading Permit Application for An Addition and Alteration to: The Turner Residence 4450 Roop Road, Gilroy, CA 95020

SCOPE OF WORK:

DESIGN REVIEW AND GRADING PERMIT APPLICATION TO ALTER INTERIOR OF EXISTING MAIN HOUSE 2ND FLOOR 860 SF AND CONVERT EXISTING LOWER LEVEL STORAGE AND WORKSHOP 1120 SF INTO LIVING SPACE. ADD 396 SF OF NEW LIVING SPACE. DEMOLISH EXISTING UPPER LEVEL DECK AND STAIRS AND ADD NEW COVERED DECK 406 SF AND COVERED PORCH 28 SF.

CONSTRUCT NEW DETACHED ADU 1,199 SF WITH 2ND FLOOR JADU 499 SF AND COVERED PORCHES 398 SF.

CONSTRUCT NEW 1 STORY WORKSHOP.

CONSTRUCT NEW DETACHED GARAGE.



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PROJECT DESCRIPTION:

DESIGN REVIEW AND GRADING PERMIT APPLICATION	
ASSESSOR'S PARCEL NUMBER	: 898-02-012
BUILDING OCCUPANCY	: R3-U
TYPE OF CONSTRUCTION	: V-B
STORIES	: 2
LOT AREA	: 1058 ACRES
COVERED AREA RATIO:	: 15.1%
MAIN HOUSE FIRST FLOOR	: 1,344 SF
MAIN HOUSE SECOND FLOOR	: 1,032 SF
TOTAL	: 2,616 SF
COVERED DECK	: 406 SF
COVERED PORCH	: 28 SF
FIRST FLOOR DETACHED ADU	: 1,199 SF
SECOND FLOOR JADU	: 499 SF
TOTAL	: 1,698 SF
COVERED PORCHES	: 398 SF
DETACHED WORKSHOP	: 805 SF
DETACHED GARAGE	: 529 SF
TOTAL	: 2,238 SF
8238 / 461,052 = .0178	: 1.78 % FAR

SITE COVERAGE:	
MAIN HOUSE FIRST FLOOR	: 1,344 SF
COVERED DECK	: 406 SF
COVERED PORCH	: 28 SF
FIRST FLOOR DETACHED ADU	: 1,199 SF
COVERED PORCHES	: 398 SF
DETACHED WORKSHOP	: 805 SF
DETACHED GARAGE	: 529 SF
TOTAL	: 4,709 SF
4,709 / 461,052 = .0102	: 1.02 %

GENERAL NOTES:

The proposed residence is to be constructed by a Contractor and the architectural plans are based on site plans, exterior elevations, scaled floor plans and material construction specifications approved by the owner. The architectural plans are not intended to be comprehensive and it shall be the responsibility of the subcontractors to notify the Contractor of any necessary clarifications or modifications.

All work connected with this project shall be done in a professional manner in accordance with the traditionally and legally defined "best accepted practice" of the trade involved. Additionally, all work shall comply with applicable codes and trade standards which govern each phase of work, including but not limited to the 2022 California Building Code (CBC), 2022 California Mechanical Code (CMC), 2022 California Fire Code (CFC), 2022 California Electrical Code (CEC), American Concrete Institute Code (ACI), 2022 California Plumbing Code (CPC) and all applicable local codes and/or legislation.

The Contractor shall be responsible for notifying the Designer of any unusual or unforeseen foundation conditions, discrepancies of omissions within the plans or any deviations or changes from the plans before proceeding with the work involved otherwise they will be considered adequate for proper completion of the project. The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items.

Adequate supervision and periodic inspection during the construction phase are recommended. The Contractor shall be responsible to ensure that this inspection and supervision are provided by qualified persons.

These plans shall not be considered complete and ready for construction until a building permit has been issued.

In all cases written dimensions take precedence over scaled dimensions. Dimensions are to the face of stud or face of concrete unless otherwise noted.

Larger scale details take precedence over smaller scale details.

Lay out all structural work by referring to dimensions and elevation notes on the architectural plans. Do not scale structural drawings work detail dimensions from controlling surface points and actual material dimensions.

Slope finish exterior surface away from foundation.

NOTE:

THE FOLLOWING CODES AND REGULATIONS AS AMENDED BY THE STATE OF CALIFORNIA & LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.

CBC	2022 California Building Code
CRBC	2022 California Residential Building Code
CGBC	2022 California Green Building Code
CEC	2022 California Electrical Code
CPC	2022 California Plumbing Code
CMC	2022 California Mechanical Code
CEC	2022 California Energy Code
CRC	2022 California Residential Code

ABBREVIATIONS:

WINDOW ABBREVIATIONS:

3030	-	3'-0" X 3'-0"
CT	-	CIRCLE TOP
SLDR	-	HORIZONTAL SLIDER
CSMT	-	CASEMENT
FIX	-	FIXED
SL	-	SIDELIGHT
TEMP	-	TEMPERED GLASS
HC	-	HALF CIRCLE
SH	-	SINGLE HUNG
DH	-	DOUBLE HUNG
ARCH	-	ARCHED
EGRESS	-	EGRESSABLE WINDOW SEE NOTE BELOW

DOOR ABBREVIATIONS:

2/0	-	2'-0" WIDE X 6'-8" TALL UNLESS OTHERWISE NOTED
3080	-	3'-0" WIDE X 8'-0" TALL
3070	-	3'-0" WIDE X 7'-0" TALL
3068	-	3'-0" WIDE X 6'-8" TALL
&	-	CENTERLINE
DIM	-	DIMENSION
EL	-	ELEVATION
(E)	-	EXISTING
F.A.	-	FINISH FLOOR
G.C.	-	GENERAL CONTRACTOR
(N)	-	NEW
N.T.S.	-	NOT TO SCALE
R.O.	-	ROUGH OPENING
PL	-	PROPERTY LINE
T.O.S.	-	TOP OF SLAB
TYP.	-	TYPICAL
U.N.O.	-	UNLESS NOTED OTHERWISE
V.I.F.	-	VERIFY IN FIELD

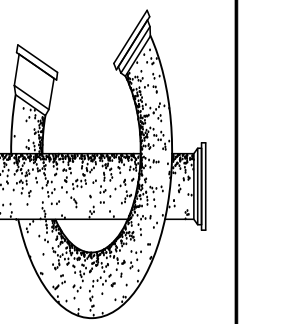
LEGEND:

WALL LEGEND:

	-	EXISTING WALL TO REMAIN
	-	EXISTING WALL REMOVED
	-	NEW WALL CONSTRUCTION
	-	SECTION CUT SECTION NAME SECTION PAGE
	-	DIMENSIONAL REFERENCE /ELEVATION
	-	REVISION
	-	REVISION CLOUD
	-	DETAIL NUMBER PAGE
	-	ROOF PITCH

Revisions By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3550 Stevens Creek Blvd, Ste 225
San Jose, CA 95117
Phone: (408) 985-1078 Fax: (408) 985-1943
E-Mail: innconcept@global.net



An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

Date 10/31/2023

Scale NOTED

Drawn JAG

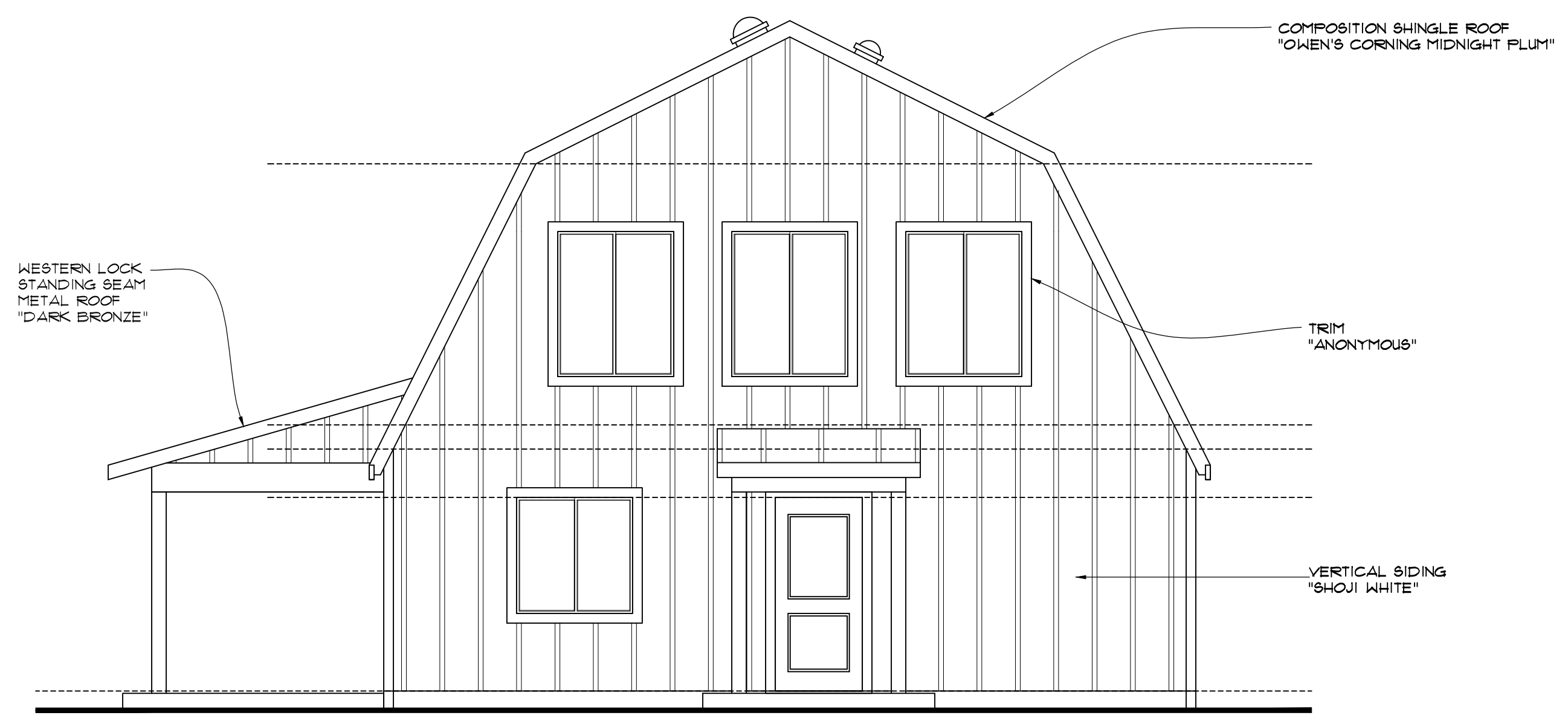
Job

Sheet

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Of Sheets

Revisions	By



PROPOSED FRONT ELEVATION (MAIN HOUSE)
1/4" = 1'-0"

LRV: 30

Owens Corning
Midnight Plum

SW 7046

Anonymous

[FULL DETAILS](#) ^

LRV: 20 ⓘ

RGB: 129 / 122 / 110

Hex Value: #817A6E

Location Number: 245-C5

Gray-green undertones stir in the depths of this warm, hazy neutral. Pair with an off-white shade like Muslin for an earthy effect.

LRV: 20

Western lock standing
seam dark bronze

August 2022 Color of the Month

SW 7042

Shoji White

[FULL DETAILS](#) ^

LRV: 74 ⓘ

RGB: 230 / 223 / 211

Hex Value: #E6DFD3

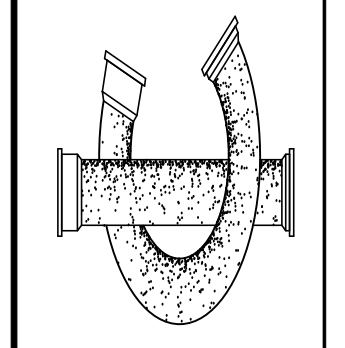
Location Number: 254-C4

Available in: Interior/Exterior

Color Collections: Living Well (Inspire), Top 50 Colors, Colormix Forecast 2022 (Method), Finest Whites & Neutrals (Finest Whites)

Color Family(s): White

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Date	10/31/2023
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Job	
Sheet	0.1
Of	Sheets



FRONT ELEVATION (ADU & JADU)
 1/4" = 1'-0"

LRV: 40

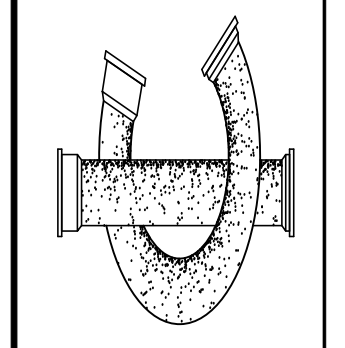
Owens Corning Driftwood

SW 7508
Tavern Taupe
 FULL DETAILS ^
 LRV: 27
 RGB: 156 / 138 / 121
 Hex Value: #9C8A79
 Location Number: 248-C6
 Available in: Interior/Exterior
 Color Family(s): Neutral
 This warm brown with its stone-gray undertone creates the perfect space for cozy community. Works wonderfully in living rooms and kitchens.

SW 7035
Aesthetic White
 FULL DETAILS v
 A subtle violet undertone gives this cool white a dove-like calmness. Provides a peaceful backdrop for minimalist living spaces.
 Get this color in a:

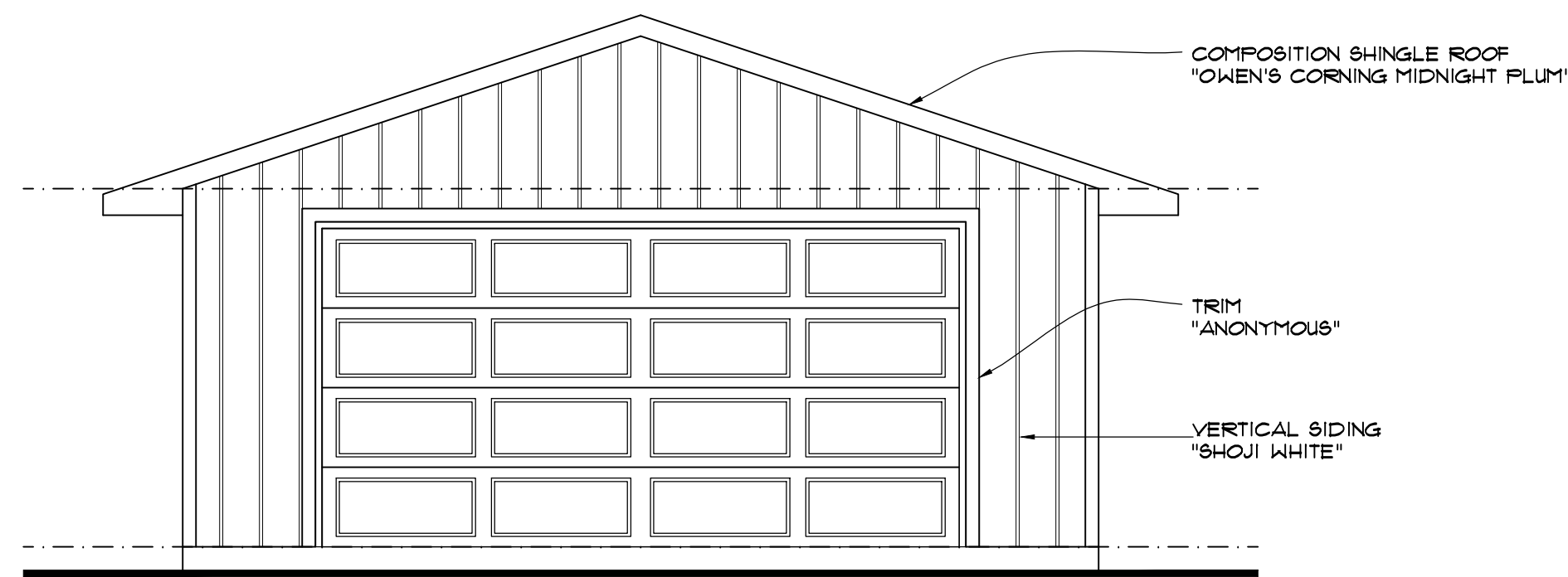
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Date	10/31/2023
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Job	
Sheet	0.2
Of	Sheets

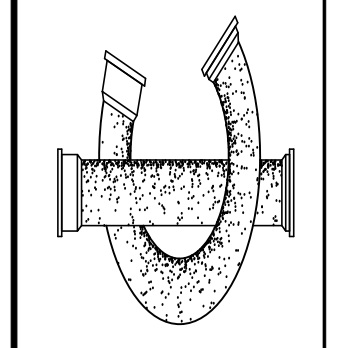


FRONT ELEVATION (WORKSHOP)
1/4" = 1'-0"

LRV: 30	Owens Corning Midnight Plum	SW 7046 Anonymous <small>FULL DETAILS ^</small> LRV: 20 ⓘ RGB: 129 / 122 / 110 Hex Value: #817A6E Location Number: 245-C5 Gray-green undertones stir in the depths of this warm, hazy neutral. Pair with an off-white shade like Muslin for an earthy effect.
LRV: 20	Western lock standing seam dark bronze	August 2022 Color of the Month SW 7042 Shoji White <small>FULL DETAILS ^</small> LRV: 74 ⓘ RGB: 230 / 223 / 211 Hex Value: #E6DFD3 Location Number: 254-C4 Available in: Interior/Exterior Color Collections: Living Well (Inspire), Top 50 Colors, Colormix Forecast 2022 (Method), Finest Whites & Neutrals (Finest Whites) Color Family(s): White

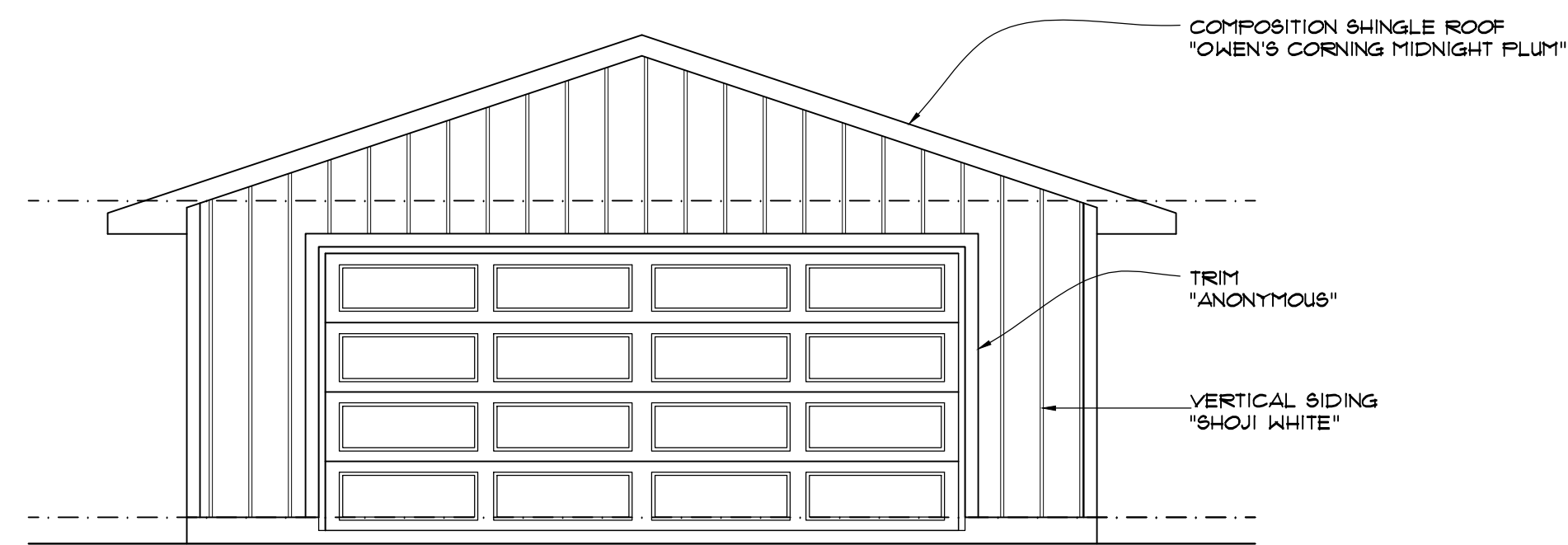
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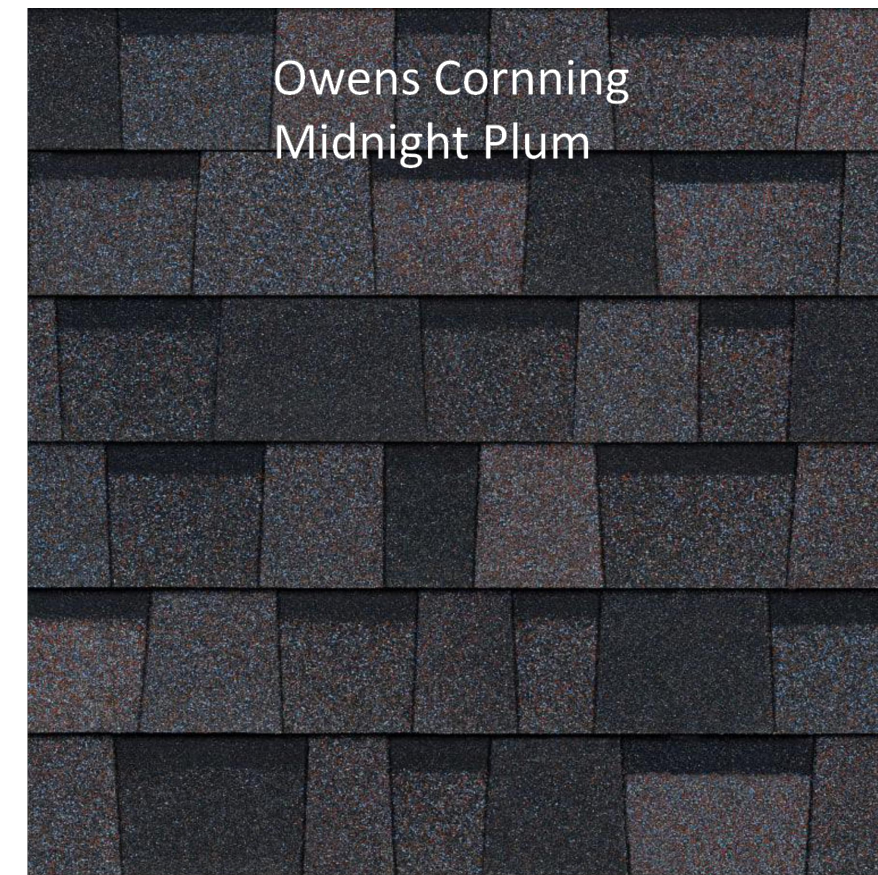
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Date	10/31/2023
Scale	NOTED
Drawn	JAG
Job	
Sheet	0.3



FRONT ELEVATION (GARAGE)
1/4" = 1'-0"

LRV: 30



Owens Corning
Midnight Plum

SW 7046

Anonymous

FULL DETAILS ^

LRV: 20 ⓘ

RGB: 129 / 122 / 110

Hex Value: #817A6E

Location Number: 245-C5

Available in: Interior/Exterior

Color Collections: Color ID (Creative)

Color Family(s): Neutral

Gray-green undertones stir in the depths of this warm, hazy neutral. Pair with an off-white shade like Muslin for an earthy effect.

LRV: 20



Western lock standing
seam dark bronze

August 2022 Color of the Month

SW 7042

Shoji White

FULL DETAILS ^

LRV: 74 ⓘ

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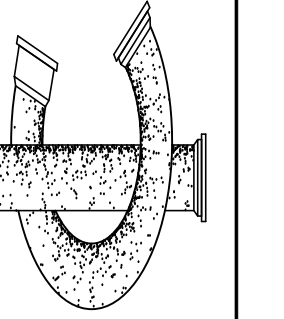
Available in: Interior/Exterior

Color Collections: Living Well (Inspire), Top 50 Colors, Colormix Forecast 2022 (Method), Finest Whites & Neutrals (Finest Whites)

Color Family(s): White

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Sheet:
Of:
Sheets:
0.4

GRADING NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH THE COUNTY OF SANTA CLARA GRADING ORDINANCE, THE COUNTY ENGINEER AND ANY SPECIAL REQUIREMENTS OF THE PERMIT.

NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE COUNTY ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF WORK.

THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF HIS WORK AND SHALL SUBMIT A STATEMENT OF COMPLIANCE WITH THE APPROVED GRADING PLANS PRIOR TO FINAL APPROVAL.

DUST SHALL BE CONTROLLED BY WATERING.

SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.

APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.

ALL PUBLIC ROADWAYS MUST BE CLEANED DAILY OF ALL DIRT, MUD AND DEBRIS DEPOSITED ON THEM AS A RESULT OF THE GRADING OPERATION. CLEANING IS TO BE COMPLETED TO THE SATISFACTION OF THE CITY ENGINEER.

SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL DRAINAGE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.

STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE OR STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.

CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJACENT PROPERTY BY WIND OR RUNOFF.

ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.

AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.

CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITIONS THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ARE ALLOWED ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION OR NUISANCE, OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER UPON DISCOVERING SIGNIFICANT DISCREPANCIES, ERRORS OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS OR OMISSIONS. THE REVISED PLANS SHALL BE SUBJECT TO REVIEW.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.), TOLL FREE AT 1-800-642-2444, AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A., THE UTILITY OWNER AND/OR THE PROJECT ENGINEER IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE AND CABLETV.

THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.

PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE.

THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. THE CONTRACTOR MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15).

EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR BEFORE FORECASTED STORM EVENTS AND AFTER ACTUAL STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. STORM EVENTS PRODUCE AT LEAST 0.5 INCH OF PRECIPITATION IN A 24 HOUR PERIOD. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.

CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS. CHANGES SHALL BE NOTED ON THE PLAN WHEN MADE.

DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER AND CHLORINATED WATER.

ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY.

EXPOSED SLOPES SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING 70% VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS.

WHENEVER IT IS NOT POSSIBLE TO UTILIZE EROSION PREVENTION MEASURES, EXPOSED SLOPES SHALL EMPLOY SEDIMENT CONTROL DEVICES, SUCH AS FIBER ROLLS AND SILT FENCES. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEVED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 OR 5 FEET FROM TOE OF SLOPE.

THE CONTRACTOR SHALL PROTECT STORM DRAIN INLETS FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.

ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY STORM WATER FLOW LEADING TO SOIL EROSION.

SOIL AND MATERIAL STOCKPILES SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.

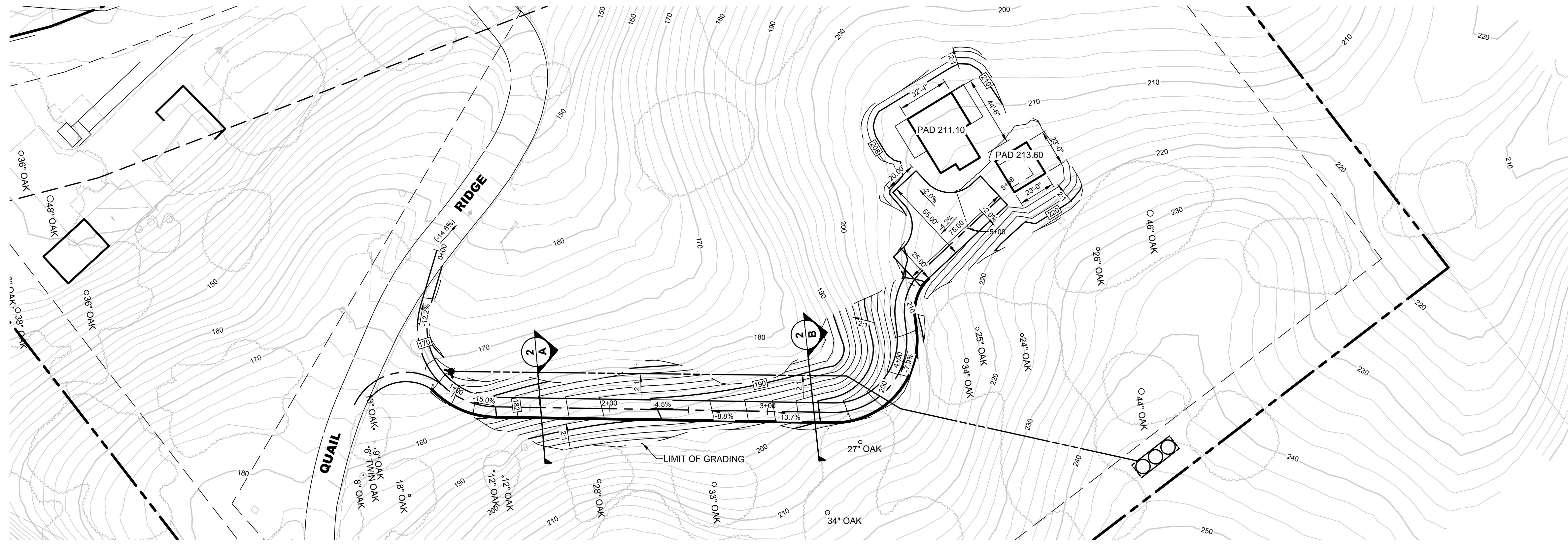
SOLID WASTE SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE KEPT CLEAR OF SOLID WASTE DAILY, OR AS NECESSARY, AND REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE ARRANGED.

A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES OR STRUCTURES ABOVE OR BELOW GROUND, SHOWN OR NOT SHOWN ON THESE PLANS. HE WILL BE HELD RESPONSIBLE FOR ALL DAMAGE TO ANY UTILITIES OR STRUCTURES CAUSED BY THEIR OPERATION.

ALL GRADING SHALL BE COMPLETED UNDER THE SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER.

ENGINEER ASSUMES NO LIABILITY AS TO THE ACCURACY OF THE EXISTING GROUND TOPOGRAPHY AS IT WAS PREPARED BY OTHERS.

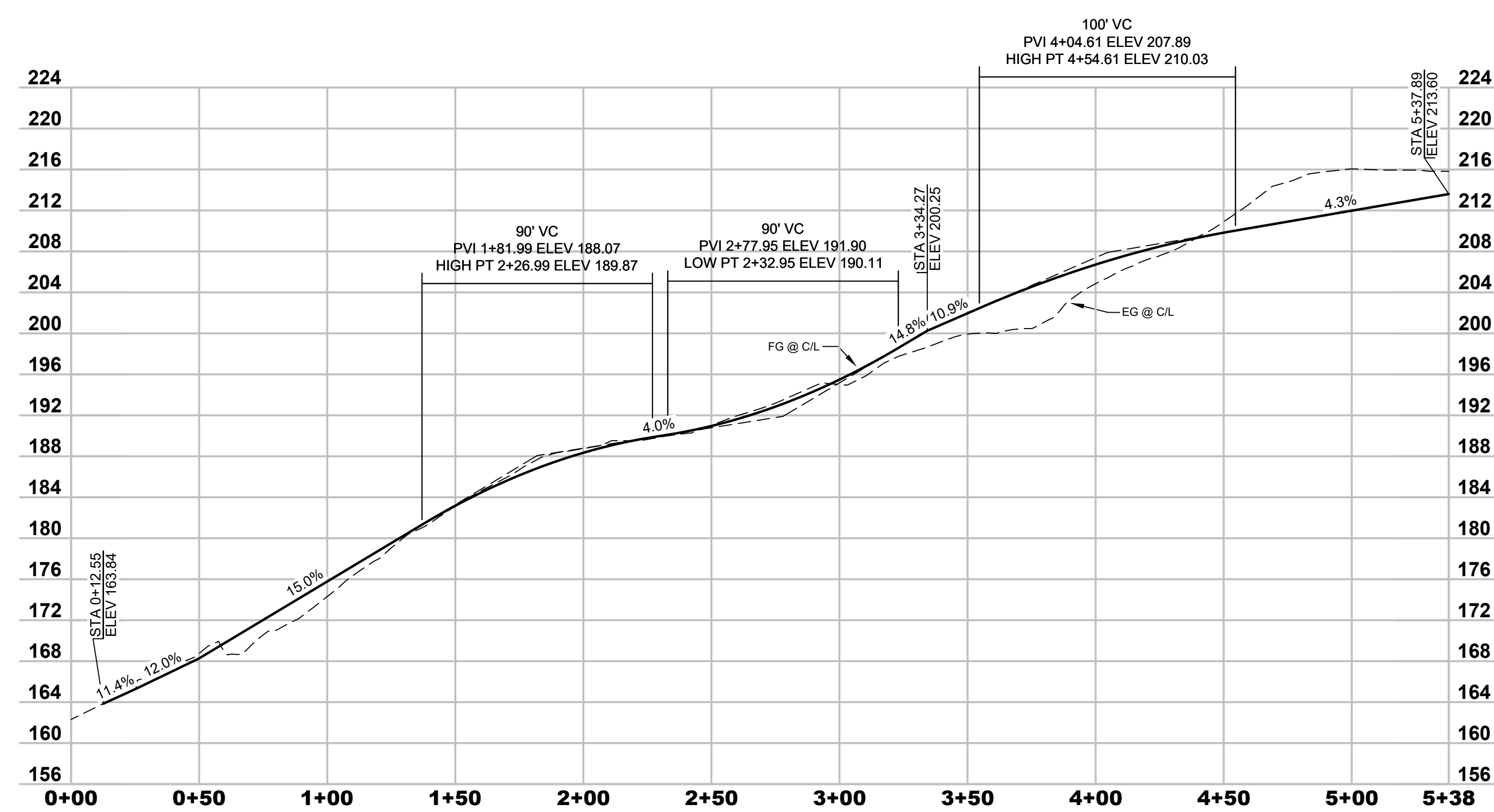
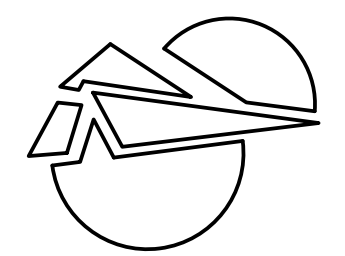
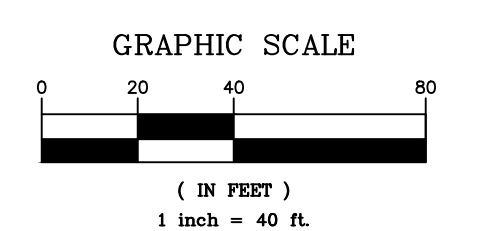


EARTHWORK ESTIMATE

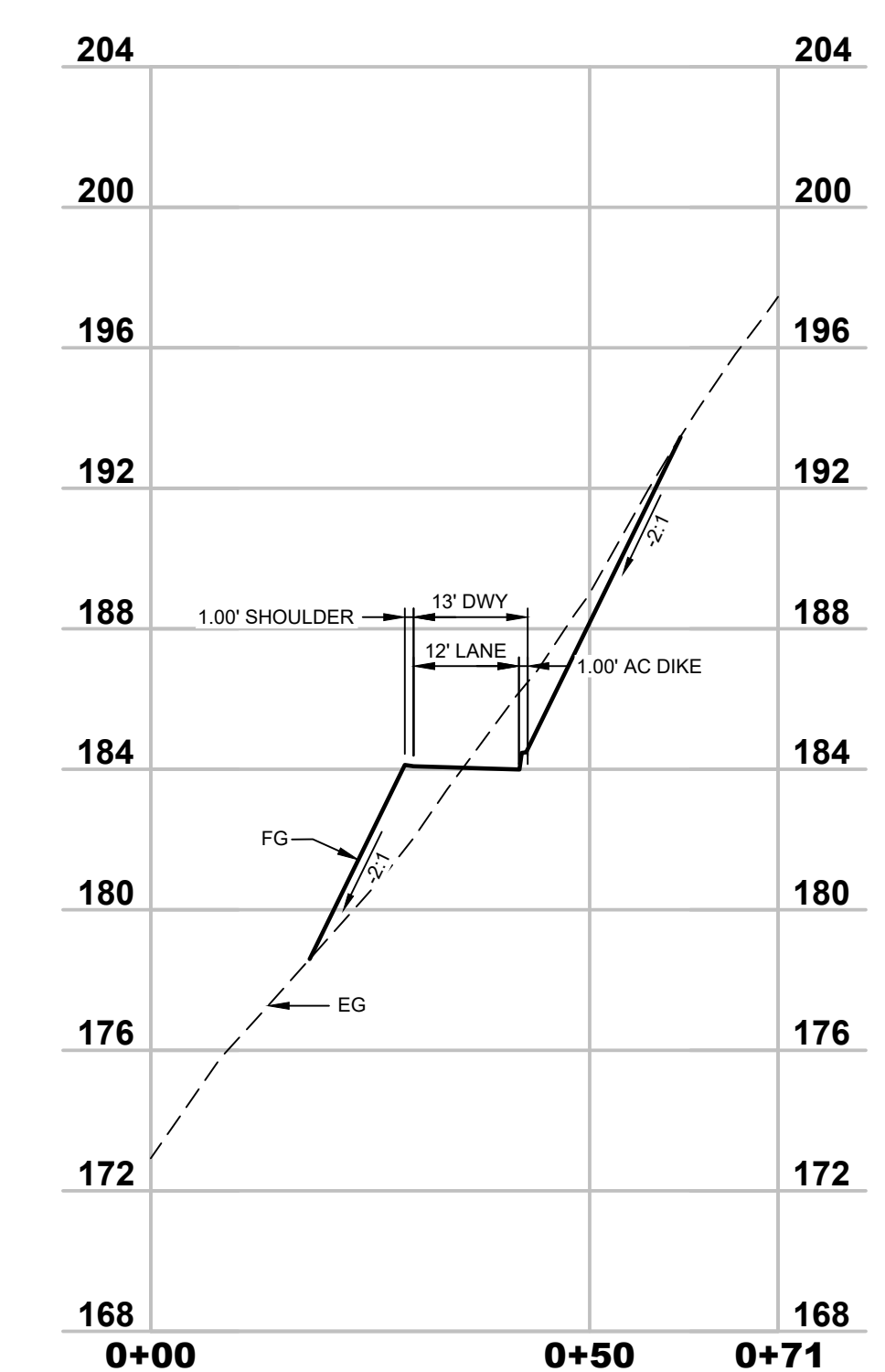
CUT:	-875 C.Y.
FILL:	+750 C.Y.
SHRINKAGE:	+125 C.Y.
BALANCE:	0 C.Y. BALANCED

EARTHWORK NOTE

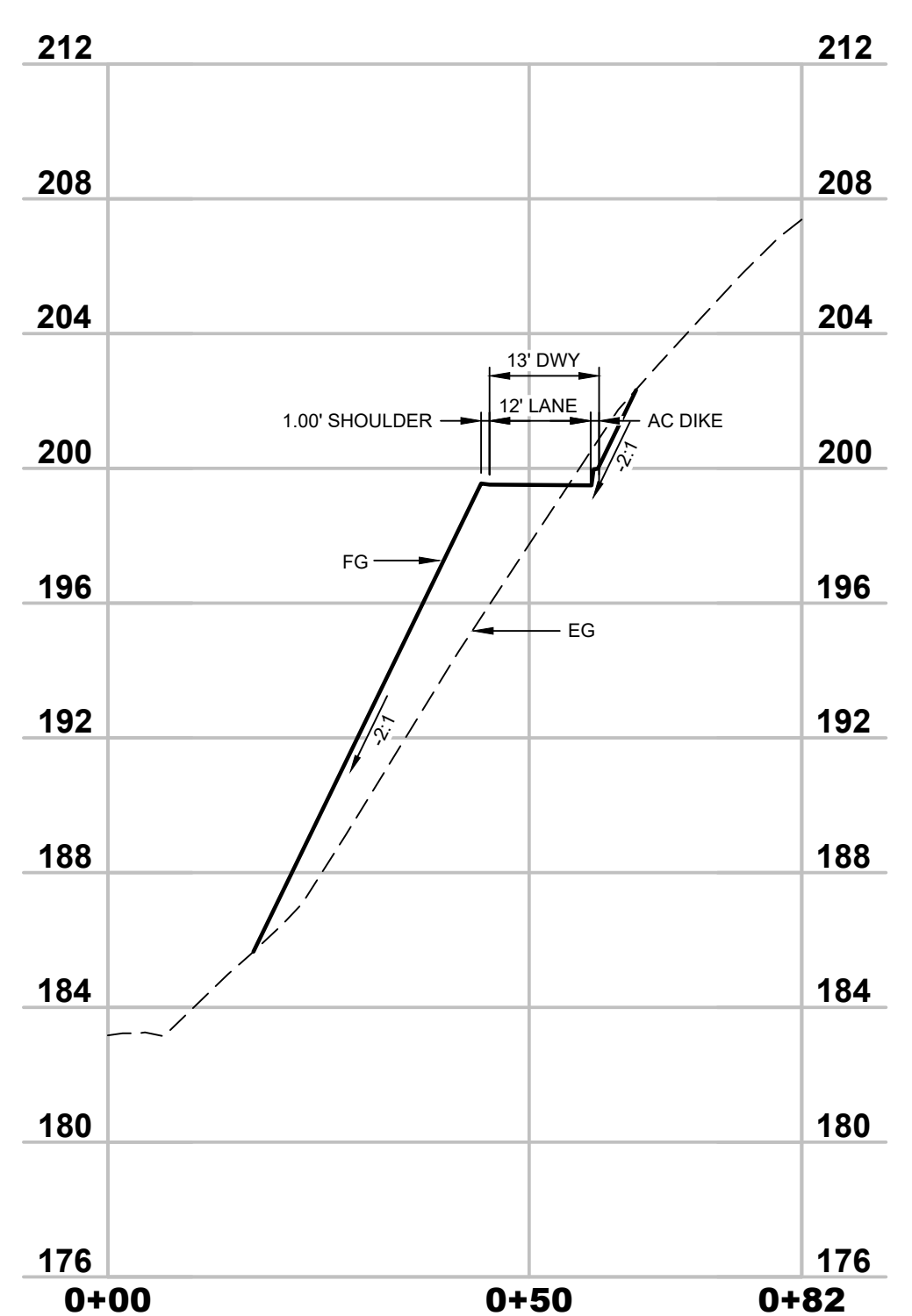
THE EARTHWORK QUANTITIES ABOVE ARE APPROXIMATE. THE EARTHWORK QUANTITIES ABOVE MAY OR MAY NOT REPRESENT THE FINAL EARTHWORK AT THE COMPLETION OF THE PROJECT DUE TO, BUT NOT LIMITED TO: SHRINKAGE, SPOILS, CONSTRUCTION TOLERANCES, CONSTRUCTION METHODS, TOPOGRAPHIC SURVEY TOLERANCES, PAD FINISH GRADING, AND UNFORESEEN CHANGES TO DESIGN.



Profile: CL Driveway
Scale: 1"=40' horizontal / 1"=10' Vertical (4.0x)



SECTION A
SCALE: H: 1" = 20' V: 1" = 5' (4x)



SECTION B
SCALE: H: 1" = 20' V: 1" = 5' (4x)

BY	DATE	REVISIONS	APPR

**KELLEY
ENGINEERING & SURVEYING**

400 PARK CENTER DRIVE, SUITE #4
HOLLISTER, CA 95023
OFFICE (831) 636-1104 FAX (831) 636-1837

DATE:	JULY 2023
SCALE:	H:1"=40' V:1"=10'
DESIGNED:	MJK, TJK
DRAWN:	MJK, TJK
JOB No.:	20020

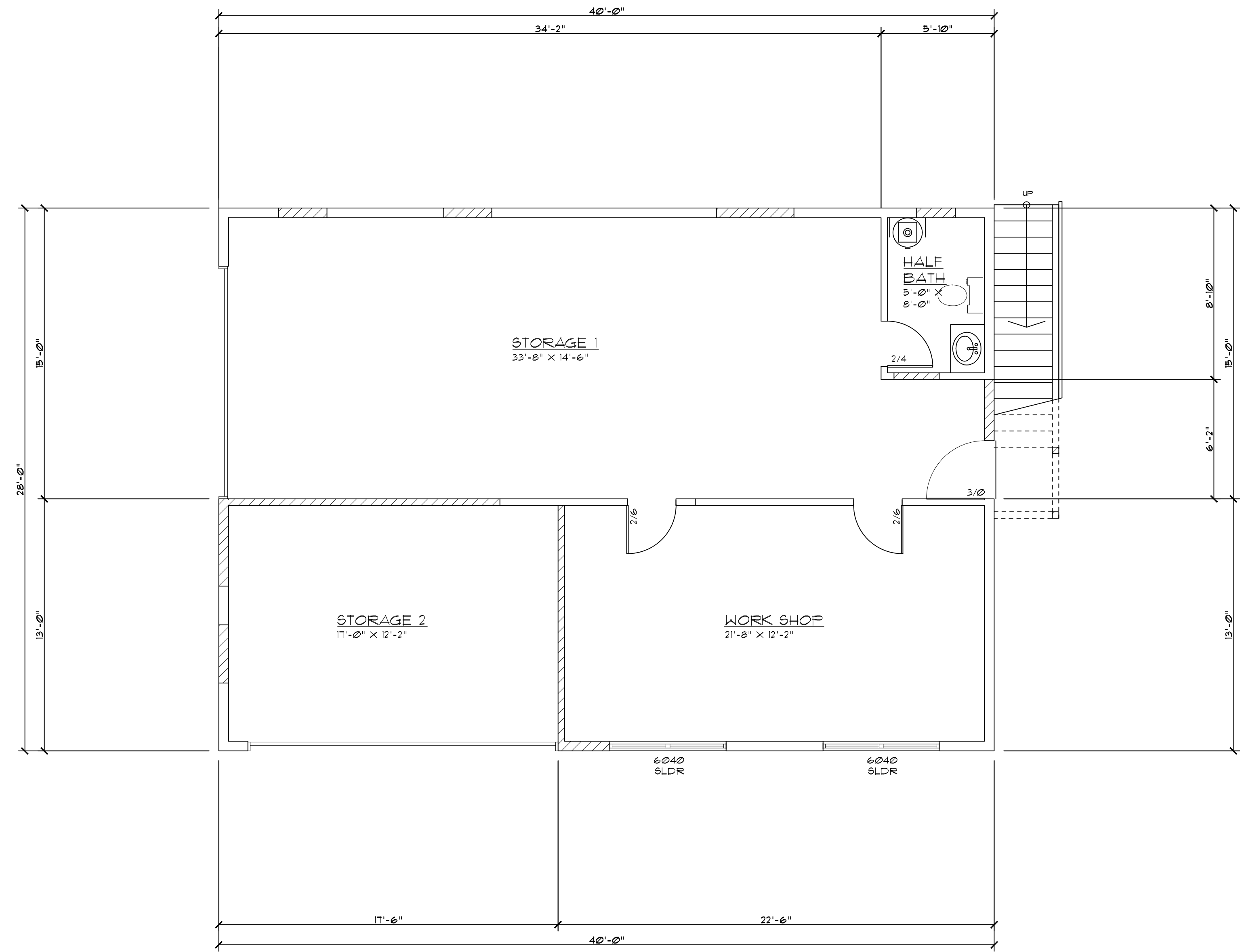
PRELIMINARY GRADING PLAN

MIKE TURNER

4450 ROOP ROAD, GILROY, CA

SHEET
2
OF 2

* FILE NAME: K:\Projects 2020\2020 - Mike Turner\mtdwg0020 - Turner SH02 Grading Plan.dwg * Plotted on: Thursday, 08 July 2023 at 2:48pm by: MATT *

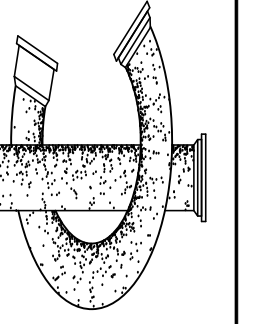


EXISTING LOWER FLOOR PLAN
 1/4" = 1'-0"

NON LIVING AREA 1,120 SF

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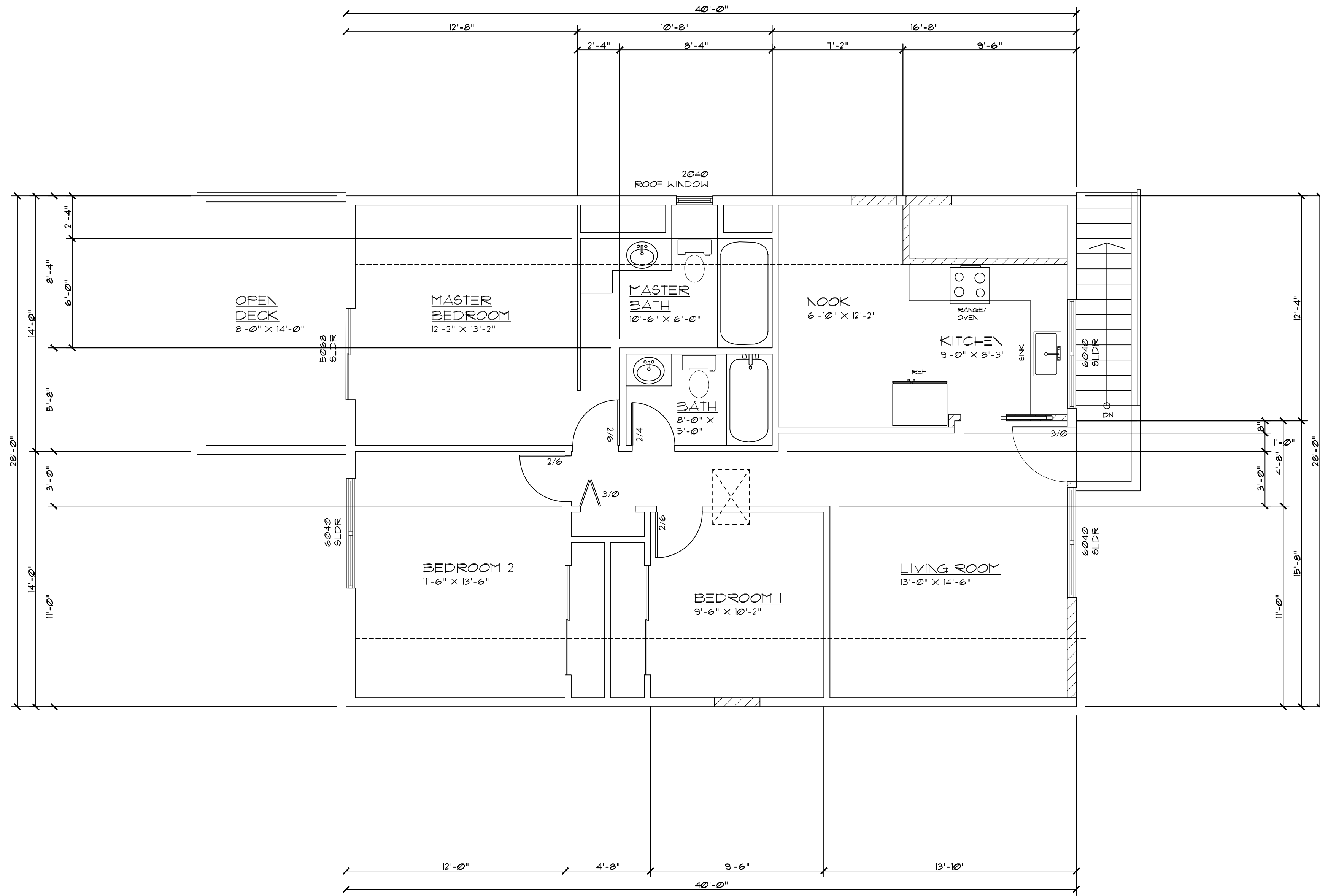
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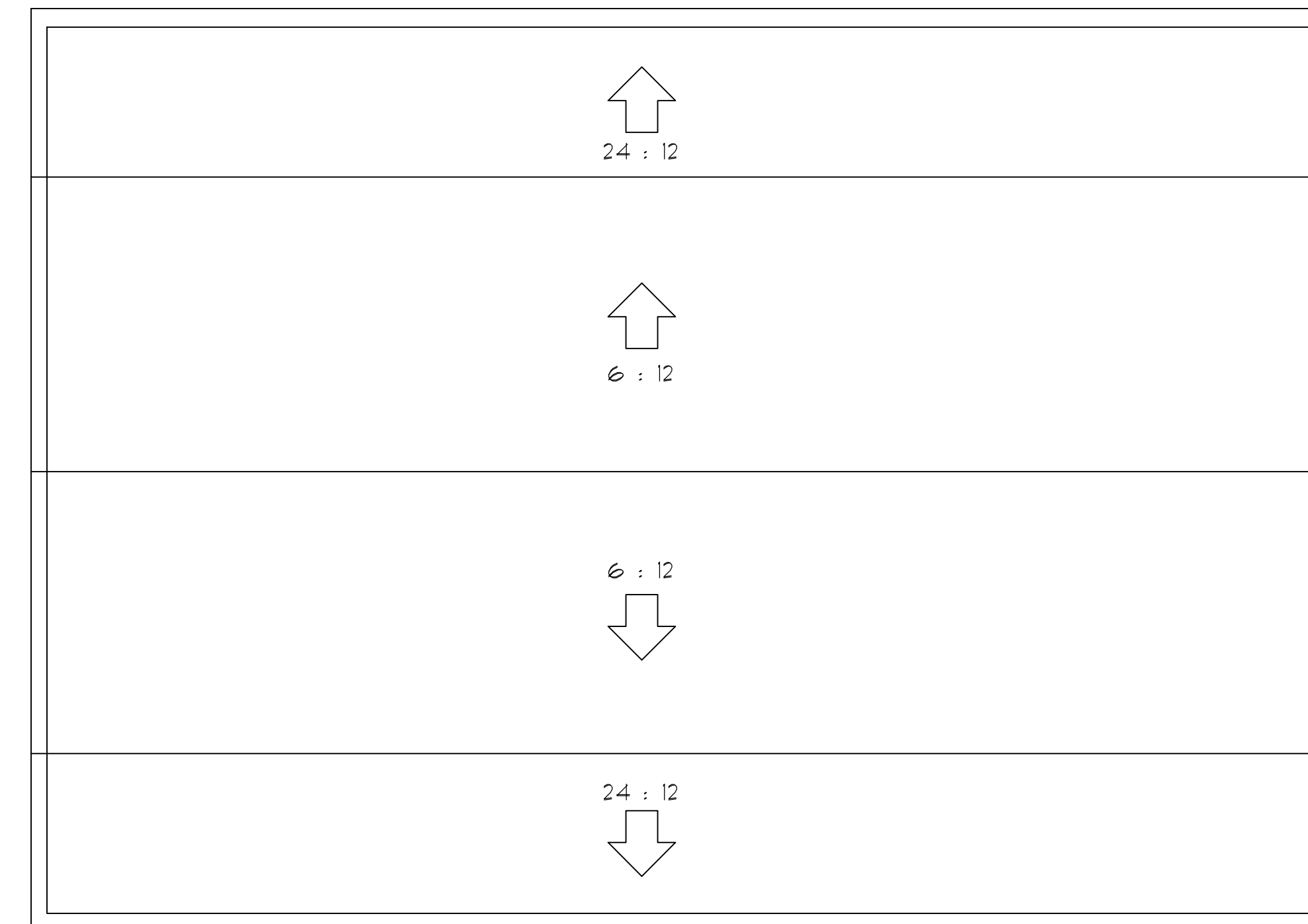
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EXISTING UPPER FLOOR PLAN

1/4" = 1'-0"

LIVING AREA 260 SF
 OPEN DECK 112 SF
 STAIRS AND LANDING 56 SF

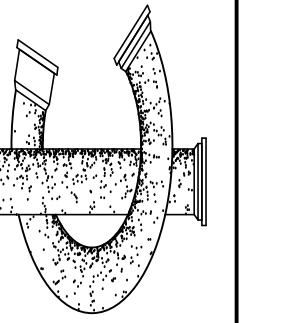


EXISTING ROOF PLAN

1/4" = 1'-0"

Revisions	By

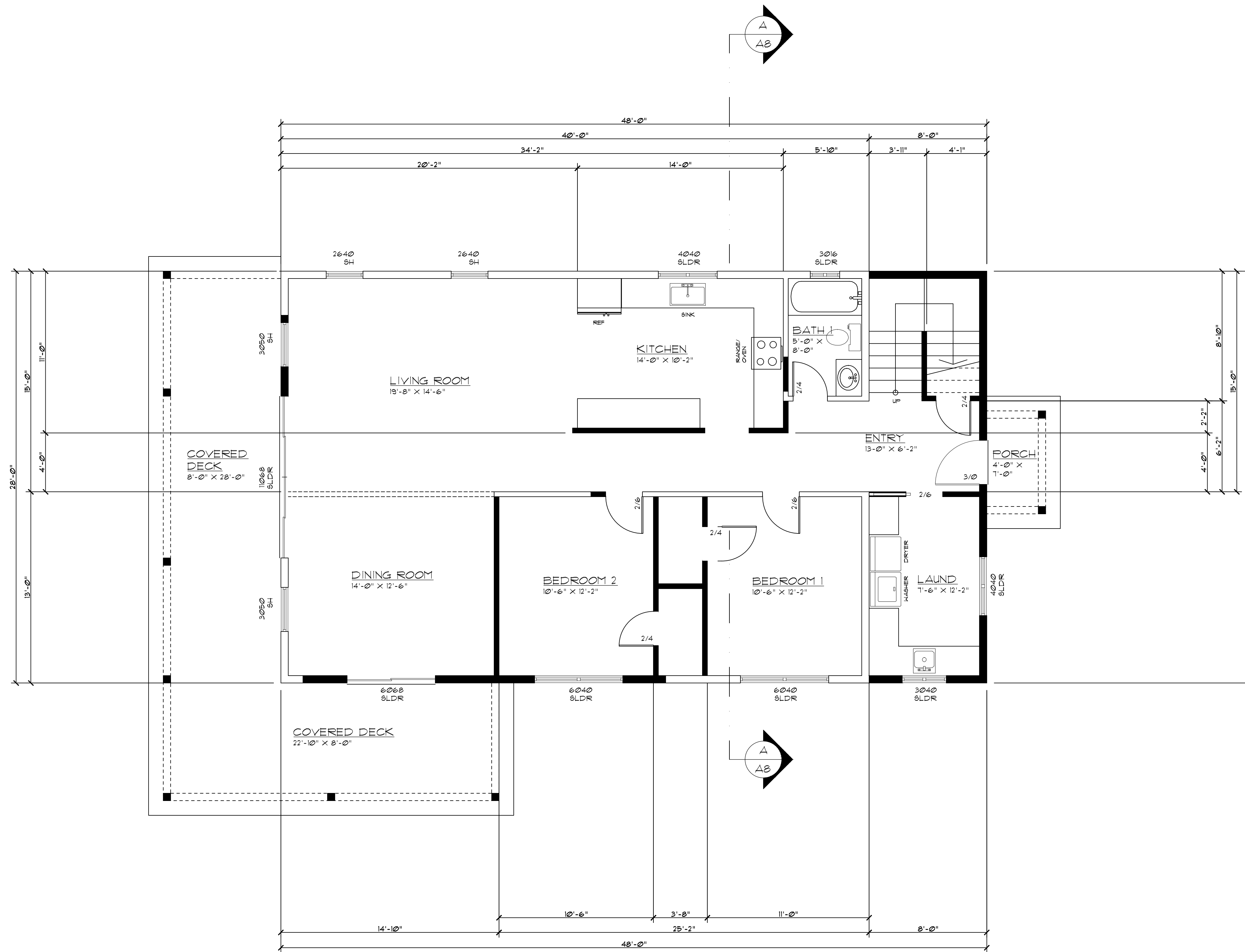
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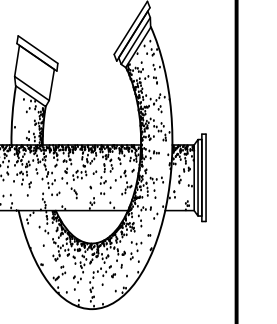


PROPOSED LOWER FLOOR PLAN
 1/4" = 1'-0"

LIVING AREA 1,344 SF
 COVERED DECK 406 SF
 COVERED PORCH 28 SF

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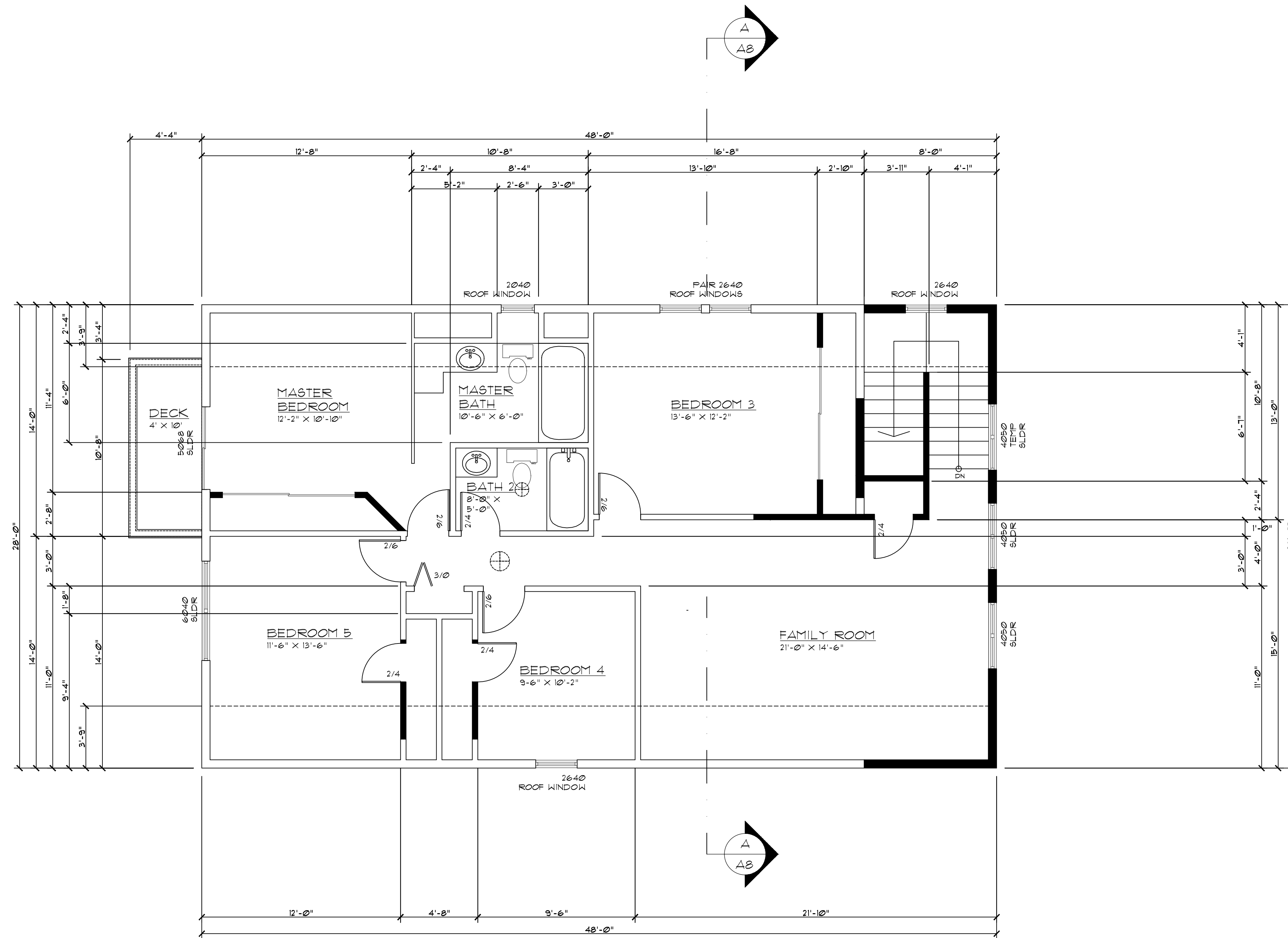
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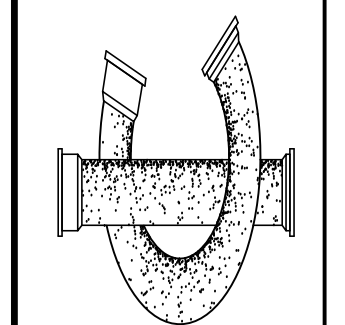


PROPOSED UPPER FLOOR PLAN
 1/4" = 1'-0"

LIVING AREA 1,032 SF
 COVERED DECK 46 SF

Revisions	By

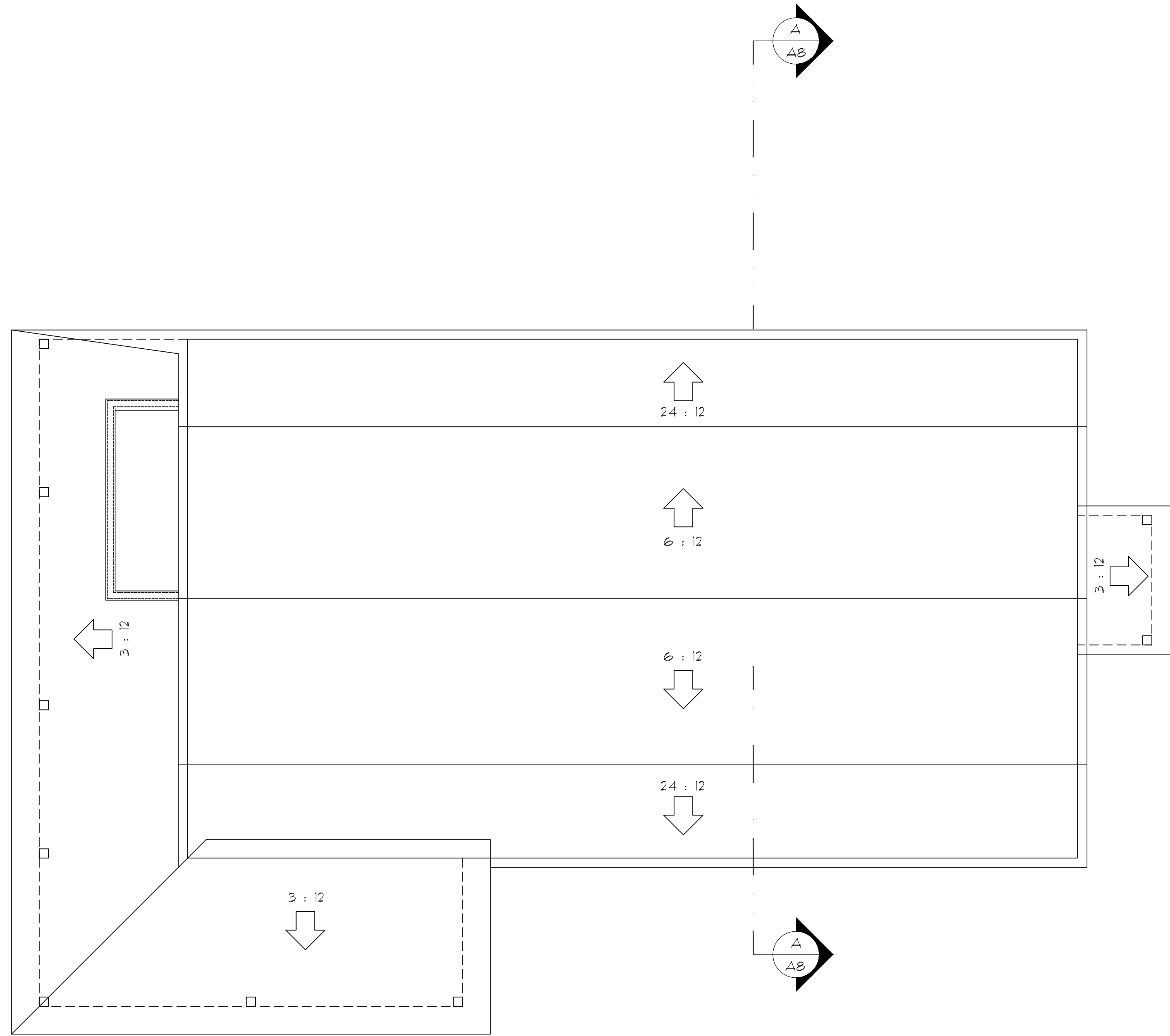
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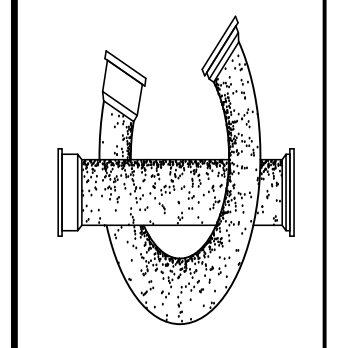
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PROPOSED ROOF PLAN
 1/4" = 1'-0"

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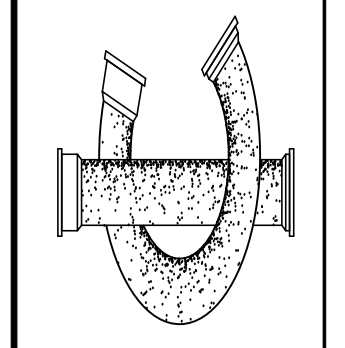


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Revisions	By

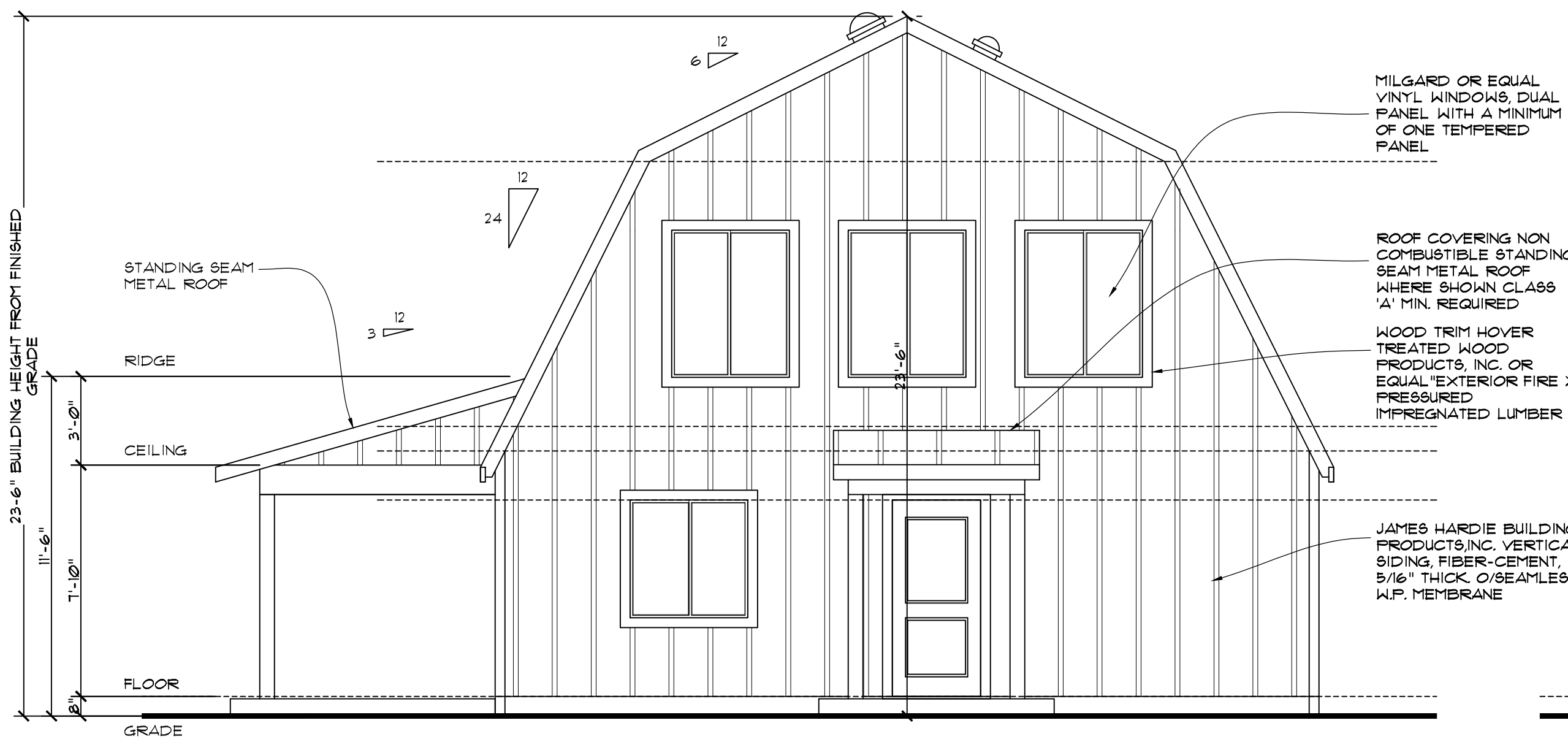
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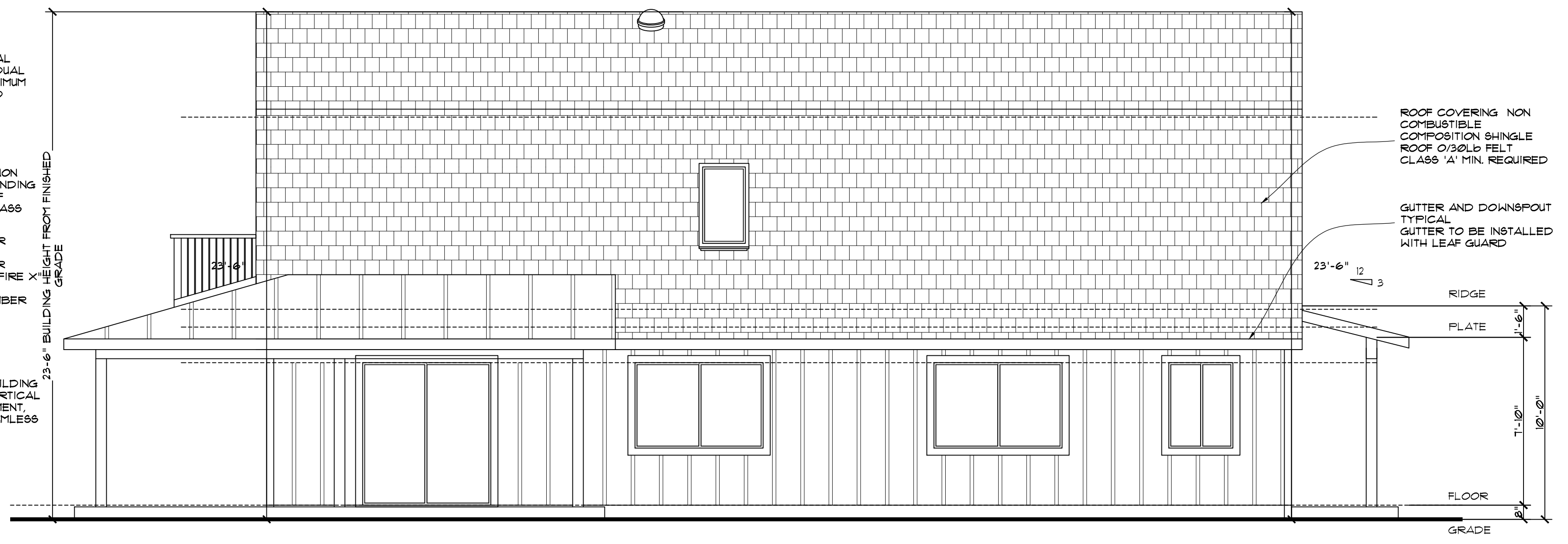
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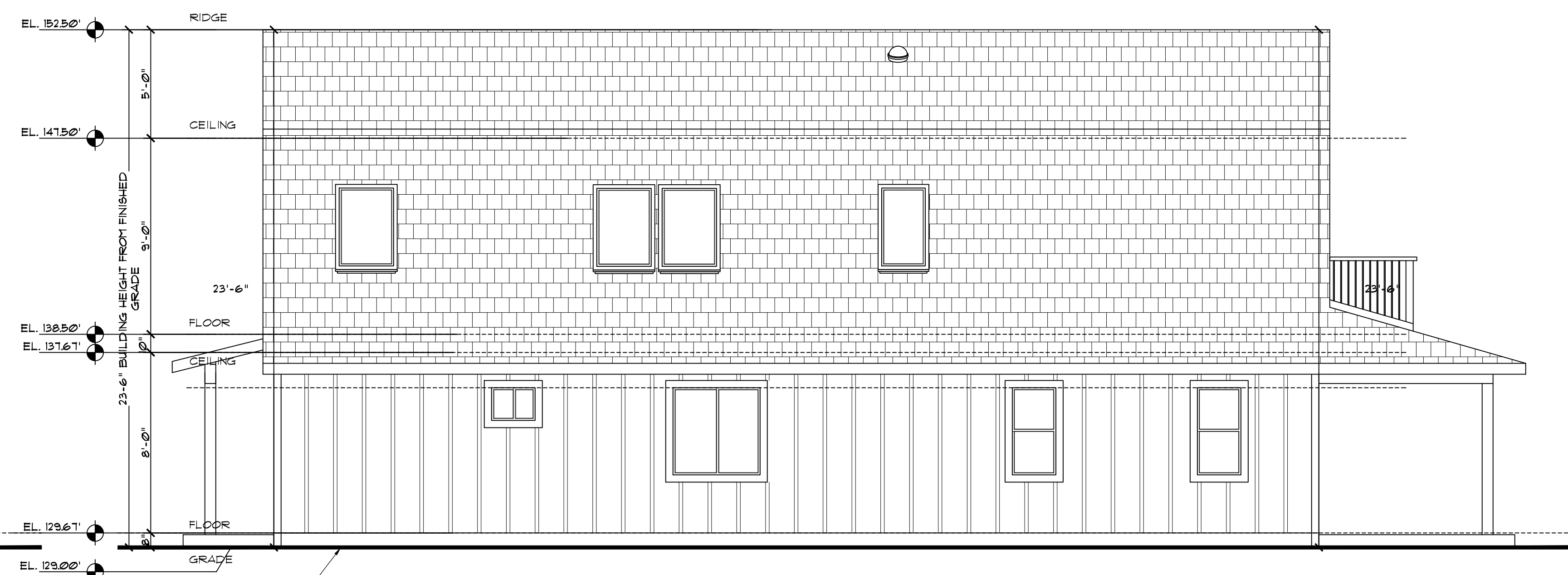
PROPOSED FRONT ELEVATION
 1/4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION
 1/4" = 1'-0"



PROPOSED REAR ELEVATION
 1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION
 1/4" = 1'-0"

MILGARD OR EQUAL VINYL WINDOWS, DUAL PANEL WITH A MINIMUM OF ONE TEMPERED PANEL
 ROOF COVERING NON COMBUSTIBLE STANDING SEAM METAL ROOF WHERE SHOWN CLASS 'A' MIN. REQUIRED
 WOOD TRIM HOWER TREATED WOOD PRODUCTS, INC. OR EQUAL EXTERIOR FIRE PRESSURED IMPREGNATED LUMBER
 JAMES HARDIE BUILDING PRODUCTS, INC. VERTICAL SIDING, FIBER-CEMENT, 5/16" THICK, 0/SEAMLESS W.P. MEMBRANE

ROOF COVERING NON COMBUSTIBLE COMPOSITION SHINGLE ROOF 0/30/15 FELT CLASS 'A' MIN. REQUIRED
 GUTTER AND DOWNSPOUT TYPICAL GUTTER TO BE INSTALLED WITH LEAF GUARD

EL. 152.50' RIDGE
 EL. 147.50' CEILING
 EL. 138.50' FLOOR
 EL. 137.61' CEILING
 EL. 129.61' FLOOR
 EL. 129.00' GRADE

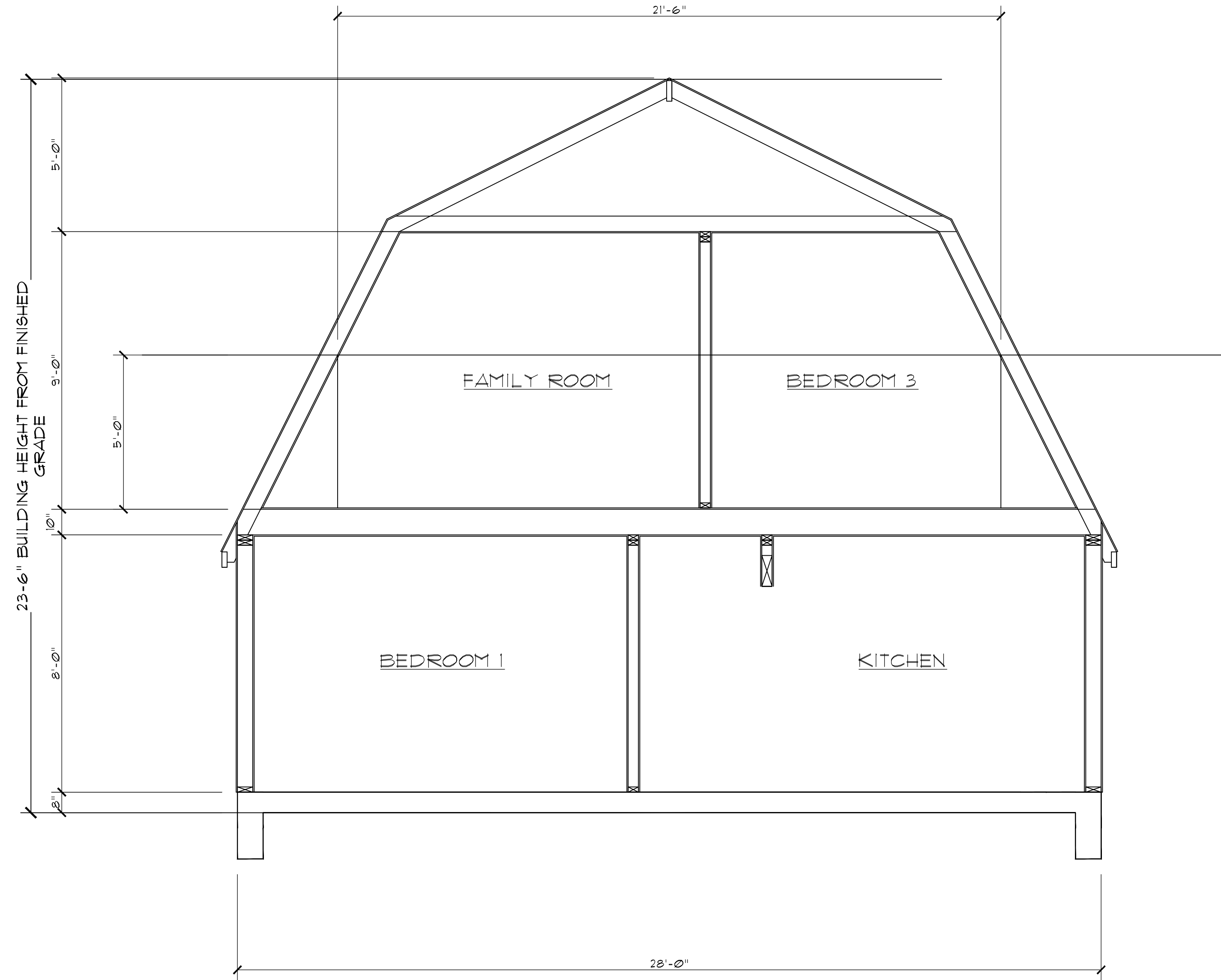
23'-6" BUILDING HEIGHT FROM FINISHED GRADE

23'-6" BUILDING HEIGHT FROM FINISHED GRADE

EXISTING GRADE UNCHANGED

23'-6" BUILDING HEIGHT FROM FINISHED GRADE

EXISTING GRADE UNCHANGED



BUILDING SECTION 'A' = 'A'

3/8" = 1'-0"

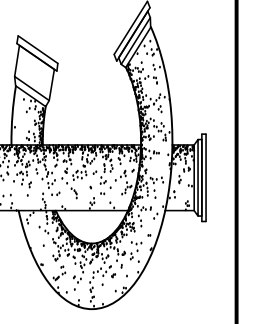
SECOND FLOOR AREA 21'-6" X 28'-0" = 1,032 SF

FIRST FLOOR AREA 28'-0" X 48'-0" = 1,344 SF

TOTAL FLOOR AREA 28'-0" X 48'-0" = 2,676 SF

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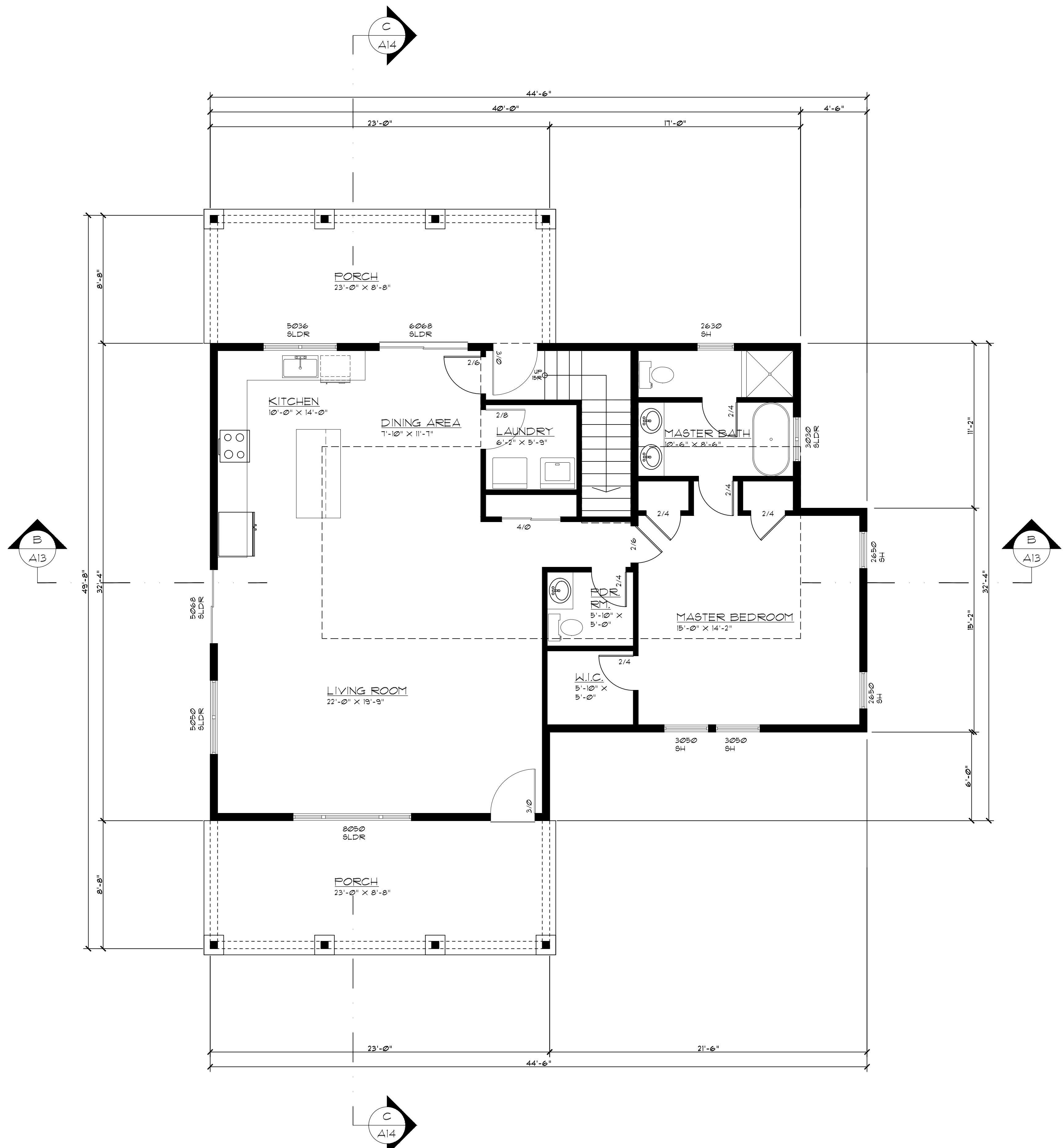


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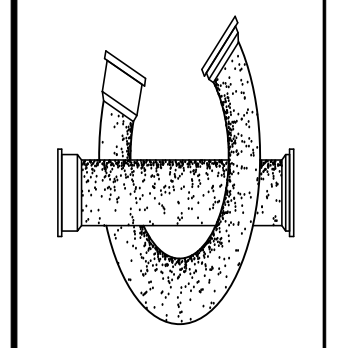
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PROPOSED FIRST FLOOR PLAN 1,199 SF ADU
 1/4" = 1'-0"

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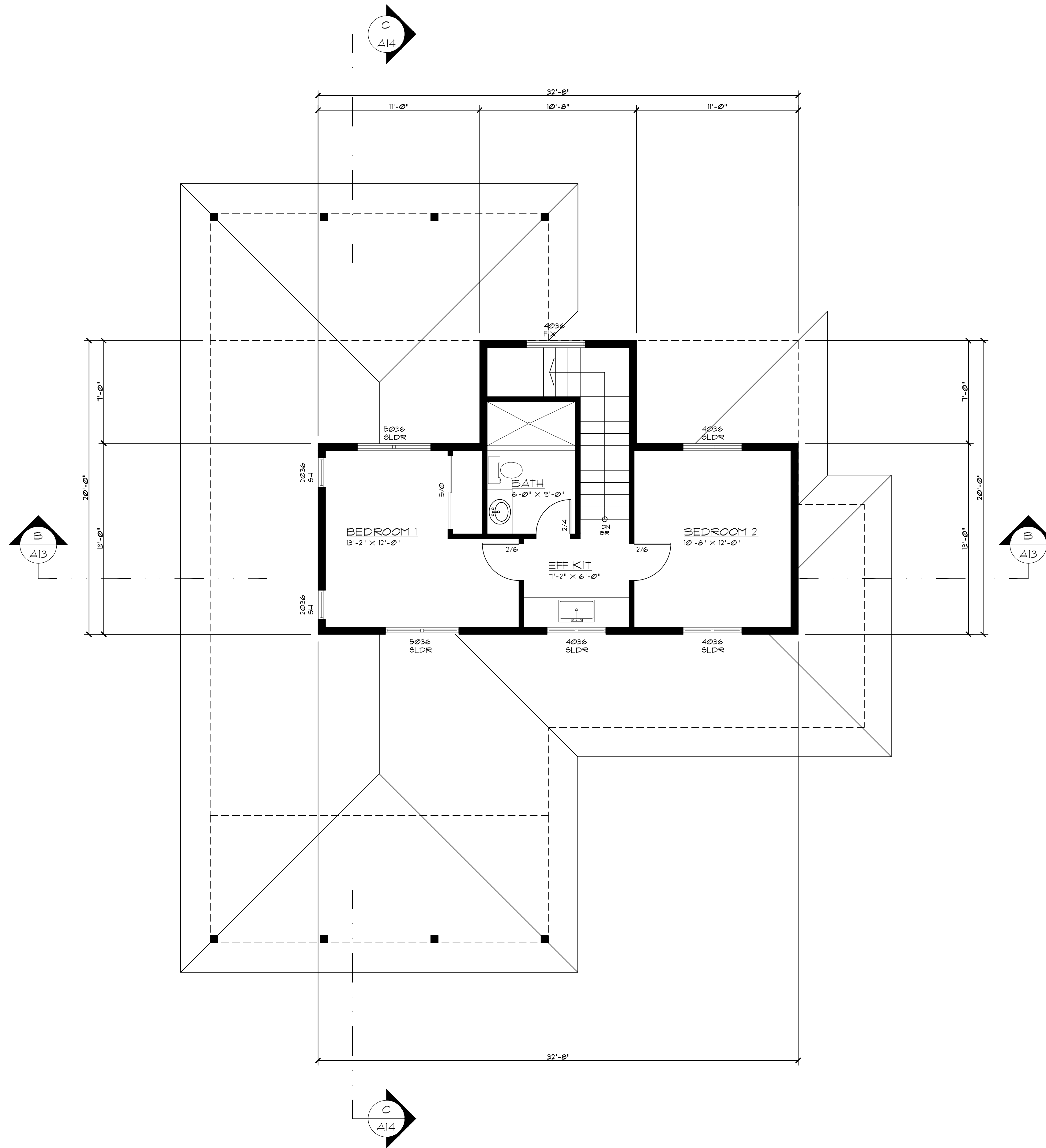
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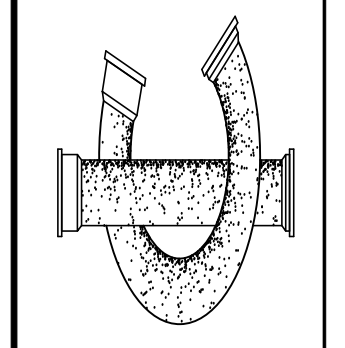
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PROPOSED SECOND FLOOR PLAN 499 SF JADU
 1/4" = 1'-0"

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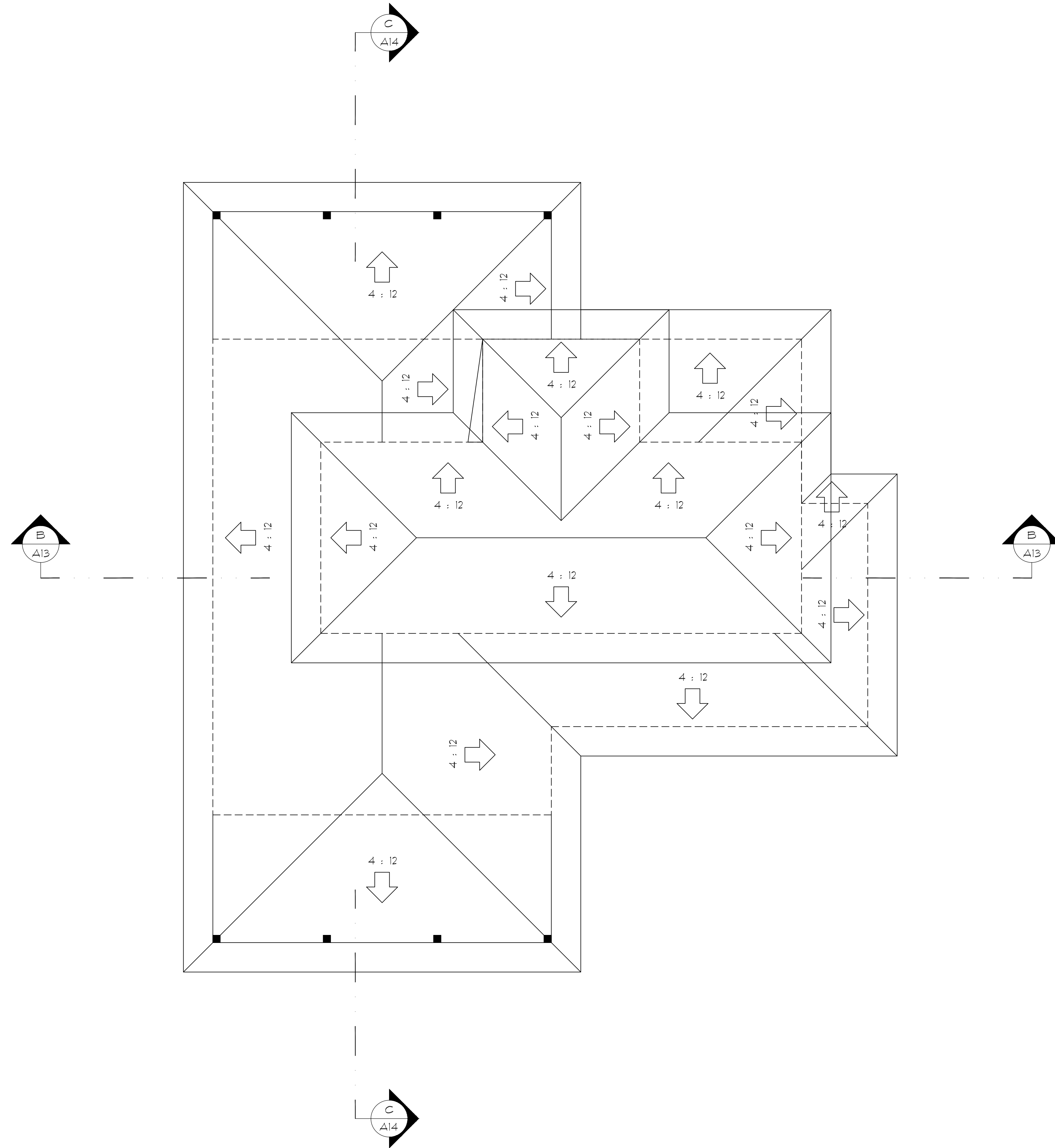
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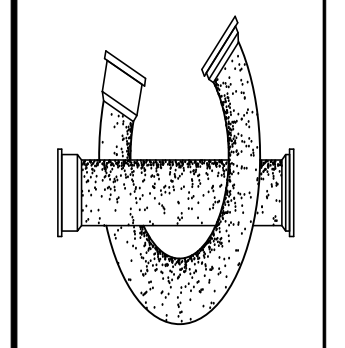
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PROPOSED ROOF PLAN
 1/4" = 1'-0"

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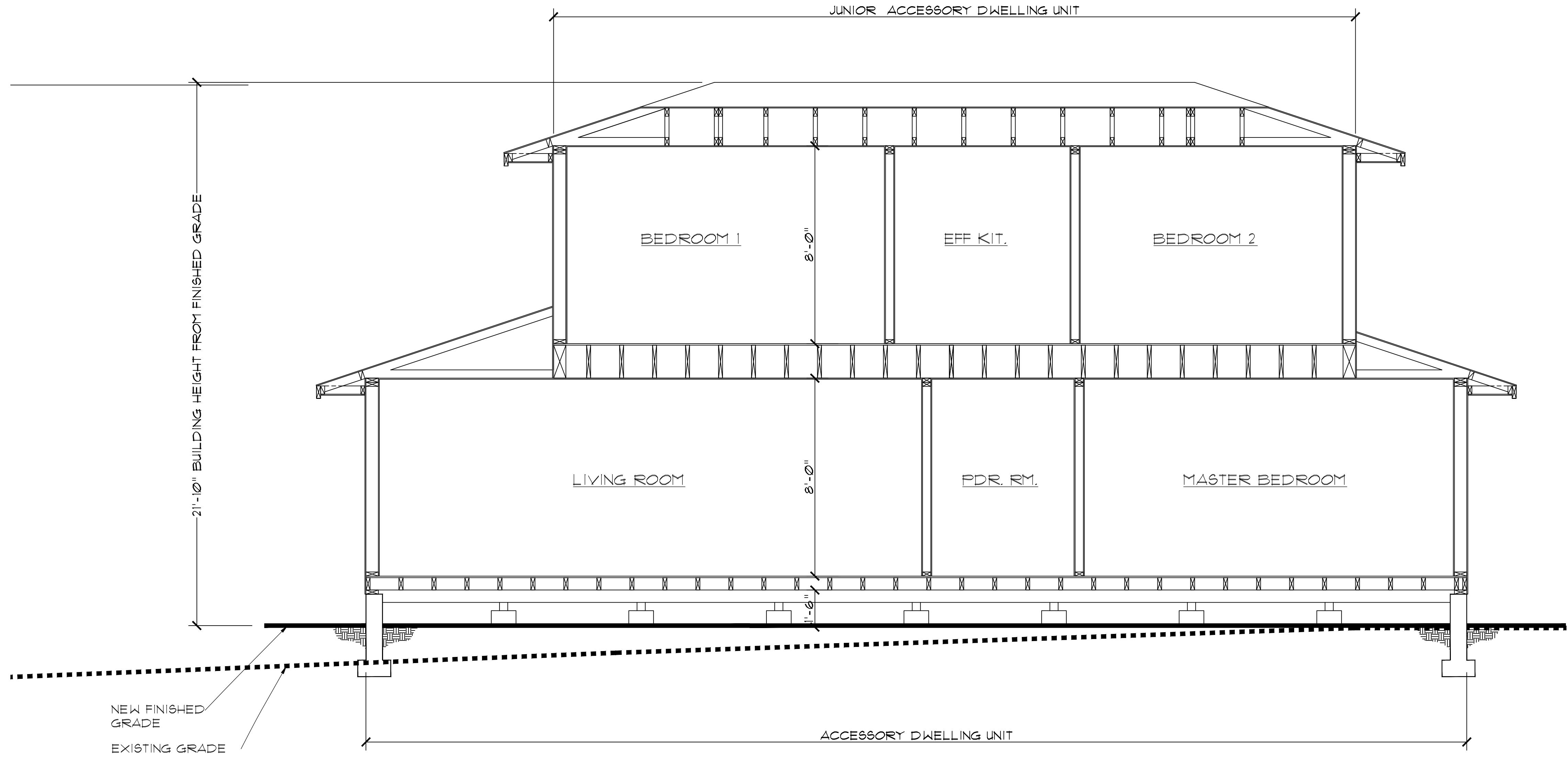
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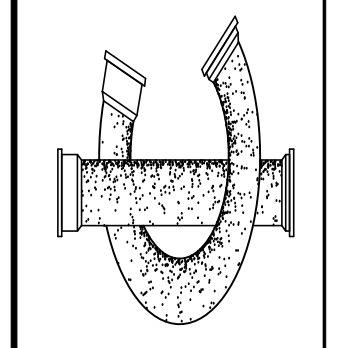
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SECTION 'B' - 'B'
 3/8" = 1'-0"

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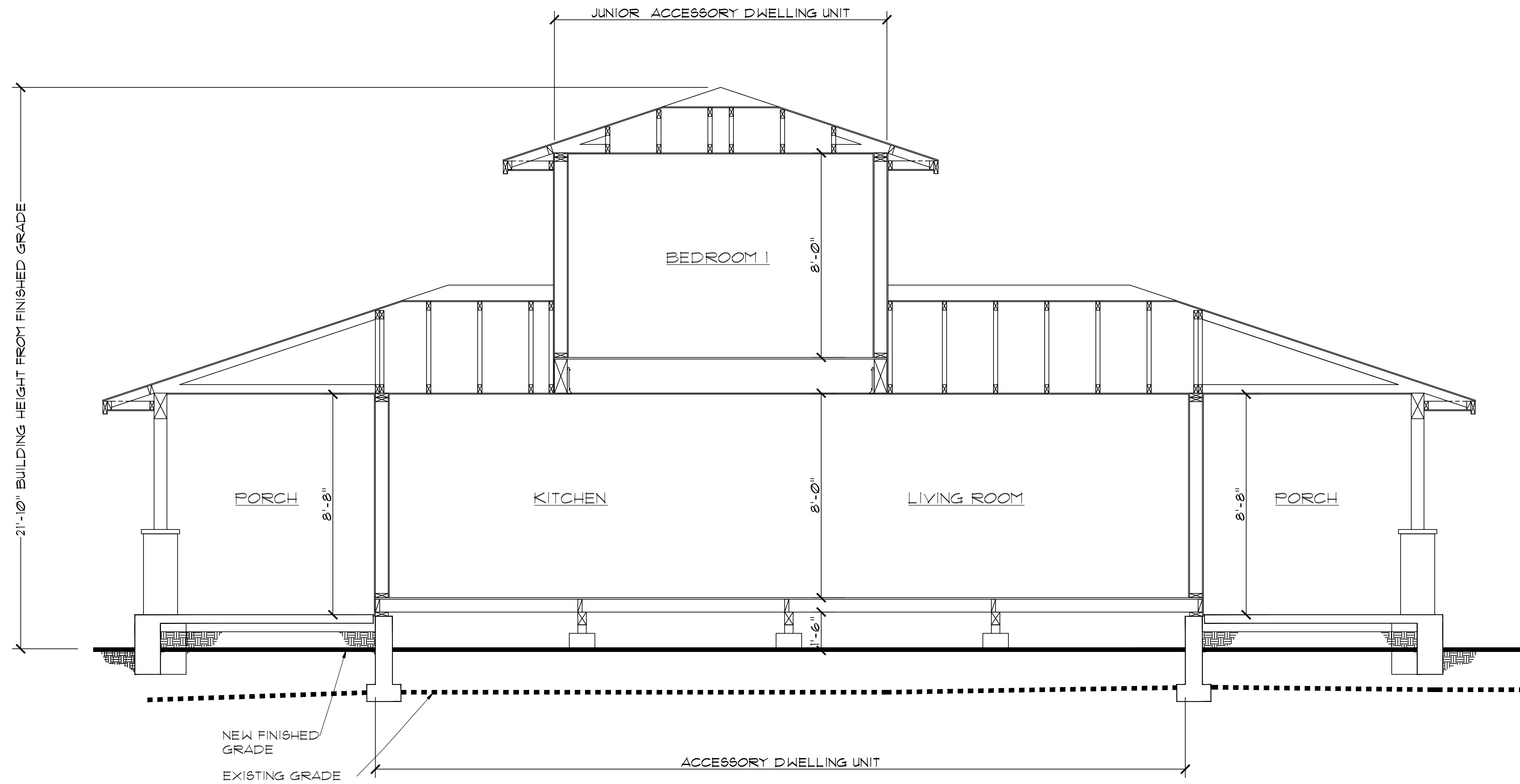
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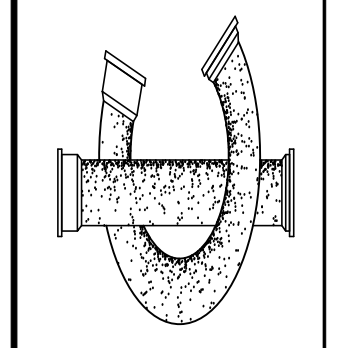
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SECTION 'C' - 'C'
 3/8" = 1'-0"

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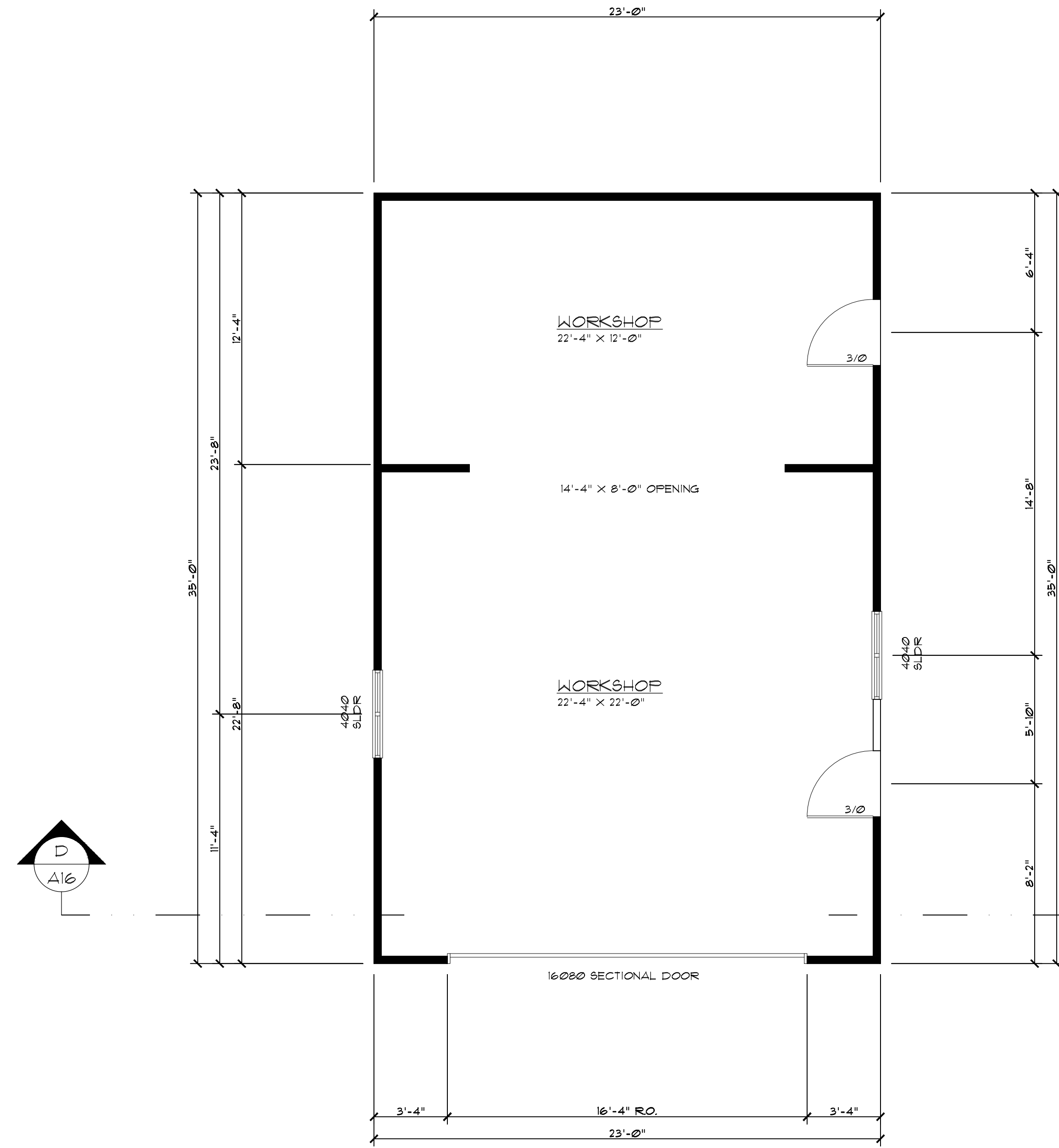
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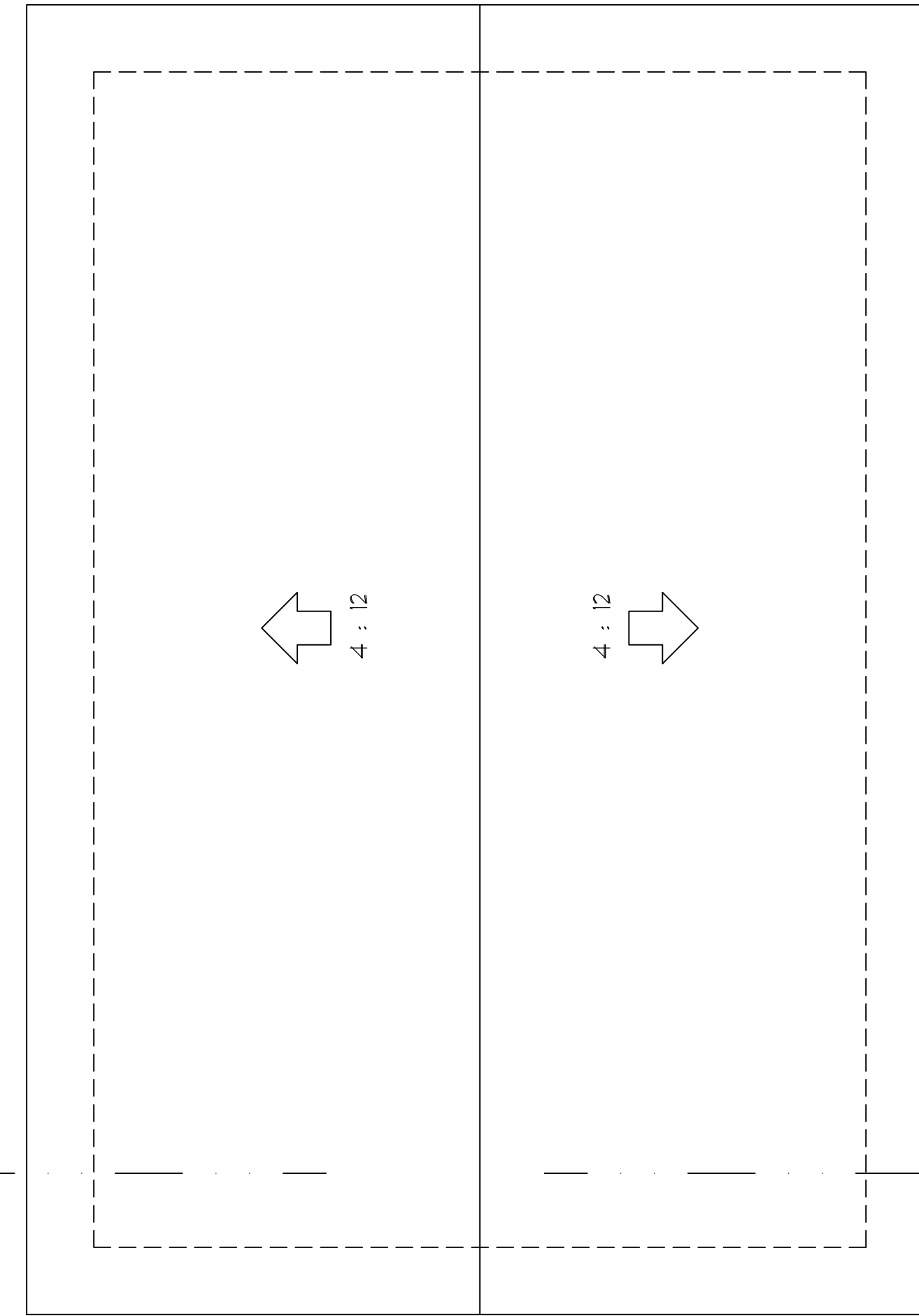
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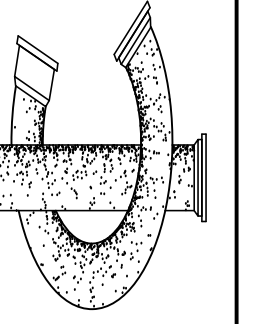
WORKSHOP FLOOR PLAN 805 SF
1/4" = 1'-0"



WORKSHOP ROOF PLAN
1/4" = 1'-0"

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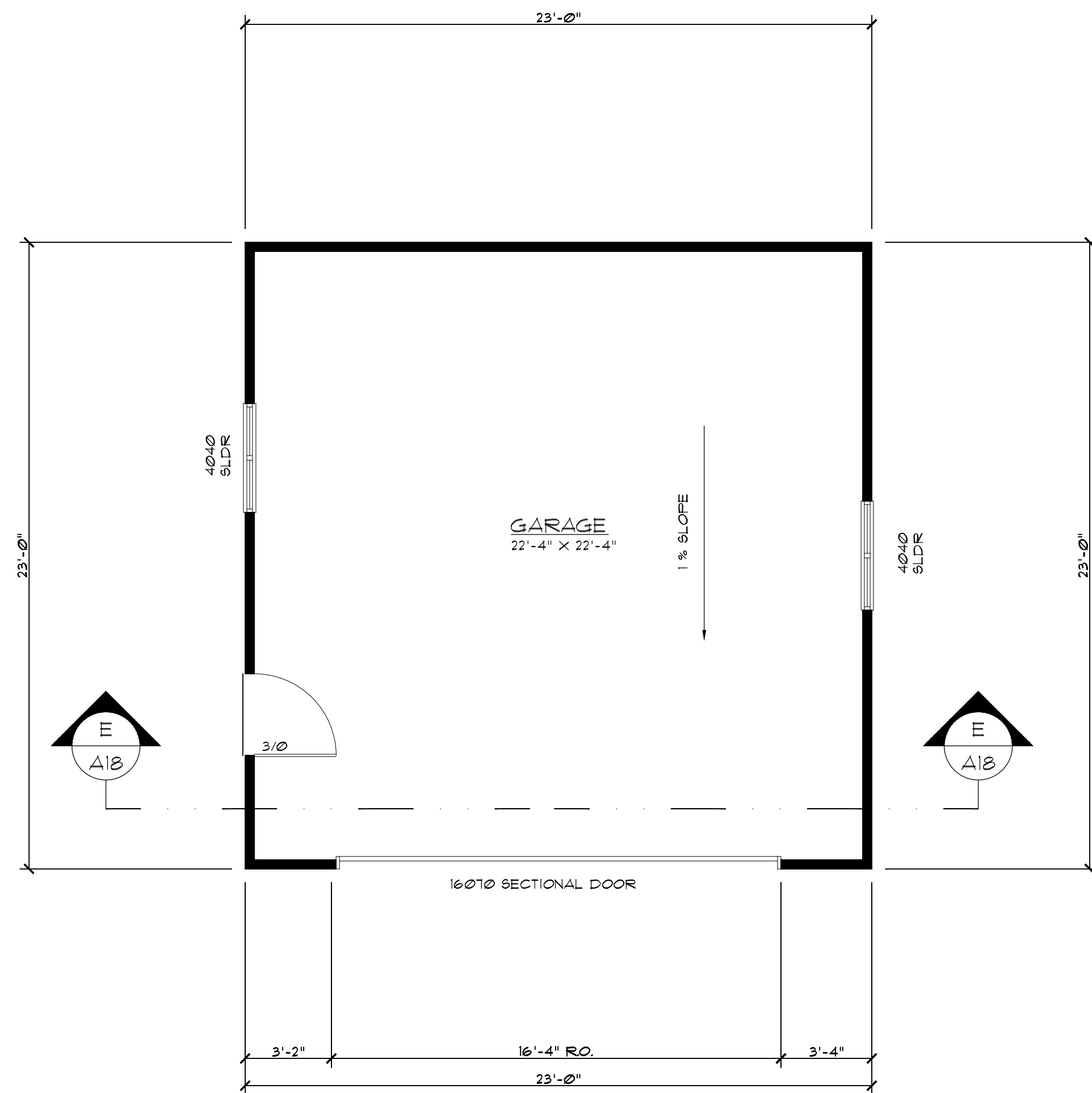
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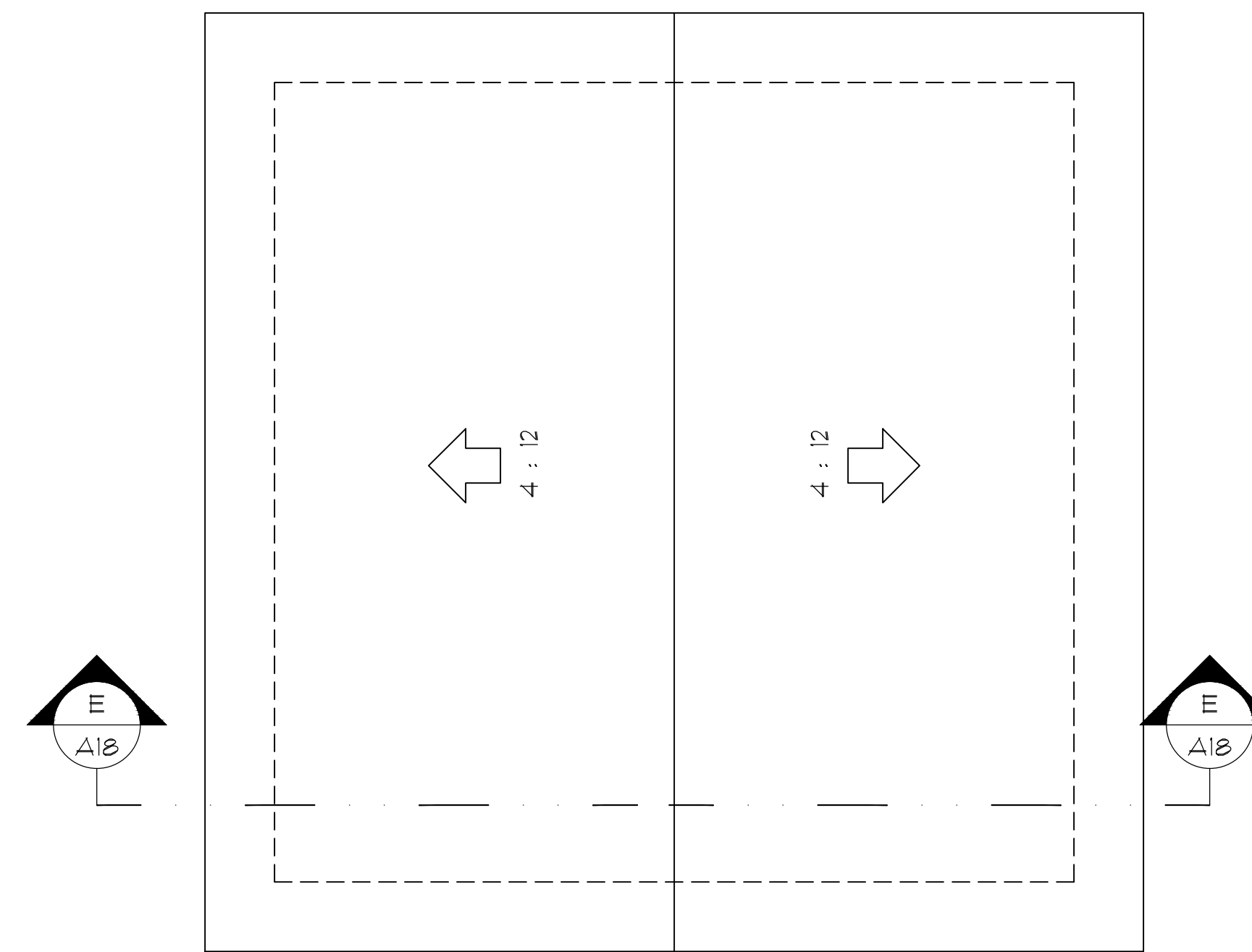
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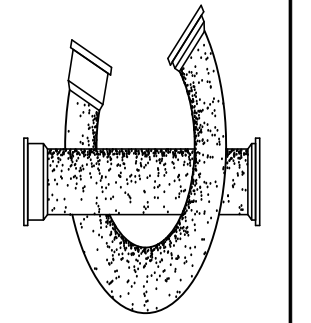
GARAGE FLOOR PLAN 529 SF
1/4" = 1'-0"



GARAGE ROOF PLAN
1/4" = 1'-0"

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