

A Design Review and Grading Permit Application for An Addition and Alteration to: The Turner Residence 4450 Roop Road, Gilroy, CA 95020

SCOPE OF WORK:

DESIGN REVIEW FOR BUILDING SITE APPROVAL.
CHANGE OCCUPANCY OF AN EXISTING PERMITTED STRUCTURE, TO SINGLE
FAMILY RESIDENTIAL.

ADDITION OF 396SF LIVING SPACE TO INCLUDE A LAUNDRY ROOM, NEW
ENTRY, INTERIOR STAIRS AND ADDITION OF 434SF OF COVERED PATIO.
PROJECT TO INCLUDE NEW KITCHEN LIVING ROOM AND DINING ROOM
DOWN STAIRS AND UPGRADING OF ALL ELECTRICAL MECHANICAL AND
PLUMBING. HOUSE TO MEET WILDLAND URBAN INTERFACE REQUIREMENTS,
BE SPRINKLERED AND MAINTAIN DEFENSIBLE SPACE AT ALL TIMES.

CONSTRUCT NEW 805SF DETACHED GARAGE. GARAGE TO MEET WILDLAND
URBAN INTERFACE REQUIREMENTS AND WILL NOT BE SPRINKLERED. ALL
PORTIONS STRUCTURE TO BE WITH IN 400 FT OF FIRE HYDRANT.
STRUCTURE TO MAINTAIN DEFENSIBLE SPACE AT ALL TIMES.

INSTALL NEW 5000GAL FIRE SUPPRESSION TANK AND WHARF HYDRANT.
WATER IS SUPPLIED BY PRIVATE WELL. FIRE DEPT ACCESS TO BE MADE OF
WEATHER RESISTANT MATERIAL, CAPABLE OF HOLDING 75,000 LB.



DEFERRED SUBMITTALS

- 1) SEPTIC SYSTEM
- 2) FIRE SPRINKLERS
- 3) FIRE HYDRANT AND LINE DESIGN

INDEX OF PAGES:

COVER SHEET	SHEET 00
MAIN HOUSE COLOR & MATERIAL BOARD	SHEET 01
DETACHED GARAGE COLOR & MATERIAL BOARD	SHEET 02
GARAGE COLOR & MATERIAL BOARD	SHEET 03
SITE PLAN	SHEET 04
MAIN HOUSE EXISTING LOWER FLOOR PLAN	SHEET 05
MAIN HOUSE EXISTING UPPER FLOOR	SHEET A1
4 ROOF PLAN	SHEET A2
MAIN HOUSE EXISTING ELEVATIONS	SHEET A3
MAIN HOUSE PROPOSED LOWER FLOOR PLAN	SHEET A4
MAIN HOUSE PROPOSED UPPER FLOOR PLAN	SHEET A5
MAIN HOUSE PROPOSED ROOF PLAN	SHEET A6
MAIN HOUSE PROPOSED ELEVATIONS	SHEET A7
MAIN HOUSE BUILDING SECTION	SHEET A8
ADDITIONAL FLOOR PLAN	SHEET A9
NEW SECOND FLOOR PLAN	SHEET A10
ADDITIONAL FLOOR PLAN	SHEET A11
ADDITIONAL BUILDING SECTION	SHEET A12
ADDITIONAL BUILDING SECTION	SHEET A13
DETACHED GARAGE FLOOR AND ROOF PLANS	SHEET A14
DETACHED GARAGE ELEVATIONS AND SECTIONS	SHEET A15
GARAGE FLOOR ELEVATION & SECTIONS	SHEET A16
GARAGE ELEVATIONS & SECTIONS	SHEET A17

PROJECT DESCRIPTION:

DESIGN REVIEW AND BUILDING SITE APPROVAL
ASSESSORS PARCEL NUMBER : 898-02-012
BUILDING OCCUPANCY : R3-U
TYPE OF CONSTRUCTION : V-B
STORIES : 2
SPRINKLERED : YES
LOT AREA NET : 10 AC
GROSS LOT AREA : 9.55 AC
ZONING : HS-D1
FIRE AREAS : WUI, SRA

EXISTING HOUSE FIRST FLOOR : 1,120 SF
ADDITION HOUSE FIRST FLOOR : 224 SF
TOTAL HOUSE FIRST FLOOR : 1,344 SF

EXISTING HOUSE SECOND FLOOR : 860 SF
ADDITION HOUSE SECOND FLOOR : 172 SF
TOTAL HOUSE SECOND FLOOR : 1,032 SF

EXISTING HOUSE TOTAL : 1,980 SF
PROPOSED ADDITION TOTAL : 396 SF
PROPOSED HOUSE TOTAL : 2,376 SF

HOUSE COVERED PATIOS : 434 SF
DETACHED GARAGE : 805 SF

10' 0" / 4.703' / 46' 10.5" ± 0' 02" : 10' 0" / 102' ±

ABBREVIATIONS:

WINDOW ABBREVIATIONS:

3030	-	3'-0" X 3'-0"
CT	-	CIRCLE TOP
SLDR	-	HORIZONTAL SLIDER
CSMT	-	CASEMENT
FIX	-	FIXED
SL	-	SIDE LIGHT
TEMP	-	TEMPERED GLASS
HC	-	HALF CIRCLE
SH	-	SINGLE HUNG
DH	-	DOUBLE HUNG
ARCH	-	ARCHED
EGRESS	-	EGRESSIBLE WINDOW SEE NOTE BELOW

DOOR ABBREVIATIONS:

2/0	-	2'-0" WIDE X 6'-8" TALL UNLESS OTHERWISE NOTED
3080	-	3'-0" WIDE X 8'-0" TALL
3070	-	3'-0" WIDE X 7'-0" TALL
3068	-	3'-0" WIDE X 6'-8" TALL

\$	-	CENTERLINE
DIM	-	DIMENSION
EL	-	ELEVATION
(E)	-	EXISTING
F.F.	-	FINISH FLOOR
G.C.	-	GENERAL CONTRACTOR
(N)	-	NEW
N.T.S.	-	NOT TO SCALE
R.O.	-	ROUGH OPENING
PL	-	PROPERTY LINE
T.O.S.	-	TOP OF SLAB
TYP	-	TYPICAL
UNO	-	UNLESS NOTED OTHERWISE
V.I.F.	-	VERIFY IN FIELD

LEGEND:

WALL LEGEND:

	- EXISTING WALL TO REMAIN
	- EXISTING WALL REMOVED
	- NEW WALL CONSTRUCTION

	- SECTION CUT SECTION NAME SECTION PAGE
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	- DIMENSIONAL REFERENCE /ELEVATION
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	- REVISION
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	- REVISION CLOUD
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	- DETAIL NUMBER PAGE
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	- ROOF PITCH
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GENERAL NOTES:

- The proposed residence is to be constructed by a Contractor and the architectural plans are based on the plans, exterior elevations, scaled floor plans and material construction specifications approved by the owner. The architectural plans are not intended to be comprehensive and it shall be the responsibility of the subcontractors to notify the Contractor of any necessary clarifications or modifications.

- All work connected with this project shall be done in a professional manner in accordance with the traditionally and legally defined 'best accepted practice' of the trade involved. Additionally, all work shall comply with applicable codes and trade standards which govern each phase of work, including but not limited to the 2022 California Building Code (CBC), 2022 California Mechanical Code (CMC), 2022 California Fire Code (CFC), 2022 California Electrical Code (CEC), American Concrete Institute Code (ACI), 2022 California Plumbing Code (CPC), and all applicable local codes and/or legislation.

- The Contractor shall be responsible for notifying the Designer of any unusual or unforeseen foundation conditions, discrepancies of omissions within the plans or any deviations or changes from the plans before proceeding with the work involved otherwise they will be considered adequate for proper completion of the project. The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items.

- Adequate supervision and periodic inspection during the construction phase are recommended. The Contractor shall be responsible to ensure that this inspection and supervision are provided by qualified persons.

- These plans shall not be considered complete and ready for construction until a building permit has been issued.

- In all cases written dimensions take precedence over scaled dimensions. Dimensions are to the face of stud or face of concrete unless otherwise noted.

- Larger scale details take precedence over smaller scale details.

- Lay out all structural work by referring to dimensions and elevation notes on the architectural plans. Do not scale structural drawings work detail dimensions from controlling surface points and actual material dimensions.

- Slope finish exterior surface away from foundation.

NOTE:

THE FOLLOWING CODES AND REGULATIONS AS AMENDED BY THE STATE OF CALIFORNIA & LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.

CBC	2022 California Building Code
CEBC	2022 California Residential Building Code
CGBC	2022 California Green Building Code
CEC	2022 California Electrical Code
CPC	2022 California Plumbing Code
CMC	2022 California Mechanical Code
CEC	2022 California Energy Code
CRC	2022 California Residential Code

Revisions By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3000 Stevens Creek Blvd, Ste 205
Folsom, CA 95630-1709 Fax: (916) 985-1343
E-Mail: info@innovativeconcepts.net



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The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-1-24

DATE 10/31/2023

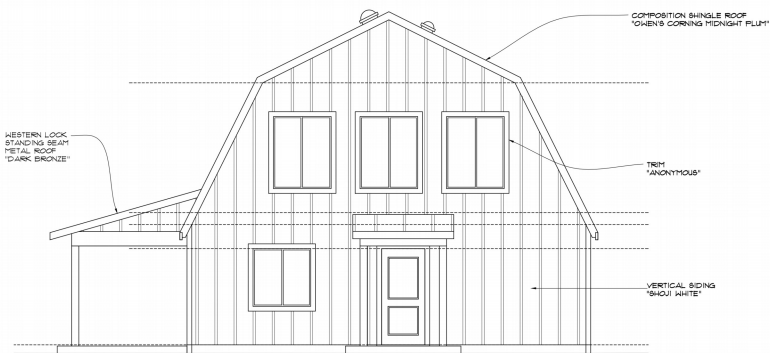
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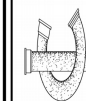


PROPOSED FRONT ELEVATION (MAIN HOUSE)
1/4" = 1'-0"



Revisions	By

INNOVATIVE CONCEPTS
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An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-124

DATE 10/31/2023

REVISION NOTED

REVISION JAG

DATE

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Sheet



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Date 10/31/2023

Scale **NOTED**

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Job _____

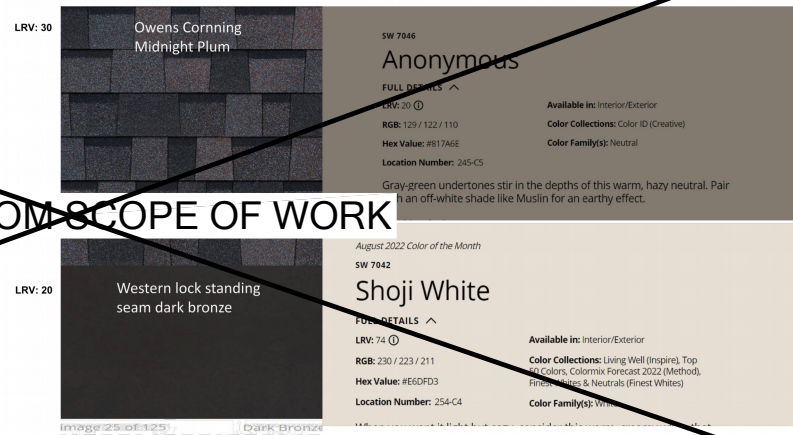
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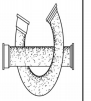
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REVISION 10-1-24

10/31/2023

NOTED

CWT: JAG

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Sheets



COUNTY LOCATION MAP



VICINITY MAP

KELLEY	JUN	TURNER	No.	20020
ENGINEERING & SURVEYING	08/07/2024	1	07	
400 Park Center Drive, Suite #4	CALC BY	MJK	DATE	08/07/2024
Hollister, CA 95023	CHECK BY		DATE	
STANDARD 100-000-000-000	DATE		SCALE	

AVERAGE SLOPE CALCULATION

4450 Roop Road, Gilroy, CA

CONTOUR LENGTH	115	14
115	30	
120	11	
125	287	
130	817	
135	637	
140	626	
145	787	
150	876	
155	845	
160	876	
165	836	
170	836	
175	930	
180	1038	
185	962	
190	970	
195	1095	
200	1038	
205	1079	
210	1038	
215	883	
220	1043	
225	894	
230	870	
235	774	
240	557	
245	347	



1" = 40'

1" = 20000'

1" = 10000'

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FLOOR AREA RATIO CALCULATION	
HOUSE 1ST FLOOR	1,344 SF
HOUSE 2ND FLOOR	932 SF
COVERED PATIOS	434 SF
DETACHED GARAGE	805 SF
TOTAL FLOOR AREA	3,515 SF
NET LOT AREA	415,998 SF
FAR	3.515/415998 = .85%



In accordance with section 4725 (a) of the Professional Engineer's Act these plans are
PRELIMINARY
and therefore do not bear the signature and seal of a registered civil engineer.

BY DATE REVISIONS APPR

KELLEY
ENGINEERING & SURVEYING
400 PARK CENTER DRIVE, SUITE #4
HOLLISTER, CA 95023
OFFICE (831) 636-1104 FAX (831) 636-1837

DATE: JULY 2024
SCALE: 1" = 40'
DESIGNED: MJK, TJK
DRAWN: MJK, TJK
JOB NO.: 20020

SITE PLAN
MIKE TURNER
4450 ROOP ROAD, GILROY, CA

SHEET
1
OF 1

GRADING NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH THE COUNTY OF SANTA CLARA GRADING ORDINANCE, THE COUNTY ENGINEER AND ANY SPECIAL REQUIREMENTS OF THE PERMIT.

NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE COUNTY ENGINEER AND HOLDING THE NECESSARY PERMIT.

THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF HIS WORK AND SHALL SUBMIT A STATEMENT OF COMPLIANCE WITH THE APPROVED GRADING PLANS PRIOR TO FINAL GRADING.

DUST SHALL BE CONTROLLED BY WATER.

SANITARY FACILITIES SHALL BE MAINTAINED ON-SITE.

THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.

APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE DISPOSITIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE CONSTRUCTION PROJECT.

ALL PUBLIC ROADWAYS MUST BE CLEARED ONLY OF ALL DIRT, MUD AND DEBRIS DEPOSITED ON THEM AS A RESULT OF THE GRADING OPERATION. CLEANNING IS TO BE COMPLETED TO THE SATISFACTION OF THE CITY ENGINEER.

SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL DRAINAGE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.

STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE OR STREET. DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.

CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE RETAINED ON-SITE TO MINIMIZE TRANSPORT BY WIND OR RUNOFF.

ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD CONSTRUCTION STAGING AREAS.

AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.

CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A MANNER THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ARE ALLOWED ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARDS, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION OR NUISANCE, OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER UPON DISCOVERING SIGNIFICANT DISCREPANCIES, ERRORS OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS OR OMISSIONS. THE REVISED PLANS SHALL BE SUBJECT TO REVIEW.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.) TOLL FREE AT 1-800-424-2444, AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL LOCATE ALL UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A. THE UTILITY OWNER AND/OR THE PROJECT ENGINEER IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE AND CABLETV.

THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.

PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE.

THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. THE CONTRACTOR MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15).

EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR BEFORE FORECASTED STORM EVENTS AND AFTER ACTUAL STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. STORM EVENTS PRODUCE AT LEAST 0.5 INCH OF PRECIPITATION IN A 24 HOUR PERIOD. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.

CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS. CHANGES SHALL BE NOTED ON THE PLAN WHEN MADE.

DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER AND CHLORINATED WATER.

ADJACENT TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFF-SITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWAYS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY.

EXPOSED SLOPES SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING 70% VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS.

WHENEVER IT IS NOT POSSIBLE TO UTILIZE EROSION PREVENTION MEASURES, EXPOSED SLOPES SHALL EMPLOY SEDIMENT CONTROL DEVICES, SUCH AS FIBER ROLLS AND SALT FENCES. FIBER ROLLS AND SALT FENCES SHALL BE TRENCHED AND KEYED INTO THE SOIL AND INSTALLED ON CONTOUR. SALT FENCES SHALL BE INSTALLED APPROXIMATELY 2' OR FEET FROM TOP OF SLOPE.

THE CONTRACTOR SHALL PROTECT STORM DRAIN INLETS FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.

ENERGY DISPERSERS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY STORM WATER FLOW LEADING TO SOIL EROSION.

SOIL AND MATERIAL STOCKPILES SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.

SOLID WASTE SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY, OR AS NECESSARY, AND REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE MAINTAINED.

A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. IT SHALL BE MAINTAINED CLEAN AND CONCRETE PRODUCTS AND WASTE BE ALLOWED TO DRAIN TO COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS.

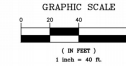
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES OR STRUCTURES ABOVE OR BELOW GROUND, SHOWN OR NOT SHOWN ON THESE PLANS. HE SHALL BE RESPONSIBLE FOR ALL DAMAGE TO ANY UTILITIES OR STRUCTURES CAUSED BY HIS OPERATION.

ALL GRADING SHALL BE COMPLETED UNDER THE SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER.

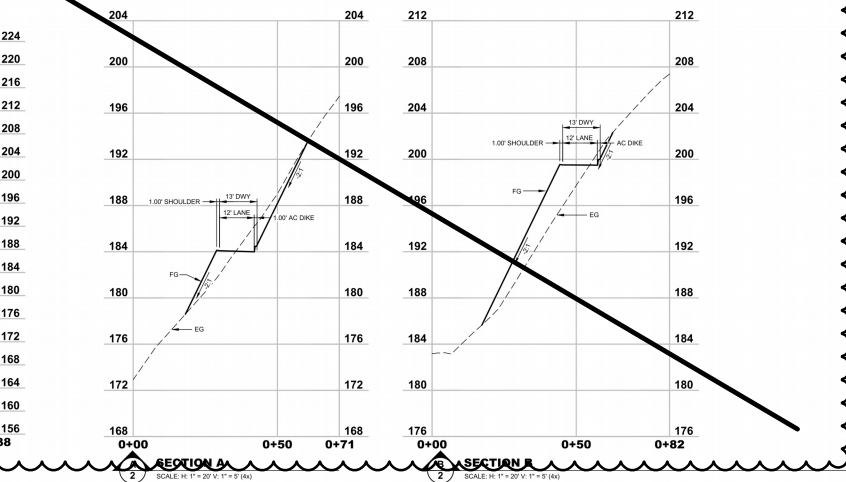
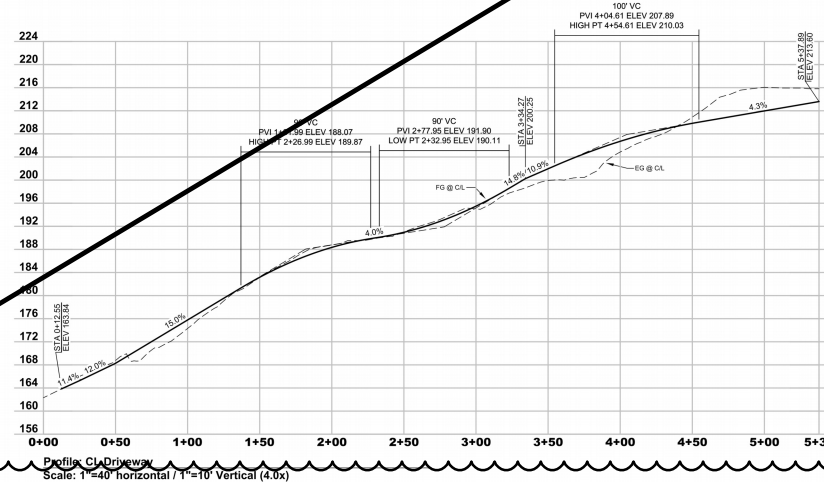
ENGINEER ACCEPTS NO LIABILITY AS TO THE ACCURACY OF THE EXISTING SURFACE TOPOGRAPHY AS IT WAS PREPARED BY OTHERS.

EARTHWORK ESTIMATE
CUT: -875 C.Y.
FILL: +150 C.Y.
SHRINKAGE: +125 C.Y.
BALANCE: 0 C.Y. BALANCED

EARTHWORK NOTES
THE EARTHWORK QUANTITIES ABOVE ARE APPROXIMATE. THE EARTHWORK QUANTITIES ABOVE MAY OR MAY NOT REPRESENT THE FINAL EARTHWORK AT THE COMPLETION OF THE PROJECT DUE TO, BUT NOT LIMITED TO, CHANGE, SPOILS, CONSTRUCTION TOLERANCES, CONSTRUCTION METHODS, TOPOGRAPHIC SURVEY TOLERANCES, PAD FINISH GRADING, AND UNFORESEEN CHANGES TO DESIGN.



REMOVED FROM SCOPE OF WORK



In accordance with section 6735 (a) of the Professional Engineer's Act these plans are
PRELIMINARY
and therefore do not bear the signature and seal of a registered civil engineer.

**KELLEY
ENGINEERING & SURVEYING**
400 PARK CENTER DRIVE, SUITE #4
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OFFICE (831) 636-1104 FAX (831) 636-1837

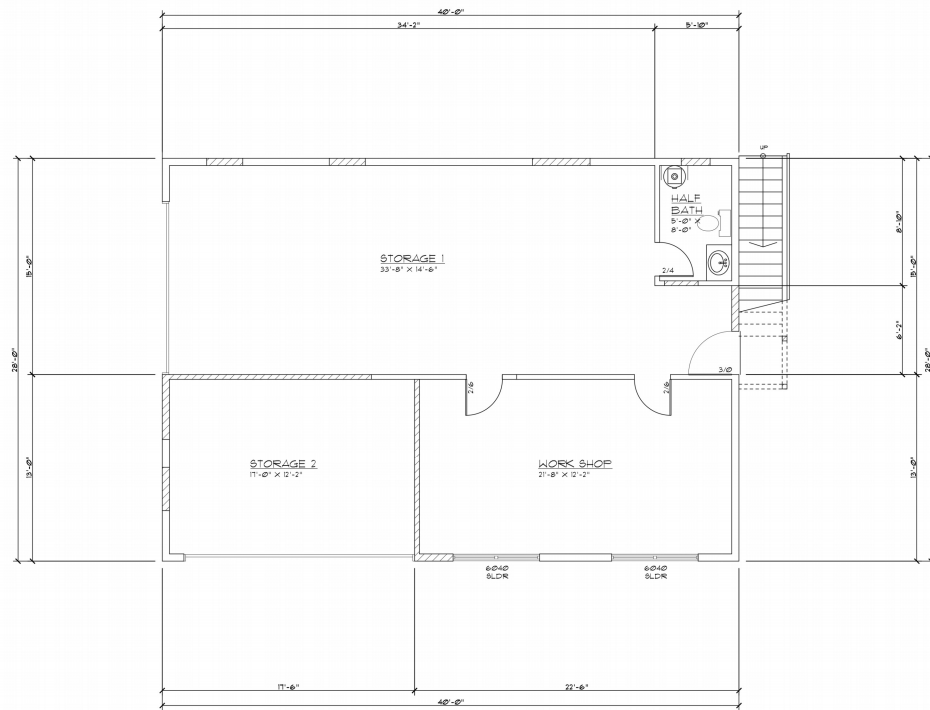
REVISION 10-1-24

DATE: JULY 2023
SCALE: H:1"=40' V:1"=10'
DESIGNED: MJK, TJK
DRAWN: MJK, TJK
JOB NO.: 20020

PRELIMINARY GRADING PLAN
MIKE TURNER
4450 ROOP ROAD, GILROY, CA

**SHEET
2
OF 2**

FILE NAME: K:\P\20020\20020.dwg Titled: PRELIMINARY GRADING PLAN Date: 7/1/2023 10:10:10 AM User: MJK



EXISTING LOWER FLOOR PLAN
1/4" = 1'-0"

NON LIVING AREA 1,120 SF

Revisions	By

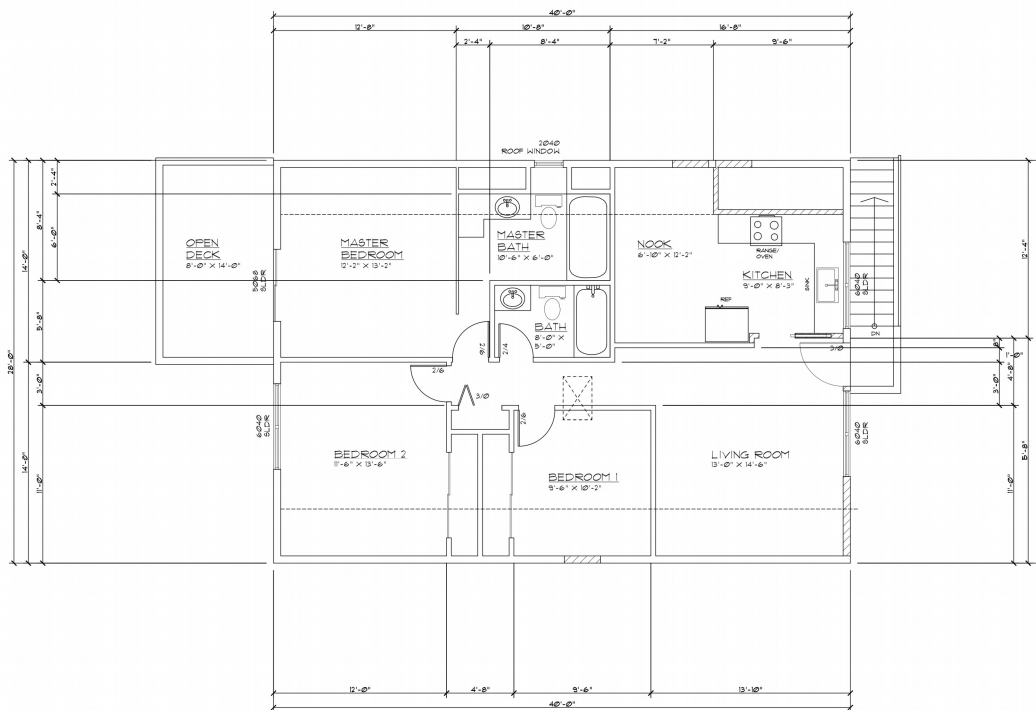
INNOVATIVE CONCEPTS
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BY	NOTED
BY	JAG
DATE	

A1



EXISTING UPPER FLOOR PLAN

1/4" = 1'-0"

LIVING AREA 860 SF
OPEN DECK 112 SF
STAIRS AND LANDING 56 SF



EXISTING ROOF PLAN

1/4" = 1'-0"

Revisions	By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
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REVISION 10-124

DATE 10/31/2023

REVIEW NOTED

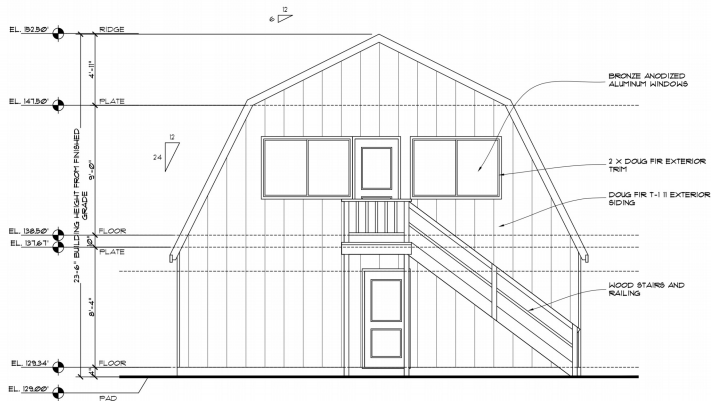
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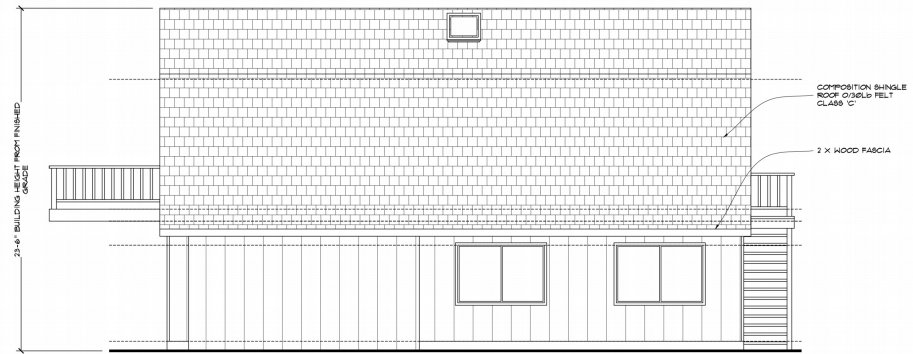
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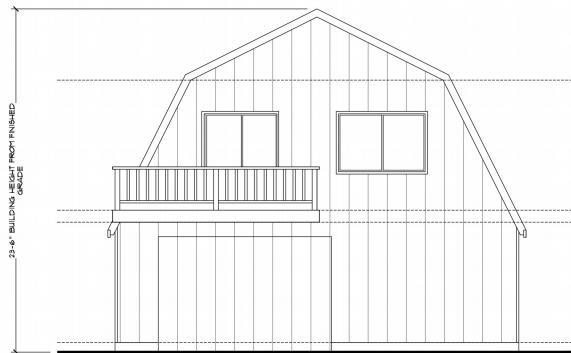
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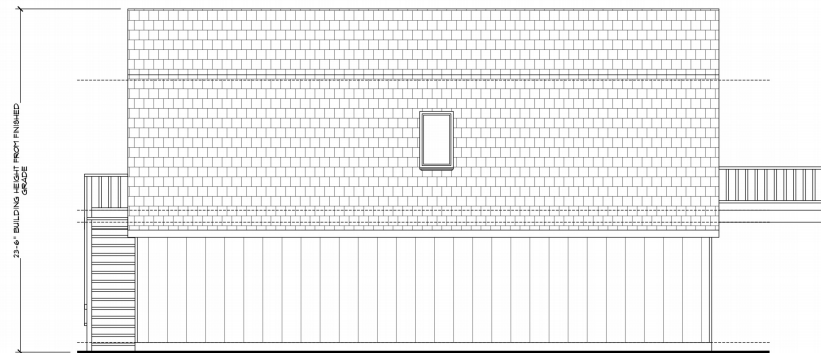
EXISTING FRONT ELEVATION
1/4" = 1'-0"



EXISTING LEFT SIDE ELEVATION
1/4" = 1'-0"



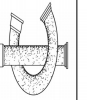
EXISTING REAR ELEVATION
1/4" = 1'-0"



EXISTING RIGHT SIDE ELEVATION
1/4" = 1'-0"

Revisions	By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3555 Stevens Creek Blvd. Ste 205
San Jose, CA 95128
Phone: (408) 985-1779 Fax: (408) 985-1343
E-Mail: info@innovative.net



An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-1-24

DATE 10/31/2023

NOTED

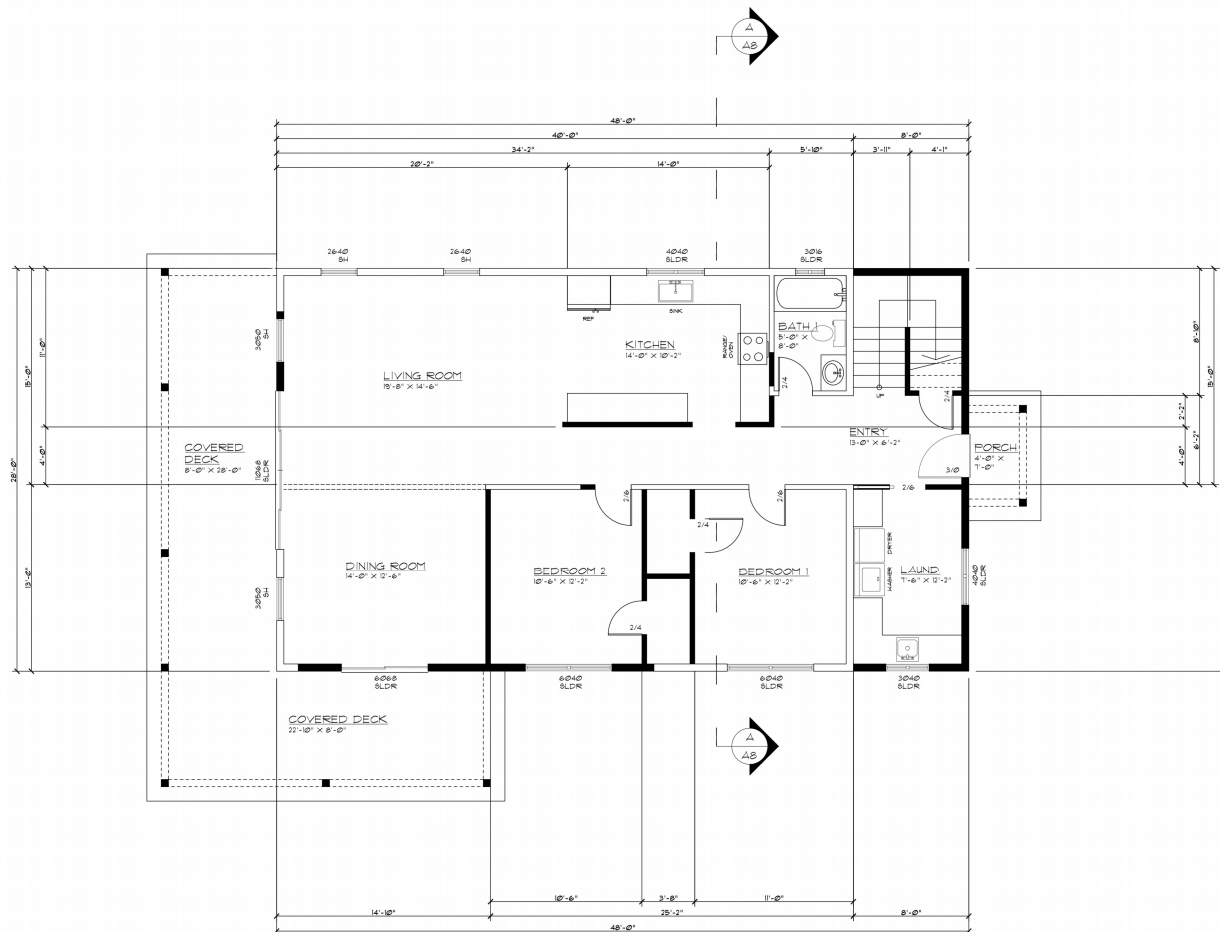
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A3

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PROPOSED LOWER FLOOR PLAN
1/4" = 1'-0"

LIVING AREA 1344 SF
COVERED PATIO 406 SF
COVERED PORCH 28 SF

Revisions	By

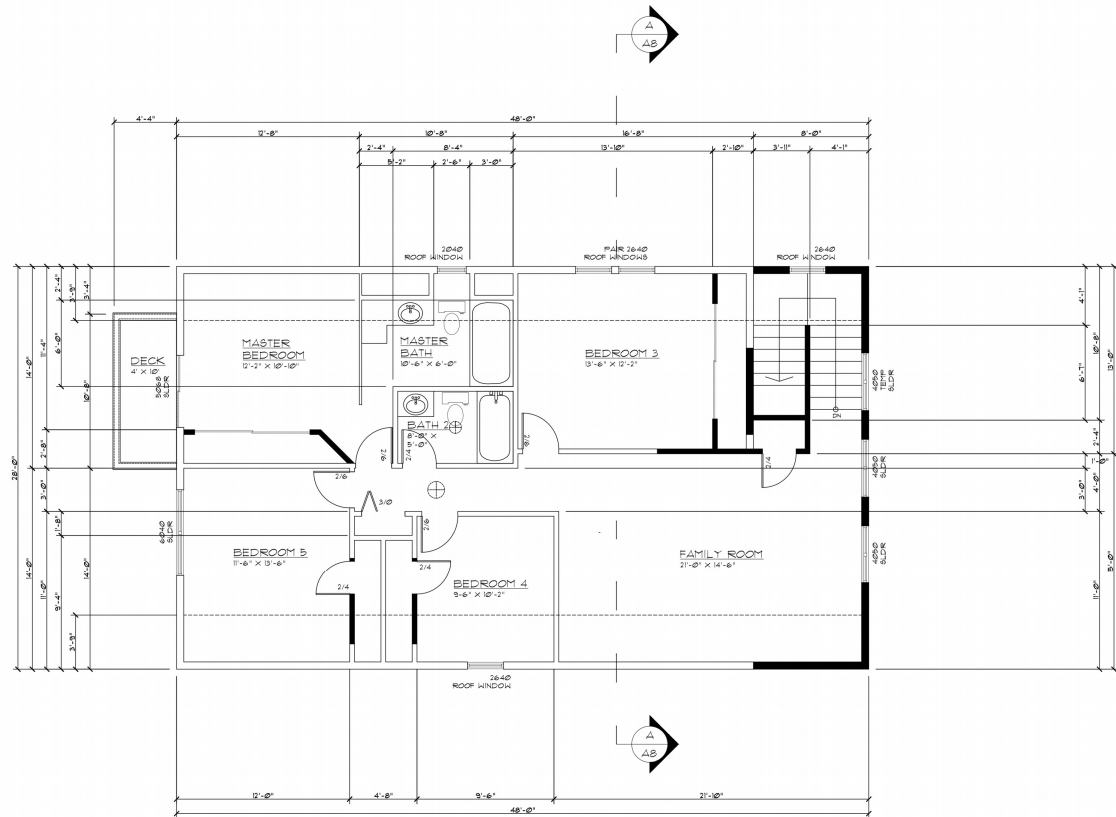
INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3555 Stevens Creek Blvd. Ste 225
San Jose, CA 95128
Phone: (408) 985-1179 Fax: (408) 985-1343
E-Mail: inccpl@bould.net

An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-1-24

DATE	10/31/2023
REVISION	NOTED
DESIGN	JAG
DATE	
REVISION	

A4



PROPOSED UPPER FLOOR PLAN
1/4" = 1'-0"

LIVING AREA 1,032 SF
COVERED DECK 46 SF
2

Revisions	By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3555 Stevens Creek Blvd. Ste 250
Pleasanton, CA 94566-1343
Phone: (415) 965-1179 Fax: (415) 965-1343
E-Mail: info@ibcdplanning.net

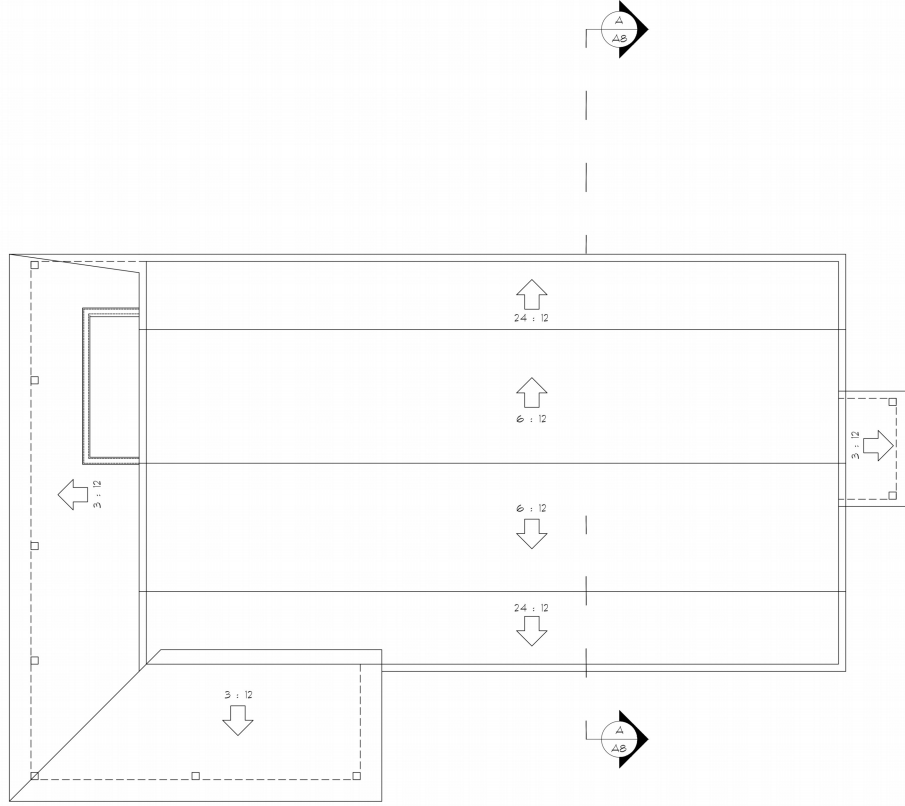


An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-1-24

DATE	10/31/2023
REVISION	NOTED
DESIGNER	JAG
DATE	
REVISION	

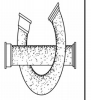
A5



PROPOSED ROOF PLAN
1/4" = 1'-0"

Revisions	By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3555 Stevens Creek Blvd., Ste. 225
San Jose, CA 95128
Phone: (408) 965-1179 Fax: (408) 965-1343
E-Mail: inccpl@abgpld.net

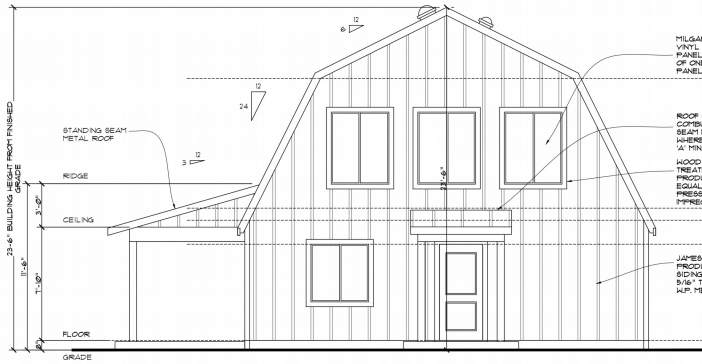


An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

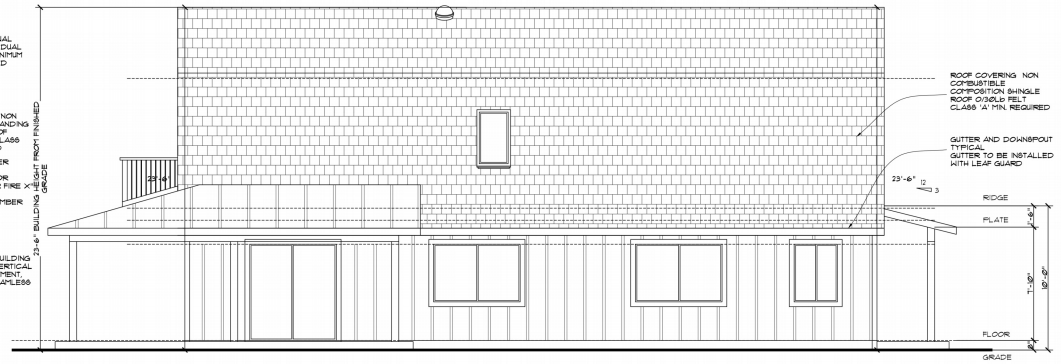
REVISION 10-3-24

DATE 10/31/2023
REVISION NOTED
DESIGNER JAG
CHECKER
DATE

A6



PROPOSED FRONT ELEVATION
1/4" = 1'-0"

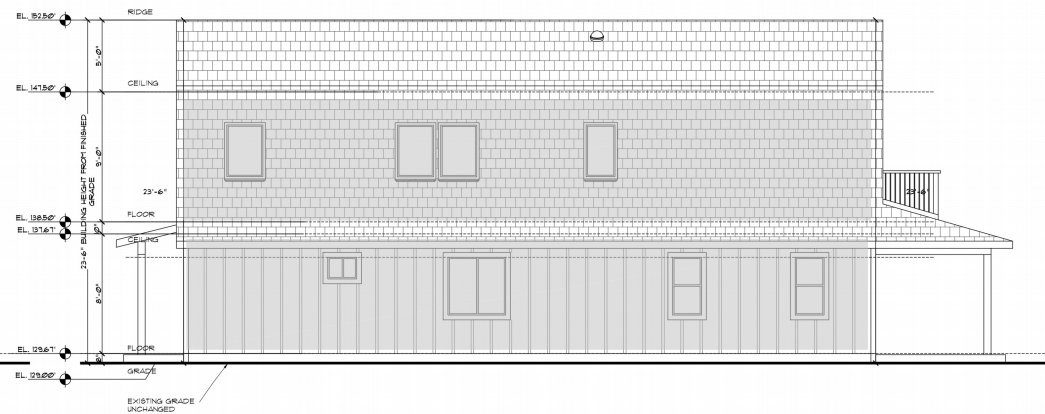


PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"

BOX AREA DIAGRAM FOR "FAR"



PROPOSED REAR ELEVATION
1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"

Revisions By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3550 Stevens Creek Blvd., Ste. 205
Folsom, CA 95690-1343
Phone: (424) 965-1179 Fax: (424) 965-1343
E-Mail: info@innovativeconcepts.net



An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-1-24

DATE 10/31/2023

STATUS NOTED

DESIGN JAG

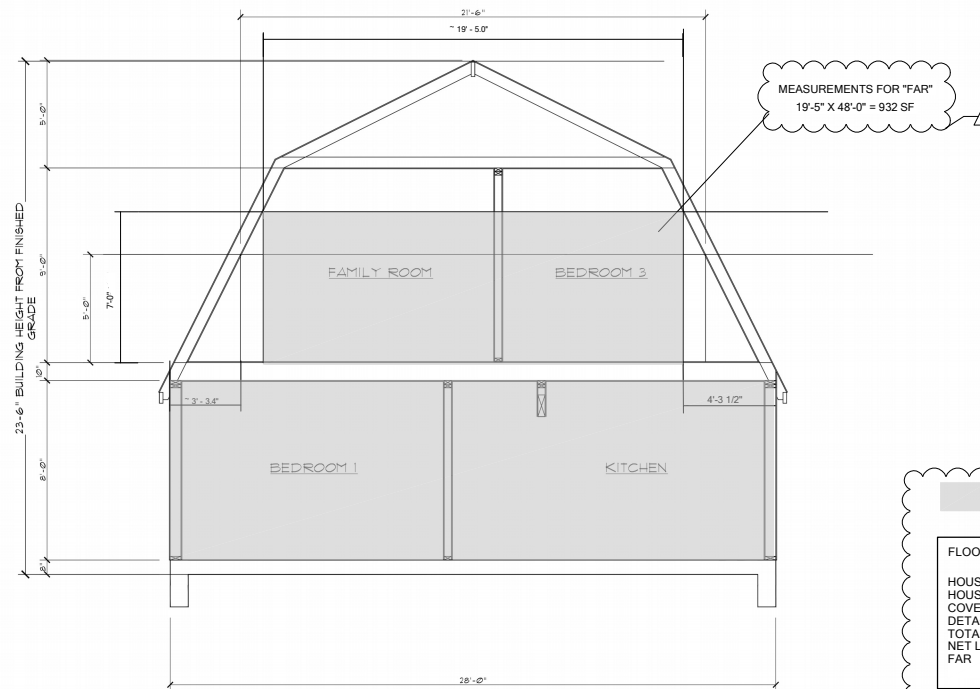
DATE

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Sheet

A7



BUILDING SECTION 'A' - 'A'

3/8" = 1'-0"

SECOND FLOOR AREA 21'-6" X 48'-0" = 1,032 SF

FIRST FLOOR AREA 28'-0" X 48'-0" = 1,344 SF

TOTAL FLOOR AREA 1,032 SF X 1,344 SF = 2,376 SF

BOX AREA DIAGRAM FOR "FAR"

FLOOR AREA RATIO CALCULATION	
HOUSE 1ST FLOOR	1,344 SF
HOUSE 2ND FLOOR	932 SF
COVERED PATIOS	434 SF
DETACHED GARAGE	805 SF
TOTAL FLOOR AREA	3,515 SF
NET LOT AREA	415,998 SF
FAR	3,515/415998 = 85%

Revisions	By

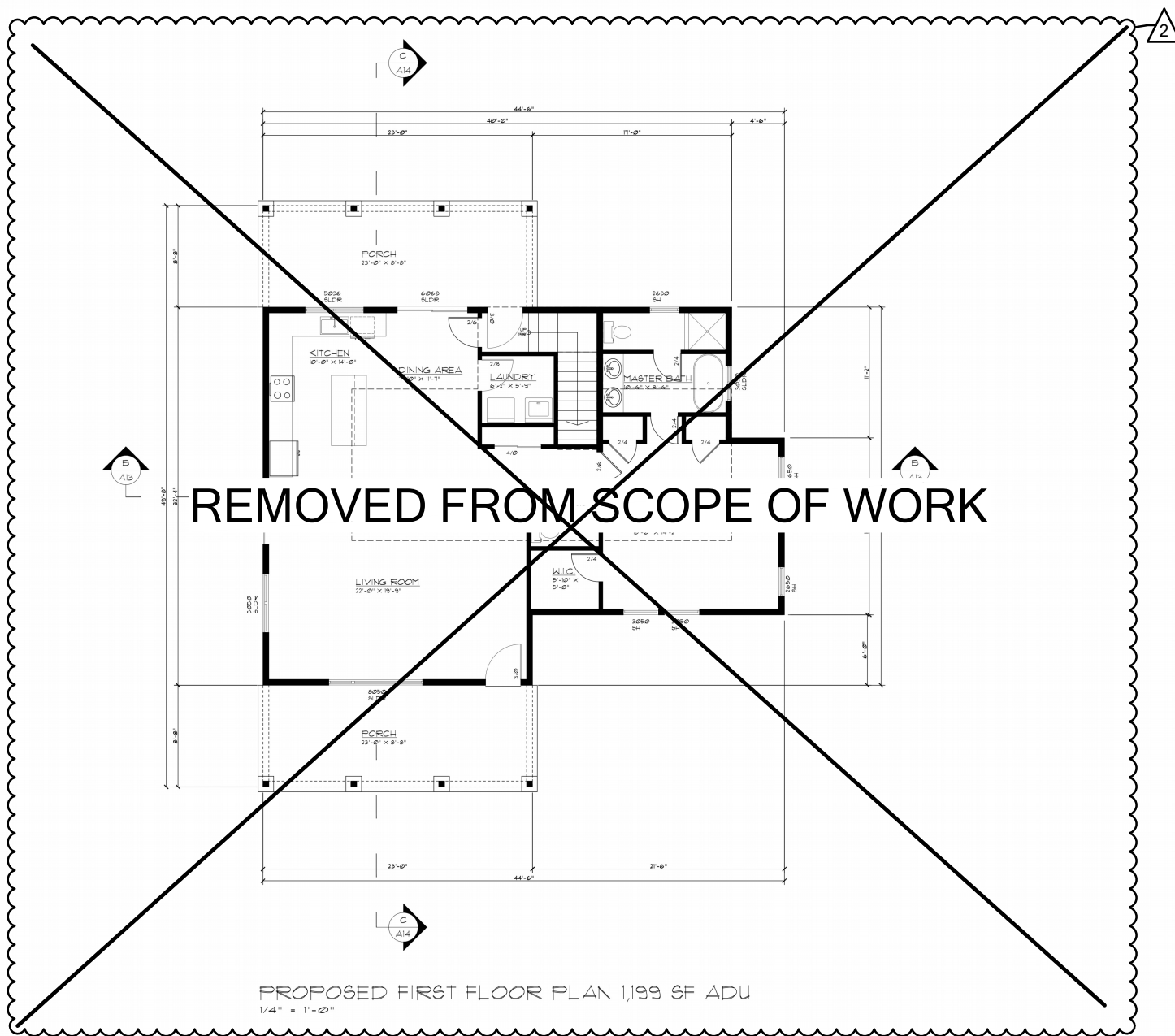
INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3050 Stevens Creek Blvd. Ste 225
San Jose, CA 95128
Phone: (408) 985-1779 Fax: (408) 985-1343
E-Mail: info@innovativeconcepts.net

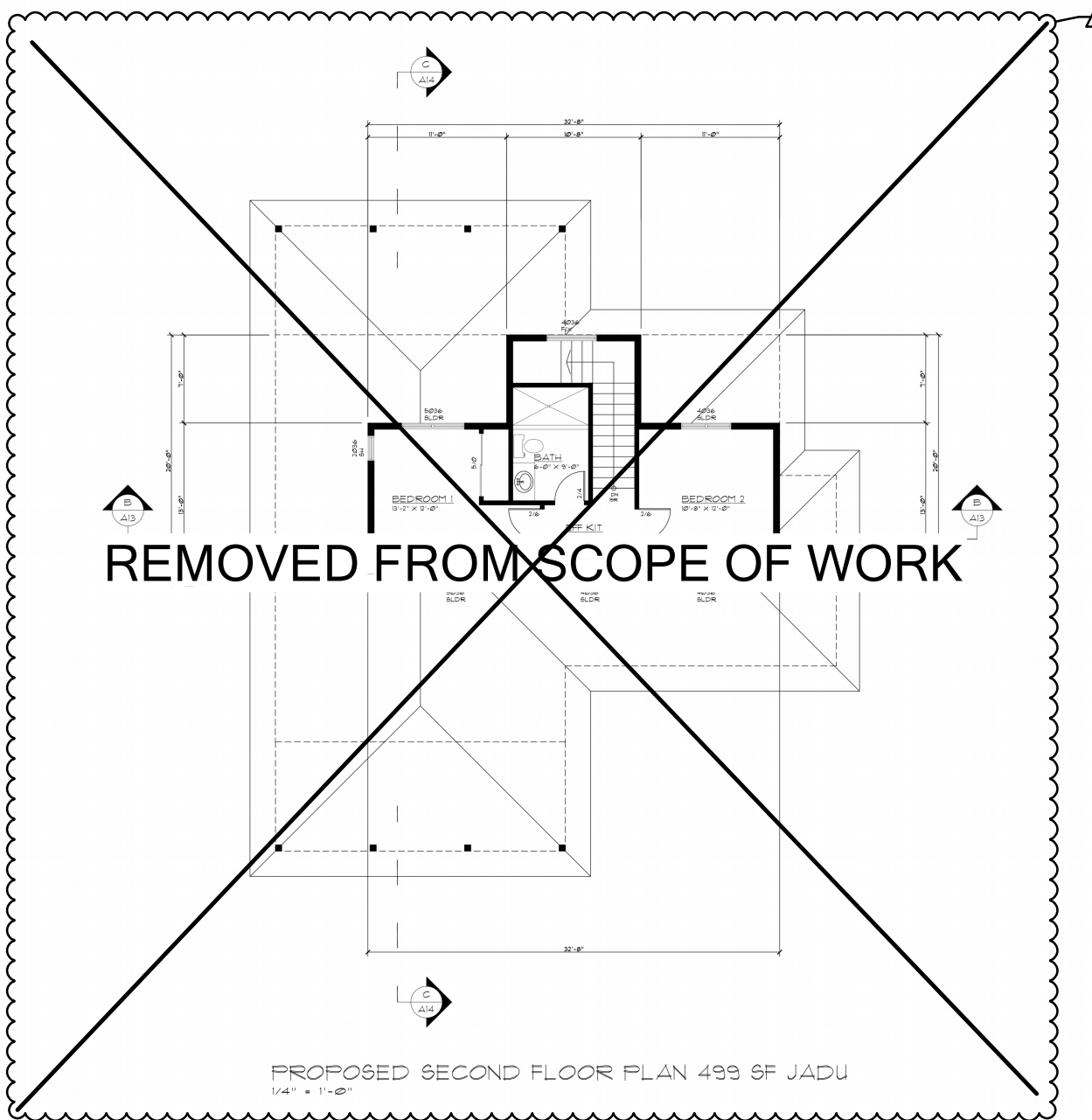
An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-124

DATE	10/31/2023
REVIEW	NOTED
DESIGN	JAG
DATE	
REVIEW	

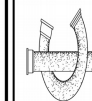
A8

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Revisions	By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3555 Stevens Creek Blvd., Ste. 225
San Jose, CA 95128
Phone: (408) 985-1178 Fax: (408) 985-1343
E-Mail: info@icbdesign.net



An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-124

DATE 10/31/2023

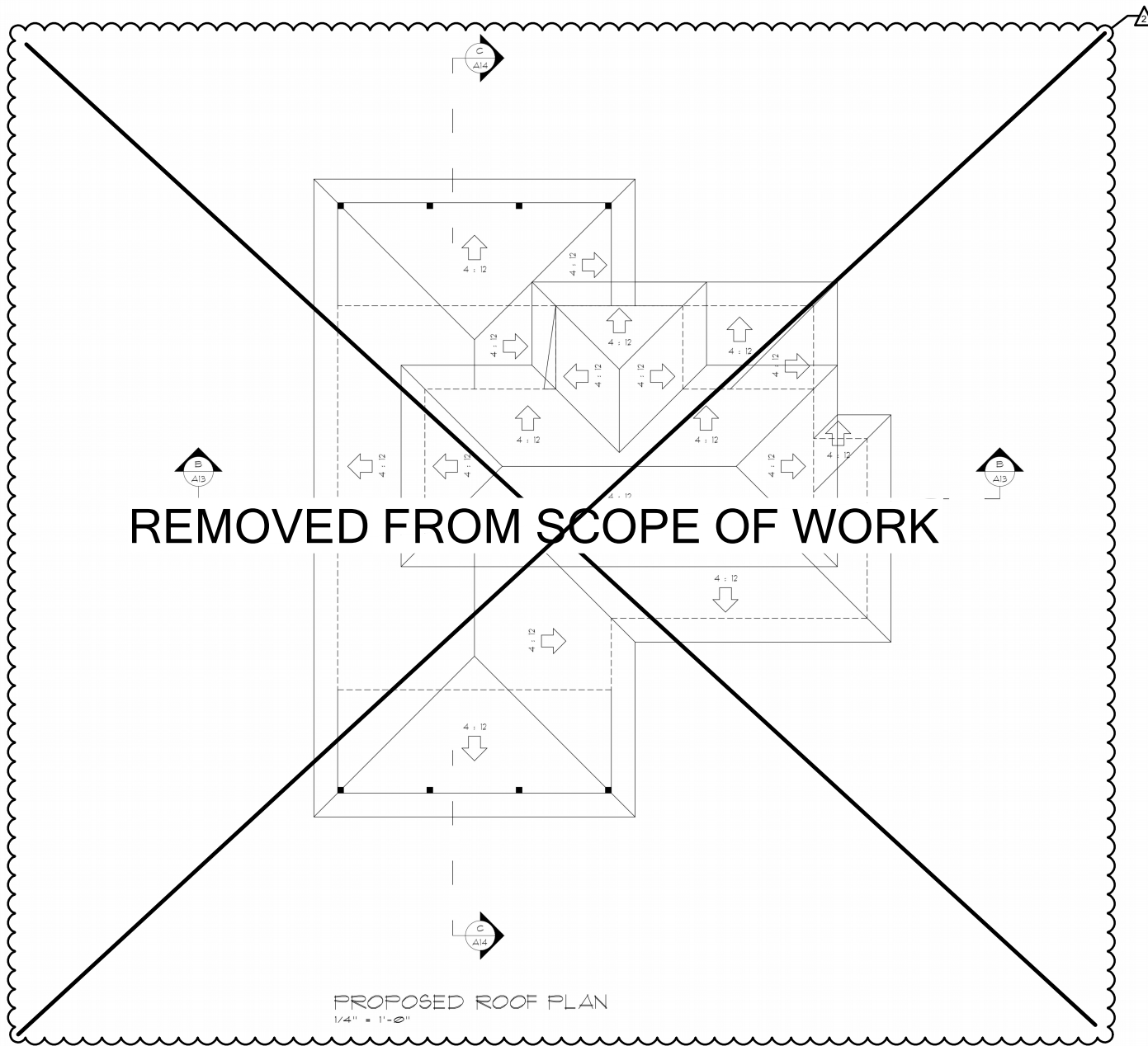
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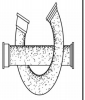


REMOVED FROM SCOPE OF WORK

PROPOSED ROOF PLAN
1/4" = 1'-0"

Revisions	By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3050 Stevens Creek Blvd., Ste. 205
Palo Alto, CA 94303-1178 Tel: (650) 865-1343
E-Mail: info@innovativeconcept.com

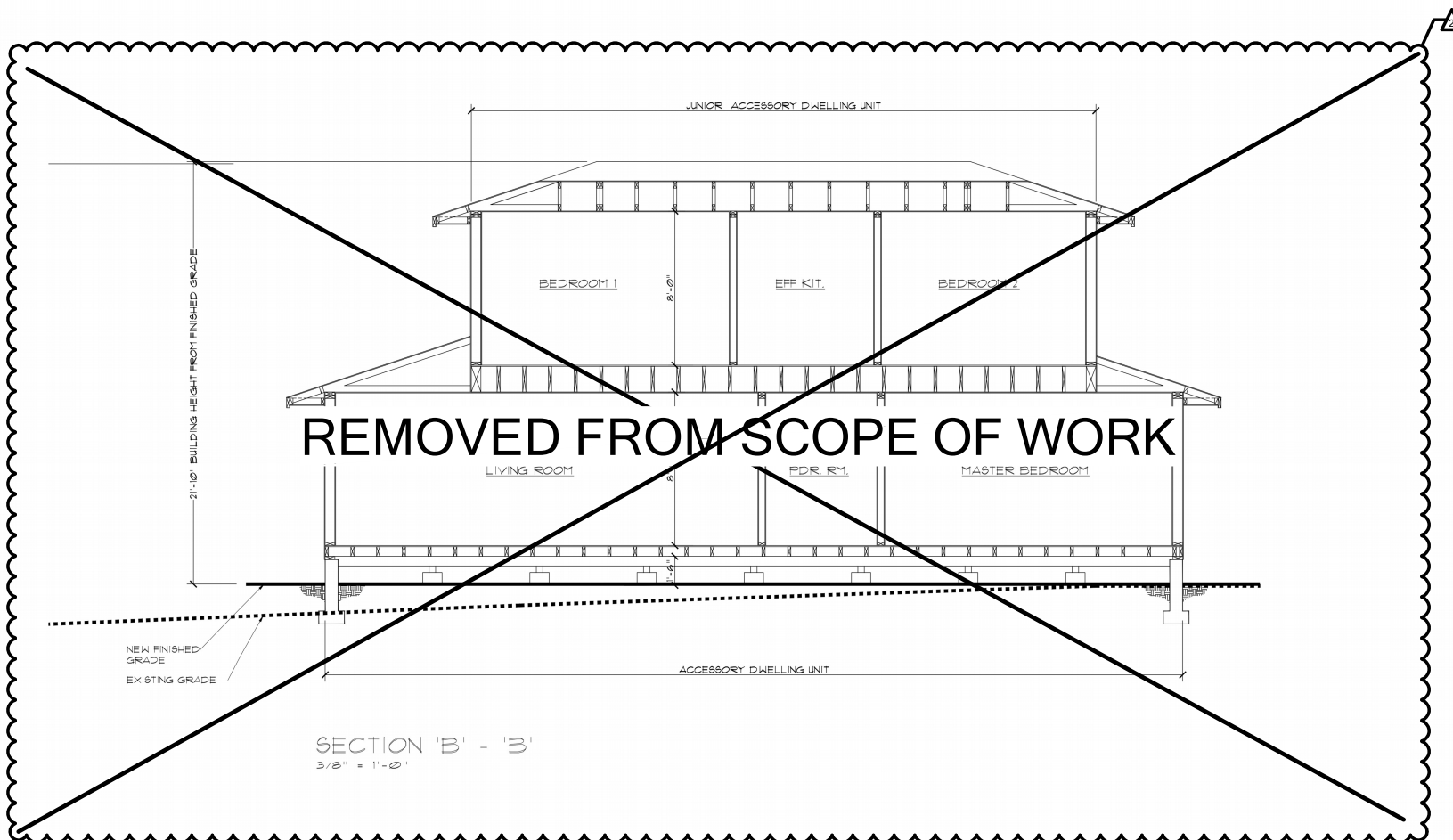


An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-1-08

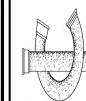
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Revisions	By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3050 Stevens Creek Blvd., Ste. 205
Palo Alto, CA 94303-1128 Phone: (650) 965-1343
Fax: (650) 965-1343
E-Mail: info@innovativeconcepts.net



An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-1-24

DATE 10/31/2023

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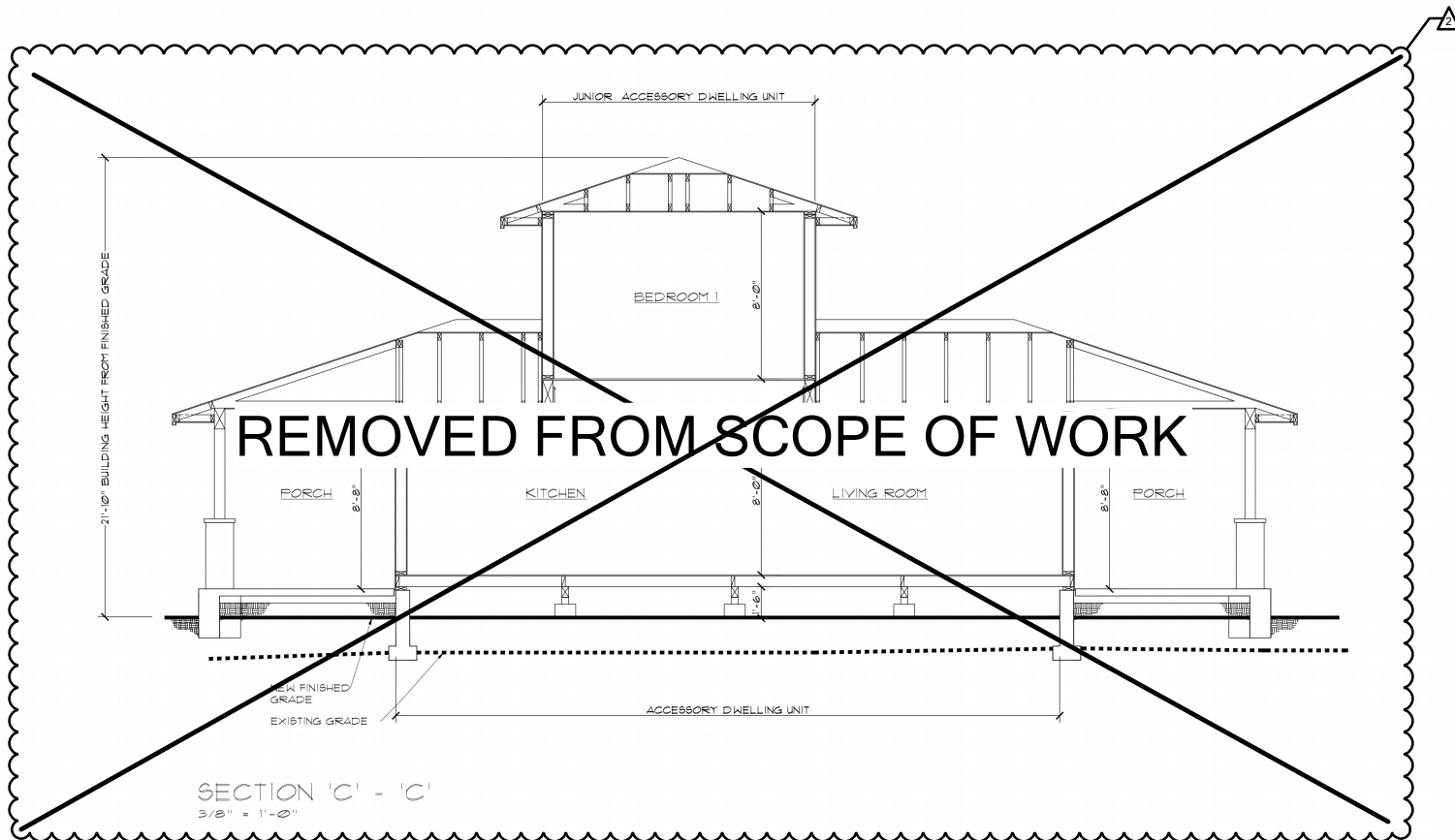
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Revisions	By

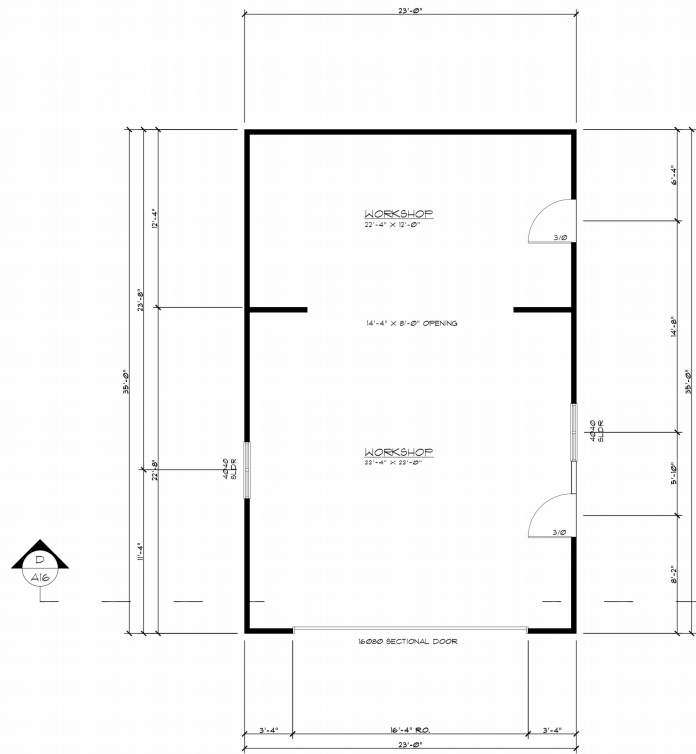
INNOVATIVE CONCEPTS
 PROFESSIONAL BUILDING DESIGN AND PLANNING
 3555 Stevens Creek Blvd., Ste. 205
 Phoenix, AZ 85018-1728 Fax: (480) 985-1343
 E-Mail: innovative@innovative.net

An Addition and Alteration to:
 The Turner Residence
 4450 Roop Road
 Gilroy, CA 95020

AREVISION 10-124

DATE	10/31/2023
REVISION	NOTED
DESIGNER	JAG
CHECKER	
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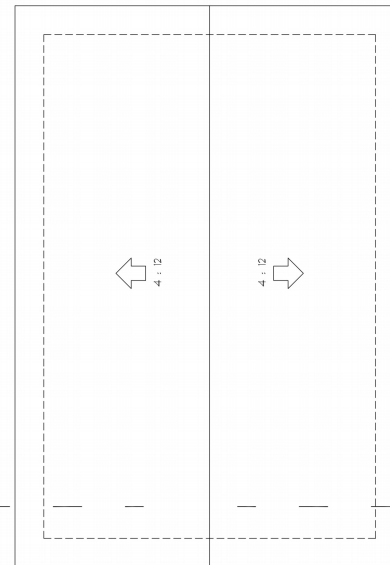
A14



DETACHED GARAGE FLOOR PLAN 805 SF

1/4" = 1'-0"

2



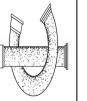
DETACHED GARAGE ROOF PLAN

1/4" = 1'-0"

2

Revisions	By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3555 Stevens Creek Blvd. Ste 250
San Jose, CA 95128
Phone: (408) 985-1178 Fax: (408) 985-1343
E-Mail: info@innovativeconcepts.net



An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-1-24

DATE 10/31/2023

NOTED

JAG

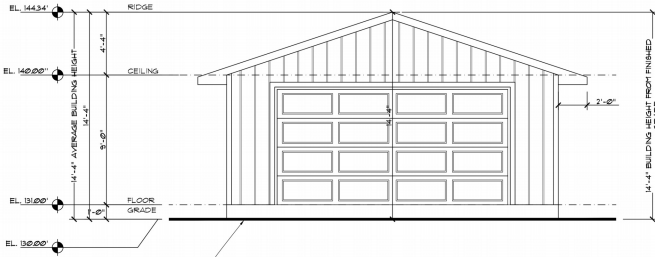
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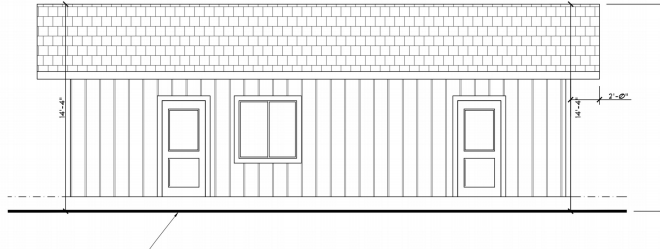
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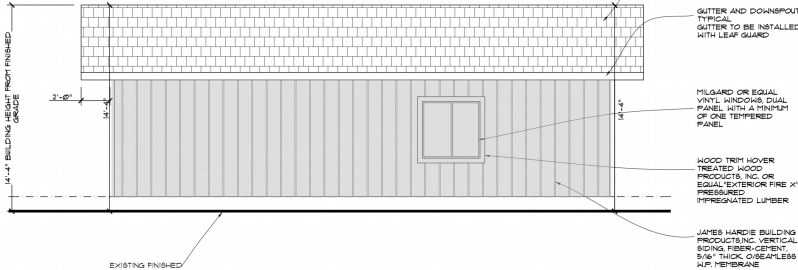
DETACHED GARAGE



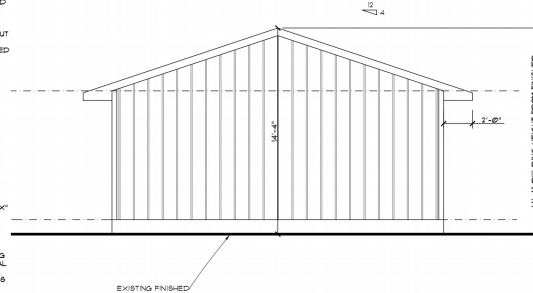
FRONT ELEVATION
1/4" = 1'-0"



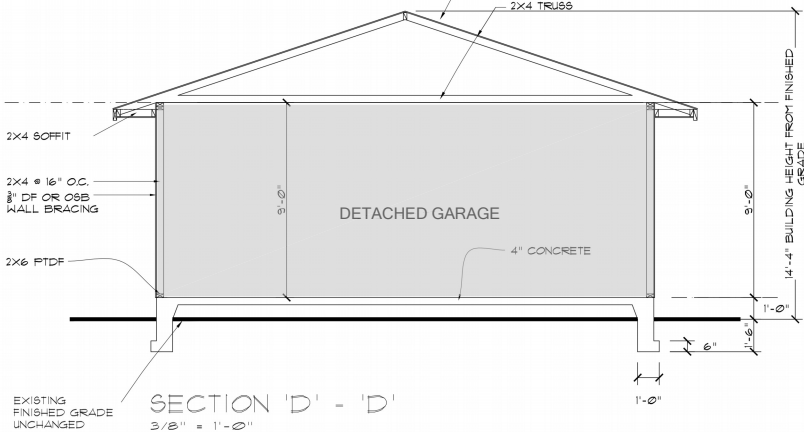
RIGHT SIDE ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"



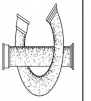
REAR ELEVATION
1/4" = 1'-0"



BOX AREA FOR "FAR"

FAR CALCULATIONS

HOUSE 1ST FLOOR	1,344 SF
HOUSE 2ND FLOOR	932 SF
COVERED PATIOS	434 SF
DETACHED GARAGE	805 SF
TOTAL FLOOR AREA	3,515 SF
NET LOT AREA	415,998 SF
FAR 3,515/415998	=.85%



An Addition and Alteration to:
The Turner Residence
4450 Roop Road
Gilroy, CA 95020

REVISION 10-1-24

10/31/2023

NOTED

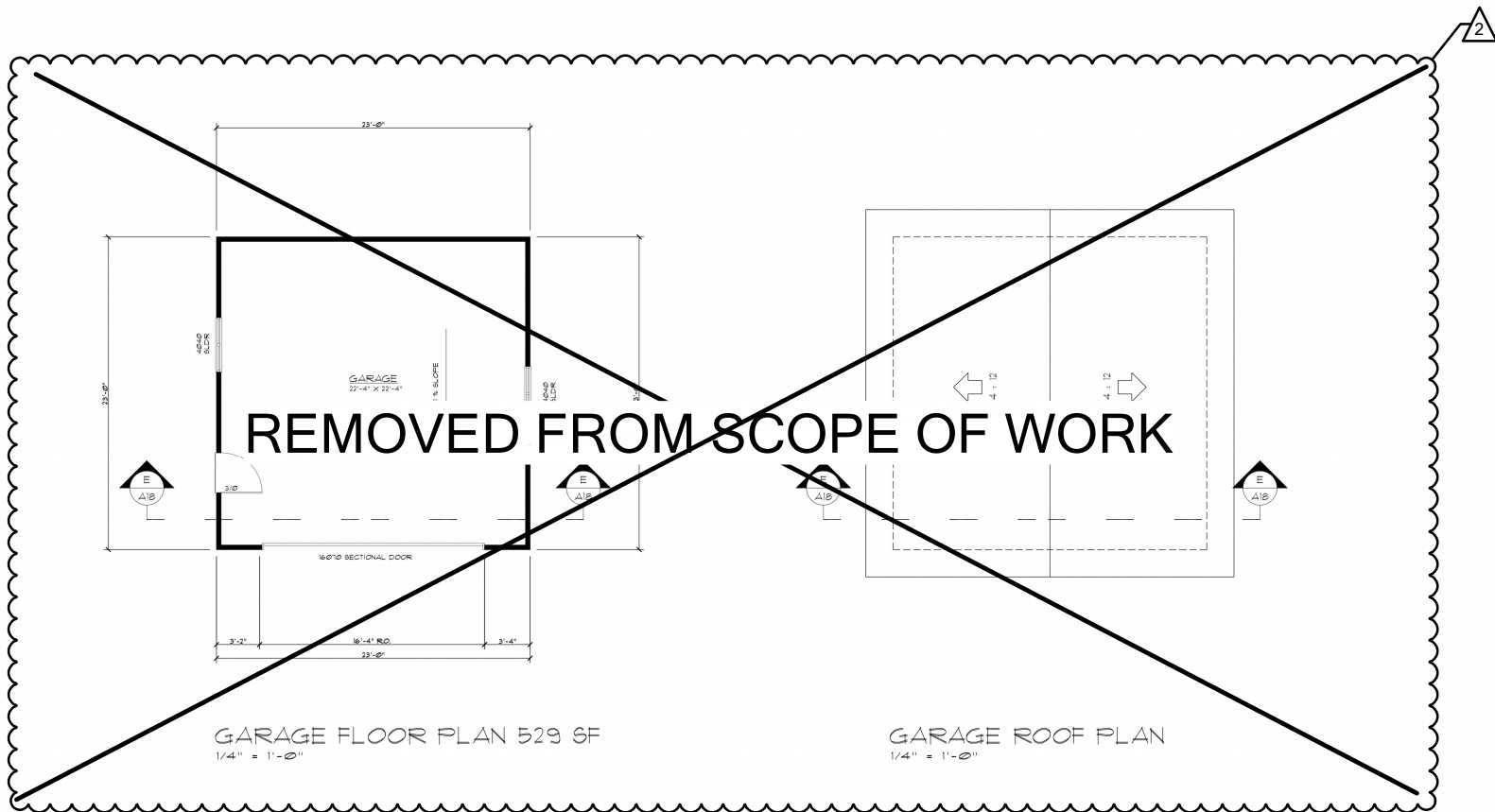
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Revisions	By


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 PROFESSIONAL BUILDING DESIGN AND PLANNING
 3555 Stevens Creek Blvd., Ste. 205
 San Jose, CA 95128-1143
 Phone: (408) 985-1178 Fax: (408) 985-1143
 E-Mail: info@innovativeconcepts.net

An Addition and Alteration to:
The Turner Residence
 4450 Roop Road
 Gilroy, CA 95020

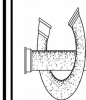
REVISION 10-134

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REVISION	NOTED
DESIGNER	JAG
CHECKER	
DATE	

A17



REMOVED FROM SCOPE OF WORK



A18