



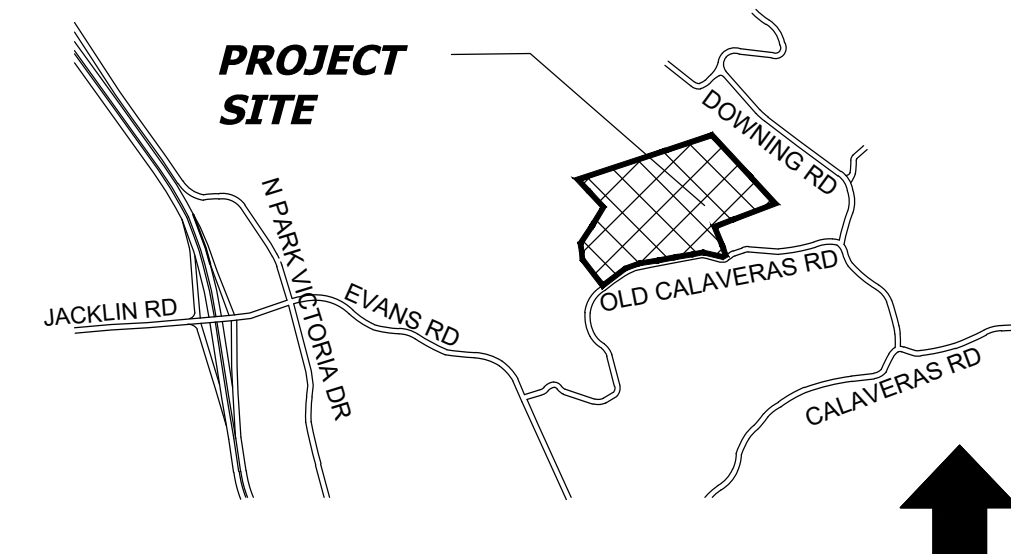
# GRADING & IMPROVEMENT PLANS

## GOKULAM LOT A

### COUNTY OF SANTA CLARA

CALIFORNIA

DECEMBER 2023



VICINITY MAP  
SCALE: NTS

**SCOPE OF WORK**

THE COMPLETE SCOPE OF WORK PROPOSED UNDER THIS PHASE IS FOR THE DESIGN REVIEW AND PRELIMINARY GRADING APPLICATION FOR THE STRUCTURES LISTED BELOW FOR LOTA IN APN: 029-34-004 LOCATED AT 2425, OLD CALAVERAS ROAD, MILPITAS, CA 95035. THE DESIGN REVIEW AND PRELIMINARY GRADING APPLICATION WILL COVER ALL NECESSARY DOCUMENTATION, PLANS AND SPECIFICATIONS REQUIRED FOR THE APPROVAL OF THESE STRUCTURES AT THE SPECIFIED LOCATION.

THE STRUCTURES INCLUDED IN THIS PHASE ARE:

- (N) 8000 SQ. FT OF GROSS FLOOR AREA FOR PRIMARY HOUSE
- (N) 1698 SQ. FT OF GROSS FLOOR AREA FOR ADU AND JADU
- (N) 441 SQ. FT OF DETACHED GARAGE
- (N) 14094 SQ. FT OF GROSS FLOOR AREA FOR A BARN FOR LIVESTOCK SHELTER AND SMALL SCALE AGRICULTURAL PROCESSING
- (N) 1200 SQ. FT OF GROSS FLOOR AREA FOR LIMITED AGRICULTURAL SALES
- (R) 404.37 SQ. FT OF GROSS FLOOR AREA FOR RELOCATING A METAL LIVESTOCK SHELTER FROM LOTB

KEY POINTS TO NOTE ABOUT THE PROPOSED SCOPE OF WORK:

- APPROVED DRINKING WATER CLEARANCE (SR0867334) ALREADY INCLUDED PROVISION FOR THE BIG BARN, PRIMARY HOUSE AND ADU/JADU INCLUDED IN THIS APPLICATION.
- WE HAVE APPLIED FOR OWTS APPROVAL TO SUPPORT THE PROPOSED STRUCTURES
- WE HAVE A MANURE MANAGEMENT PLAN APPROVED BY DEPARTMENT OF ENVIRONMENTAL HEALTH FOR HANDLING OF THE LIVESTOCK IN THE BIG BARN
- THIS LOCATION FOR THE DIFFERENT STRUCTURES WAS CHOSEN AS IT MINIMIZES GRADING QUANTITIES REQUIRED TO ESTABLISH THESE STRUCTURES WHILE UTILIZING EXISTING BASEROCKED ROADS APPROVED BY SANTA CLARA COUNTY AS PART OF THE 2015 RECLAMATION AMENDMENT PLAN.

IN ADDITION TO THESE STRUCTURES WE HAVE BUILDING PERMIT AND PLANNING APPROVAL APPLICATIONS UNDERWAY TO BUILD FACILITIES FOR COMMERCIAL AGRICULTURAL OPERATIONS OF GOKULAM LLC ON LOT A IN THE PROPERTY. WE HAVE 4 ACRES OF ORCHARDS AND VEGETABLE CULTIVATION WITH DRIP IRRIGATION SYSTEM. THE PRODUCE FROM THE FARMING OPERATIONS WILL BE USED IN THE 2,400 SQ FT SMALL SCALE AGRICULTURAL PROCESSING FACILITY FOR THE PRODUCTION OF INDIAN PICKLES WHICH WILL BE SOLD IN THE 1200 SQ FT LIMITED AGRICULTURAL SALES BUILDING. THE FACILITY WILL PRODUCE ~750 UNITS OF TYPICAL PICKLE JAR OF 17.6 OUNCES/500 GRAMS AND PICKLE TASTING MEALS OF 15-20 OUNCES/MEAL. THE SEPTIC SYSTEM HAS BEEN DESIGNED FOR THIS CAPACITY.

WE HAVE INCLUDED A COMPREHENSIVE LIST OF ALL PROPOSED STRUCTURES AS OUTLINED BELOW.

LOT A HAS 5 BUILDING PERMITS IN PROGRESS, DEV22-3196, DEV22-3201, DEV22-3202, DEV22-3206, DEV22-3207, DEV23-0115. THE SITE PLAN INCLUDES ALL STRUCTURES AND THEIR CORRESPONDING PERMIT NUMBERS. THE SPECIFIC DETAILS FOR EACH STRUCTURE ARE AS FOLLOWS:

- (N) 500 SQ. FT. OF COVERED AREA FOR LIVESTOCK SHELTER#1 DEV22-3196
- (N) 500 SQ. FT. OF COVERED AREA FOR LIVESTOCK SHELTER#2 DEV22-3201
- (N) 500 SQ. FT. OF COVERED AREA FOR LIVESTOCK SHELTER#3 DEV22-3202
- (N) 120 SQ. FT. OF COVERED AREA FOR STORAGE #1 - DEV22-3206
- (N) 120 SQ. FT. OF COVERED AREA FOR STORAGE #1 - DEV22-3207

**GENERAL NOTES**

NO CHANGE TO THE GRADING PLAN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY THE OWNER OR OWNERS REPRESENTATIVES.

CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS AND INVERTS OF EXISTING UTILITY PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVES OF VARIANCE FROM THOSE SHOWN ON THE PLANS.

UNDERGROUND FACILITIES AND UTILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND IN FIELD. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. PRIOR TO CONSTRUCTION, DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE SAME FROM DAMAGE. PRIOR TO CONSTRUCTION, VERIFY LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AT THE CROSSING POINTS WITH PROPOSED UTILITIES. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVES IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITION HAS BEEN EVALUATED. CONTACT UNDERGROUND SERVICES ALERT (USA) (1-800-227-2600) TWO (2) WEEKS PRIOR TO DIGGING. REPAIR UNDERGROUND UTILITIES DAMAGED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES ASSOCIATED WITH CONTRACTOR'S FAILURE TO EXACTLY LOCATED AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. AND SHALL NOTIFY U.S.A. @ (800) 227-2600 AT LEAST 48-HOURS IN ADVANCE OF EXCAVATION.

IF ANY INDICATIONS OF ARCHEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING ACTIVITIES FOR ANY DEVELOPMENT WITHIN THE PROJECT SITE, ALL WORK SHALL BE HALTED WITHIN 200 FOOT RADIUS OF THE FIND. OWNER SHALL RETAIN A QUALIFIED ARCHEOLOGIST RETAINED TO DETERMINE THE NATURE OF THE DISCOVERY AND RECOMMEND APPROPRIATE EVALUATION PROCEDURES.

**PROJECT DATA**

PROJECT DATA  
ADDRESS: 2425 OLD CALAVERAS ROAD, MILPITAS, CA 95035  
ZONING DESIGNATION: D2 - HS - HILLSIDE  
APN: Lot A in APN 029-34-004  
LOT SIZE: 37.11 ACRES  
BUILDING AREA: XXXX SQ. FT. OF COVERED AREA  
XXXX SQ. FT. (BUILDING AREA TOTAL)  
XXXX% OF ENTIRE LOT

**ADDITIONAL NOTES**

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

- THE STANDARD SPECIFICATIONS AND DETAILS, LATEST EDITION, OF THE COUNTY OF SANTA CLARA SHALL GOVERN UNLESS OTHERWISE SPECIFIED HEREIN.

**UNAUTHORIZED CHANGES AND USES**

CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THE PLANS

**APPLICABLE CODES**

APPLICABLE CODES ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND THE CODES LISTED BELOW OR THE MOST CURRENT CODES AND ORDINANCES AT THE TIME OF SUBMITTAL:

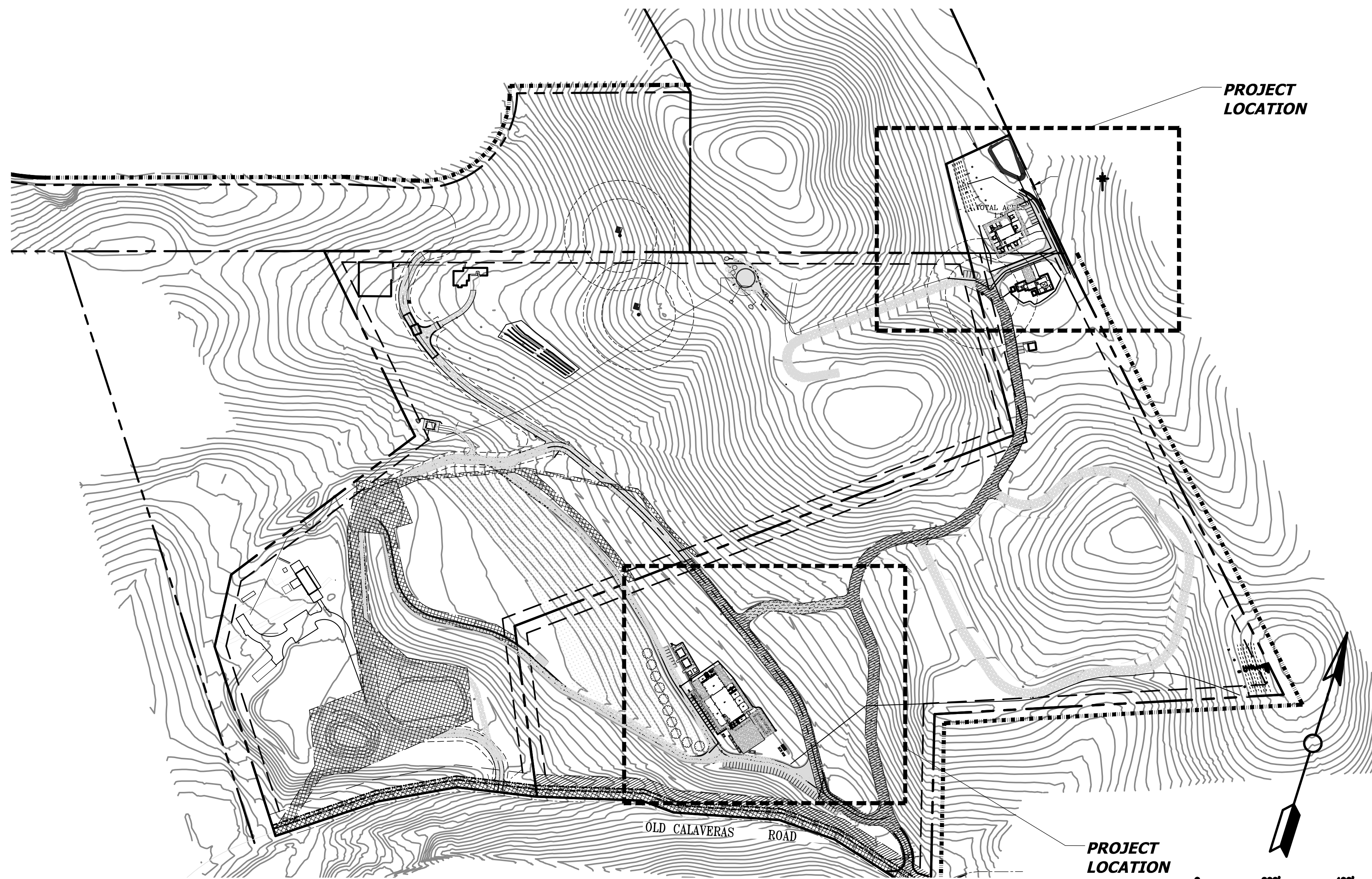
- 2022 CALIFORNIA CODES
- 2022 CALIFORNIA BUILDING CODE
  - 2022 CALIFORNIA ELECTRICAL CODE
  - 2022 CALIFORNIA MECHANICAL CODE
  - 2022 CALIFORNIA PLUMBING CODE
  - 2022 CALIFORNIA GREEN BUILDING CODE
  - 2022 CALIFORNIA ENERGY CODE
  - 2022 CALIFORNIA RESIDENTIAL CODE
  - 2022 CALIFORNIA FIRE CODE
- SANTA CLARA CODE OF ORDINANCES

**CONTRACTOR RESPONSIBILITY**

CONTRACTOR AGREES THAT HE SHOULD ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED DURING WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

**DISCREPANCIES**

IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE DESIGN PROFESSIONAL FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.



**PROJECT EARTHWORK QUANTITIES**

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL AND OVER EXCAVATION AND RECOMPACTION, UTILITY TRENCH SPOILS & SOIL EXPANSION AND CONSTRUCTION FACTORS.

	DESCRIPTION	CUT (cu yds)	FILL (cu yds)	NET (cu yds)	MAX CUT (ft)	MAX FILL (ft)	IMPERVIOUS AREA
PRIMARY HOME & ADU/JADU	BLDG + 5' PERIMETER	296	691	395(F)	3.76	4.57	
	SITE GRADING	1,313	837	476(C)	4.9	5	
BIG BARN & AG SALES	BLDG + 5' PERIMETER	798	14	784(C)	3.37	4.57	
	SITE GRADING	837	0	837(C)	X	X	
	STREET	0	1,322				
<b>TOTAL</b>		<b>3,244</b>	<b>2,864</b>	<b>380(C)</b>			

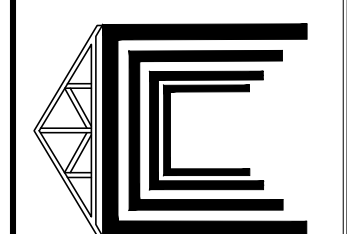
**NET VOLUME = 380 CU.YDS. OF CUT**  
THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY CUT AND FILL TO ACCOMPLISH FINISH GRADE SHOWN ON THESE PLANS.

**CONSTRUCTION SURVEYING / STAKING**

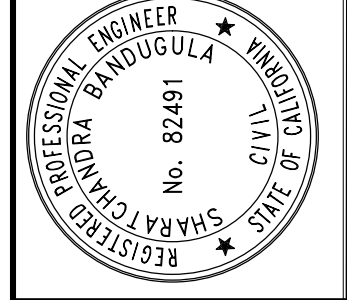
CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL SURVEYING AND OR STAKING BY A LICENSED SURVEYOR FOR ALL CONSTRUCTION PURPOSES.

NO.	DATE	BY	REVISIONS

**NAVIS**  
design | build | manage  
inf@navisdbm.com



12/21/2023	DATE		
	SB		
	DRAWN BY		
	SB		
	CHECKED BY		



GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
COVER SHEET  
CALIFORNIA

COUNTY OF SANTA CLARA

COUNTY OF SANTA CLARA

COUNTY OF SANTA CLARA

COUNTY OF SANTA CLARA

COUNTY OF SANTA CLARA

**PRELIMINARY**





CITY OF MILPITAS

APN 029-35-005  
LANDS OF PANGAN  
TOTAL ACRES: 39.16

APN 029-35-007  
LANDS OF BARSAMA

APN 029-34-002  
S.C.C. ED LEVIN PARK

419-M-43  
PARCEL 1  
14.064 ACRES  
APN 029-34-003  
LANDS OF VIEIRA

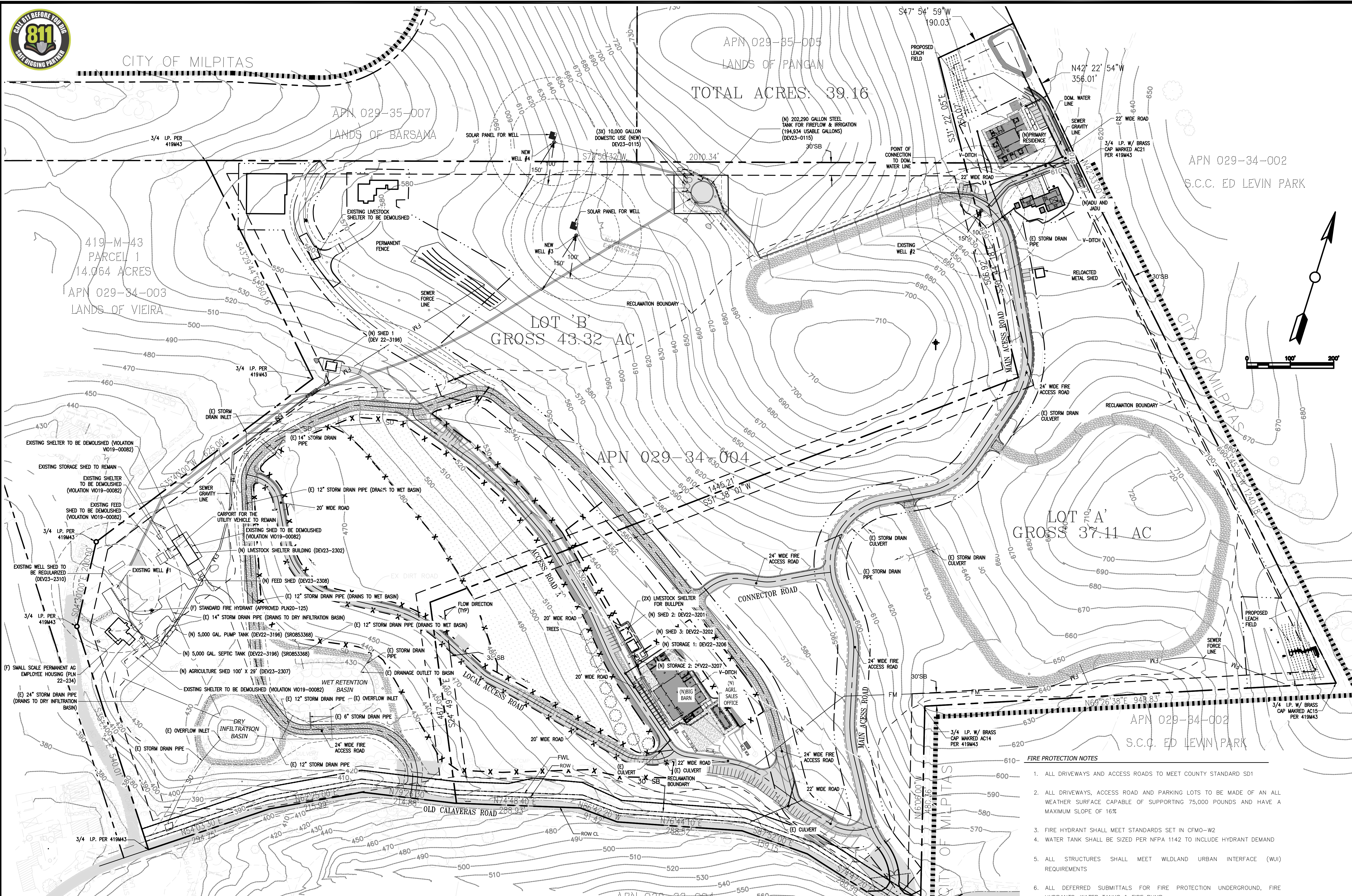
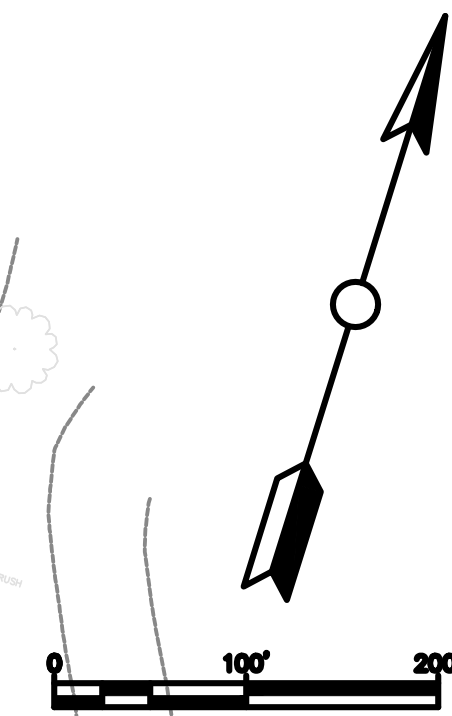
LOT 'B'  
GROSS 43.32 AC

APN 029-34-004

LOT 'A'  
GROSS 37.11 AC

APN 029-34-002  
S.C.C. ED LEVIN PARK

APN 029-33-004  
LANDS OF ENTERPRISE REIS LLC



**FIRE PROTECTION NOTES**

1. ALL DRIVEWAYS AND ACCESS ROADS TO MEET COUNTY STANDARD SD1
2. ALL DRIVEWAYS, ACCESS ROAD AND PARKING LOTS TO BE MADE OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS AND HAVE A MAXIMUM SLOPE OF 16%
3. FIRE HYDRANT SHALL MEET STANDARDS SET IN CFM0-W2
4. WATER TANK SHALL BE SIZED PER NFPA 1142 TO INCLUDE HYDRANT DEMAND
5. ALL STRUCTURES SHALL MEET WILDLAND URBAN INTERFACE (WUI) REQUIREMENTS
6. ALL DEFERRED SUBMITTALS FOR FIRE PROTECTION UNDERGROUND, FIRE HYDRANTS, WATER TANKS & FIRE PUMP.
7. PROPERTY TO MAINTAIN 100 FEET DEFENSIBLE SPACE AT ALL TIMES.
8. STRUCTURES SHALL CONFORM TO WUI BUILDING REQUIREMENTS.

**PRELIMINARY**

**NAVIS**  
design | build | manage  
info@navisdbm.com

12/21/2023  
DATE: SB  
DRAWN BY: SB  
CHECKED BY: SB

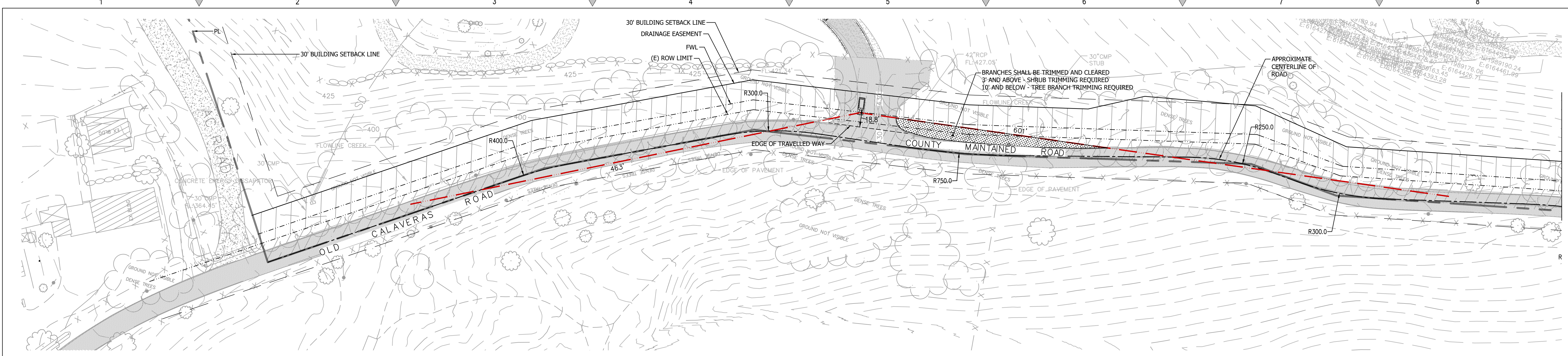
REGISTERED PROFESSIONAL ENGINEER  
SHARFARAZA BANDUGULA  
No. 82481  
SANTA CLARA COUNTY  
STATE OF CALIFORNIA

GOKULAM LOT A - GRADING & IMPROVEMENT PLANS  
**OVERALL SITE PLAN**  
COUNTY OF SANTA CLARA CALIFORNIA

C0.1 OF 66

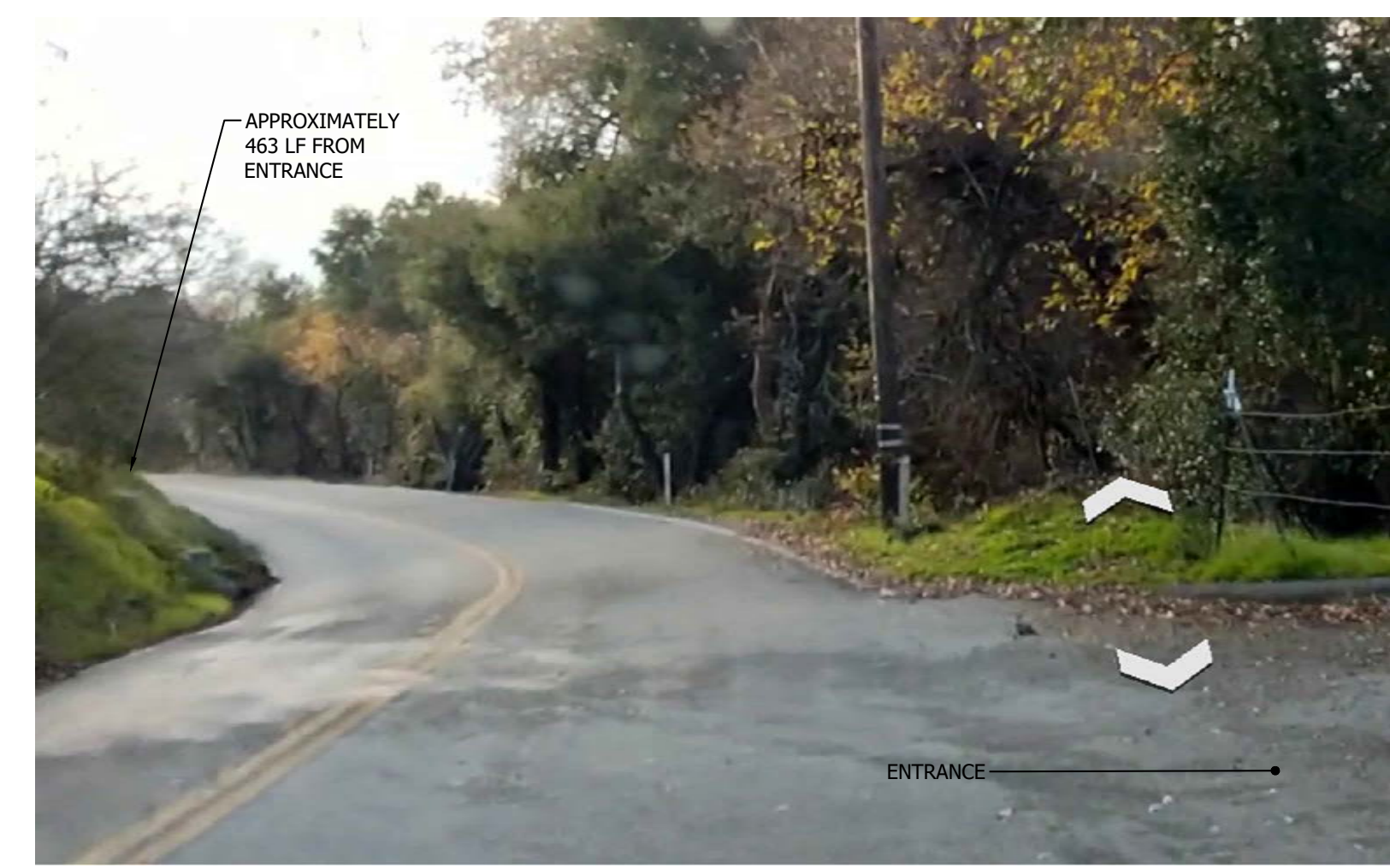
GOKULAM LOT A - GRADING & IMPROVEMENT PLANS 12/21/2023





1 ENTRANCE - SIGHT DISTANCE ANALYSIS

Scale: 1"=50'



WEST BOUND



EAST BOUND

CALTRANS SIGHT DISTANCE STANDARDS

**Table 201.1**  
**Sight Distance Standards**

Design Speed <sup>(1)</sup> (mph)	Stopping <sup>(2)</sup> (ft)	Passing (ft)
10	50	---
15	100	---
20	125	800
25	150	950
<b>30</b>	<b>200</b>	<b>1,100</b>
35	250	1,300
40	300	1,500
45	360	1,650
50	430	1,800
55	500	1,950
60	580	2,100
65	660	2,300

NOTES

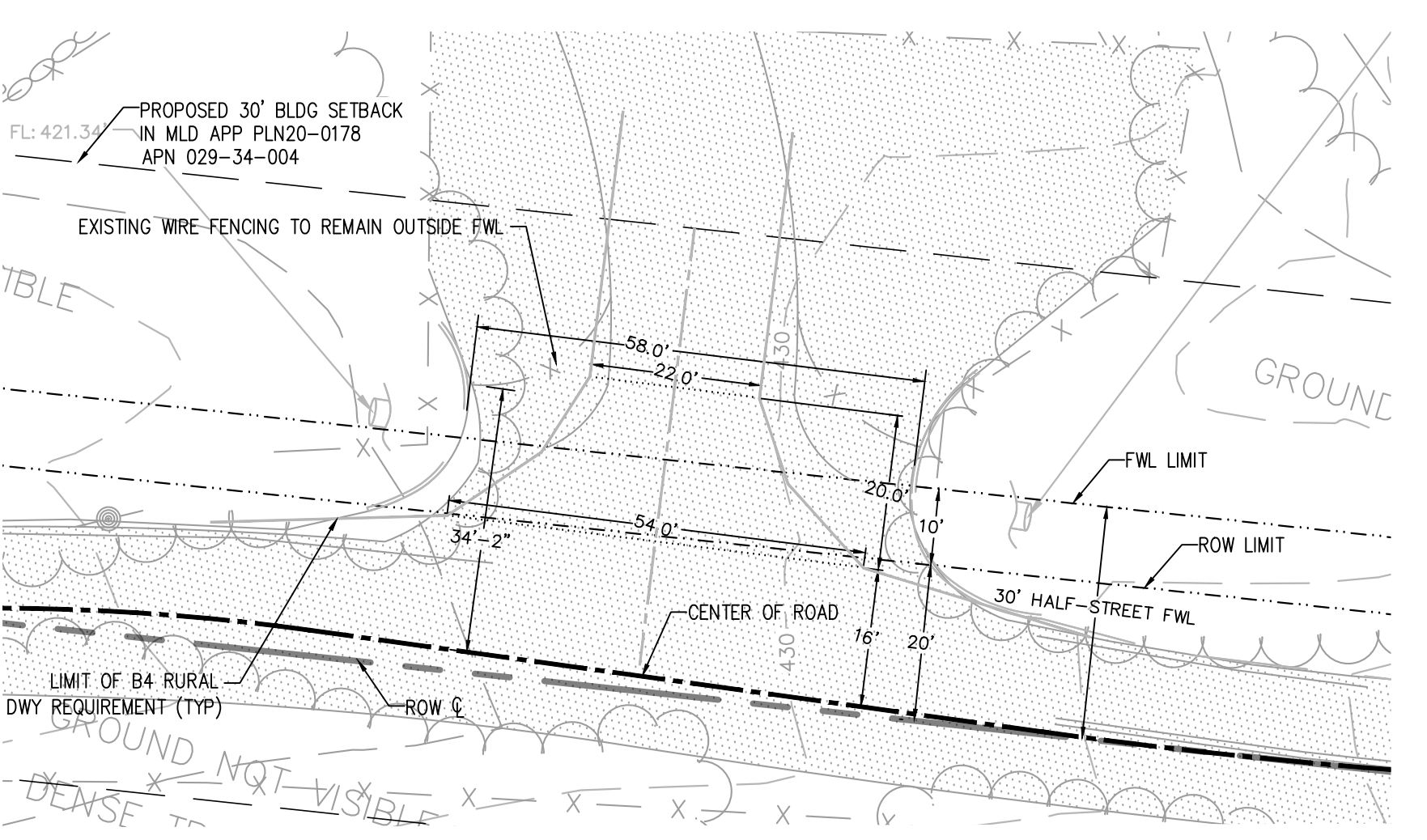
- EXISTING SPEED LIMIT ON OLD CALAVERAS ROAD IS 30 MPH WHICH IS THE SPEED USED TO DETERMINE THE STOPPING SIGHT DISTANCE

Decision Sight Distance

Design Speed (mph)	Decision Sight Distance (ft)
<b>30</b>	<b>450</b>
35	525
40	600
45	675
50	750
55	865
60	990
65	1,050
70	1,105
75	1,180
80	1,260

2 ENTRANCE #1 - IMAGES

Scale: NTS

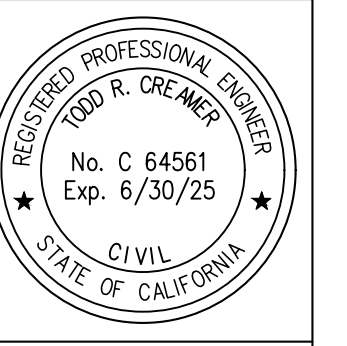


3 EXISTING DRIVEWAY CONFORMANCE TO B4 COUNTY STANDARD

Scale: 1"=20'

REVISIONS	BY

SIGHT DISTANCE ANALYSIS



**C2G CIVIL CONSULTANTS GROUP, INC.**  
Engineers/Planners  
44000  
Scotts Valley, CA 95066  
T (831) 438-4420 F (831) 438-4420

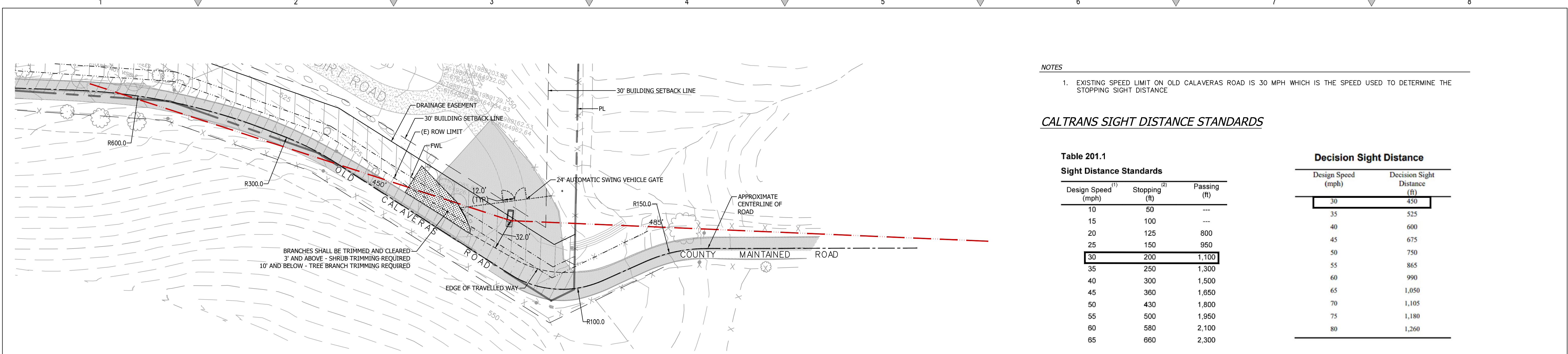
**GOKULAM, LLC.**  
2-Lot Subdivision  
Final Map Recordation  
2425 Old Calaveras Road, Milpitas  
APN: 029-34-004

Date: 11/01/23  
Scale: 1" = 50'  
Drawn: DD  
Job: 3007.01

Sheet:  
**C0.2**  
Of 66 Sheets

Drawing: 2: (Shared CAD) (0007.01) - MLD - Single County Design (CAD) Sheets (Sight Distance Analysis) (0007.01) - C1.1 - 3007 DISTANCE ANALYSIS.dwg Layout: 01.1 East Street: Fri Nov 03, 2023 - 11:50am East Project: Fri Nov 03, 2023 - 11:50am By: CAC/cremer





1 ENTRANCE - SITE DISTANCE ANALYSIS

Scale: 1"=50'

NOTES

1. EXISTING SPEED LIMIT ON OLD CALAVERAS ROAD IS 30 MPH WHICH IS THE SPEED USED TO DETERMINE THE STOPPING SIGHT DISTANCE

CALTRANS SIGHT DISTANCE STANDARDS

Table 201.1

**Sight Distance Standards**

Design Speed (mph) <sup>(1)</sup>	Stopping (ft) <sup>(2)</sup>	Passing (ft)
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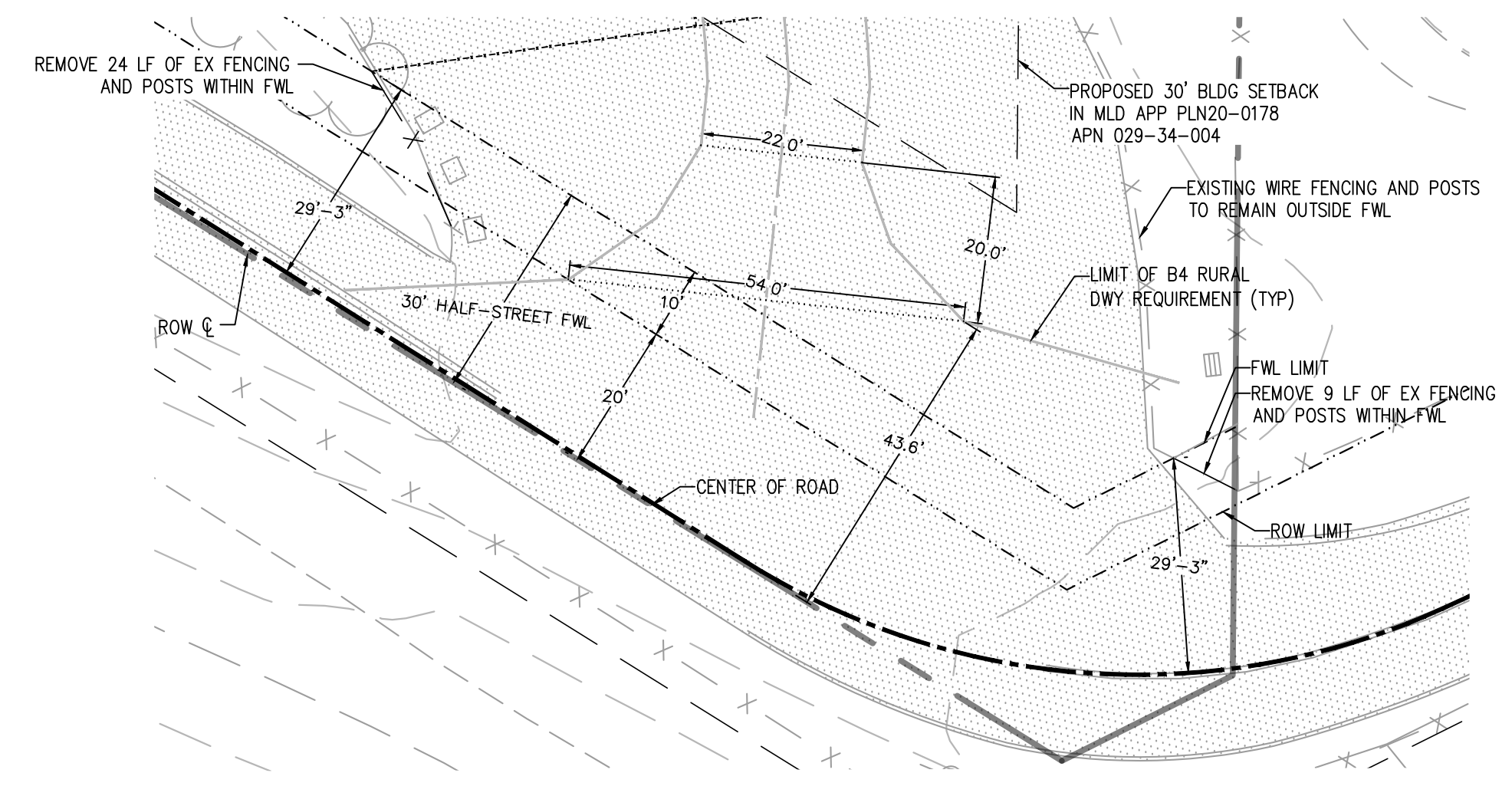
EAST BOUND



WEST BOUND

2 ENTRANCE #2 - IMAGES

Scale: NTS

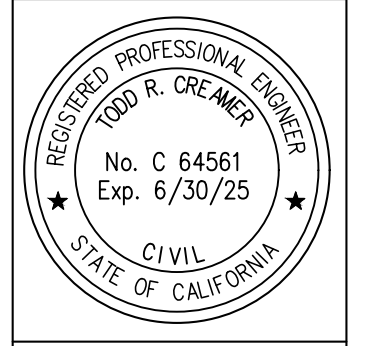


3 EXISTING DRIVEWAY CONFORMANCE TO B4 COUNTY STANDARD

Scale: 1"=20'

REVISIONS	BY

SIGHT DISTANCE ANALYSIS



**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 4400 Scotts Valley Road, Suite 6  
 Scotts Valley, CA 95066  
 T (831) 438-4420 F (831) 438-4420

**GOKULAM, LLC.**  
 2-LOT SUBDIVISION  
 FINAL MAP RECORDATION  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 APN: 029-34-004

Date:	11/01/23
Scale:	1" = 50'
Drawn:	DD
Job:	3007.01
Sheet:	C0.3
Of	66 Sheets

Drawing: Z:\Shared\CAD\3007.01 - MF - Single Quarry\Design\CAD\Sheets\Sight Distance Analysis\3007.01 - 01.2 - 3007 DISTANCE ANALYSIS.dwg  
 Layout: 01.2  
 Last Saved: Fri Nov 03, 2023 - 11:53am  
 Last Plotted: Fri Nov 03, 2023 - 11:53am  
 By: PAKAWATJIT





CITY OF MILPITAS

APN 029-35-007  
LANDS OF BARSANA

APN 029-35-005  
LANDS OF PANGAN  
TOTAL ACRES: 39.16

APN 029-34-002  
S.C.C. ED LEVIN PARK

419-M-43  
PARCEL  
14.064 ACRES  
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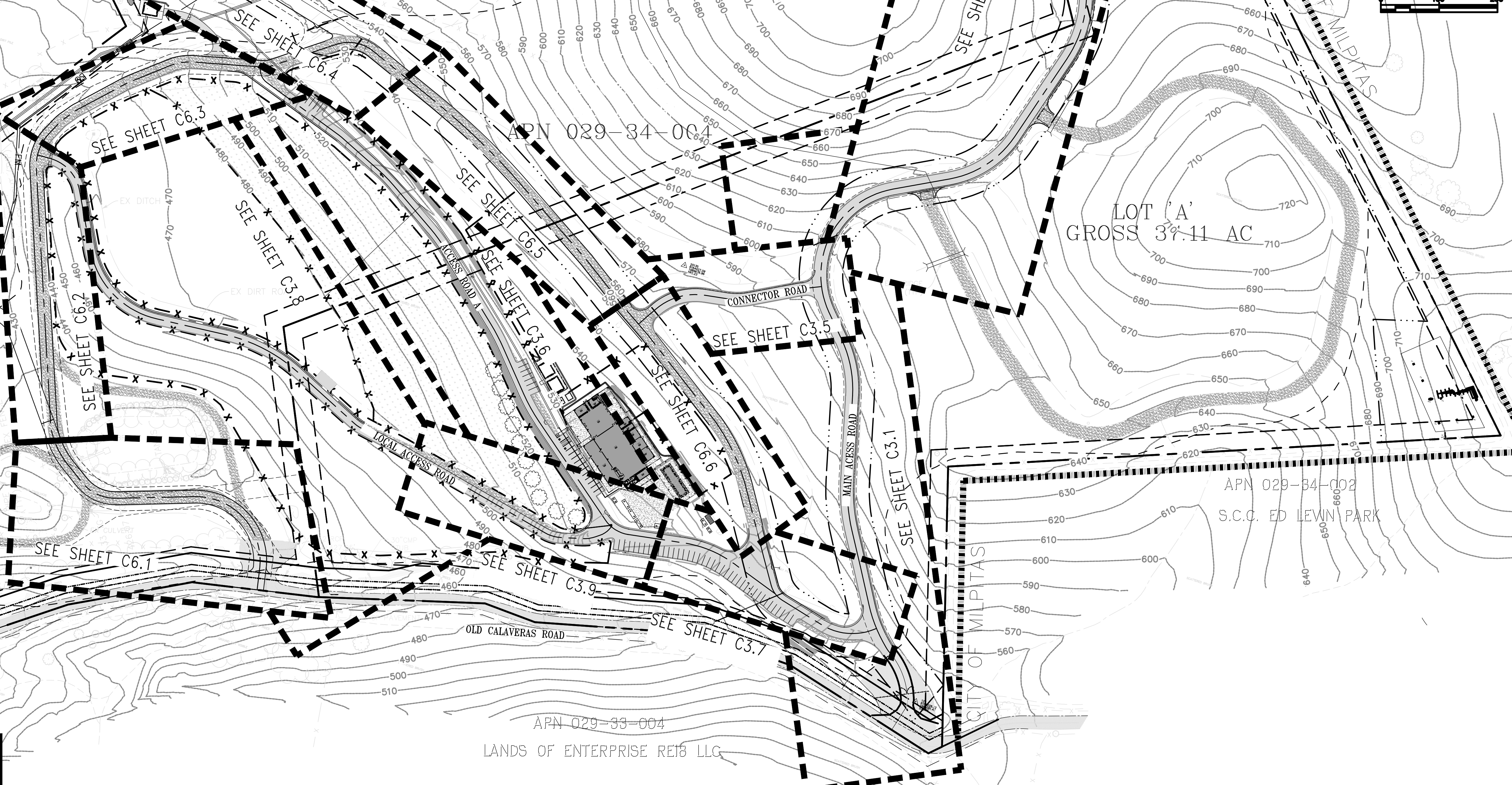
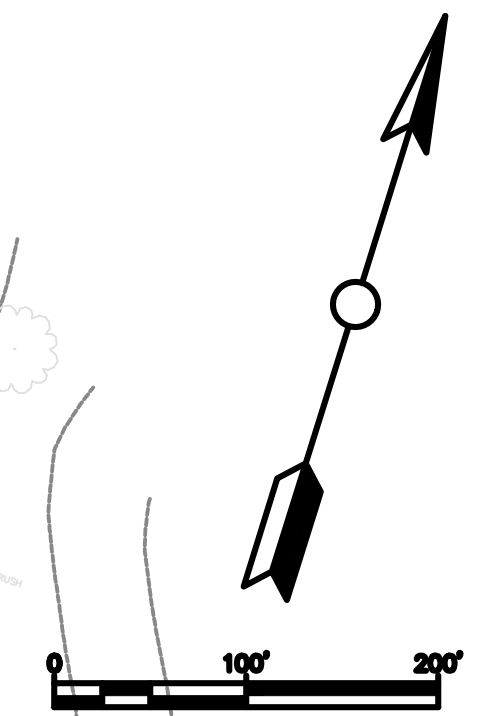
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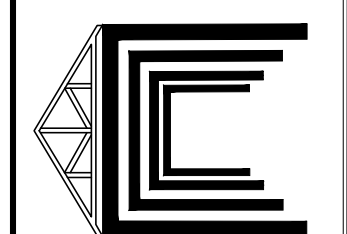
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LANDS OF ENTERPRISE REIT LLC



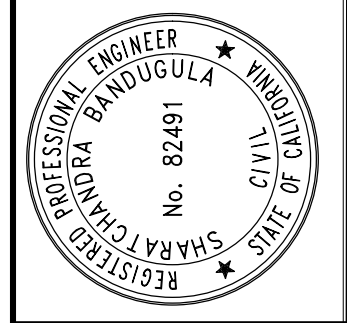
**PRELIMINARY**

NO.	DATE	BY	REVISIONS

NAVIS  
design | build | manage  
info@navisdbm.com



12/21/2023	DATE
SB	DRAWN BY
SB	CHECKED BY



GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
ROAD SHEET INDEX  
COUNTY OF SANTA CLARA CALIFORNIA  
12/21/2023

C0.4  
OF  
66

GOKULAM LOT A - GRADING & IMPROVEMENT PLANS 12/21/2023





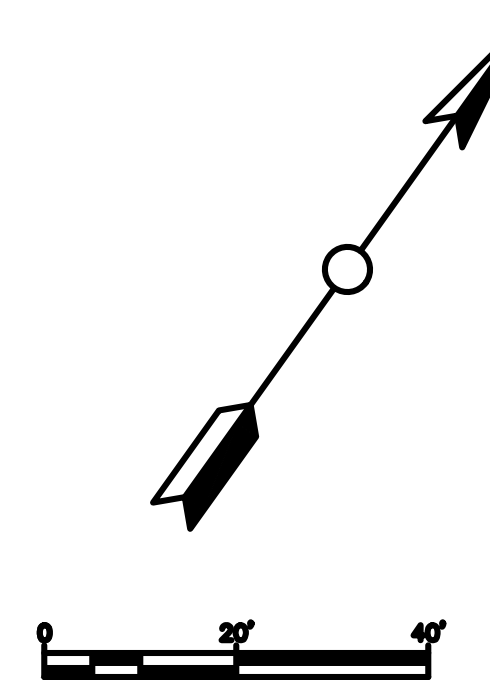




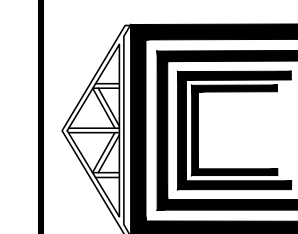
APN 029-35-005  
LANDS OF PANGAN

PROPOSED LEACH FIELD  
FOR PRIMARY  
RESIDENCE, ADU & JDU.  
SEE PLANS BY QUESTA  
FOR MORE DETAILS.

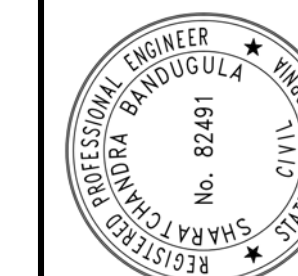
(N) DETENTION  
BASIN



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info@navisdbm.com



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GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
UTILITY PLAN  
COUNTY OF SANTA CLARA CALIFORNIA

C1.1  
OF  
66

GOKULAM LOT A - GRADING & IMPROVEMENT PLANS 12/21/2023

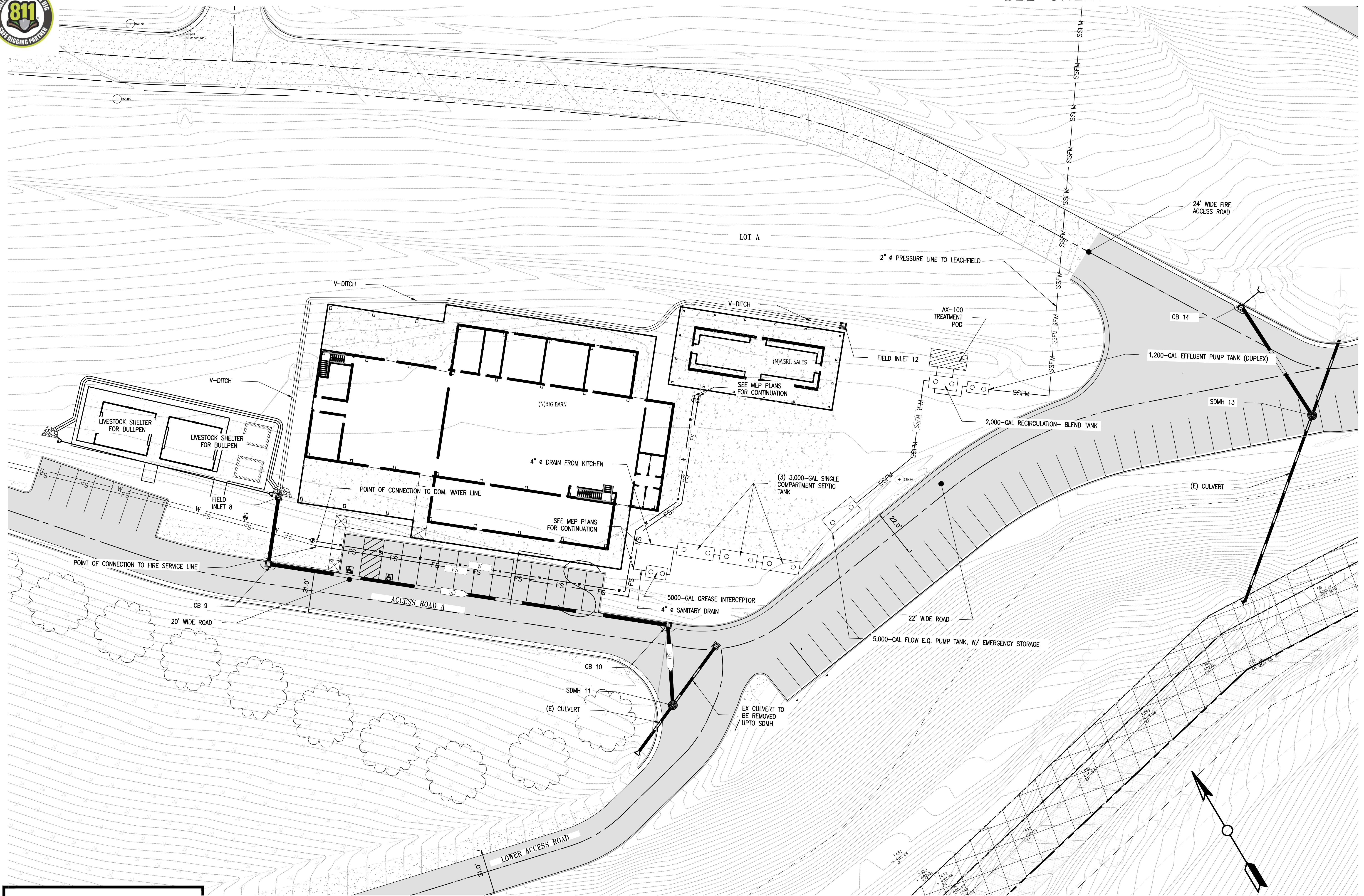


PRELIMINARY

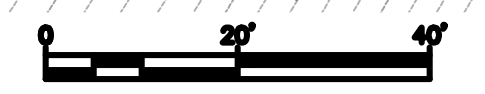




SEE SHEET C1.3

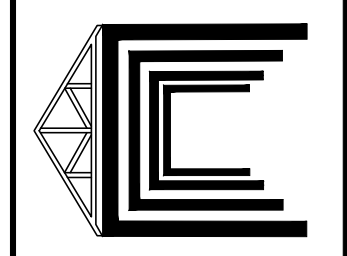


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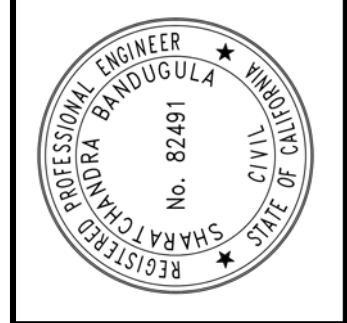


NO.	DATE	BY	REVISIONS

**NAVIS**  
 design build manage  
 info@navisdbm.com



12/21/2023	DATE	
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	SB	
	CHECKED BY	



GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
 UTILITY PLAN  
 COUNTY OF SANTA CLARA CALIFORNIA  
 12/21/2023

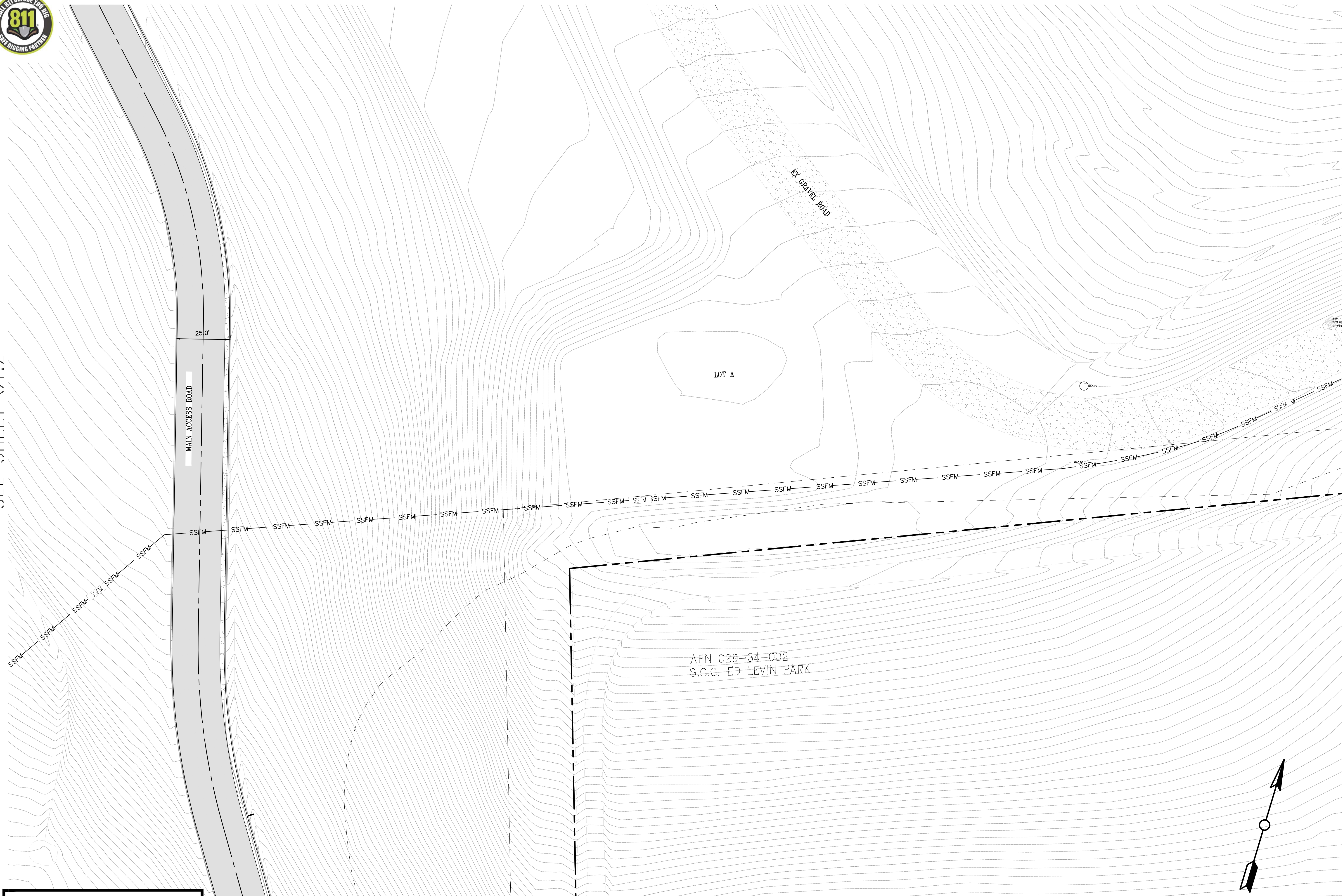
C1.2  
 OF 66

GOKULAM LOT A - GRADING & IMPROVEMENT PLANS 12/21/2023





SEE SHEET C1.2

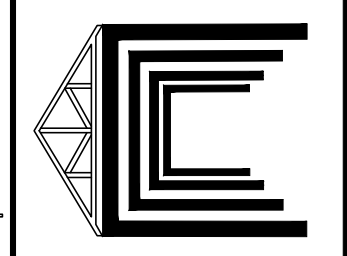


PRELIMINARY

SEE SHEET C1.4

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GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
 UTILITY PLAN  
 COUNTY OF SANTA CLARA CALIFORNIA

C1.3  
 OF  
 66

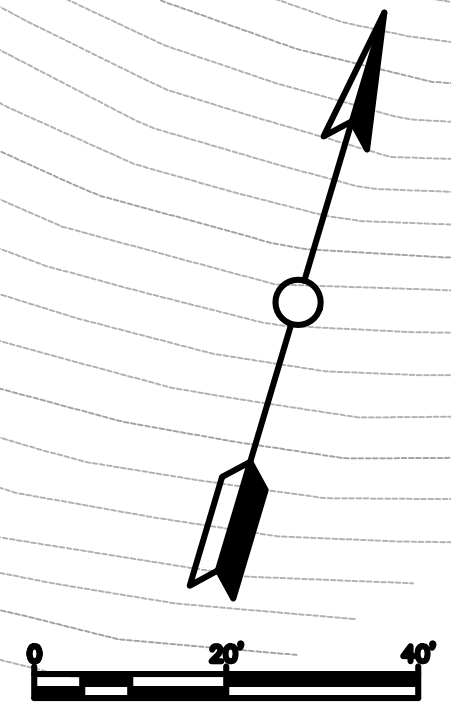




SEE SHEET C1.3



PRELIMINARY



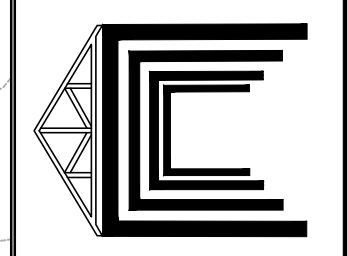
APN 029-34-002  
S.C.C. ED LEVIN PARK

APN 029-34-002  
S.C.C. ED LEVIN PARK

PROPOSED LEACH FIELD  
FOR BIG BARN & AG.  
SALES.  
SEE PLANS BY QUESTA  
FOR MORE DETAILS.

NO.	DATE	REVISIONS

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GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
UTILITY PLAN  
COUNTY OF SANTA CLARA CALIFORNIA

C1.4  
OF  
66





CITY OF MILPITAS

APN 029-35-005

LANDS OF PANGAN

TOTAL ACRES: 39.16

APN 029-35-007

LANDS OF BARBANA

LEGEND

- PERMANENT DISTURBANCE AREA 139,747 SF (3.21 ACRES)
- TEMPORARY DISTURBANCE AREA 49,167 SF (1.13 ACRES)

SCVHP LAND COVER TYPE

- BARREN 1,518,841 SF (34.87 ACRES)
- GRAIN, ROW-CROP, HAY AND PASTURE DISKED/SHORT-TERM FOLLOWED 65,641 SF (1.51 ACRES)
- MIX RIPARIAN FOREST AND WOODLAND 20,805 SF (0.48 ACRES)

419-M-43 PARCEL 1 14.064 ACRES

APN 029-34-003 LANDS OF VIEIRA

LOT 'B' GROSS 43.32 AC

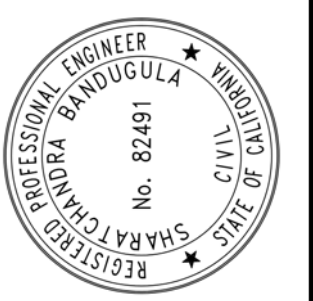
419-M-43 PARCEL 2 78.93 ACRES APN 029-34-004

LOT 'A' GROSS 37.11 AC

APN 029-34-002

S.C.C. ED LEVIN PARK

DATE	SB	BY	DATE	REVISIONS
12/21/2023				



GRADING & IMPROVEMENT PLANS

HCP EXHIBIT

COUNTY OF SANTA CLARA

GOKULAM LOT A

C1.5 OF 66

GOKULAM LOT A - GRADING & IMPROVEMENT PLANS 12/21/2023

PRELIMINARY

PROJECT DATA

PROJECT DATA  
 ADDRESS: 2425 OLD CALAVERAS ROAD, MILPITAS, CA 95035  
 ZONING DESIGNATION: D2 - HS - HILLSIDE  
 APN: LOT A IN APN 029-34-004

LOT SIZE: 37.11 ACRES  
 BUILDING AREA: 64,400 SQ. FT. OF COVERED AREA  
 35,439 SQ. FT. (BUILDING AREA TOTAL)  
 3.98% OF ENTIRE LOT

APN 029-33-004

LANDS OF ENTERPRISE RE184 LLC

IMPERVIOUS AREA TABLE			
DESCRIPTION	AREA (SF)	AREA (ACRES)	EQUIVALENT AREA (ACRES)
EXISTING	0	0	0
PRIMARY RESIDENCE AND DWY	12,086	0.28	0.28
ADU, JADU, DWY & GARDEN SHED	4,070	0.09	0.09
BIG BARN AND AG SALES	19,283	0.44	0.44
AC ROAD	28,961	0.66	0.66
TOTAL IMPERVIOUS AREA	64,400	1.48	1.48
TOTAL AREA	1,616,512	37.11	37.11
IMPERVIOUS OF TOTAL LOT			3.98%

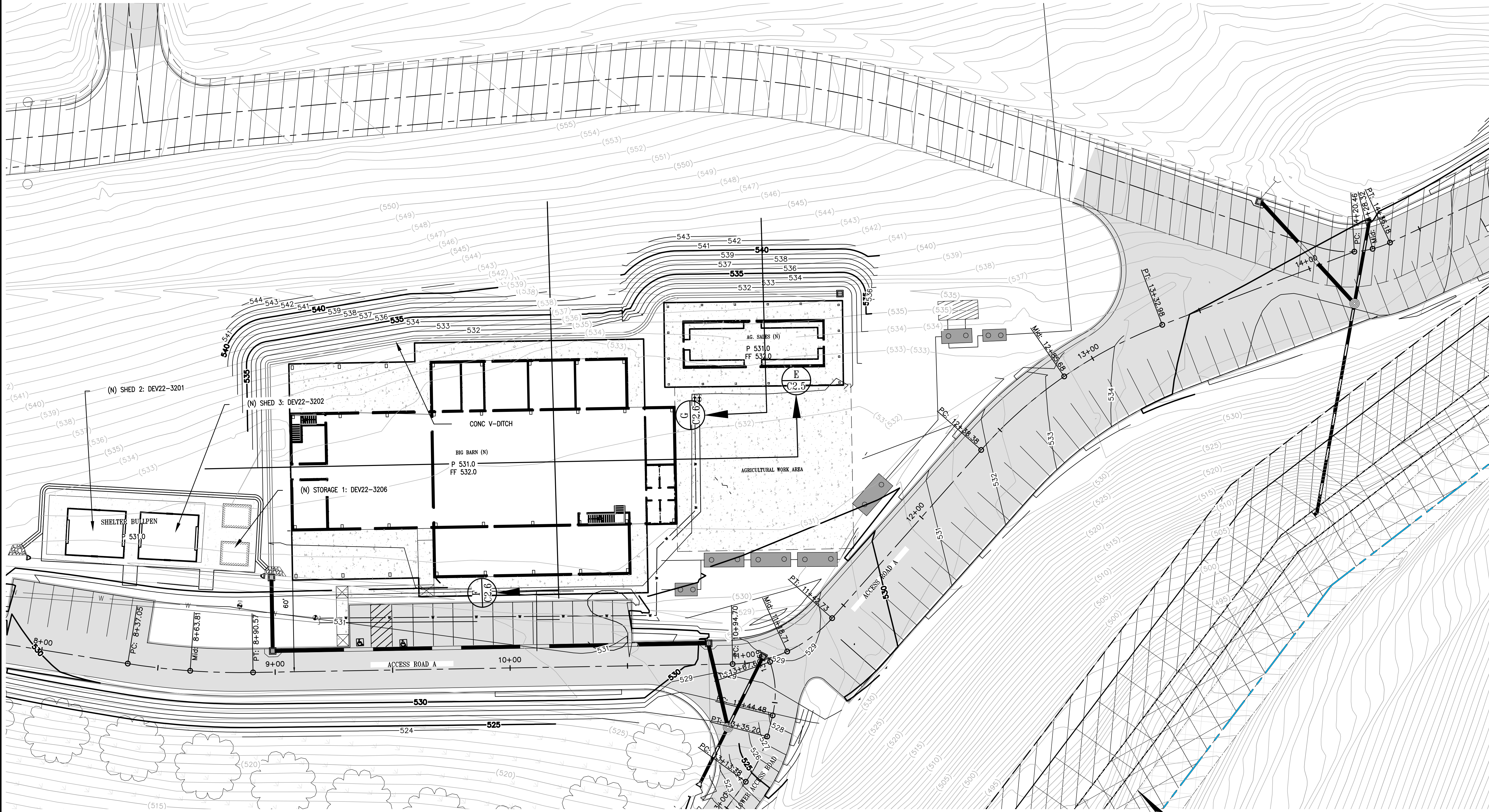




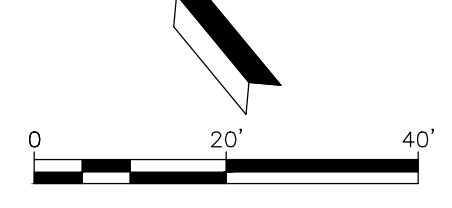








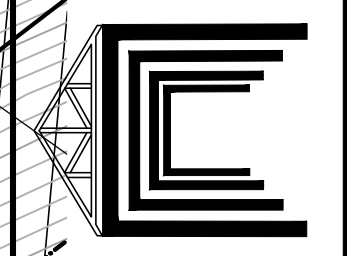
**PRELIMINARY**



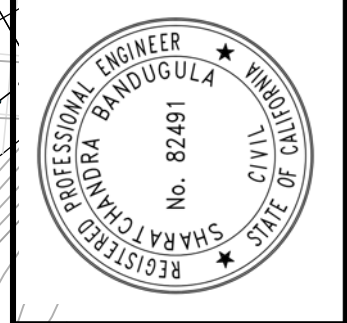
PARKING TABLE	
EMPLOYEE	4
VOLUNTEERS	6
CUSTOMER/VISITORS	39
ADA ACCESSIBLE PARKING	3
EV PARKING	6
<b>TOTAL</b>	<b>58</b>

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DATE	SB	SB	SB
12/21/2023			



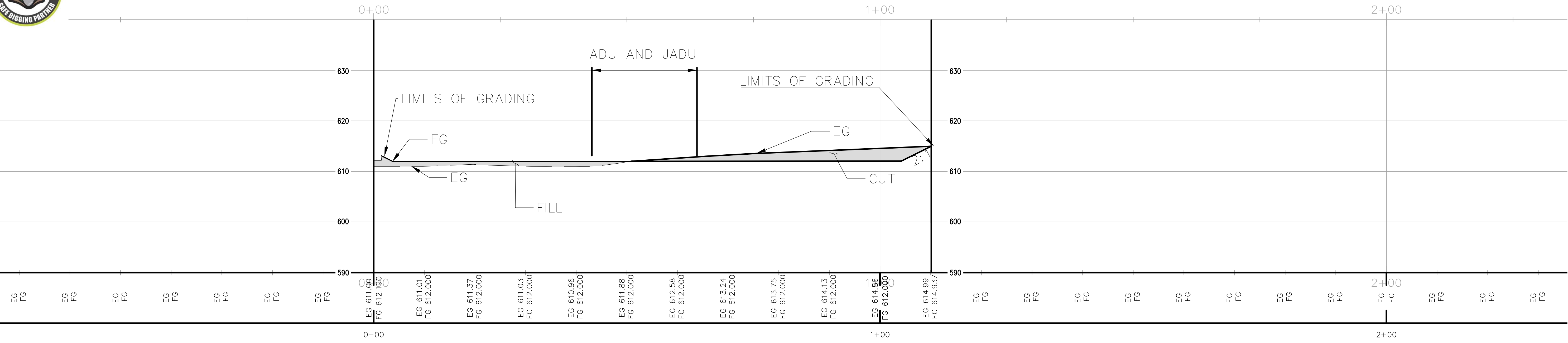
GOKULAM LOT A - GRADING & IMPROVEMENT PLANS  
BARN & SALE OFFICE  
GRADING PLAN  
COUNTY OF SANTA CLARA CALIFORNIA

**C2.2**  
OF **66**

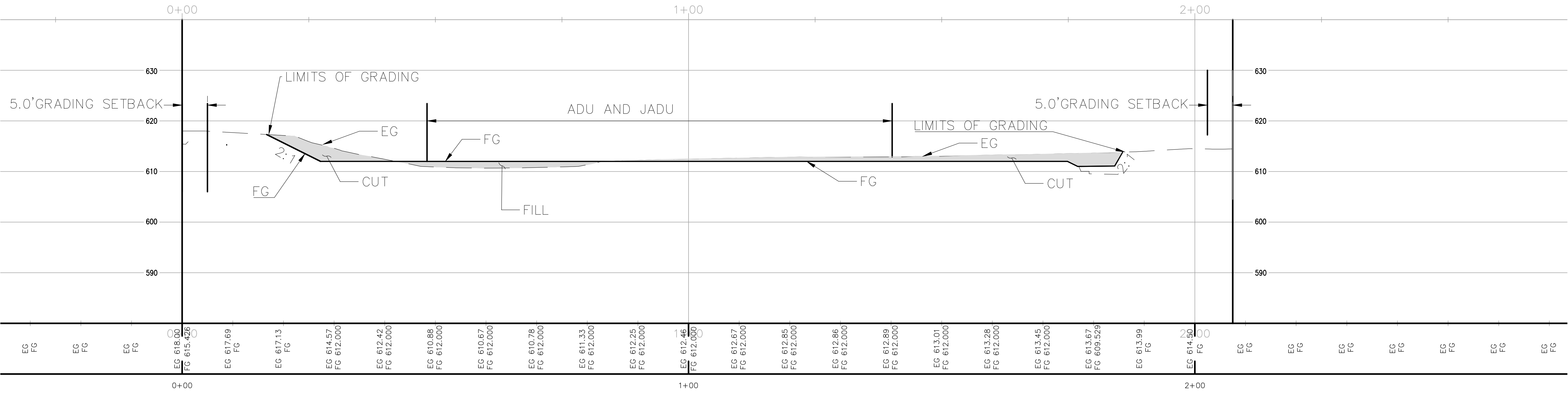








### SECTION C-C

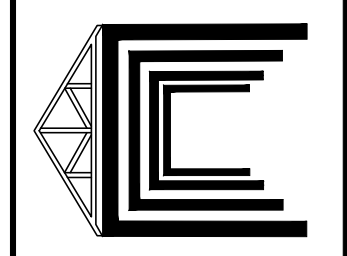


### SECTION D-D

**PRELIMINARY**

NO.	DATE	REVISIONS

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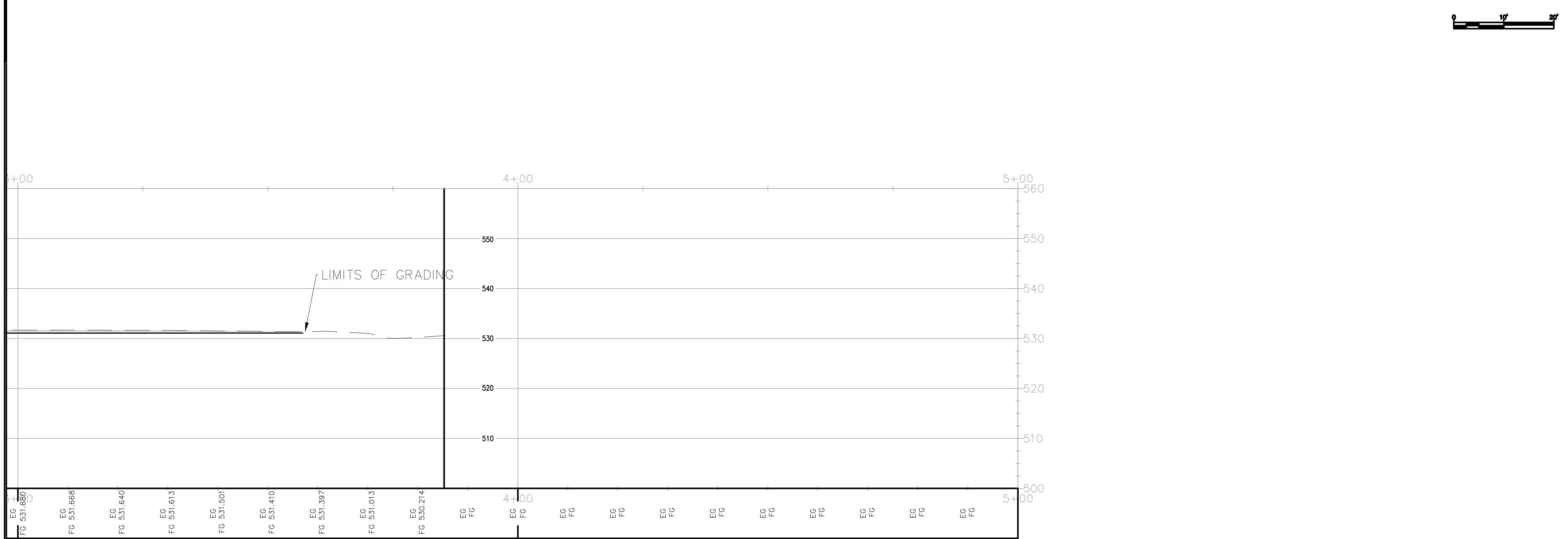
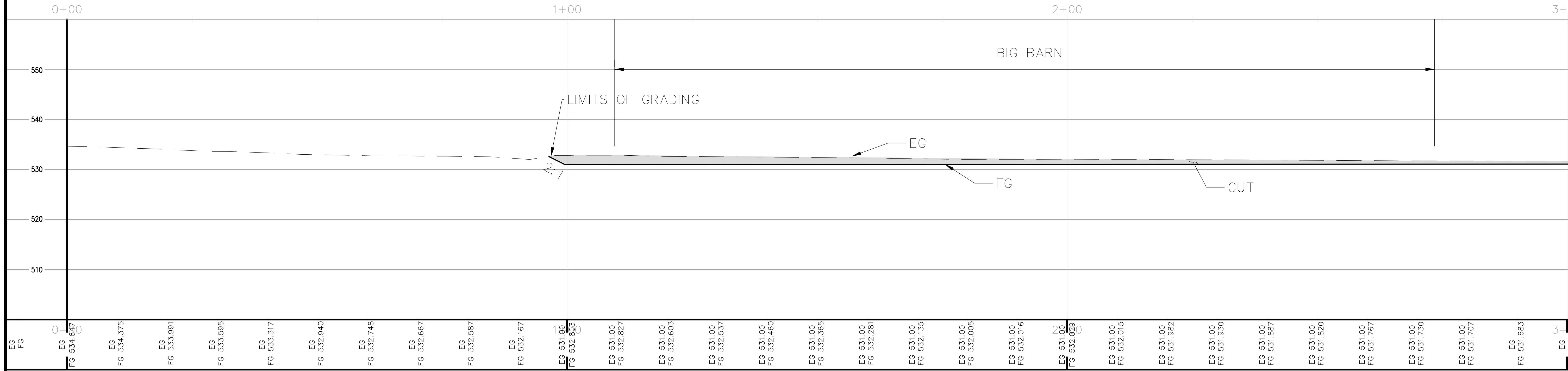
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GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
GRADING SECTIONS  
COUNTY OF SANTA CLARA CALIFORNIA

C2.4  
OF  
66



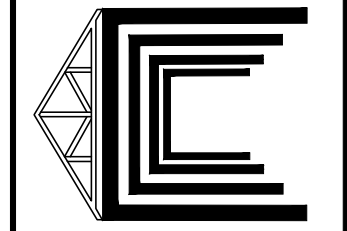


**PRELIMINARY**

**SECTION E-E**

NO.	DATE	REVISIONS

**NAVIS**  
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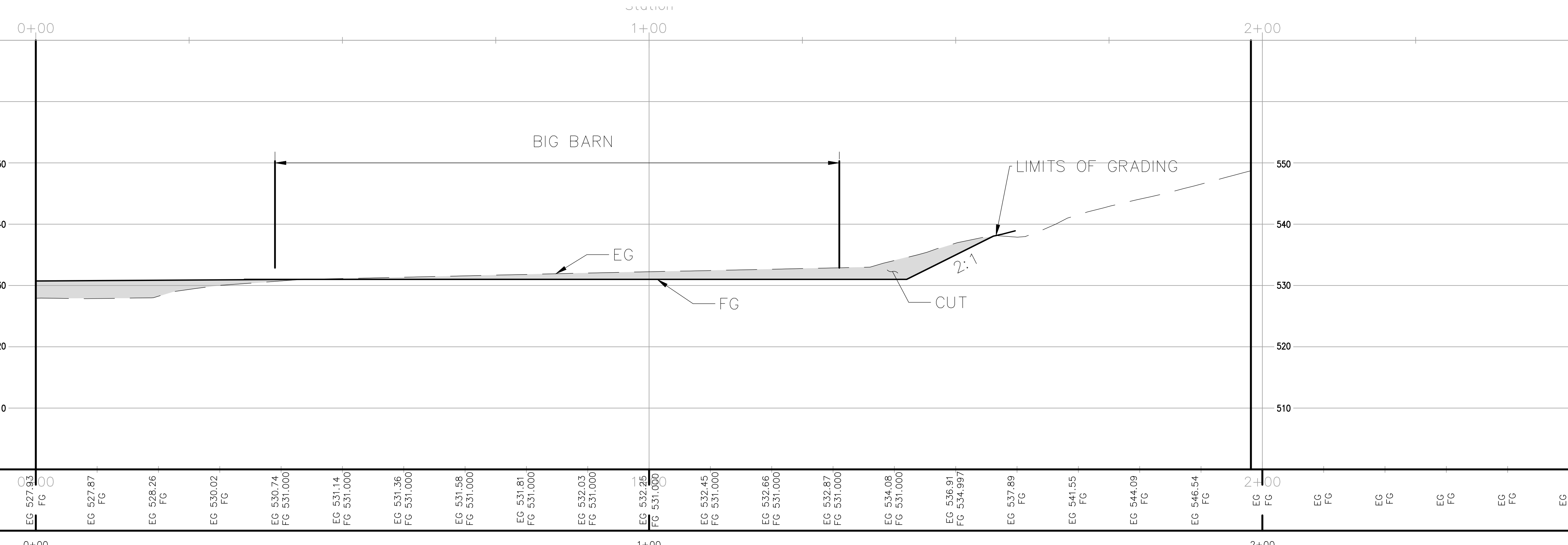
12/21/2023	DATE
SB	DRAWN BY
SB	CHECKED BY



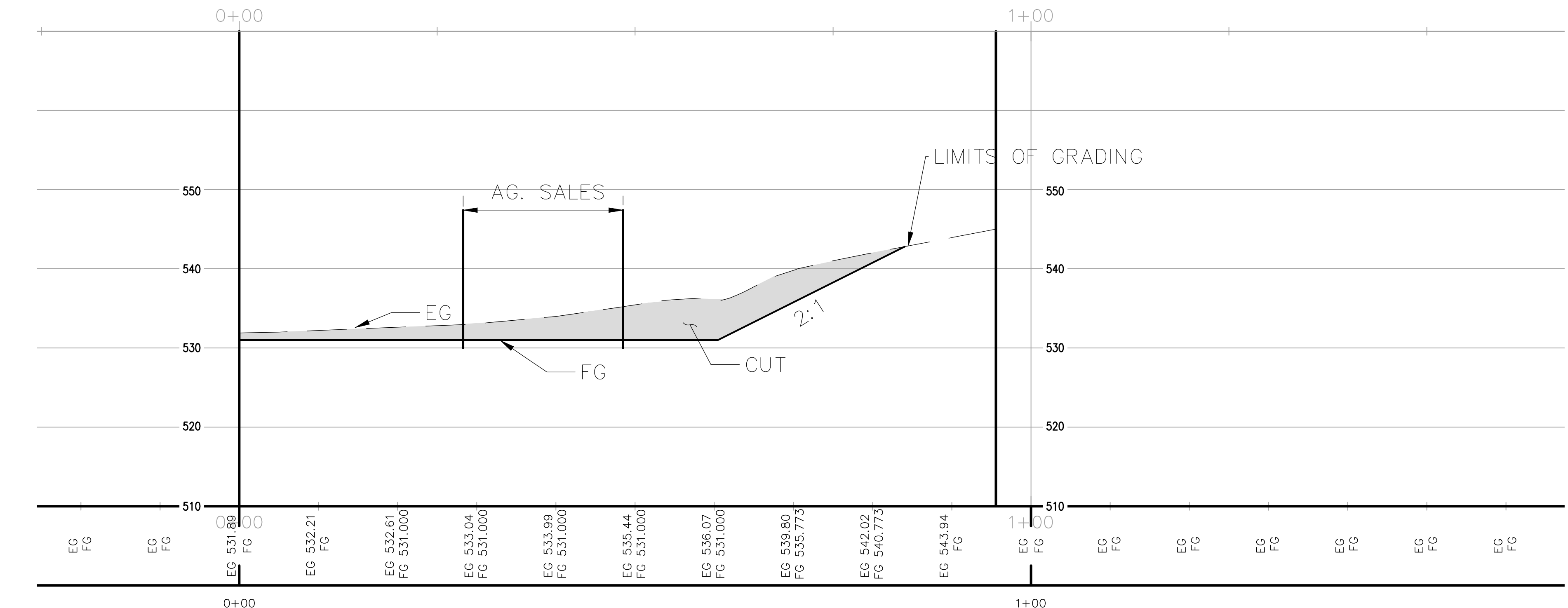
GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
GRADING SECTIONS  
COUNTY OF SANTA CLARA CALIFORNIA

C2.5  
OF  
66

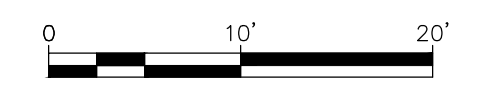
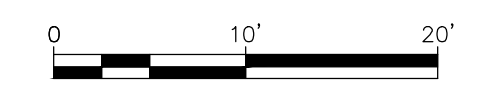




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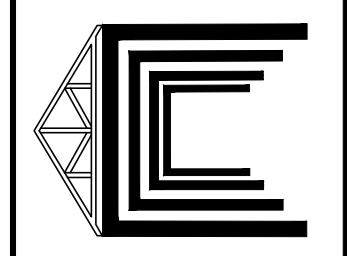
### SECTION G-G



**PRELIMINARY**

NO.	DATE	REVISIONS

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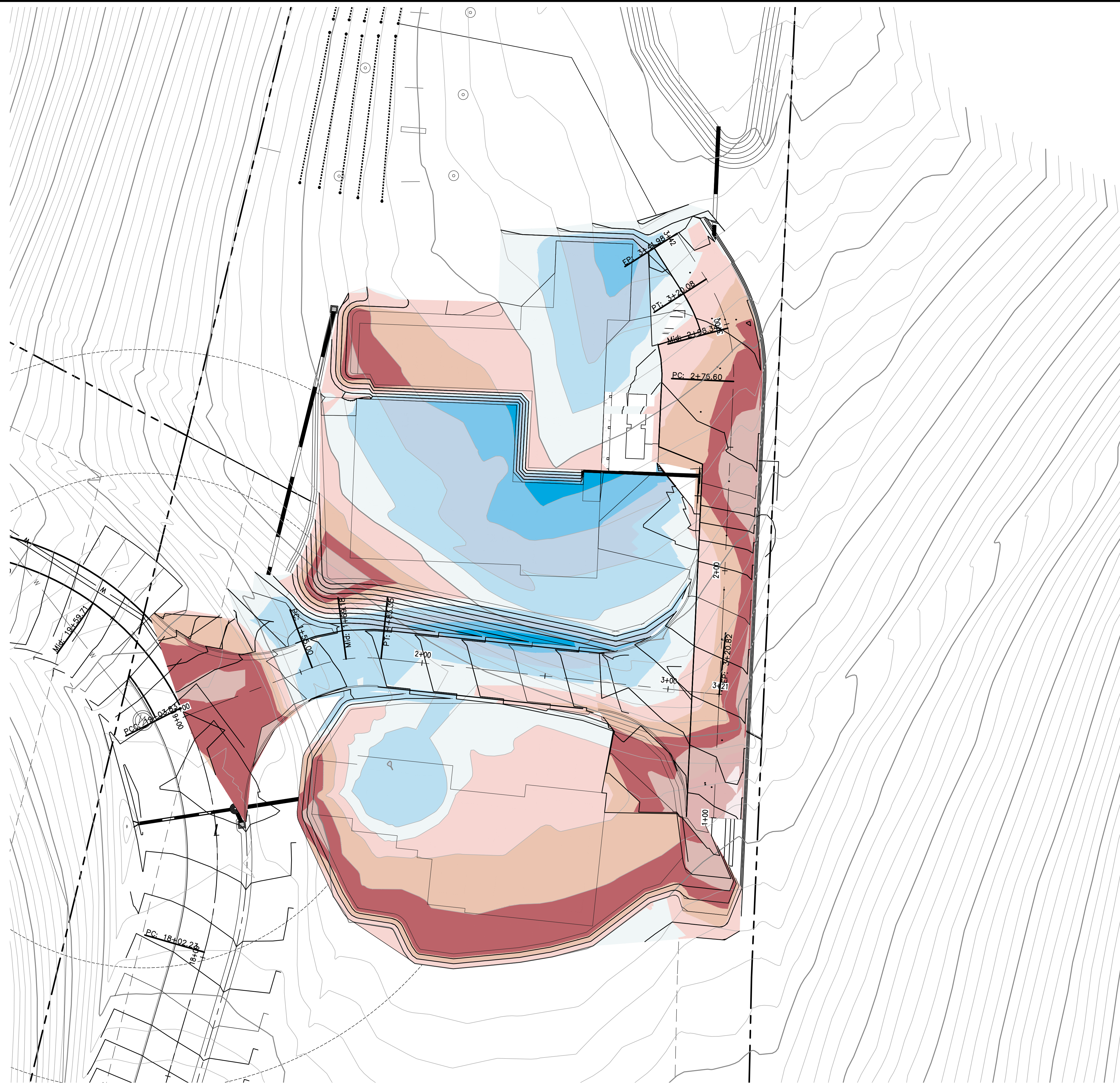
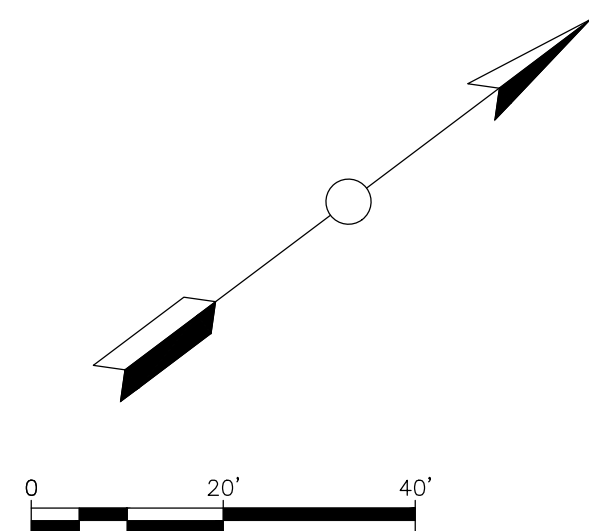
GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
CALIFORNIA  
GRADING SECTIONS  
COUNTY OF SANTA CLARA

C2.6  
OF  
66





Elevations Table				
Number	Minimum Elevation	Maximum Elevation	Area	Color
1	-5.50	-5.00	93.09	
2	-5.00	-4.00	552.25	
3	-4.00	-3.00	2033.48	
4	-3.00	-2.00	7093.06	
5	-2.00	-1.00	8228.04	
6	-1.00	0.00	9070.76	
7	0.00	1.00	8866.66	
8	1.00	2.00	8338.78	
9	2.00	3.00	4559.50	
10	3.00	4.00	2328.45	
11	4.00	5.00	386.83	



**PRELIMINARY**

<b>C2.7</b> OF <b>66</b>	GOKULAM LOT A - GRADING & IMPROVEMENT PLANS		 design   build   manage info@navisdbm.com	DATE	BY	REVISIONS
	GOKULAM LOT A - GRADING & IMPROVEMENT PLANS			12/21/2023	SB	SB
CUT FILL EXHIBIT				DRAWN BY	CHECKED BY	
COUNTY OF SANTA CLARA		CALIFORNIA		SB	SB	
GOKULAM LOT A - GRADING & IMPROVEMENT PLANS		12/21/2023				





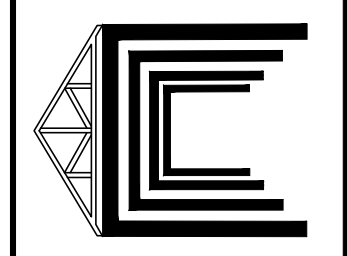
Elevations Table				
Number	Minimum Elevation	Maximum Elevation	Area	Color
1	-7.61	-5.00	1893.25	
2	-5.00	-4.00	2264.54	
3	-4.00	-3.00	2306.63	
4	-3.00	-2.00	3480.36	
5	-2.00	-1.00	8445.89	
6	-1.00	0.00	8367.21	
7	0.00	1.00	2729.47	
8	1.00	2.00	260.75	



**PRELIMINARY**

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DATE  
SB  
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GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
CUT FILL EXHIBIT  
COUNTY OF SANTA CLARA CALIFORNIA

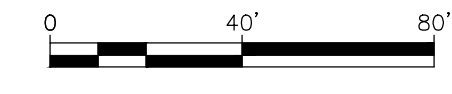
C2.8  
OF  
66





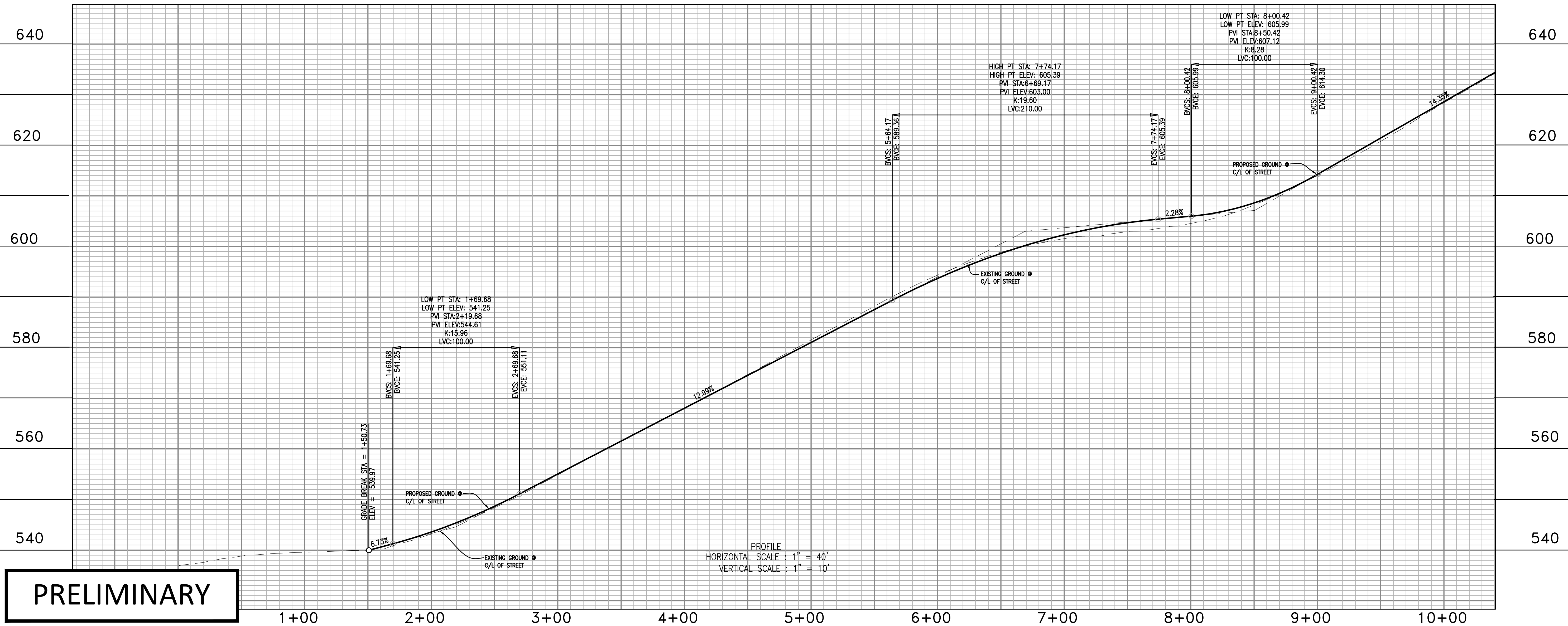
SEE SHEET C3.6  
ACCESS ROAD A

SEE SHEET C3.5  
CONNECTOR ROAD



MAIN ACCESS ROAD

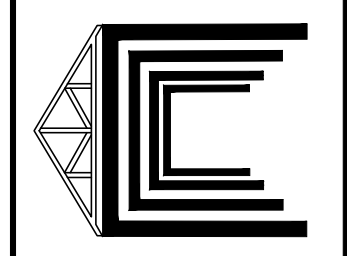
STA 10+00  
SEE SHEET C3.2



**PRELIMINARY**

NO.	DATE	BY	REVISIONS

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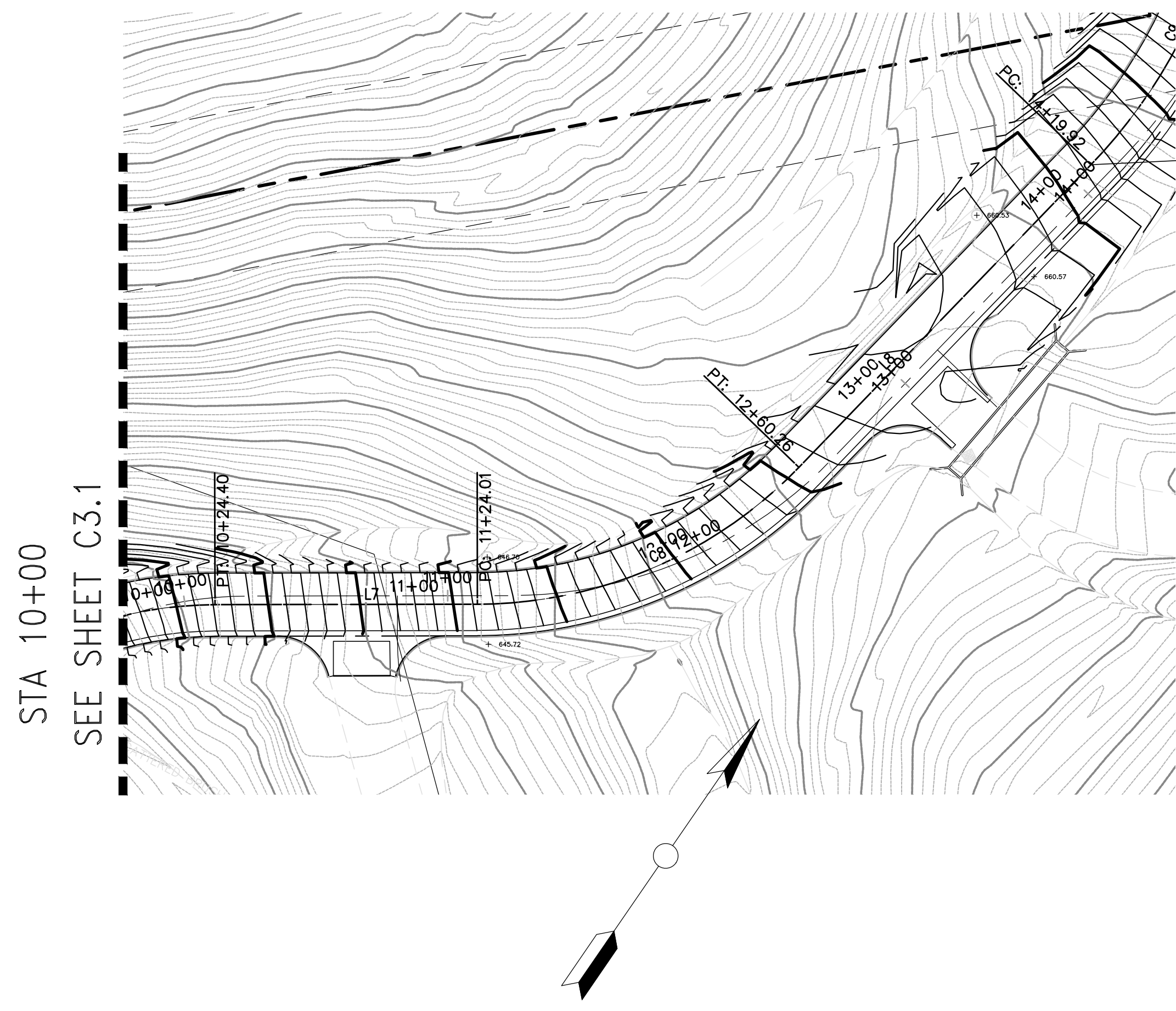
12/21/2023	DATE
SB	DRAWN BY
SB	CHECKED BY



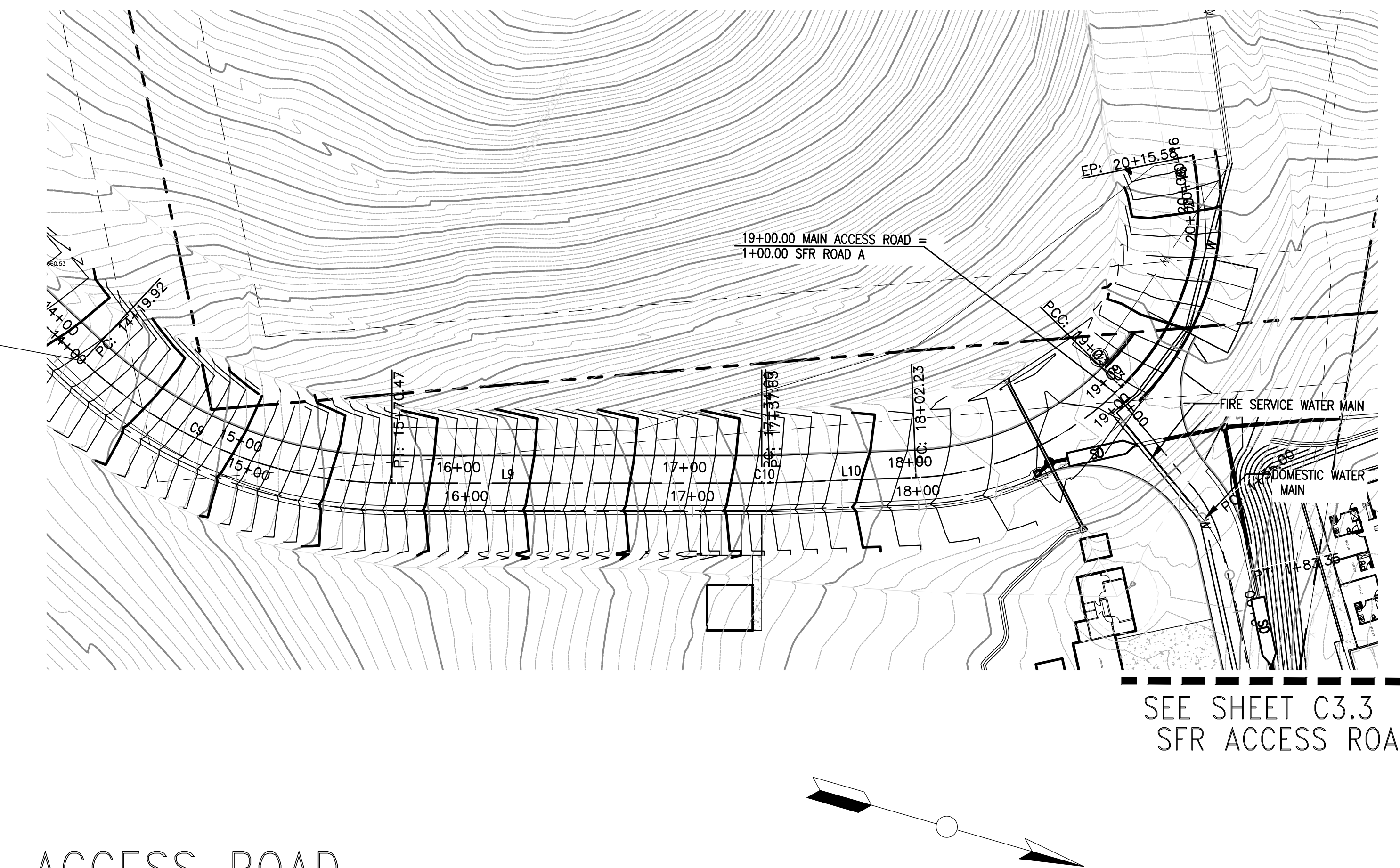
GOKULAM LOT A - GRADING & IMPROVEMENT PLANS  
**MAIN ACCESS ROAD**  
STA 0+00 TO STA 10+00  
COUNTY OF SANTA CLARA  
CALIFORNIA

C3.1  
OF  
**66**



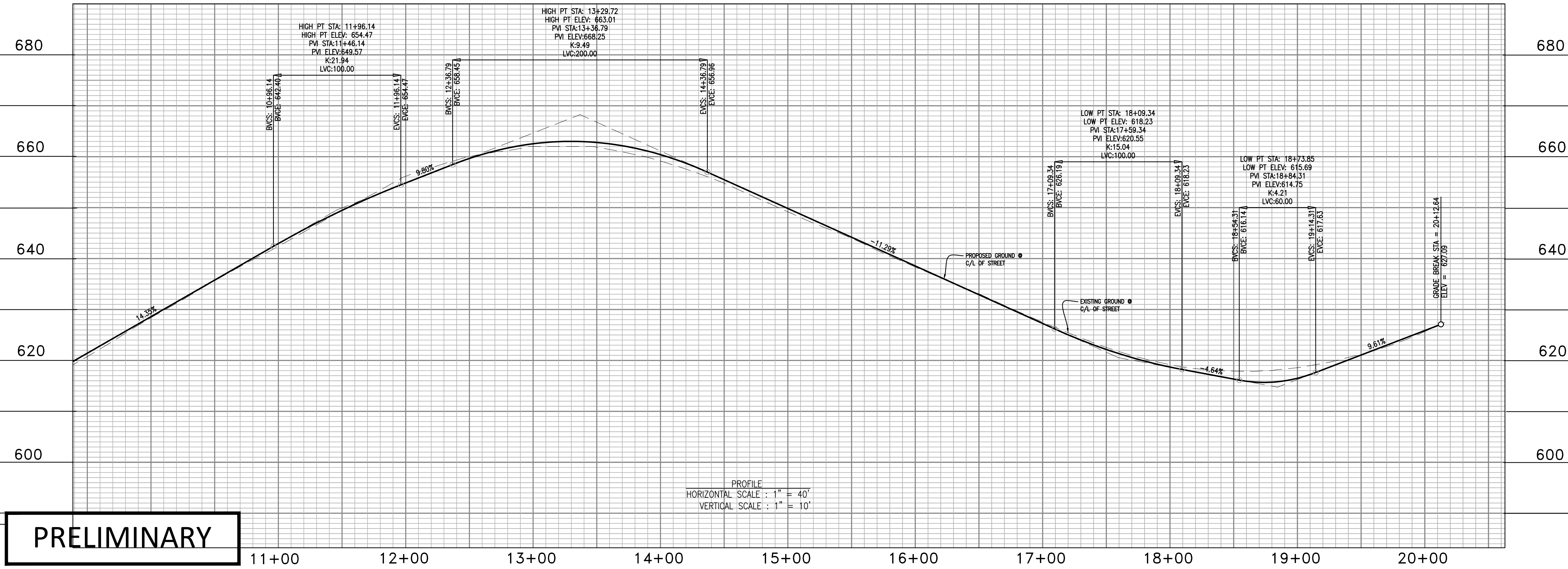


IDENTICAL



SEE SHEET C3.3  
SFR ACCESS ROAD A

MAIN ACCESS ROAD

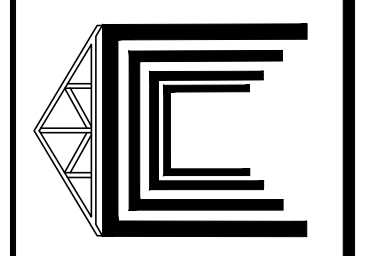


PROFILE  
HORIZONTAL SCALE : 1" = 40'  
VERTICAL SCALE : 1" = 10'

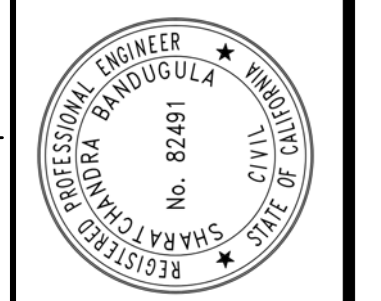
**PRELIMINARY**

NO.	DATE	BY	REVISIONS

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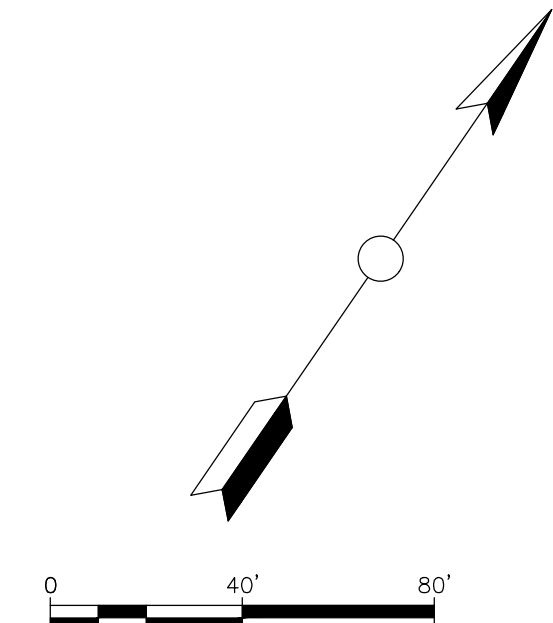
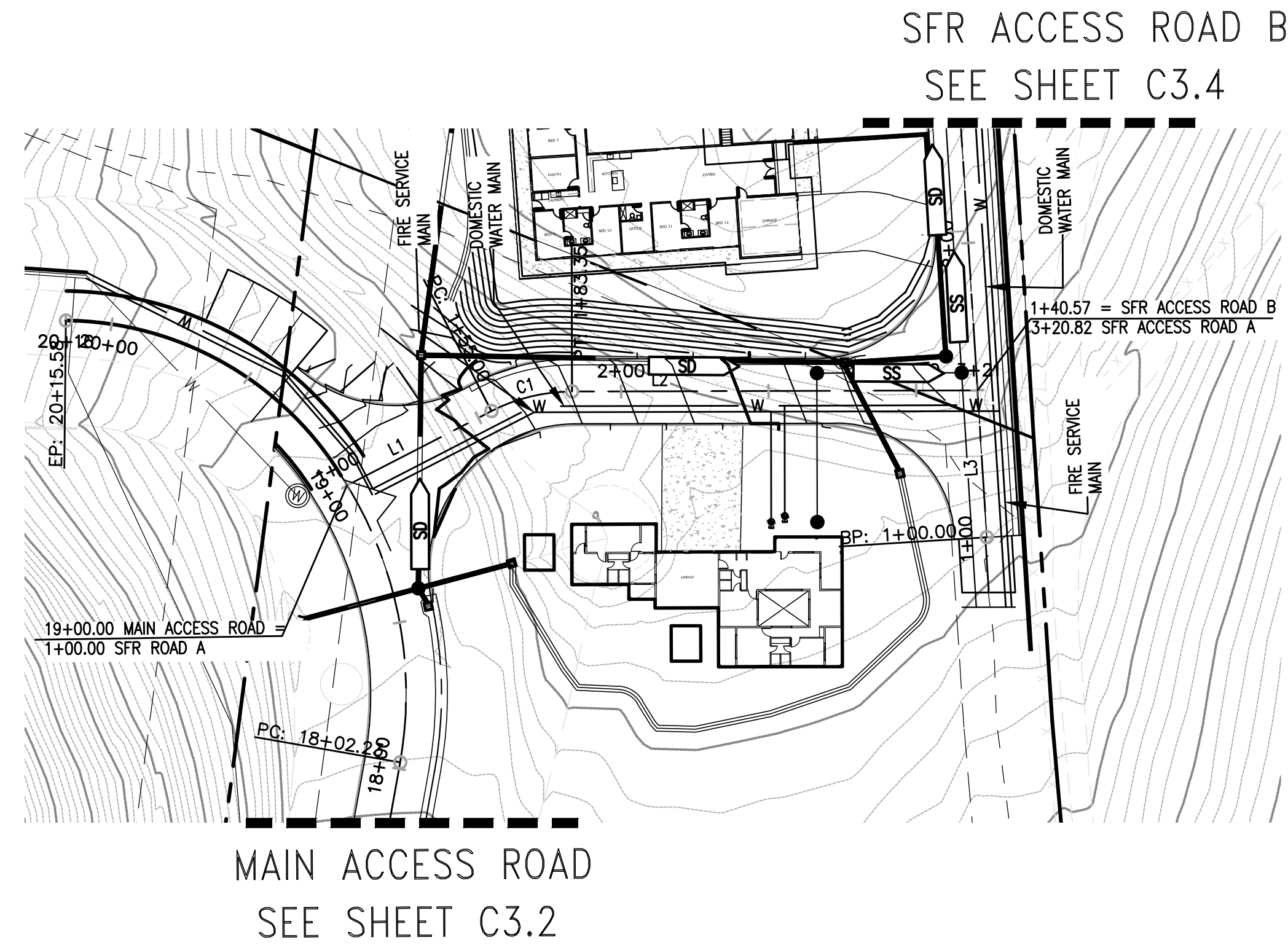
12/21/2023	DATE
SB	DRAWN BY
SB	CHECKED BY



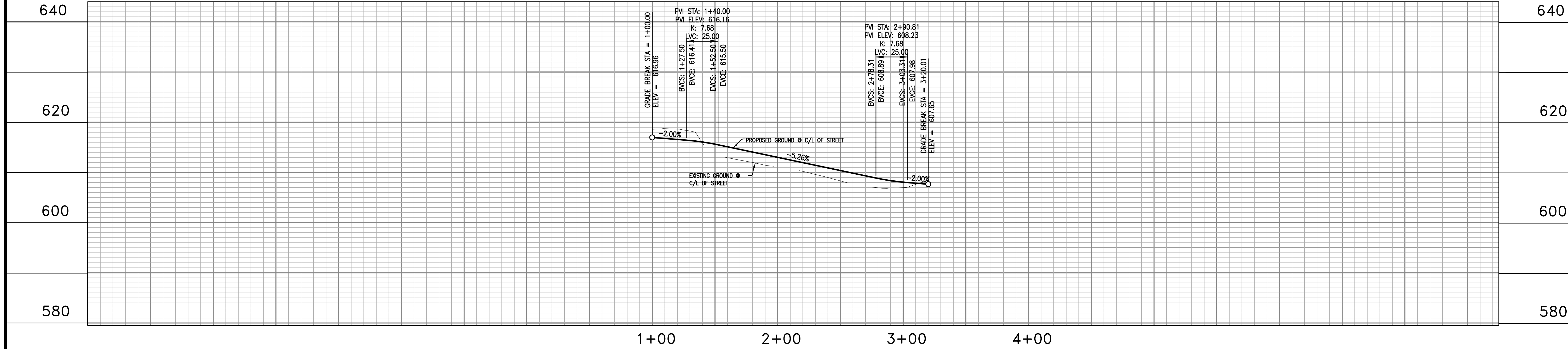
GOKULAM LOT A - GRADING & IMPROVEMENT PLANS  
**MAIN ACCESS ROAD**  
STA 10+00 TO STA 20+00  
COUNTY OF SANTA CLARA  
CALIFORNIA

**C3.2**  
OF **66**





SINGLE FAMILY RESIDENCE ACCESS ROAD A

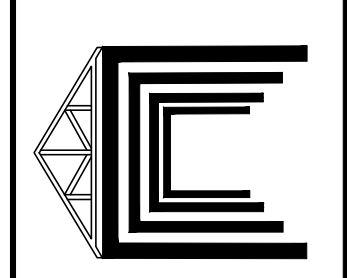


PROFILE  
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VERTICAL SCALE : 1" = 10'

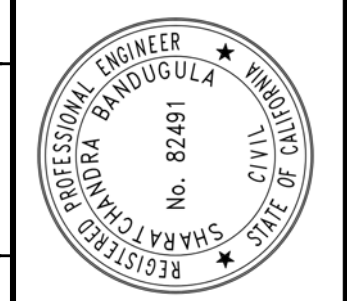
PRELIMINARY

NO.	DATE	BY	REVISIONS

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12/21/2023	DATE	SB
	DRAWN BY	SB
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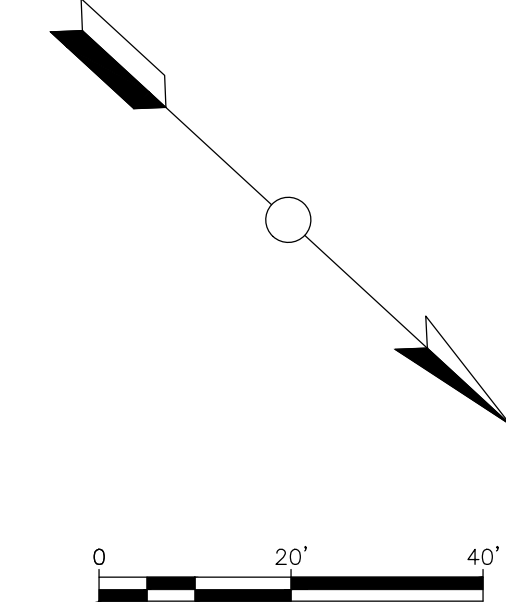
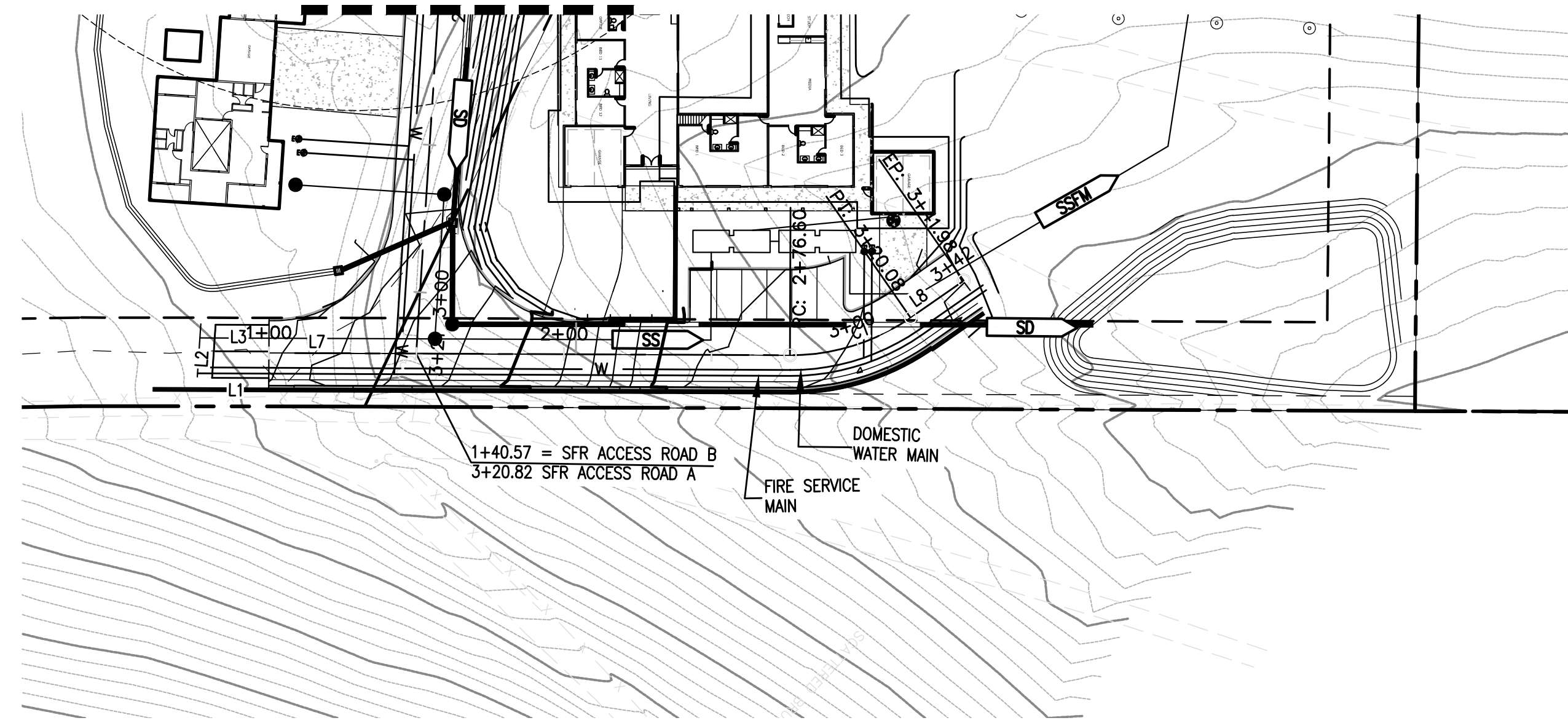
GOKULAM LOT A - GRADING & IMPROVEMENT PLANS  
SINGLE FAMILY RESIDENCE  
ACCESS ROAD A  
COUNTY OF SANTA CLARA CALIFORNIA

C3.3  
OF  
66





SFR ACCESS ROAD A  
SEE SHEET C3.3



SINGLE FAMILY RESIDENCE ACCESS ROAD B

640

640

620

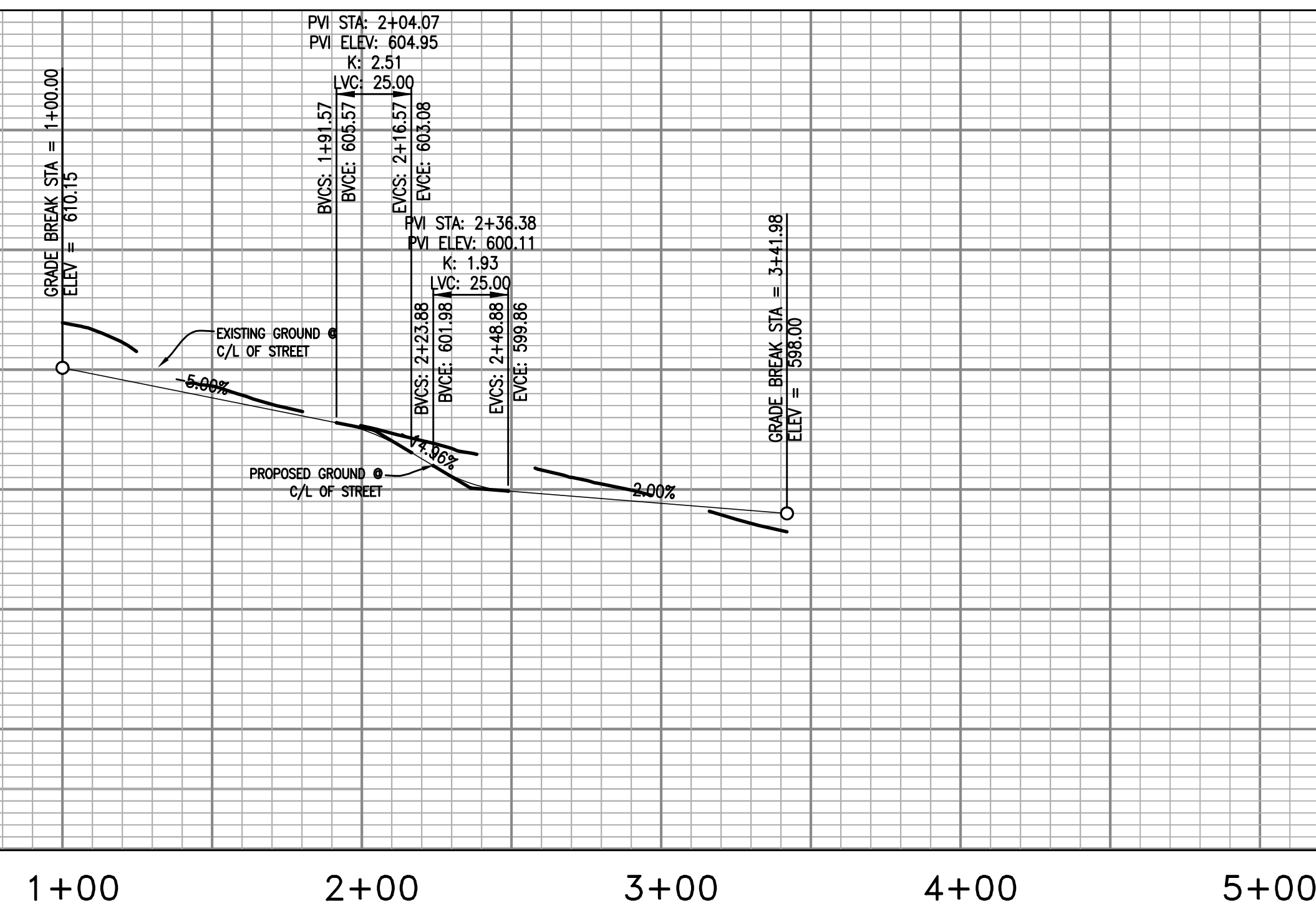
620

600

600

580

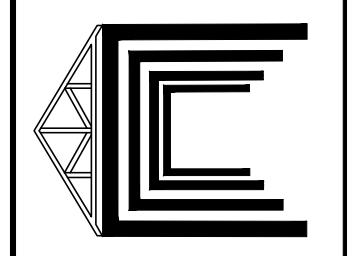
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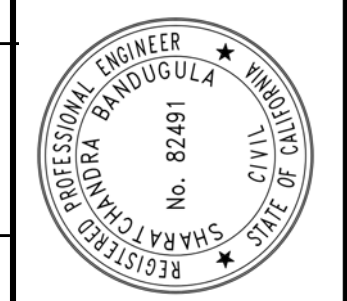
PRELIMINARY

NO.	DATE	BY	REVISIONS

NAVIS  
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info@navisdbm.com



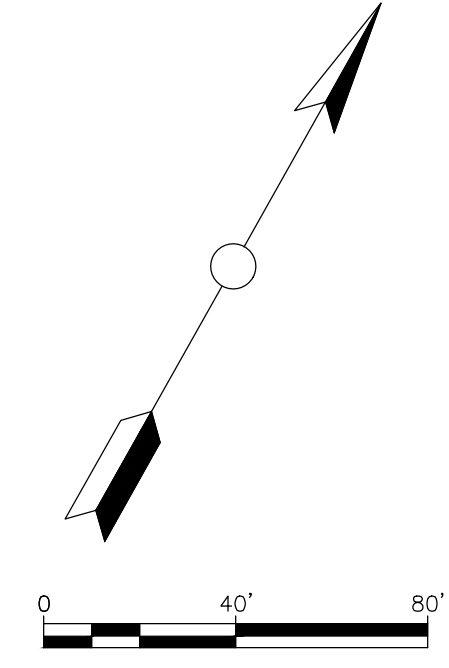
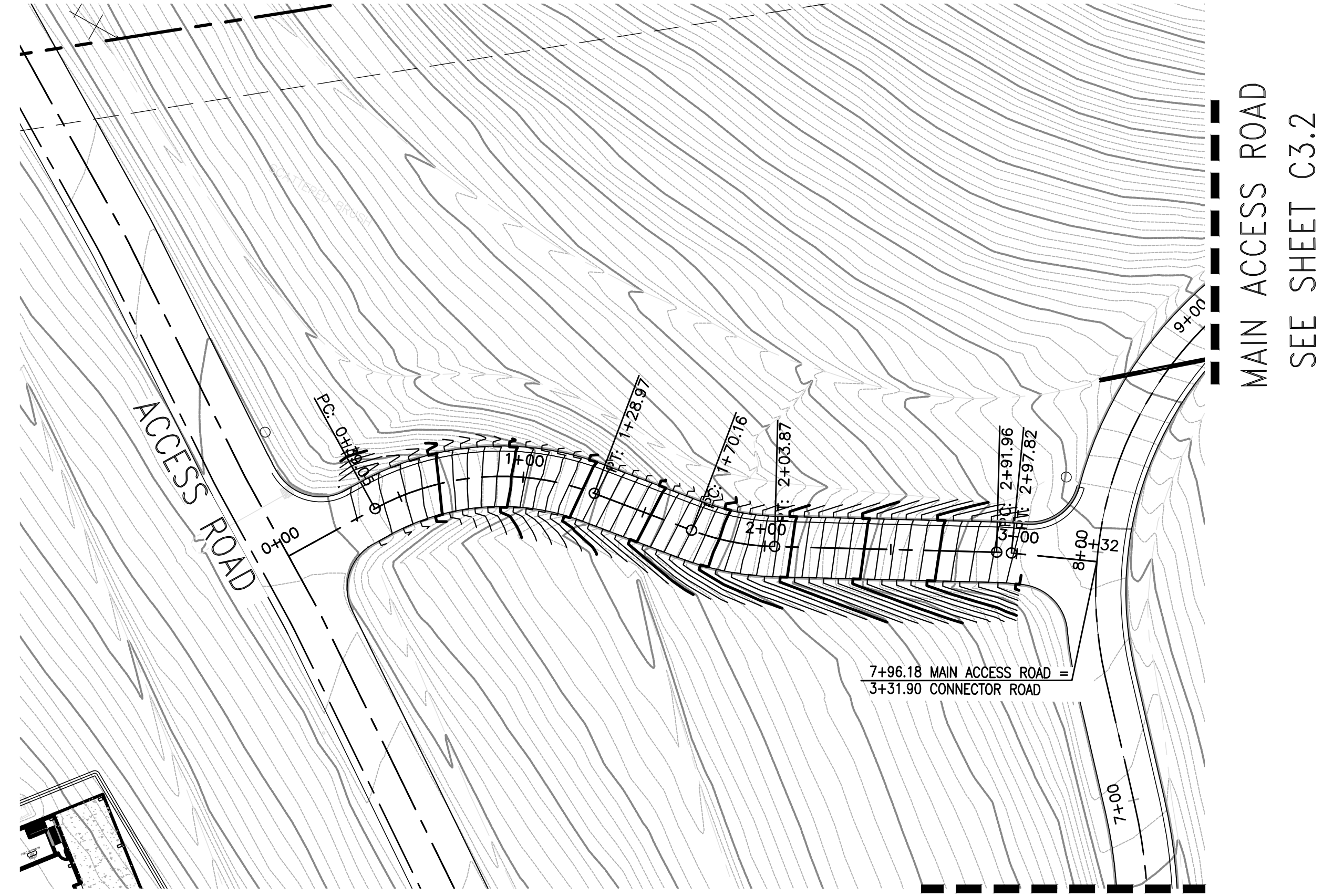
12/21/2023	DATE	
SB	DRAWN BY	
SB	CHECKED BY	



GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
 SINGLE FAMILY RESIDENCE  
 ACCESS ROAD B  
 COUNTY OF SANTA CLARA CALIFORNIA

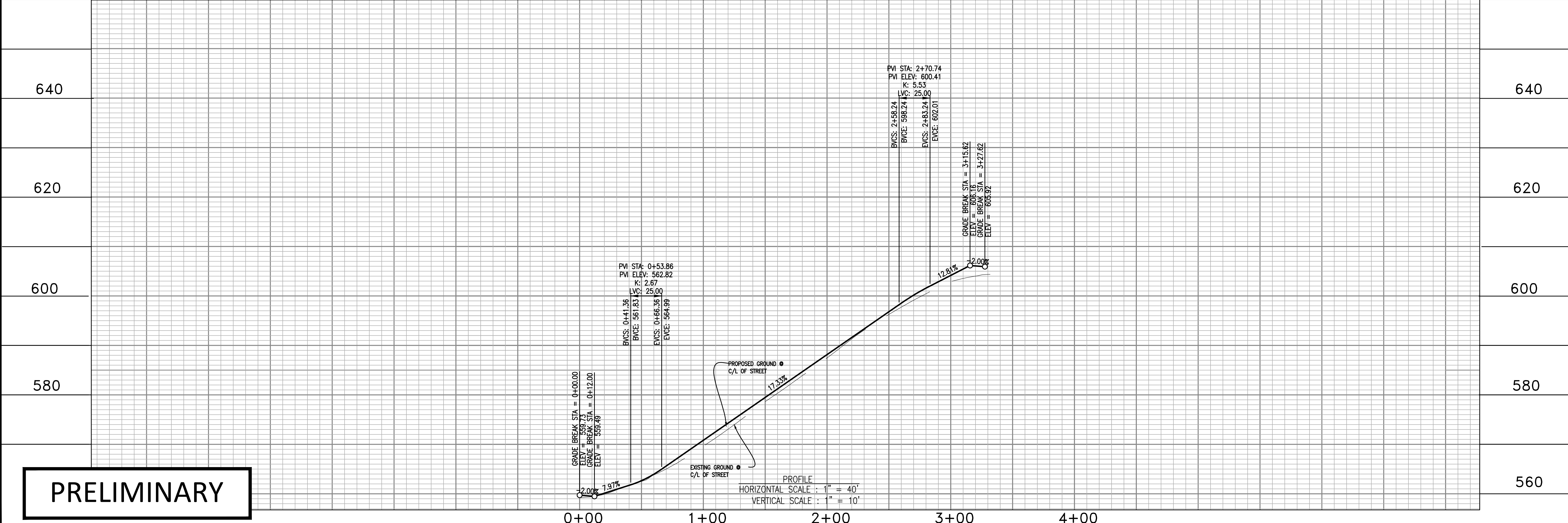
C3.4 OF 66





CONNECTOR ROAD MAIN ACCESS ROAD  
SEE SHEET C3.1 SEE SHEET C3.2

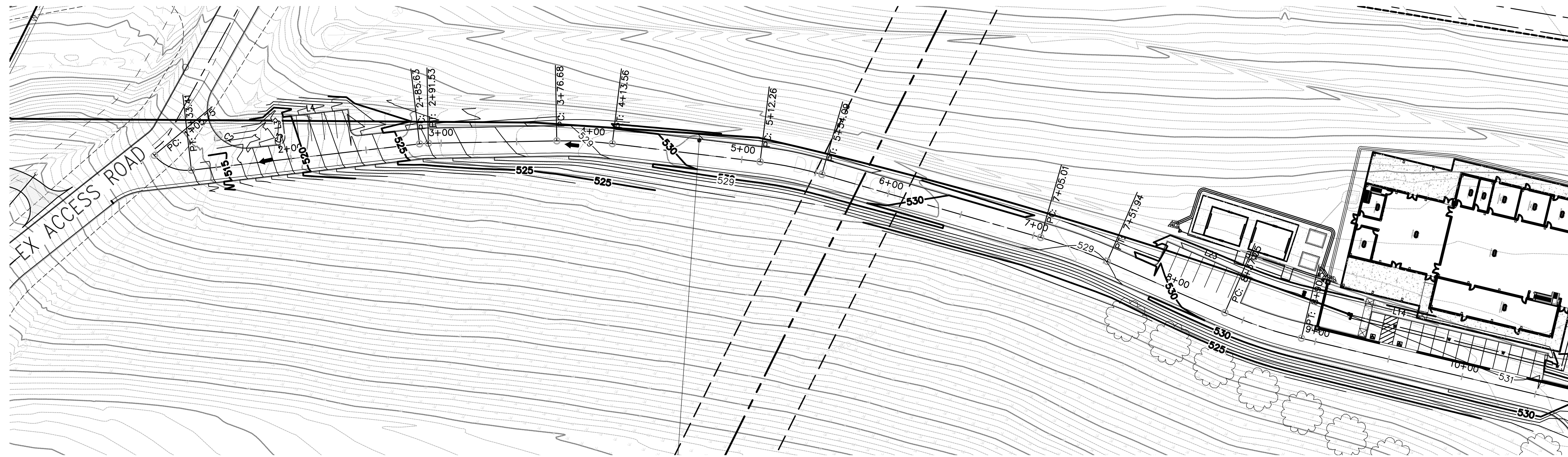
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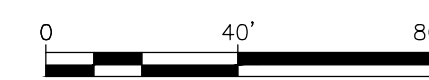
 design   build   manage info@navisdbm.com	DATE: 12/21/2023 DRAWN BY: SB CHECKED BY: SB	REVISIONS BY: _____ DATE: _____
		GOKULAM LOT A - GRADING & IMPROVEMENT PLANS CONNECTOR ROAD COUNTY OF SANTA CLARA CALIFORNIA
C3.5 OF <b>66</b>	GOKULAM LOT A - GRADING & IMPROVEMENT PLANS 12/21/2023	





ACCESS ROAD A

ACCESS ROAD A  
SEE SHEET C3.7



590

590

570

570

550

550

530

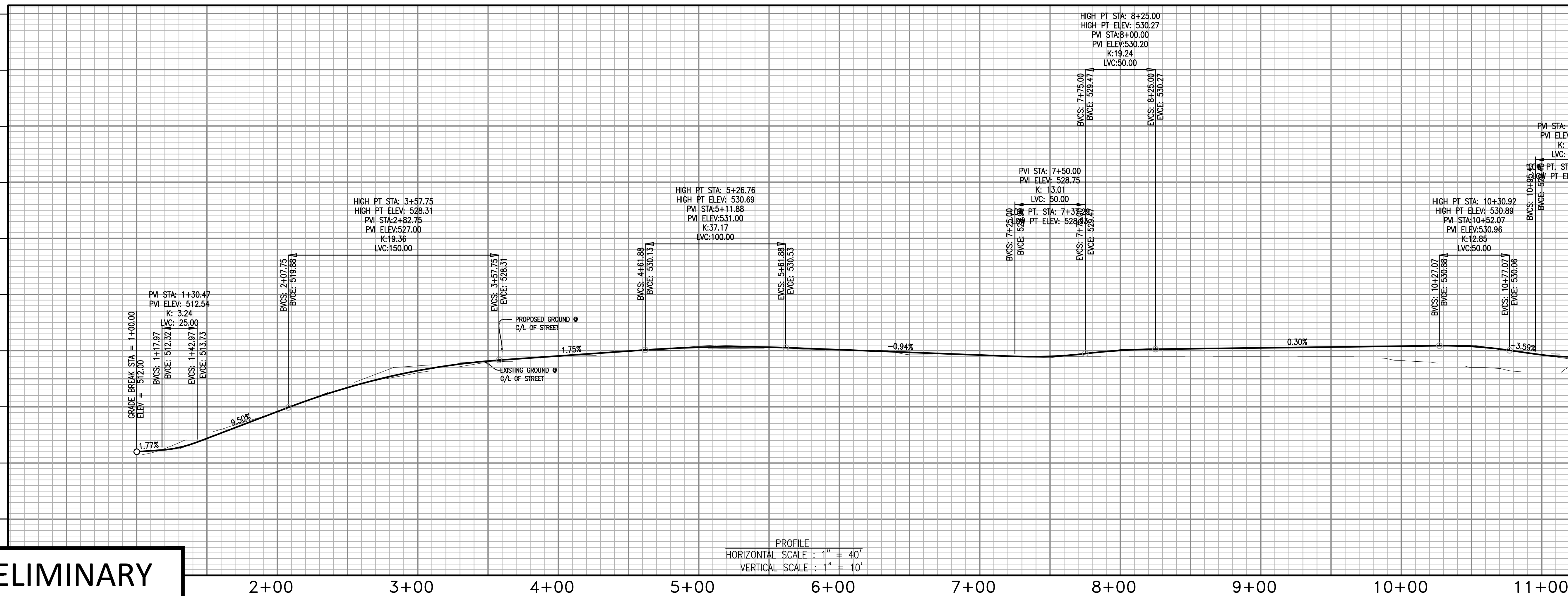
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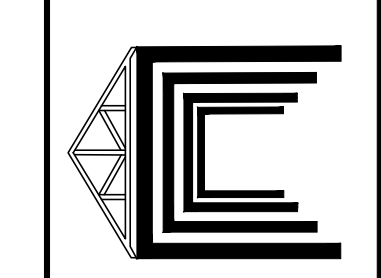


PROFILE  
HORIZONTAL SCALE : 1" = 40'  
VERTICAL SCALE : 1" = 10'

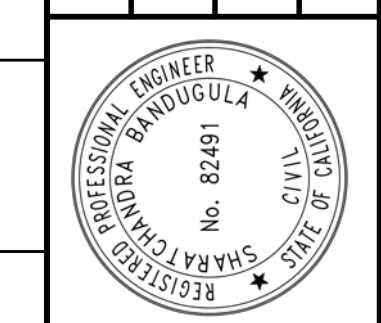
PRELIMINARY

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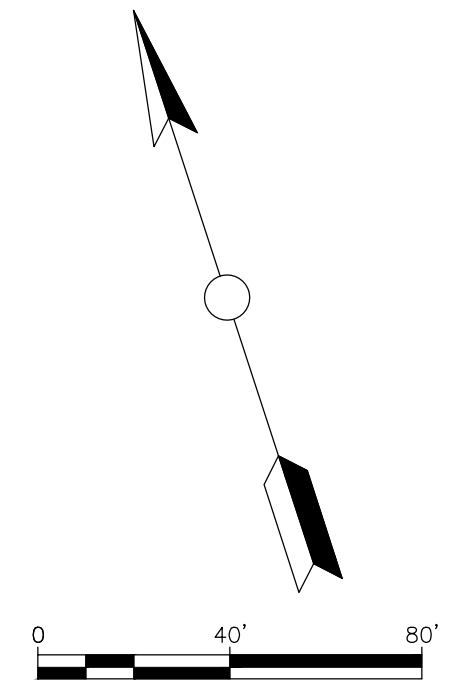
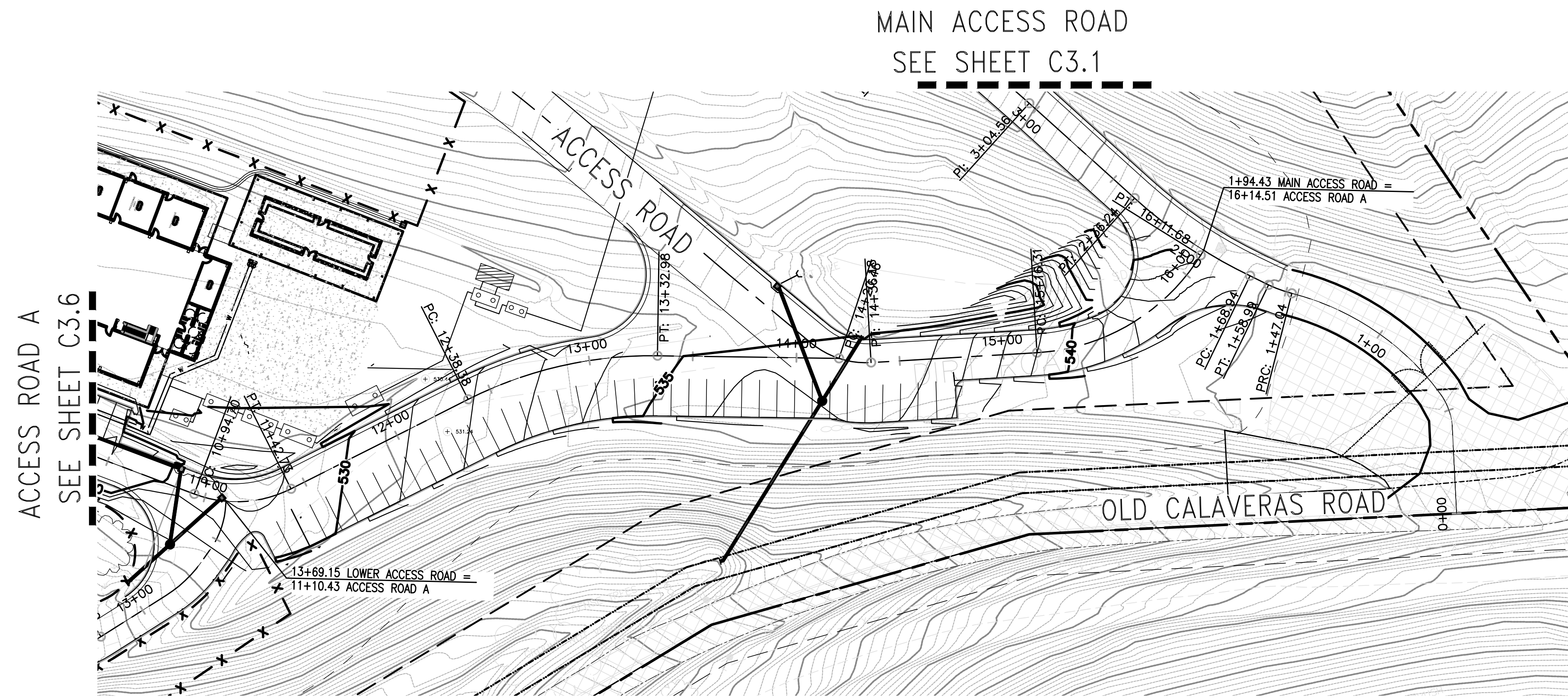
12/21/2023	DATE
SB	DRAWN BY
SB	CHECKED BY



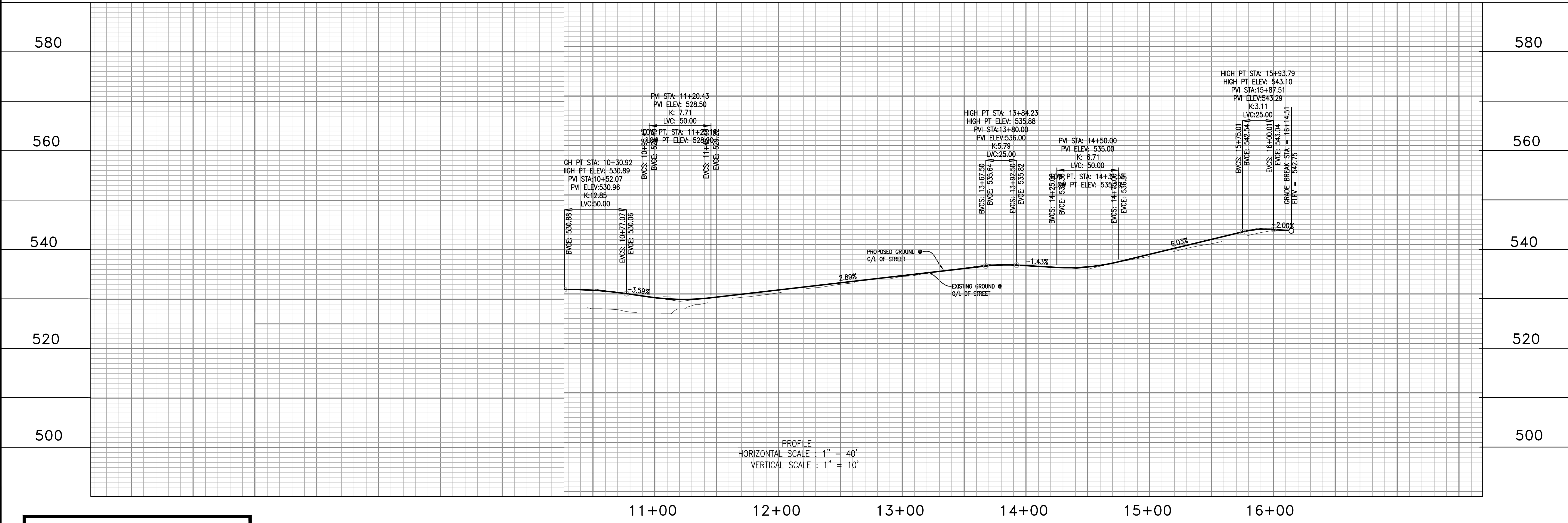
GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
ACCESS ROAD A  
STA 1+00 TO STA 10+50  
COUNTY OF SANTA CLARA CALIFORNIA

C3.6  
OF  
66





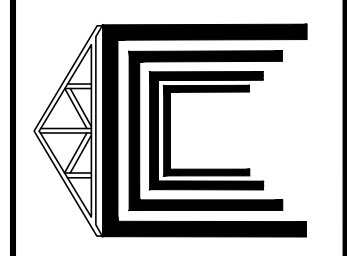
ACCESS ROAD A



PROFILE  
 HORIZONTAL SCALE : 1" = 40'  
 VERTICAL SCALE : 1" = 10'

NO.	DATE	BY	REVISIONS

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12/21/2023	DATE
SB	DRAWN BY
SB	CHECKED BY

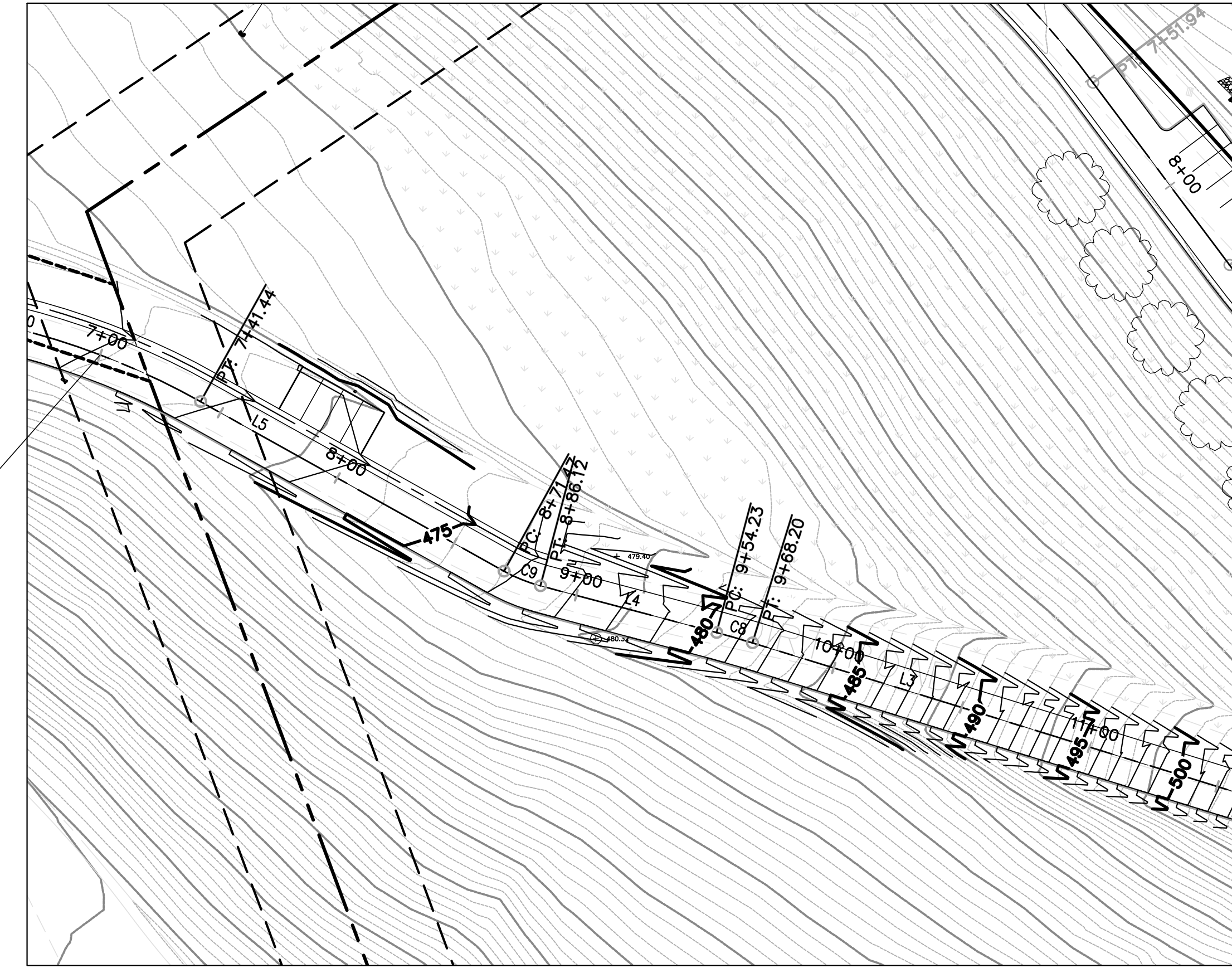
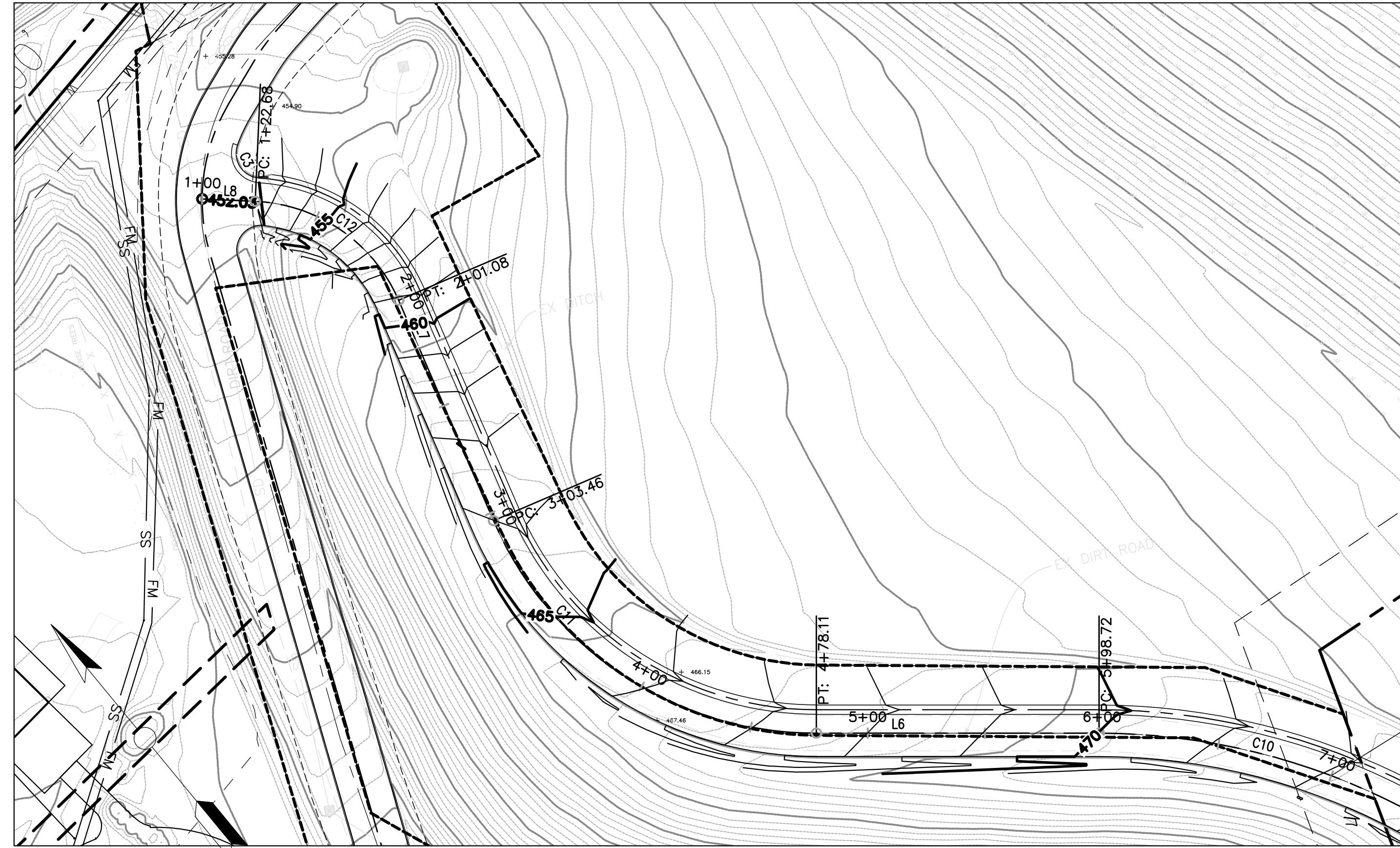


GOKULAM LOT A - GRADING & IMPROVEMENT PLANS  
 FESTIVAL PARKING ROAD  
 STA 10+50 TO STA 16+15  
 COUNTY OF SANTA CLARA CALIFORNIA

C3.7  
 OF  
 66

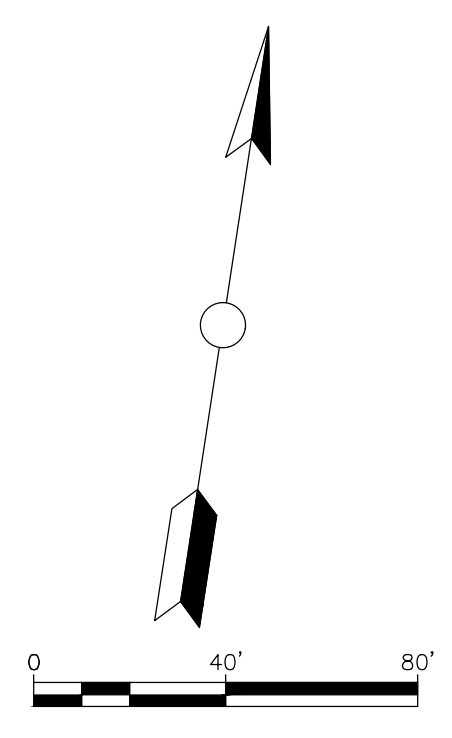
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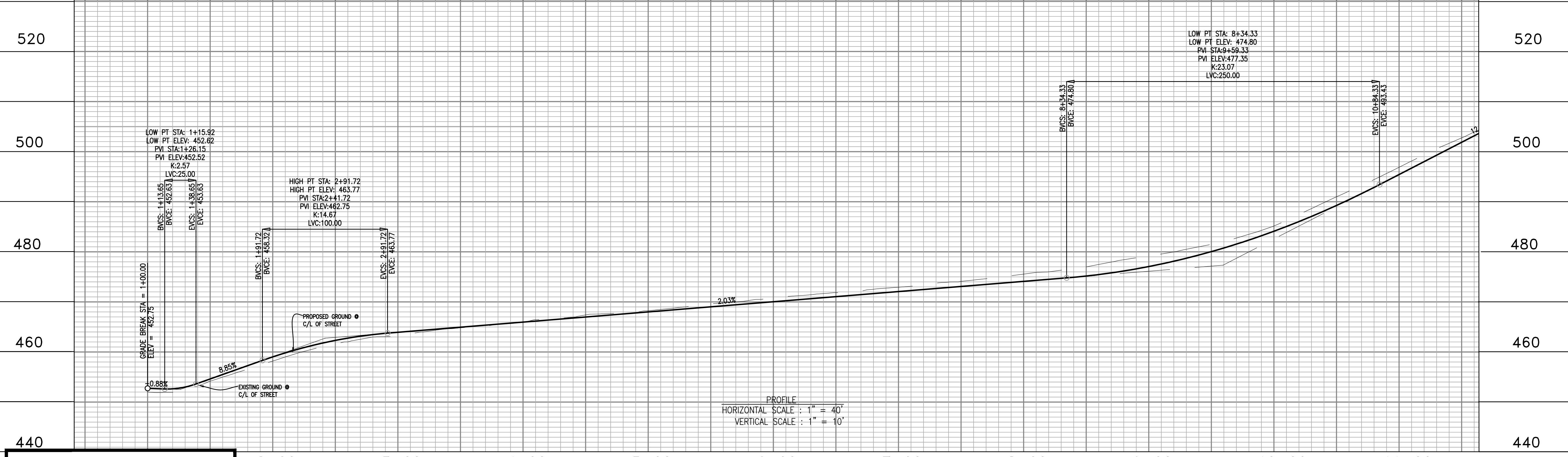
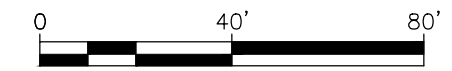


IDENTICAL

LOWER ACCESS ROAD



MAIN ACCESS ROAD  
SEE SHEET C3.9

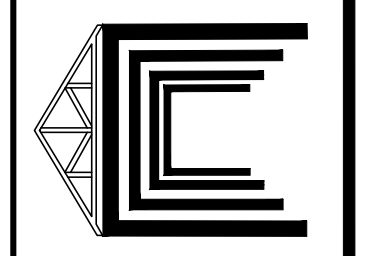


PROFILE  
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VERTICAL SCALE : 1" = 10'

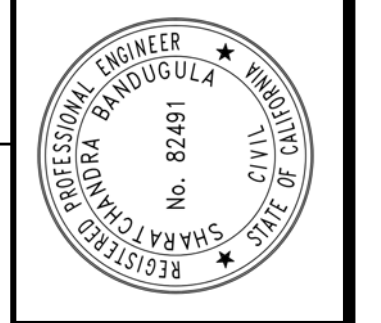
**PRELIMINARY**

NO.	DATE	BY	REVISIONS

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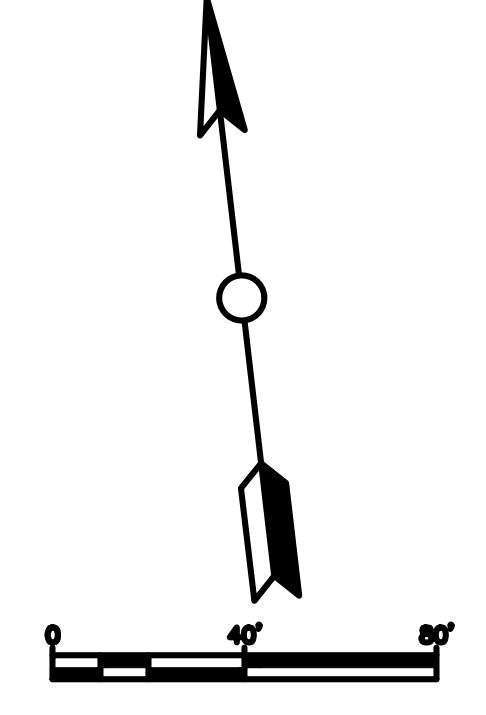
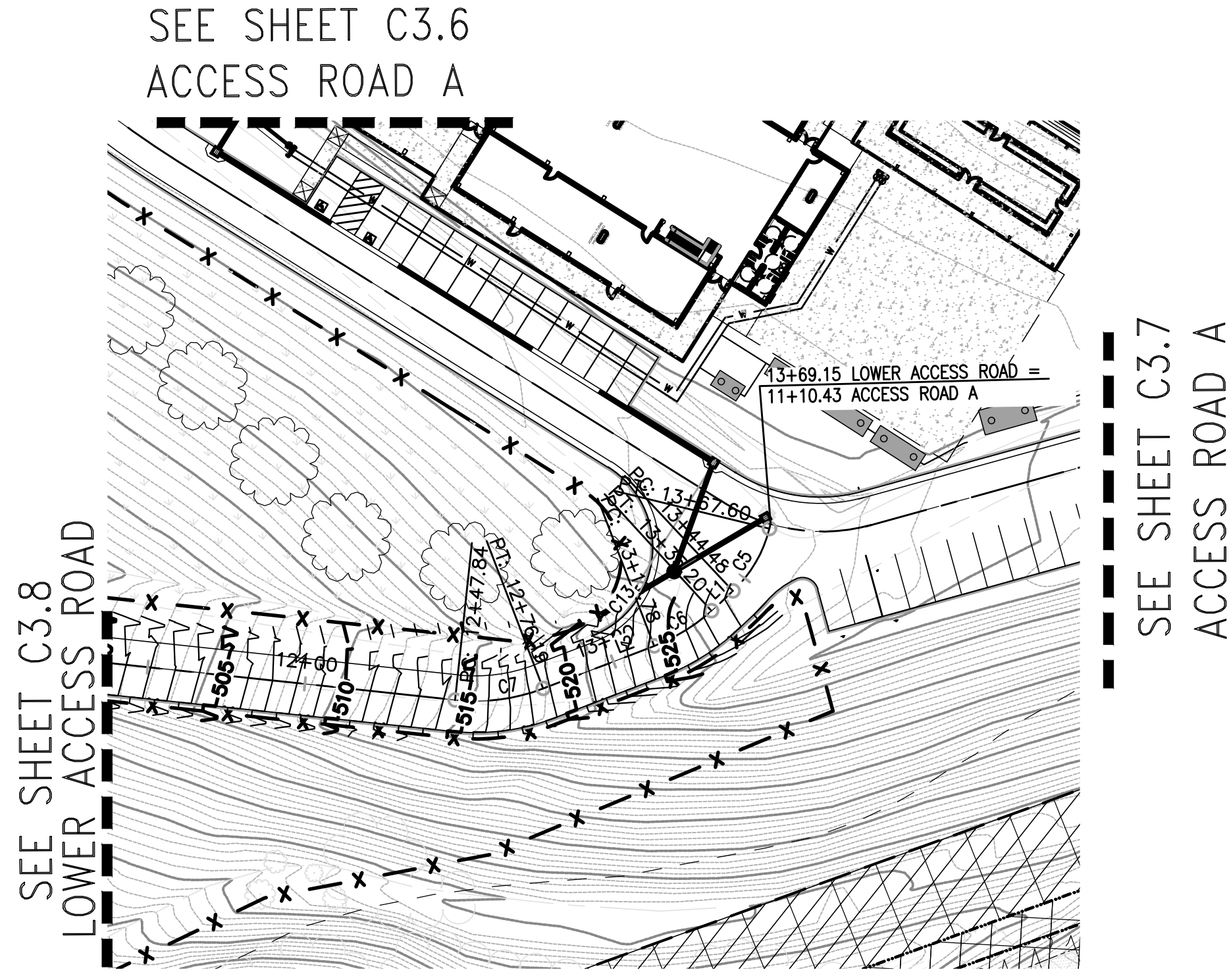
12/21/2023	DATE
SB	DRAWN BY
SB	CHECKED BY



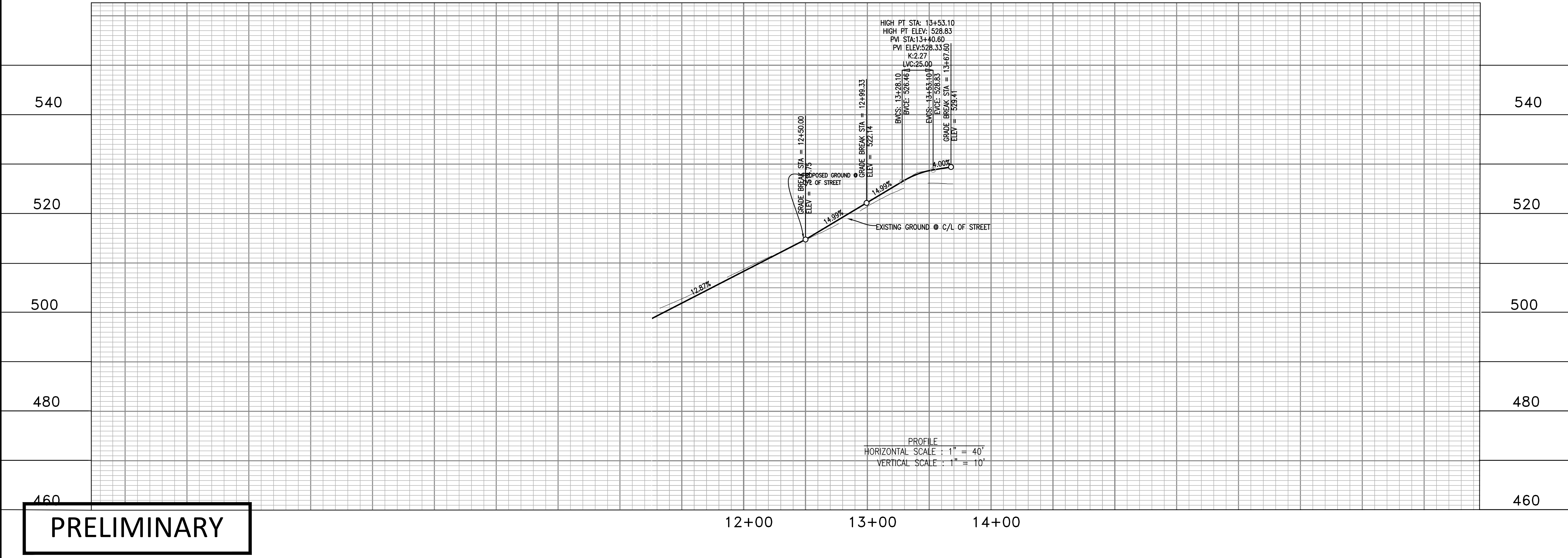
GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
**LOWER ACCESS ROAD**  
STA 1+00 TO STA 11+50  
COUNTY OF SANTA CLARA CALIFORNIA

**C3.8**  
of **66**





LOWER ACCESS ROAD

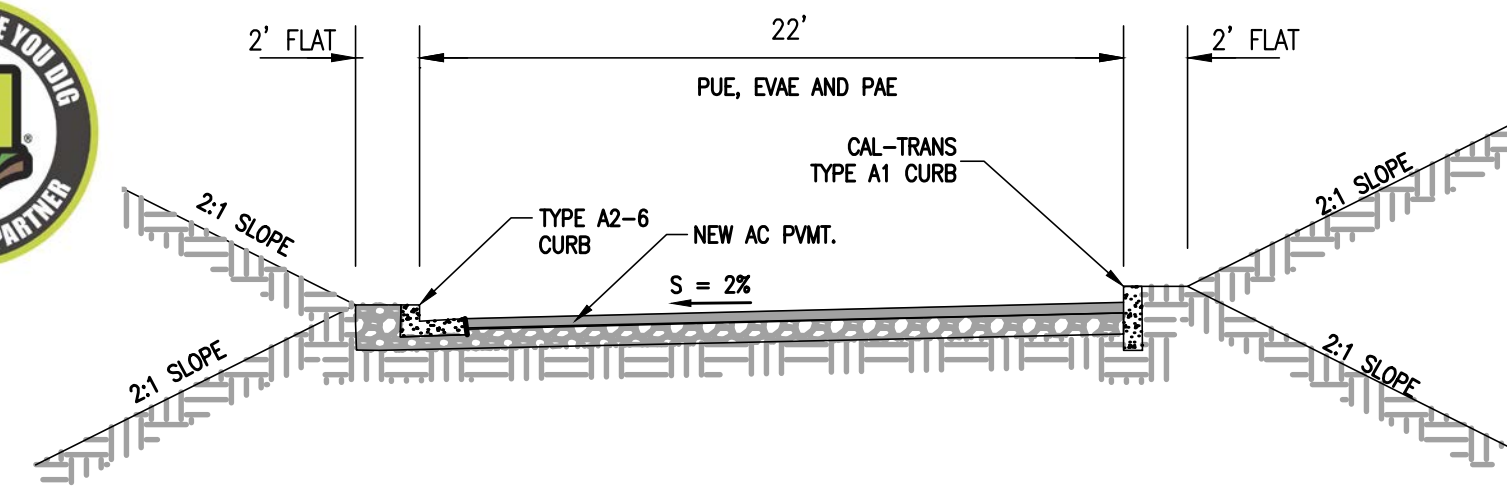


PROFILE  
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**PRELIMINARY**

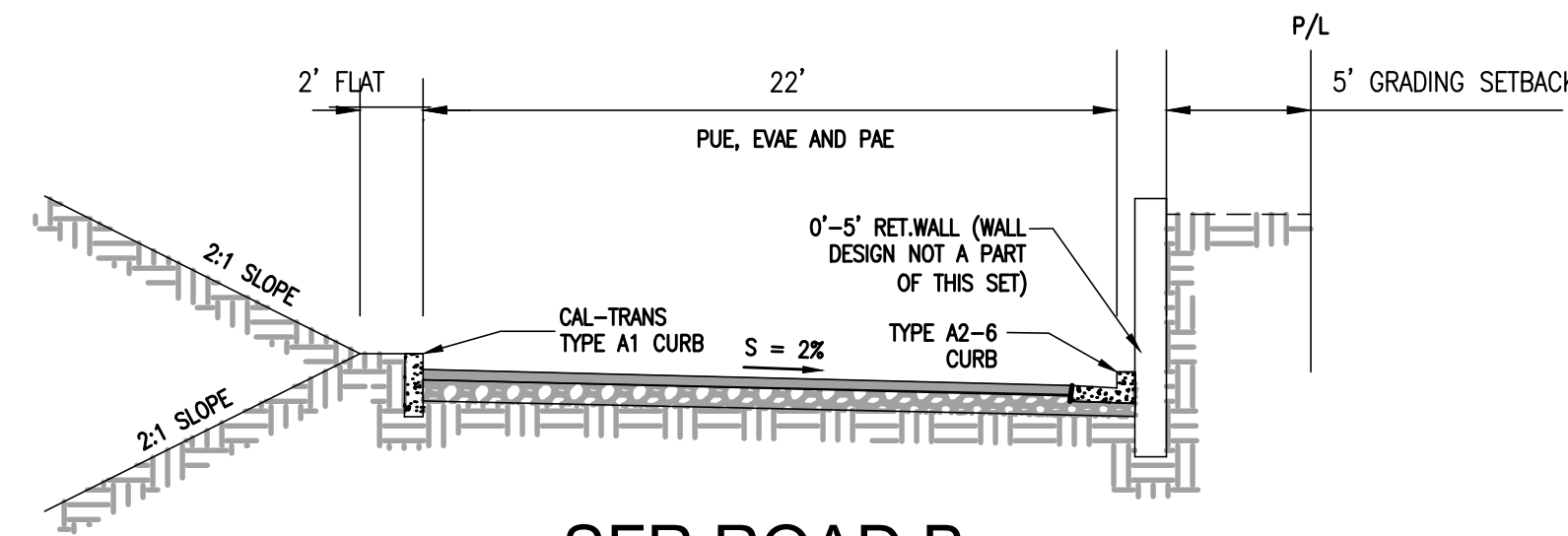
 design   build   manage info@navisdbm.com	DATE: 12/21/2023 DRAWN BY: SB CHECKED BY: SB	REVISIONS BY: _____ DATE: _____
		GOKULAM LOT A - GRADING & IMPROVEMENT PLANS LOWER ACCESS ROAD STA 11+50 TO STA 14+00 COUNTY OF SANTA CLARA CALIFORNIA





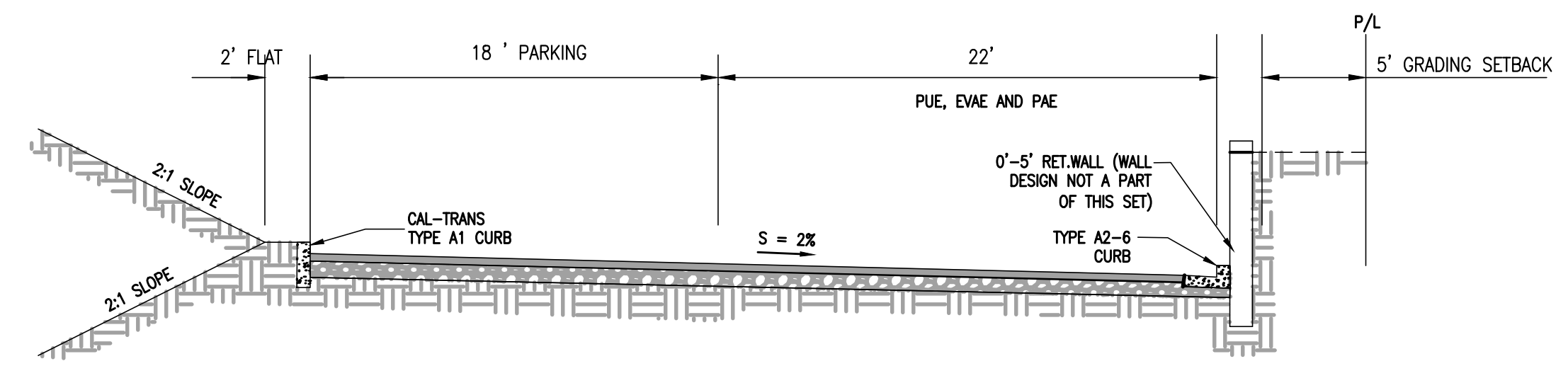
### SFR ROAD A

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 0.20  
TOP OF CURB (RIGHT) = C/L+0.72



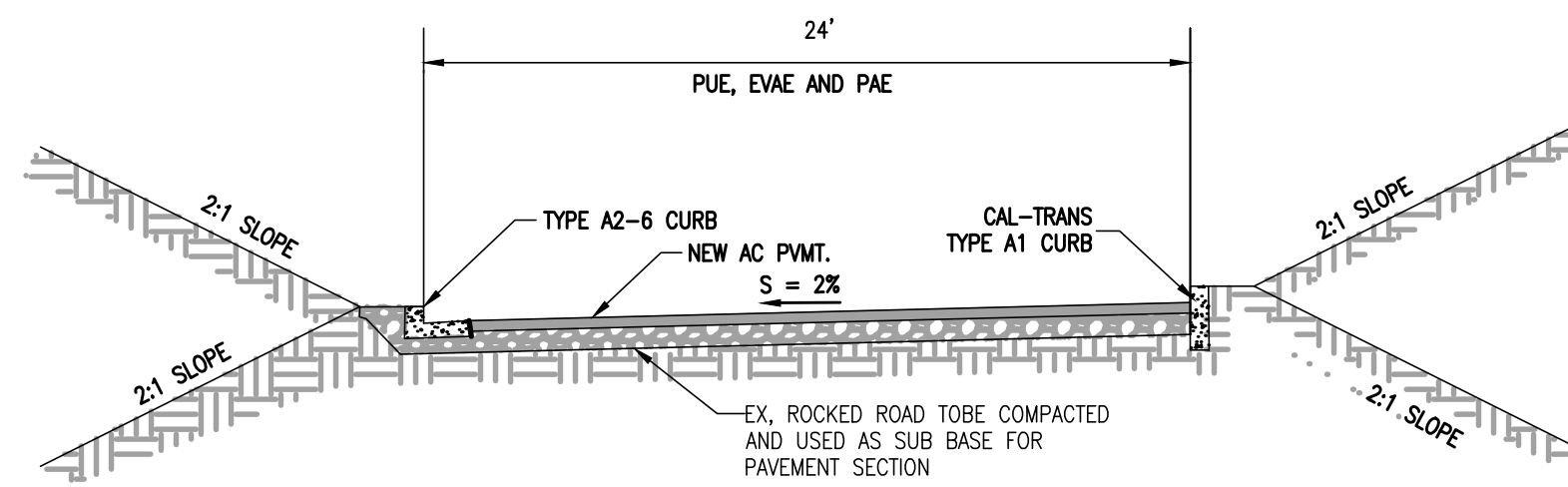
### SFR ROAD B

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 0.72  
TOP OF CURB (RIGHT) = C/L+0.20



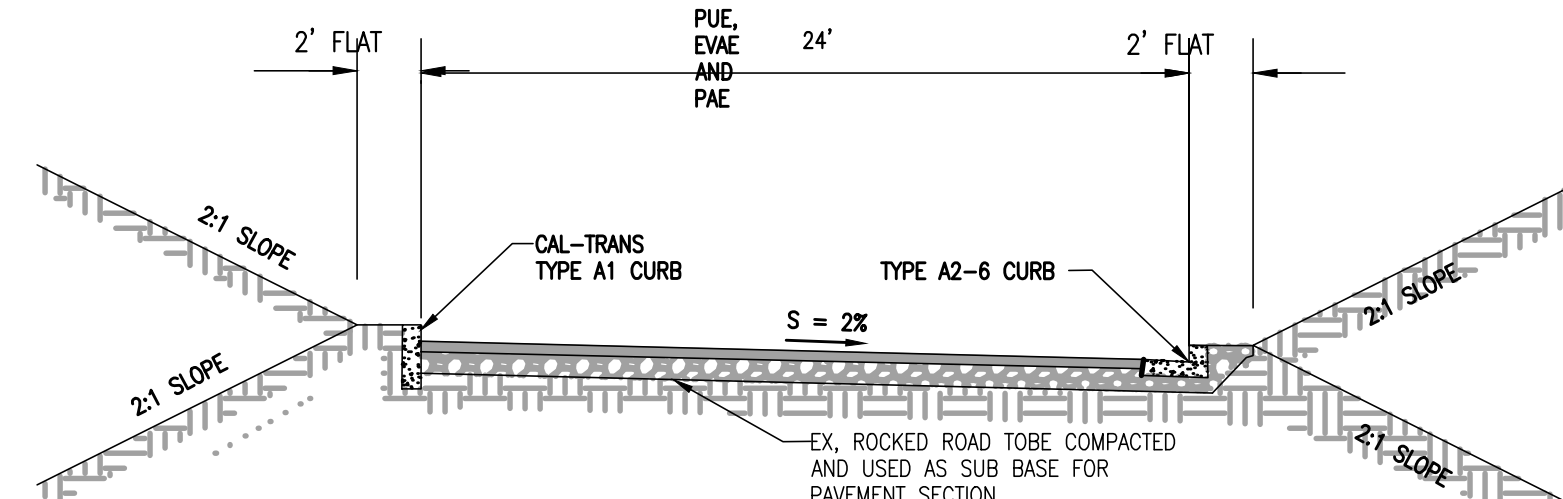
### SFR ROAD B

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 1.08  
TOP OF CURB (RIGHT) = C/L+0.20



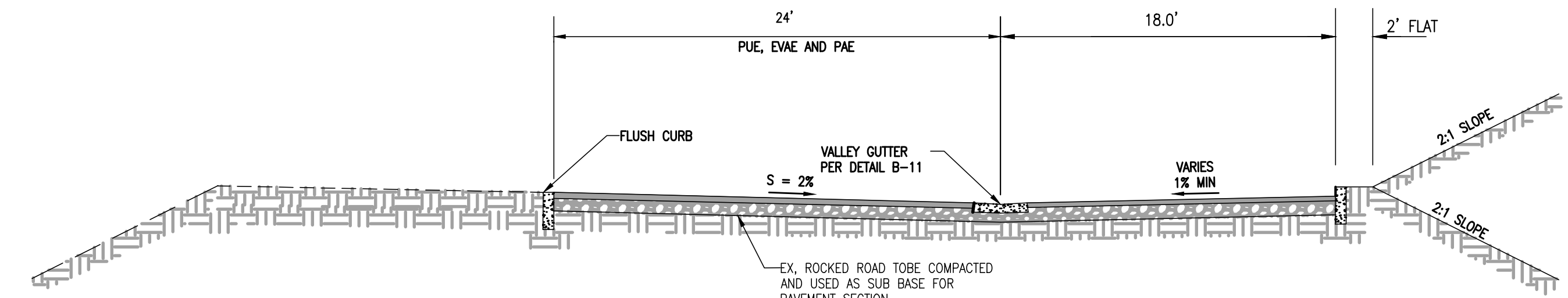
### CONNECTOR ROAD

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 0.07  
TOP OF CURB (RIGHT) = C/L - 0.06



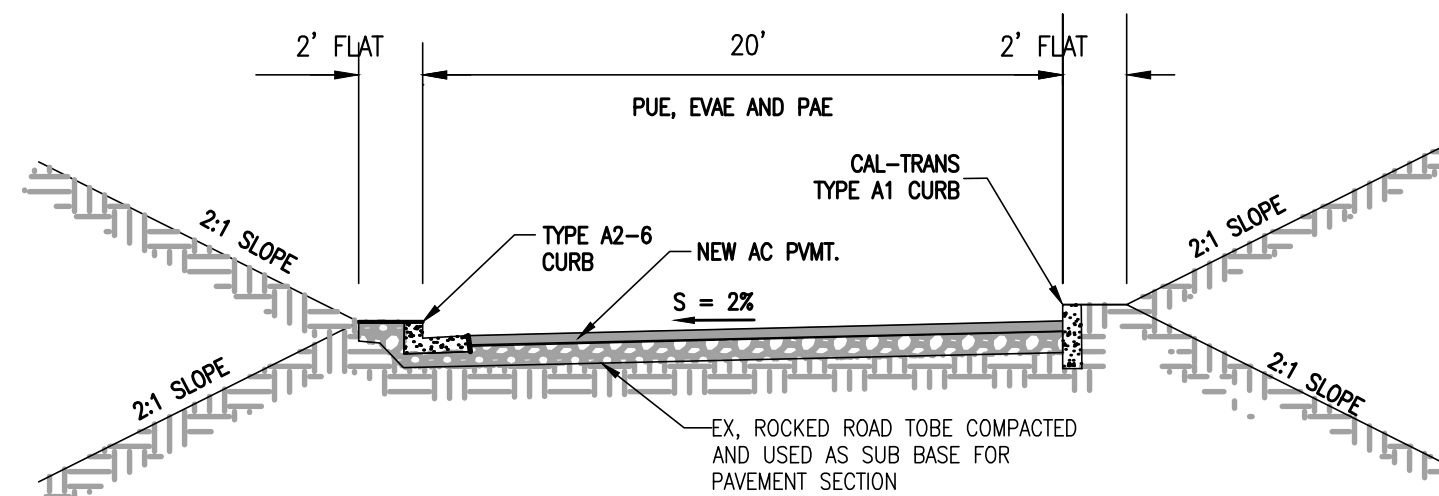
### MAIN ACCESS ROAD

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 0.70  
TOP OF CURB (RIGHT) = C/L + 0.17



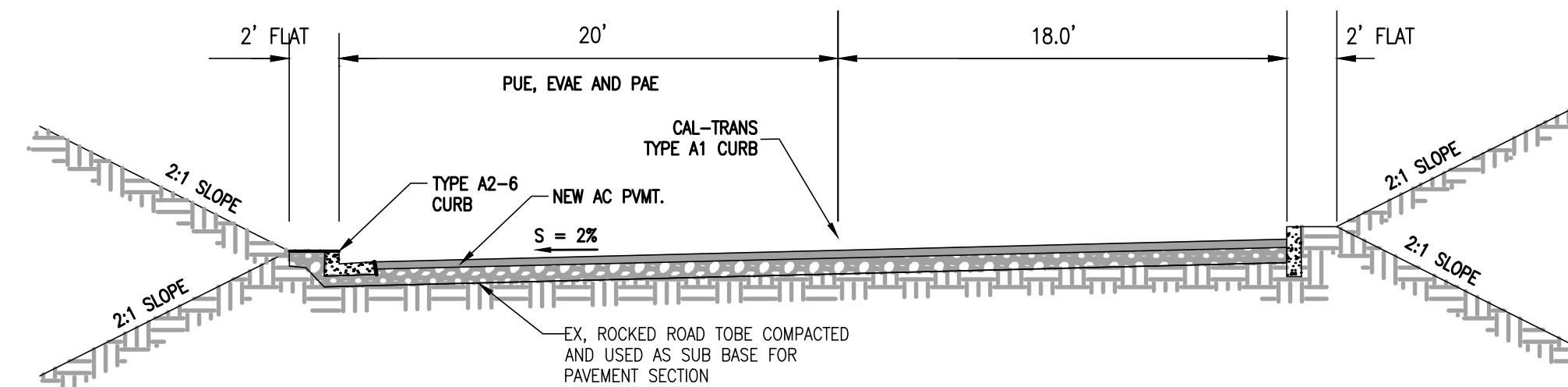
### MAIN ACCESS ROAD @ PARKING

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 0.88  
TOP OF CURB (RIGHT) = C/L + 0.50



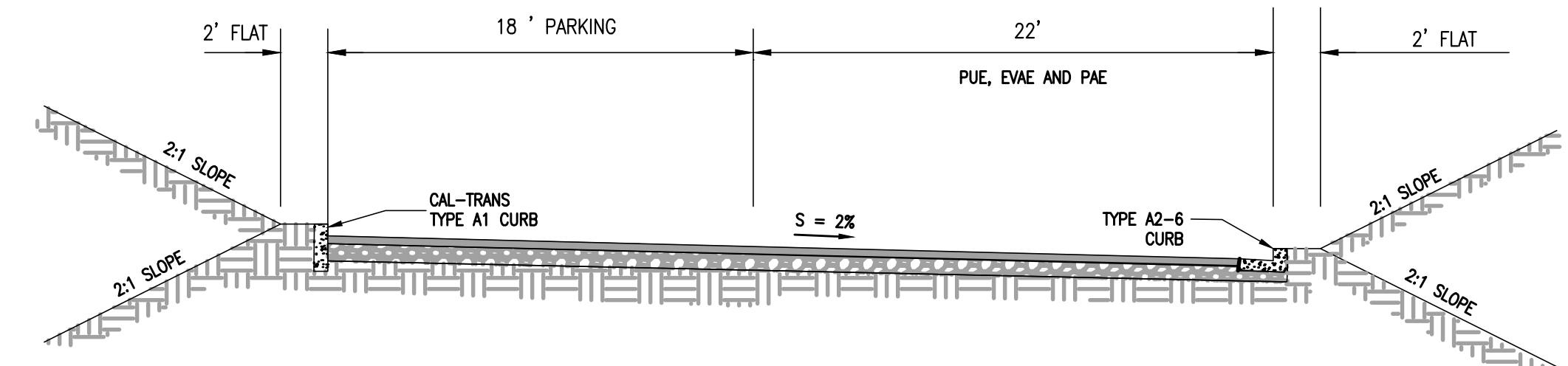
### ACCESS ROAD A DRAINS LEFT

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 0.22'  
TOP OF CURB (RIGHT) = C/L + 0.70'



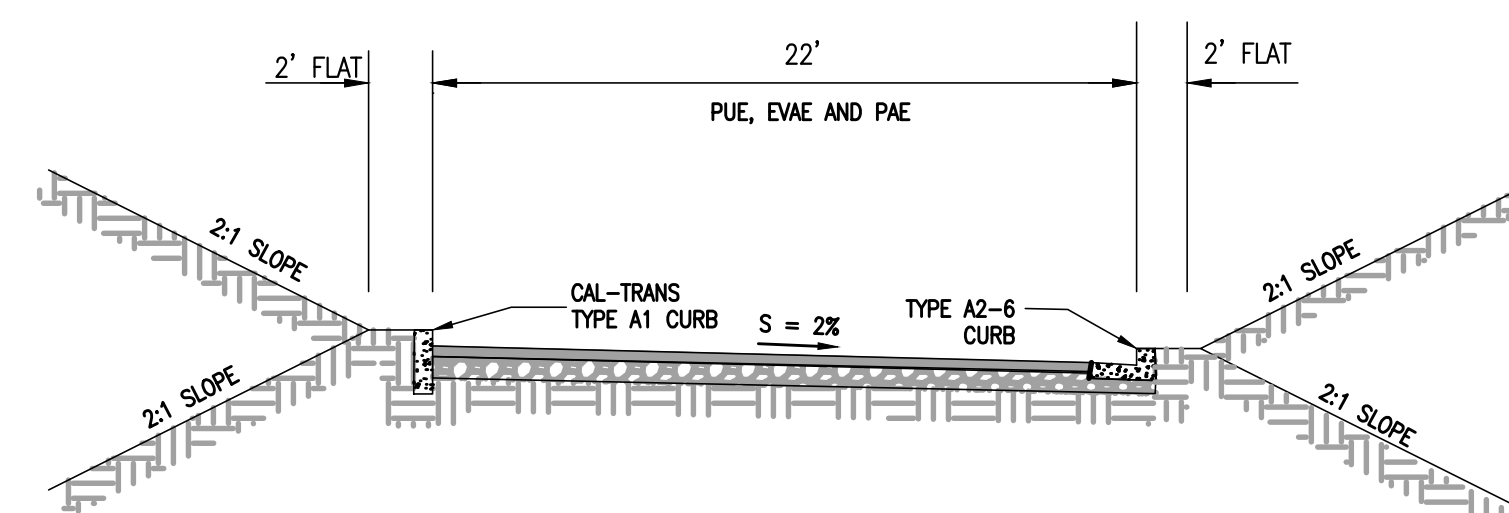
### ACCESS ROAD A @ PARKING ON RIGHT SIDE

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 0.22'  
TOP OF CURB (RIGHT) = C/L + 1.06'



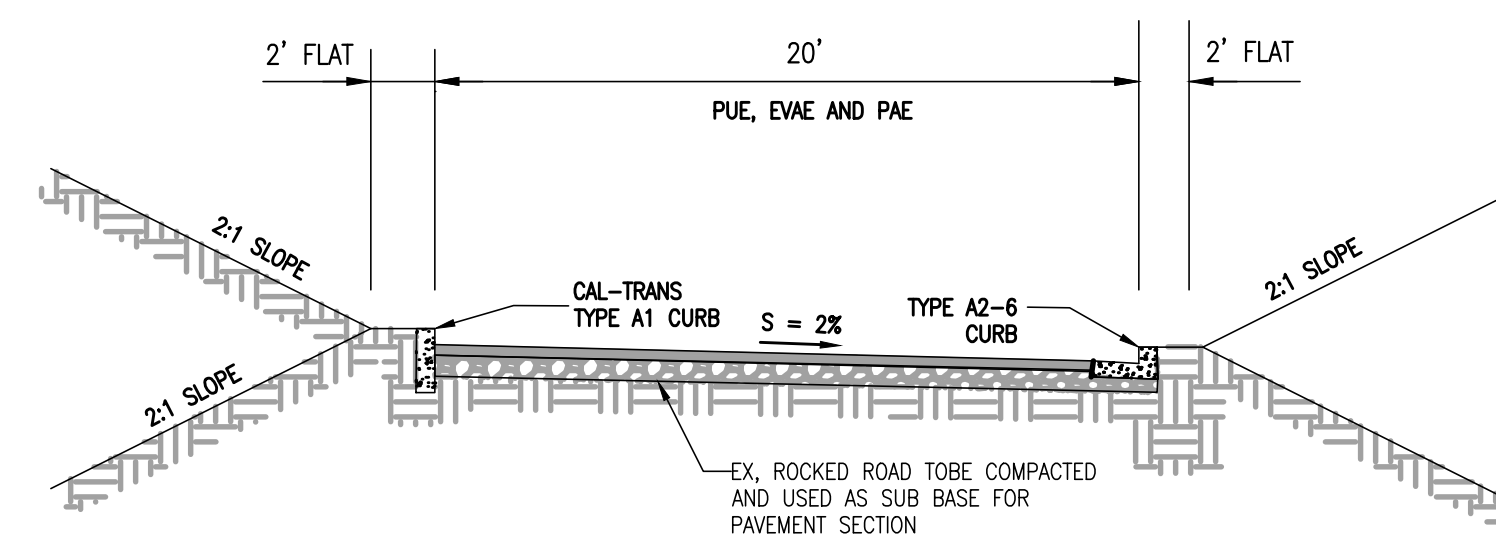
### ACCESS ROAD A @ PARKING ON LEFT SIDE

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 1.06'  
TOP OF CURB (RIGHT) = C/L + 0.22'



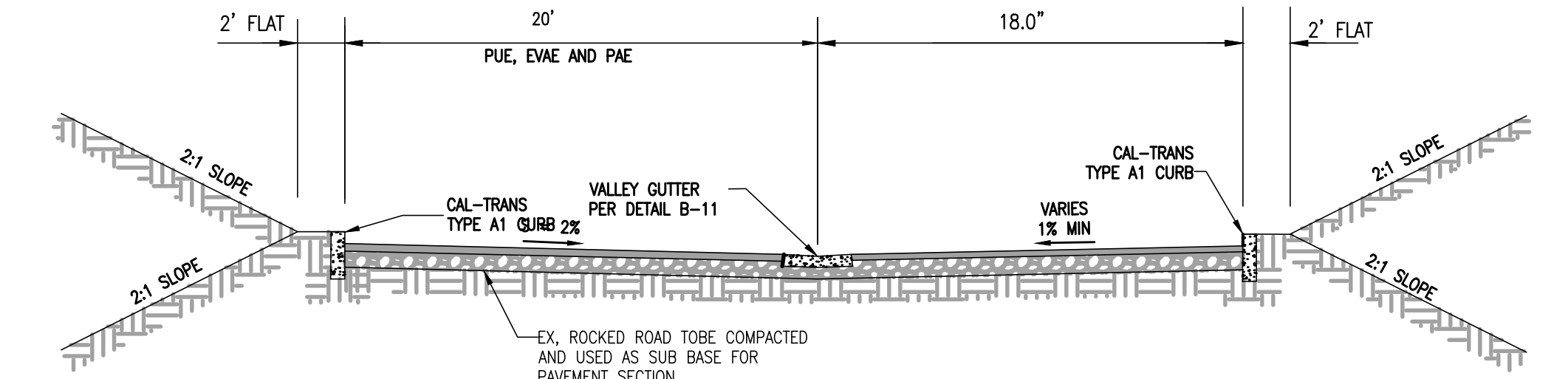
### ACCESS ROAD A DRAINS RIGHT

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 0.72  
TOP OF CURB (RIGHT) = C/L+0.20



### LOWER ACCESS ROAD

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 0.70'  
TOP OF CURB (RIGHT) = C/L+ 0.22'



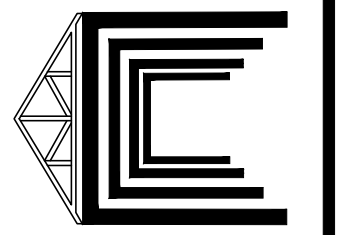
### LOWER ACCESS ROAD @ PARKING

NOT TO SCALE  
TOP OF CURB (LEFT) = C/L + 0.88  
TOP OF CURB (RIGHT) = C/L + 0.50

**PRELIMINARY**

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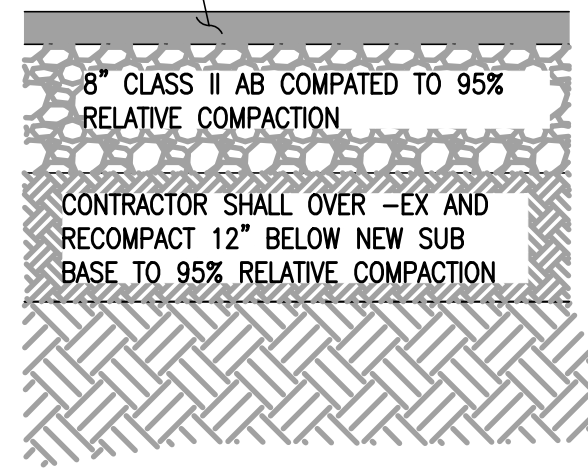
GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
TYPICAL STREET SECTIONS  
CALIFORNIA  
COUNTY OF SANTA CLARA

C4.1  
OF  
66



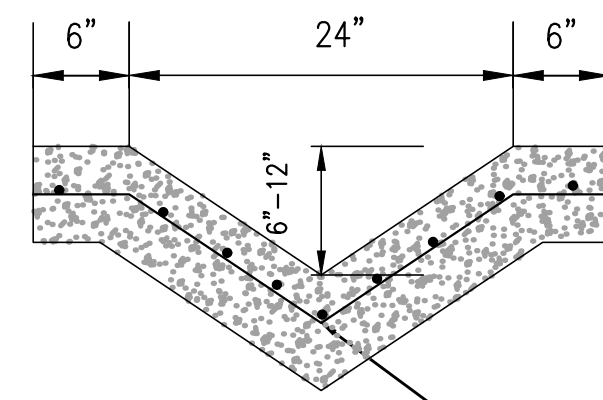


2" AC TYPE A - 3" MAX. MED. LIFTS SHALL BE CONDUCTED PER CAL TRANS SPEC SECTION 39-6.01



**AC PAVEMENT SECTION**

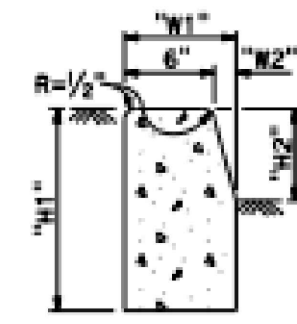
NOT TO SCALE



**CONC V-DITCH**

NOT TO SCALE

WWF 6X6 W1.4XW1.4 CENTERED



TYPE A1 CURBS See Table A

CURB TYPE	DIMENSIONS			
	"H1"	"H2"	"W1"	"W2"
A1-6	1'-2"	6"	7 1/2"	1 1/2"
A1-8	1'-4"	8"	8"	2"
A2-6	1'-0"	6"	2'-7 1/2"	1 1/2"
A2-8	1'-2"	8"	2'-8"	2"
A3-6	6"	5"	7 1/4"	1 1/4"
A3-8	8"	7"	7 3/4"	1 3/4"
B1-4	1'-0"	4"	7 1/2"	2 1/2"
B1-6	1'-2"	6"	9"	4"
B2-4	10"	4"	2'-7 1/2"	2 1/2"
B2-6	1'-0"	6"	2'-9"	4"
B3-4	4"	3"	7"	2"
B3-6	6"	5"	8 1/2"	3 1/2"
D-4	10"	4"	1'-6"	1'-1"
D-6	1'-0"	6"	2'-2"	1'-9"

TYPE	CURB QUANTITIES PER LINEAL FOOT	
	CUBIC YARDS	PER LINEAL FOOT
A1-6	0.02585	
A1-8	0.03084	
A2-6	0.02903	
A2-8	0.04379	
A3-6	0.01436	
A3-8	0.01436	
B1-4	0.02185	
B1-6	0.02330	
B2-4	0.06515	
B2-6	0.06171	
B3-4	0.00641	
B3-6	0.01074	
D-4	0.05709	
D-6	0.04083	
E	0.06661	

**NOTES:**

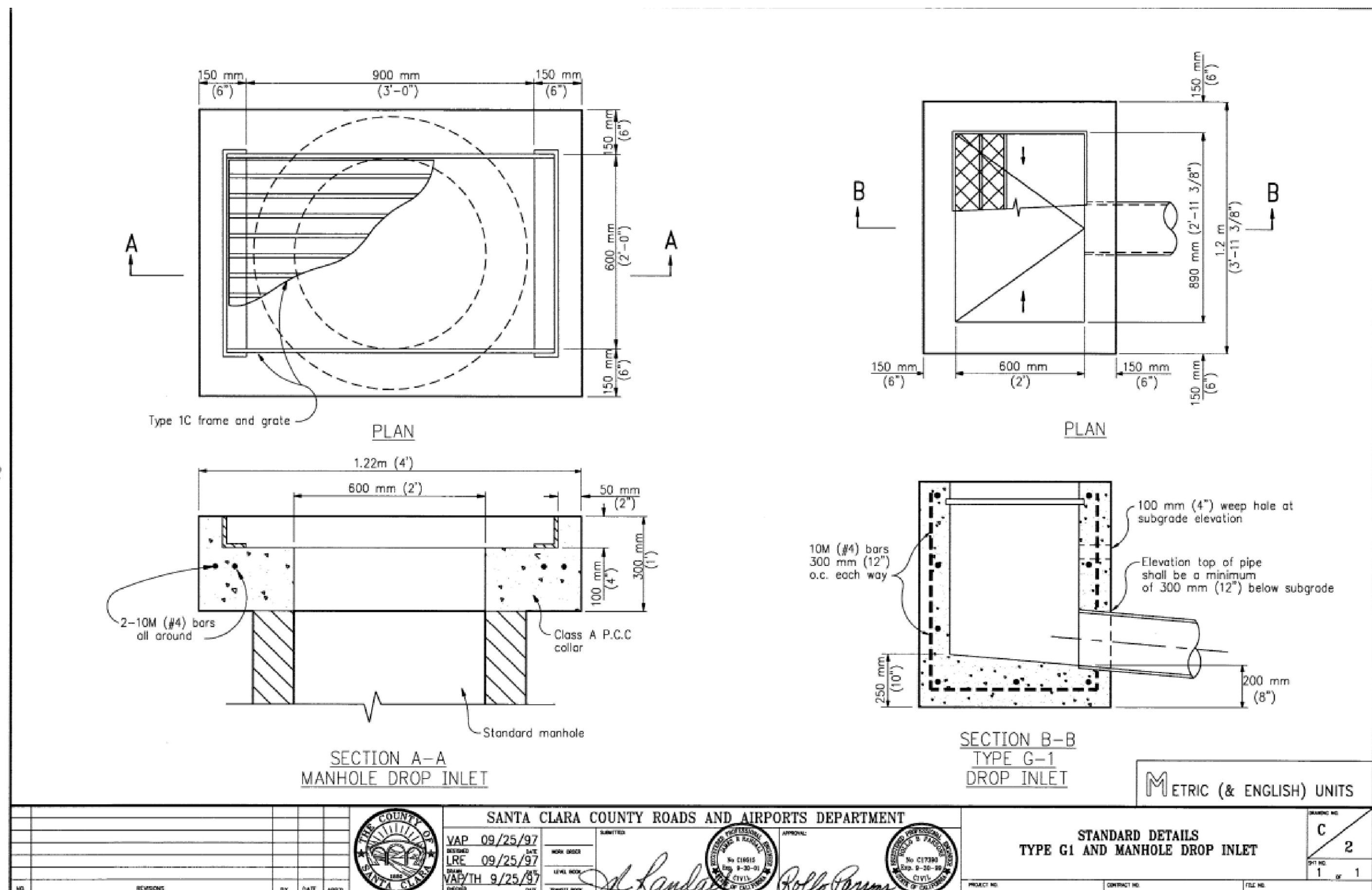
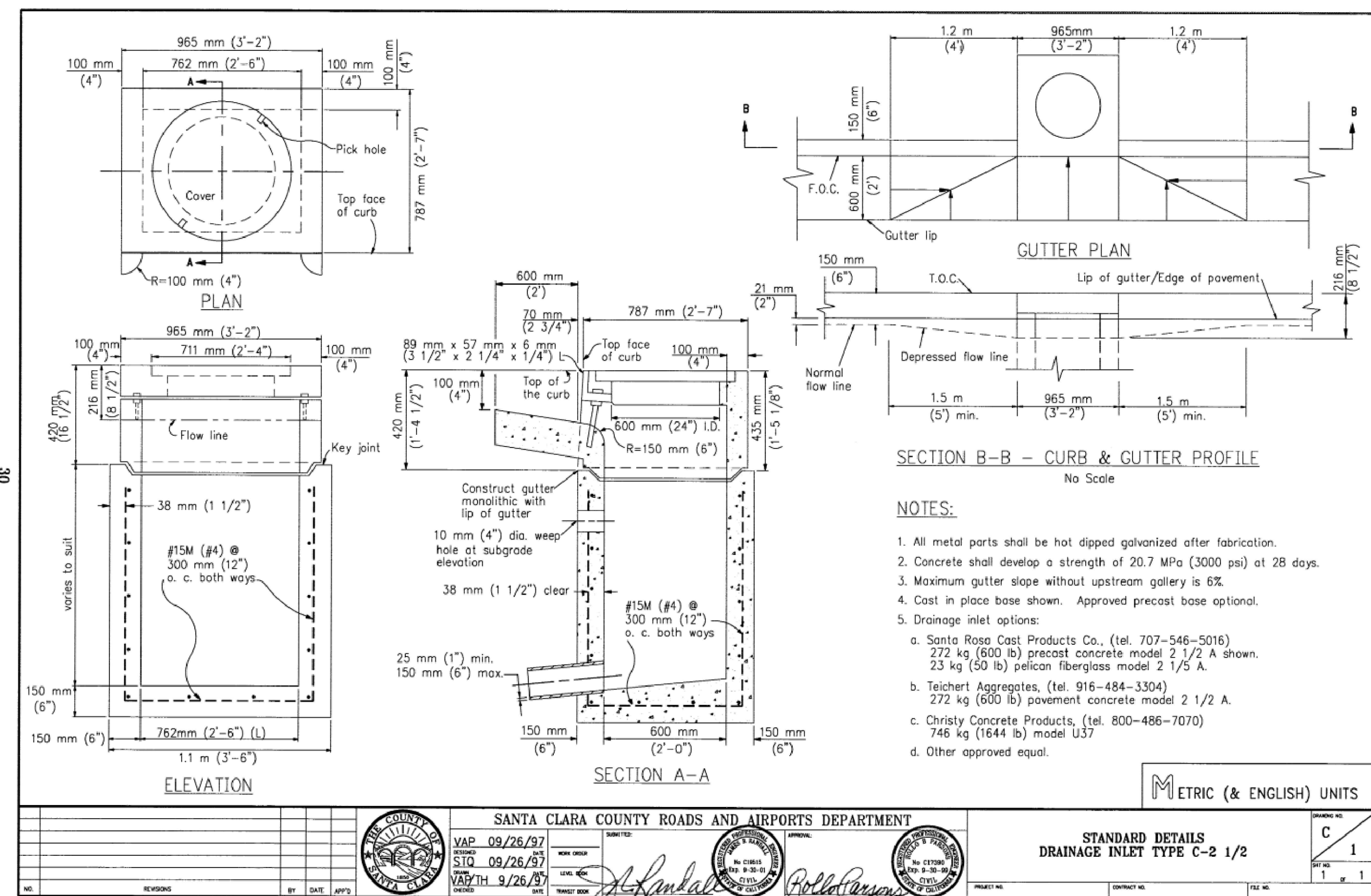
1. Case A driveway section typically applies.
2. X=3'-0" except for curb heights over 10" where 4:1 slopes shall be used on curb slope.
3. Sidewalk and ramp thickness "T" at driveway shall be 4" for residential and 6" for commercial.
4. Difference in slope of the driveway ramp and the slope of a line between the gutter and a point on the roadway 5'-0" from gutter line shall not exceed 15%. Reduce driveway ramp slope, not gutter slope, where required.

**CURBS**

5. Minimum width of clear passageway for sidewalk shall be 4'-2".
6. Retaining curbs and acquisition of construction easement may be necessary for narrow sidewalks or curb heights in excess of 6".
7. Across the pedestrian route at curb ramp locations, the gutter pan slope shall not exceed 1" of depth for each 2'-0" of width.

**TYPE A CURB DETAIL**

NOT TO SCALE



**PRELIMINARY**

SANTA CLARA COUNTY ROADS AND AIRPORTS DEPARTMENT  
STANDARD DETAILS DRAINAGE INLET TYPE C-2 1/2

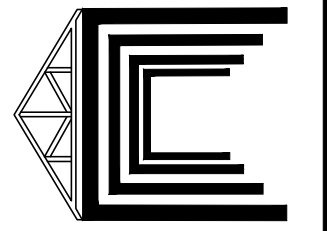
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SANTA CLARA COUNTY ROADS AND AIRPORTS DEPARTMENT  
STANDARD DETAILS TYPE G1 AND MANHOLE DROP INLET

DATE: 09/25/97  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]

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SB	DRAWN BY	
SB	CHECKED BY	



GOKULAM LOT A GRADING & IMPROVEMENT PLANS CALIFORNIA

DETAILS

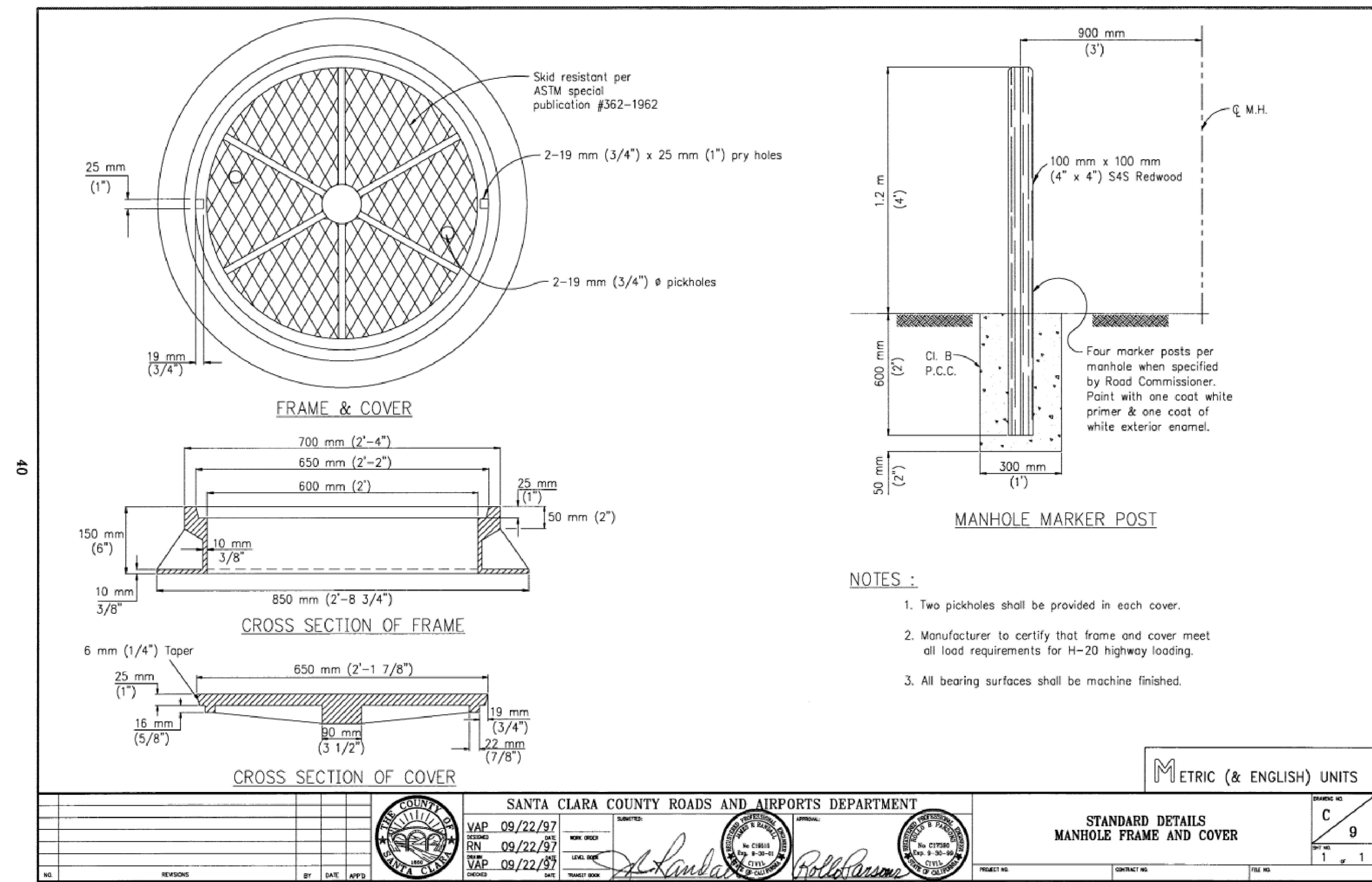
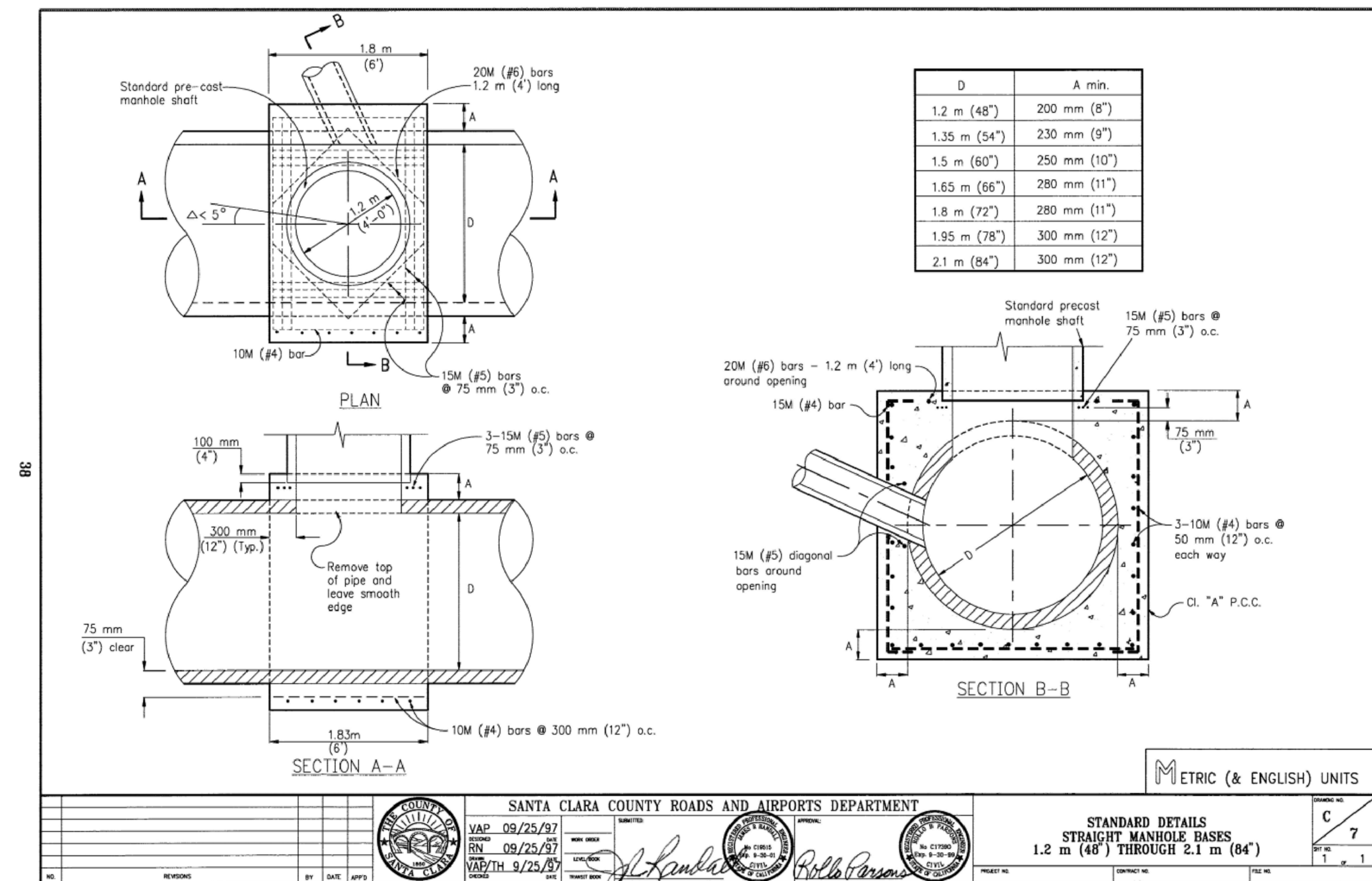
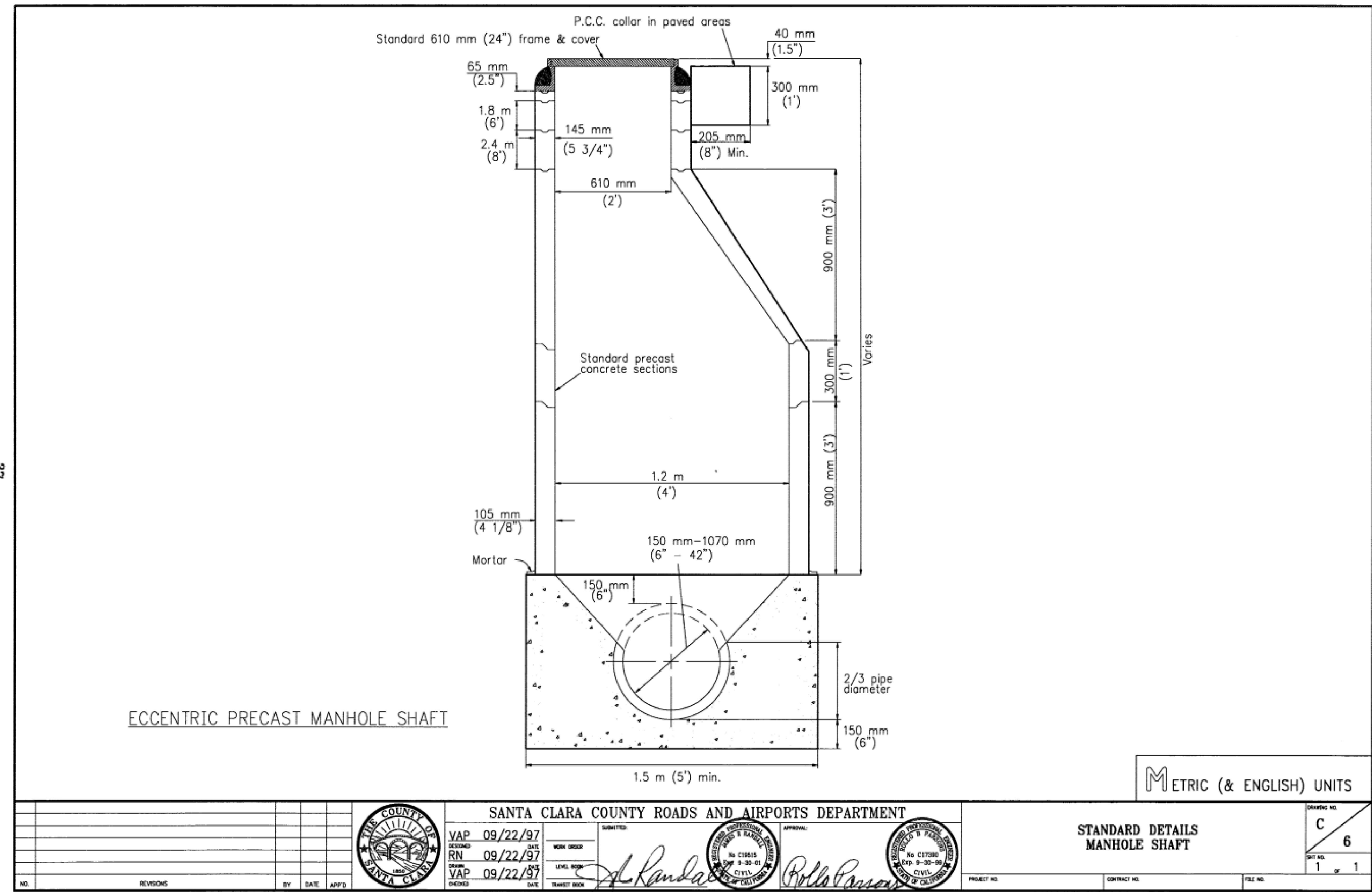
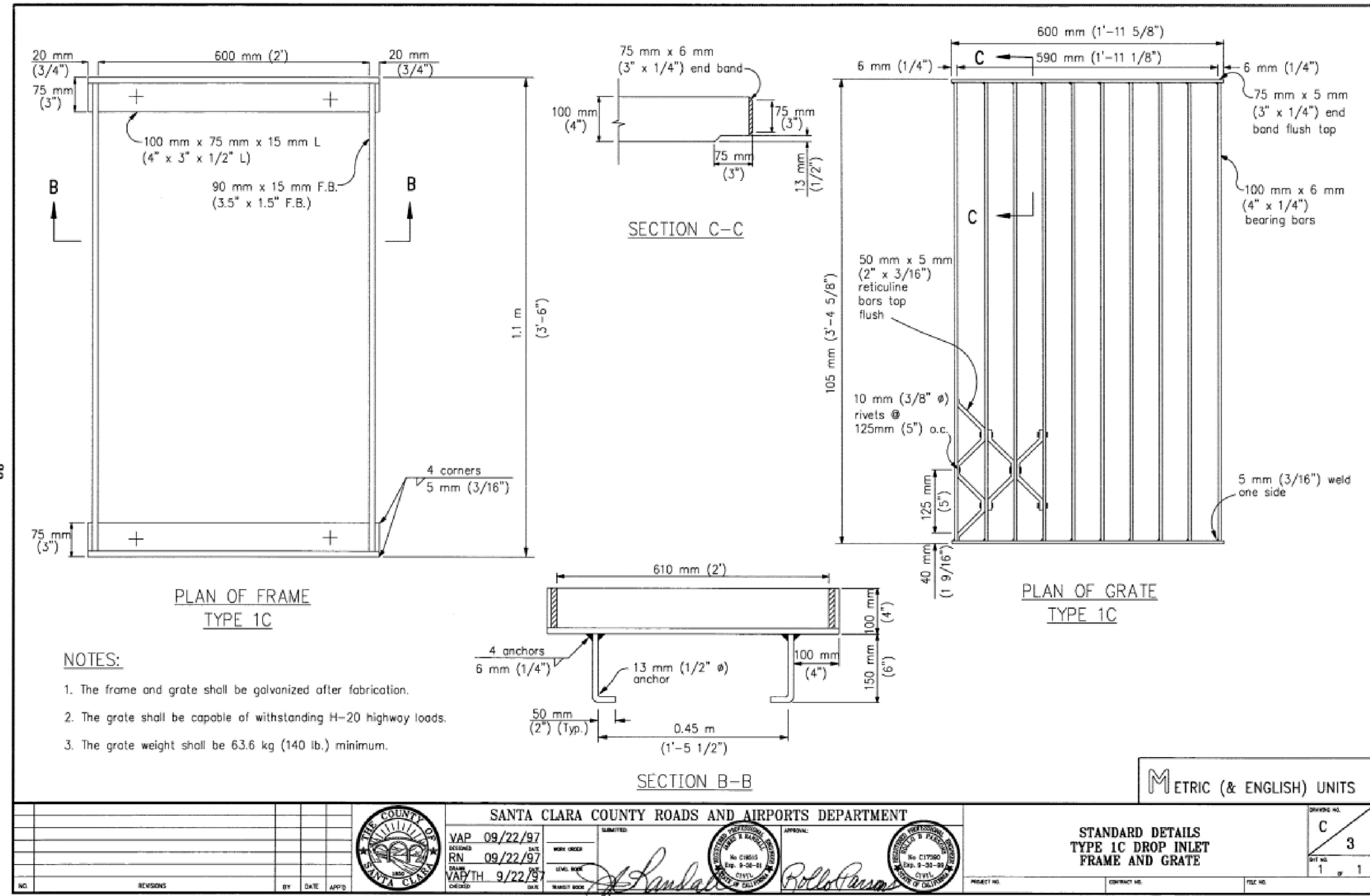
COUNTY OF SANTA CLARA

12/21/2023

GOKULAM LOT A - GRADING & IMPROVEMENT PLANS

4.2 OF 66

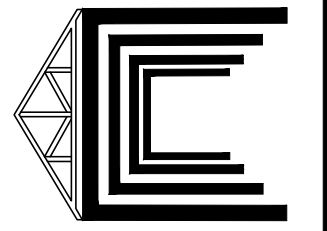




**PRELIMINARY**

NO.	REVISIONS	DATE	BY

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DATE	BY	DATE	BY
12/21/2023	SB		
	SB		
	SB		



**GOKULAM LOT A GRADING & IMPROVEMENT PLANS**

**DETAILS**

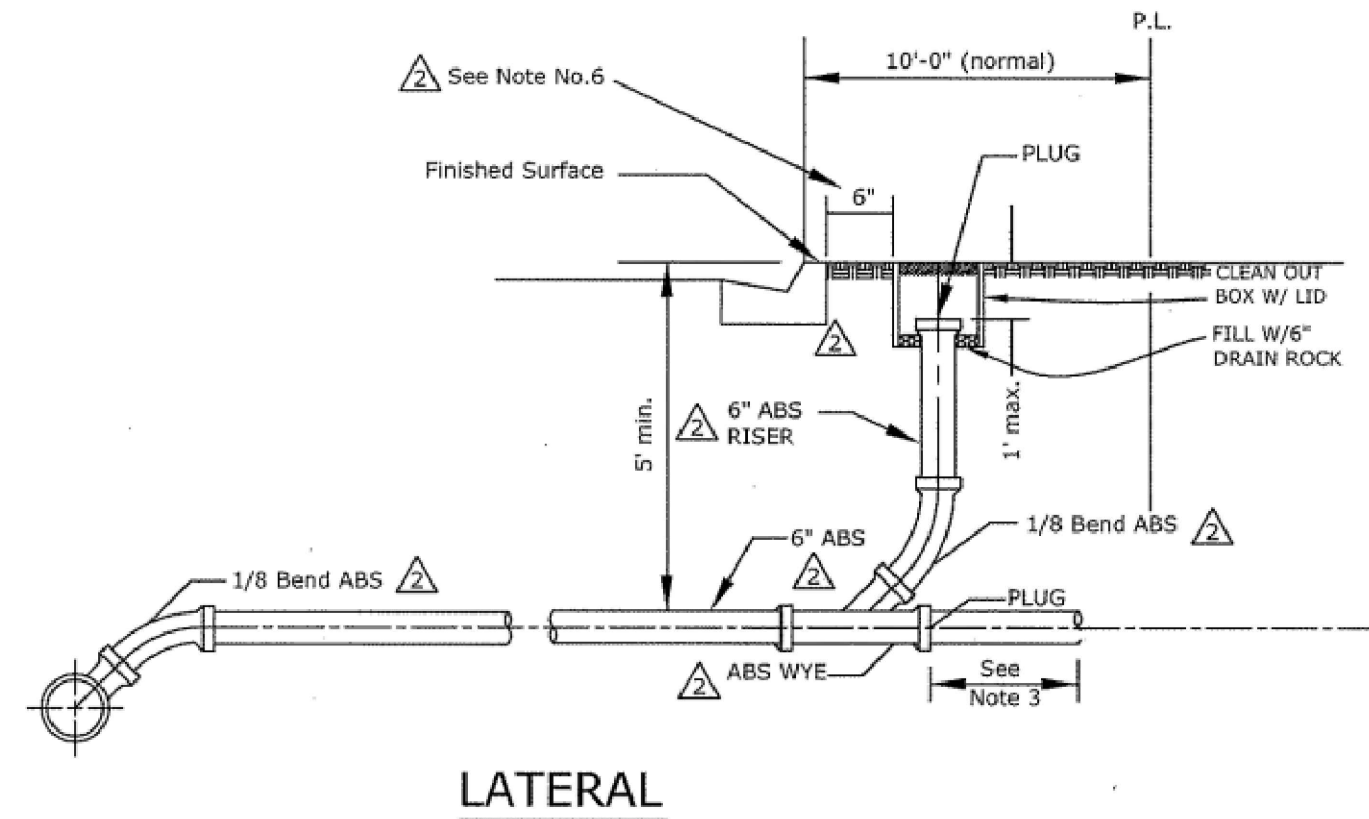
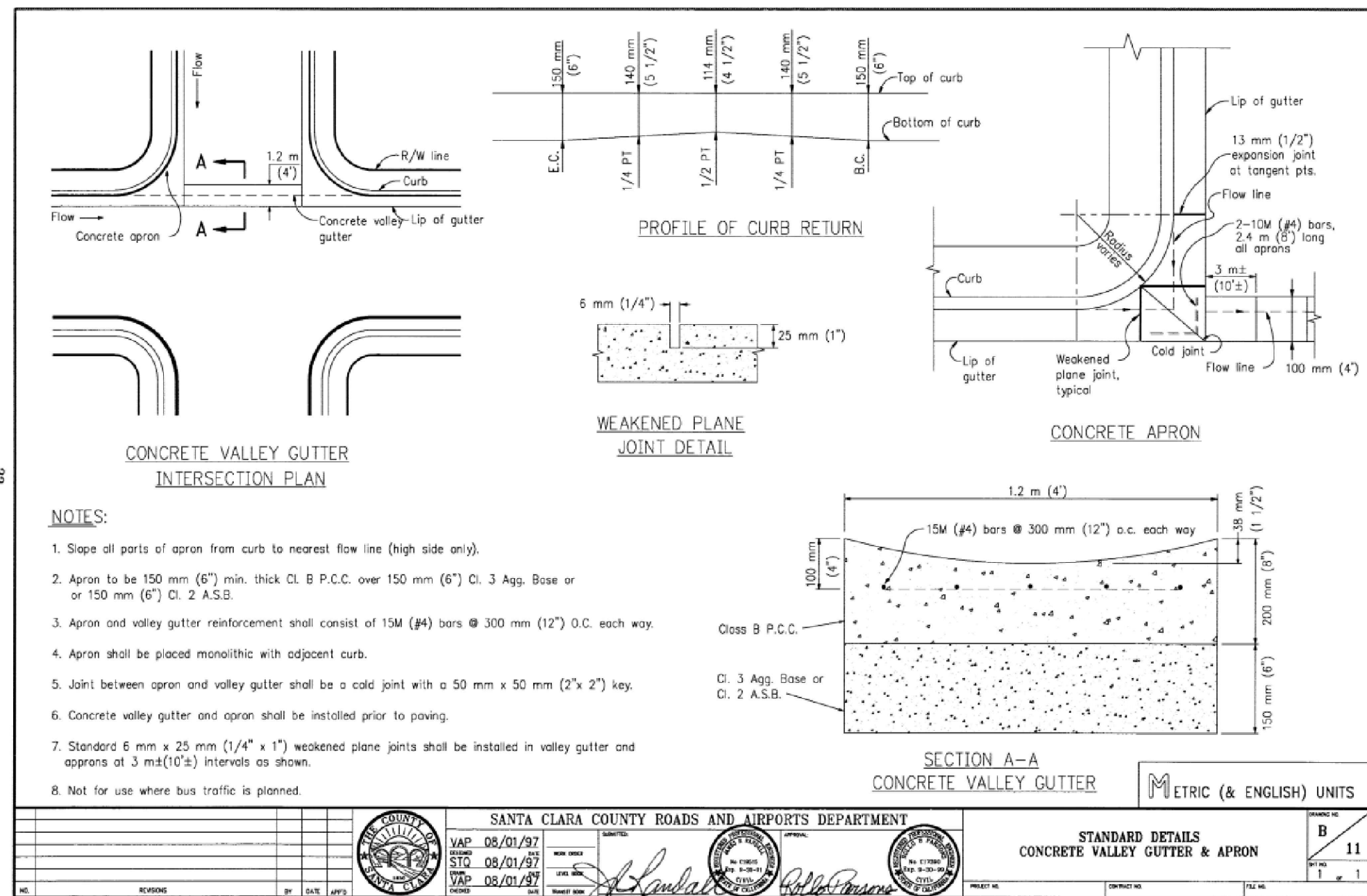
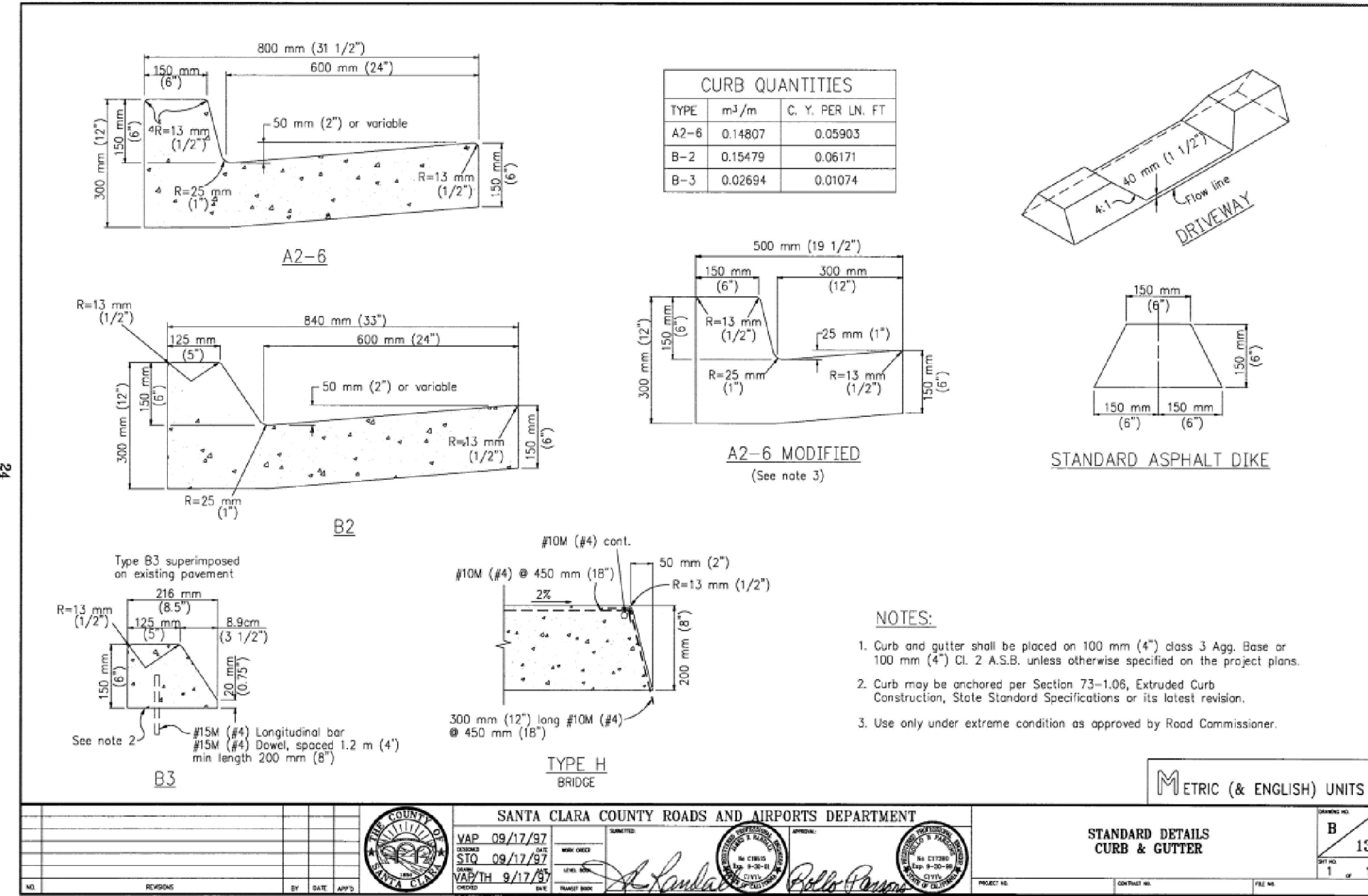
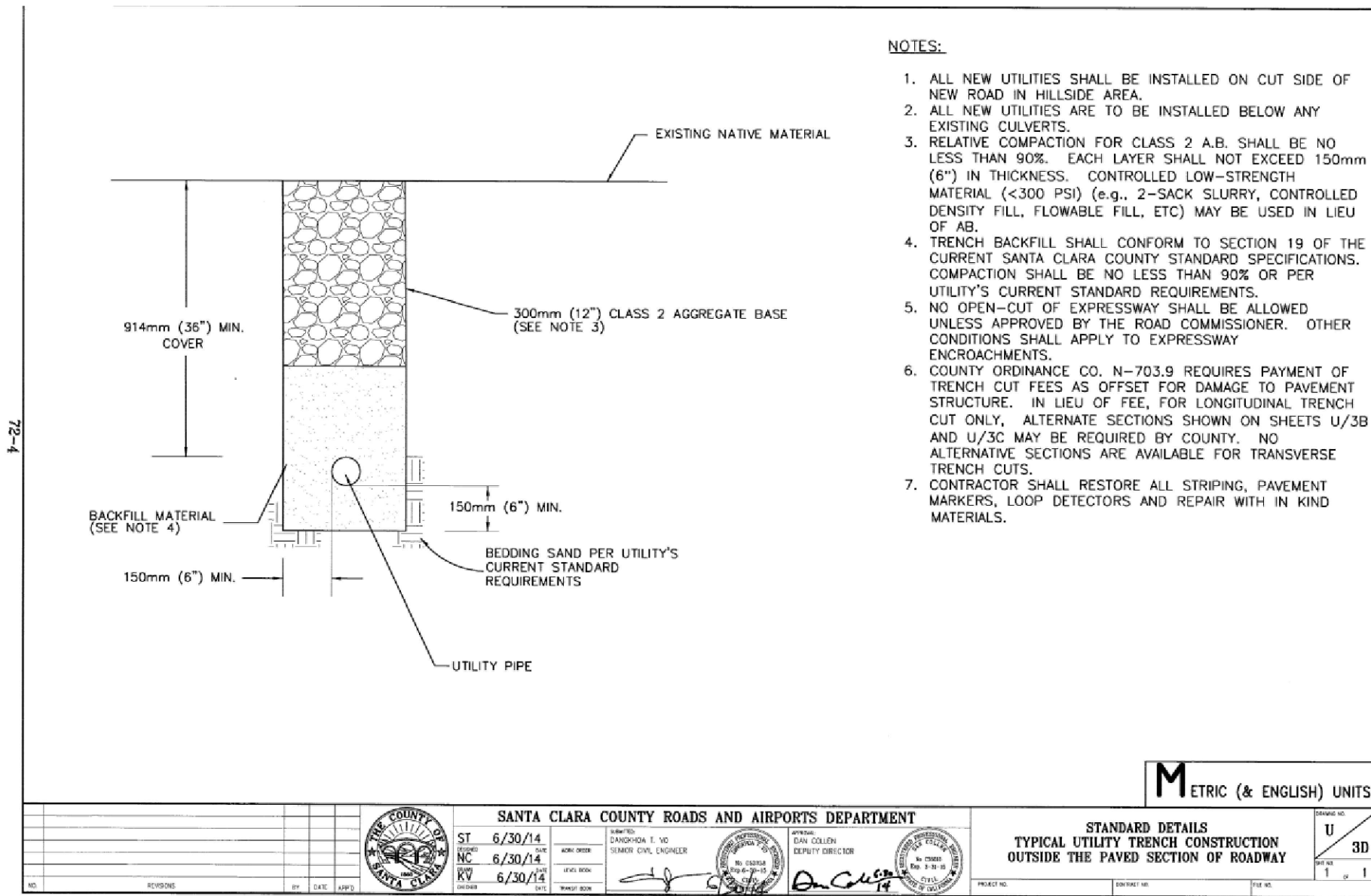
**COUNTY OF SANTA CLARA**

**CALIFORNIA**

**4.3 OF 66**

**GOKULAM LOT A - GRADING & IMPROVEMENT PLANS 12/21/2023**

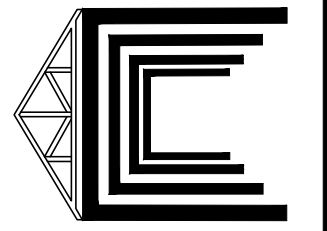




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GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
DETAILS  
CALIFORNIA

4.4 OF 66

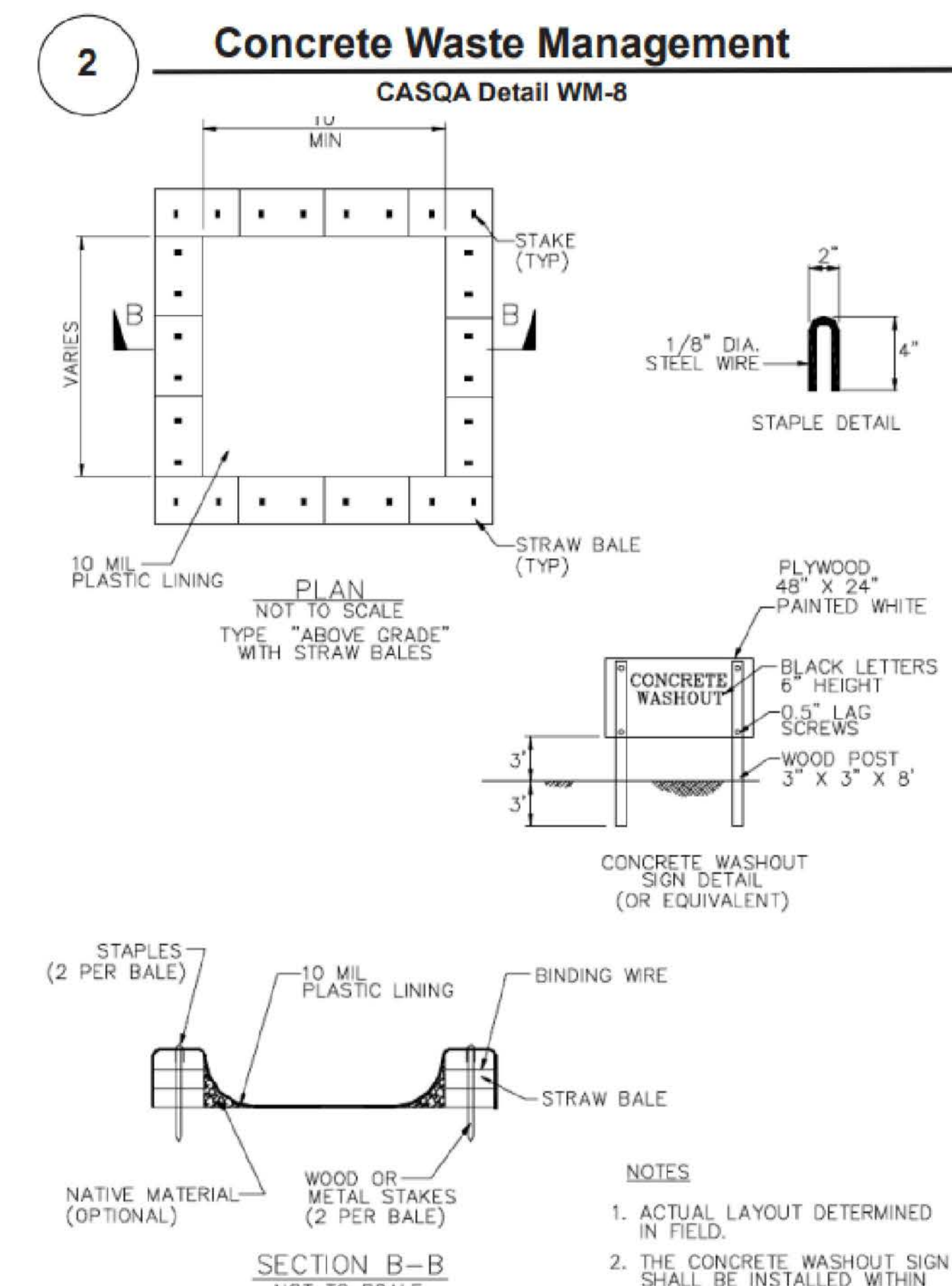
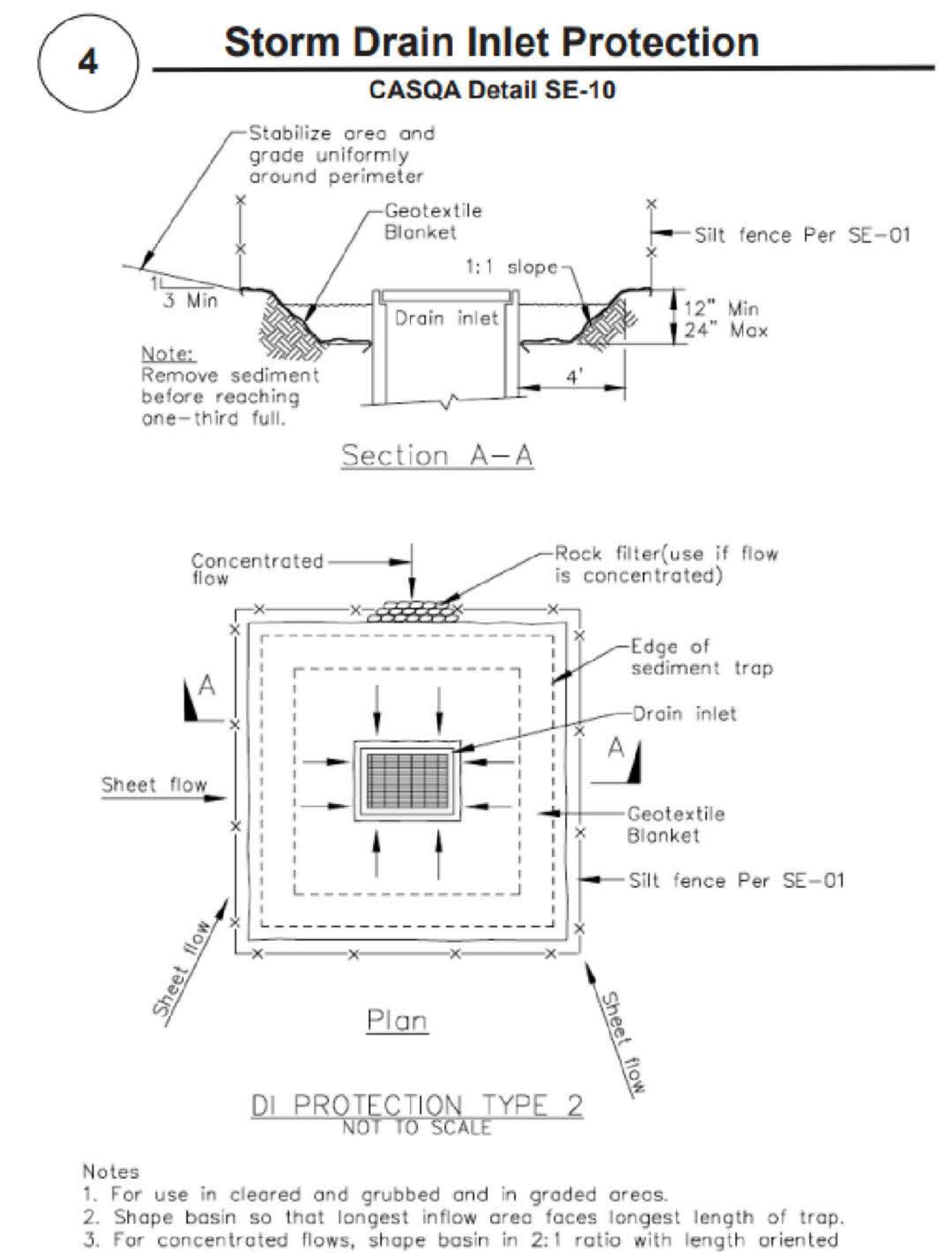
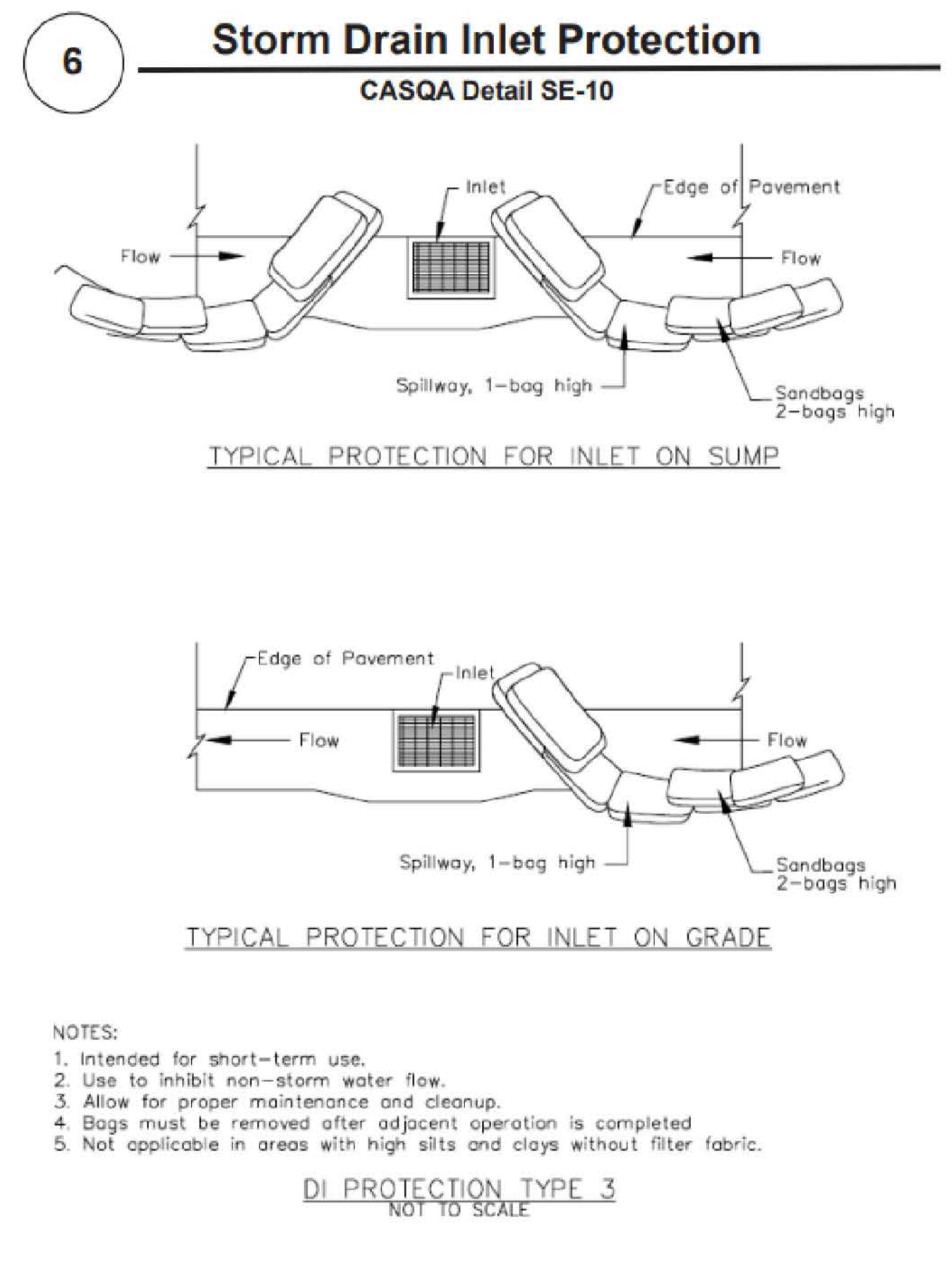
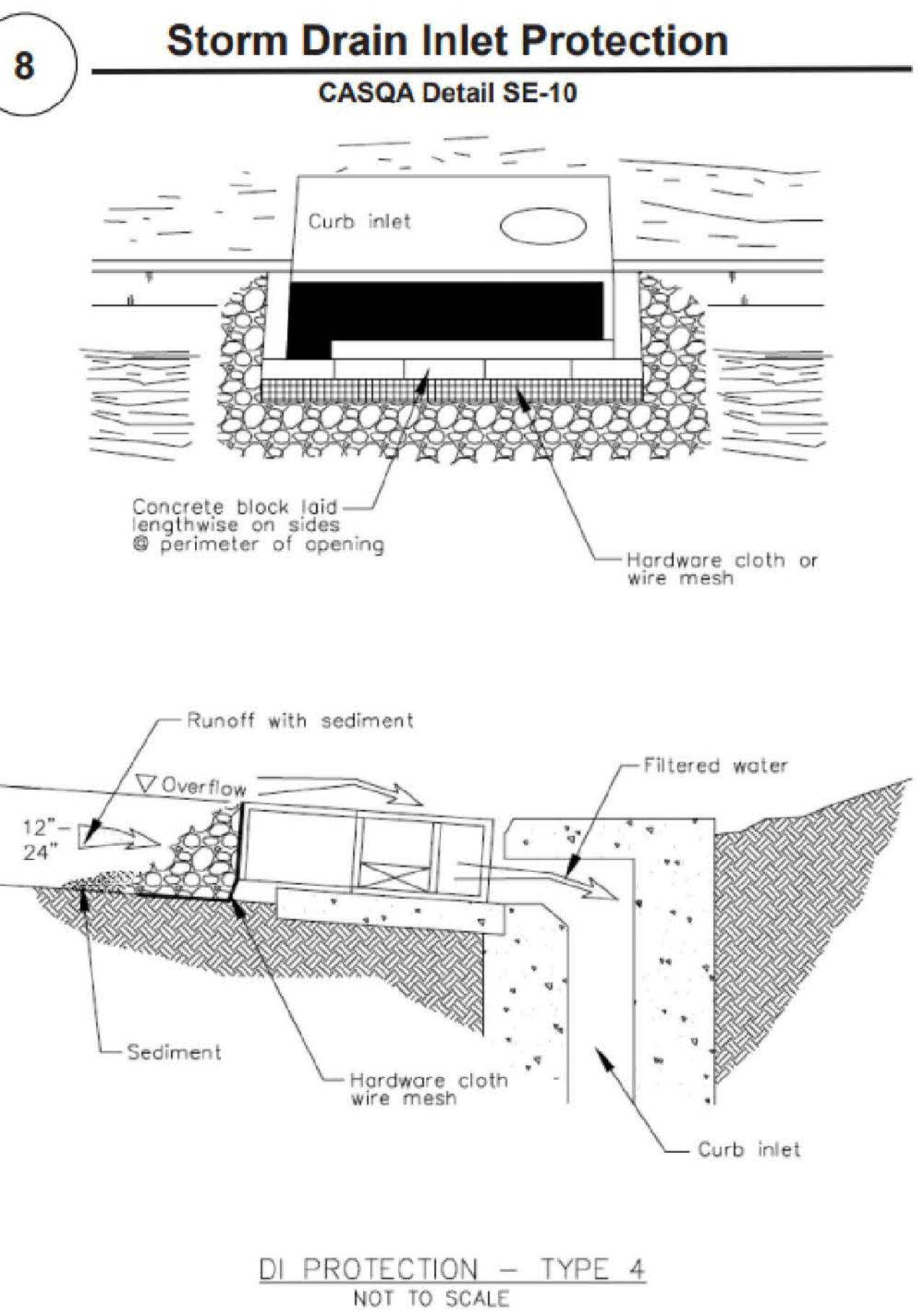
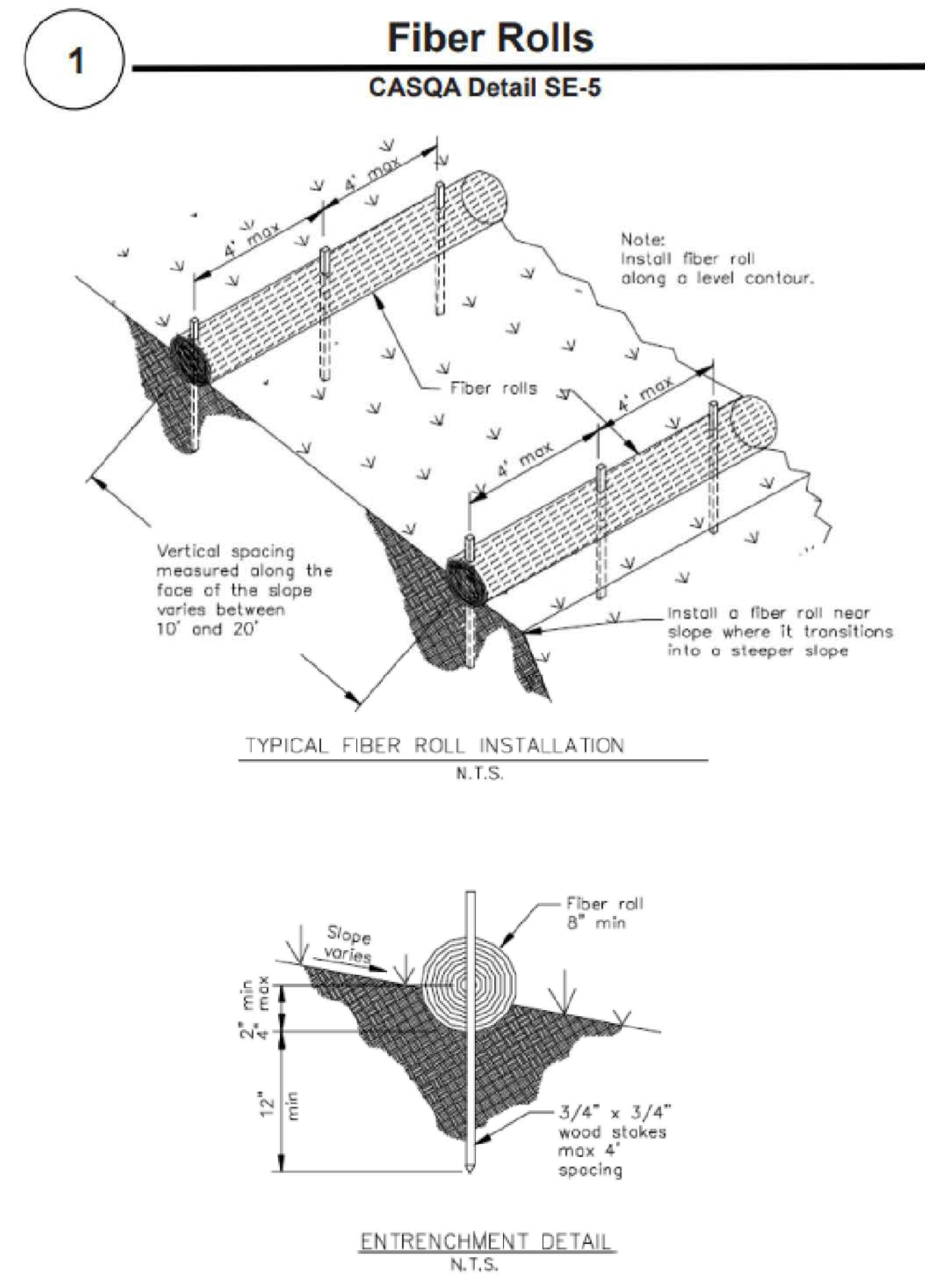
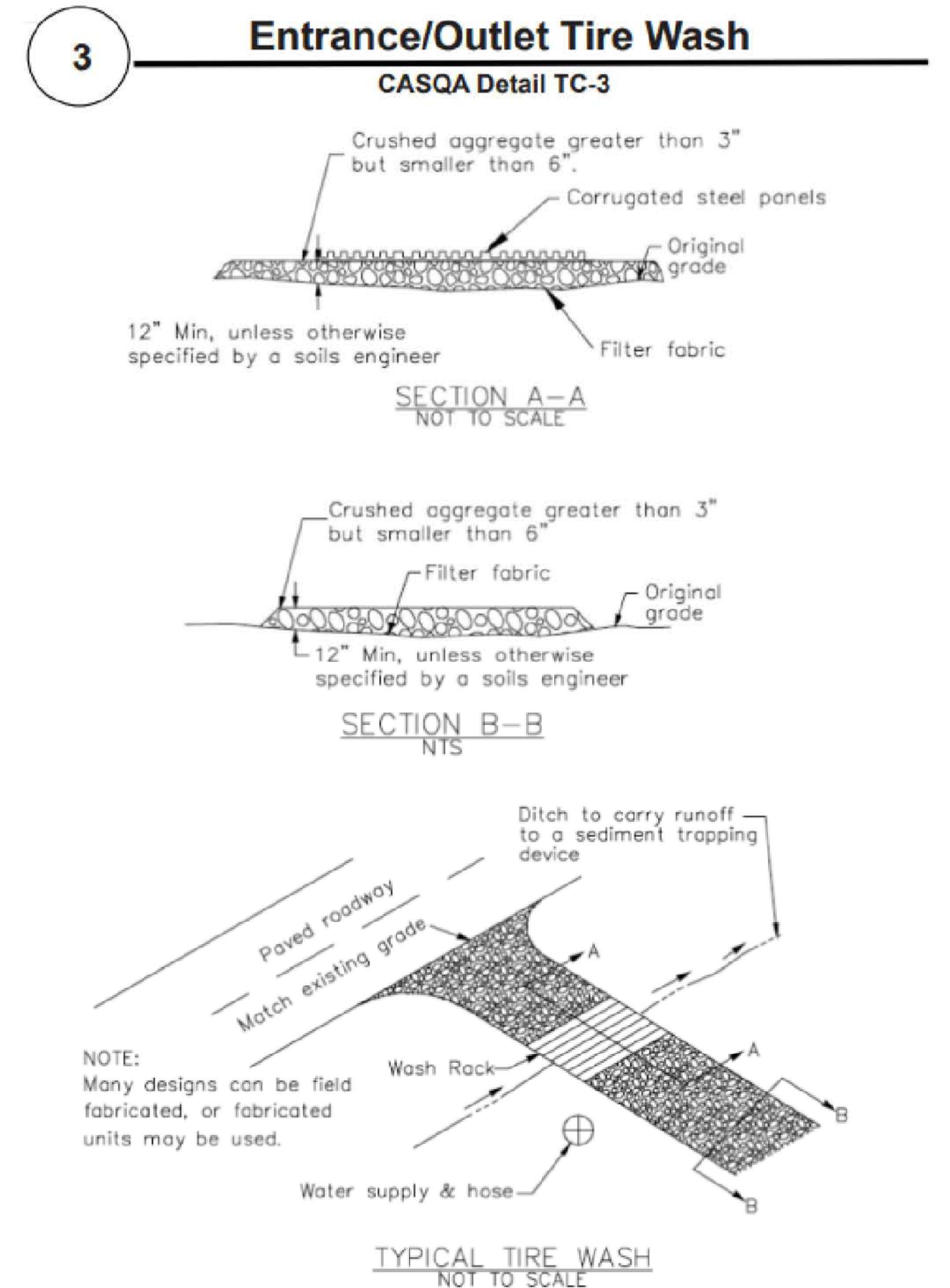
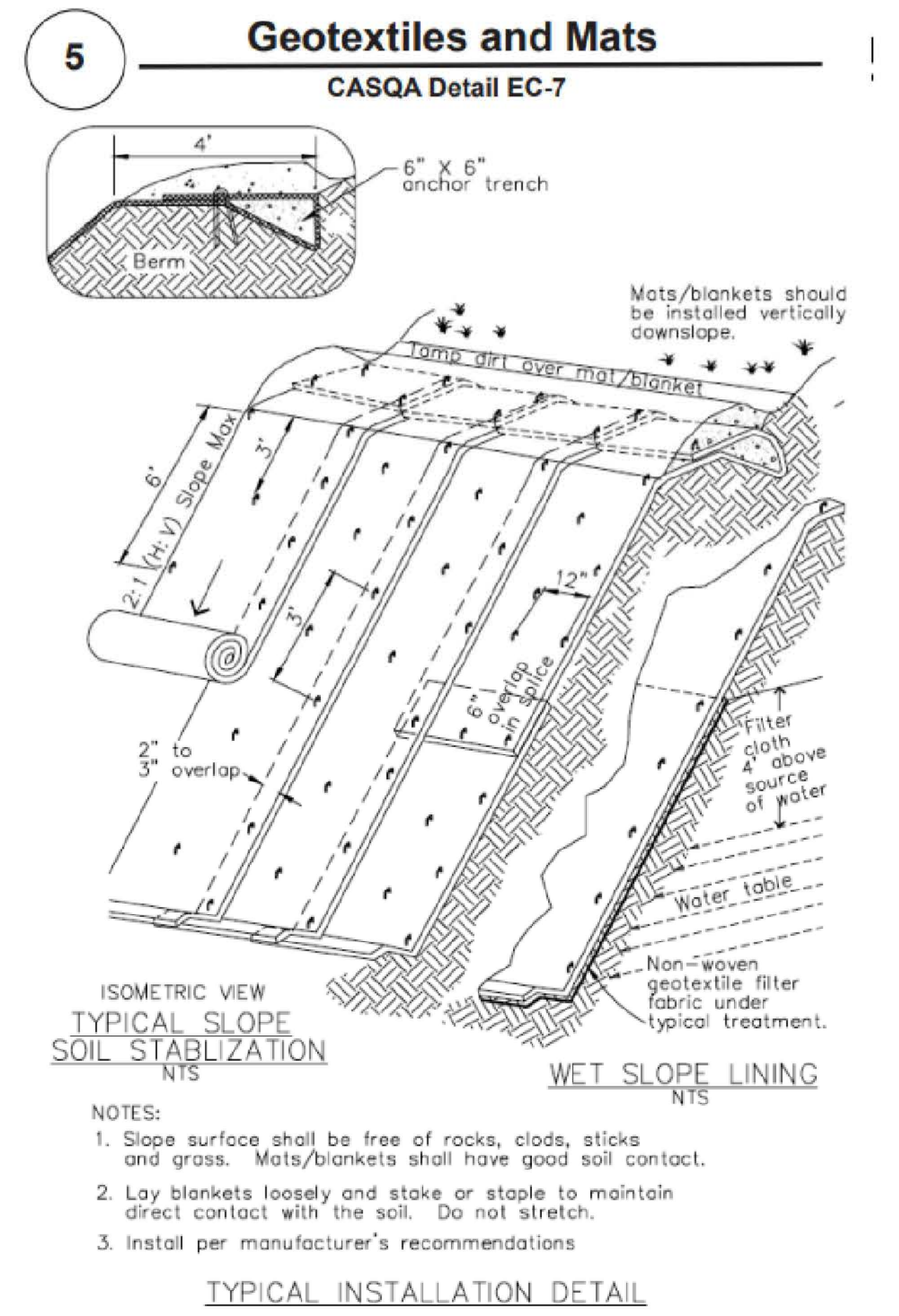
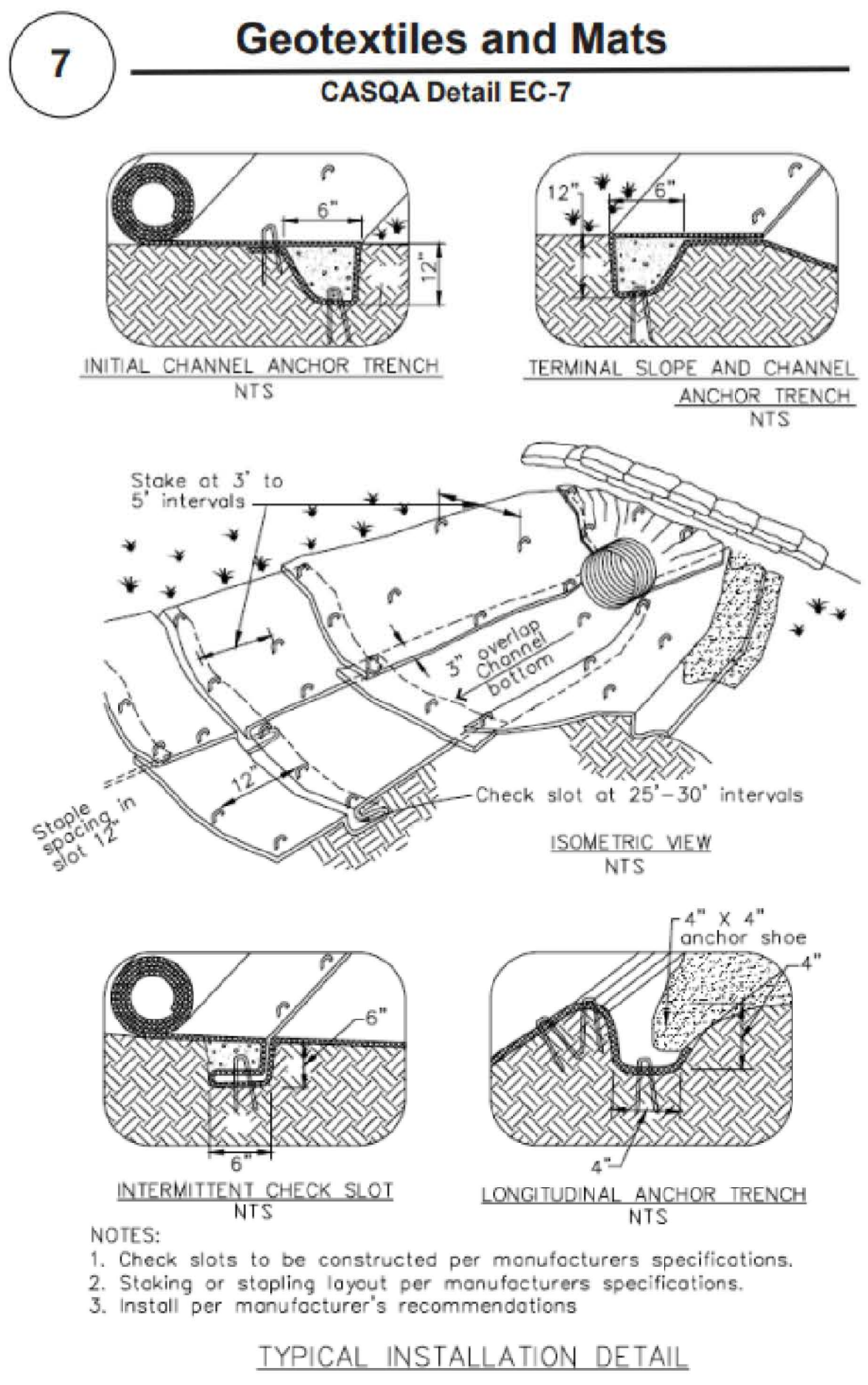












Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

NO. 82481	DATE	BY	REVISIONS
12/21/2023	SB	SB	
DRAWN BY		CHECKED BY	
SB		SB	

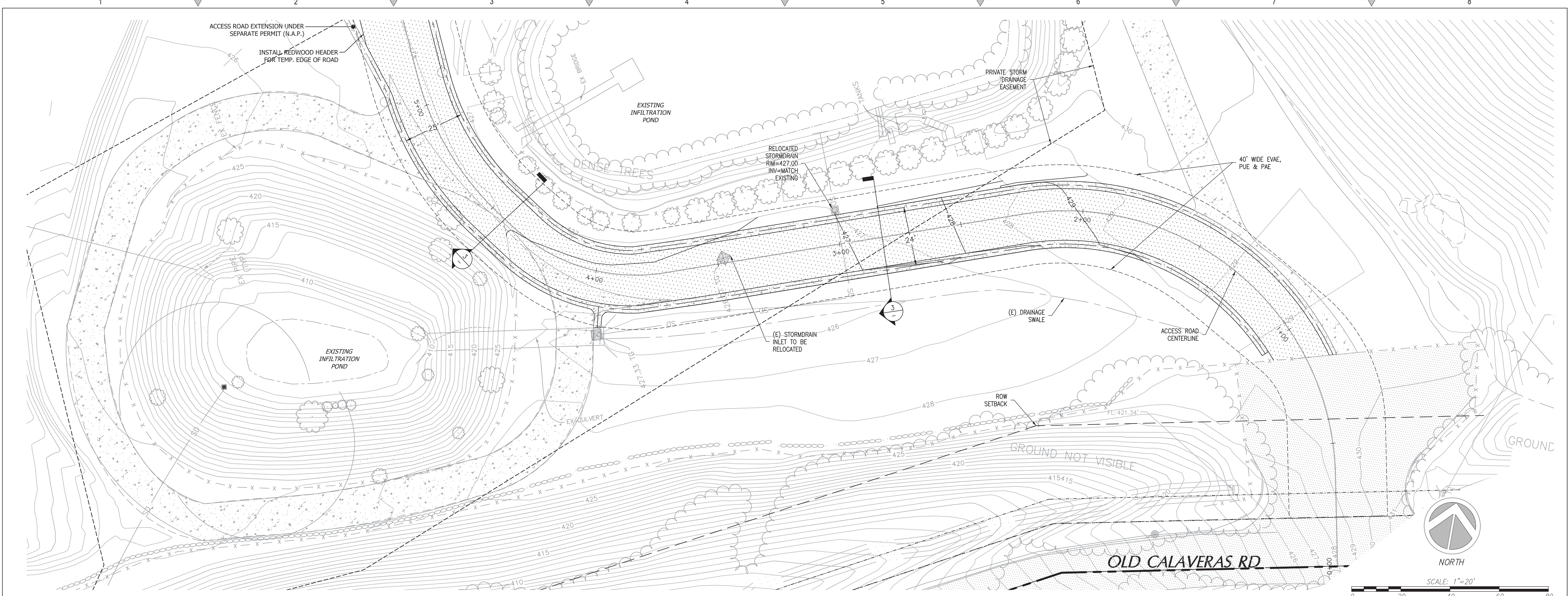
**NAVIS**  
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REGISTERED PROFESSIONAL ENGINEER  
SANTA CLARA COUNTY  
No. 82481  
CIVIL

GOKULAM LOT A GRADING & IMPROVEMENT PLANS  
EROSION CONTROL PLAN  
CALIFORNIA  
COUNTY OF SANTA CLARA

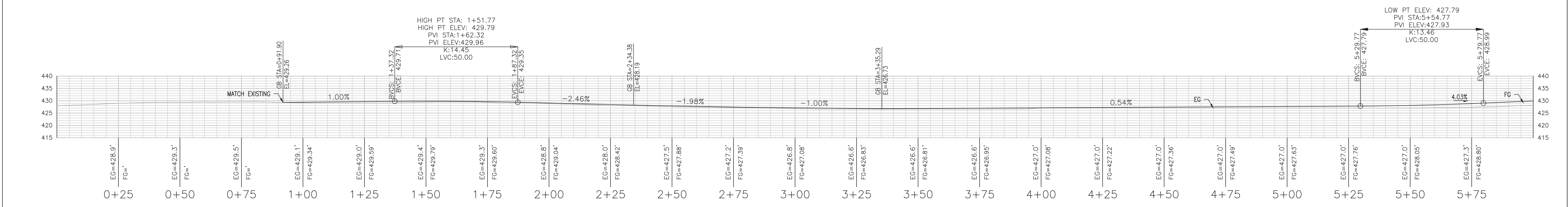
C5.3 OF 66  
GOKULAM LOT A - GRADING & IMPROVEMENT PLANS 12/21/2023





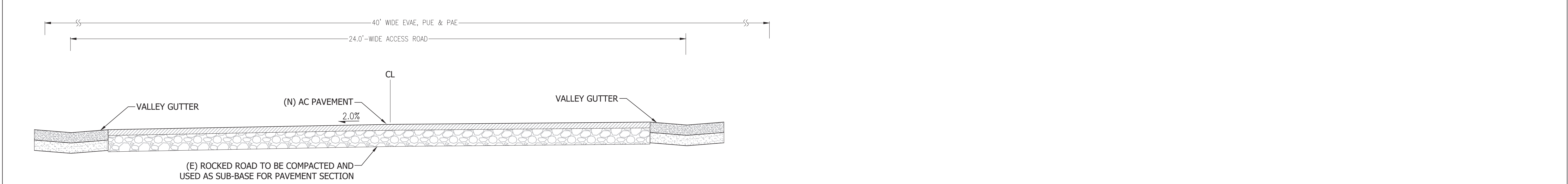
1 EXISTING ACCESS ROAD PLAN

Scale: 1:20



2 ACCESS ROAD PROFILE - STA. 0+00 TO 6+00

Scale: 1:20



3 22'-WIDE ACCESS ROAD SECTION

Scale: 1":2'

REVISIONS	BY

**EXISTING ACCESS  
ROAD PLAN & PROFILES**

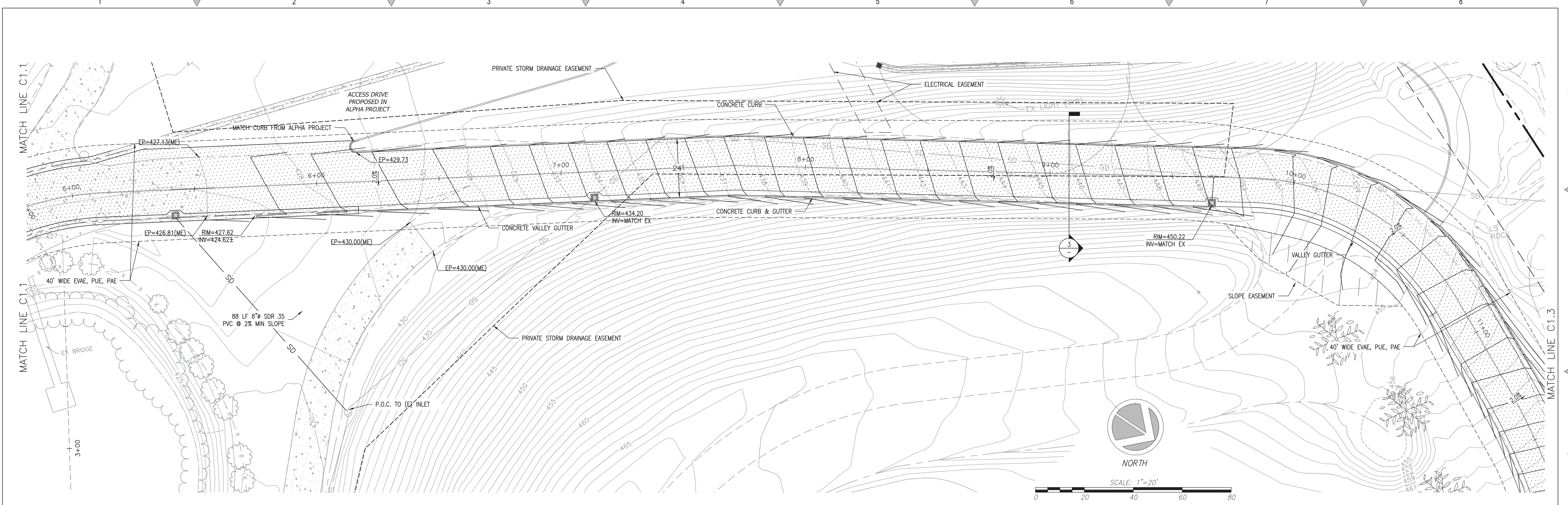


**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 4400 Old Calaveras Road  
 Milpitas, CA 95066  
 T (831) 438-4420 F (831) 438-4420  
 Email: info@c2ginc.com Website: www.c2ginc.com

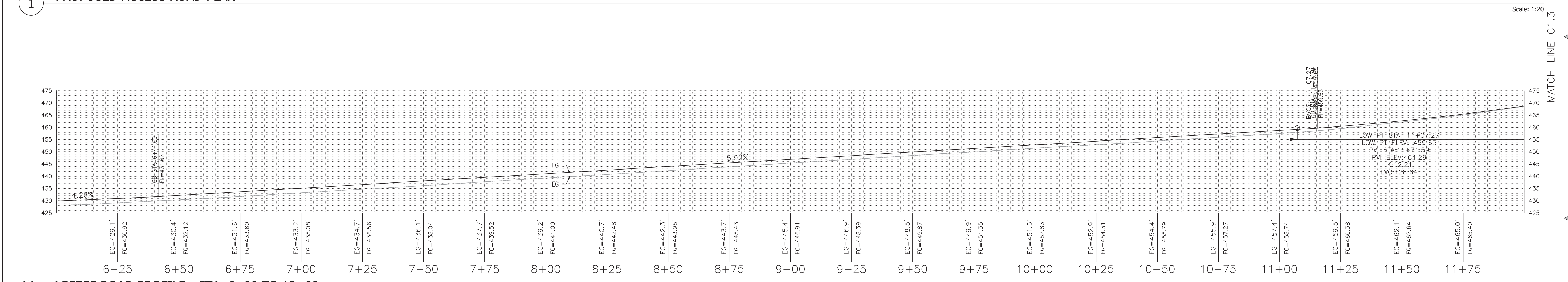
**GOKULAM, LLC.**  
 LOT B - DESIGN REVIEW  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 APN: 029-34-004

Date: 06/15/2023  
 Scale: 1" = 20'  
 Drawn: DD/ESM  
 Job: 3007.05  
 Sheet:

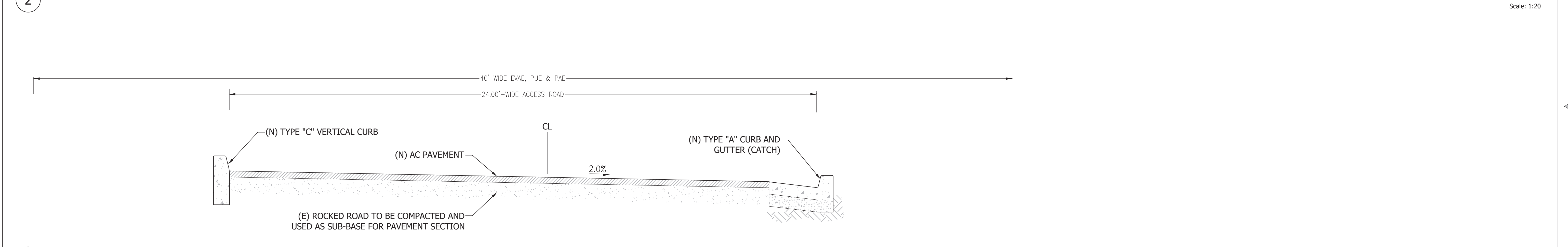




1 PROPOSED ACCESS ROAD PLAN



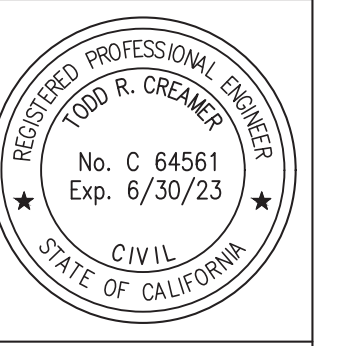
2 ACCESS ROAD PROFILE - STA. 6+00 TO 12+00



3 24'-WIDE ACCESS ROAD SECTION

REVISIONS	BY

**ACCESS ROAD PLAN & PROFILES**

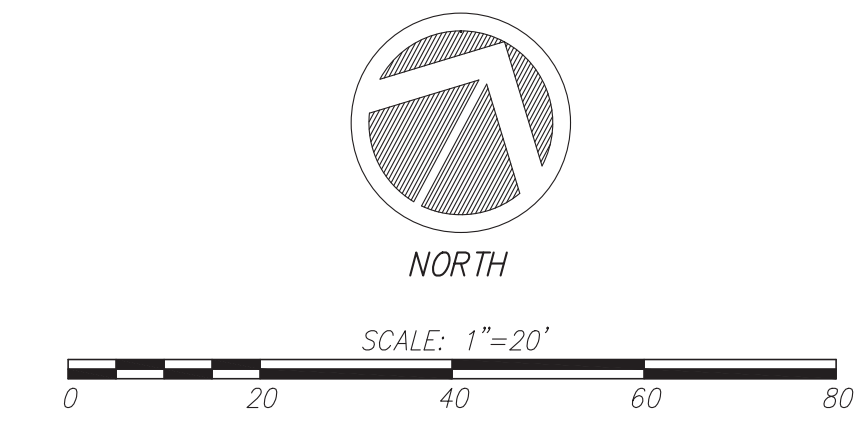
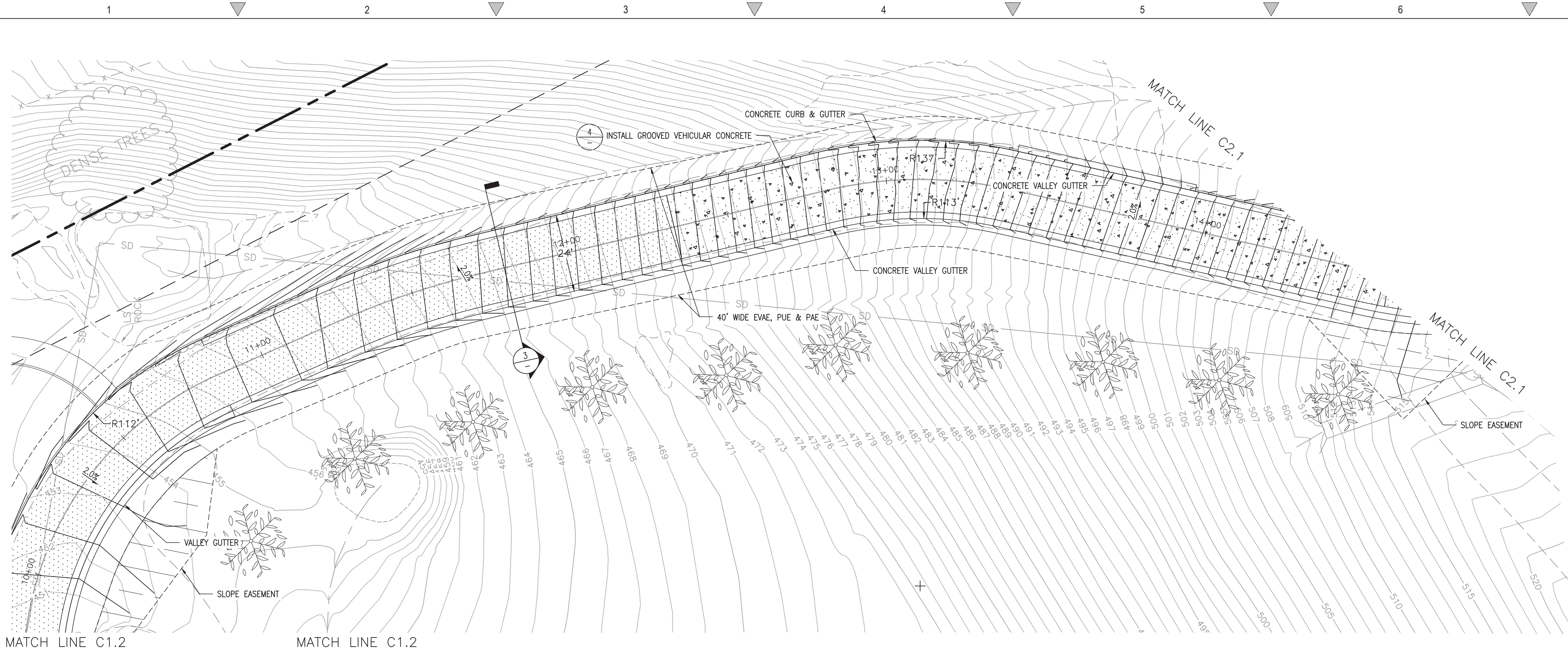


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 4400 Old Calaveras Road  
 Scotts Valley, CA 95066  
 T (831) 438-4420 F (831) 438-4420

**GOKULAM, LLC.**  
 LOT B - DESIGN REVIEW  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 APN: 029-34-004

Date: 06/15/2023  
 Scale: 1" = 20'  
 Drawn: DD/ESM  
 Job: 3007.05  
 Sheet:





**TREE INSTALLATION NOTES:**

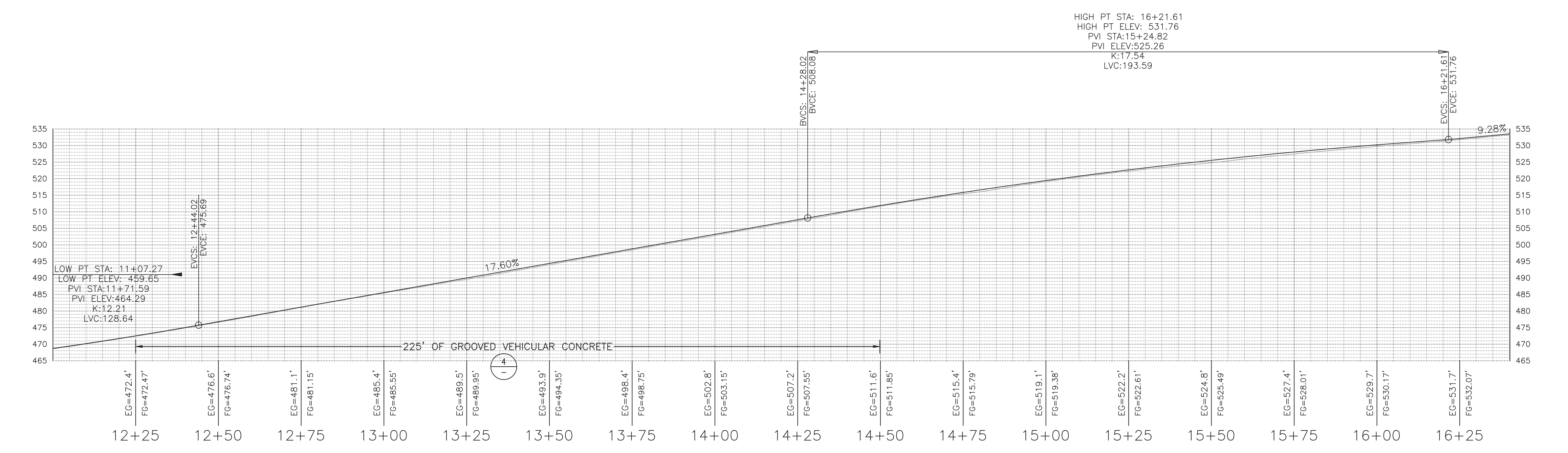
TYPE: CITRUS SINENSIS 'CARA CARA' [NAVEL ORANGE]

MATURE HEIGHT: 15-20 FEET

SIZE: 2' x 2' BOX

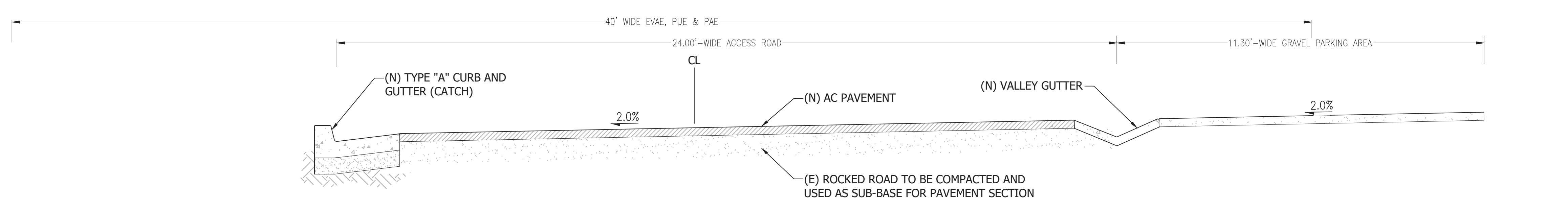
1 PROPOSED ACCESS ROAD PLAN

Scale: 1:20



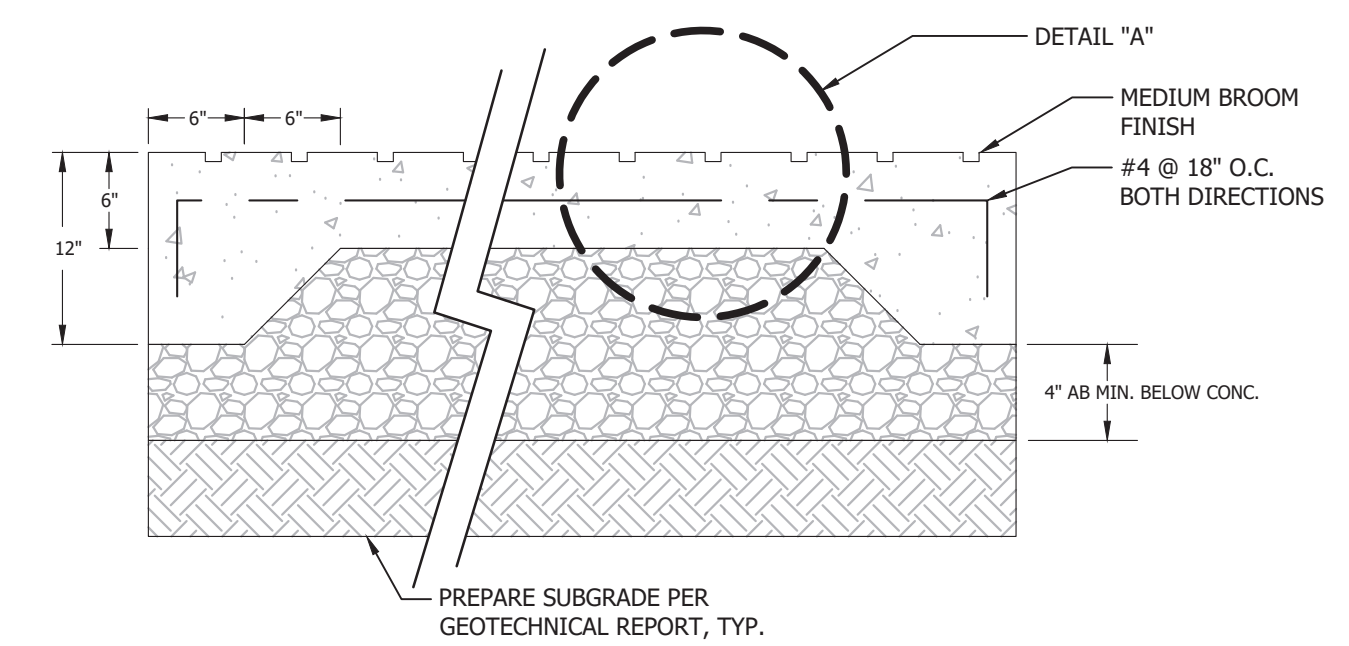
2 ACCESS ROAD PROFILE - STA. 12+00 TO 16+45

Scale: 1:20

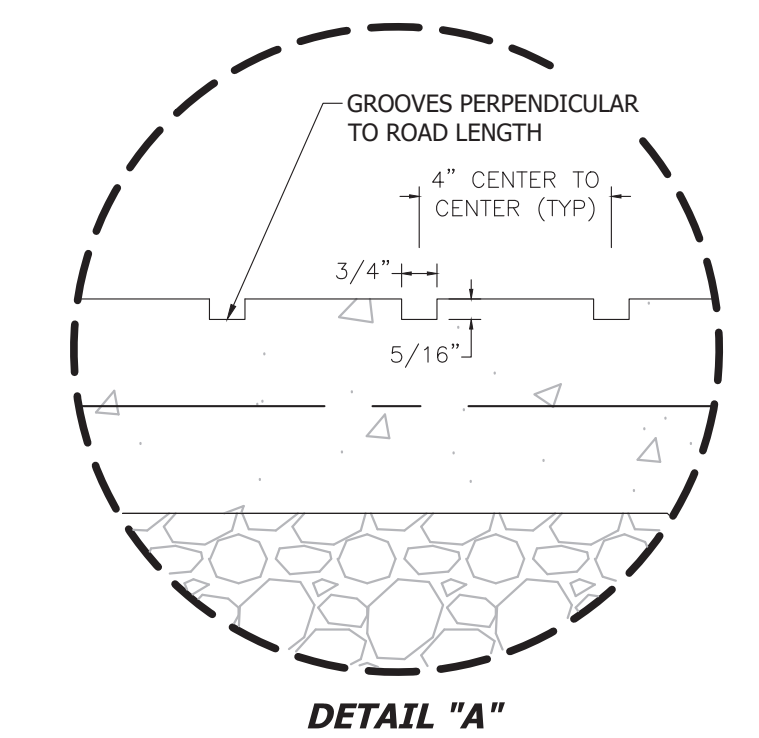


3 24'-WIDE ACCESS ROAD SECTION

Scale: 1":2'



- NOTE:
1. TYPE OF CONCRETE: CLASS A
  2. MINIMUM 6" CLASS 2 AB, COMPACTED TO 95%.
  3. SEE LANDSCAPE PLAN FOR LOCATION OF SCORING AND EXPANSION JOINTS.
  4. DOWEL WITH #4 BARS, 12" LONG, AT 24" ON CENTERS, EMBEDDED 4" WITH EPOXY IN EDGE OF EXISTING CONCRETE.
  5. DOWELING & REINFORCING TO BE PROVIDED AT JOINTS.

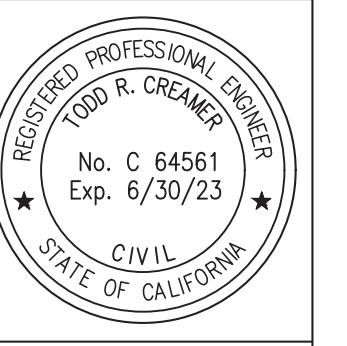


4 VEHICULAR CONCRETE SECTION W/ GROOVES

Scale: NTS

REVISIONS	BY

**ACCESS ROAD PLAN & PROFILES**

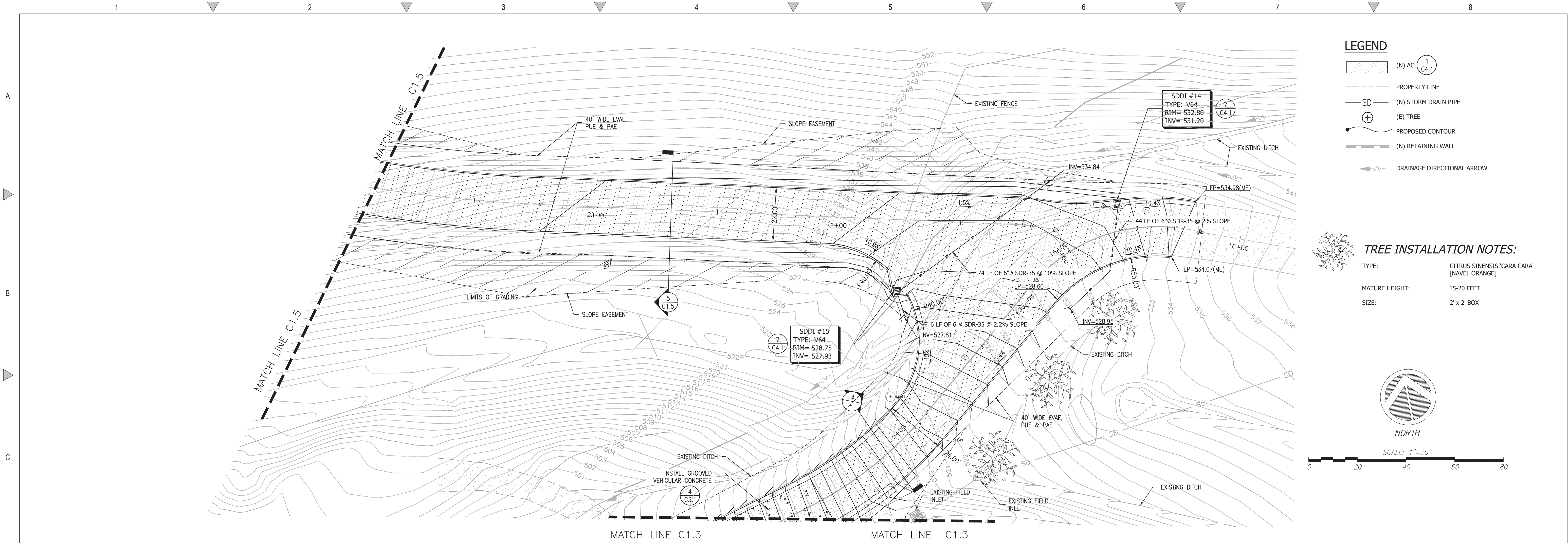


**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 4400 Scotts Valley Road, Suite 6  
 Scotts Valley, CA 95066  
 T (831) 438-4420 F (831) 438-4420

**GOKULAM, LLC.**  
 LOT B - DESIGN REVIEW  
 2425 OLD CALAVERAS ROAD, MILPITAS  
 APN: 029-34-004

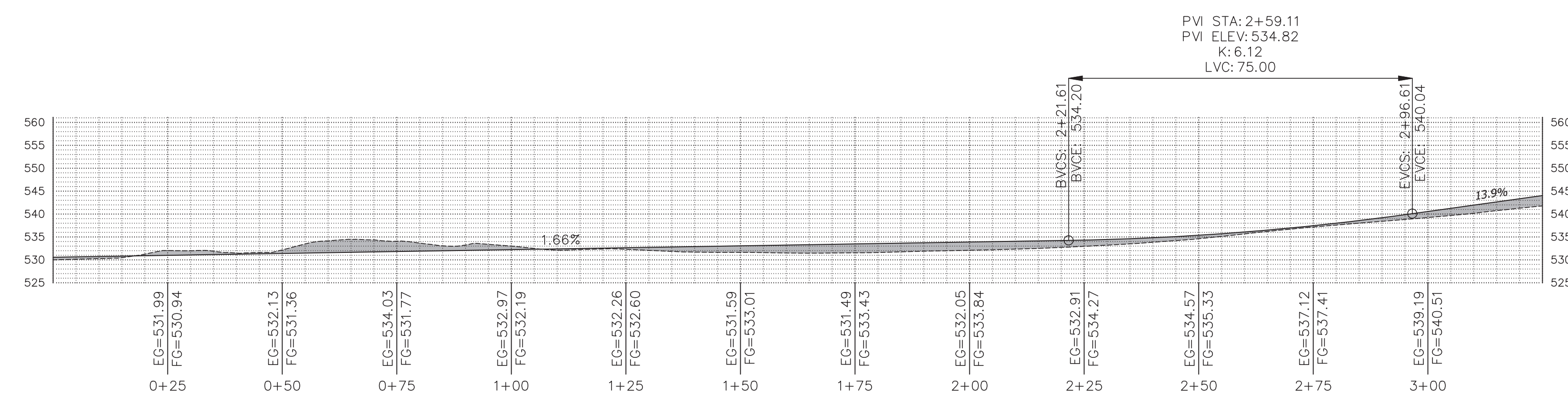
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 Scale: 1" = 20'  
 Drawn: DD/ESM  
 Job: 3007.05  
 Sheet:  
**C6.3**  
 Of 64 Sheets





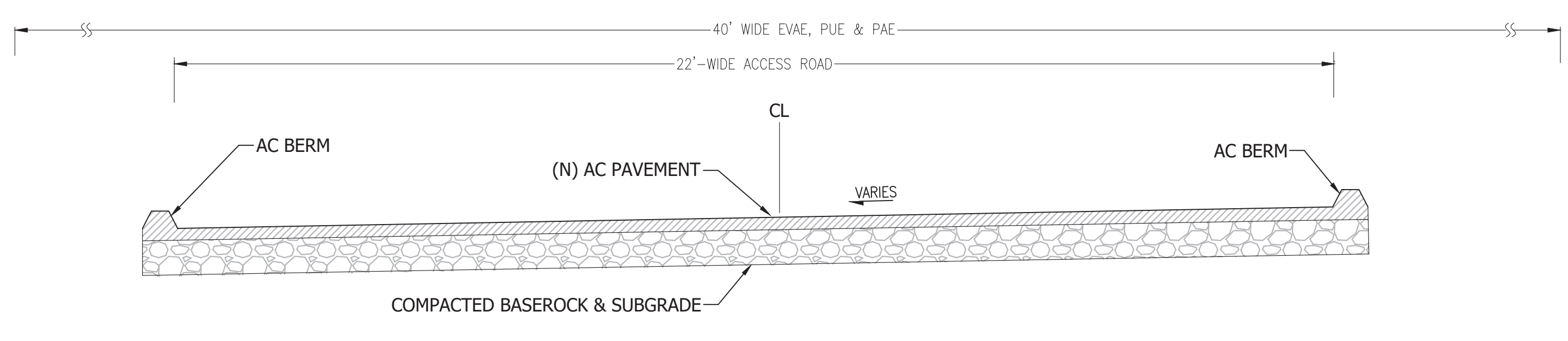
1 ENLARGED SITE PLAN - ACCESS ROAD

Scale: 1":20'



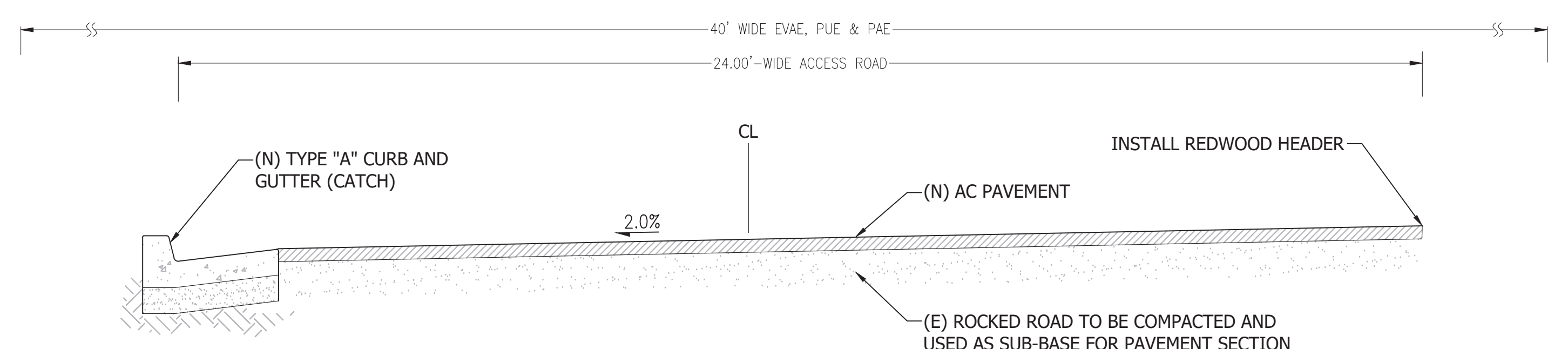
2 MAIN ROAD PROFILE - STA. 0+00 TO 3+25

Scale: 1:20



3 22'-WIDE ACCESS ROAD SECTION

Scale: 1":2'

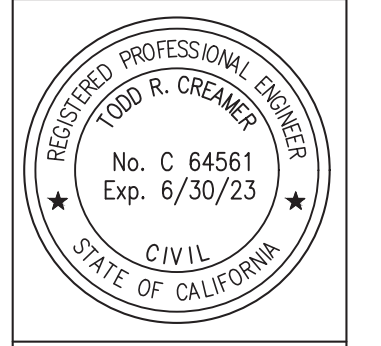


4 24'-WIDE ACCESS ROAD SECTION

Scale: 1":2'

REVISIONS	BY

ENLARGED SITE PLAN

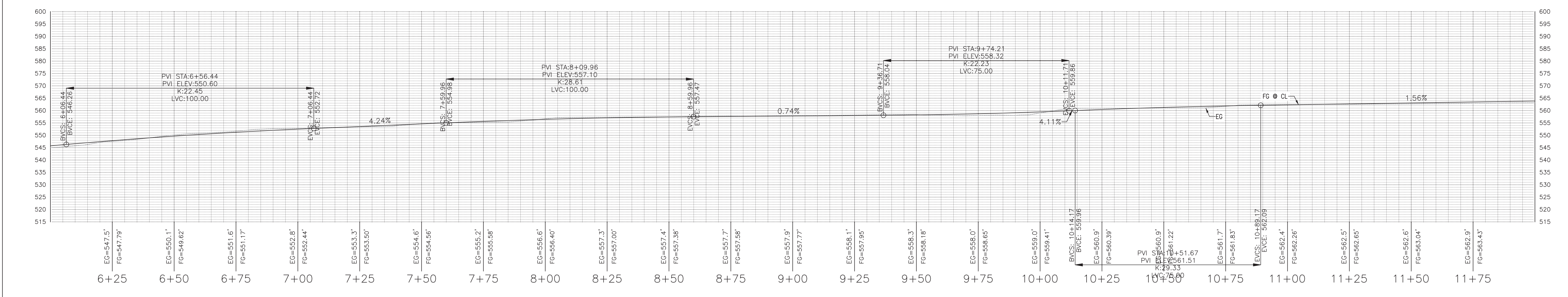
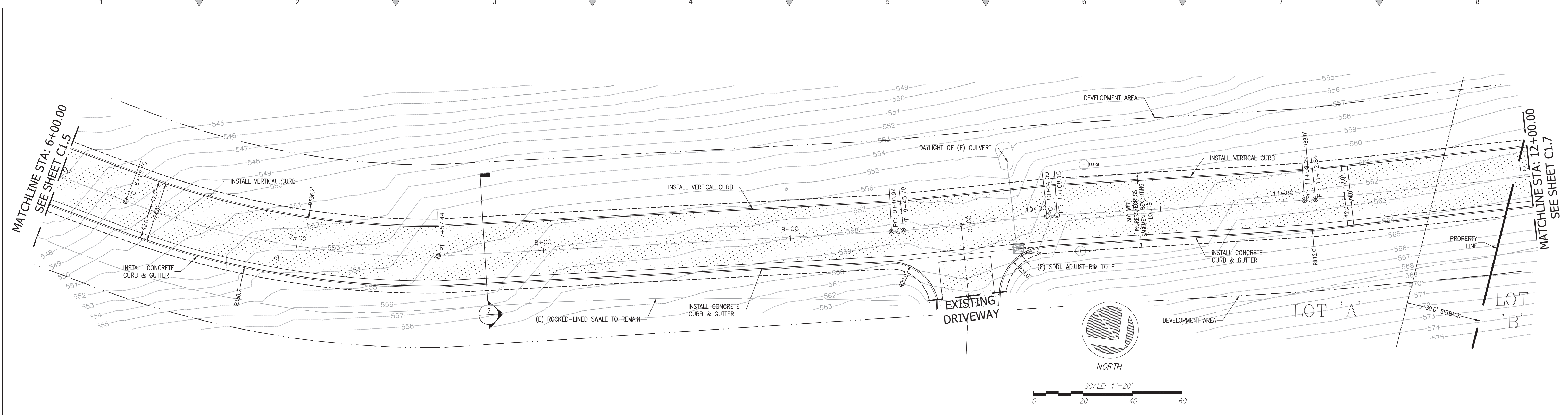


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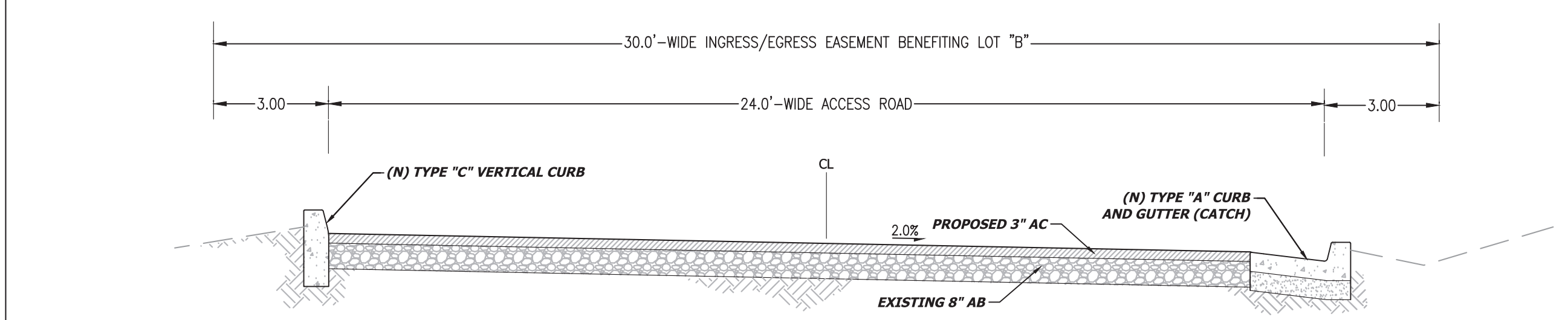
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 Scale: 1" = 20'  
 Drawn: DD/ESM  
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 Sheet: **C6.4**  
 Of 64 Sheets





1 LOT B ROAD - STA. 6+00.00 - 12+00.00

Scale: 1"=20' H - 1:1 V

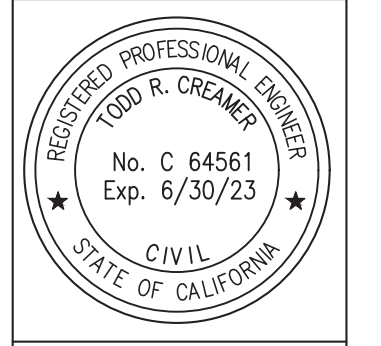


2 ROAD SECTION

Scale: NTS

REVISIONS	BY

**LOT B ROAD**  
**PLAN AND PROFILE**  
**STA.: 6+00.00 - 12+00.00**



**C2G CIVIL CONSULTANTS GROUP, INC.**  
 Engineers/Planners  
 4400  
 Scotts Valley, CA 95066  
 T (831) 438-4420 F (831) 438-4420

**SERPA QUARRY**  
**2-LOT VESTING TENTATIVE MAP**  
**2425 OLD CALAVERAS ROAD, MILPITAS**  
**APN: 029-34-004**

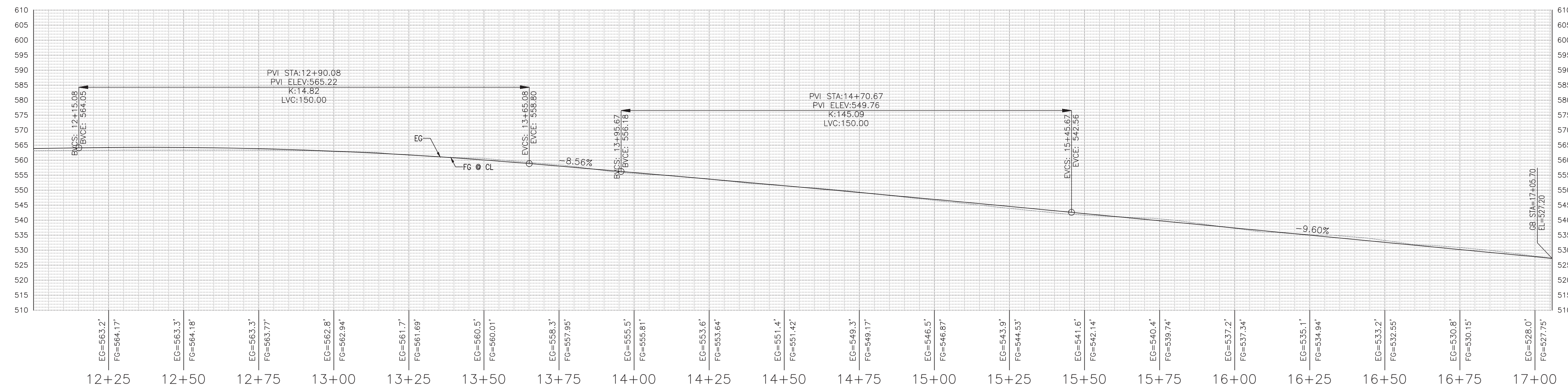
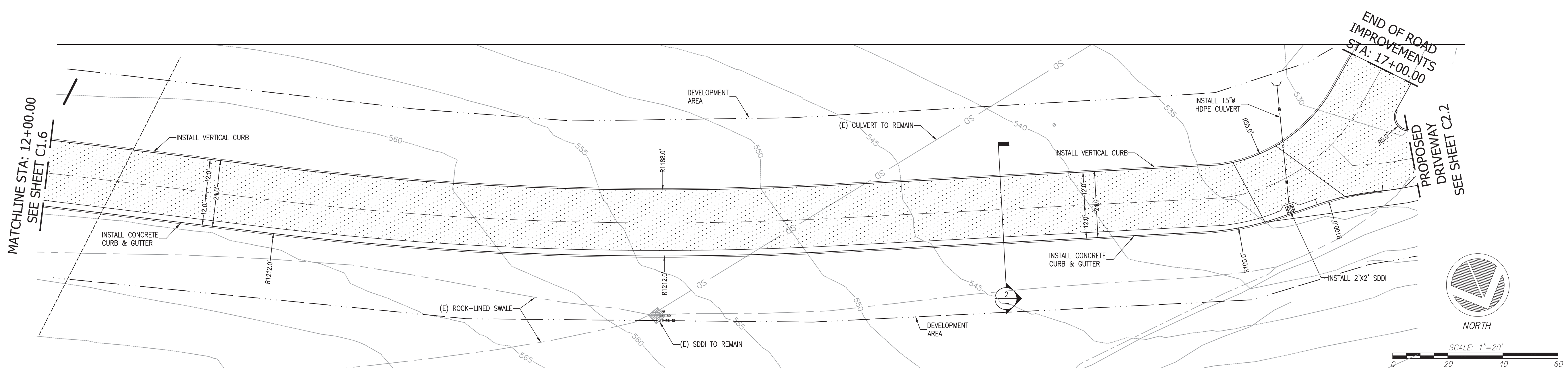
Date: 06/03/21  
 Scale: 1" = 20'  
 Drawn: DD  
 Job: 3007.01  
 Sheet: **C6.5**  
 Of 64 Sheets



Drawing: 2: (Sheet CAD) (0002.01) = "M" - Serpa Quarry (Design CAD) (0002.01) = 01.6 - LOT B RD PAP - Last Saved: Fri Jun 25, 2021 - 4:34pm - Last Plotted: Tue Jun 29, 2021 - 1:43pm - By: jpmc

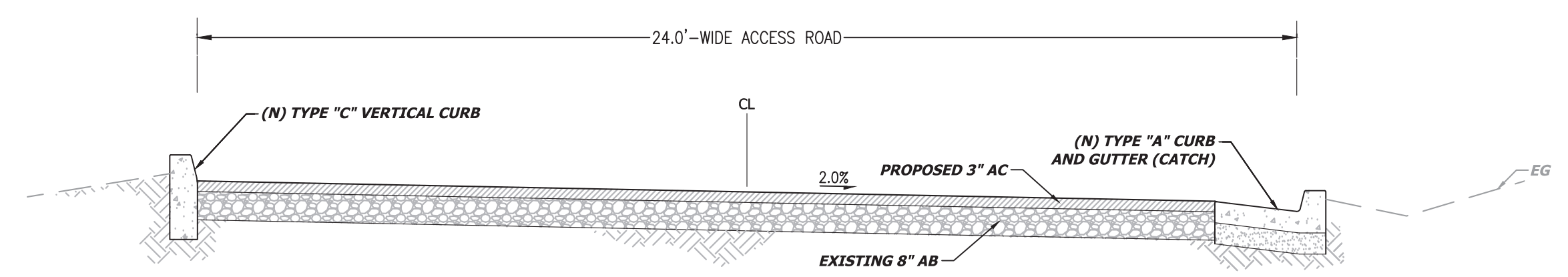


1 2 3 4 5 6 7 8



1 LOT B ROAD - STA. 12+00.00 - 17+05.72

Scale: 1"=20' H - 1:1 V

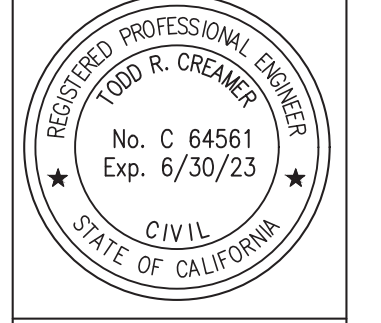


2 ROAD SECTION

Scale: NTS

REVISIONS	BY

**LOT B ROAD**  
**PLAN AND PROFILE**  
**STA.: 17+05.72-12+00.00**



**C2G** CIVIL CONSULTANTS GROUP, INC.  
Engineers/Planners  
4400  
Scotts Valley, CA 95066  
T (831) 438-4420 F (831) 438-4420

**SERPA QUARRY**  
**2-LOT VESTING TENTATIVE MAP**  
**2425 OLD CALAVERAS ROAD, MILPITAS**  
**APN: 029-34-004**

Date: 06/03/21  
Scale: 1" = 20'  
Drawn: DD  
Job: 3007.01  
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**C6.6**  
Of 64 Sheets



1 2 3 4 5 6 7 8

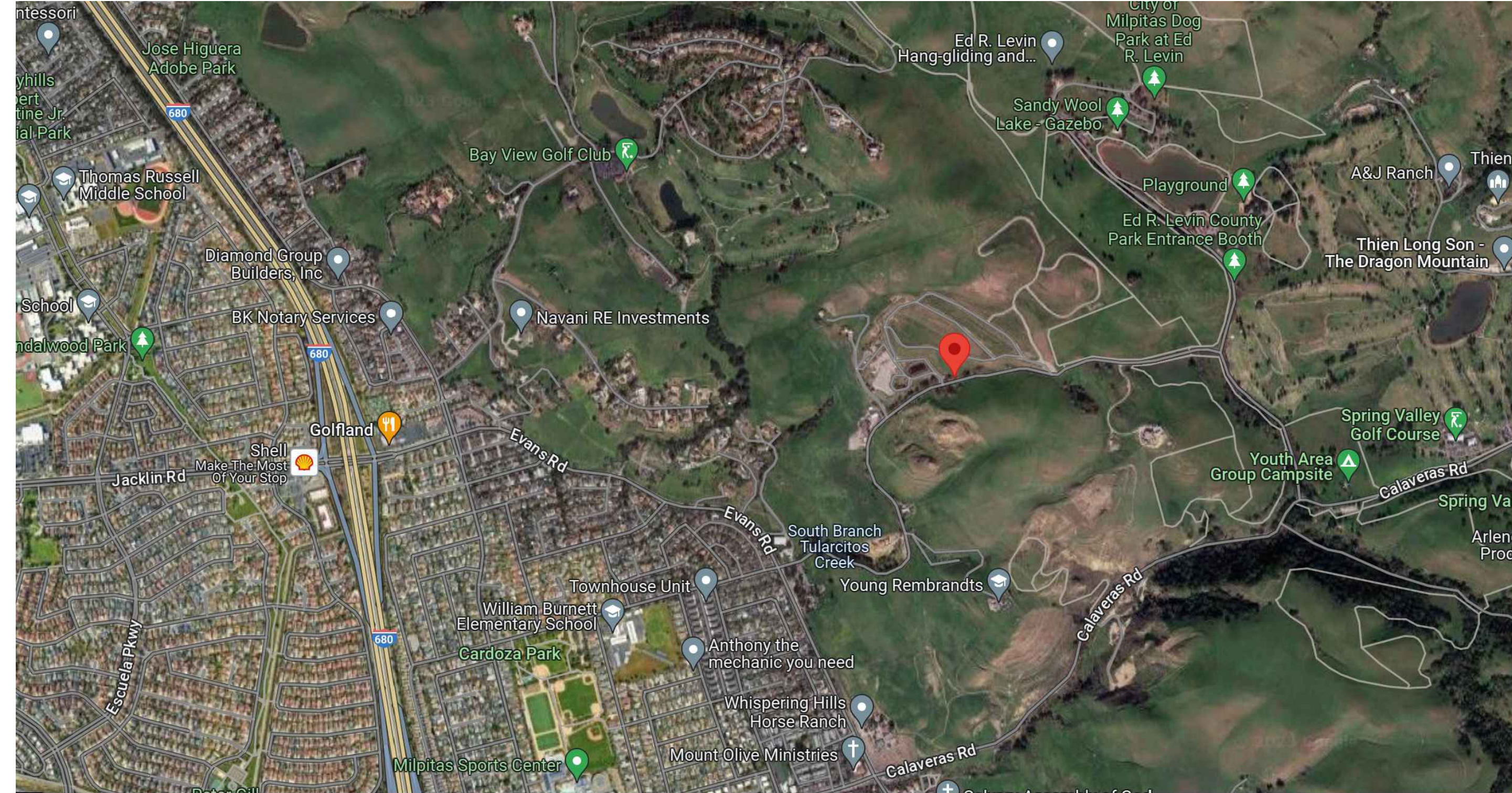


# NEW HOME AT 2445 OLD CALAVERAS ROAD (LOT A)

## MILPITAS, CA 94035

**OWNER:**  
Gokulam, LLC

**DESIGN CONSULTANT:**  
Matthew Hum  
285 Mullen Avenue  
San Francisco, CA 94110  
(925) 389-8728



**1 VICINITY MAP**  
SCALE: N.T.S.

**SCOPE OF WORK STATEMENT:**

THE PROJECT PROPOSES THE CONSTRUCTION OF A NEW TWO STORY, WOOD FRAMED, SINGLE FAMILY HOME AT LOT A OF A SUBDIVIDED LOT (LOT AT) AT 2445 OLD CALAVERAS ROAD. THE PROPOSED HOME WILL BE 7,559 SQUARE FEET 8 BED/10 BATH WITH AN ATTACHED 441 SQUARE FOOT 2-CAR GARAGE. THE HOME WILL HAVE AN INTERIOR COURTYARD, COVERED PORCH AT BOTH THE FRONT ELEVATION AND COURTYARD, AND BALCONY. IT WILL BE STUCCO CLAD WITH STONE VENER ACCENTS AND A LOW PITCH STANDING SEAM METAL ROOF. AN ADDITIONAL 441 SQUARE FOOT DETACHED GARAGE WILL ALSO BE CONSTRUCTED AS WELL AS ACCOMPANYING HARDSCAPING, LANDSCAPING, AND DRIVEWAY.

**SITE DATA:**

PARCEL NUMBER: 029-34-004  
ZONING: D2-HS-HILLSIDE  
OVERALL LOT AREA: 37.11 ACRES  
CONSTRUCTION: V-B  
FIRE SPRINKLERS: YES

OCCUPANCY: (CBC310.1 & 312.1) R3 & U

**CODES AND ADOPTED ORDINANCES:**

CALIFORNIA FIRE CODE	2022 EDITION
CALIFORNIA RESIDENTIAL CODE	2022 EDITION
CALIFORNIA BUILDING CODE	2022 EDITION
CALIFORNIA MECHANICAL CODE	2022 EDITION
CALIFORNIA PLUMBING CODE	2022 EDITION
CALIFORNIA ELECTRICAL CODE	2022 EDITION
CALIFORNIA GREEN BUILDING STANDARDS	2022 EDITION
ENERGY EFFICIENCY STANDARDS	2022 EDITION

ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS

**DEFERRED SUBMITTAL:**

-NFPA 13-D FIRE SPRINKLER SYSTEMS COMPLYING WITH LOCAL AMENDMENTS  
-SOLAR PANELS ON SEPARATE PERMIT

**DRAWING INDEX**

ARCHITECTURAL	TITLE
A.0	TITLE
A.1	FIRST FLOOR PLAN
A.2	SECOND FLOOR PLAN
A.3	ROOF PLAN
A.4	EXTERIOR ELEVATIONS
A.5	EXTERIOR ELEVATIONS
A.6	BUILDING DETAILS AND SECTION
A.7	DETACHED GARAGE

Matthew Hum  
285 MULLEN AVENUE  
SAN FRANCISCO, CA 94110  
(925) 389-8728

**HERS SPECIAL INSPECTION ITEMS:**  
FEATURES OF PROJECT THAT ARE REQUIRED TO BE FIELD VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION OF MEETING THE MODELED ENERGY PERFORMANCE FOR THE SUBMITTED COMPUTER ANALYSIS ARE AS FOLLOWS:

- IAQ MECHANICAL VENTILATION
- MINIMUM AIRFLOW
- VERIFIED EER
- FAN EFFICACY WATTS/CFM
- DUCT SEALING
- DUCT DESIGN-RETURN
- DUCT DESIGN-SUPPLY

**CONSTRUCTION REQUIREMENTS:**

VAPOR RETARDER AND CPAILLARY BEAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS

MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL NOT EXCEED 19% BEFORE ENCLOSURE. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE

CALL BEFORE YOU DIG. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR AT 1-800-277-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.

LOT GRADING SHALL CONFORM AT THE PROPERTY LINES IN A MANNER WHICH SHALL NOT SLOPE TOWARDS PROPERTY LINES WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL IMPLEMENT CONSTRUCTION BEST MANAGEMENT PRACTICES TO PROTECT STORM WATER QUALITY AND PREVENT POLLUTANTS FROM ENTERING THE STORM DRAIN SYSTEM. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS.

GREEN BUILDING CODE - 2022 MANDATORY REQUIREMENTS, NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS - 6 STORIES OR LESS:  
- MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY PROVIDING EROSION AND SEDIMENT CONTROLS. (4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION)  
- THE PLANS SHALL INCLUDE ADEQUATE GRADING AND DRAINAGE DESIGN TO MANAGE STORM WATER FLOWS AND TO KEEP SURFACE WATER FROM ENTERING BUILDINGS. (4.106.3 SURFACE DRAINAGE)  
- DISPLACED TOPSOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND PROTECTED FROM EROSION. (4.106.2.3 TOPSOIL PROTECTION)

AN ENCROACHMENT PERMIT IS REQUIRED TO CONSTRUCT IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY. THE ENCROACHMENT PERMIT SHALL BE ISSUED PRIOR TO OR CONCURRENTLY WITH THE BUILDING PERMIT. PLEASE SUBMIT ALL OF THE FOLLOWING ITEMS PRIOR TO ISSUANCE OF THE ENCROACHMENT PERMIT:

- A) ENCROACHMENT PERMIT FEE WILL BE PROVIDED BY STAFF PRIOR TO BUILDING PERMIT APPROVAL
- B) A SECURITY FUND (CERTIFICATE OF DEPOSIT OR SURETY BOND) IS REQUIRED TO GARENTEE CONSTRUCTION IN THE PUBLIC RIGHT OF WAY (\$1,000 MINIMUM)
- C) EVIDENCE OF INSURANCE IS REQUIRED
- D) A CITY OF FREMONT BUSINESS TAX APPLICATION IS REQUIRED TO BE PAID AND SUBMITTED TO THE CASHIER IN THE DEVELOPMENT SERVICES CENTER PRIOR TO PERFORMING ANY WORK

THE APPLICANT SHALL COORDINATE WITH OTHER UTILITY AGENCIES TO CONFIRM IF SEPARATE PERMIT ARE REQUIRED FOR THE INSTALLATION OF NEW SERVICES

DURING CONSTRUCTION, 100% OF THE ASPHALT AND CONCRETE MUST BE REUSED OR RECYCLED. AT LEAST 65% OF THE REMAINING DEBRIS GENERATED FROM THE PROJECT MUST BE REUSED OR RECYCLED. IN ORDER TO RECEIVE FINAL PRMIT APPROVAL, APPLICANT MUST SAVE ALL RECEIPTS FROM DISPOSAL AND RECYCLING TO TURN IN AT THE COMPLETION OF THE PROJECT.

CONSTRUCTION AND DEMOLITION DEBRIS DESTINED FOR RECYCLING MUST BE SEPARATED FROM THE REMAINING GARBAGE GENERATED BY THE PROJECT. SEPARATED RECYCLING MATERIAL MAY NO CONTAIN MORE THAN 10% GARBAGE OR OTHER NON-RECYCLABLE MATERIAL BY WEIGHT OR VARIABLE.

CONTAMINATED OR HAZARDOUS MATERIAL IS EXEMPT FROM THE RECYCLING REQUIREMENT. HOWEVER, APPLICANT MUST SUBMIT COPIES OF THE MANIFEST TO THE ENVIRONMENTAL SERVICES DIVISION FOR ALL HAZARDOUS MATERIALS REMOVED.

PLANT AND TREE DEBRIS MUST BE SEPARATED FROM OTHER WASTE. PLANT DEBRIS MAY BE CHIPPED FOR MULCH, DELIVERED TO THE FREMONT RECYCLING AND TRANSFER STATION, OR TO ANOTHER APPROVED FACILITY. ALAMEDA COUNTY LAW REQUIRES THAT ALL PLANT DEBRIS BE SEPARATED AND RECYCLED.

PRIOR TO FINAL INSPECTION, THE APPLICANT MUST UPLOAD THE DEBRIS DOCUMENTATION TO THE [www.FremontWasteTracking.com](http://www.FremontWasteTracking.com) WEBSITE. INCLUDE ALL WEIGHT TAGS FROM THE PROJECT FOR DEBRIS REUSED, LANDFILLED, AND RECYCLED TO PROVE THAT THE DIVERSION REQUIREMENT WAS MET.

ENSURE ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL CLOSED WITH CEMENT MORTAR OR SIMILAR METHOD ACCEPTABLE TO THE CITY TO PREVENT PASSAGE OF RODENTS.

ENSURE CONSTRUCTION WASTE MANAGEMENT PLAN IS PRODUCED AND UPDATED. IT MUST BE AVAILABLE FOR INSPECTION. ENSURE TOTAL WEIGHT OF WASTE DISPOSED IN LANDFILLS DOES NOT EXCEED 4 POUNDS PER SQUARE FOOT OF BUILDING AREA.

OPERATION AND MAINTENANCE MANUAL REGARDING MATERIAL CONSERVATION AND RESOURCE EFFICIENCY COVERING 10 OUTLINED AREAS BY CALGREEN TO BE PLACED IN BUILDING AT TIME OF FINAL INSPECTION.

ENSURE DOCUMENTATION OF COMPLIANCE TO CALGREEN IS MAINTAINED AND UPDATED THROUGHOUT CONSTRUCTION.

ENSURE BEST MANAGEMENT PRACTICES ARE ENACTED TO PROTECT STORMWAER QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN SYSTEM. CATEGORIES FOR POOL, SPA, AND FOUNTAIN DISCHARGE; OUTDOOR EQUIPMENT/MATERIALS STORAGE/OUTDOOR STORAGE AREAS, AND VEHICLE EQUIPMENT REPAIR AND MAINTENANCE ARE HIGHLIGHTED BY CITY OF FREMONT COMMENTS, THOUGH NOT APPLICABLE TO THE PROJECT

**GARBAGE REQUIREMENTS**

ADEQUATE EXTERIOR SPACE SHALL BE PROVIDED FOR GARBAGE SET-OUT AND PICKUP SUCH THAT GARAGES AND DRIVEWAYS SHALL NOT BE LOCKED. STORAGE SPACE SHALL ALSO BE PROVIDED WITHIN GARAGES (CLEAR OF REQUIRED PARKING AREAS) OR OTHER DESIGNATED AREAS FOR STORAGE OF TRASH AND RECYCLING MATERIALS.

ALL RESIDENTIAL DWELLING UNITS SHOULD INCLUDE A MINIMUM OF SIX CUBIC FEET FOR INDOOR TEMPORARY STORAGE OF GARBAGE AND RECYCLING (I.E. UNDER KITCHEN SINK OR IN A PANTRY, ETC.). AT LEAST THREE CUBIC FEET UNDIVIDED SHALL BE PROVIDED FOR RECYCLING.

GARBAGE AND RECYCLING CARTS MUST ALWAYS BE HIDDEN FROM PUBLIC VIEW EXCEPT ON COLLECTION DAYS. 27 SQUARE FEET OF STORAGE SPACE IS REQUIRED IN THE GARAGE FOR GARBAGE, RECYCLING, AND ORGANICS CARTS. IF SUFFICIENT GARAGE SPACE IS NOT AVAILABLE, RESIDENTS MUST HAVE UNRESTRICTED ACCESS TO THE SAME AMOUNT OF EXTERIOR STORAGE IN THE SIDE OR BACK YARDS SO THAT THE CARTS REMAIN HIDDEN FROM PUBLIC VIEW

THE MINIMUM STORAGE AREA FOR GARBAGE AND RECYCLING CARTS IS IN ADDITION TO THE STORAGE AREA REQUIRED BY THE PLANNING DEPARTMENT. A GRASS OR ALL-WEATHER SURFACE SHOULD BE PROVIDED TO SMOOTHLY ROLL THE CARTS BETWEEN THE CART STORAGE AREA AND SET OUT AREA ON THE STREET IN FRONT OF THE DWELLING UNIT.

**PUBLIC SAFETY REQUIREMENTS - FIRE**

FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION

NOTE EXTERIOR PORCH CEILINGS SHALL BE ENCLOSED AN COVERED WITH 1HR FIRE EXTERIOR RESISTIVE WALL ASSEMBLY APPLIED ON UNDERSIDE OF CEILING. UNENCLOSED UNDER-FLOOR PROJECTIONS SHALL HAVE ALL UNDER-FLOOR AREAS ENCLOSED TO THE GRADE WITH EXTERIOR WALLS.(CBC§707A.7,8,9, CRC R327.7,6,8)

APPLICANT TO INSTALL NFPA 13-D FIRE SPRINKLER SYSTEM COMPLYING WITH LOCAL AMENDMENTS. RESIDENCE SPRINKLER HEADS TO BE USED IN DWELLING/GUEST PORTIONS OF THE BUILDING. SPRINKLER SYSTEM SHALL PROVIDE PROTECTION TO AT LEAST ALL OF THE FOLLOWING AREAS; GARAGES, CARPORTS, BATHROOMS, CONCEALED SPACES, WATER HEATER/FURANCE ROOMS, CLOSETS, LAUNDRY ROOMS, ATTIC SPACES, UNDERWALKS, OR OVERHANGS, BALCONY OR DECK GREATER THAN 4' IN DEPTH, FLOOR LANDINGS IF WHOLLY OR PARTIALLY ENCLOSED, COVERED GUEST CARPORTS, OR OTHER AREAS AS REQUIRED. FIRE SPRINKLER TEST WATER MUST DRAIN TO AN APPROPRIATELY SIZED LANDSCAPED AREA.

APPROVED SMOKE DETECTORS ARE REQUIRED IN EACH BEDROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (2022 CFC 907.2.11). CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WHICH HAVE FUEL-BURNING APPLIANCES AND ATTACHED GARAGES, THESE ALARMS SHALL BE LOCATED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (2022 CRC 315) DETECTORS SHALL BE INTERCONNECTED TO SOUND SIMULTANEOUSLY. DETECTORS ARE REQUIRED IN NEW AND EXISTING STRUCTURES WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING \$1000.

THE APPLICANT MUST IMMEDIATELY NOTIFY THE FREMONT FIRE DEPARTMENT, HAZARDOUS MATERIALS UNIT OF ANY UNDERGROUND PIPES, TANKS OR STRUCTURES; ANY SUSPECTED OR ACTUAL CONTAMINATED SOILS; OR OTHER ENVIRONMENTAL ANOMALIES ENCOUNTERED DURING SITE DEVELOPMENT ACTIVITIES. ANY CONFIRMED ENVIRONMENTAL LIABILITIES WILL NEED TO BE REMEDIED PRIOR TO PROCEEDING WITH SITE DEVELOPMENT.

BUILDING ADDRESS IS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE PUBLIC STREET. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.

FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICABLE PRIOR TO AND DURING CONSTRUCTION.

**ENVIRONMENTAL QUALITY**

WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN OFF (MIN INSULATION OF R-4.2)

HEATING AND AIR CONDITIONING TO BE SIZED APPROPRIATELY BY ACCEPTABLY CREDENTIALAED PROFESSIONALS ACCORDING TO STANDARDS OUTLINED IN CALGREEN LOW-RISE RESIDENTIAL MANDATORY MEASURES. SPECIAL INSPECTORS MUST BE QUALIFIED AND VERIFICATION VIA CONSTRUCTION DOCUMENTS, SPECS, INSTALLER CERTIFICATION, INSPECTION REPORTS, ETC... TO SHOW SUBSTANTIAL CONFORMANCE.

FINISHED GROUND SURFACES SHALL BE GRADED TO DRAIN THE FINISHED SITE PROPERLY. FINISHED GROUND SLOPE WITHIN FIVE FEET OF THE BUILDING OR STRUCTURE SHALL SLOPE AWAY AT 5%. ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A MINIMUM 1% SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5%. MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL (33%).

12.20.23 | DESIGN REVIEW

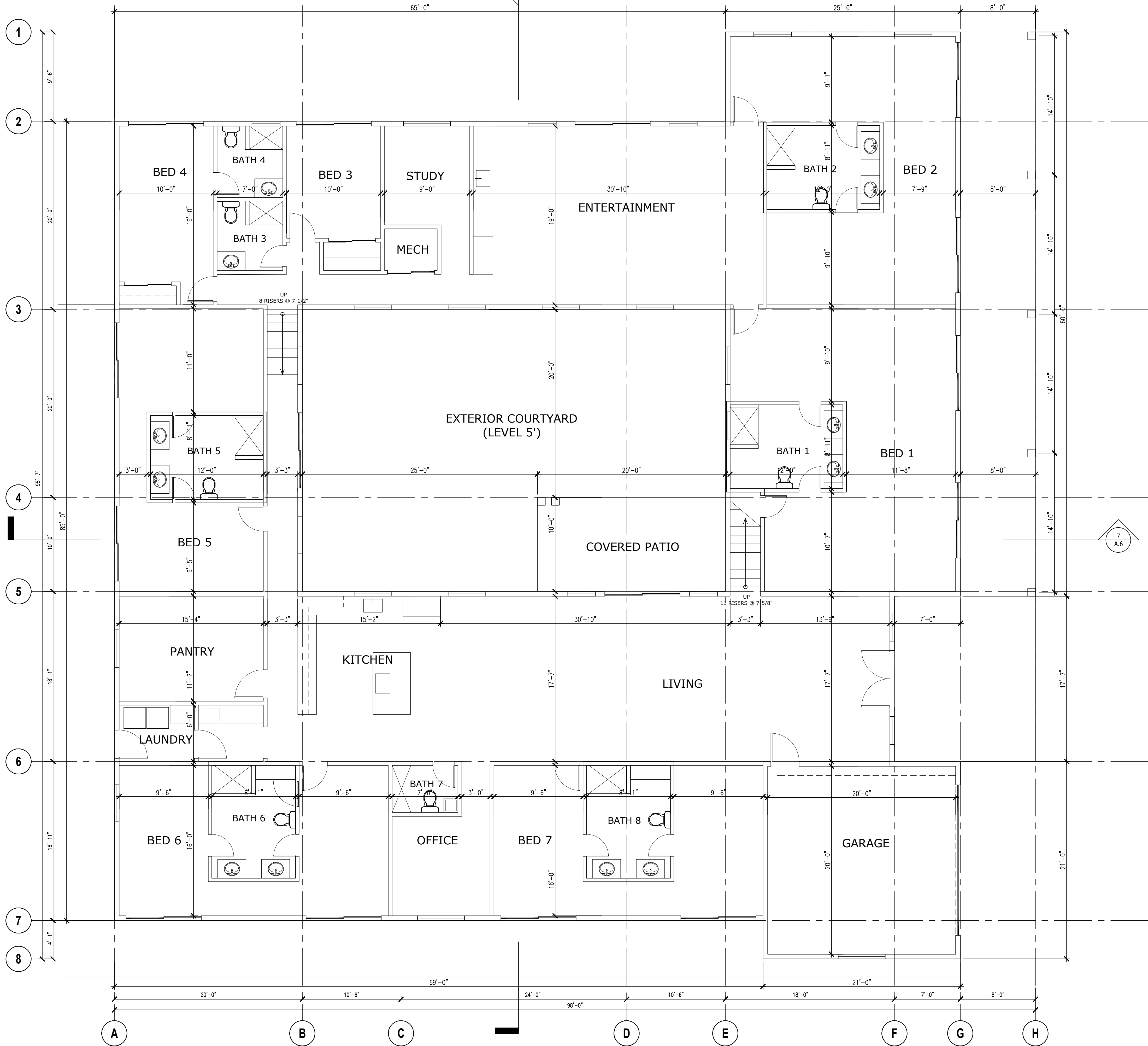
NEW HOME AT 2445 OLD CALAVERAS ROAD (LOT A)  
MILPITAS, CA 95035

TITLE

A.0



6  
A.6



ASSESSOR'S MAP: (MILPITAS - SANTA CLARA COUNTY) 029-34-004  
ZONING: D2-HS-HILLSIDE

LOT SIZE:	37.11 SQUARE FEET (SUBDIVIDED)
<b>PROPOSED HOUSE:</b>	
1st FLOOR (LEVEL 0') HABITABLE AREA:	2,791 SQUARE FEET
1ST FLOOR (LEVEL 5') HABITABLE AREA:	3,268 SQUARE FEET
2ND FLOOR (LEVEL 12') HABITABLE AREA:	1,500 SQUARE FEET
<b>TOTAL HOME:</b>	<b>7,559 SQUARE FEET</b>
2-CAR GARAGE (LEVEL 5'):	441 SQUARE FEET
<b>TOTAL BUILDING:</b>	<b>8,000 SQUARE FEET</b>
COVERED PORCHES:	720 SQUARE FEET
BALCONY:	480 SQUARE FEET
DETACHED GARAGE (LEVEL 0'):	441 SQUARE FEET
TOTAL CONDITIONED SPACE: (PER TITLE 24 CALCULATIONS - HABITABLE AREA ONLY, NO OUTDOOR OR DECK SPACE)	7,559 SQUARE FEET

**NOTES (CONSTRUCTION):**  
FIRE DEPARTMENT ACCESS MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION  
PROVIDE AN EMERGENCY TELEPHONE ON THE JOB SITE PRIOR TO ANY CONSTRUCTION

ALL CONTRACTORS AND SUBCONTRACTORS SHALL IMPLEMENT CONSTRUCTION BEST MANAGEMENT PRACTICES TO PROTECT STORM WATER QUALITY AND PREVENT POLLUTANTS FROM ENTERING THE STORM DRAIN SYSTEM. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS.

**MATERIALS (POLLUTANT CONTROL):**  
AT TIME OF ROUGH INSTALLATION, DURING STORAGE, UNTIL FINAL STARTUP, ALL DUCTS AND AIR DISTRIBUTION OPENINGS SHALL BE COVERED.

ADHESIVES, SEALANTS, AND CAULKS TO ADHERE AT MINIMUM TO STANDARDS OUTLINED IN CALGREEN LOW-RISE RESIDENTIAL MANDATORY MEASURES (SECTION 4.504.2.1).

PAINTS AND COATINGS SHALL COMPLY AT MINIMUM WITH VOC LIMITS IN TABLE 1 OF AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, COATINGS ARE CLASSIFIED VIA CALIFORNIA AIR RESOURCES BOARD. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

AEROSOL PAINTS AND COATING SHALL MEET PRODUCT-WEIGHTED MTR LIMITS FOR ROC AND OTHER REQUIREMENTS INCLUDING TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES (IN AN AREA UNDER JURISDICTION OF THE SAN JOAQUIN AIR QUALITY MANAGEMENT DISTRICT AND WILL COMPLY WITH REGULATION, RULE 49.

80% OR MORE OF RESILIENT FLOORING SYSTEMS TO COMPLY WITH ONE OR MORE OF THE STANDARDS OUTLINED IN CALGREEN LOW-RISE RESIDENTIAL MANDATORY MEASURES SECTION 4.504.4.

HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE PROJECT SHALL MEET REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN AIR RESOURCES BOARD'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD.

CARPET SHALL MEET TESTING AND PROJECT REQUIREMENTS PER SECTION 4.504.3, ALL CARPET CUSHION SHALL MEET THE REQUIREMENTS OF THE CARPET RUG INSTITUTE'S GREEN LAEL PROGRAM. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.

PROVIDE SPACE HEATING SYSTEM CAPABLE OF MAINTAINING A MIN. INDOOR TEMPERATURE OF 68 DEGREES F AT A POINT 3 FEET ABOVE THE FLOOR ON THE HEATING DAY.

BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK-ACTING VALVES ARE INSTALLED SHALL BE PROVIDED WITH DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THESE VALVES.

PROVIDE SHOWER DOOR TO HAVE A NET OPENING OF AT LEAST 22" W/ SAFETY TEMPERED DOOR AND SWING OUT.

PROVIDE WATER CLOSET CLEAR SPACE 30" IN WIDTH AND 24" MIN. CLEAR SPACE IN FRONT.

PROVIDE SAFETY GLASS AT WINDOWS IN SHOWER/BATH/TUB ENCLOSURE AND BATHROOMS WITHIN 60" ABOVE THE BATHTUB DRAIN INLET.

USE CEMENT BOARD TO RECEIVE CERAMIC TILES IN THE SHOWER BATHTUB WALLS, MUD SET.

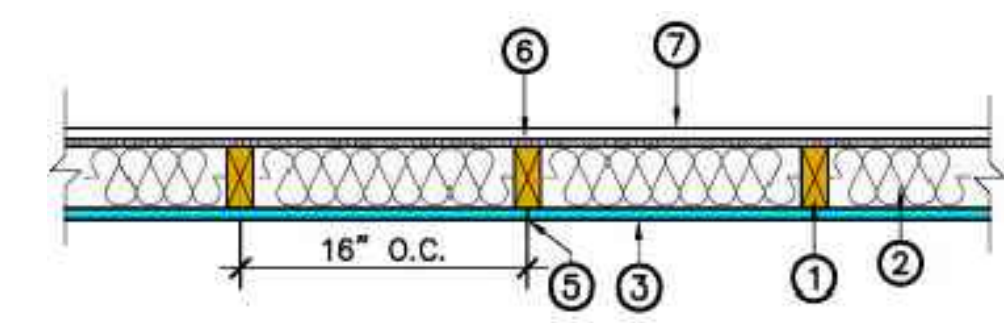
BEST PRACTICES TO REDUCE WATER CONSUMPTION 20% INCLUDE PROVIDING SHOWERHEADS (LESS THAN OR EQUAL TO 2.0GPM @ 80PSI), LAVATORY FAUCETS (LESS THAN OR EQUAL TO 1.5GPM @ 60PSI), KITCHEN FAUCETS (LESS THAN OR EQUAL TO 1.8GPM @ 60PSI), AND TOILETS (LESS THAN OR EQUAL TO 1.28 GAL/FLUSH).

SHOWER AND TUB/ SHOWER COMBINATION SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

PROPOSED BUILDING SHALL COMPLY WITH RESIDENTIAL BURGLARY SECURITY REQUIREMENTS PER FREMONT MUNICIPAL CODE.

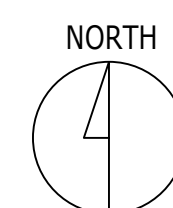
U-VALUES AND SHGC PER TITLE 24 PERFORMANCE ENVELOPE REQUIREMENTS

PROVIDE SAFETY GLAZING AT ALL WINDOWS LOCATED IN AND OR WITHIN 60 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF A HOT TUB/SPAS/BATH/SHOWERS, ETC., IF THE GLAZING IS LOCATED LESS THAN 60 INCHES ABOVE ANY TANDING OR WALKING SURFACE OF A HAZARDOUS LOCATION (CBC R308.4.3)



ALL EXTERIOR WALLS SHALL BE BASED UPON ASTM D3903 WALL ASSEMBLY SHOWN ABOVE.

- 1 - WALL STUD TO MATCH STRUCTURAL
- 2 - R21 INSULATION
- 3 - 5/8" GYPSUM BOARD
- 5 - BOARD JOINT LINE
- 6 - 2 LAYERS GRADE D BUILDING FELT OVER 3/8" PLY
- 7 - 3/8" THICK STUCCO (3 COATS) OR FIBER CEMENT SIDING



**1 FIRST FLOOR PLAN (LEVELS 0' AND 5')**  
SCALE: 3/16" = 1'-0"

**Matthew Hum**  
285 MULLEN AVENUE  
SAN FRANCISCO, CA 94110  
(925) 389-8728

*Matthew Hum*

12.20.23 | DESIGN REVIEW

NEW HOME AT 2445 OLD CALAVARAS ROAD (LOT A)  
MILPITAS, CA 95035

FIRST FLOOR PLAN

A.1



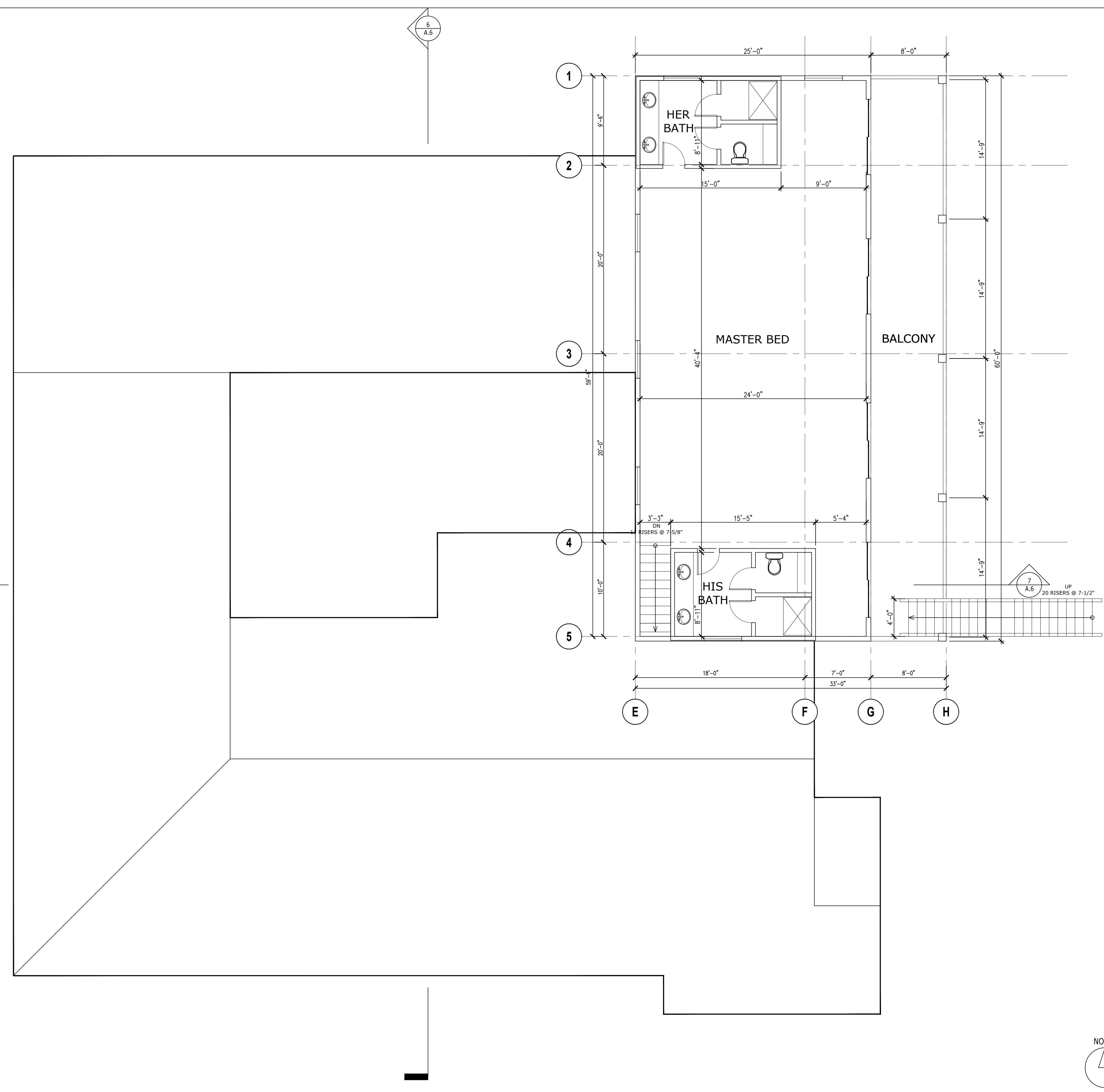
Matthew Hum  
285 MULLEN AVENUE  
SAN FRANCISCO, CA 94110  
(925) 389-8728

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SECOND FLOOR PLAN

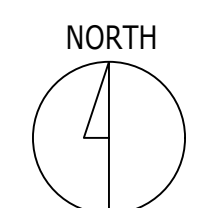
A.2



6  
A.6

7  
A.6

**1** SECOND FLOOR PLAN (LEVEL 12')  
SCALE: 3/16" = 1'-0"





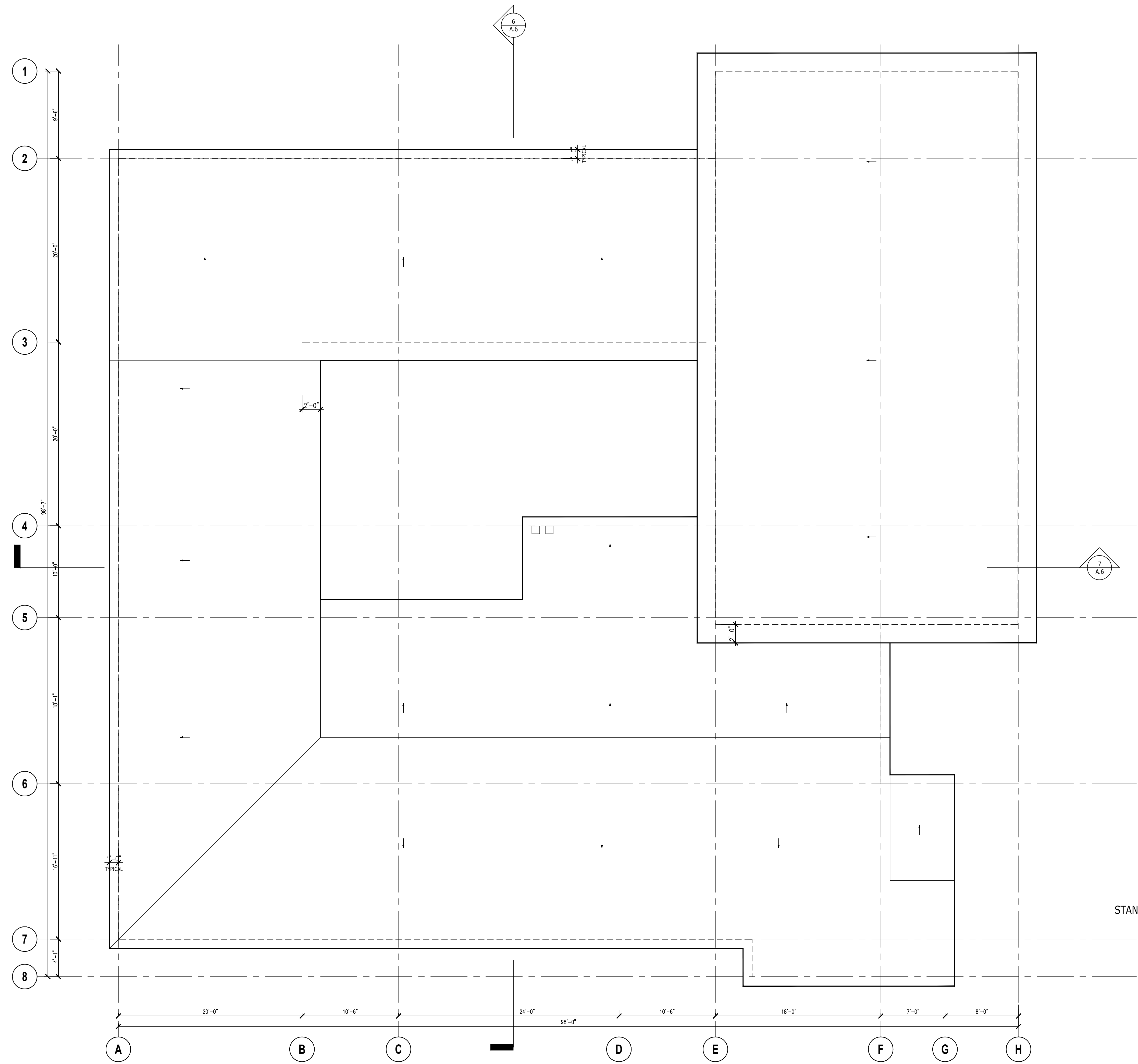
Matthew Hum  
285 MULLEN AVENUE  
SAN FRANCISCO, CA 94110  
(925) 389-8728

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NEW HOME AT 2445 OLD  
CALAVARAS ROAD (LOT A)  
MILPITAS, CA 95035

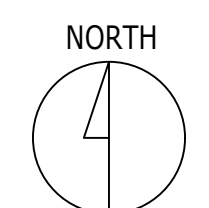
ROOF PLAN

A.3



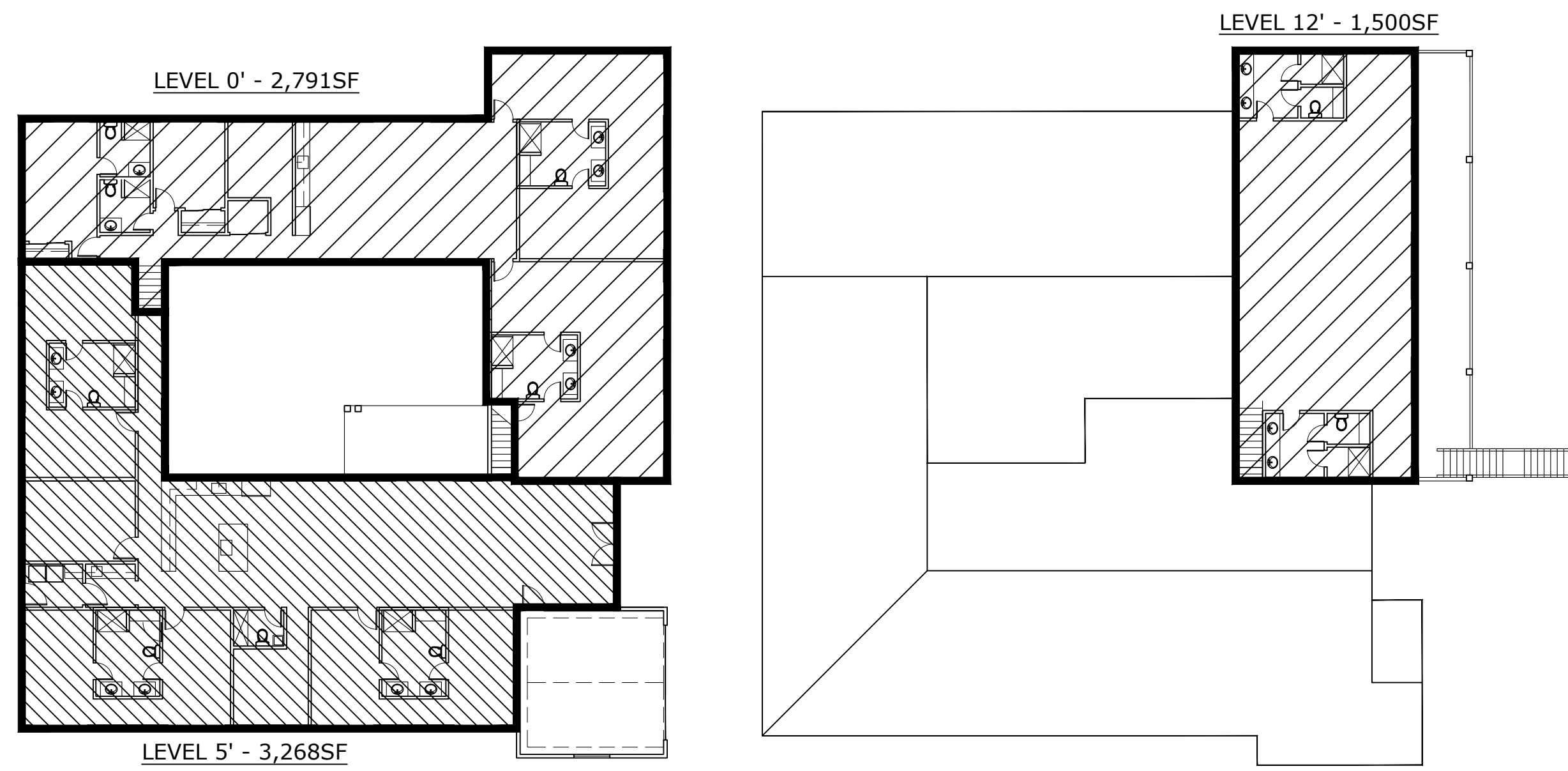
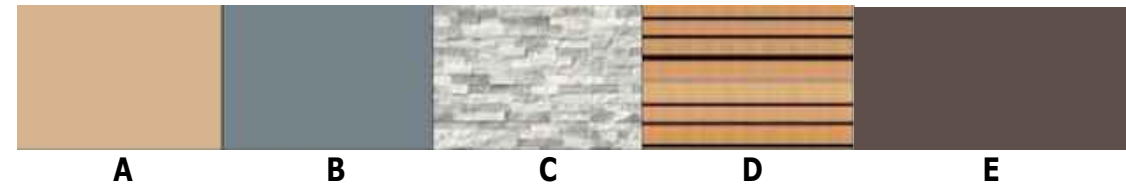
**1** ROOF PLAN  
SCALE: 3/16" = 1'-0"

12  
3/8  
STANDING SEAM METAL ROOF





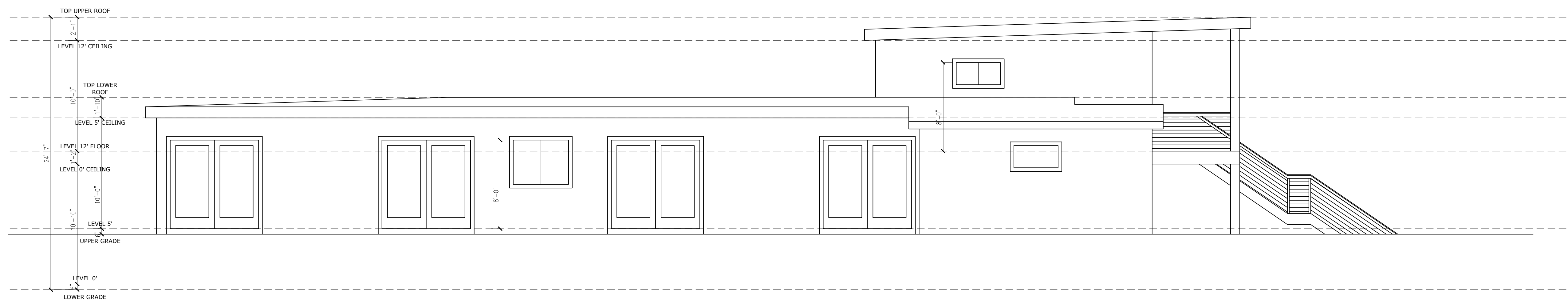
**MATERIALS:**  
 A: BODY - PALM DESERT TAN (LRV 43.07)  
 B: EAVES/FASCIA - WOLF GREY (LRV 19.89)  
 C: ROOF - STANDING SEAM METAL ROOF (WOLF GREY - LRV 19.89)  
 D: STONE VENEER - MSI ALASKA GRAY (LRV44.42)  
 E: WOOD PANEL GARAGE DOOR (LRV 35.71)  
 F: TRIM - STONE BROWN (2112-30)



**3 AREA DIAGRAM**  
 SCALE: N.T.S.



**1 EAST ELEVATION**  
 SCALE: 3/16" = 1'-0"



**2 SOUTH ELEVATION**  
 SCALE: 3/16" = 1'-0"

**Matthew Hum**  
 285 MULLEN AVENUE  
 SAN FRANCISCO, CA 94110  
 (925) 389-8728

12.20.23 | DESIGN REVIEW

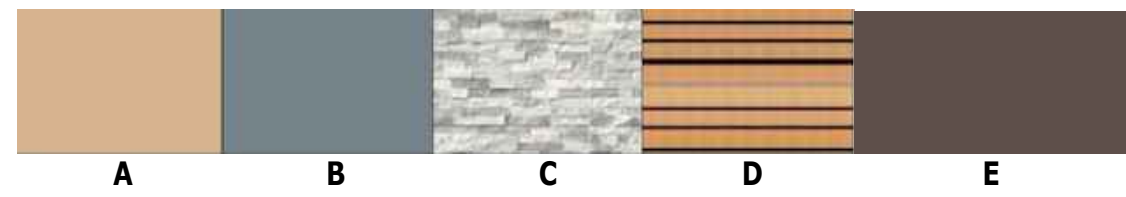
NEW HOME AT 2445 OLD CALAVARAS ROAD (LOT A)  
 MILPITAS, CA 95035

EXTERIOR ELEVATIONS

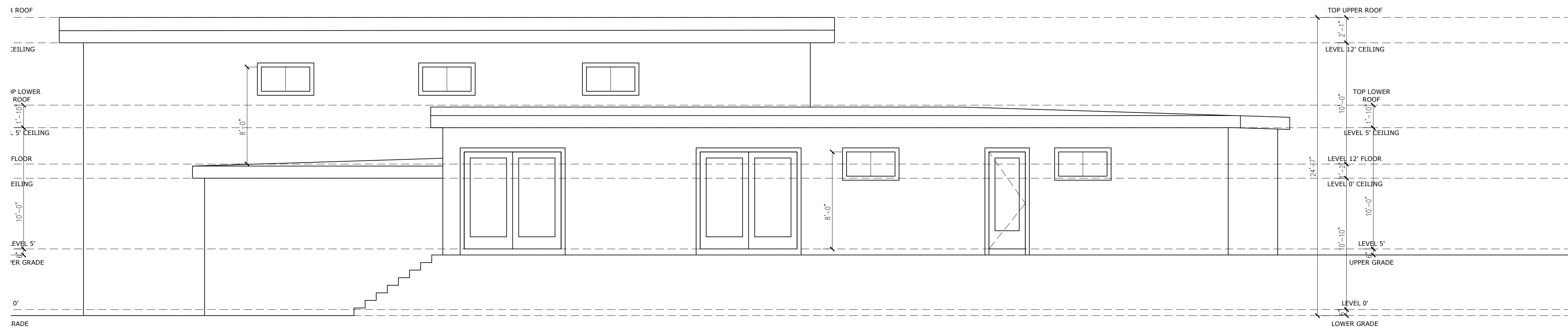
A.4



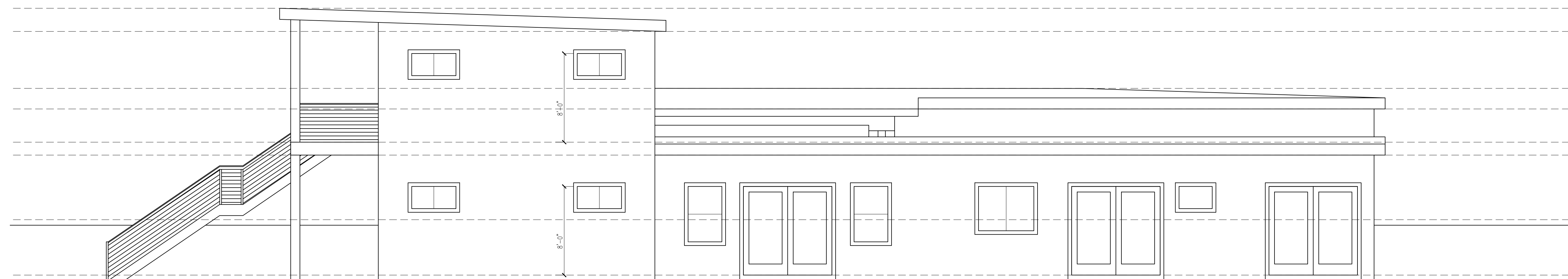
**MATERIALS:**  
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 B: EAVES/FASCIA - WOLF GREY (LRV 19.89)  
 ROOF - STANDING SEAM METAL ROOF (WOLF GREY - LRV 19.89)  
 C: STONE VENEER - MSI ALASKA GRAY (LRV44.42)  
 D: WOOD PANEL GARAGE DOOR (LRV 35.71)  
 E: TRIM - STONE BROWN (2112-30)



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 285 MULLEN AVENUE  
 SAN FRANCISCO, CA 94110  
 (925) 389-8728



**1 WEST ELEVATION**  
 SCALE: 3/16" = 1'-0"



**2 NORTH ELEVATION**  
 SCALE: 3/16" = 1'-0"

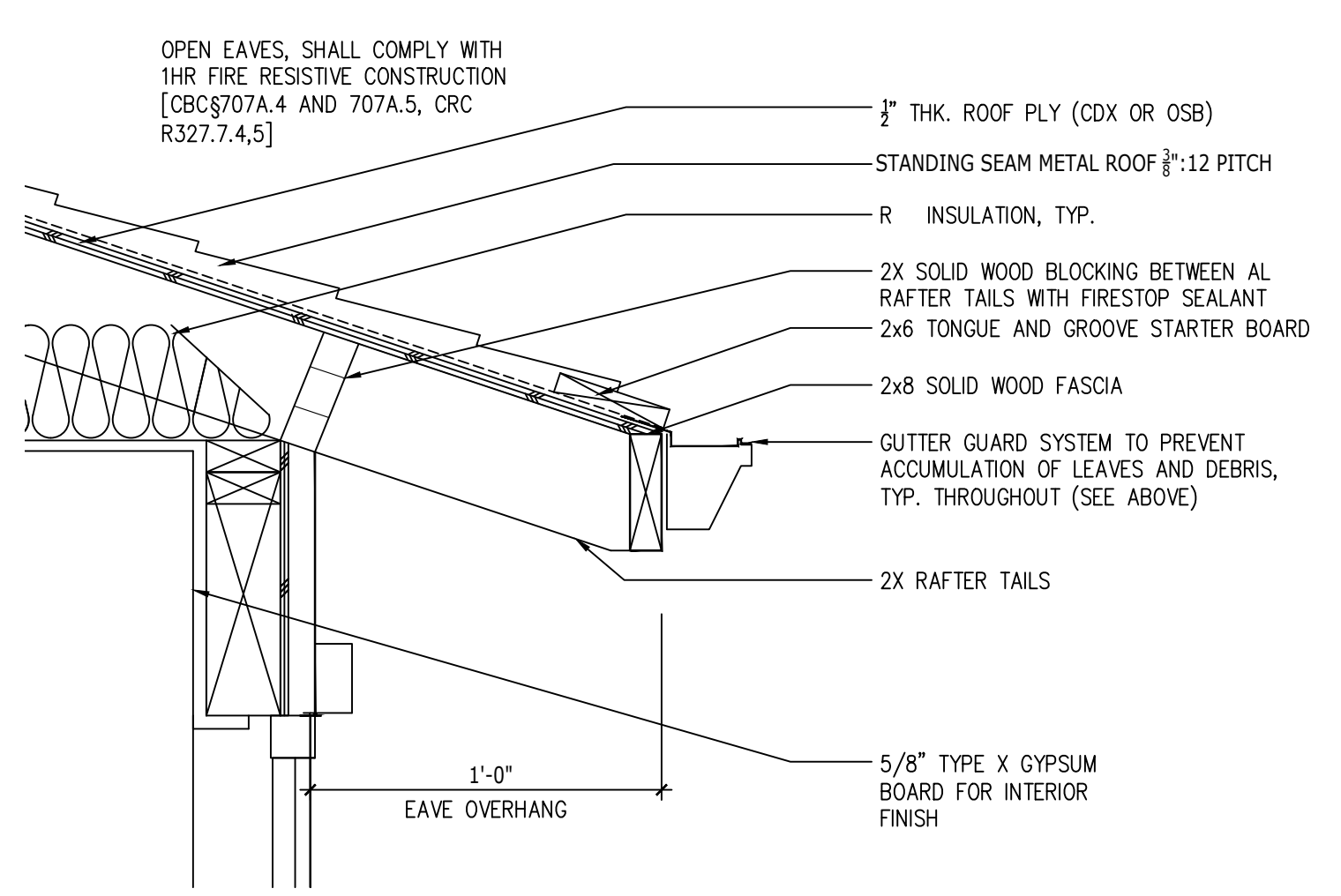
12.20.23 | DESIGN REVIEW

NEW HOME AT 2445 OLD CALAVARAS ROAD (LOT A)  
 MILPITAS, CA 95035

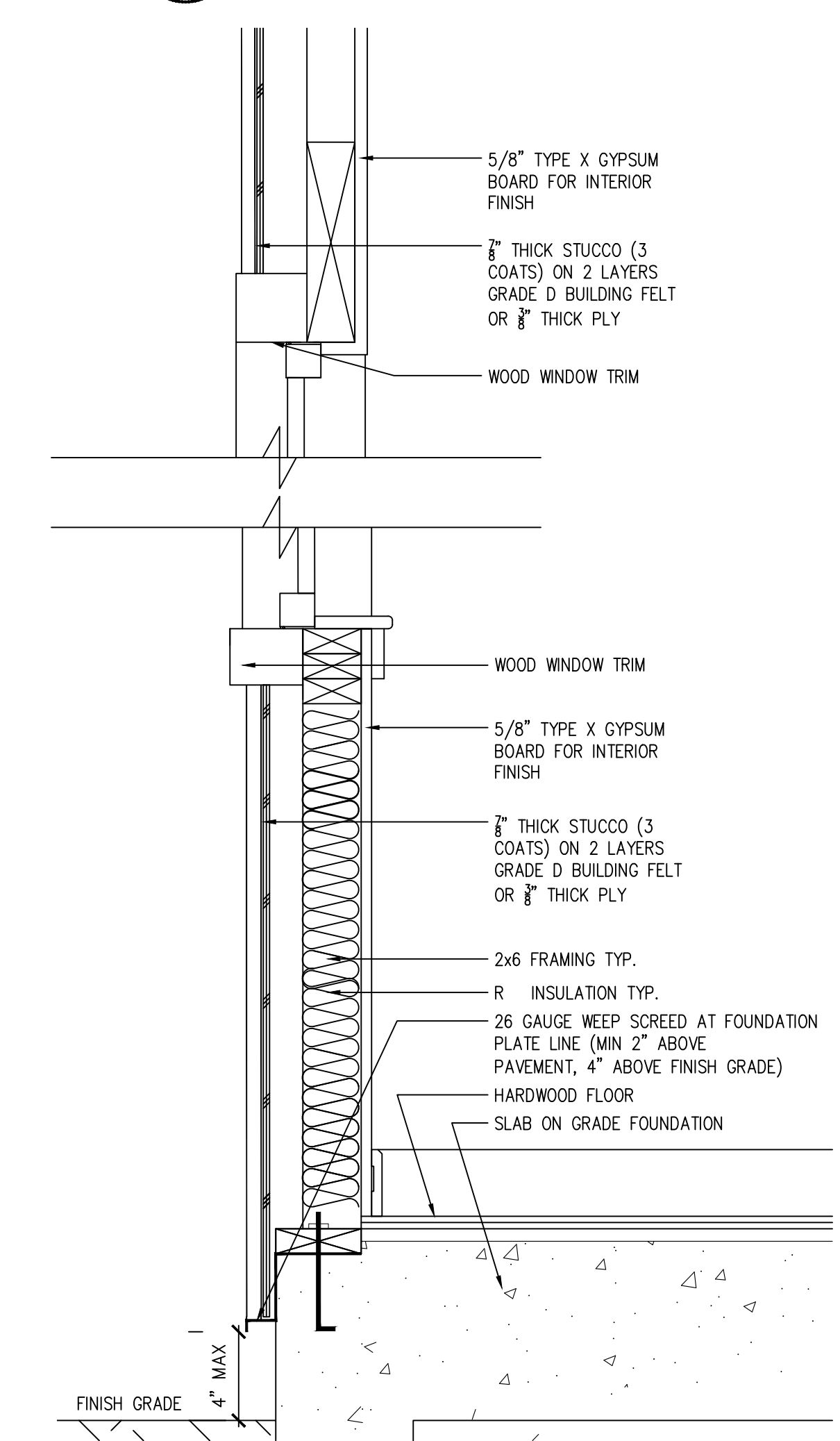
EXTERIOR ELEVATIONS

A.5

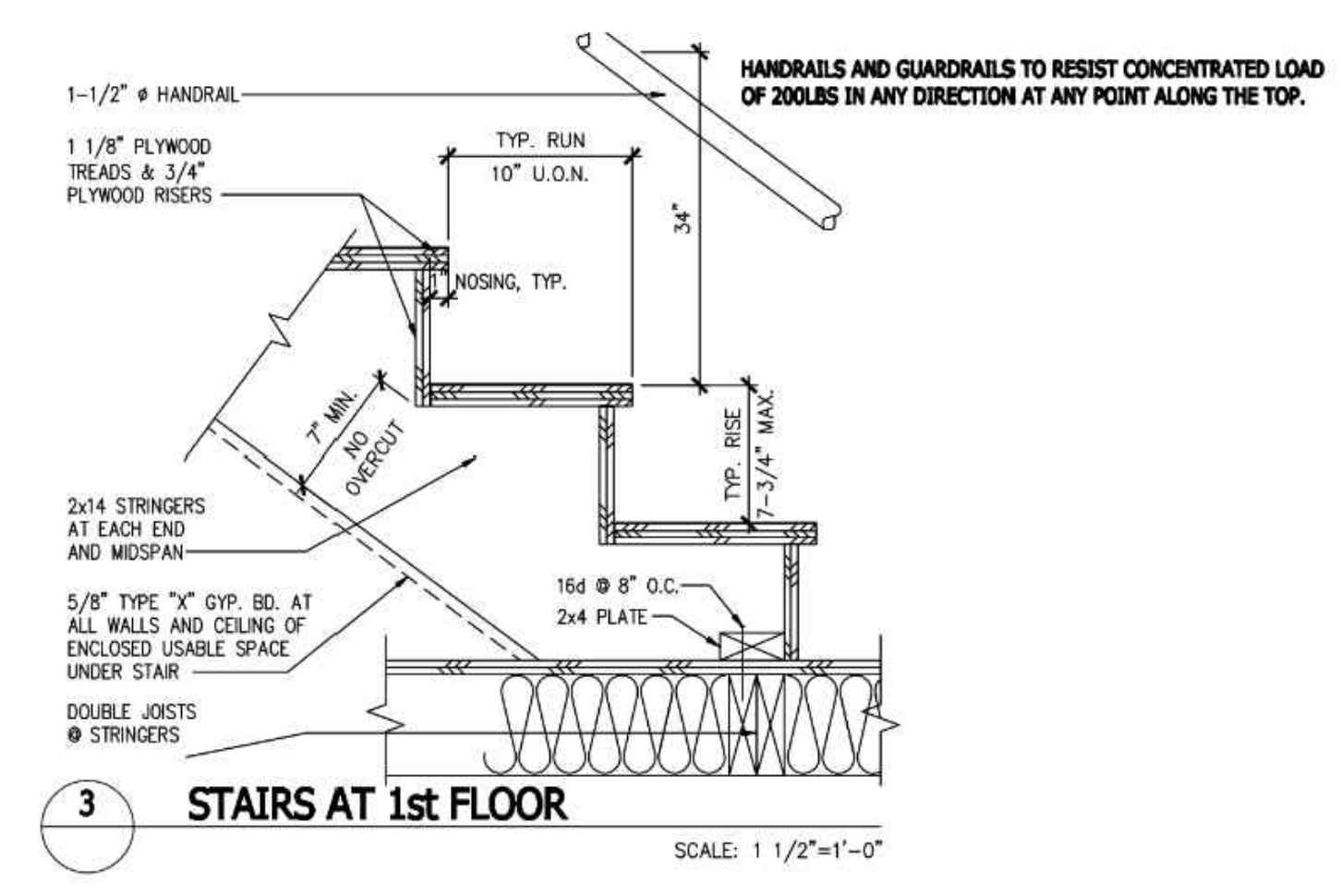




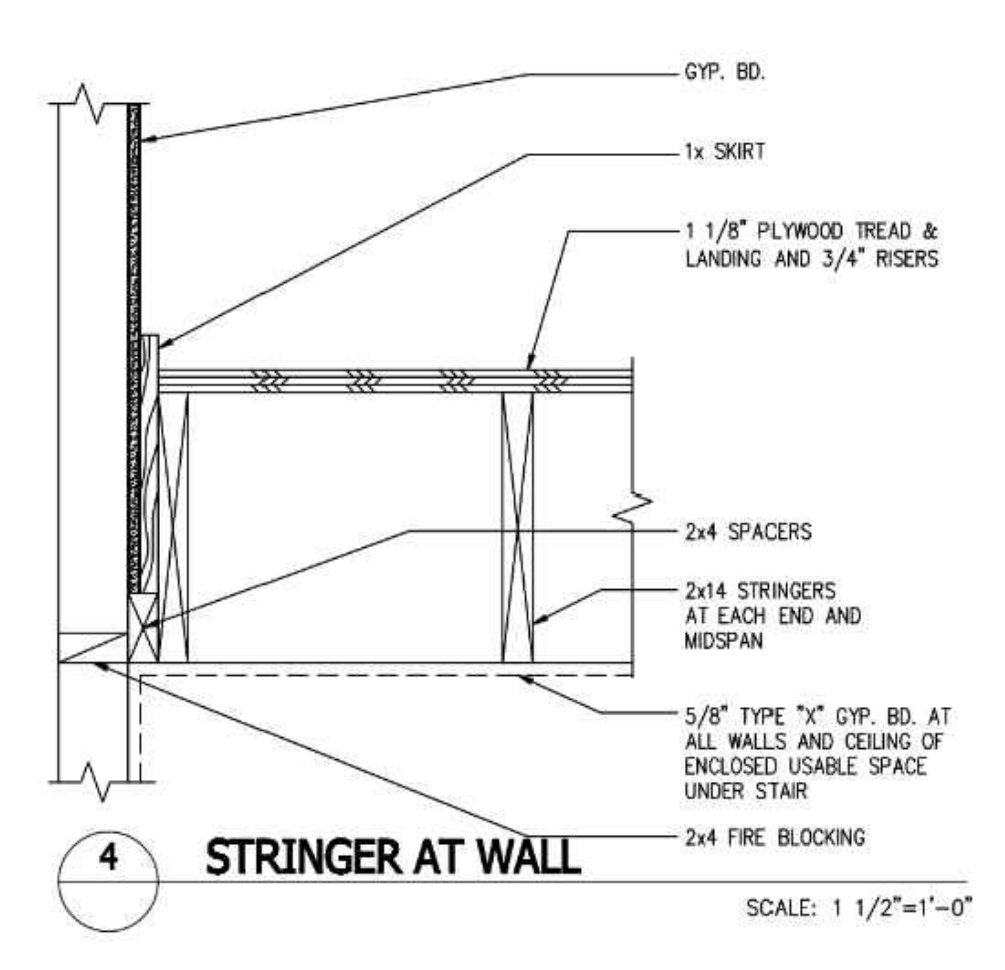
**1 EAVE DETAIL**  
 SCALE: 1-1/2" = 1'-0"



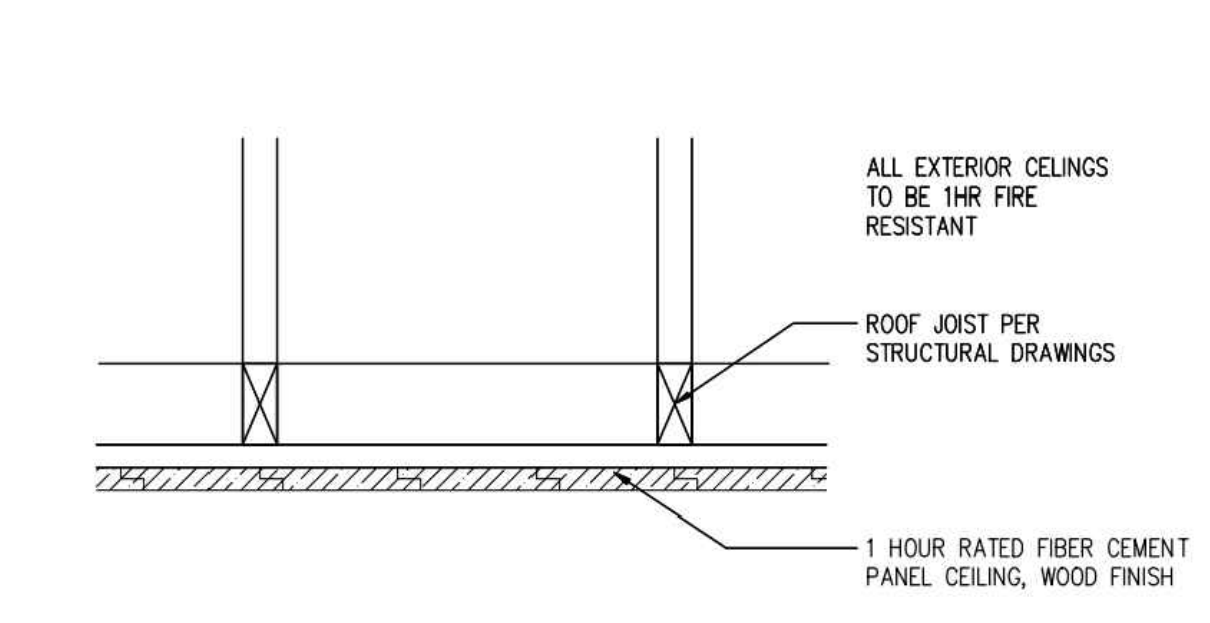
**2 WALL SECTION**  
 SCALE: 1-1/2" = 1'-0"



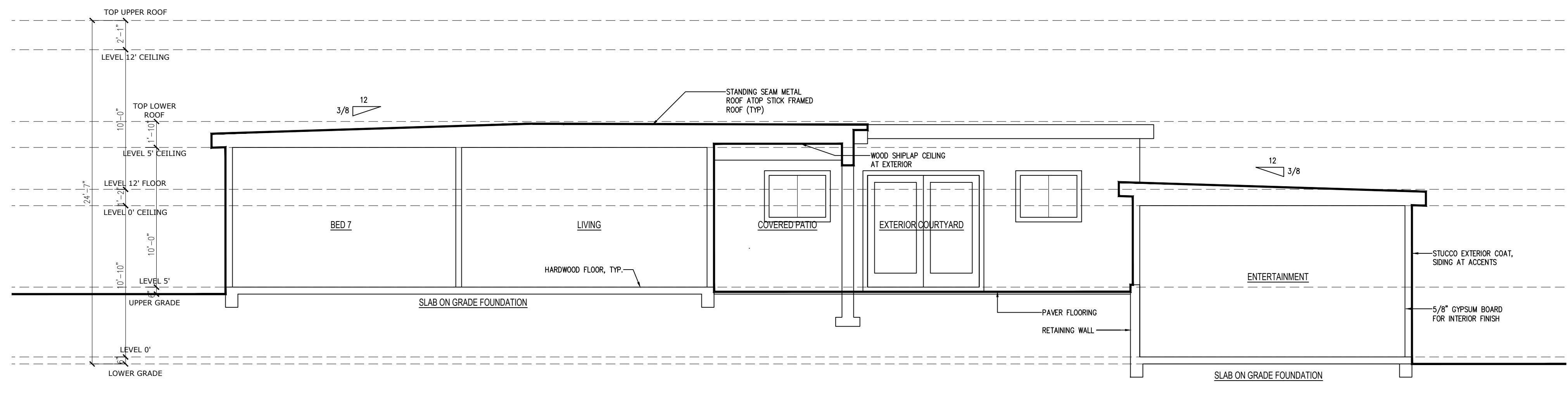
**3 STAIRS AT 1st FLOOR**  
 SCALE: 1 1/2"=1'-0"



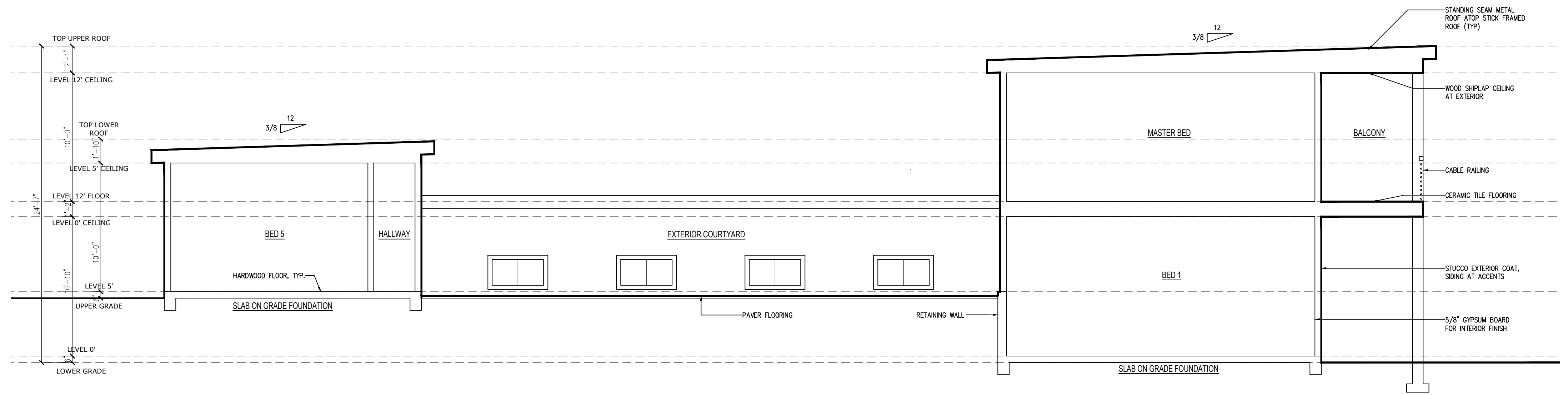
**4 STRINGER AT WALL**  
 SCALE: 1 1/2"=1'-0"



**5 TYPICAL PORCH/PATIO CEILING**  
 SCALE: N.T.S.



**6 BUILDING SECTION**  
 SCALE: 3/16" = 1'-0"



**7 BUILDING SECTION**  
 SCALE: 3/16" = 1'-0"

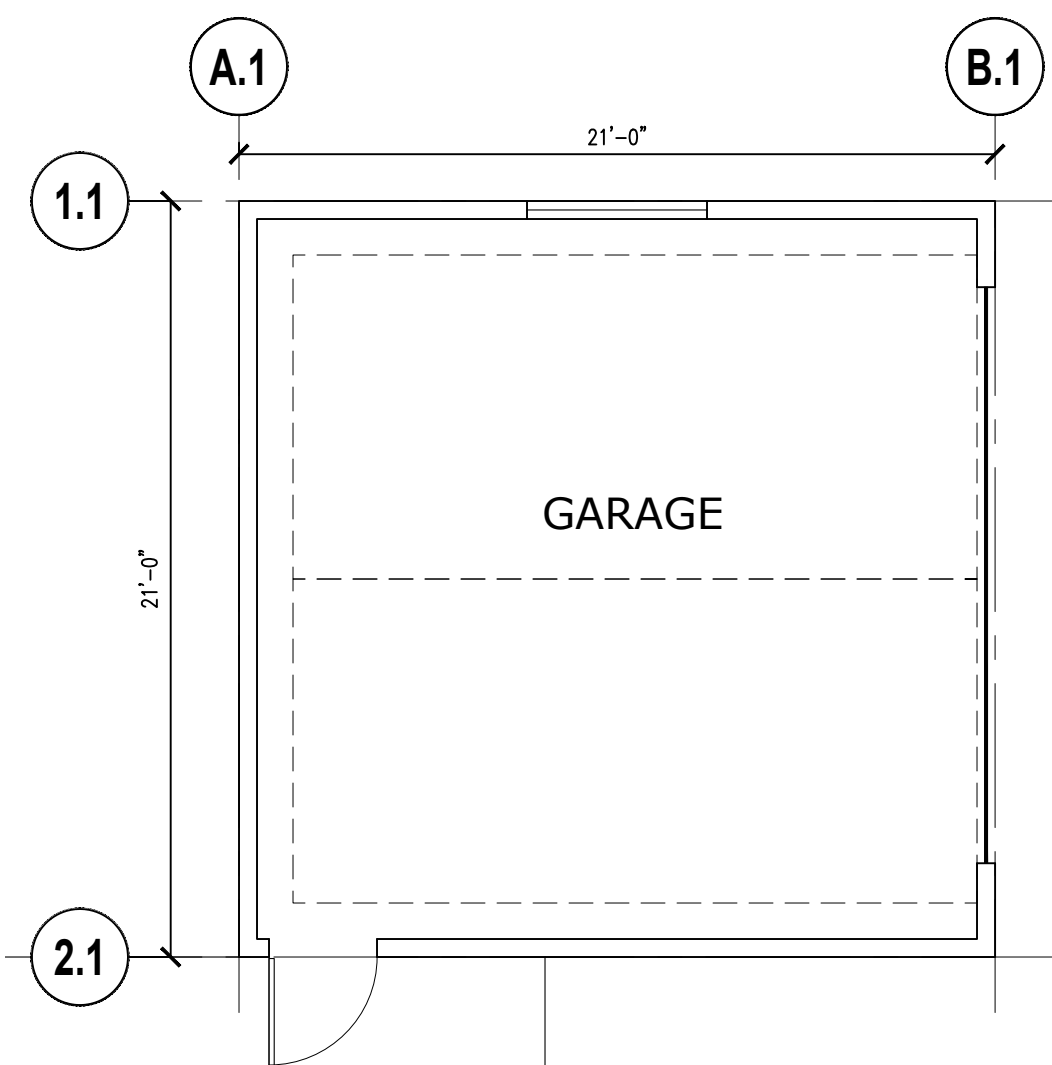
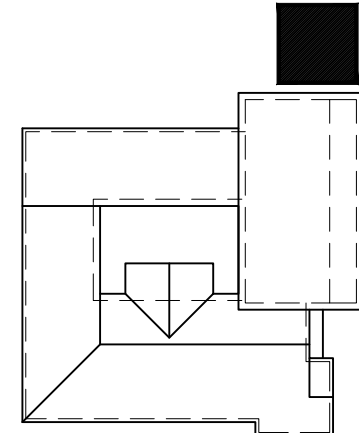
12.20.23 | DESIGN REVIEW

NEW HOME AT 2445 OLD CALAVARAS ROAD (LOT A)  
 MILPITAS, CA 95035

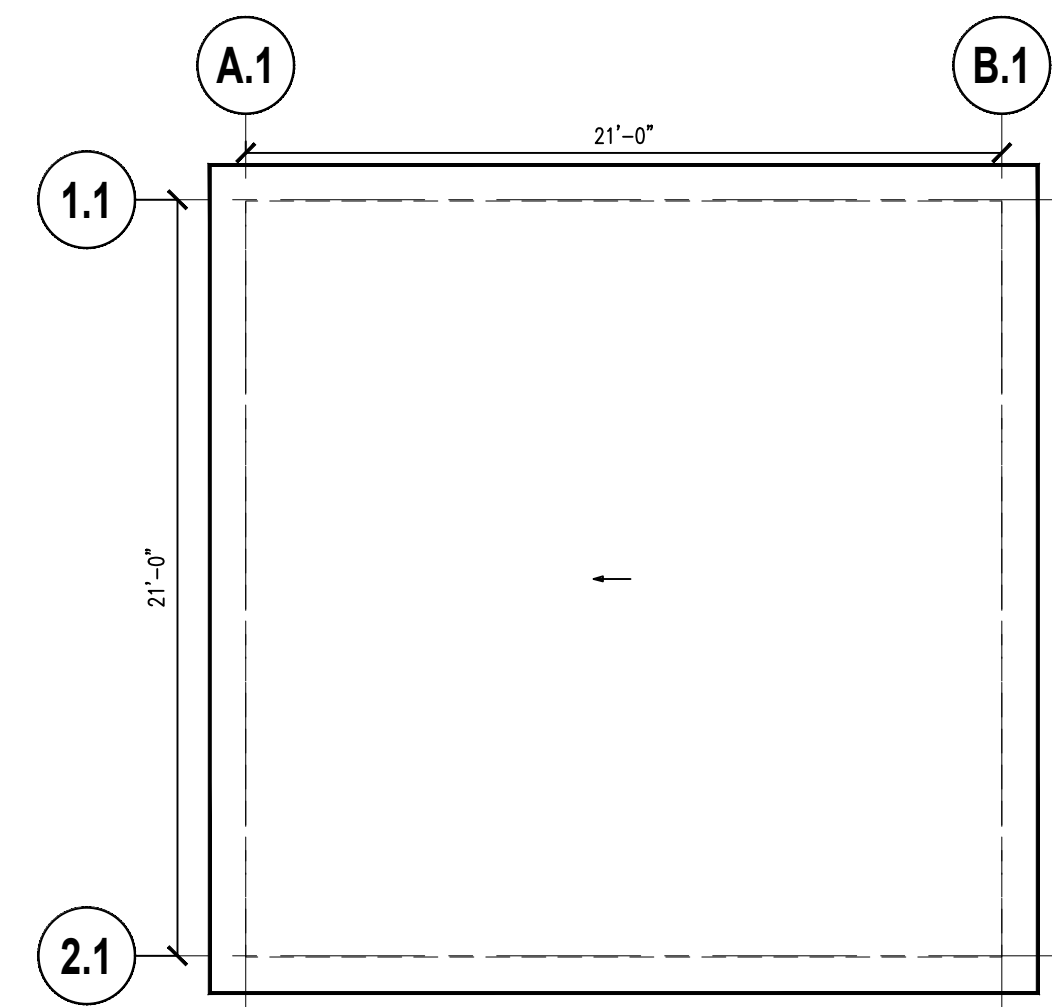
**BUILDING DETAILS AND SECTION**



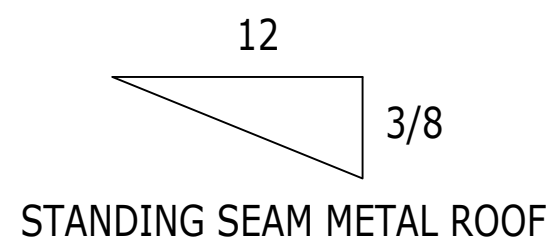
KEY PLAN



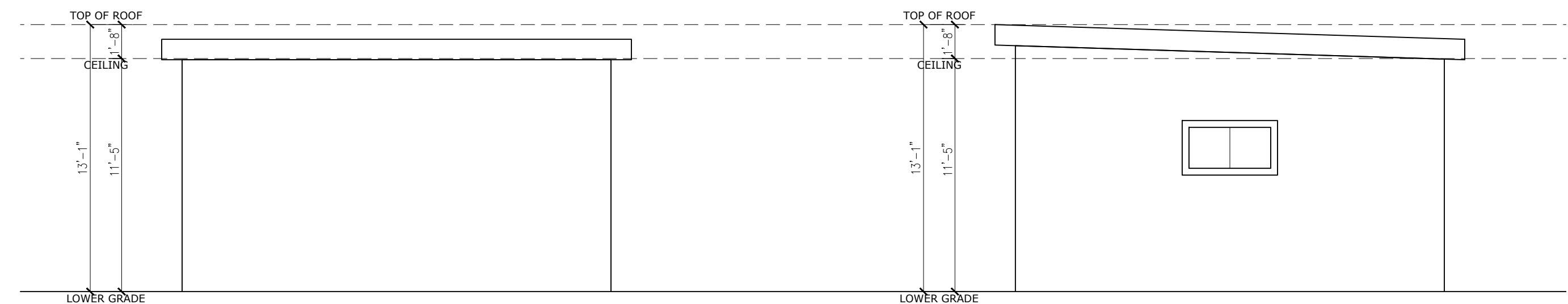
**1 FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"



**2 ROOF PLAN**  
 SCALE: 3/16" = 1'-0"

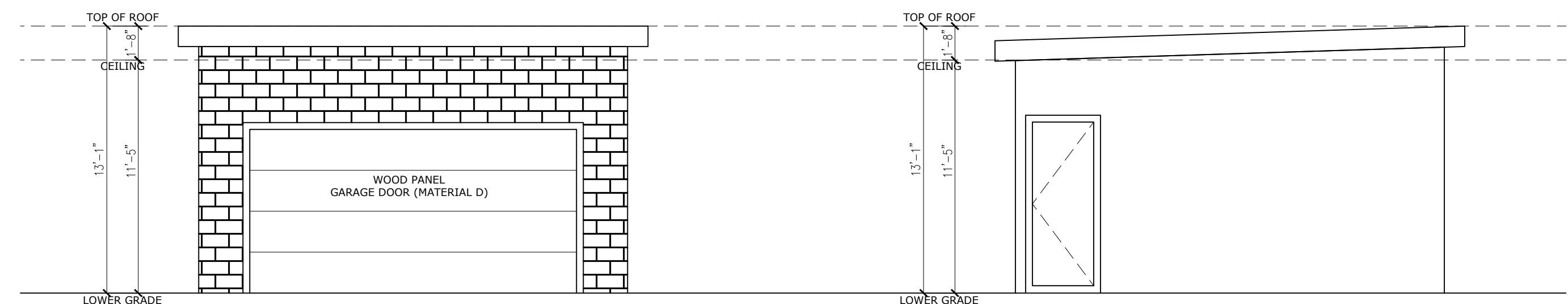


STANDING SEAM METAL ROOF



**5 WEST ELEVATION**  
 SCALE: 3/16" = 1'-0"

**6 NORTH ELEVATION**  
 SCALE: 3/16" = 1'-0"



**3 EAST ELEVATION**  
 SCALE: 3/16" = 1'-0"

**4 SOUTH ELEVATION**  
 SCALE: 3/16" = 1'-0"

12.20.23 | DESIGN REVIEW

NEW HOME AT 2445 OLD CALAVARAS ROAD (LOT A)  
 MILPITAS, CA 95035

DETACHED GARAGE

A.7

































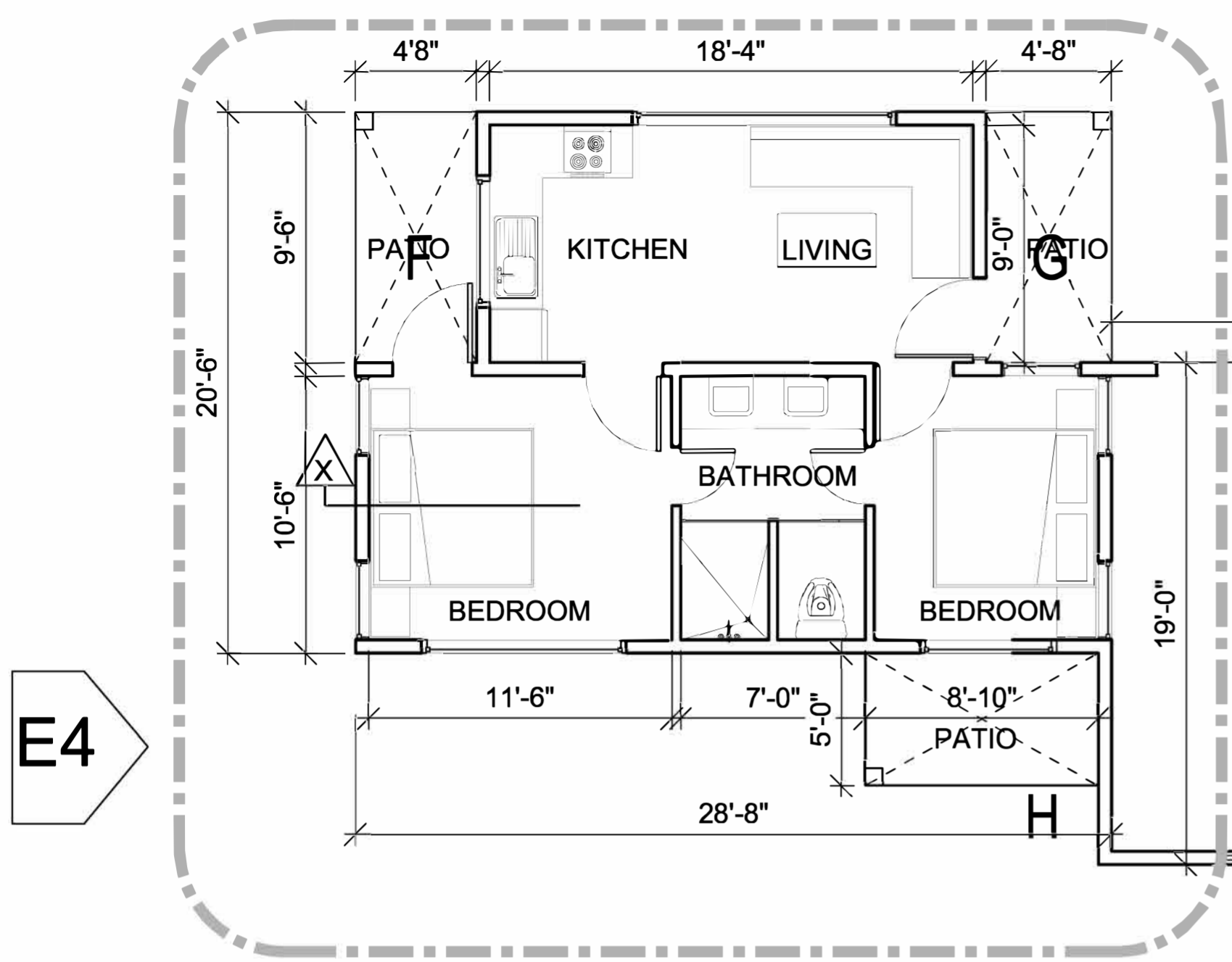












**JADU UNIT**

COVERED AREA CALCULATIONS		
ID	SIZE	Area ( SQFT )
ADU	42'0" x 39'0" - AREA ( A+B+C+E ) =(42x39)-(76.188+76.188+82.75+204)	1198.75
JADU	28'8" x 20'6" - AREA ( F+G ) =(28'8"x20'6")-(44.33+44.33)	499.01
TOTAL UNIT AREA ADU+JADU =		1697.76 SQFT

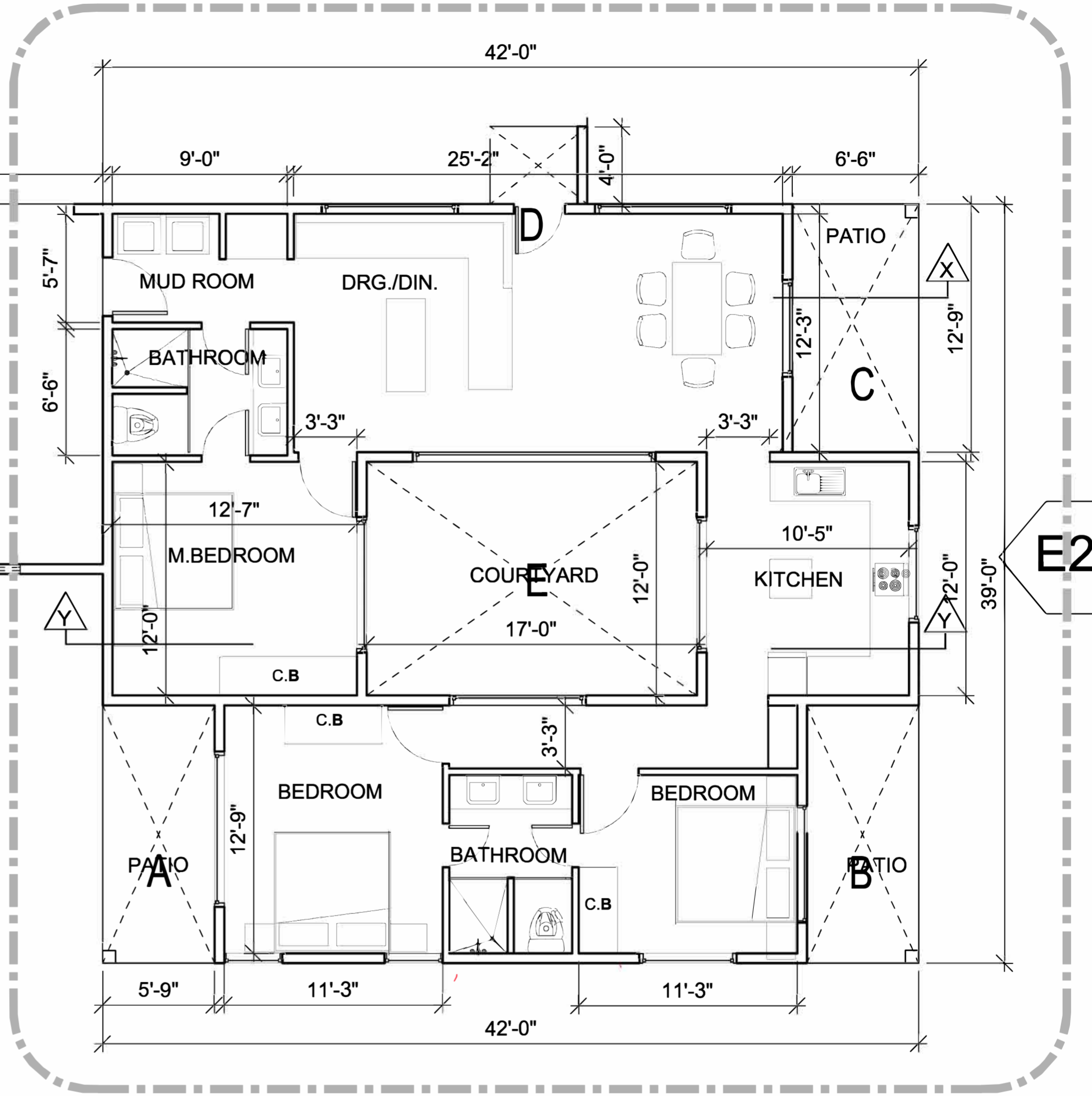
COVERED & PARTIALLY ENCLOSED AREA CALCULATIONS			
ID		size	Area ( SQFT )
A	ADU	5'9" x 13'3"	76.188
B	ADU	5'9" x 13'3"	76.188
C	ADU	6'6"x12'9"	82.875
D	ADU	5'0" x 4'0"	20.00
TOTAL ADU			255.251 SQFT
F	JADU	4'8" x 9'6"	44.33
G	JADU	4'8" x 9'6"	44.33
H	JADU	8'10"x5'0"	44.17
TOTAL JADU			132.83 SQFT
TOTAL ADU+JADU			388.081 SQFT

J		GARAGE AREA= 21'0" x 19'0"	399 SQFT
---	--	----------------------------	----------

E1

E4

E3



**ADU UNIT**

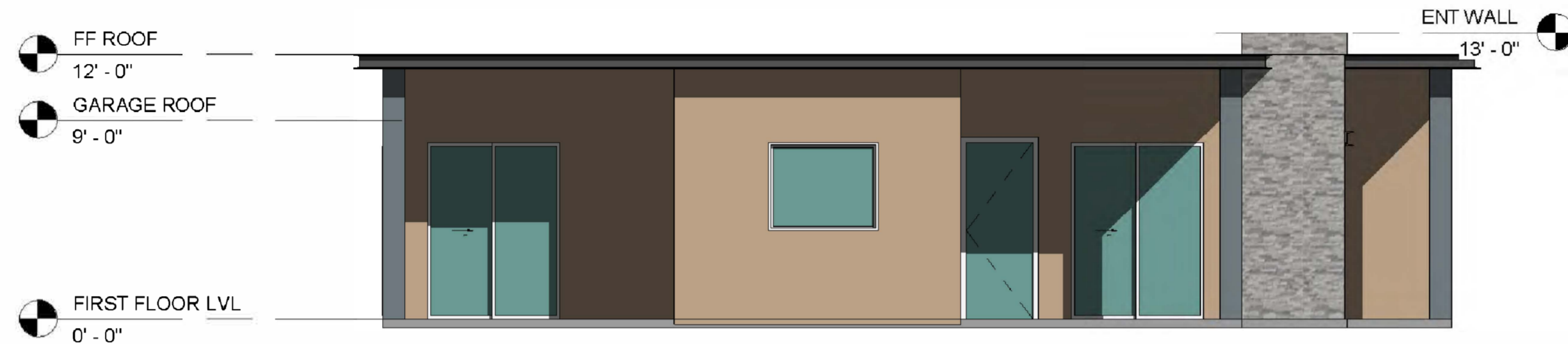
E2







**ELEVATION : E1**



**ELEVATION : E2**



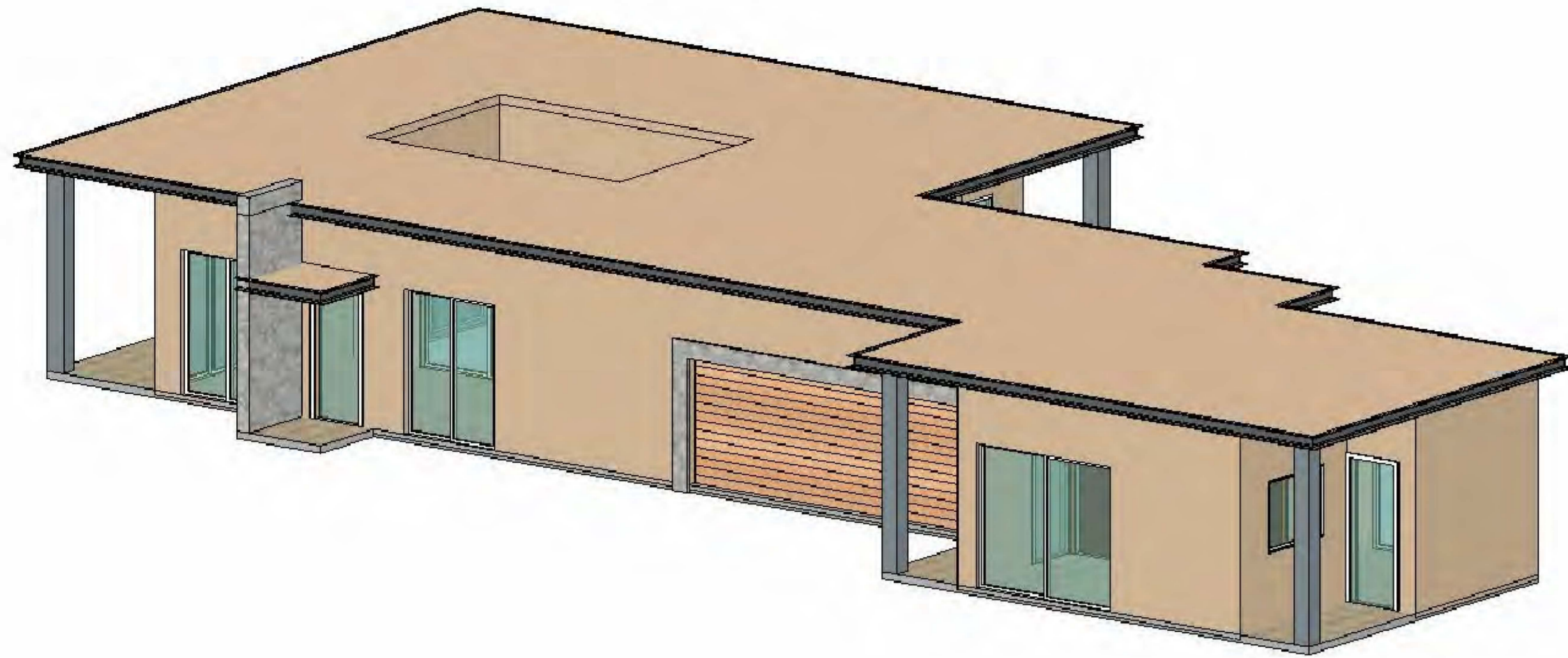
**ELEVATION : E3**



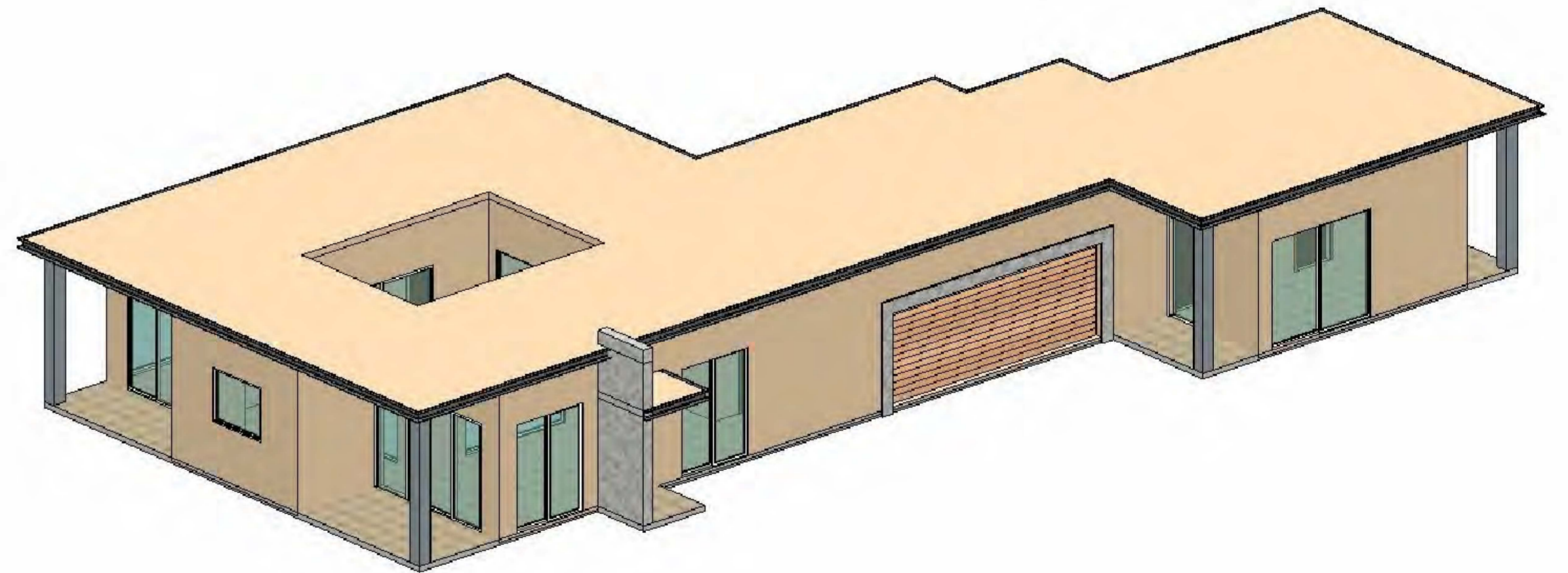
**ELEVATION : E4**

COLOR AND MATERIAL PALETTE				
WALL CLADDING	METAL ROOFING, GUTTER, EAVES	ENTRANCE WALL	GARAGE DOOR	DOOR, WINDOW, FRAME, TRIMS
PALM DESERT TAN ( LRV43.07 )	WOLF GREY ( LRV 19.89 )	MSI ALASKA GREY ( LRV 44.42 )	WOOD FINISH ( LRV 35.71 )	WHITE ( LRV 99.2 )

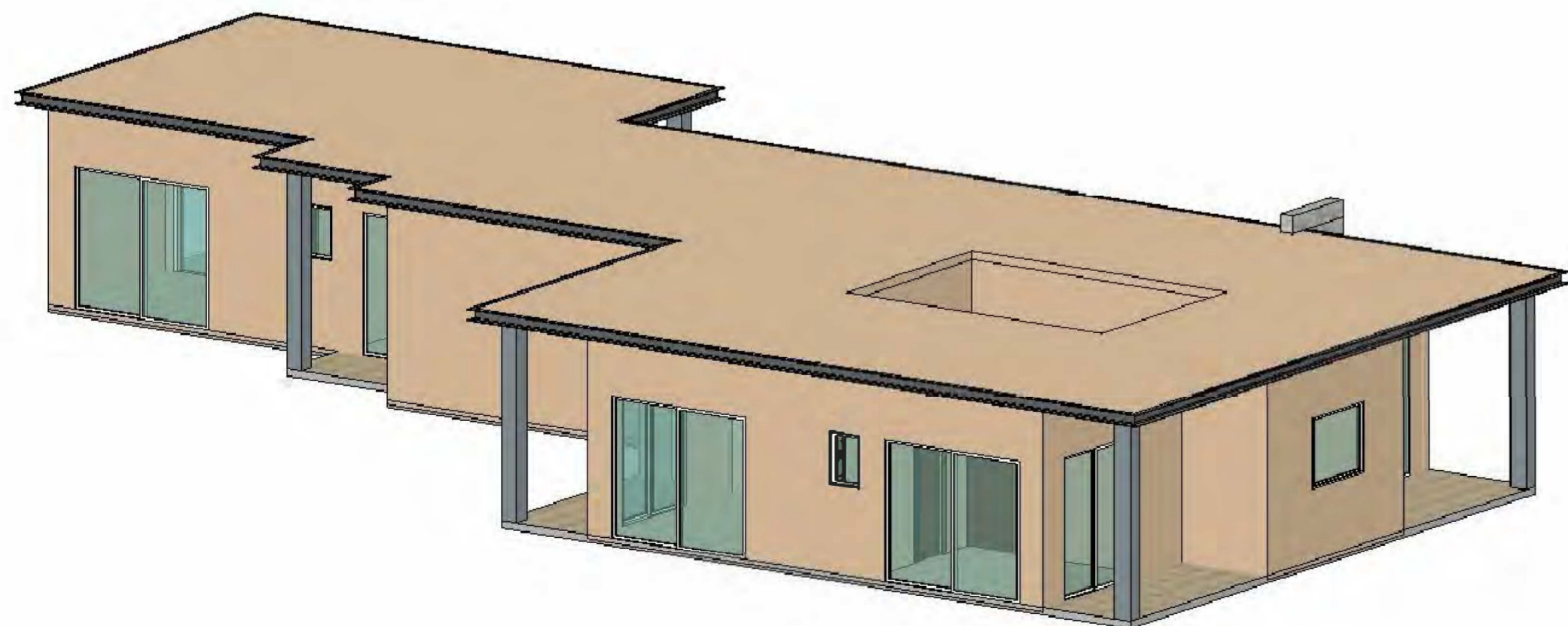




**ADU ENTRY SIDE VIEW E1**



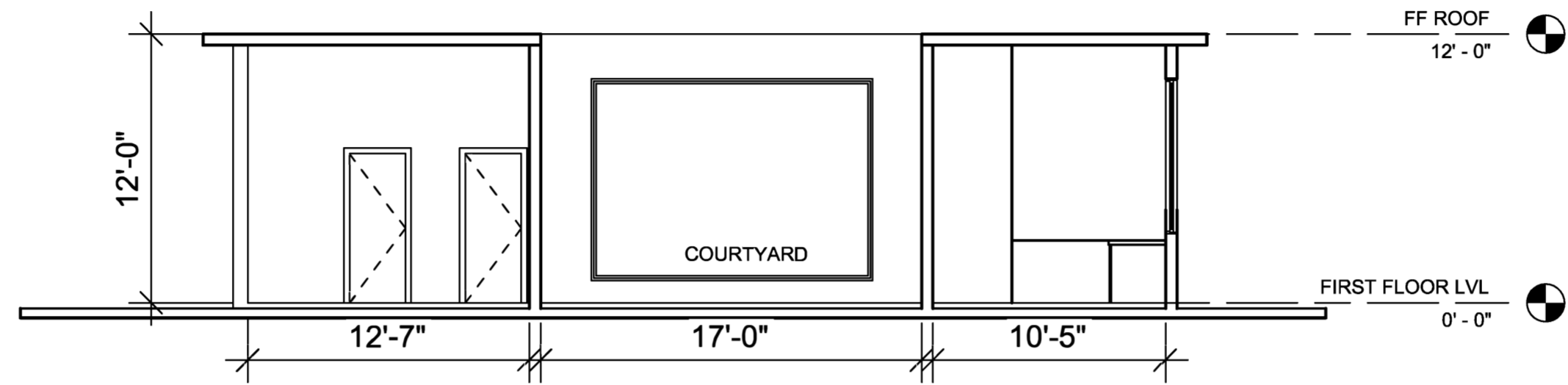
**GARAGE SIDE VIEW E4**



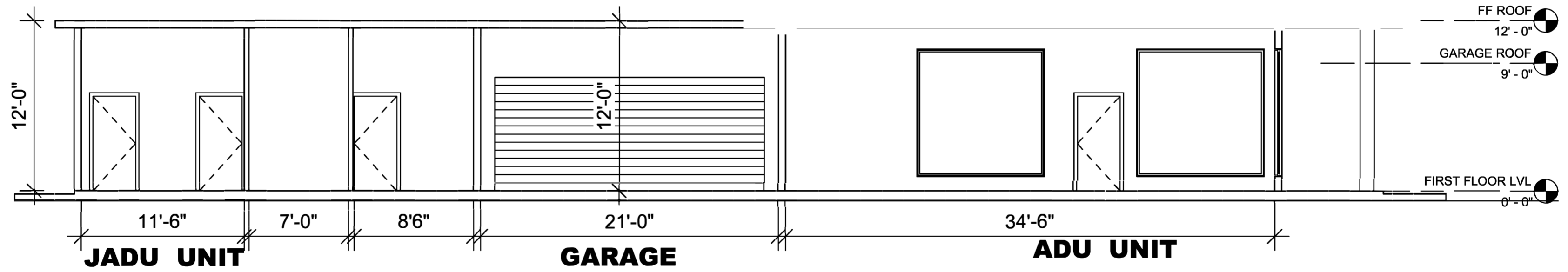
**E VIEW E2**

COLOR AND MATERIAL PALETTE				
WALL CLADDING	METAL ROOFING, GUTTER, EAVES	ENTRANCE WALL	GARAGE DOOR	DOOR, WINDOW, FRAME, TRIMS
PALM DESERT TAN ( LRV43.07 )	WOLF GREY ( LRV 19.89 )	MSI ALASKA GREY ( LRV 44.42 )	WOOD FINISH ( LRV 35.71 )	WHITE ( LRV 99.2 )

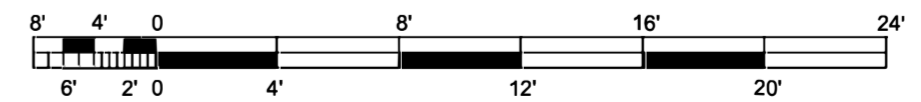




**SECTION : Y-Y**



**SECTION : X-X**



GOKULAM, LLC  
2425 OLD CALAVERAS ROAD, MILPITAS,  
CA 95035

AJAY GOYAL  
748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337

DRAWN BY:  
NEHA

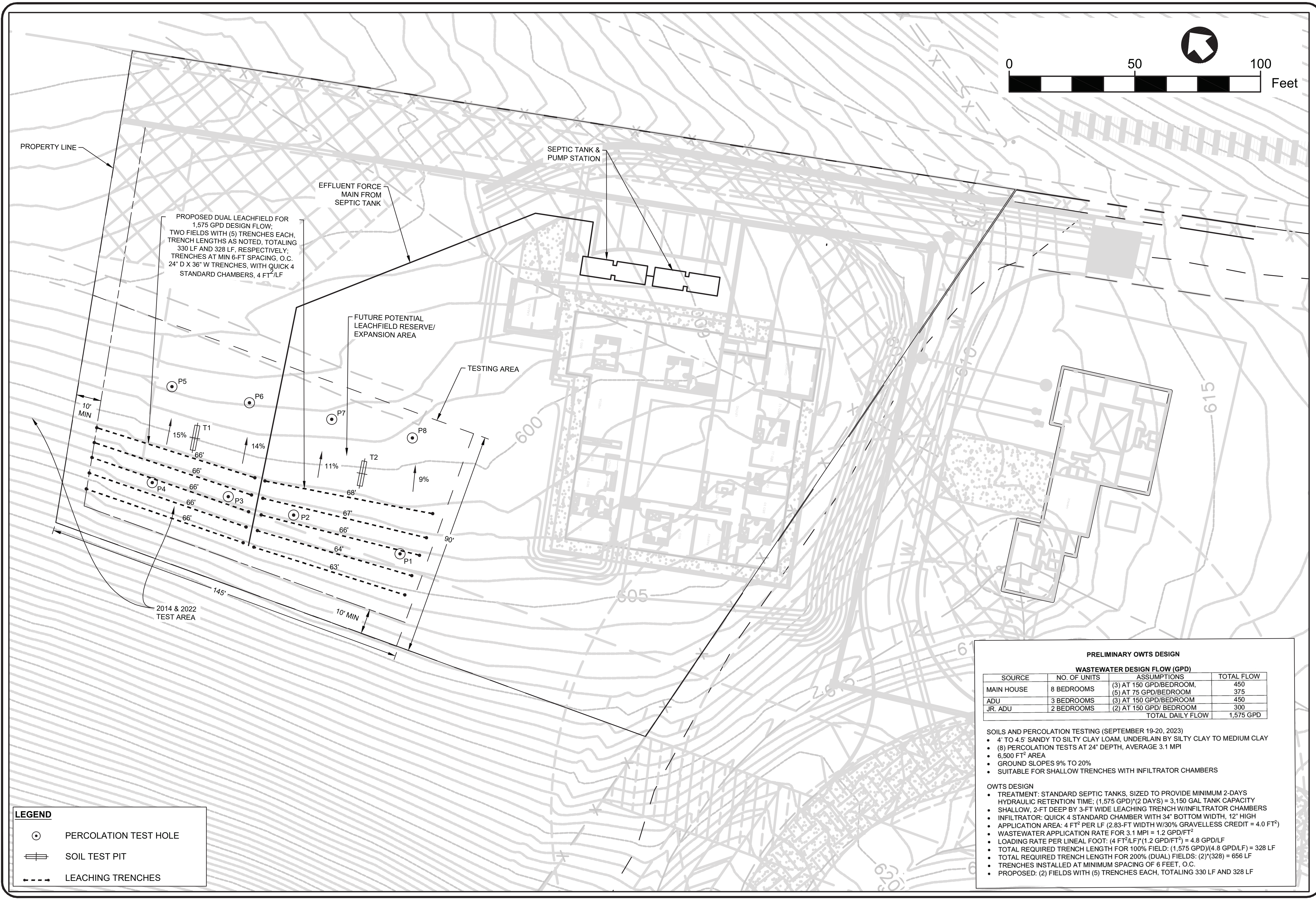
DATE: 07-02-2021  
SCALE: 1:50

LOCATION:  
LOT A IN  
APN029-34-004

SUBJECT:  
LOT A: ADU, JADU UNIT  
SECTIONS

DRAWING NO. :  
A03





PROPOSED DUAL LEACHFIELD FOR 1,575 GPD DESIGN FLOW; TWO FIELDS WITH (5) TRENCHES EACH, TRENCH LENGTHS AS NOTED, TOTALING 330 LF AND 328 LF, RESPECTIVELY; TRENCHES AT MIN 6-FT SPACING, O.C. 24" D X 36" W TRENCHES, WITH QUICK 4 STANDARD CHAMBERS, 4 FT<sup>2</sup>/LF

EFFLUENT FORCE MAIN FROM SEPTIC TANK

FUTURE POTENTIAL LEACHFIELD RESERVE/ EXPANSION AREA

TESTING AREA

2014 & 2022 TEST AREA

**LEGEND**

- ⊙ PERCOLATION TEST HOLE
- ≡ SOIL TEST PIT
- - - LEACHING TRENCHES

**PRELIMINARY OWTS DESIGN**

WASTEWATER DESIGN FLOW (GPD)			
SOURCE	NO. OF UNITS	ASSUMPTIONS	TOTAL FLOW
MAIN HOUSE	8 BEDROOMS	(3) AT 150 GPD/BEDROOM,	450
		(5) AT 75 GPD/BEDROOM	375
ADU	3 BEDROOMS	(3) AT 150 GPD/BEDROOM	450
JR. ADU	2 BEDROOMS	(2) AT 150 GPD/ BEDROOM	300
TOTAL DAILY FLOW			1,575 GPD

SOILS AND PERCOLATION TESTING (SEPTEMBER 19-20, 2023)

- 4' TO 4.5' SANDY TO SILTY CLAY LOAM, UNDERLAIN BY SILTY CLAY TO MEDIUM CLAY
- (8) PERCOLATION TESTS AT 24" DEPTH, AVERAGE 3.1 MPI
- 6,500 FT<sup>2</sup> AREA
- GROUND SLOPES 9% TO 20%
- SUITABLE FOR SHALLOW TRENCHES WITH INFILTRATOR CHAMBERS

OWTS DESIGN

- TREATMENT: STANDARD SEPTIC TANKS, SIZED TO PROVIDE MINIMUM 2-DAYS HYDRAULIC RETENTION TIME; (1,575 GPD)/(2 DAYS) = 3,150 GAL TANK CAPACITY
- SHALLOW, 2-FT DEEP BY 3-FT WIDE LEACHING TRENCH W/INFILTRATOR CHAMBERS
- INFILTRATOR: QUICK 4 STANDARD CHAMBER WITH 34" BOTTOM WIDTH, 12" HIGH
- APPLICATION AREA: 4 FT<sup>2</sup> PER LF (2.83-FT WIDTH W/30% GRAVELLESS CREDIT = 4.0 FT<sup>2</sup>)
- WASTEWATER APPLICATION RATE FOR 3.1 MPI = 1.2 GPD/FT<sup>2</sup>
- LOADING RATE PER LINEAL FOOT: (4 FT<sup>2</sup>/LF)\*(1.2 GPD/FT<sup>2</sup>) = 4.8 GPD/LF
- TOTAL REQUIRED TRENCH LENGTH FOR 100% FIELD: (1,575 GPD)/(4.8 GPD/LF) = 328 LF
- TOTAL REQUIRED TRENCH LENGTH FOR 200% (DUAL) FIELDS: (2)\*(328) = 656 LF
- TRENCHES INSTALLED AT MINIMUM SPACING OF 6 FEET, O.C.
- PROPOSED: (2) FIELDS WITH (5) TRENCHES EACH, TOTALING 330 LF AND 328 LF

P:\2023\2300111 GOKULAM 1.5-ACRE CAD MODEL\3007.01 - IIF - LOT A - 09:19:23\DESIGN-BASE\3007.01 - TOP.DWG LAST SAVED: 12/22/2023 PLOT DATE: 12/22/2023 PLOT STYLE: QUESTA-GRAYSCALE-255.CTB

**GOKULAM LLC**  
 OLD CALAVERAS RD, MILPITAS, CA

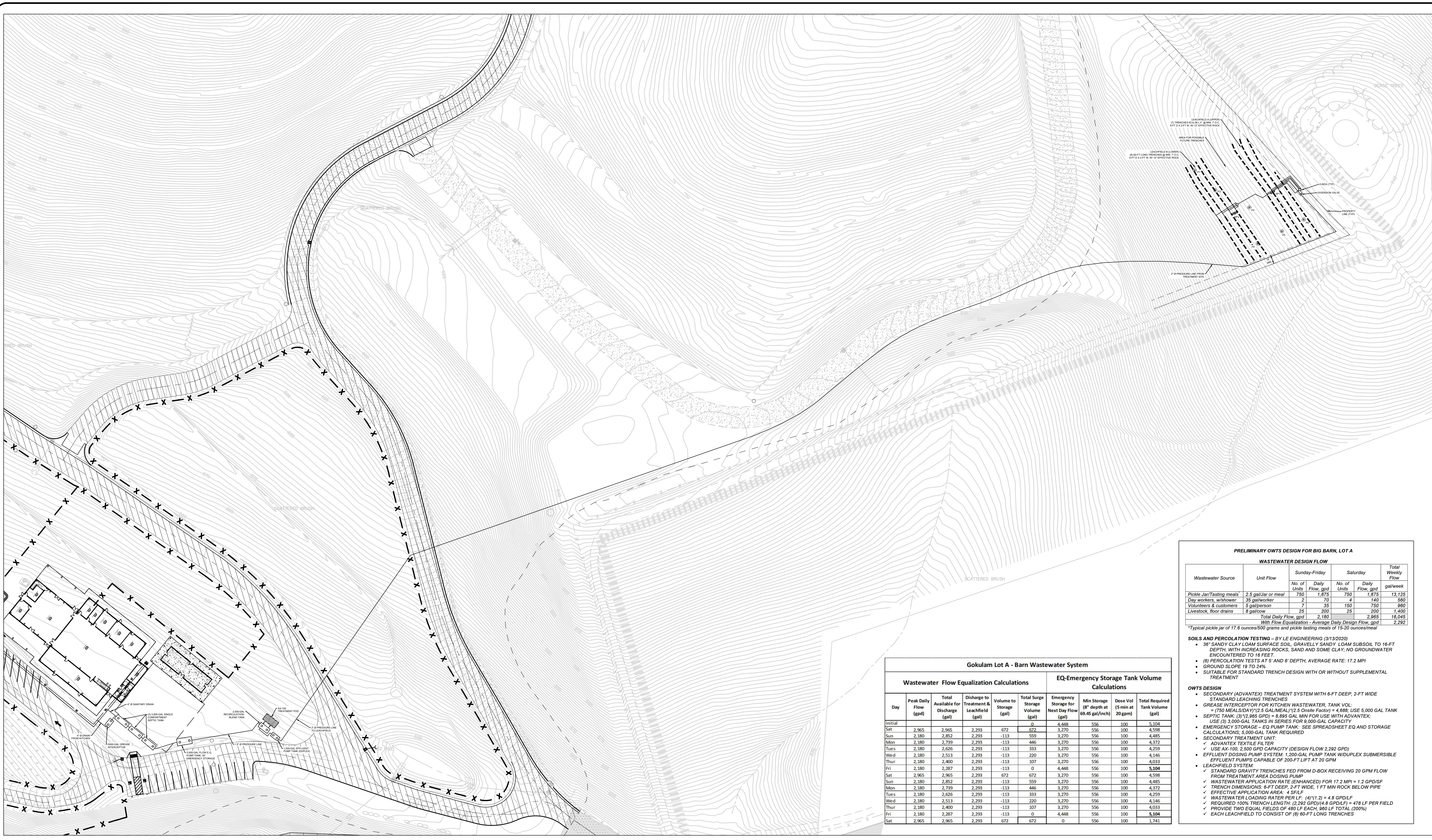
**QUESTA**  
 ENGINEERING CORP.  
 Civil Environmental & Water Resources  
 (510) 236-6114  
 FAX (510) 236-2423  
 P.O. Box 70356 1220 Brickyard Cove Road Point Richmond, CA 94807  
 questa@questaec.com

Design: NH  
 Drawn: PS  
 Checked: NH  
 Appr'd: NH

**SOIL & PERCOLATION LOCATIONS & PRELIMINARY LEACHFIELD LAYOUT**  
 APN: 029-34-004

**FIGURE SS1**





**PRELIMINARY OWTS DESIGN FOR BIG BARN, LOT A**

**WASTEWATER DESIGN FLOW**

Wastewater Source	Unit Flow	Sunday-Friday		Saturday		Total Weekly Flow
		No. of Units	Daily Flow, gpd	No. of Units	Daily Flow, gpd	
Pickle Jar/Tasting meals	2.5 gal/lar or meal	750	1,875	750	1,875	13,125
Day workers, w/shower	35 gal/worker	2	70	4	140	560
Volunteers & customers	5 gal/person	7	35	150	750	960
Livestock, floor drains	8 gal/coo	25	200	25	200	1,400
Total Daily Flow, gpd			2,160		2,965	16,045
With Flow Equalization - Average Daily Design Flow, gpd			2,292			2,292

\*Typical pickle jar of 17.6 ounces/500 grams and pickle tasting meals of 15-20 ounces/meal

**Gokulam Lot A - Barn Wastewater System**

Day	Wastewater Flow Equalization Calculations				EQ-Emergency Storage Tank Volume Calculations			
	Peak Daily Flow (gpd)	Total Available for Discharge (gal)	Discharge to Treatment & Leachfield (gal)	Volume to Storage (gal)	Emergency Storage for Next Day Flow (gal)	Min Storage (8" depth at 69.45 gal/inch)	Dose Vol (5 min at 20 gpm)	Total Required Tank Volume (gal)
Initial					4,485	556	100	5,104
Sat	2,965	2,965	2,293	672	3,270	556	100	4,598
Sun	2,180	2,852	2,293	-113	559	3,270	556	4,485
Mon	2,180	2,739	2,293	-113	446	3,270	556	4,372
Tues	2,180	2,626	2,293	-113	333	3,270	556	4,259
Wed	2,180	2,513	2,293	-113	220	3,270	556	4,146
Thur	2,180	2,400	2,293	-113	107	3,270	556	4,033
Fri	2,180	2,287	2,293	-113	0	4,485	556	5,104
Sat	2,965	2,965	2,293	672	3,270	556	100	4,598
Sun	2,180	2,852	2,293	-113	559	3,270	556	4,485
Mon	2,180	2,739	2,293	-113	446	3,270	556	4,372
Tues	2,180	2,626	2,293	-113	333	3,270	556	4,259
Wed	2,180	2,513	2,293	-113	220	3,270	556	4,146
Thur	2,180	2,400	2,293	-113	107	3,270	556	4,033
Fri	2,180	2,287	2,293	-113	0	4,485	556	5,104
Sat	2,965	2,965	2,293	672	672	0	556	1,741

- SOILS AND PERCOLATION TESTING - BY LE ENGINEERING (3/13/2020)**
- 36" SANDY CLAY LOAM SURFACE SOIL, GRAVELLY SANDY LOAM SUBSOIL TO 16-FT DEPTH, WITH INCREASING ROCKS, SAND AND SOME CLAY; NO GROUNDWATER ENCOUNTERED TO 16 FEET.
  - (6) PERCOLATION TESTS AT 5' AND 6' DEPTH, AVERAGE RATE: 17.2 MPI
  - GROUND SLOPE 19 TO 24%
  - SUITABLE FOR STANDARD TRENCH DESIGN WITH OR WITHOUT SUPPLEMENTAL TREATMENT
- OWTS DESIGN**
- SECONDARY (ADVANTEK) TREATMENT SYSTEM WITH 6-FT DEEP, 2-FT WIDE STANDARD LEACHING TRENCHES
  - GREASE INTERCEPTOR FOR KITCHEN WASTEWATER, TANK VOL: = (750 MEALS/DA)(1/2.5 GAL/MEAL)(12.5 Onsite Factor) = 4,688; USE 5,000 GAL TANK
  - SEPTIC TANK: (3)(12,965 GPD) = 8,985 GAL MIN FOR USE WITH ADVANTEK, USE (3) 3,000-GAL TANKS IN SERIES FOR 9,000-GAL CAPACITY
  - EMERGENCY STORAGE - EQ PUMP TANK: SEE SPREADSHEET EQ AND STORAGE CALCULATIONS; 5,000-GAL TANK REQUIRED
  - SECONDARY TREATMENT UNIT:
    - ADVANTEK TEXTILE FILTER
    - USE AX-100, 2,500 GPD CAPACITY (DESIGN FLOW 2,292 GPD)
  - EFFLUENT DOSING PUMP SYSTEM: 1,200-GAL PUMP TANK W/ DUXPLEX SUBMERSIBLE EFFLUENT PUMPS CAPABLE OF 200-FT LIFT AT 20 GPM
  - LEACHFIELD SYSTEM:
    - STANDARD GRAVITY TRENCHES FED FROM D-BOX RECEIVING 20 GPM FLOW FROM TREATMENT AREA DOSING PUMP
    - WASTEWATER APPLICATION RATE (ENHANCED) FOR 17.2 MPI = 1.2 GPD/SF
    - TRENCH DIMENSIONS: 6-FT DEEP, 2-FT WIDE, 1 FT MIN ROCK BELOW PIPE
    - EFFECTIVE APPLICATION AREA: 4 SF/LF
    - WASTEWATER LOADING RATE PER LF: (4)(1.2) = 4.8 GPD/LF
    - REQUIRED 100% TRENCH LENGTH: (2,292 GPD)/(4.8 GPD/LF) = 478 LF PER FIELD
    - PROVIDE TWO EQUAL FIELDS OF 480 LF EACH, 960 LF TOTAL (200%)
    - EACH LEACHFIELD TO CONSIST OF (8) 60-FT LONG TRENCHES

**GOKULAM LOT A**

OLD CALAVERAS RD, MILPITAS, CA



Sht/Rev	Date	By	Description	App'd

Design:	NH
Drawn:	PS
Checked:	NH
Appr'd:	NH

**ONSITE WASTEWATER TREATMENT & DISPOSAL PLAN SS2**

BIG BARN & AGR. SALES

Project	2300132
Scale:	AS NOTED
Date:	11/21/23
Sheet:	

PLOT STYLE: C:\USERS\LEWIS\APPDATA\ROAMING\AUTODESK\CAD PLOT\STYLETABLES\... LAST SAVED: 12/21/2023 PLOT DATE: 12/21/2023 PLOT A - 09:19:23\2300132 - GOKULAM LOT A.DWG