

# JARON RESIDENCE

## NEW SINGLE FAMILY RESIDENCE

Montevina Road, Los Gatos



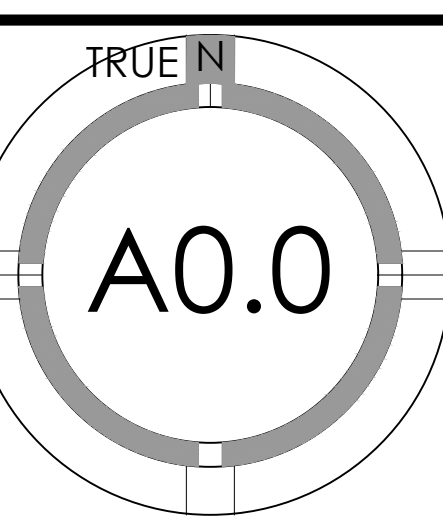
1000 S Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983  
F : (408) 404 - 0144

Jaron Residence  
NEW SINGLE FAMILY RESIDENCE  
Parcel Number: 544-07-012, Montevina Road, Los Gatos  
Michael and Sophie Jaron



PROJECT NO.	DATE	DESCRIPTION	GN	WC
15-005	12.15.2022	COST ESTIMATE PACKAGE		
	07.07.2023	BSA		

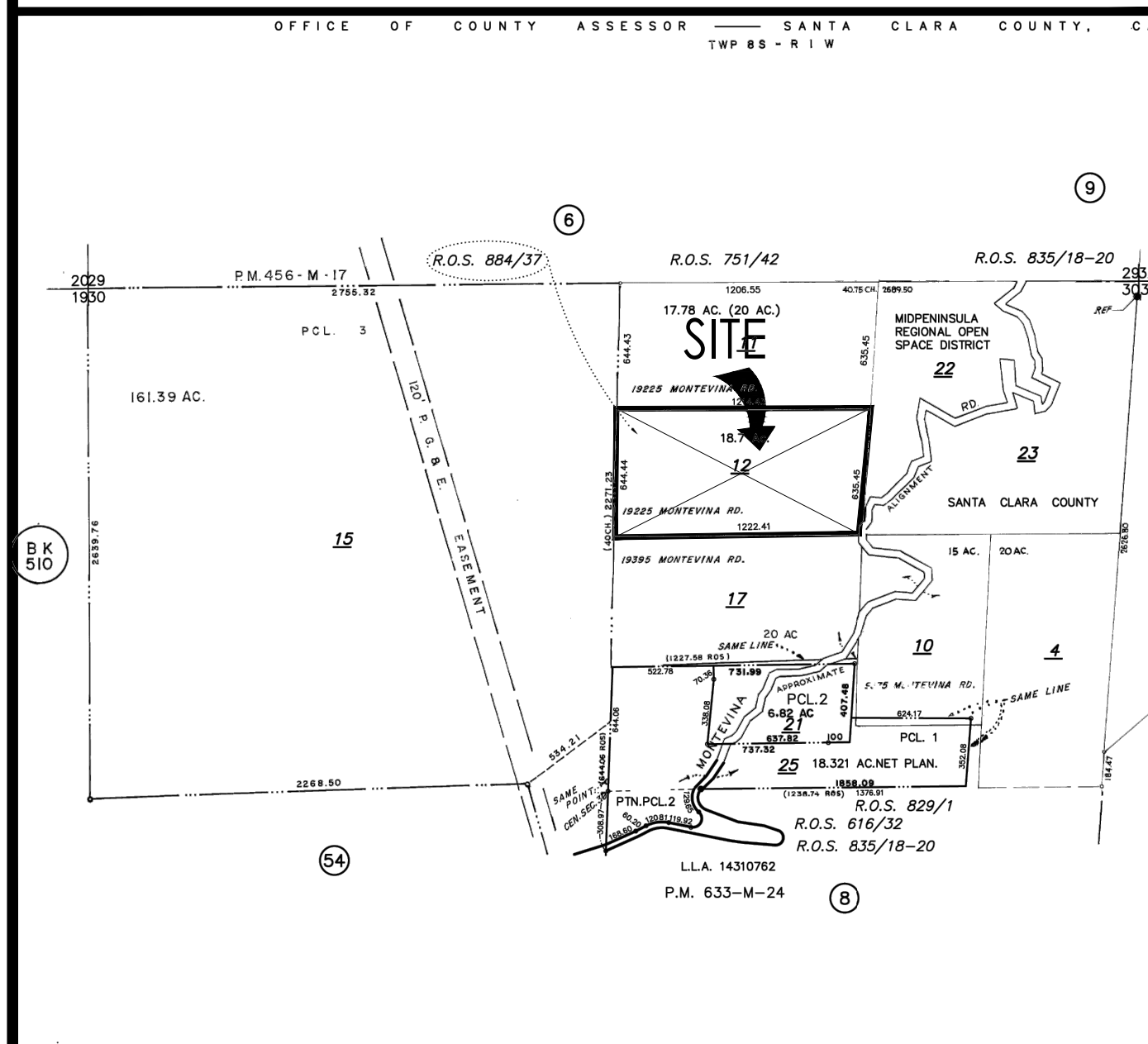
COVER SHEET



### LOCATION MAP



### ASSESSOR'S PARCEL MAP



### SCOPE OF WORK

NEW 4BR 5BA SINGLE FAMILY RESIDENCE WITH 3,662.7 LIVING S.F. ON A 814,572 S.F. LOT. A NEW GARAGE OF 685.2 S.F. TOTALING 4,919 S.F. OF A NEW RESIDENCE.

### PROJECT SUMMARY

Assessor's Parcel No.	544-07-012
Zoning:	hs-d1
Jurisdiction:	Santa Clara County
Type of Construction:	TYPE V-B, SPRINKLERED
Building Occ. Groups:	TIER 1
<b>Required Property Setbacks (1st / 2nd):</b>	
Front	30'
Rear	30'
Right Side	30'
Left Side	30'
<b>Proposed Property Setbacks (1st / 2nd):</b>	
Front	38'-8"
Rear	1151'-10"
Right Side	315'-9 1/2"
Left Side	261'-9"
Max. Allowed Building Height:	35'
Proposed Building Height	34'-6 1/2"
Lot Area:	814,572
Total New Garage	685.2
Total New Living Area	3,662.7
Total New Residence	4,919.0
Max. Allowed Floor Area	5,000.0

### DEFERRED SUBMITTALS

- FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS--NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
- STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL--NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D
- SOLAR PHOTOVOLTAIC SYSTEM TO BE UNDER A SEPARATE PERMIT
- ROOF TRUSSES--TRUSS DESIGN PACKAGE AND ENGINEER OF RECORD REVIEW LETTER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL

### REQ'D CONTRACTOR SUBMITTALS TO ARCHITECT

THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:

- WINDOW/DOOR PACKAGE
- CABINET SHOP DRAWINGS AND FINISH SAMPLES
- MECHANICAL DUCTING PLAN
- STAIR AND RAIL SHOP DRAWINGS
- MISC. STEEL SHOP DRAWINGS

NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.

### REQ'D CONTRACTOR SUBMITTALS TO BUILDING DEPT. PRIOR TO PERMIT ISSUANCE

- LICENSE NUMBER
- INSURANCE AND WORKER'S COMP POLICIES
- CONSTRUCTION STAGING PLAN
- CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

### APPLICABLE CODES

APPLICABLE CODES (with Santa Clara County Amendments)

- CALIFORNIA ADMINISTRATIVE CODE, CAC
- 2022 CALIFORNIA BUILDING CODE, CBC
- 2022 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
- 2022 CALIFORNIA ELECTRICAL CODE, CEC
- 2022 CALIFORNIA MECHANICAL CODE, CMC
- 2022 CALIFORNIA PLUMBING CODE, CPC
- 2022 CALIFORNIA ENERGY CODE, Cenc
- 2022 CALIFORNIA HISTORICAL CODE, CHC
- 2022 CALIFORNIA FIRE CODE, CFC
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 2022 CALIFORNIA REFERENCED STANDARDS
- SANTA CLARA COUNTY STANDARD DETAIL AND SPECIFICATION SI-7 FOR CONSTRUCTION SITE SAFETY

### SHEET INDEX

ARCHITECTURAL	CIVIL
A0.0 COVER SHEET	COUNTY OF SANTA CLARA GENERAL CONSTRUCTION SPECIFICATIONS
A0.2 FLOOR AREA CALCULATIONS	OWTS-SS1 SEPTIC TITLE SHEET
A1.0a REDUCED DEMO SITE PLAN	OWTS-SS2 SEPTIC SYSTEM ENGINEERING PLAN
A1.0b DEMO SITE PLAN	OWTS-SS3 CONVENTIONAL OWTS DETAILS
A1.0c REDUCED SITE PLAN	C-1.1 LEGEND AND NOTES
A1.0d SITE PLAN	C-1.2 OVERALL SITE PLAN
A2.1a 1ST FLOOR PLAN	C-2.0 GRADING & DRAINAGE PLAN
A2.1b 2ND FLOOR PLAN	C-2.1 GRADING & DRAINAGE PLAN
A2.1c LOFT FLOOR PLAN	C-2.2 GRADING & DRAINAGE PLAN
A2.2a LOWER ROOF PLAN	C-2.3 GRADING & DRAINAGE PLAN
A2.2b MIDDLE ROOF PLAN	C-3.0 HORIZONTAL CONTROL PLAN
A2.2c HIGHER ROOF PLAN	C-3.1 SITE SECTION
A3.0a EXTERIOR ELEVATIONS	C-3.2 SITE SECTION
A3.0b EXTERIOR ELEVATIONS	C-4.0 DETAILS
A3.1 EXTERIOR PERSPECTIVE	C-4.1 DETAILS
A5.0 SECTIONS	C-5.0 GRADING SPECIFICATIONS
	ER-1 EROSION CONTROL PLAN
	BMP-1 EROSION CONTROL DETAILS
	BMP-2 EROSION CONTROL DETAILS

### PROJECT TEAM

**OWNER**  
Michael and Sophie Jaron  
Parcel N: 544-07-012  
Montevina Rd, Los Gatos  
email: mikejaron@gmail.com  
sophiejaron@gmail.com

**ARCHITECT**  
Studio S Squared Architecture, Inc.  
1000 S Winchester Blvd  
San Jose, CA 95128  
attn: Wan Chen Cai  
ph: 408 998 0983 [x8]  
email: wanchen@StudioS2arch.com

**CIVIL ENGINEER**  
Leo and Braze Engineering, Inc  
attn: Kathleen Cacho, John Halbom  
email: kcacho@leabraze.com  
JHalbom@leabraze.com  
ph: (510) 887-4086



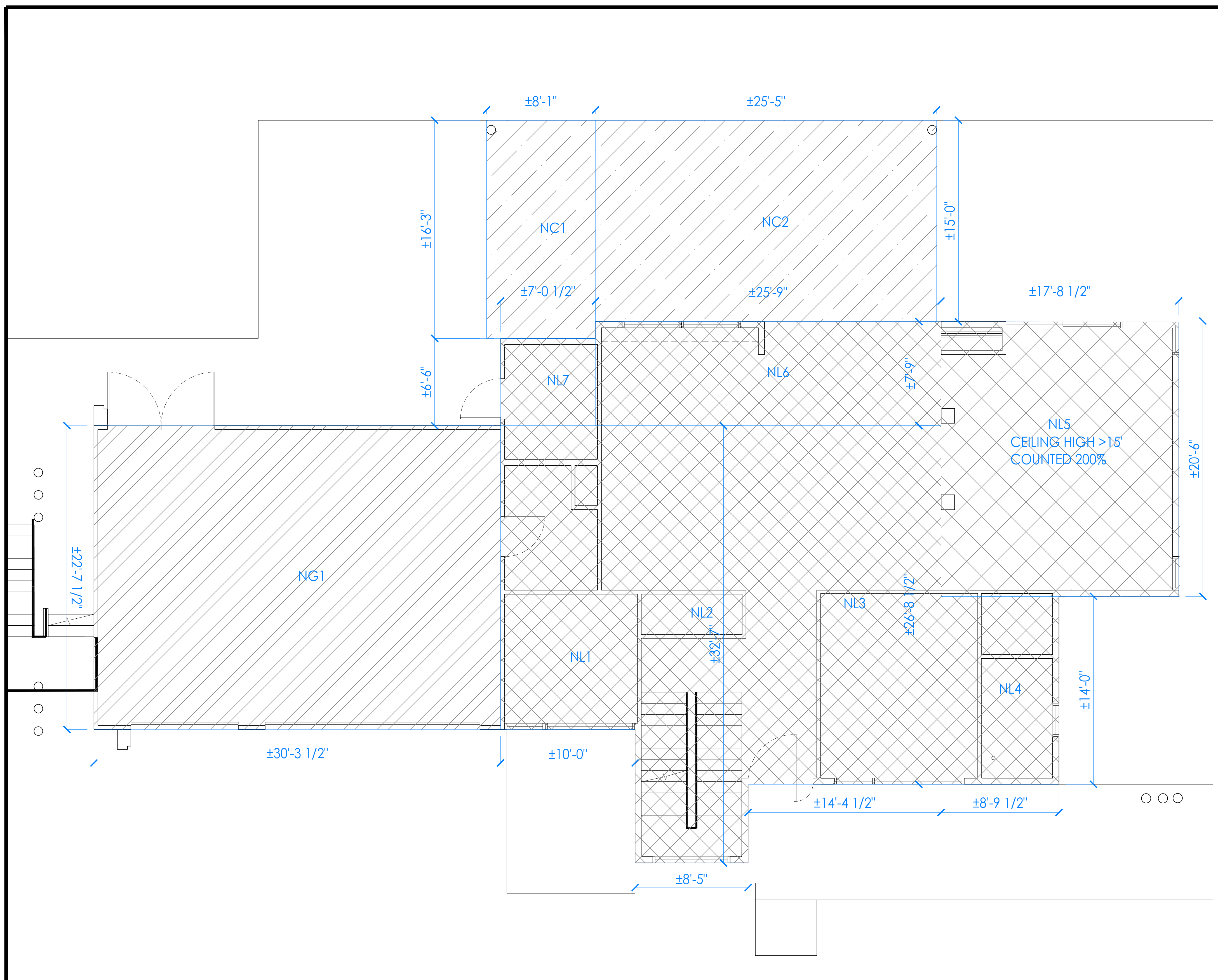


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SOPHIE AND MICHAEL JARON



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New First Floor Living Area	
NL1 22'-7 1/2" - 10'-0"	226.3
NL2 8'-5" - 32'-7"	274.1
NL3 26'-8 1/2" - 14'-4 1/2"	383.7
NL4 14'-0" - 8'-9 1/2"	123.0
NL5 17'-8 1/2" - 20'-6" (COUNTED 200%)	726.3
NL6 25'-9" - 7'-9"	199.5
NL7 7'-0 1/2" - 6'-6"	45.8
<b>NFL Total</b>	<b>1,978.6</b>

New Living Second Floor Area	
NL8 40'-6" - 16'-1"	651.1
NL9 32'-9 1/2" - 14'-0"	458.4
NL10 11'-2 1/2" - 3'-9 1/2"	42.5
NL11 13'-2" - 6'-7"	86.5
NL12 10'-3" - 12'-7 1/2"	129.2
NL13 30'-3 1/2" - 12'-11"	391.3
NL14 10'-0" - 6'-1 1/2"	61.4
<b>NSL Total</b>	<b>1,820.5</b>

New Garage Area	
NG1 22'-7 1/2" - 30'-3 1/2"	685.2
<b>NG Total</b>	<b>685.2</b>

New Loft Living Area	
NL1 15'-9" - 20'-1"	316.3
<b>NLL Total</b>	<b>316.3</b>

New Balcony Area	
NB1 3'-8" - 13'-2"	48.2
<b>NB</b>	<b>48.2</b>

New Covered Area (higher than 30" from grade)	
NC1 16'-3" - 8'-1"	141.4
NC2 25'-5" - 15'-0"	381.3
<b>NC</b>	<b>522.8</b>

LA Lot Area:	814,572.0
NG Total New Garage	685.2
TNL=NFL+NSL+NLL Total New Living Area	4,115.4
TNR=TNL+NG+NB+NC Total New Residence	5,371.7
Max floor Area Allowed (Tier 1)	5,700

- NC# = NEW COVERED AREA (HIGHER THAN 30" FROM GRADE)
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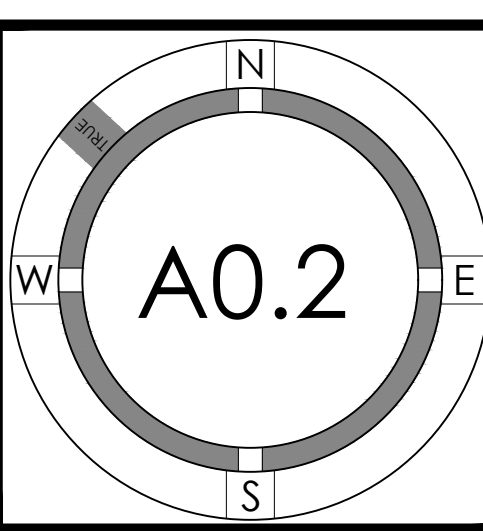
12 4 8 12 feet

FIRST FLOOR AREA CALCS 1/4" 1

FLOOR AREA LEGEND -

REVISION	DATE	DESCRIPTION	DRAWN BY
	2022.04.29	SCHEME 01	WC
	2022.05.18	SCHEME 02	WC
	2022.05.20	SCHEME 03	WC
	2022.06.08	SCHEME 04	WC
	2022.06.22	BUILDING SITE APPROVAL	MC

FIRST FLOOR AREA CALCULATION





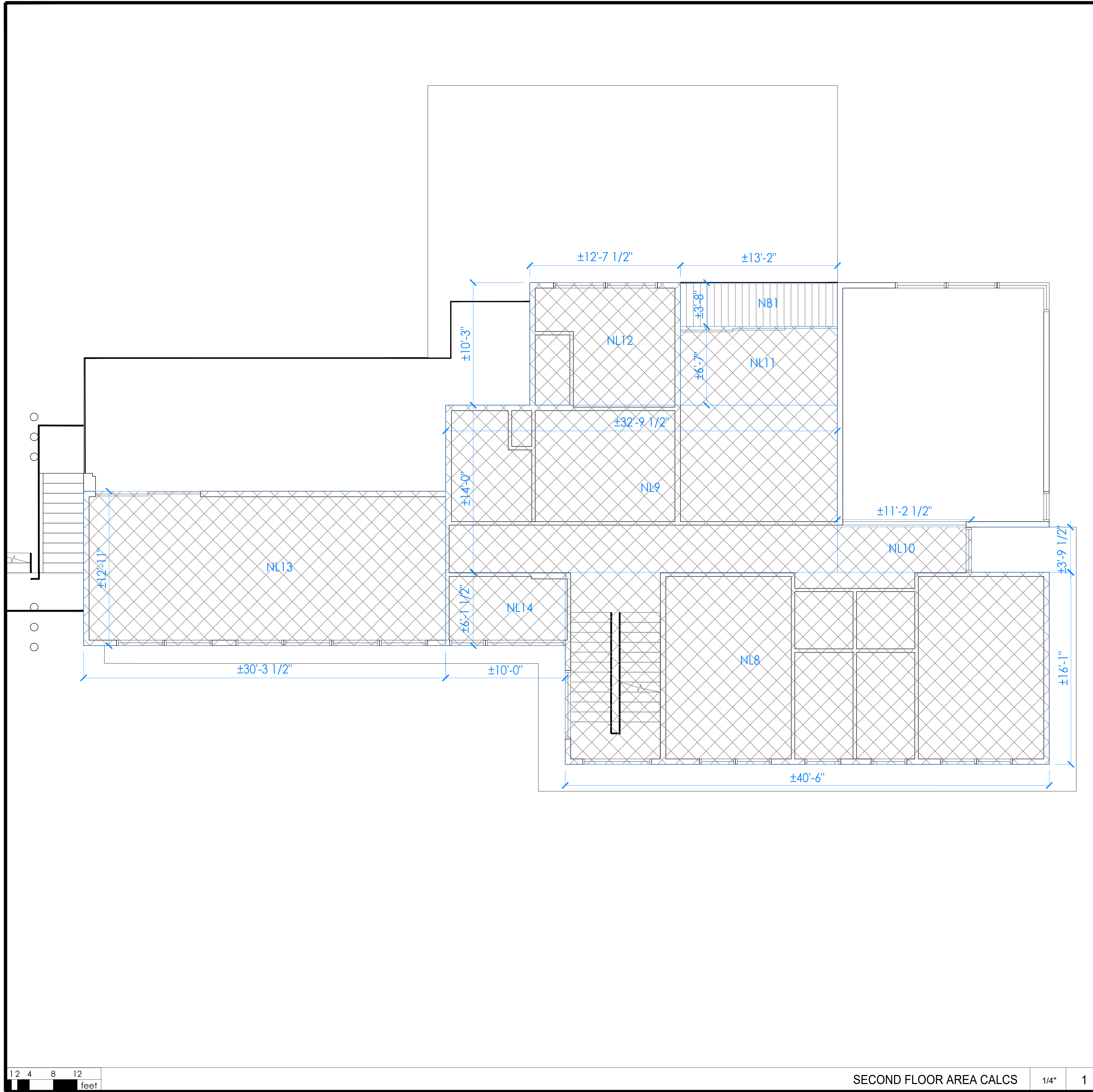


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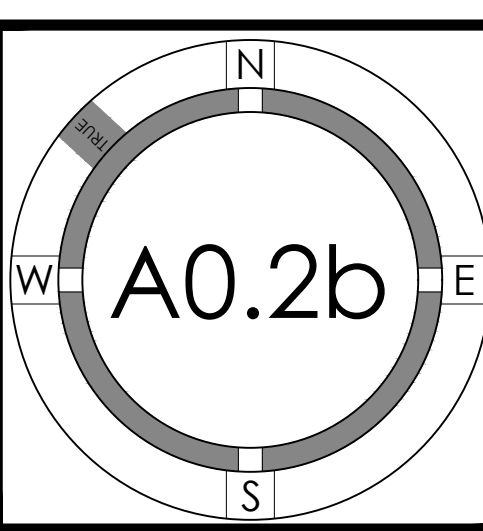
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SECOND FLOOR AREA CALCS 1/4" 1

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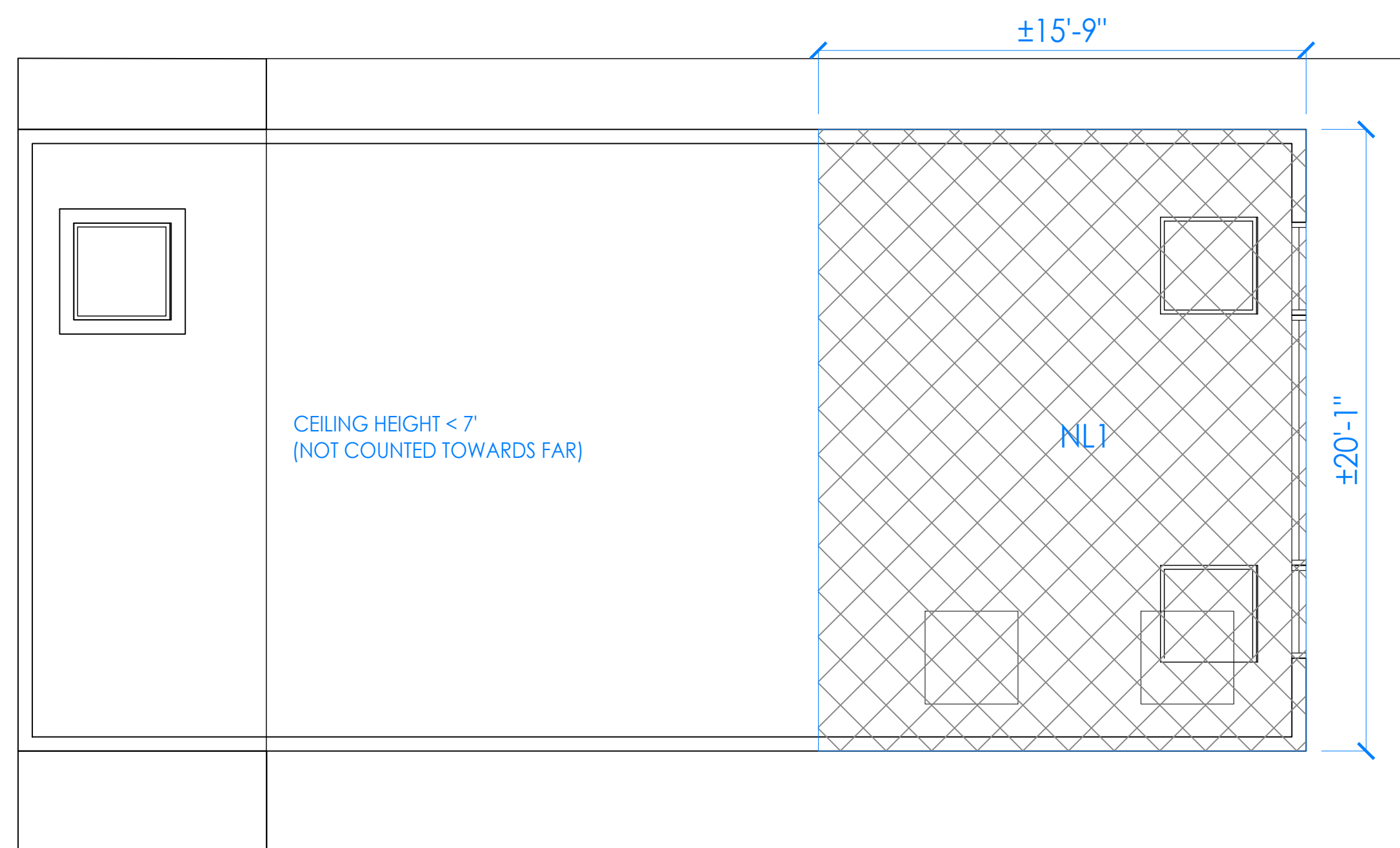


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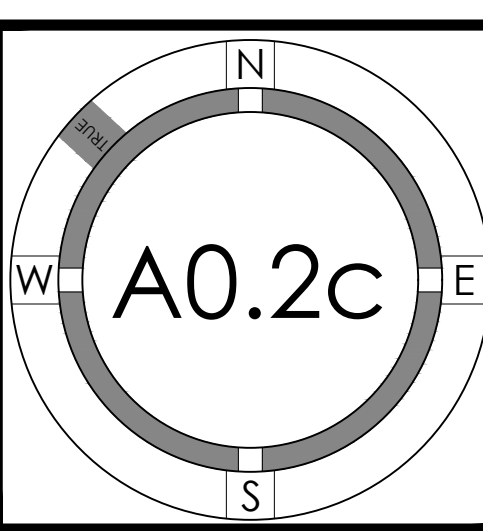
1 2 4 8 12 feet

LOFT FLOOR AREA CALCS 1/4" 1

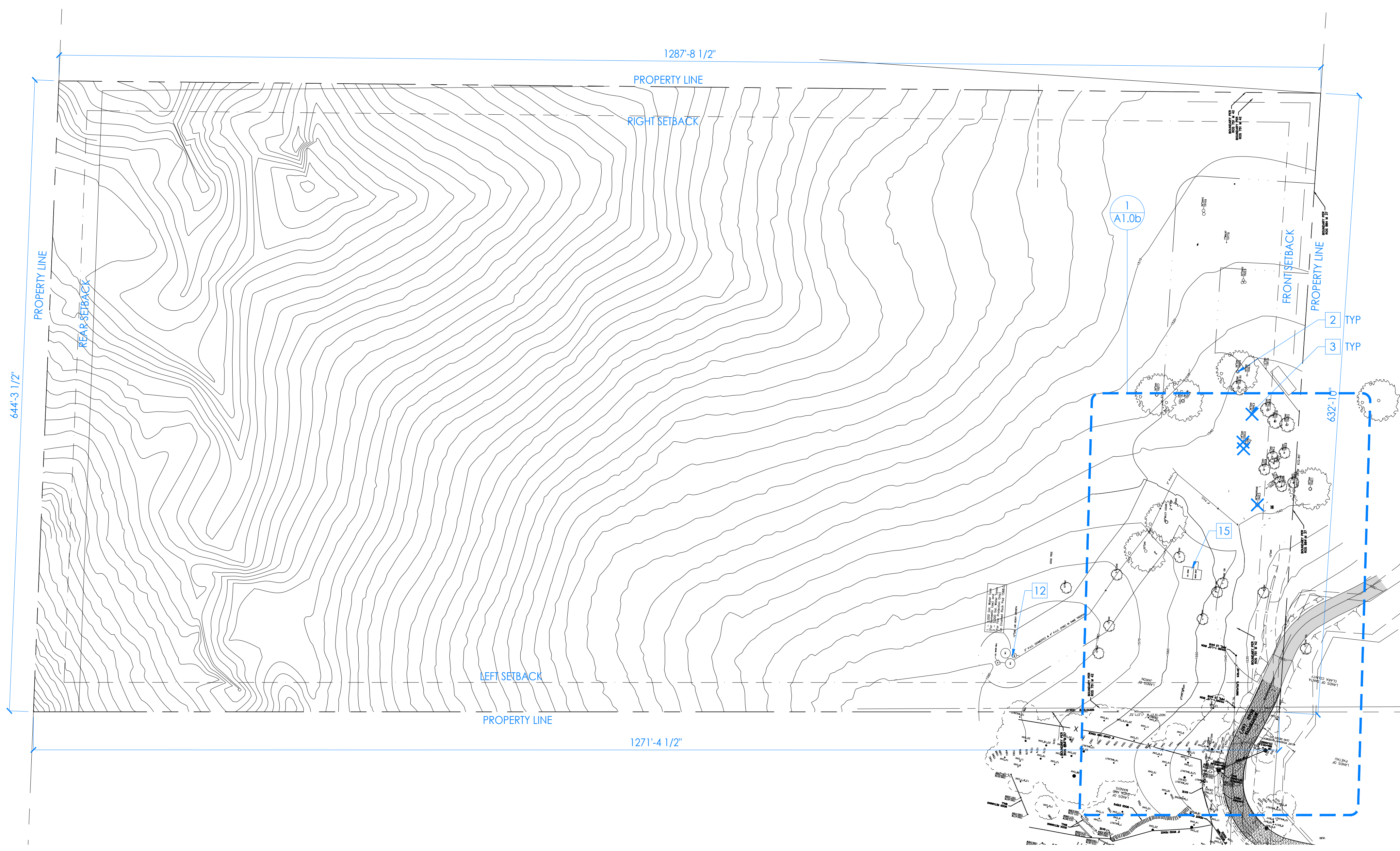
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LOFT FLOOR AREA CALCULATION







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  - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
  - (E) TREE(S) TO BE REMOVED
  - (E) SOFTSCAPE TO REMAIN
  - (N) DRIVEWAY, CONCRETE OVER 8" BASE ROCK AND 2" SAND PER GEOTECH REPORT -- VERIFY PAVER DESIGN WITH OWNER
  - (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
  - (N) STRUCTURAL COLUMNS
  - (N) HEATPUMP UNIT PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. HEATPUMP UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE OF 66 DECIBELS -- MITSUBISHI - 42K BTU - M-SERIES OUTDOOR CONDENSER- FOR 2-5 ZONES MODEL # MXZ-5C42NA2--FAN SPEED COOLING 56 dB/HEATING 58 dB 5 FEET FROM THE UNUIT
  - (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
  - (N) METAL STAIRCASE
  - (N) 2 STOREY SINGLE FAMILY RESIDENCE
  - (E) WATER TANK--SEE CIVIL PLAN FOR MORE INFO
  - (N) SEPTIC TANK--SEE CIVIL PLAN FOR MORE INFO
  - (N) LEACH LINES--SEE CIVIL PLAN FOR MORE INFO
  - (E) STRUCTURE TO BE DEMOLISHED

SITE PLAN KEYNOTES	
---	PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
---	REQUIRED YARD SETBACK

- NEW HARDSCAPE[--SEE FINISH PLAN/LANDSCAPE PLAN FOR MORE INFO]
- NEW BUILDING AREA
- TREE TO BE REMOVED
- SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO

OVERALL DEMO SITE PLAN 1/64" 1

SITE PLAN LEGEND -



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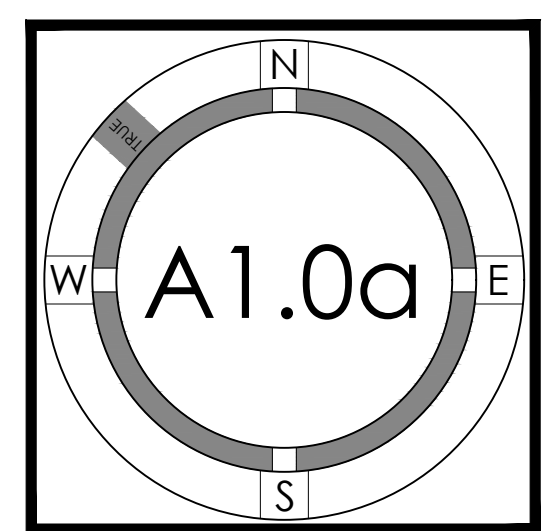
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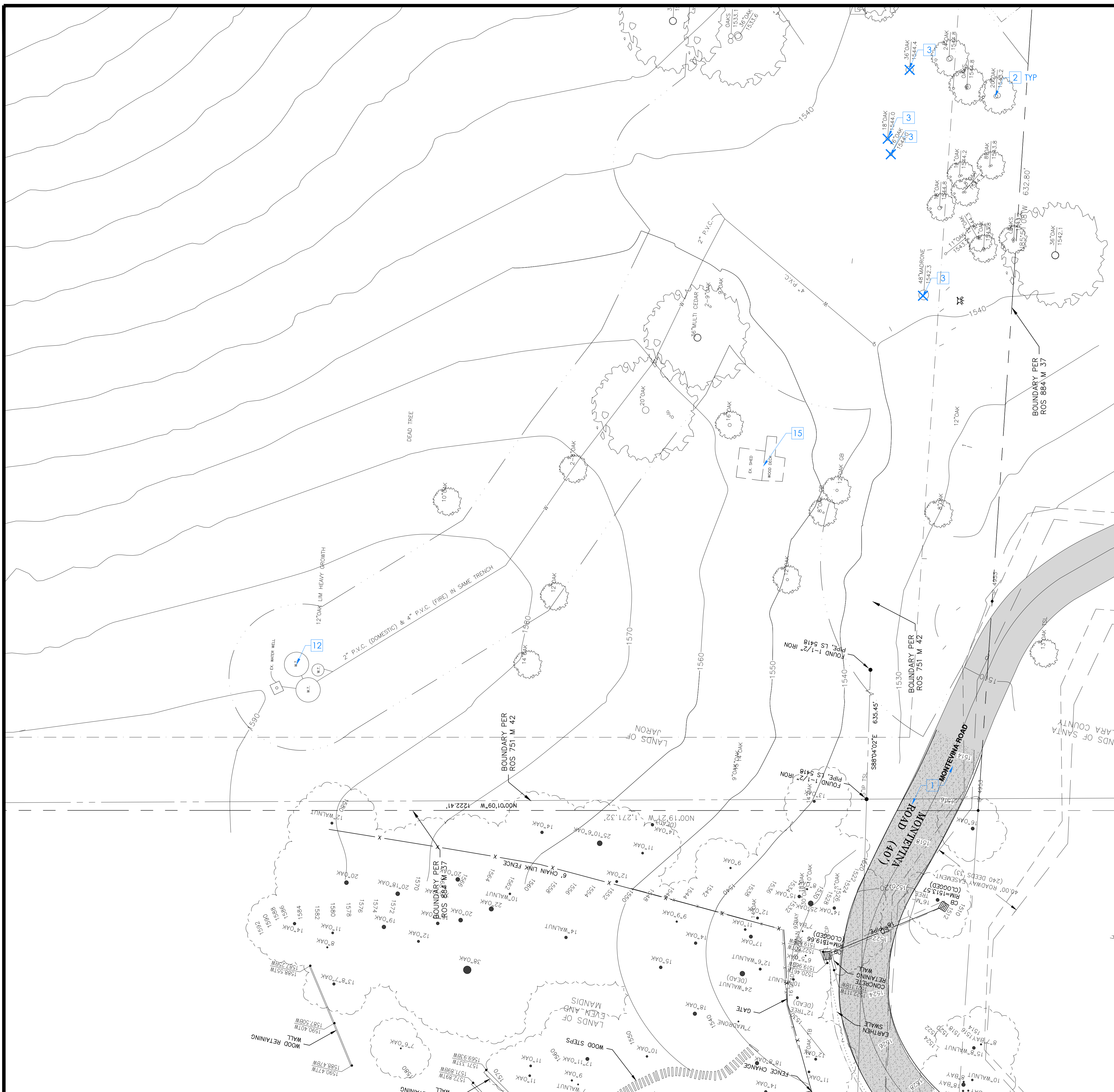
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OVERALL DEMO SITE PLAN



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SITE PLAN KEYNOTES

- PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
- REQUIRED YARD SETBACK

- NEW HARDSCAPE[--SEE FINISH PLAN/LANDSCAPE PLAN FOR MORE INFO]
- NEW BUILDING AREA
- TREE TO BE REMOVED
- SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO

10 20 30 feet

DEMO ENLARGED SITE PLAN 1" = 20' 1

SITE PLAN LEGEND



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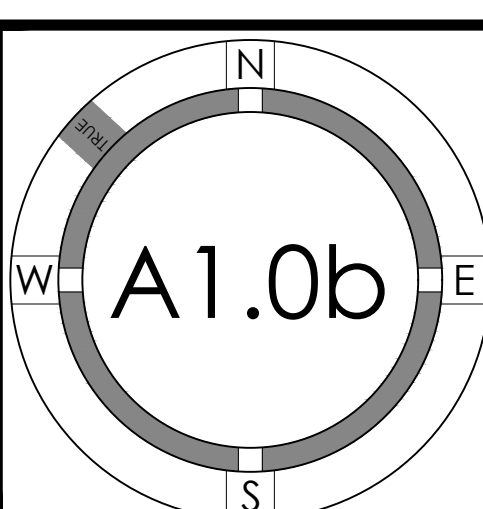
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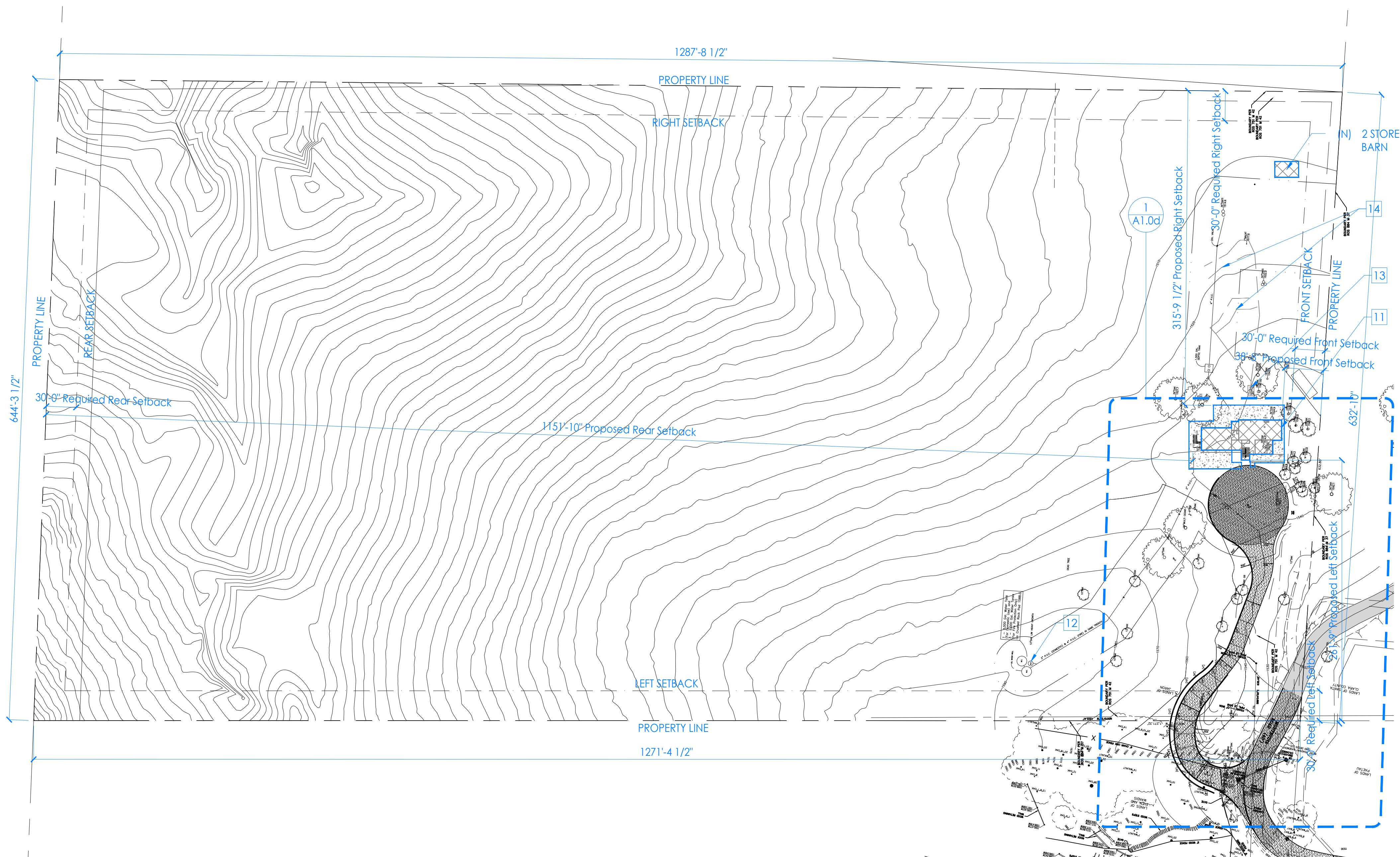
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ENLARGED  
DEMO  
SITE PLAN



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  - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
  - (E) TREE(S) TO BE REMOVED
  - (E) SOFTSCAPE TO REMAIN
  - (N) DRIVEWAY, CONCRETE OVER 8" BASE ROCK AND 2" SAND PER GEOTECH REPORT -- VERIFY PAVER DESIGN WITH OWNER
  - (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
  - (N) STRUCTURAL COLUMNS
  - (N) HEATPUMP UNIT PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. HEATPUMP UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE OF 66 DECIBELS -- MITSUBISHI - 42K BTU - M-SERIES OUTDOOR CONDENSER- FOR 2-5 ZONES MODEL # MXZ-5C42NA2--FAN SPEED COOLING 56 dB/HEATING 58 dB 5 FEET FROM THE UNUIT
  - (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
  - (N) METAL STAIRCASE
  - (N) 2 STOREY SINGLE FAMILY RESIDENCE
  - (E) WATER TANK--SEE CIVIL PLAN FOR MORE INFO
  - (N) SEPTIC TANK--SEE CIVIL PLAN FOR MORE INFO
  - (N) LEACH LINES--SEE CIVIL PLAN FOR MORE INFO
  - (E) STRUCTURE TO BE DEMOLISHED

SITE PLAN KEYNOTES

PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO  
 REQUIRED YARD SETBACK

- NEW HARDSCAPE[--SEE FINISH PLAN/LANDSCAPE PLAN FOR MORE INFO]
- NEW BUILDING AREA
- TREE TO BE REMOVED
- SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO

OVERALL SITE PLAN 1/64" 1

SITE PLAN LEGEND -



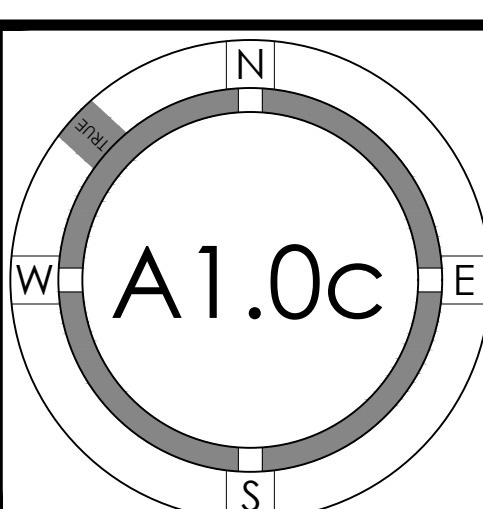
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Jaron Residence  
 A NEW SINGLE FAMILY HOUSE  
 Los Gatos, Montevina Road  
 APN:544-07-012  
 SOPHIE AND MICHAEL JARON



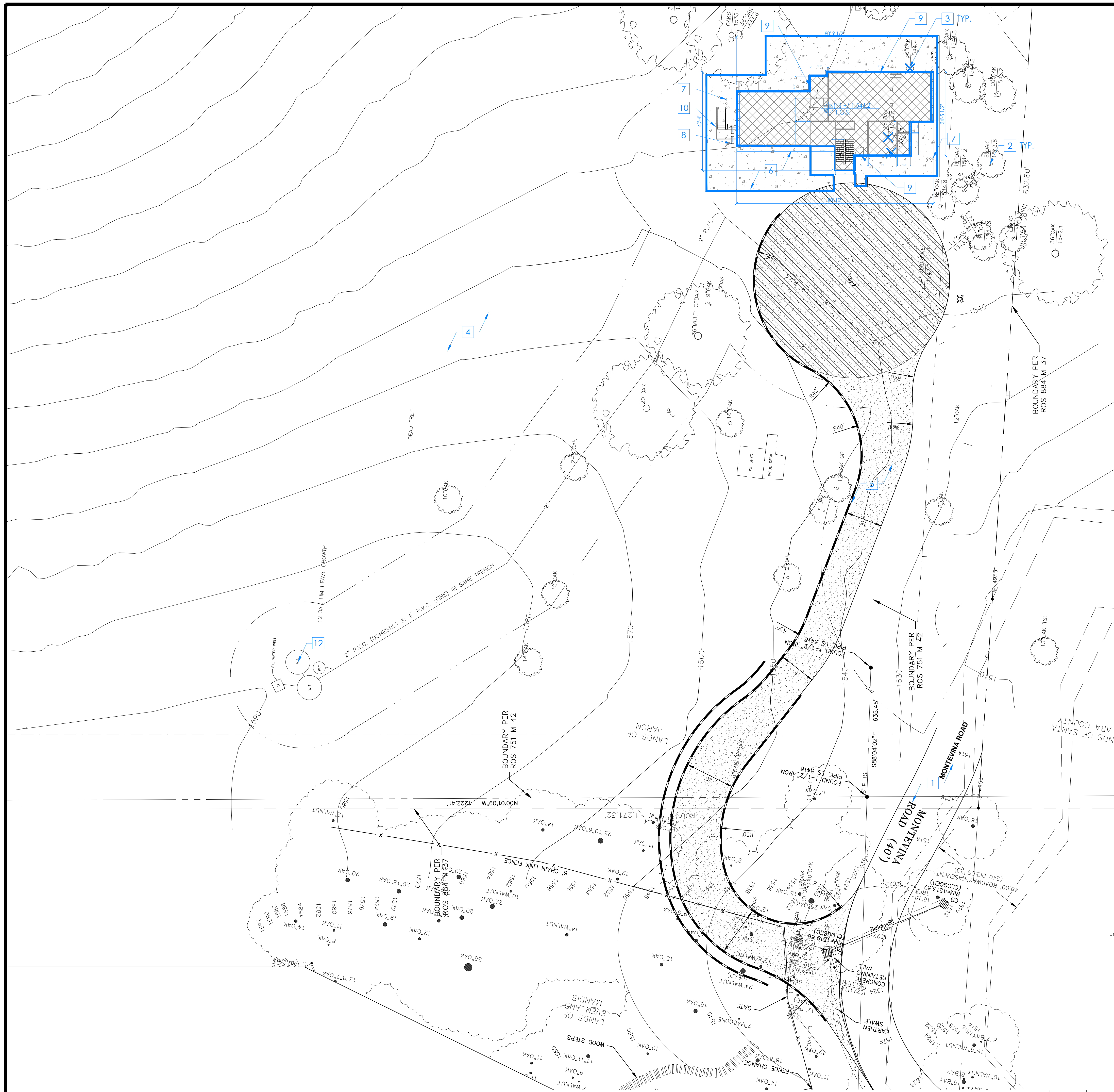
PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
15-005	2022.04.29	SCHEME 01	WC
	2022.05.18	SCHEME 02	WC
	2022.05.20	SCHEME 03	WC
	2022.06.08	SCHEME 04	WC
	2022.06.22	BUILDING SITE APPROVAL	MC

OVERALL SITE PLAN



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SITE PLAN KEYNOTES

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--- REQUIRED YARD SETBACK

- NEW HARDSCAPE[--SEE FINISH PLAN/LANDSCAPE PLAN FOR MORE INFO]
- NEW BUILDING AREA
- TREE TO BE REMOVED
- SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO

10 20 30 feet

ENLARGED SITE PLAN 1" = 20' 1

SITE PLAN LEGEND -



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**Jaron Residence**  
A NEW SINGLE FAMILY HOUSE

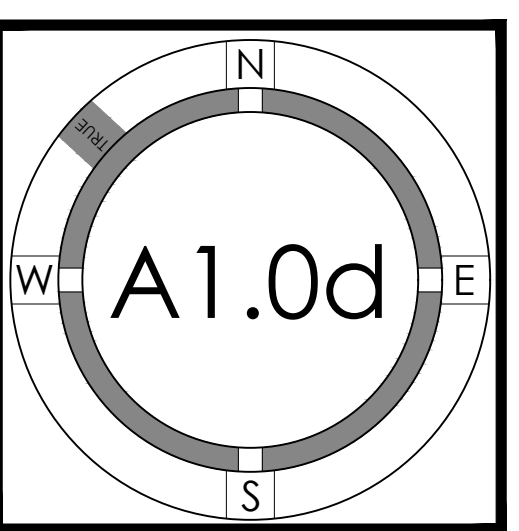
Los Gatos, Montevina Road  
APN:544-07-012

SOPHIE AND MICHAEL JARON



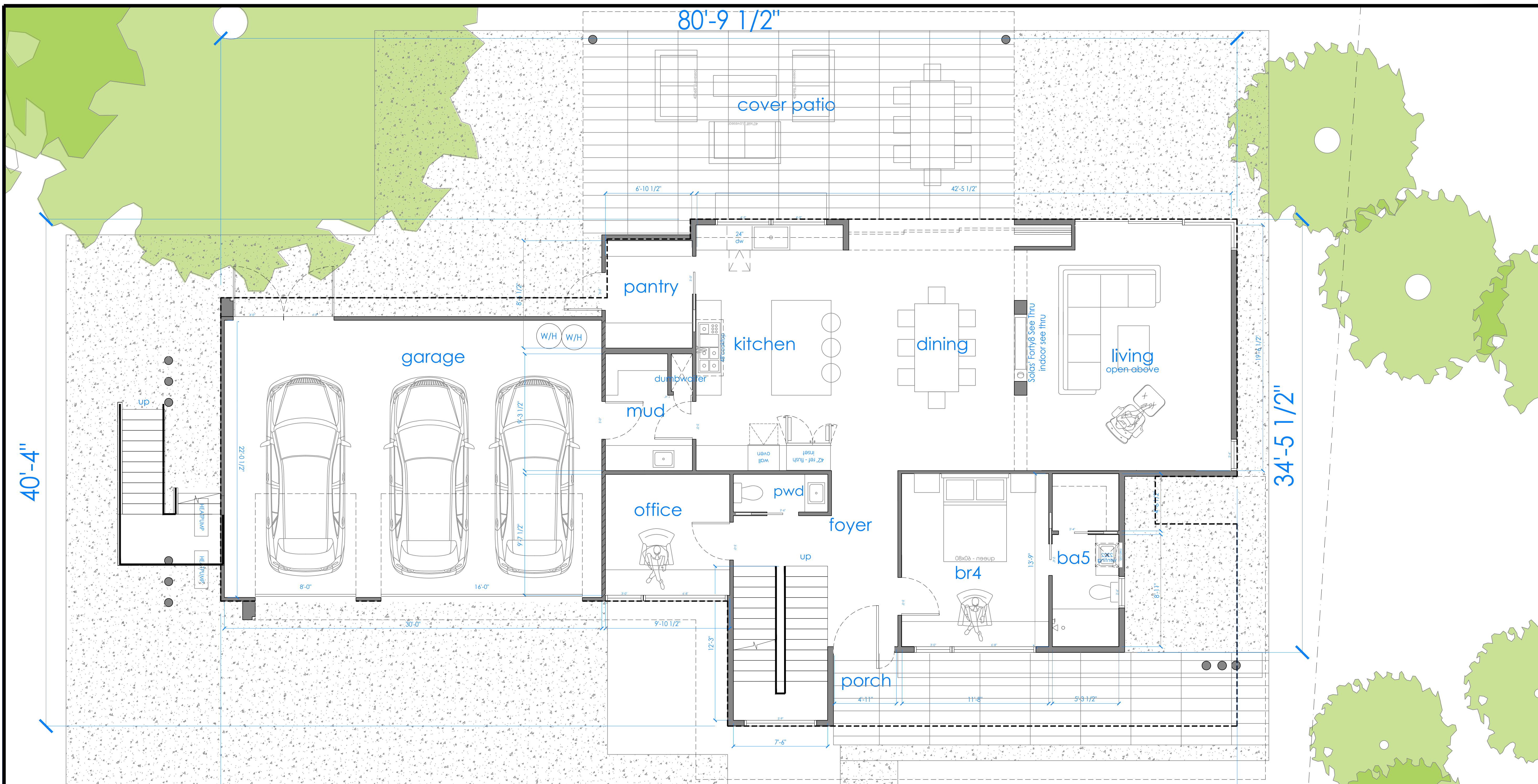
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	2022.06.22	BUILDING SITE APPROVAL	MC

ENLARGED SITE PLAN



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1 2 3 4 6 feet  
 80'-9 1/2"  
 40'-4"  
 34'-5 1/2"  
 1ST FLOOR PLAN 1/4" 1



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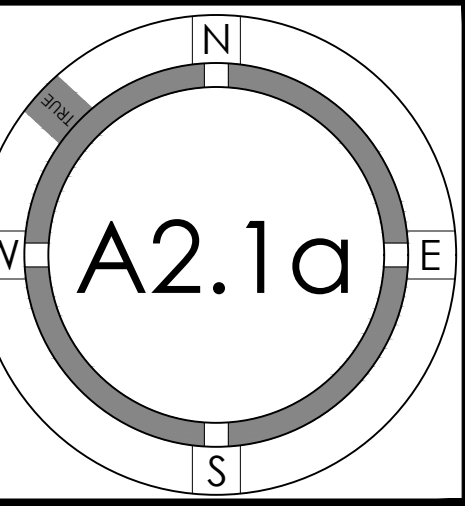
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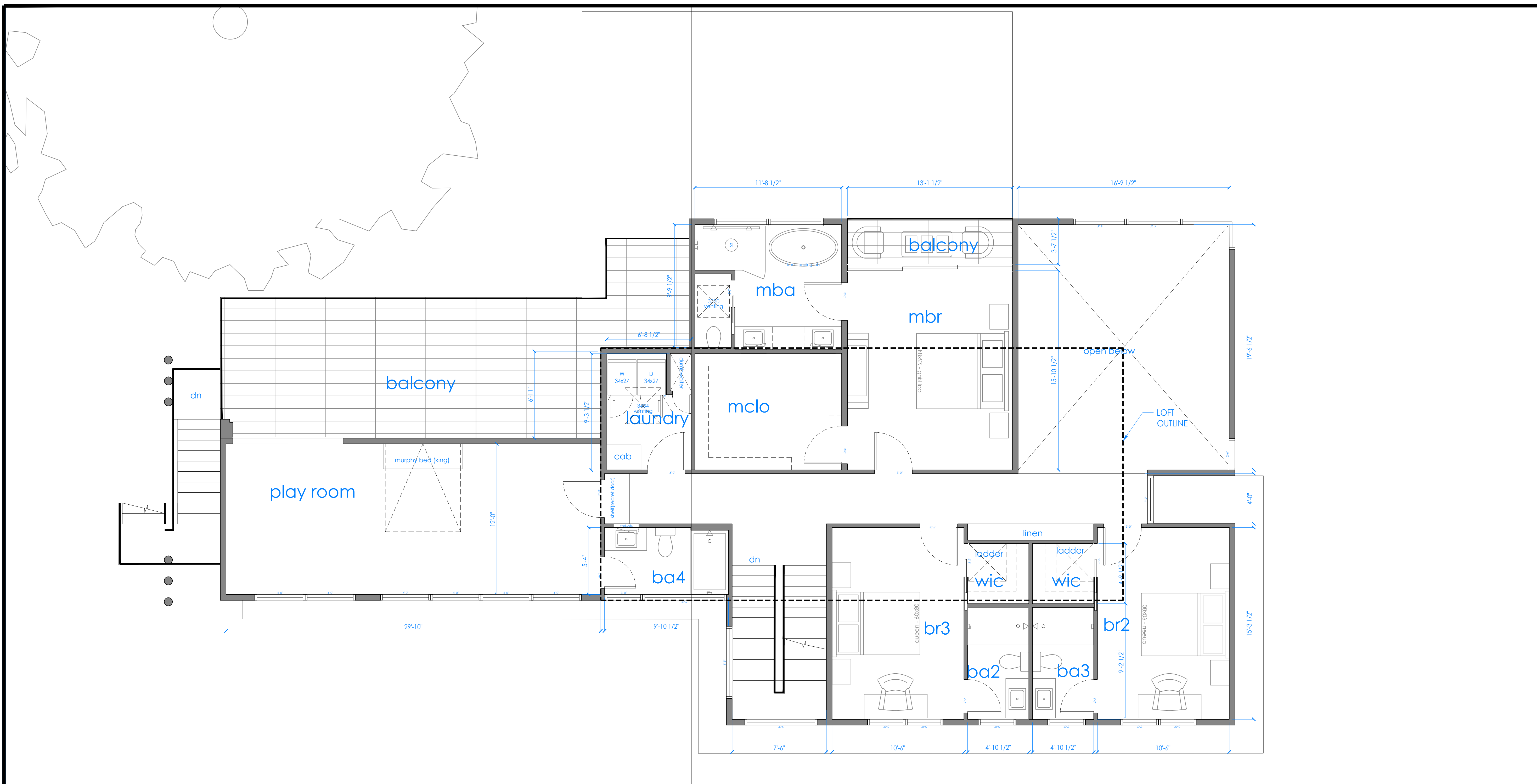
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1ST  
 FLOOR PLAN







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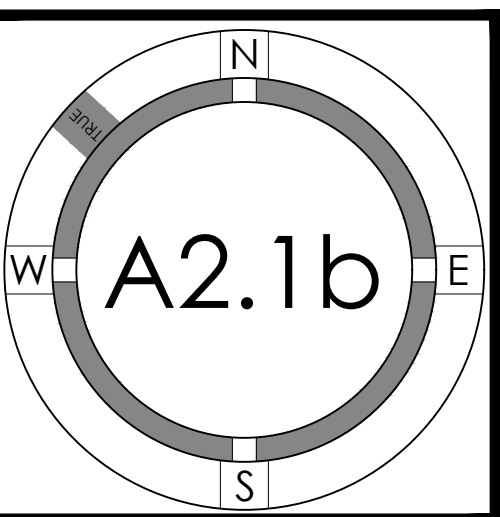


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2ND

FLOOR PLAN







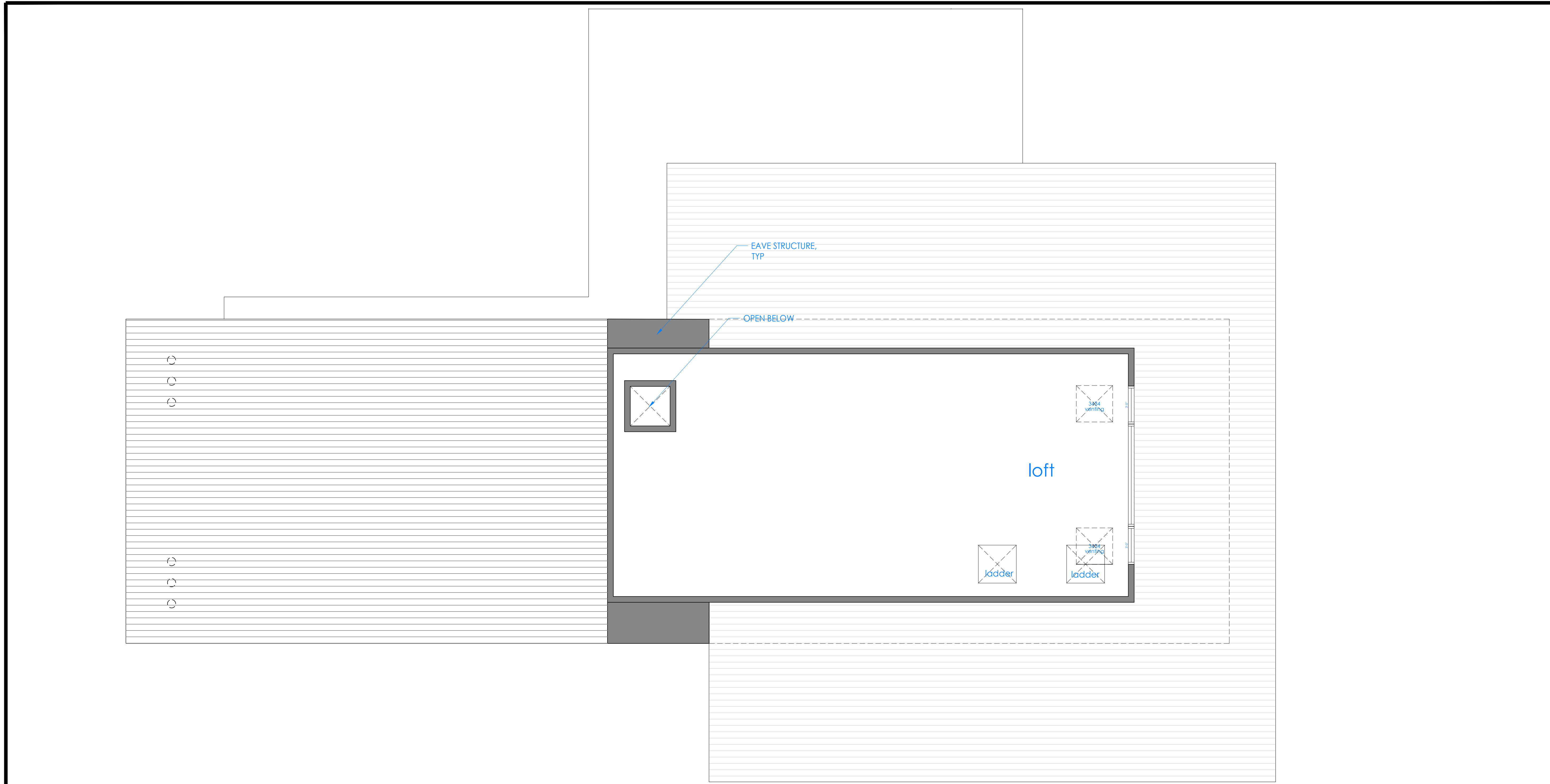
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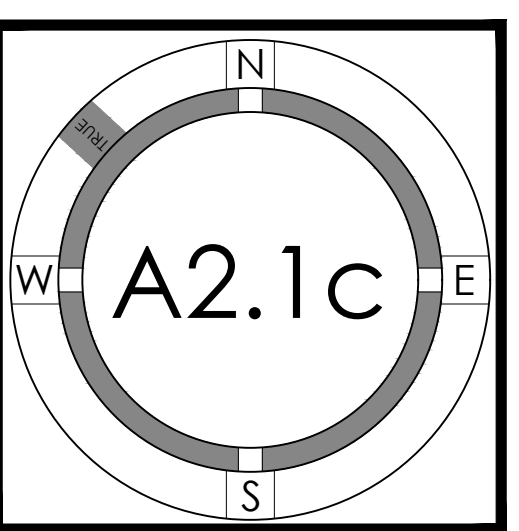


1 2 3 4 6 feet

LOFT FLOOR PLAN 1/4" 1

LOFT

FLOOR PLAN





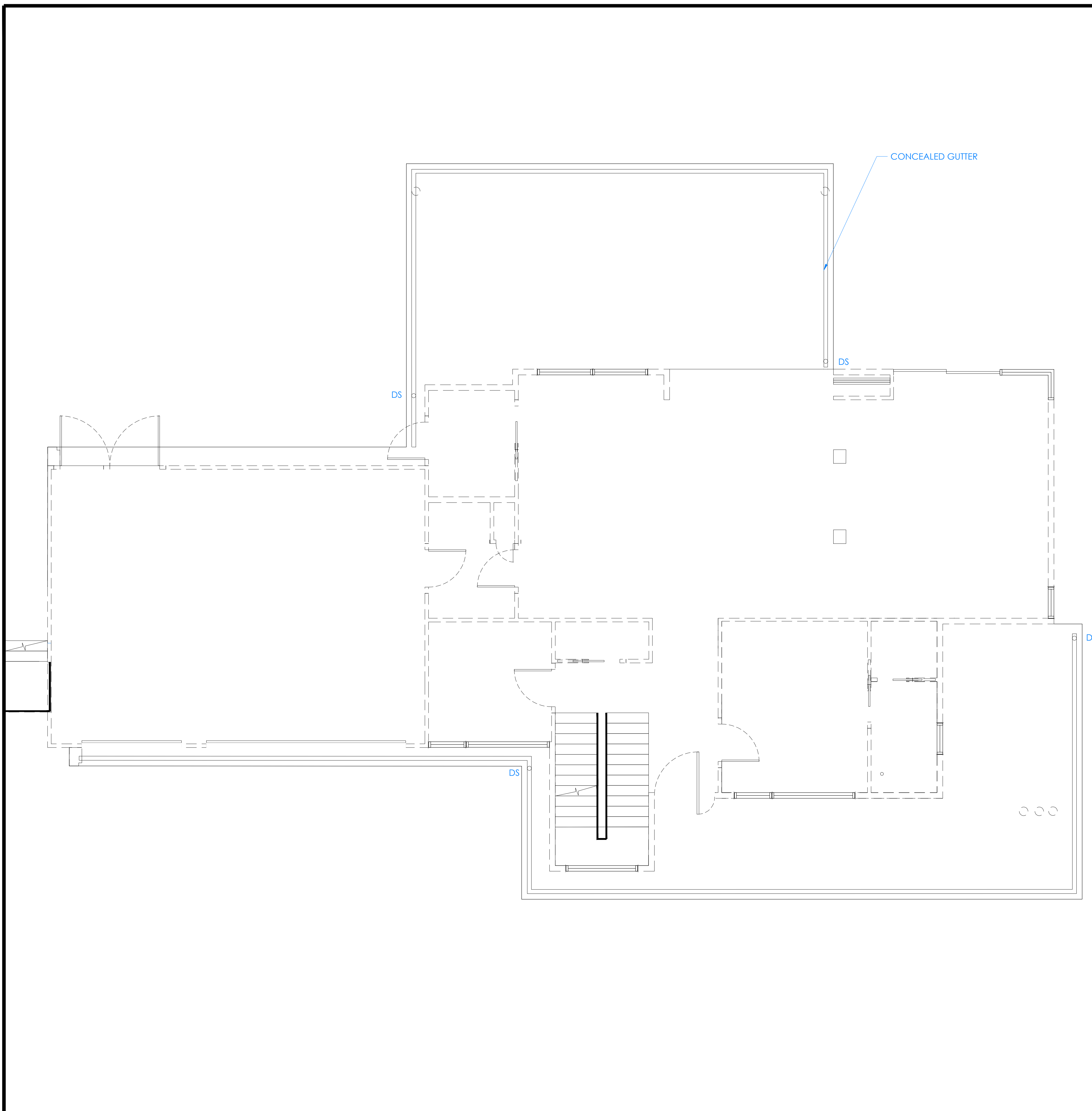


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  - SEE 4/A0.1a FOR ELECTRICAL GENERAL NOTES
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ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

□ SINGLE PLY ROOFING, MIN CLASS "A"--MANUF: GAF OR EQUAL; STYLE: FULLY ADHERED EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ 1/2" HIGH DENSITY POLYISO BOARD O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL RIVER-WASHED ROUND STONE BALLAST o/ 6-OZ MIN. POLYMAT FILTER FABRIC o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. 20-YEAR WARRANTY INSTRUCTIONS.

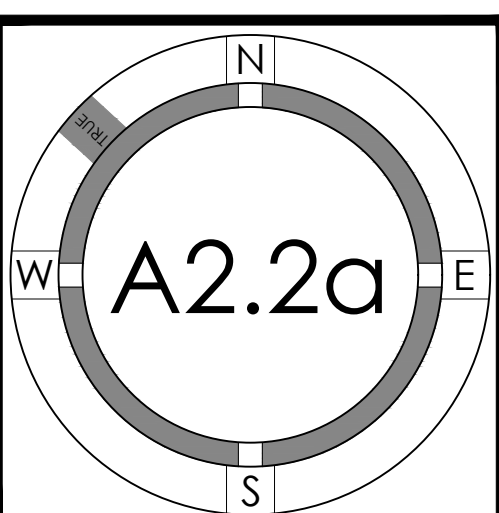
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- LINE OF BLDG. BELOW

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LOWER

ROOF PLAN



1 2 3 4 6 feet

LOWER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



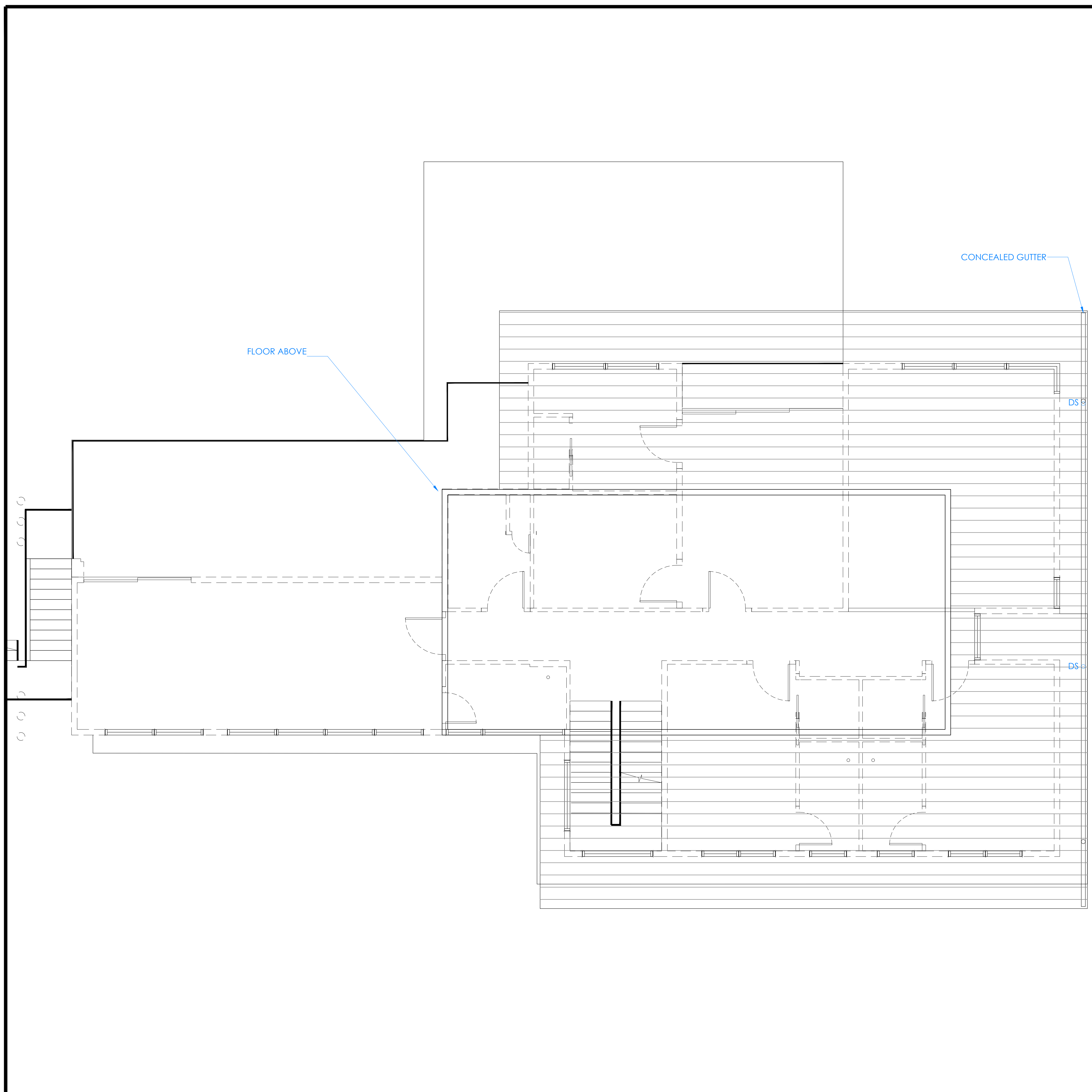


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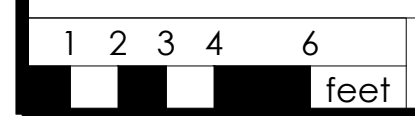
ROOF GENERAL NOTES

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- LINE OF BLDG. BELOW



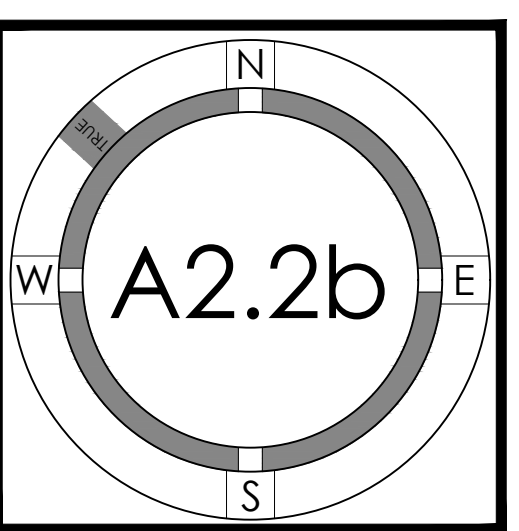
MIDDLE ROOF PLAN 1/4" 1

ROOF PLAN LEGEND

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MIDDLE

ROOF PLAN





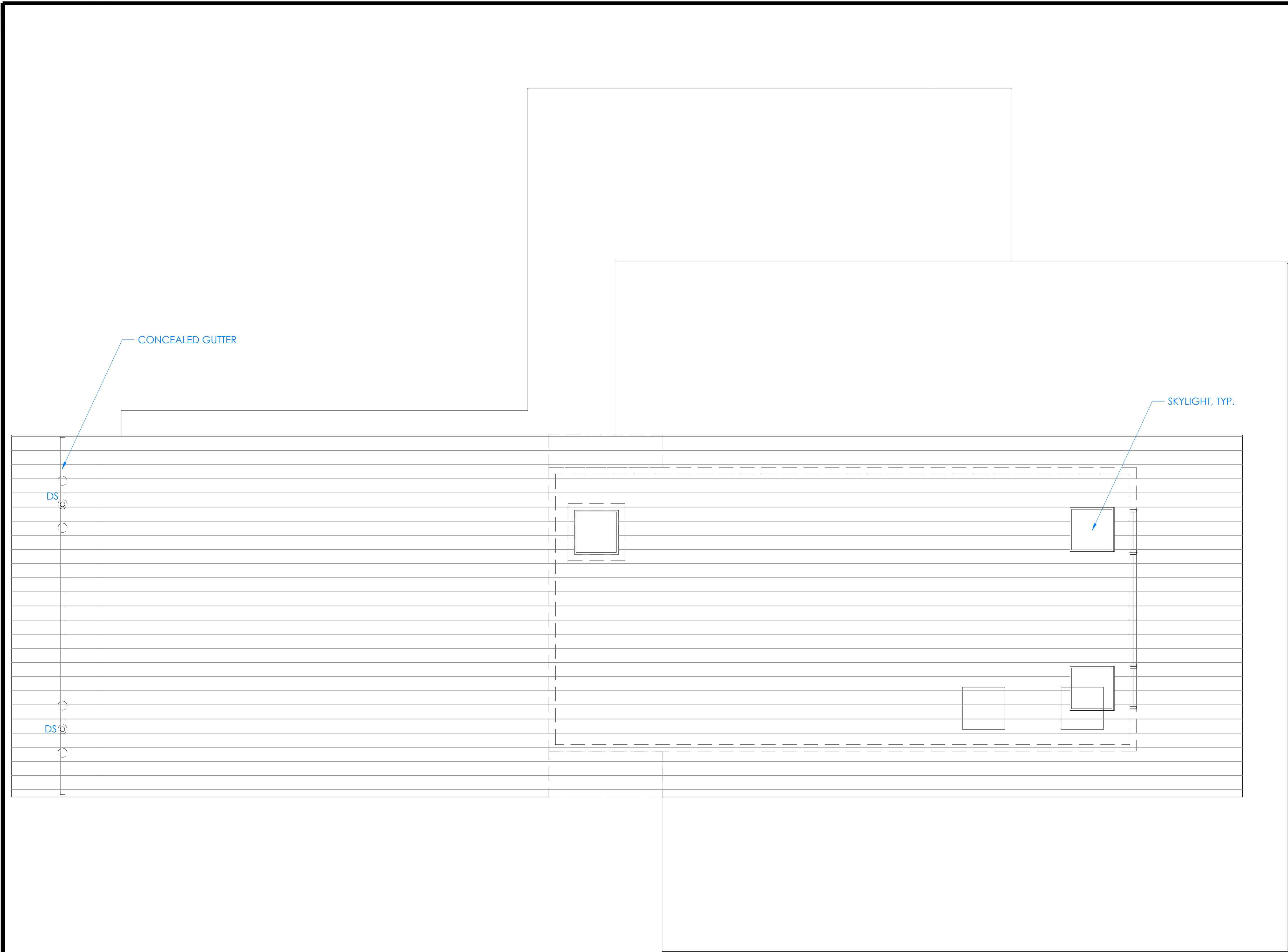


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ROOF GENERAL NOTES

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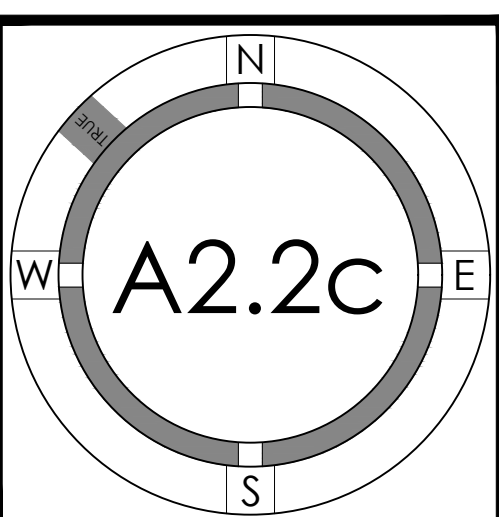
UPPER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND

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UPPER

ROOF PLAN







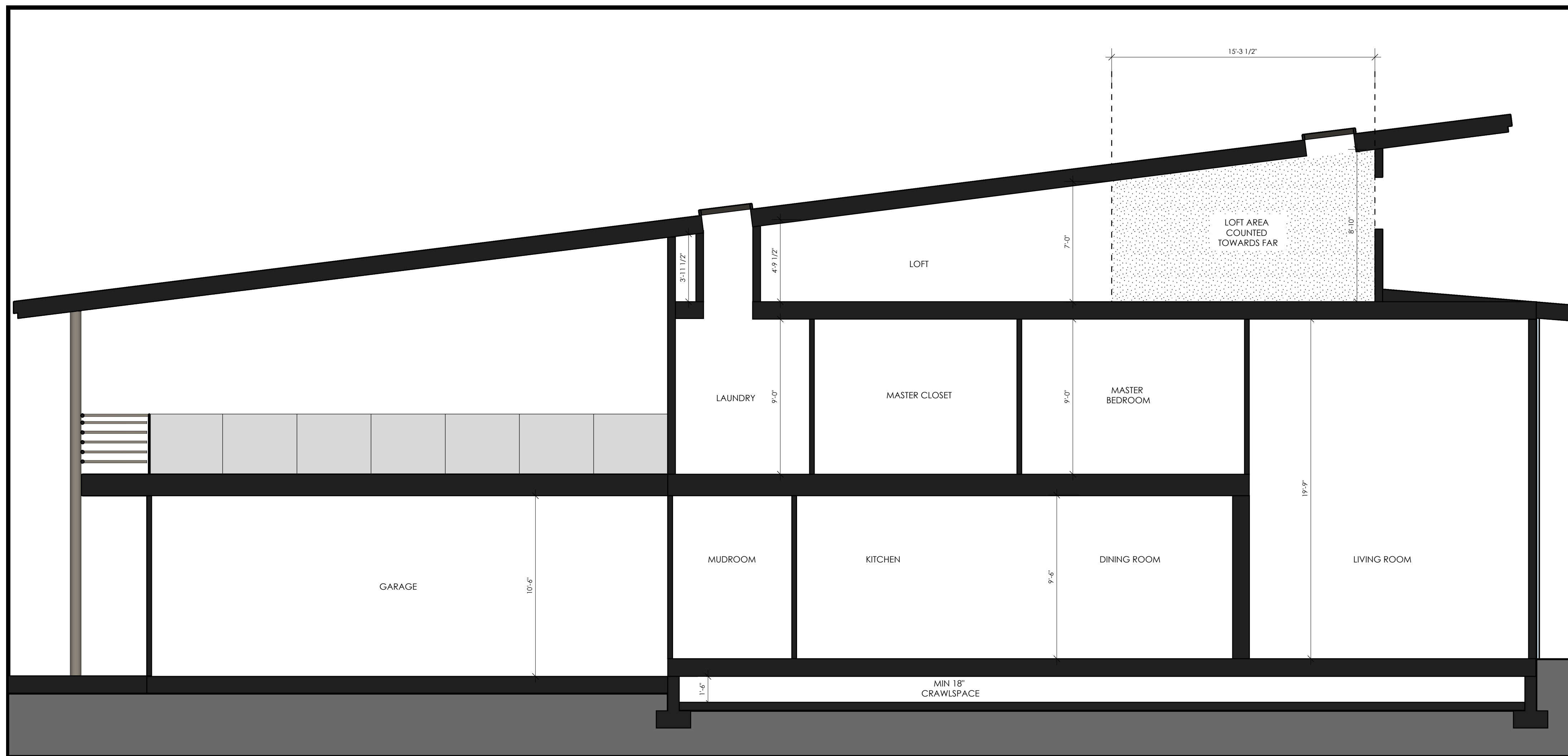




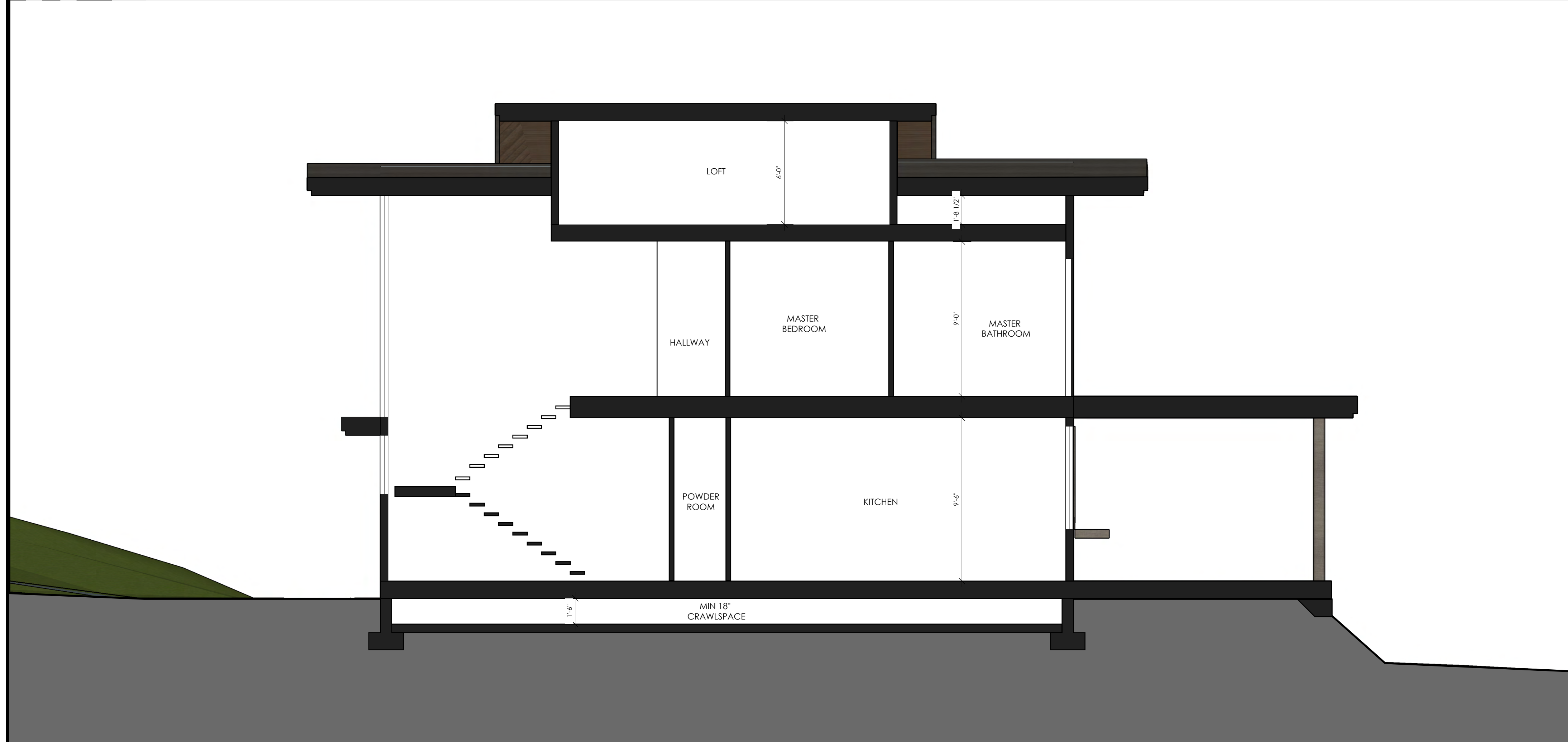








SECTION 1 1/4" 1



SECTION 2 1/4" 2

# NUMBER OF KEYNOTE BELOW

- NOTES:
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  - SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
  - SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
  - SEE BID INSTRUCTIONS FOR INSULATION VALUES. INSULATION TO BE NOT LESS THAN AS INDICATED IN T24 REPORT

KEYNOTES	-	-

SEE EXTERIOR ELEVATIONS FOR ELEVATION GRID LINE KEY

ELEVATION GRID LINE KEY	-	-



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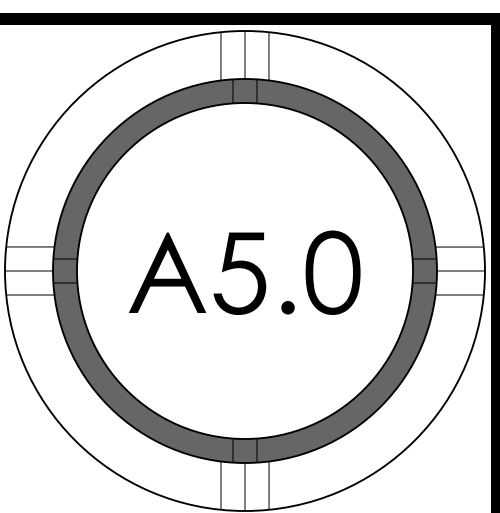
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SOPHIE AND MICHAEL JARON



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
	XX.XX.XXXX	MATCH CAD TILE BLOCK	
REVISION			

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SECTIONS







ADHERED LIGHTWEIGHT STONE VENEER  
 ELDORADO STONE  
 STYLE: MOUNTAIN LEDGE PANEL,  
 BOW VALLEY  
[www.eldoradostone.com](http://www.eldoradostone.com)



GARAGE DOOR  
 CLOPAY GARAGE DOOR  
 CANYON RIDGE MODERN  
 METAL, WOOD-LOOK  
[www.clopaydoor.com](http://www.clopaydoor.com)



PAINTED STUCCO  
 PAREX USA  
 COLOR PEWTER 3016L (29)  
[www.parexusa.com](http://www.parexusa.com)



METAL PANEL  
 WOOD AND STONE SOLUTIONS  
 COLOR FAMILY: WOODGRAINS  
 SPECIFY: ROMA NOCE #SN043  
[www.purefreem.com](http://www.purefreem.com)



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 AEP SPAN  
 NARROW BATTEN  
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 PINKY'S OR SIMILAR  
 PIVOT DOOR  
 ALUMINUM W/GLASS PANEL  
[www.pinkysirondoors.com](http://www.pinkysirondoors.com)

## JARON RESIDENCE

231 YERBA BUENA AVENUE, LOS ALTOS



## MATERIAL BOARD



STUDIO 2 SQUARED  
 ARCHITECTURE

1000 S. Winchester Blvd  
 San Jose, CA 95128  
 ph: (408) 998 0983  
[www.studios2arch.com](http://www.studios2arch.com)  
[houzz.com](http://houzz.com)



**OWNER'S INFORMATION**

OWNER: MICHAEL AND SOPHIE JARON  
1166 WEEKS ST  
EAST PALO ALTO, CA, 94303

APN: 544-07-012

**REFERENCES**

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:  
1. TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, INC., ENTITLED: "PARTIAL TOPOGRAPHIC SURVEY" MONTEVINA ROAD LOS GATOS, CA DATED: 10-05-22 JOB# 2221267  
2. SITE PLAN BY STUDIO S SQUARED, ENTITLED: "SITE PLAN" MONTEVINA ROAD LOS GATOS, CA

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

**GENERAL INSTALLATION NOTES:**

**PERMITS:**  
CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM SHALL NOT COMMENCE WITHOUT WRITTEN APPROVAL FROM THE COUNTY OF SANTA CLARA AND SANTA CLARA COUNTY ENVIRONMENTAL HEALTH SERVICES.

**PLAN CHANGES:**  
CHANGES TO THE PLANS OR SPECIFICATIONS SHALL BE MADE ONLY AFTER CONSULTATION WITH AND APPROVAL OF THE DESIGNER AND PERMITTING AGENCY.

**INSTALLATION:**  
ALL INSTALLATION WORK SHALL BE IN ACCORDANCE WITH COUNTY OF SANTA CLARA.

**LOCATION OF THE SEPTIC TANK AND LEACHING TRENCHES:**  
LOCATIONS SHOWN ON THE PLANS ARE SUBJECT TO ADJUSTMENT IN THE FIELD BY DESIGNER WITH APPROVAL OF THE PERMITTING AGENCY. TRENCHES SHALL BE INSTALLED ALONG LEVEL CONTOUR TO ENSURE THE TRENCH BOTTOM IS MAINTAINED LEVEL THROUGHOUT THE ENTIRE LENGTH. A TRIPOD-MOUNTED LASER SHALL BE REQUIRED ON SITE.

**SANTA CLARA COUNTY OWTS SETBACKS:**

MINIMUM DISTANCES (IN FEET) MEASURED FROM:	DISPOSAL FIELD	SEPTIC TANK
ALL WELLS AND SPINGS	100'	100'
WATERCOURSES* (TOP OF BANK)	100'	100'
RESERVOIRS (HIGHWATER MARK)	200'	200'
CUT OR STEEP EMBANKMENTS (TOP OF CUT)	4 X H**	10 FEET
STEEP SLOPES***	4 X H**	10 FEET
DRAINAGE/SWALE	50'	50'
FOUNDATION	10'	5'
PROPERTY LINE	10'	10'
SEPTIC TANKS	6'	N/A
SWIMMING POOL	25'	25'
ROAD EASEMENT, PAVEMENT, OR DRIVEWAY	5'	5'
PONDS AND LANDSLIDES	100'	100'

\* WATERCOURSE - A RUNNING STREAM FED FROM PERMANENT OR NATURAL SOURCES, INCLUDING RIVERS, CREEKS, RUNS, AND RIVULETS. THERE MUST BE A STREAM, USUALLY FLOWING IN A PARTICULAR DIRECTION (THROUGH IT NEED NOT FLOW CONTINUOUSLY) IN A DEFINITE CHANNEL, HAVING A BED OR BANKS AND USUALLY DISCHARGING INTO SOME STREAM OR BODY OF WATER.

\*\* H EQUALS THE HEIGHT OF CUT OR EMBANKMENT IN FEET. THIS SETBACK DISTANCE REQUIREMENT MUST NOT BE LESS THAN 25 FEET OR MORE THAN 100 FEET.

\*\*\* AS DEFINED BY THE REGIONAL WATER QUALITY CONTROL BOARD HAVING JURISDICTION, BUT NOT EXCEEDING 67 PERCENT.

(M) NO PRIVATE SEWAGE DISPOSAL SYSTEM MAY BE APPROVED ON ANY PARCEL OF LAND WHERE PERCOLATION RATE EXCEEDS 120 MIN/INCH OR IS LESS THAN ONE MIN/INCH.

(N) NO PART OF ANY PRIVATE SEWAGE DISPOSAL SYSTEM MAY CROSS ANY PROPERTY LINE.

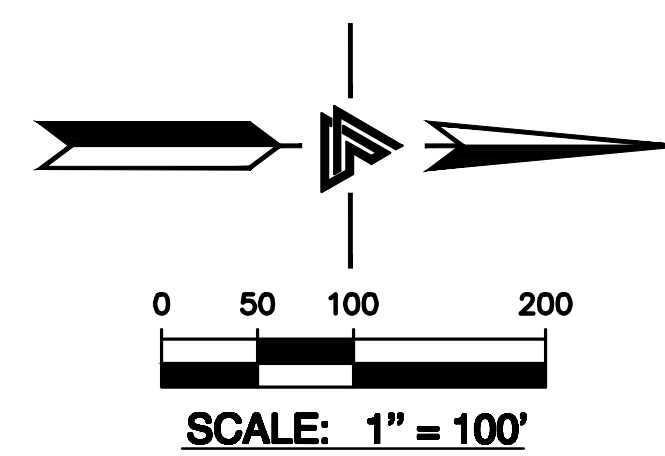
(O) UPON NOTICE FROM THE DIRECTOR THAT WORK ON THE SEWAGE DISPOSAL SYSTEM IS BEING CONDUCTED IN VIOLATION OF THIS CHAPTER, OR IN AN UNSAFE OR DANGEROUS MANNER, THE WORK MUST BE IMMEDIATELY STOPPED. THE STOP-WORK MUST BE ISSUED TO THE OWNER OF THE PROPERTY INVOLVED, OR THE OWNER'S AGENT, OR THE PERSON DOING THE WORK. IT MUST STATE THE CONDITIONS UNDER WHICH WORK MAY BE RESUMED. NO PRIVATE SEWAGE DISPOSAL SYSTEM MAY BE APPROVED ON ANY PARCEL OF LAND WHERE PERCOLATION RATE EXCEEDS 120 MIN/INCH OR IS LESS THAN ONE MIN/INCH.

**STATEMENT OF CERTIFICATION:**

AS THE CONSULTING PROFESSIONAL I HEREBY CERTIFY THAT THE SITE ASSESSMENT, SOIL PROFILES, AND PERCOLATION TESTING WERE PERFORMED UNDER MY OVERSIGHT AND IN CONFORMANCE WITH ATTACHMENT C OF THE SANTA CLARA COUNTY LU SYSTEMS MANUAL (MAY 2014).

**TRENCHING NOTE:**  
ALL TRENCHING FOR THE PROPOSED LEACHFIELDS WITHIN THE DRILINES OF ANY SIGNIFICANT TREE WILL BE DONE BY HAND UNDER THE SUPERVISION OF THE PROJECT ARBORIST

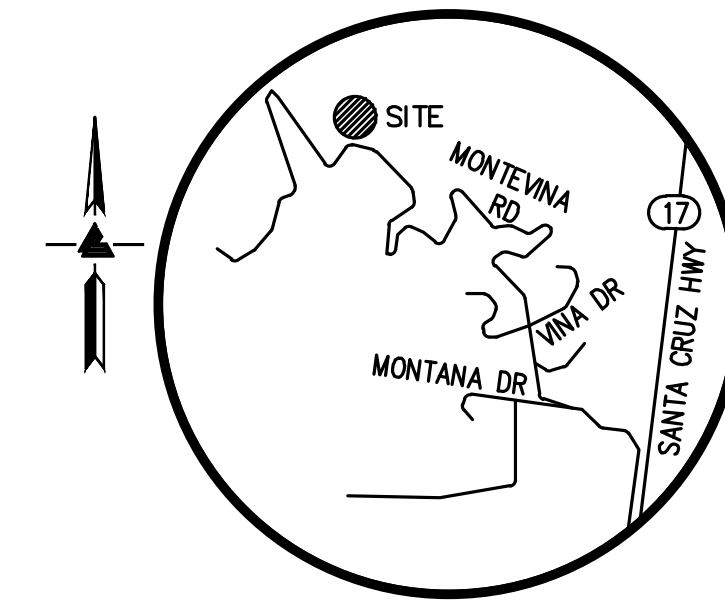
**NOTE:**  
COUNTY REQUIRES LEACH LINES TO BE STAKED OUT BY A SURVEYOR PRIOR TO INSTALLATION. FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com



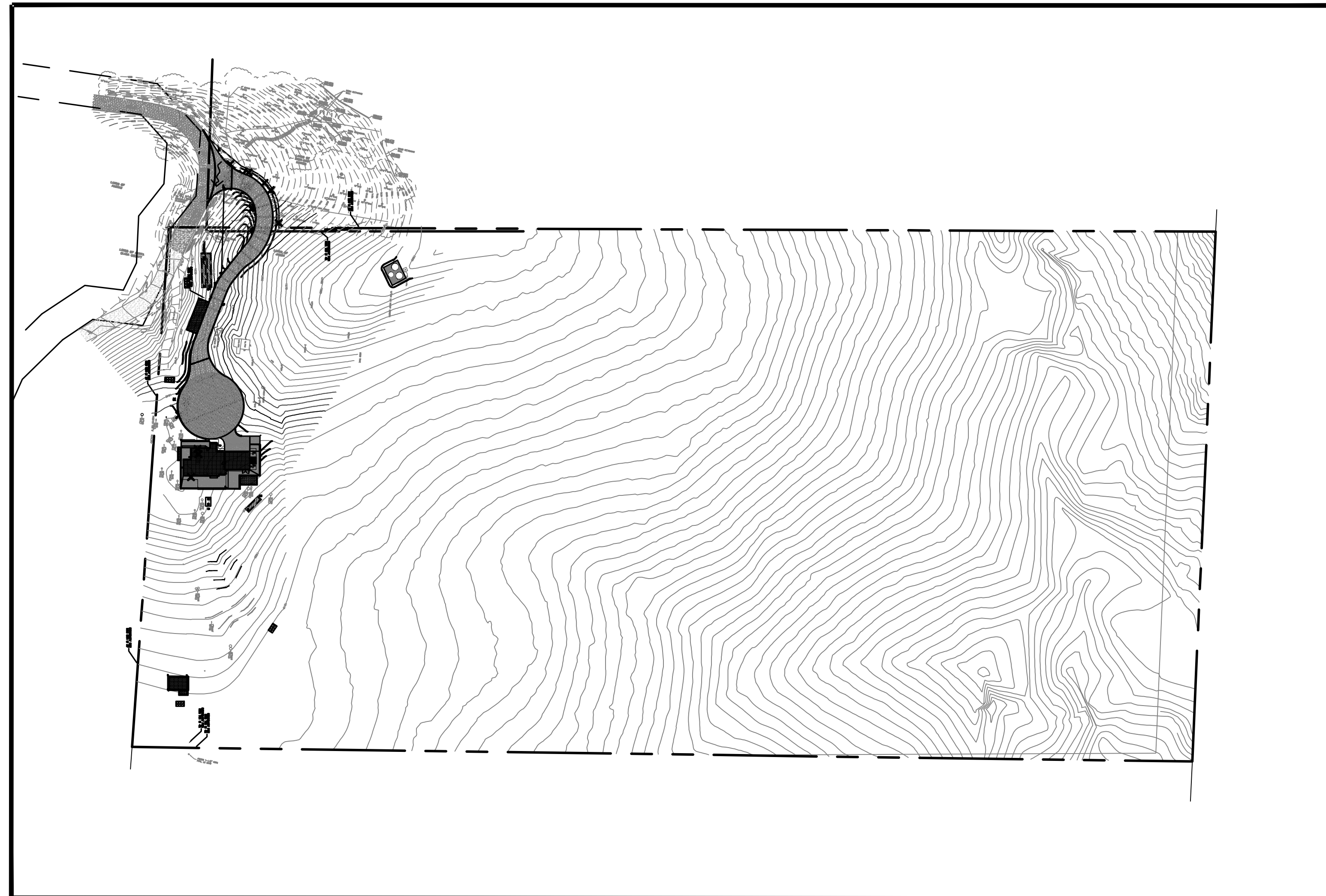
**ABBREVIATIONS**

- AD AREA DRAIN
- BFP BACKFLOW PREVENTOR
- CB CATCH BASIN
- CL CENTER LINE
- CO CLEANOUT
- DIV DIVERSION VALVE
- E EFFLUENT
- ELEV ELEVATIONS
- (E) EXISTING
- FL FLOW LINE
- INV INVERT ELEVATION
- JT JOINT TRENCH
- LN LANDING
- LN DG LANDING
- MM AX MAXIMUM
- MIN MINIMUM
- MIN NEW
- (N) NOT TO SCALE
- NTS ON CENTER
- O.C. PROPERTY LINE
- R RIM ELEVATION
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- STD STANDARD
- TW/FG TOP OF WALL/FINISH GRADE
- TYP TYPICAL
- W WITH
- WL WATER LINE

# ENGINEERED PLANS FOR ON-SITE WASTEWATER TREATMENT SYSTEM [OWTS] @ MONTEVINA ROAD LOS GATOS, CALIFORNIA



VICINITY MAP  
NO SCALE



**LEGEND**

PROPOSED	DESCRIPTION
---	BOUNDARY
---	PRIMARY LEACH LINE
---	EXPANSION LEACH LINE
---	RETAINING WALL
---	LANDSCAPE RETAINING WALL
TL	TIGHTLINE
E	EFFLUENT LINE
---	SET BACK LINE
---	WATER LINE
X	FENCE LINE
P	PRESSURE LINE
JT	JOINT TRENCH
SUB	SUBDRAIN LINE
---	GRADING LIMIT LINE
Div	DIVERSION VALVE
DS	DOWNSPOUT
SSCO	SANITARY SEWER CLEANOUT
BFP	BACKFLOW PREVENTOR
AD	AREA DRAIN
SL	SEPTIC LID
222.57	SPOT ELEVATION
200	CONTOURS

**SEPTIC TANK AND DRAINFIELD CONSTRUCTION NOTES:**

- INSTALL A 1500-GALLON CONCRETE PRECAST SEPTIC TANK.
- INSTALL GAS-TIGHT RISER TO GRADE.
- INSTALL A LANGLEY HILL QUARRY DIVERSION VALVE.
- INSTALL A DUAL LEACHING SYSTEM SEPARATED BY A DIVERSION VALVE.

**STAKING NOTES:**

LEA & BRAZE SHALL STAKE OUT PROPOSED SEPTIC SYSTEM FOR VERIFICATION BY SANTA CLARA COUNTY ENVIRONMENTAL HEALTH PRIOR TO SITE INSPECTION

**SHEET INDEX:**

- SS-1 SEPTIC TITLE SHEET
- SS-2 SEPTIC SYSTEM ENGINEERED PLAN
- SS-3 SEPTIC SYSTEM DETAILS

AREA BELOW IS FOR SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH USE ONLY:

NO.	REVISION	BY
1	REVISION 11-17-23	KBC
2	REVISION 02-12-24	KBC
-	-	-
-	-	-
-	-	-
REVISIONS		BY
JOB NO:		2221268
DATE:		08-25-23
SCALE:		AS NOTED
DESIGN BY:		KBC
CHECKED BY:		JH
SHEET NO:		<b>OWTS 98-1</b>
		03 OF 03 SHEETS



**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
REGIONAL OFFICES:  
DUBLIN, CA  
DUBLIN, CA  
SAN JOSE, CA  
WWW.LEABRAZE.COM  
(510) 887-4086

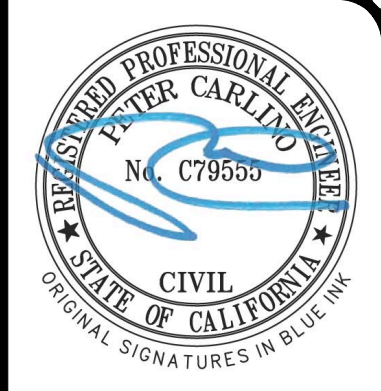
JARON PROPERTY  
0 MONTEVINA ROAD  
LOS GATOS, CALIFORNIA  
SANTA CLARA COUNTY  
APN: 544-07-012

SEPTIC TITLE SHEET

PLAN # OF SHEET







**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 REGIONAL OFFICES:  
 DUBLIN, CALIFORNIA 94568  
 HAYWARD, CALIFORNIA 94545  
 SAN JOSE, CALIFORNIA 95128  
 (510) 887-4086  
 WWW.LEABRAZE.COM

**JARON PROPERTY**  
 0 MONTEVINA ROAD  
 LOS GATOS, CALIFORNIA  
 SANTA CLARA COUNTY  
 APN: 544-07-012

**SEPTIC SYSTEM ENGINEERED PLAN**

NO.	REVISION	DATE	BY
1	REVISION 11-17-23	KBC	
2	REVISION 02-12-24	KBC	
REVISIONS		BY	
JOB NO:		2221268	
DATE:		08-25-23	
SCALE:		AS NOTED	
DESIGN BY:		KBC	
CHECKED BY:		JH	
SHEET NO:			
<b>OWTS 86-2</b>			
02 OF 03 SHEETS			

**SEPTIC SYSTEM KEYNOTES 1 TO 4**

- 1 INSTALL (N) 1500-GALLON PRECAST CONCRETE SEPTIC TANK. SEE DETAIL 3 & 5 ON SHEET SS-3.
- 2 INSTALL PRIMARY AND SECONDARY DRAINFIELD SYSTEM AS SHOWN - SEE DETAIL 4 ON SHEET SS-3.
- 3 INSTALL (N) LANGLEY HILL QUARRY DIVERSION VALVE.
- 4 PROVIDE TREE PROTECTION FOR TREES TO REMAIN IN ACCORDANCE WITH THE ARBORIST REPORT.

**CONVENTIONAL SYSTEM LEACH LINE CALCULATIONS:**

PERCOLATION RATE BASED ON FIELD DATA WAS OBSERVED TO BE 24 MPI. IN ACCORDANCE WITH TABLE 1 (SECTION 3 BACK OF PAGE 3-18) OF THE SANTA CLARA COUNTY ONSITE SYSTEMS MANUAL THE APPLICATION RATE IS 0.60 GPD/SQFT.

HOME IS PROPOSED WITH 5 BEDROOMS. THEREFORE, WASTEWATER FLOW IS 600 GAL/DAY PER TABLE 3-1 (SECTION 3) OF THE SANTA CLARA COUNTY ONSITE SYSTEMS MANUAL.

REQUIRED LENGTH CALCULATED BY THE EQUATION SUPPLIED ON PAGE 3-17 OF THE SANTA CLARA COUNTY ONSITE SYSTEMS MANUAL (SECTION 3) THAT STATES:

TRENCH LENGTH = Q/(R\*A)  
 Q=FLOW RATE (GPD)  
 R=WASTEWATER APPLICATION RATE (GPD/SQFT)  
 A=TOTAL INFILTRATIVE AREA PER LINEAR FOOT (SQFT)  
 [6.6 SQFT STANDARD PER QUICK4 HIGH CAPACITY ADJUSTED INFILTRATIVE CAPACITY]

REQUIRED TRENCH LENGTH FOR 100% CAPACITY CALCULATION (OWTS ORDINANCE REQUIRES 2 100% FIELD "PRIMARY AND SECONDARY"):  
 600/(6.6\*0.60) = 152 FT REQUIRED

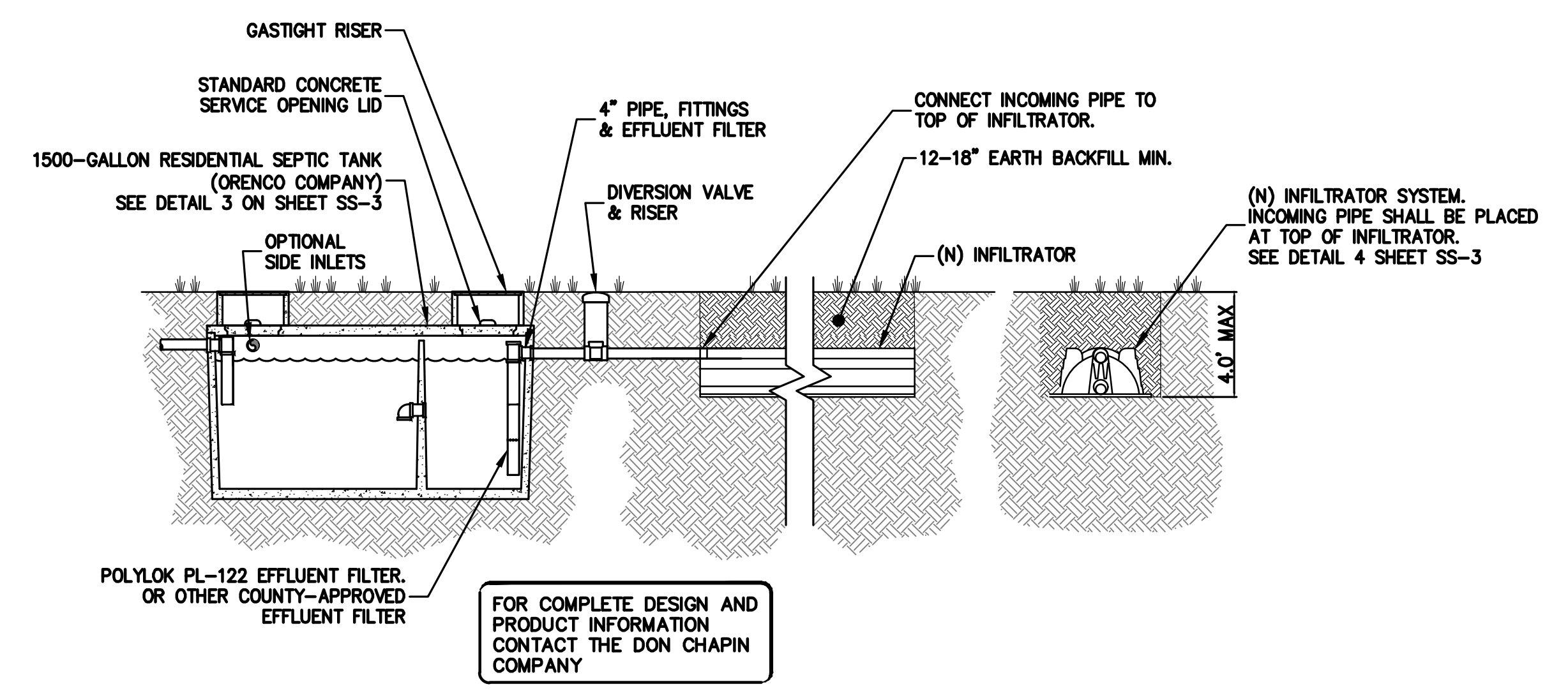
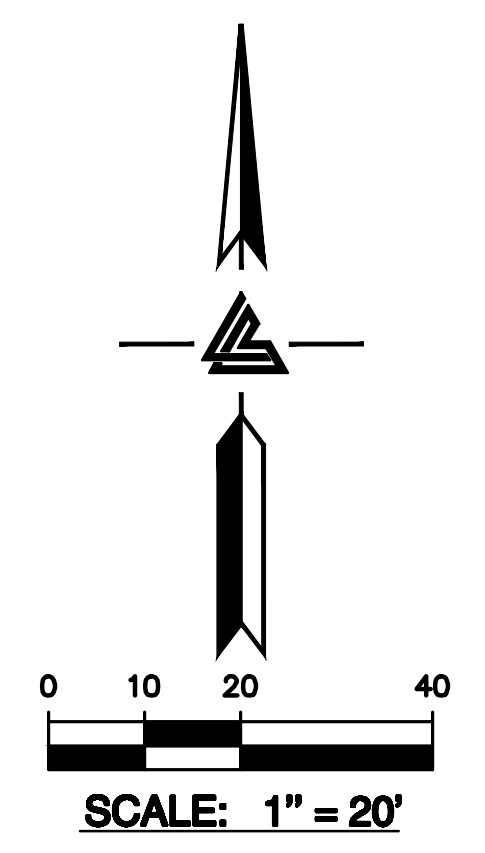
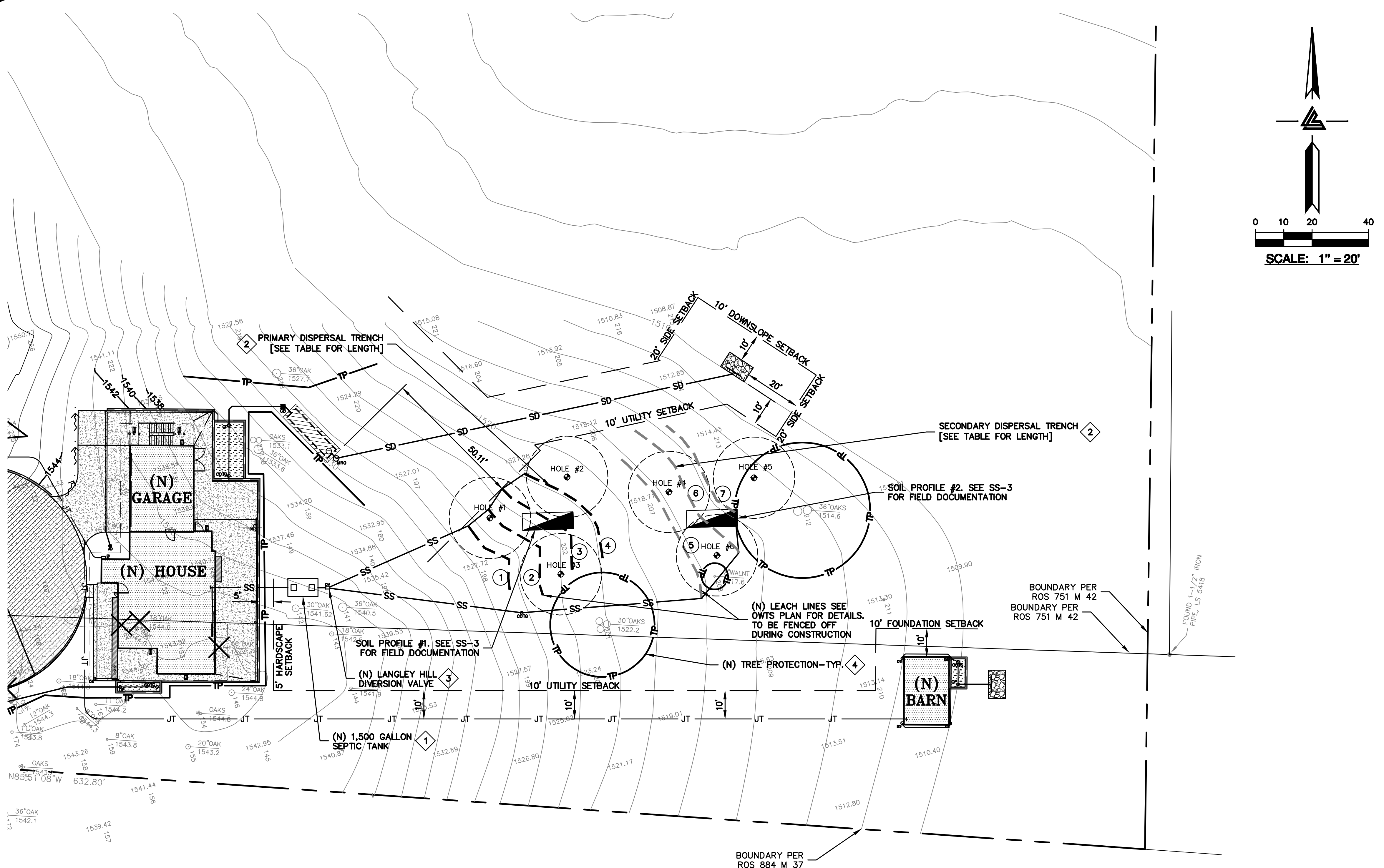
TOTAL CONVENTIONAL DISPERSAL TRENCH LENGTH REQUIRED = 304 LINEAR FEET

SEE DISPERSAL TRENCH TABLE ON SHEET SS-2 FOR BREAKDOWN OF LEACH LINE LENGTH PROVIDED IN EACH FIELD.

**DISPERSAL TRENCH TABLE**

#	PRIMARY OR SECONDARY DRAINFIELD LENGTH OF INFILTRATOR
1	PRIMARY 30 LF
2	PRIMARY 40 LF
3	PRIMARY 42 LF
4	PRIMARY 44 LF
5	SECONDARY 58 LF
6	SECONDARY 58 LF
7	SECONDARY 40 LF
TOTAL LENGTH 312 LF	

**TREE PROTECTION NOTE:**  
 SEVERED ROOTS 1" OR LARGER TO BE CUT SQUARELY WITH A SHARP TOOL, COVERED WITH BURLAP, AND KEPT MOIST UNTIL BACKFILLED. TREE PROTECTION TO BE IN ACCORDANCE WITH THE ARBORIST REPORT.



LIQUID CAPACITY REQUIRED: 1500 GALLONS (4 BEDROOMS)  
 DOSING CAPACITY REQUIRED: 150 GALLONS (150 GALLONS/BEDROOM PER SANTA CLARA COUNTY OWTS MANUAL 1500 GALLON MIN. FOR RESIDENTIAL USAGE)  
 BOX DESIGN LOAD: NON-TRAFFIC, UP TO 3 FEET OF SOIL COVER, MAXIMUM 500 PSF.

**1 TYPICAL GRAVITY INFILTRATOR SYSTEM**  
 SS-2 NTS

PLAN # \_\_\_\_\_ OF \_\_\_\_\_ SHEET







COUNTY OF SANTA CLARA  
General Construction  
Specifications

GENERAL CONDITIONS

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS, IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
2. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORNER AT (4008) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 86-18).
10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-8888 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
  - A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
  - B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEVED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
3. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
4. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
5. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
RESIDENCE	25	100	6
NECESSARY STRUCTURE	0	25	2
POOL/HARDSCAPE	5	300	10
LANDSCAPE	140	65	10.5
	1765	45	18
SITE IMPROVEMENTS (RETENTION SYSTEM)	340	0	12
TOTAL	2,275	535	

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
- EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.
7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
  8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
  9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% RELATIVE COMPACTION.
  10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
  11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
  12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
  13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
  14. TOTAL DISTURBED AREA FOR THE PROJECT 42,800 SF.
  15. WOOD NO N/A.
  16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NO) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
  - A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLENE OF THE TREE OR GROVE OF TREES.
  - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE.
  - C. HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
  - D. SIGMAGE STATING: "WARNING: THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
5. ALL WORK SHALL REQUIRE AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
3. PAVE ALL WATER THREE TIMES DAILY TO APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
  - A. 15 MILES PER HOUR (MPH) SPEED LIMIT
  - B. 5 MINUTE MAXIMUM IDLING TIME OF VEHICLES
  - C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367.
10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDING WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL) SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDR.
13. STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
  - B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
  - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE REQUIRED TO FAILURE TO POSTAL SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS912008 / ORDER NO. R2--2009-0047 AND NPDES PERMIT CAS000004 / ORDER NO. 2013-0001-DWQ.
2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS, WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA.
4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE ( ) WERE ( ) WERE NOT MINOR FIELD CHANGES - MARKED WITH THE SYMBOL ( ), THERE ( ) WERE ( ) WERE NOT PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

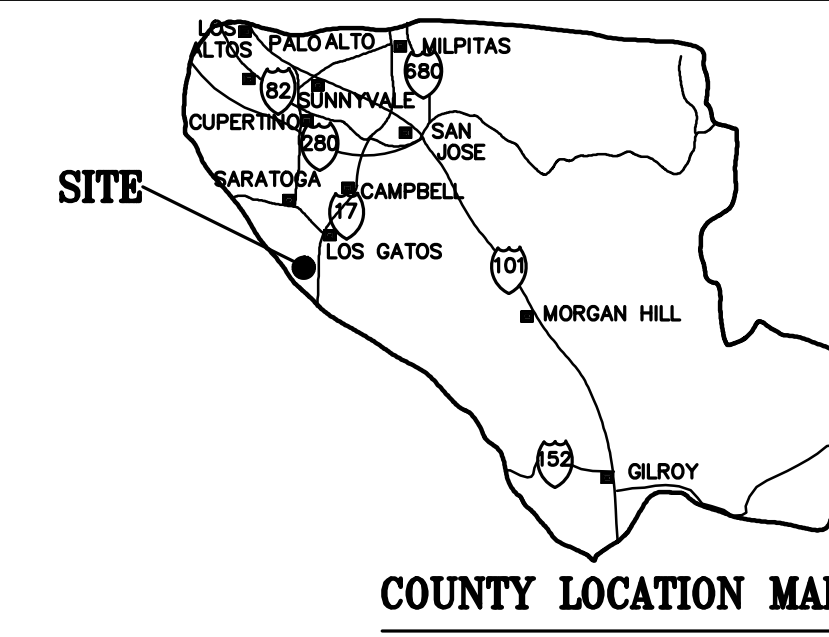
DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_

NOTE: THIS STATEMENT IS TO BE NOTED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

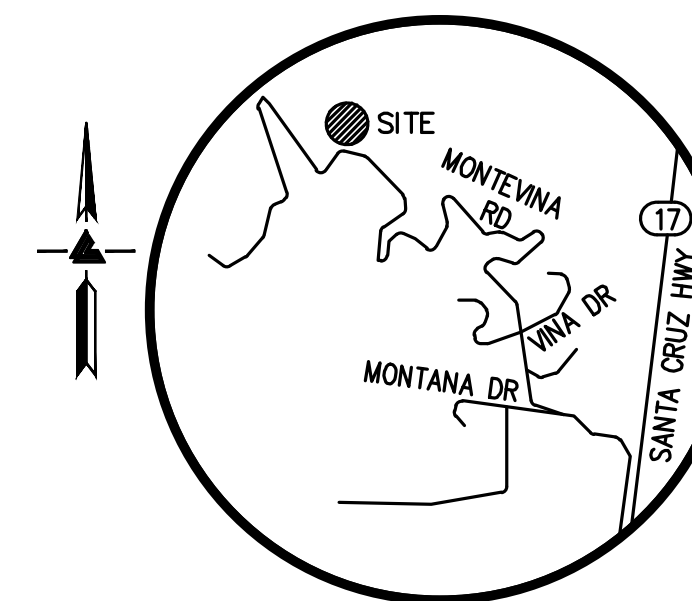
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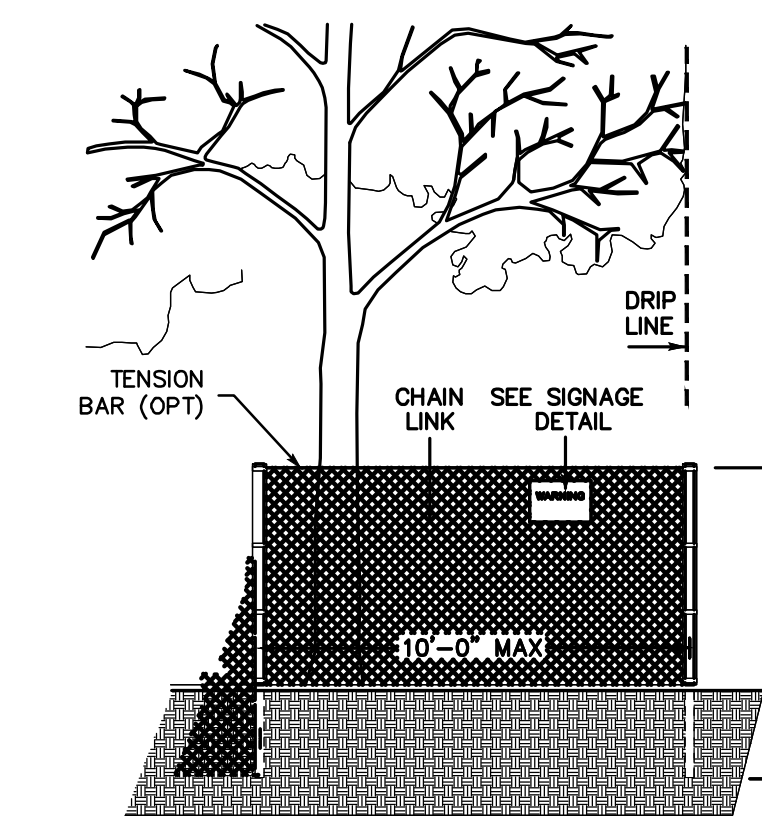
COUNTY LOCATION MAP

SURVEY MONUMENT PRESERVATION

1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



VICINITY MAP NO SCALE



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

SHEET INDEX

C-1.1	OVERALL SITE PLAN
C-2.0	GRADING & DRAINAGE PLAN
C-2.1	GRADING & DRAINAGE PLAN
C-2.2	GRADING & DRAINAGE PLAN
C-2.3	GRADING & DRAINAGE PLAN
C-3.0	HORIZONTAL CONTROL PLAN
C-3.1	SITE SECTION
C-3.2	SITE SECTION
C-4.0	DETAILS
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C-5.0	GRADING SPECIFICATIONS
ER-1	EROSION CONTROL PLAN
BMP-1	EROSION CONTROL DETAILS
BMP-2	EROSION CONTROL DETAILS

LEA & BRAZE ENGINEERING, INC.

CIVIL ENGINEERS • LAND SURVEYORS  
BAY AREA REGION SACRAMENTO REGION  
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LB# 2221268 C1	DATE: 01/30/2023
Revision 1 Date	APN 544-07-012 Sheet 01
Revision 2 Date	Co. File of
Revision 3 Date	of 16

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS PERTAINING THERETO DATED SEPTEMBER 25, 2020 FILE(S) NO. \_\_\_\_\_

DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_



PLAN # \_\_\_\_\_ SHEET \_\_\_\_\_

















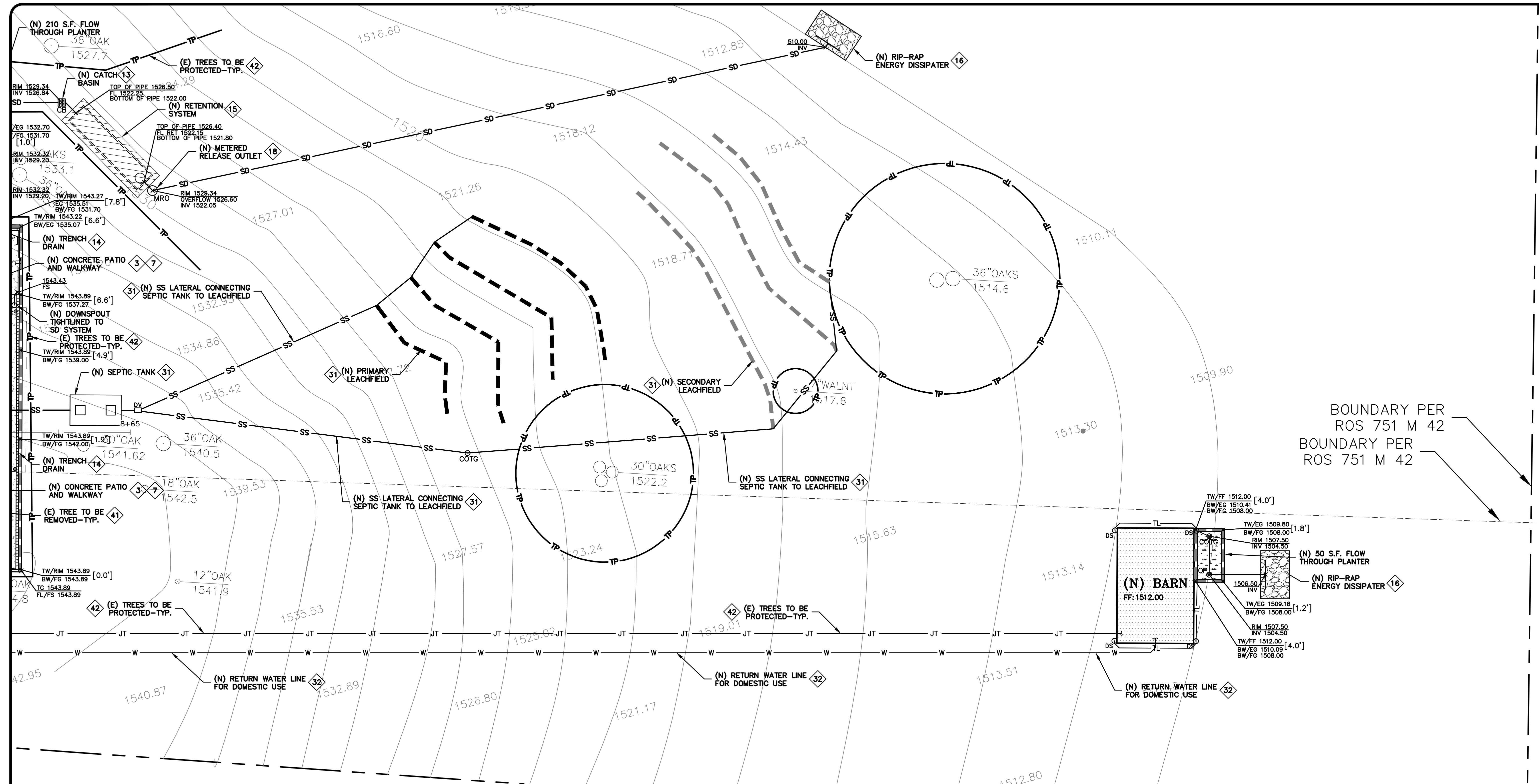




**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 REGIONAL OFFICES:  
 PASADENA  
 DUBLIN  
 SAN JOSE  
 WWW.LEABRAZE.COM

**JARON PROPERTY**  
 0 MONTEVINA ROAD  
 LOS GATOS, CALIFORNIA  
 SANTA CLARA COUNTY  
 APN: 544-07-012

**GRADING & DRAINAGE PLAN**



BOUNDARY PER  
 ROS 751 M 42

- FLATWORK** KEYNOTES 1 TO 7
- 1 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
  - 2 SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP
  - 3 PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
  - 4 (N) AC DRIVEWAY. SEE DETAIL 1 ON SHEET C-4.0.
  - 5 GRIND AC TO TIE (N) AC INTO (E) AC PAVING. SEE DETAIL 2 ON SHEET C-4.0.
  - 6 (N) CONCRETE DRIVEWAY. SEE DETAIL 3 ON SHEET C-4.0.
  - 7 (N) CONCRETE PATIOS/WALKWAYS. SEE DETAIL 4 ON SHEET C-4.0.

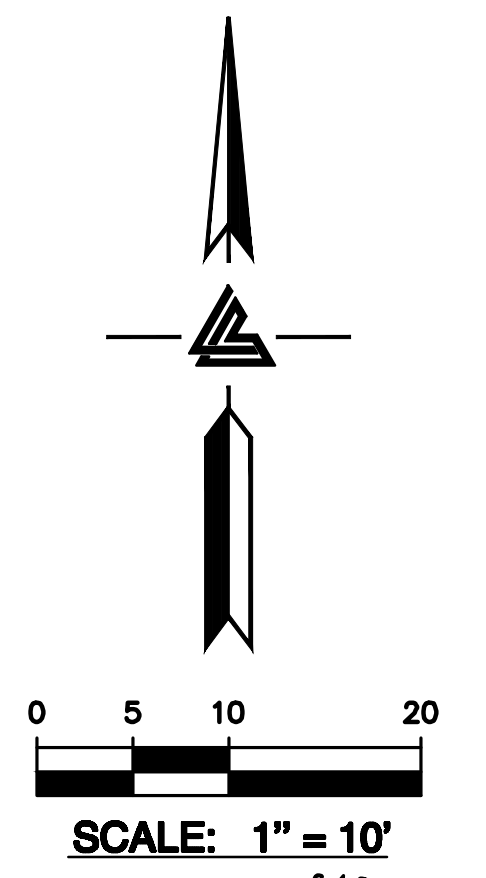
- DEMOLITION** KEYNOTES 41 TO 42
- 41 REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.
  - 42 PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET ER-2.
- UTILITIES** KEYNOTES 31 TO 33
- 31 (N) SEWER LATERAL, SEPTIC TANK, AND LEACH FIELD (BY SEPARATE DESIGN). LATERAL SHALL BE 4" PVC (SDR-26 OR BETTER) SLOPED AT 2%.
  - 32 CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.
  - 33 INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

- STORM DRAIN** KEYNOTES 10 TO 19
- 10 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.
  - 11 DIRECT DOWNSPOUTS TO 24" LONG PRECAST CONCRETE SPLASHBLOCKS OR OTHER HARD SURFACE. DIRECT AWAY FROM ANY STRUCTURE AND TOWARDS POSITIVE DRAINAGE. SEE DETAIL 5 ON SHEET C-4.0.
  - 12 INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE). SEE DETAIL 6 ON C-4.0.
  - 13 INSTALL (N) 'CHRISTY V-24" CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL 7 ON SHEET C-4.0.
  - 14 TRENCH DRAINS SHALL BE 6" NDS "DURA-SLOPE" PRESLOPED TRENCH DRAINS W/ TRAFFIC RATED GRATE OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE VIA 4" PVC TIGHTLINE.
  - 15 INSTALL (N) RETENTION SYSTEM. SEE DETAIL 1 ON SHEET C-4.1.

- STORM DRAIN** KEYNOTES 16 TO 19
- 16 INSTALL (N) RIP-RAP ENERGY DISSIPATER. SEE DETAIL 8 ON SHEET C-4.0.
  - 17 INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN. SEE DETAIL 4 ON SHEET C-4.1.
  - 18 INSTALL (N) METERED RELEASE OUTLET. SEE DETAIL 2 ON SHEET C-4.1.
  - 19 INSTALL (N) SUMP PUMP WITH OPEN GRATE FOR STORM DRAIN SYSTEM. SEE DETAIL 3 ON SHEET C-4.1.
- CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS

**NOTE:**  
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

**\* BUILDING PAD NOTE:**  
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



REVISIONS	BY

JOB NO: 2221268  
 DATE: 01-30-23  
 SCALE: AS NOTED  
 DESIGN BY: KBC  
 CHECKED BY: JH  
 SHEET NO:  
**C-2.2**  
 06 OF 16 SHEETS

PLAN # OF SHEET



























GENERAL NOTES

ALL GENERAL NOTES, SHEET NOTES, AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT...

THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF LEA AND BRAZE ENGINEERING, INC. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT...

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK INCLUDING, BUT NOT LIMITED TO, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE...

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED. PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED...

ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE/SHE BEGINS HIS/HER WORK. ANY ERRORS, OMISSION, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/CONTRACTOR BEFORE CONSTRUCTION BEGINS.

COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.

WORK SEQUENCE

IN THE EVENT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER OR THE CONTRACTOR, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGUN.

SITE EXAMINATION: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE HIM/HERSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED...

LEA AND BRAZE ENGINEERING, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER...

CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE PROJECTS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL COMPONENTS BY VARIOUS CONSTRUCTION INDUSTRY TRADES. THESE DOCUMENTS CANNOT PORTRAY ALL COMPONENTS OR ASSEMBLIES EXACTLY...

IF THE OWNER OR CONTRACTOR OBSERVES OR OTHERWISE BECOMES AWARE OF ANY FAULT OR DEFECT IN THE PROJECT OR NONCONFORMANCE WITH THE CONTRACT DOCUMENTS, PROMPT WRITTEN NOTICE THEREOF SHALL BE GIVEN BY THE OWNER AND/OR CONTRACTOR TO THE ENGINEER.

THE ENGINEER SHALL NOT HAVE CONTROL OF OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK...

SITE PROTECTION

PROTECT ALL LANDSCAPING THAT IS TO REMAIN. ANY DAMAGE OR LOSS RESULTING FROM EXCAVATION, GRADING, OR CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER...

STORMWATER POLLUTION PREVENTION NOTES

- 1) STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
2) CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENT, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATER COURSES.

SUPPLEMENTAL MEASURES

- A. THE PHRASE "NO DUMPING - DRAINS TO BAY" OR EQUALLY EFFECTIVE PHRASE MUST BE LABELED ON STORM DRAIN INLETS (BY STENCILING, BRANDING, OR PLAQUES) TO ALERT THE PUBLIC TO THE DESTINATION OF STORM WATER AND TO PREVENT DIRECT DISCHARGE OF POLLUTANTS INTO THE STORM DRAIN.
B. USING FILTRATION MATERIALS ON STORM DRAIN COVERS TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.

GRADING & DRAINAGE NOTES:

1. SCOPE OF WORK

THESE SPECIFICATIONS AND APPLICABLE PLANS PERTAIN TO AND INCLUDE ALL SITE GRADING AND EARTHWORK ASSOCIATED WITH THE PROJECT INCLUDING, BUT NOT LIMITED TO THE FURNISHING OF ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR SITE CLEARING AND GRUBBING, SITE PREPARATION, DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, STRIPPING, KEYING, EXCAVATION, OVER EXCAVATION, RECOMPACTION PREPARATION FOR SOIL RECEIVING FILL, PAVEMENT, FOUNDATION OF SLABS, EXCAVATION, IMPORTATION OF ANY REQUIRED FILL MATERIAL, PROCESSING, PLACEMENT AND COMPACTION OF FILL AND SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADING AND SLOPE SHOWN ON THE PROJECT GRADING PLANS.

2. GENERAL

- A. ALL SITE GRADING AND EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS OF THESE SPECIFICATIONS, THE SOILS REPORT; AND THE COUNTY OF SANTA CLARA.
B. ALL FILL MATERIALS SHALL BE DENSIFIED SO AS TO PRODUCE A DENSITY NOT LESS THAN 90% RELATIVE COMPACTION BASED UPON ASTM TEST DESIGNATION D1557. FIELD DENSITY TEST WILL BE PERFORMED IN ACCORDANCE WITH ASTM TEST DESIGNATION 2922 AND 3017.

3. CLEARING AND GRUBBING

- A. THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION. ALL EXISTING PUBLIC IMPROVEMENTS SHALL BE PROTECTED. ANY IMPROVEMENTS DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LOCAL JURISDICTION WITH NO EXTRA COMPENSATION.
B. ALL ABANDONED BUILDINGS AND FOUNDATIONS, TREE (EXCEPT THOSE SPECIFIED TO REMAIN FOR LANDSCAPING PURPOSES), FENCES, VEGETATION AND ANY SURFACE DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

4. SITE PREPARATION AND STRIPPING

- A. ALL SURFACE ORGANICS SHALL BE STRIPPED AND REMOVED FROM BUILDING PADS, AREAS TO RECEIVE COMPACTED FILL AND PAVEMENT AREAS.
B. UPON THE COMPLETION OF THE ORGANIC STRIPPING OPERATION, THE GROUND SURFACE (NATIVE SOIL SUBGRADE) OVER THE ENTIRE AREA OF ALL BUILDING PADS, STREET AND PAVEMENT AREAS AND ALL AREAS TO RECEIVE COMPACTED FILL SHALL BE PLOWED OR SCARIFIED UNTIL THE SURFACE IS FREE OF RUTS, HUMMOCKS OR OTHER UNEVEN FEATURES WHICH MAY INHIBIT UNIFORM SOIL COMPACTION.

5. EXCAVATION

- A. UPON COMPLETION OF THE CLEARING AND GRUBBING, SITE PREPARATION AND STRIPPING, THE CONTRACTOR SHALL MAKE EXCAVATIONS TO LINES AND GRADES NOTED ON THE PLAN, WHERE REQUIRED BY THE SOILS ENGINEER. UNACCEPTABLE NATIVE SOILS OR UNENGINEERED FILL SHALL BE OVER EXCAVATED BELOW THE DESIGN GRADE. SEE PROJECT SOILS REPORT FOR DISCUSSION OF OVER EXCAVATION OF THE UNACCEPTABLE MATERIAL. RESULTING GROUND LINE SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS.
B. EXCAVATED MATERIALS SUITABLE FOR COMPACTED FILL MATERIAL SHALL BE UTILIZED IN MAKING THE REQUIRED COMPACTED FILLS. THOSE NATIVE MATERIALS CONSIDERED UNSUITABLE BY THE SOILS ENGINEER SHALL BE DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

6. PLACING, SPREADING AND COMPACTING FILL MATERIAL

A. FILL MATERIALS

THE MATERIALS PROPOSED FOR USE AS COMPACTED FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. THE NATIVE MATERIAL IS CONSIDERED SUITABLE FOR FILL; HOWEVER, ANY NATIVE MATERIAL DESIGNATED UNSUITABLE BY THE SOILS ENGINEER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR...

B. FILL CONSTRUCTION

THE SOILS ENGINEER SHALL APPROVE THE NATIVE SOIL SUBGRADE BEFORE PLACEMENT OF ANY COMPACTED FILL MATERIAL. UNACCEPTABLE NATIVE SOIL SHALL BE REMOVED AS DIRECTED BY THE SOILS ENGINEER. THE RESULTING GROUND LINE SHALL BE SCARIFIED MOISTURE CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS...

THE APPROVED FILL MATERIALS SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS NO THICKER THAN 8" IN LOOSE THICKNESS. LAYERS SHALL BE SPREAD EVENLY AND SHALL BE THOROUGHLY MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER...

AFTER EACH LAYER HAS BEEN PLACED, MIXED, SPREAD EVENLY AND MOISTURE CONDITIONED, IT SHALL BE COMPACTED TO AT LEAST THE SPECIFIED DENSITY.

THE FILL OPERATION SHALL BE CONTINUED IN COMPACTED LAYERS AS SPECIFIED ABOVE UNTIL THE FILL HAS BEEN BROUGHT TO THE FINISHED SLOPES AND GRADES AS SHOWN ON THE PLANS. NO LAYER SHALL BE ALLOWED TO DRY OUT BEFORE SUBSEQUENT LAYERS ARE PLACED.

COMPACTION EQUIPMENT SHALL BE OF SUCH DESIGN THAT IT WILL BE ABLE TO COMPACT THE FILL TO THE SPECIFIED MINIMUM COMPACTION WITHIN THE SPECIFIED MOISTURE CONTENT RANGE. COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER ITS ENTIRE AREA UNTIL THE REQUIRED MINIMUM DENSITY HAS BEEN OBTAINED.

7. CUT OR FILL SLOPES

ALL CONSTRUCTED SLOPES, BOTH CUT AND FILL, SHALL BE NO STEEPER THAN 2 TO 1 (HORIZONTAL TO VERTICAL), DURING THE GRADING OPERATION, COMPACTED FILL SLOPES SHALL BE OVERLAPPED BY AT LEAST ONE FOOT HORIZONTALLY AT THE COMPLETION OF THE GRADING OPERATIONS...

8. SEASONAL LIMITS AND DRAINAGE CONTROL

FILL MATERIALS SHALL NOT BE PLACED, SPREAD OR COMPACTED WHILE IT IS AT AN UNSUITABLY HIGH MOISTURE CONTENT OR DURING OTHERWISE UNFAVORABLE CONDITIONS. WHEN THE WORK IS INTERRUPTED FOR ANY REASON THE FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TEST PERFORMED BY THE SOILS ENGINEER INDICATE THAT THE MOISTURE CONDITIONS IN AREAS TO BE FILLED ARE AS PREVIOUSLY SPECIFIED...

9. DUST CONTROL

THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY FOR THE ALLEVATION OR PREVENTION OF ANY DUST NUISANCE ON OR ABOUT THE SITE CAUSED BY THE CONTRACTOR'S OPERATION EITHER DURING THE PERFORMANCE OF THE GRADING OR RESULTING FROM THE CONDITION IN WHICH THE CONTRACTOR LEAVES THE SITE. THE CONTRACTOR SHALL ASSUME ALL LIABILITY INCLUDING COURT COST OF CO-DEFENDANTS FOR ALL CLAIMS RELATED TO DUST OR WIND-BLOWN MATERIALS ATTRIBUTABLE TO HIS WORK...

10. INDEMNITY

THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ENGINEER, THE OWNER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGE ARISING OR ALLEGED TO HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS.

11. SAFETY

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEERS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

12. GUARANTEE

NEITHER THE FINAL PAYMENT, NOR THE PROVISIONS IN THE CONTRACT, NOR PARTIAL, NOR ENTIRE USE OR OCCUPANCY OF THE PREMISES BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF THE WORK NOT DONE IN ACCORDANCE WITH THE CONTRACT OR RELIEVES THE CONTRACTOR OF LIABILITY IN RESPECT TO ANY EXPRESS WARRANTIES OR RESPONSIBILITY FOR FAULTY MATERIAL OR WORKMANSHIP.

THE CONTRACTOR SHALL REMEDY ANY DEFECTS IN WORK AND PAY FOR ANY DAMAGE TO OTHER WORK RESULTING THEREFROM WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.

13. TRENCH BACKFILL

EITHER THE ON-SITE INORGANIC SOIL OR APPROVED IMPORTED SOIL MAY BE USED AS TRENCH BACKFILL. THE BACKFILL MATERIAL SHALL BE MOISTURE CONDITIONED PER THESE SPECIFICATIONS AND SHALL BE PLACED IN LIFTS OF NOT MORE THAN SIX INCHES IN HORIZONTAL UNCOMPACTED LAYERS AND BE COMPACTED BY MECHANICAL MEANS TO A MINIMUM OF 90% RELATIVE COMPACTION...

14. EROSION CONTROL

- A. ALL GRADING, EROSION AND SEDIMENT CONTROL AND RELATED WORK UNDERTAKEN ON THIS SITE IS SUBJECT TO ALL TERMS AND CONDITIONS OF THE COUNTY GRADING ORDINANCE AND MADE A PART HEREOF BY REFERENCE.
B. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO ANY PUBLICLY OWNED AND MAINTAINED ROAD CAUSED BY THE AFORESAID CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE HAUL ROUTE.

- I. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS:
FIBER, 2000 LBS/ACRE
SEED, 200 LBS/ACRE (SEE NOTE J, BELOW)
FERTILIZER (11-8-4), 500 LBS/ACRE
WATER, AS REQUIRED FOR APPLICATION

- J. SEED MIX SHALL BE PER CALTRANS STANDARDS.
K. WATER UTILIZED IN THE STABILIZATION MATERIAL SHALL BE OF SUCH QUALITY THAT IT WILL PROMOTE GERMINATION AND STIMULATE GROWTH OF PLANTS. IT SHALL BE FREE OF POLLUTANT MATERIALS AND WEED SEED.
L. HYDROSEEDING SHALL CONFORM TO THE PROVISIONS OF SECTION 20, EROSION CONTROL AND HIGHWAY PLANTING, OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED.

15. CLEANUP

THE CONTRACTOR MUST MAINTAIN THE SITE CLEAN, SAFE AND IN USABLE CONDITION. ANY SPILLS OF SOIL, ROCK OR CONSTRUCTION MATERIAL MUST BE REMOVED FROM THE SITE BY THE CONTRACTOR DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. COST FOR THIS ITEM OF WORK SHALL BE INCLUDED IN THE EXCAVATION AND COMPACTION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

NOTE: THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE. THE REFERENCED SOILS REPORT FOR THE PROJECT AND GOVERNING AGENCY GRADING ORDINANCE SHALL SUPERSEDE THESE NOTES. THE SOILS ENGINEER MAY MAKE ON-SITE RECOMMENDATIONS DURING GRADING OPERATIONS.



LEA & BRAZE ENGINEERING, INC. CIVIL ENGINEERS & LAND SURVEYORS. REGIONAL OFFICES: SAN JOSE, SAN FRANCISCO, OAKLAND, SAN DIEGO, LOS ANGELES, PALM SPRINGS, SAN ANTONIO, HOUSTON, DALLAS, AUSTIN, PHOENIX, DENVER, BOULDER, COLORADO, SALT LAKE CITY, UTAH, SPOKANE, IDAHO, BOZEMAN, MONTANA, BUTTE, MONTANA, SPOKANE, IDAHO, BOZEMAN, MONTANA, BUTTE, MONTANA.

JARON PROPERTY 0 MONTEVINA ROAD LOS GATOS, CALIFORNIA. APN: 544-07-012. SANTA CLARA COUNTY.

GRADING SPECIFICATIONS

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