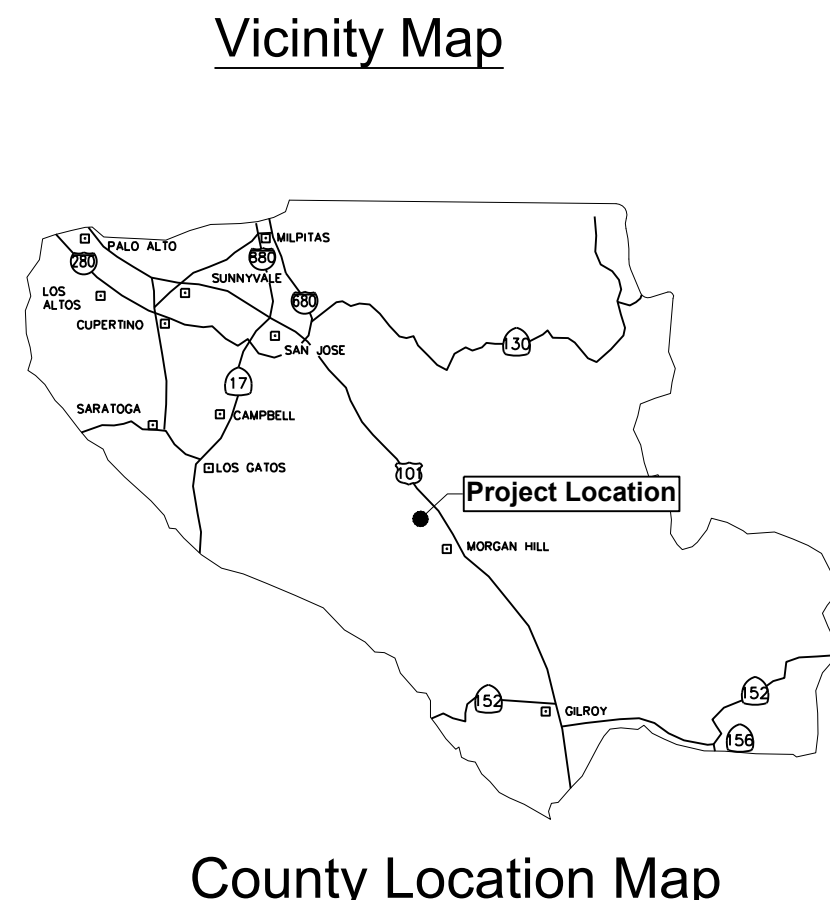
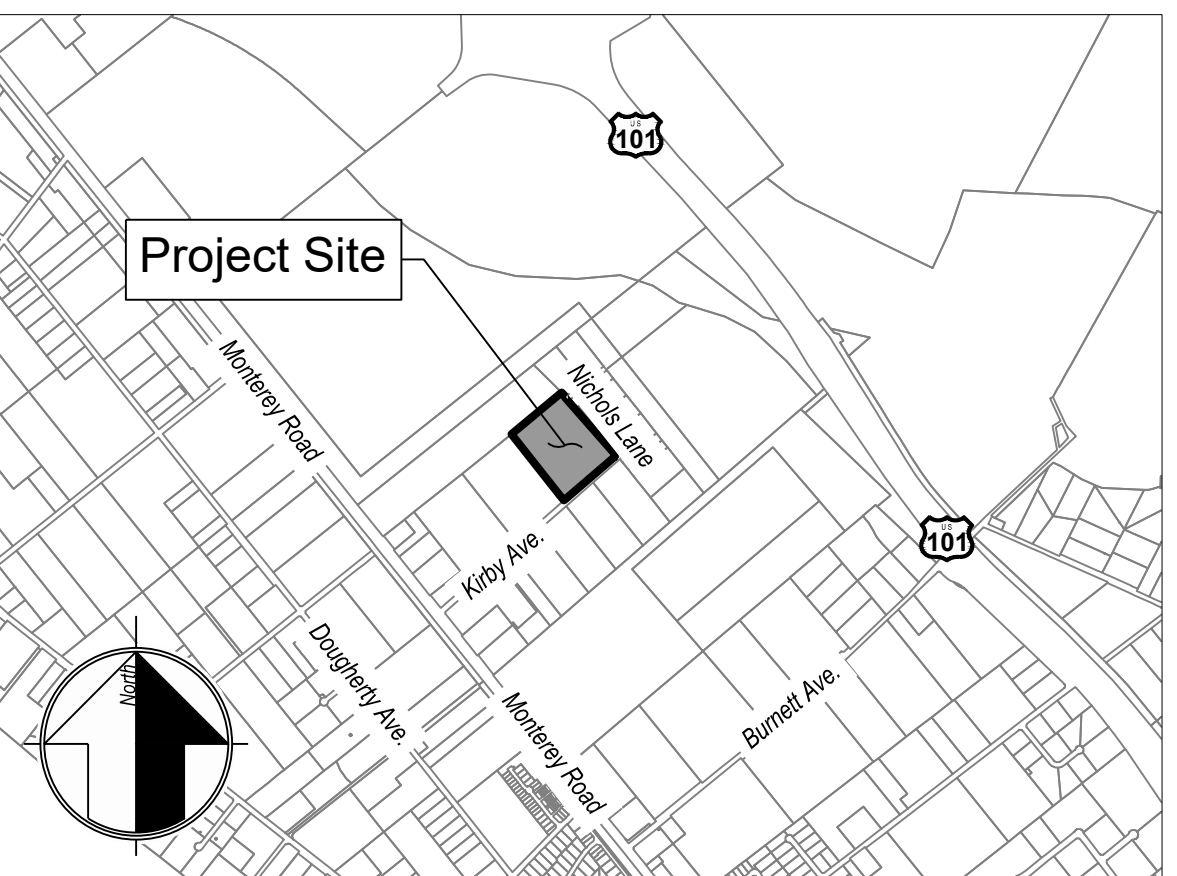


LEGEND

	(ex concrete)
	(ex pavement)
	(ex structure)
	Grading Violation AB to remain for AG
	Grading Violation AB to be removed
	Existing Contour
	Violation Contour



01/29/2024 9:38AM
FOR PLANCHHECK ONLY
 REGISTERED PROFESSIONAL ENGINEER
 DAVID L. FARIA
 No. 92432
 EXP. 06-30-2025
 CIVIL
 STATE OF CALIFORNIA
FOR PLANCHHECK ONLY
 regular and in possible get copies

Applicant/Owner:
 Mario Silva Jr.
 315 Kirby Avenue
 Morgan Hill, CA 95037
 408.313.1028
 mjrsviva@coyotevalleynursery.com

Engineer:
 David L. Faria, PE 92432
 MH Engineering
 16075 Vineyard Blvd.
 Morgan Hill, CA 95037
 408.779.7381
 davidl@mhengineering.com

Project Information:

APN	725-02-028
General Plan:	Agricultural Large Scale
Present Zoning:	A-40Ac
Sanitary Sewer:	ex OWTS
Gas and Electric:	ex PGE
Water:	ex well
Existing Improvements:	As Shown
Area:	14.5± ac

Boundary Note: Property lines shown on this plan are based on record data from 395 M 41, 571 M 2, Grant Deed Doc# 23394250, and boundary monumentation measured to date.

Basis of Bearings: The bearings shown on this map are based on the centerline of Kirby Avenue recorded as N48°08'E on that certain Parcel Map filed for record in Book 395 of maps at Page 41, Santa Clara County Records.

Flood Zone: The property lies in Zone D (100%), areas in which flood hazards are undetermined, but possible, areas with determined Base Flood Elevation, per FEMA Firm Panel 06085C0441H, effective May 18, 2009.

Area of Disturbance of Grading Violation = 7.16 acres

Lot Coverage

Existing Residence	3,331 SF
Existing Barn	490 SF
Total Lot Coverage	3,821 SF

Non AG Development Area

Existing Residence	3,331 SF	0.08 Acres
Existing Driveway	1,219 SF	0.03 Acres
Existing Patio	1,042 SF	0.02 Acres
Existing Barn	490 SF	0.01 Acres
Existing Septic	4,573 SF	0.10 Acres
Total Development Area	10,655 SF	0.24 Acres

Earthwork Quantities

Grading Violation	Cut	Fill	Max Cut	Max Fill
Base Rock to be removed	0 cy	114 cy	0.00'	0.33'
Base Rock to remain	0 cy	3,699 cy	0.00'	0.00'
Total	0 CY	3,813 CY		

Proposed Development Area w/ Onsite Agriculture

Non AG Development Area	10,655 SF	0.24 Acres
Proposed AB for nursery	302,742 SF	6.95 Acres
Total Development Area	313,397 SF	7.19 Acres

Proposed Onsite Agriculture Area

Onsite Agricultural Area	550,269 SF	12.63 Acres
Total Agricultural Area	550,269 SF	12.63 Acres

Impervious Area Summary

Proposed AB for Nursery	302,742 SF
Total New Impervious Area	302,742 SF

Grading Violation Description:
 The grading violations consists of approximately 3,813 cubic yards of aggregate base fill brought onsite by the previous owner. The aggregate base fill is approximately 4" in depth and covers 7.16 acres of the property.

Proposed Grading Description:
 The new property owner is Coyote Valley Nursery. They own and operate the wholesale nursery on the adjacent property to the West. The new owners will utilize this property to expand their wholesale nursery operation.

- The proposed grading will legalize 6.95 acres or 3,699 CY of the aggregate base to be used to expand their wholesale nursery operation.
- The remaining 0.21 acres or 144 CY of aggregate base covering the septic leach field will be removed from the property.

MH engineering Co.
 Morgan Hill, CA 95037
 16075 Vineyard Boulevard

Preliminary Grading Plan
355 Kirby Avenue - 725-02-028

DATE: 1/24/2024
 SCALE: 1" = 50'
 DRAWN BY: DF
 CHECKED BY: DF
 JOB NO: **220154**
 SHEET: **1**
 OF: **2**