

County of Santa Clara

Department of Planning and Development

County Government Center, East Wing, 7th Floor

70 West Hedding Street

San Jose, CA 95110

Phone: (408) 299-5700

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May 30, 2024

****Sent via email****

Mark Bonino
560 Fremont Road
Stanford, CA
mbonino@stanford.edu

FILE NUMBER: PLN24-078
SUBJECT: Architecture & Site Approval and Grading Approval for New Stanford University Lacrosse Practice Field
SITE LOCATION: 657 Masters Mall, Stanford (APN 142-04-036)
DATE RECEIVED: April 30, 2024

Dear Mark,

The application for Architecture & Site Approval and Grading Approval for the new lacrosse practice field, which was received on the above date is **incomplete**. For the application process to resume, please resolve the following issues and submit the information listed below.

Resubmittals are made electronically with the assigned project planner and must include all requested information. Once the information is resubmitted, the Planning Office will distribute the plans, reports, and/or information to the appropriate staff or agency for review.

If there are any questions about the information requested, please contact the specific staff for that item.

A VIRTUAL APPOINTMENT IS REQUIRED FOR RESUBMITTAL. PLEASE EMAIL THE ASSIGNED PROJECT PLANNER TO SCHEDULE AN APPOINTMENT.

Please submit all electronic copies of the revised plans/resubmittal documents in PDF format with a *written response* addressing the following items.

PLANNING OFFICE

Contact David Horwitz at (408) 299-5795 or david.horwitz@pln.sccgov.org regarding the following comments:

Lighting Plan

1. The lighting plan is incomplete. Please provide an additional lighting plan sheet that describes the existing lighting on the proposed development site and its vicinity.
2. Sheets E-2 through E-7 show nine sun-shaped symbols which appear to be lighting for the proposed field. Please clarify what these symbols are. If they are proposed lighting, please identify them on the plans, provide their specifications, and include them in the illumination summary.
3. Sheet E-3 shows a foot candle of 83.2 near the southwest boundary of the development site. However, the plans do not clearly show the reason for this intensity at this location. Please verify that the foot candles have been accurately calculated, or clarify if there is additional lighting resulting in this intensity in this location.
4. The topographic survey on Sheet C-2.0 shows a building immediately to the southwest of the proposed development area. Show on the plans if there are any lights attached to the existing building that affect the proposed lighting plan.
5. The equipment list for areas shown states that poles F1, F2, F3, and F4 each contain twelve lights at an 80-foot mounting height, and two lights at a 15.5-foot mounting height. The pole assembly drawing on Sheet E-8 does not show the orientation of the lights mounted on the pole. Please provide the orientation of the lights on the pole assembly drawing. A separate drawing should be provided for differing orientations.
6. Provide photographs of any existing light pole and fixtures at the project site that are proposed to remain or be repositioned.

Grading

7. The preliminary grading plan is incomplete. Pursuant to Sec. C12-424 of the County Ordinance Code, please include at least two cross-sections of all graded areas. Show the vertical dimensions of cuts and fills on each section. The preliminary grading plan also must include the location, type, size, and drip line of all trees with a trunk diameter of 12 inches or more within the development area or where the drip line of the tree is disturbed or affected by the proposed grading.
8. The plans state that the proposed grading includes 1,619 cubic yards of cut and 1,488 cubic yards of fill, with a maximum vertical depth of two feet Describe the material comprising the fill.
9. Clarify the location of the proposed laydown area. On the Construction and Logistics Plan (Sheet C-9.0), indicate the locations of laydown areas for storage of tools, materials, and stockpiles. Demarcate the boundary of off-street construction related parking on an enlarged site plan.

Arborist report

10. Page no. 44 of the arborist report contains portions colored in white that appear to contain the drip line of trees, while page no. 45 does not show these trees. Aerial imagery also suggests that there are existing trees in these locations. Please clarify on the plans if these trees are existing and proposed for removal. If the trees have previously been removed, please clarify so.

Amplified sound

11. Clarify if any amplified sound is associated with the project. If so, provide the location and orientation of the amplified sound system on the plans. Include if the amplification system is proposed to be ground-mounted or elevated.

Sign Details

12. Clarify if any signs are proposed with this project. If so, please include the following information on the site plan:

- a. Location of all signs;
- b. Elevations noting the dimensions of the sign (height, width, length);
- c. Landscaping associated with the sign;
- d. For illuminated signs, provide a cross section of the sign to verify what type of illumination is proposed; and,
- e. Copy of master sign program.

LAND DEVELOPMENT ENGINEERING

Contact Ed Duazo at (408) 299-5733 or ed.duazo@pln.sccgov.org regarding the following comments:

- 13. As required for preliminary grading plans per Section C12-424 of the County Grading Ordinance, provide at least two grading cross-sections through the graded area to help clarify the scope of the proposed grading work; perpendicular cross-sections through the middle of the field are sufficient.
- 14. To help clarify the scope of the proposed work, provide typical sections for the natural and synthetic turf. For the natural turf section, include the depth of the drain rock section and show the perforated storm drain system.
- 15. Per the “Drainage Area” totals in the Stormwater Management Plan (Sheet C-8.0), 139,275 square feet of vehicular impervious area is being replaced; is this correct? Based on the topography, it does not appear there is this much existing impervious area to replace. Please review. If the intent was to use “replaced” to describe the existing condition, then to avoid confusion, please revise the term “replaced” with “existing” as the term “replaced” has a specific meaning/use when assessing potential NPDES Municipal Regional Permit stormwater treatment/management requirements.

If the requested information is not submitted within **180 days**, you are required to pay a fee of 10% of the application fee at the time the information is submitted. All requested information must be

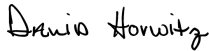
submitted no later than one (1) year from the date of the incomplete letter. **PARTIAL RESUBMITTALS WILL NOT BE PROCESSED.** Fees required at the time of resubmittal will be those in effect at that time.

Please note that the Architecture & Site Approval and Grading Approval application is charged a minimum fee and will be charged additional fees to continue processing when the initial payment is exhausted.

In submitting this land use application, the owner/applicant included an initial application fee. Application fees are categorized as "fixed fees" and "billable fees" based on the application types. "Fixed fee" applications do not require any additional fees to continue processing. However, when funds associated with a "billable fee" application have been spent, an additional deposit will be required to continue processing the application. As of the date of this letter, approximately 15% of the initial deposit associated with your "billable fee" application has been spent on the processing of your application.

If you have any questions regarding the application, please contact David Horwitz at (408) 299-5795 or david.horwitz@pln.sccgov.org.

Sincerely,

DocuSigned by:

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David Horwitz
Assistant Planner

cc:

Samuel Gutierrez, Principal Planner
Charu Ahluwalia, Senior Planner