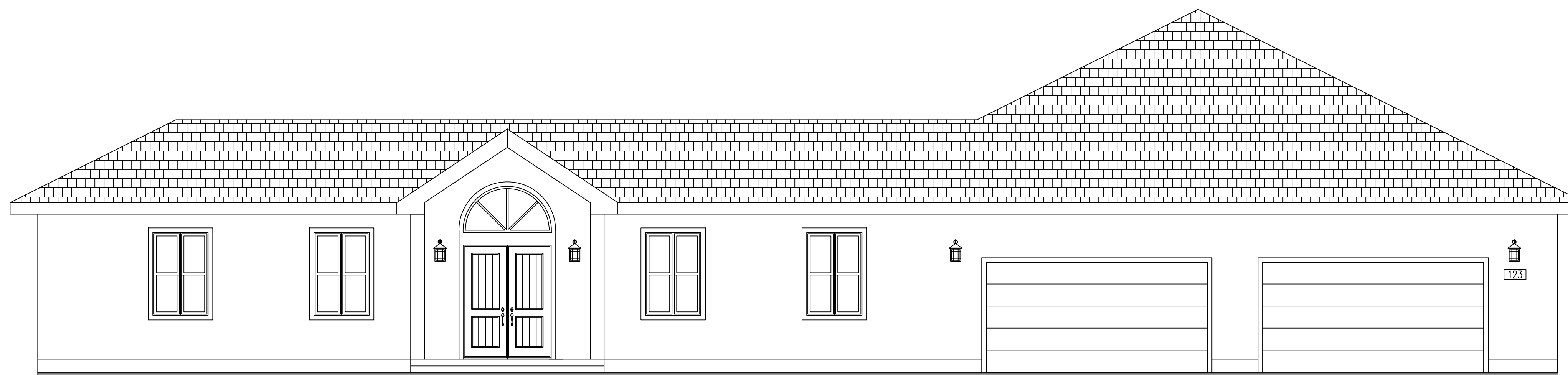


*J. Waller*



# CHEN RESIDENCE

PROJECT:

CHEN NEW RESIDENCE

PROJECT AT:

Foothill Avenue  
Gilroy, CA

CONSULTANT:

A.P.N.: 830-29-003

DRAWN BY: J.R.W.

CHECKED BY: J.R.W.

## ABBREVIATIONS

&	AND	FTG	FOOTING
@	AT	GA	GAUGE
CL	CENTERLINE	GALV	GALVANIZED
#	NUMBER/POUND	GYP	GYPSON BOARD
PL	PROPERTY LINE	HB	HOSE BIB
(E)	EXISTING	HDR	HEADER
(N)	NEW	HORIZ	HORIZONTAL
(R)	RELOCATED	INSUL	INSULATION
		INT	INTERIOR
		LAV	LAVATORY
ALUM	ALUMINUM	MAX	MAXIMUM
APPROX	APPROXIMATELY	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MIN	MINIMUM
ASPH	ASPHALT	MISC	MISCELLANEOUS
BC	BOTTOM CURB	N	NORTH
BLDG	BUILDING	NOM	NOMINAL
BLK	BLOCK	NTS	NOT TO SCALE
BM	BEAM	OC	ON CENTER
CLG	CEILING	PR	PAIR
CLO	CLOSET	RAD	RADIUS
CLR	CLEAR	REFR	REFRIGERATOR
C.O.	CASED OPENING	REINF	REINFORCED
CONC	CONCRETE	REQ'D	REQUIRED
CONN	CONNECTION	RM	ROOM
CONST	CONSTRUCTION	RWD	REDWOOD
CONT	CONTINUOUS	S	SOUTH
DBL	DOUBLE	SHT	SHEET
DF	DOUGLAS FIR	SPEC	SPECIFICATION
DIA	DIAMETER	SQ	SQUARE
DIM	DIMENSION	SS	STAINLESS STEEL
DN	DOWN	STD	STANDARD
DWG	DRAWING	TC	TOP OF CURB
E	EAST	TP	TELEPHONE POLE
EA	EACH	T&G	TONGUE AND GROOVE
ELEC	ELECTRICAL	TYP	TYPICAL
EXT	EXTERIOR	UON	UNLESS OTHERWISE NOTED
FD	FLOOR DRAIN	VERT	VERTICAL
FF	FINISH FLOOR	W	WEST
FLR	FLOOR	W/	WITH
FLOUR	FLOURESCENT		

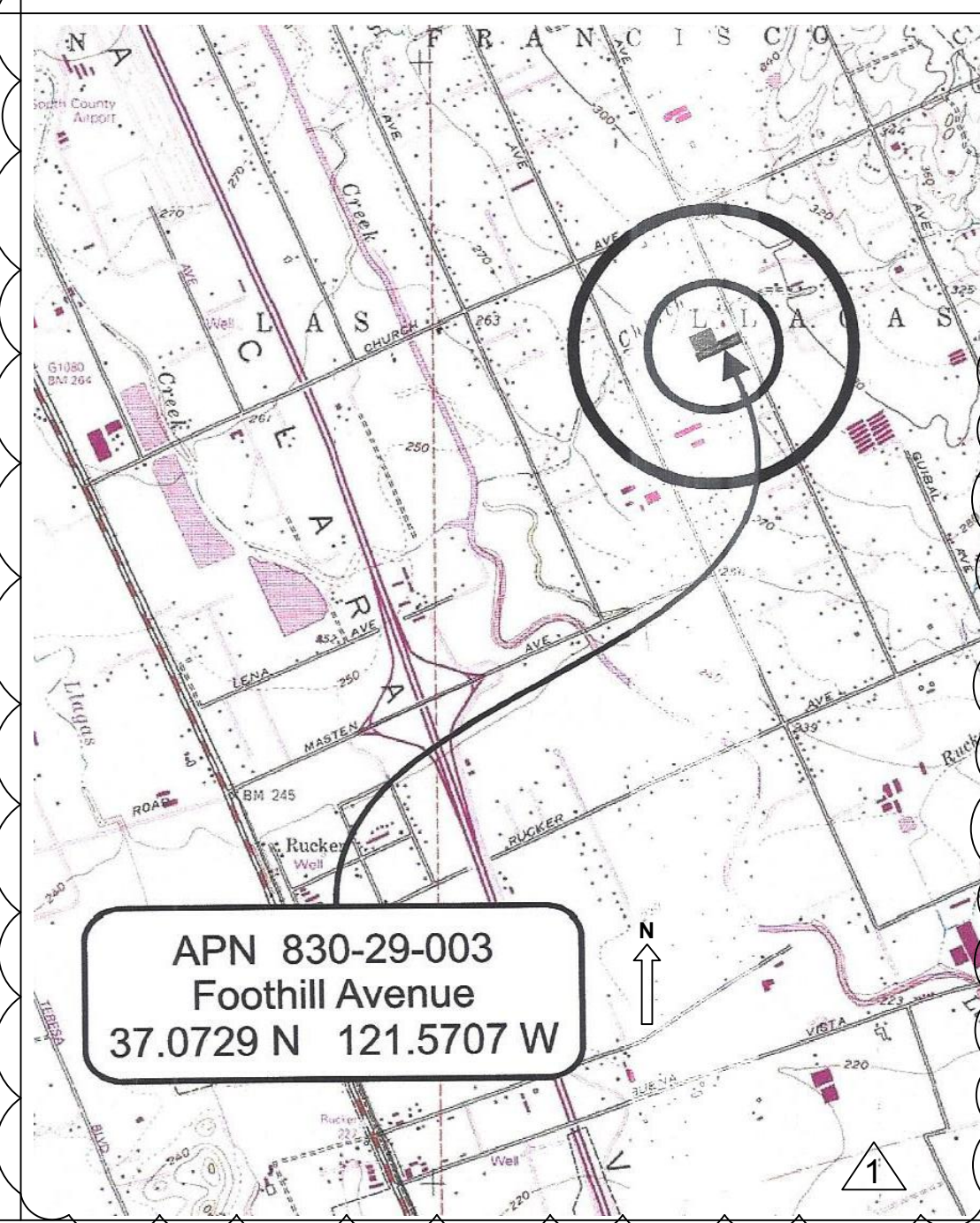
## SHEET INDEX

ARCHITECTURAL	
A-0	COVER SHEET
A-1	SITE PLAN
A-2	FLOOR PLAN
A-3	ATTIC PLAN
A-4	EXTERIOR ELEVATIONS
A-5	EXTERIOR ELEVATIONS
A-6	BUILDING SECTIONS
E-1	ELECTRICAL PLAN
E-2	UTILITY NOTES
G-1	CAL GREEN MANDATORY MEASURES
G-2	CAL GREEN MANDATORY MEASURES

STRUCTURAL	
S-1	GENERAL NOTES
S-2	FOUNDATION PLAN
S-3	ROOF PLAN
S-4	SHEAR WALL & HEADER PLAN
SF-1	FOUNDATION DETAILS
SD-1	STRUCTURAL DETAILS

**ATTACHED:**  
 -STRUCTURAL CALCULATIONS BY DESIGN EVEREST, INC.,  
 -BUILDING ENERGY ANALYSIS REPORT BY NRG COMPLIANCE  
 -GEOTECHNICAL ENGINEERING RECOMMENDATIONS BY REDWOOD GEOTECHNICAL ENGINEERING

## VICINITY MAP



## RELATED APPROVALS

-AT THE TIME OF FINAL INSPECTION, PROVIDE AN OPERATION AND MAINTENANCE MANUAL, ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER, PER CGBS SECTION 4.410

-THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER AND THE CITY BUILDING DEPARTMENT WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.

## TITLE 24 REQUIREMENTS

**SPECIAL FEATURES:**  
 -INDOOR AIR QUALITY, BALANCED FAN  
 -COOL ROOF  
 -WINDOW OVERHANGS AND/OR FINS  
 -NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER; SPECIFIC BRAND/MODEL, OR EQUIVALENT, MUST BE INSTALLED

### HERS VERIFICATION:

**BUILDING-LEVEL VERIFICATIONS:**  
 -INDOOR AIR QUALITY VENTILATION  
 -KITCHEN RANGE HOOD  
 -COOLING SYSTEM VERIFICATIONS:  
 -MINIMUM AIRFLOW  
 -VERIFIED SEER  
 -FAN EFFICACY WATTS/CFM  
 -HEATING SYSTEM VERIFICATIONS:  
 -VERIFIED HSPF  
 -VERIFIED HEAT PUMP RATED HEATING CAPACITY  
 -HVAC DISTRIBUTION SYSTEM VERIFICATIONS:  
 -DUCT LEAKAGE TESTING  
 -LOW-LEAKAGE AIR HANDLING UNIT  
**DOMESTIC HOT WATER SYSTEM VERIFICATIONS:**  
 -PIPE INSULATION, ALL LINES  
**COOL ROOF VERIFICATIONS:**  
 -CRRC RATED PRODUCT

## PROJECT DATA

USE: SINGLE FAMILY RESIDENCE  
 OCCUPANCY CLASSIFICATION:  
 DWELLING: R-3  
 GARAGE: U

TYPE OF CONSTRUCTION: V-B  
 NO. OF STORIES: 2

SPRINKLERED: YES

DWELLING: 5,720 S.F.  
 ATTIC: 1,931 S.F.  
 GARAGE: 1,258 S.F.  
 PORCH: 171 S.F.  
**2 TOTAL: 9,080 S.F.**

## SCOPE OF WORK

THIS PROJECT INCLUDES:  
 CONSTRUCTION OF 5 BEDROOM AND 5.5 BATH SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE IN SANTA CLARA COUNTY.

## LANDSCAPE

NO PROPOSED LANDSCAPE

## CONTACT INFORMATION

OWNER: MINGWEI CHEN  
 22602 BIRDS EYE DRIVE  
 DIAMOND BAR, CA 91765  
 (909) 860-8216

DESIGNER: JENIFER WALLER  
 1400 SANTA ANA VALLEY ROAD  
 HOLLISTER, CA 95023  
 831-801-5094

ENGINEER: MAX CHENG & ASSOCIATES, INC.  
 286 DIGITAL DRIVE,  
 MORGAN HILL, CA 95037  
 408-782-6898

TITLE 24: NRG COMPLIANCE  
 SANTA ROSA, CA  
 707-237-6957

SOILS REPORT: CONSTRUCTION TESTING SERVICE  
 2118 RHEEM DRIVE,  
 PLEASANTON, CA 94588  
 925-462-5151

## DEFERRED SUBMITTALS

-FIRE SPRINKLER DESIGN  
 -PV SYSTEMS

## GENERAL NOTES

- THE CONTRACT DOCUMENTS INCLUDE THESE DRAWINGS AND THE SPECIFICATIONS. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD TO CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS.
- WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT. FLOOR PLAN BY DESIGNER SUPERCEDES OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.
- THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE DESIGNER AND MUST NOT BE REPRODUCED, ALTERED OR AMENDED WITHOUT PERMISSION.
- THE RESIDENCE WILL BE INSULATED TO CONFORM TO THE FOLLOWING:  
 A. ROOF- NONE, CEILING- R-30 BATT OR BLOWN IN, B. EXTERIOR WALLS - R-15, C. FLOORS - N/A, D. INTERIOR WALLS - N/A
- CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1.) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE, 2.) INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN ON THE APPROVED PLAN, 3.) A SINGLE NON-BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM, AND 4.) INTERIOR NON-STRUCTURAL WALL FINISHES; SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN) SHOWING CHANGES WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.
- ALL EARTHWORK AND SITE DRAINAGE, INCLUDING FOUNDATION EXCAVATION AND CONSTRUCTION, PREPARATION OF SUBGRADE BENEATH SLABS-ON-GRADE AND FINAL SURFACE DRAINAGE INSTALLATION SHOULD BE PERFORMED IN ACCORDANCE WITH LOCAL CODES & ORDINANCES.
- THE HOME SHALL ACHIEVE A 'BUILD IT GREEN' ELEMENTS RATING AS OUTLINED IN THE 'GREEN BUILDING REQUIREMENTS' ON THIS SHEET
- ADDRESS SIGN SHALL BE INSTALLED ON THE FRONT OF THE BUILDING IN A CONSPICUOUS POSITION. LETTERS TO BE 5" TALL MIN AND CONTRASTING WITH THEIR BACKGROUND.
- PROVIDE A MINIMUM 5% GRADE SLOPE AWAY FROM THE FOUNDATION FOR A MINIMUM OF 6 INCHES OF FALL WITHIN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. A) IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, PROVIDE DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE OR B) FOR IMPERVIOUS SURFACES WITHIN 10 FEET OF THE FOUNDATION PROVIDE A MINIMUM 2% SLOPE AWAY FROM THE BUILDING.
- THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION.

## STORM WATER POLLUTION CONTROL

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work.

- Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
- Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
- Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
- Trash and construction -related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
- Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by other means.
- Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
- Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

## CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:  
 A. 2018 INTERNATIONAL BUILDING CODE AS AMENDED BY 2019 CALIFORNIA BUILDING CODE  
 B. 2018 INTERNATIONAL RESIDENTIAL CODE AS AMENDED BY 2019 CALIFORNIA RESIDENTIAL CODE.  
 C. 2018 UNIFORM MECHANICAL CODE AS AMENDED BY 2019 CALIFORNIA MECHANICAL CODE.  
 D. 2018 UNIFORM PLUMBING CODE AS AMENDED BY 2019 CALIFORNIA PLUMBING CODE  
 E. 2018 NATIONAL ELECTRICAL CODE AS AMENDED BY 2019 CALIFORNIA ELECTRICAL CODE  
 F. 2019 CALIFORNIA ENERGY CODE (2019 BUILDING ENERGY EFFICIENCY STANDARDS).  
 G. 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE.  
 H. SAN BENITO COUNTY LOCAL CODES & ORDINANCES

BY	R.J.W.	R.J.W.		
DATE	Jan. 31, 2022	Oct. 15, 2022		
REVISION	PLAN/CHECK COMMENTS on July 15, 2021	PLAN/CHECK COMMENTS on Sept. 20, 2022		
NO.	1	2		

SCALE: 3/16"=1'-0"

PROJECT #: 1989

DATE: March 16, 2021

COVER SHEET

A-0

PROJECT:

**CHEN NEW RESIDENCE**

PROJECT AT:

**Foothill Avenue  
Gilroy, CA**

CONSULTANT:

A.P.N.: 830-29-003

DRAWN BY: J.R.W.

CHECKED BY: J.R.W.

SCALE: 1" = 40'

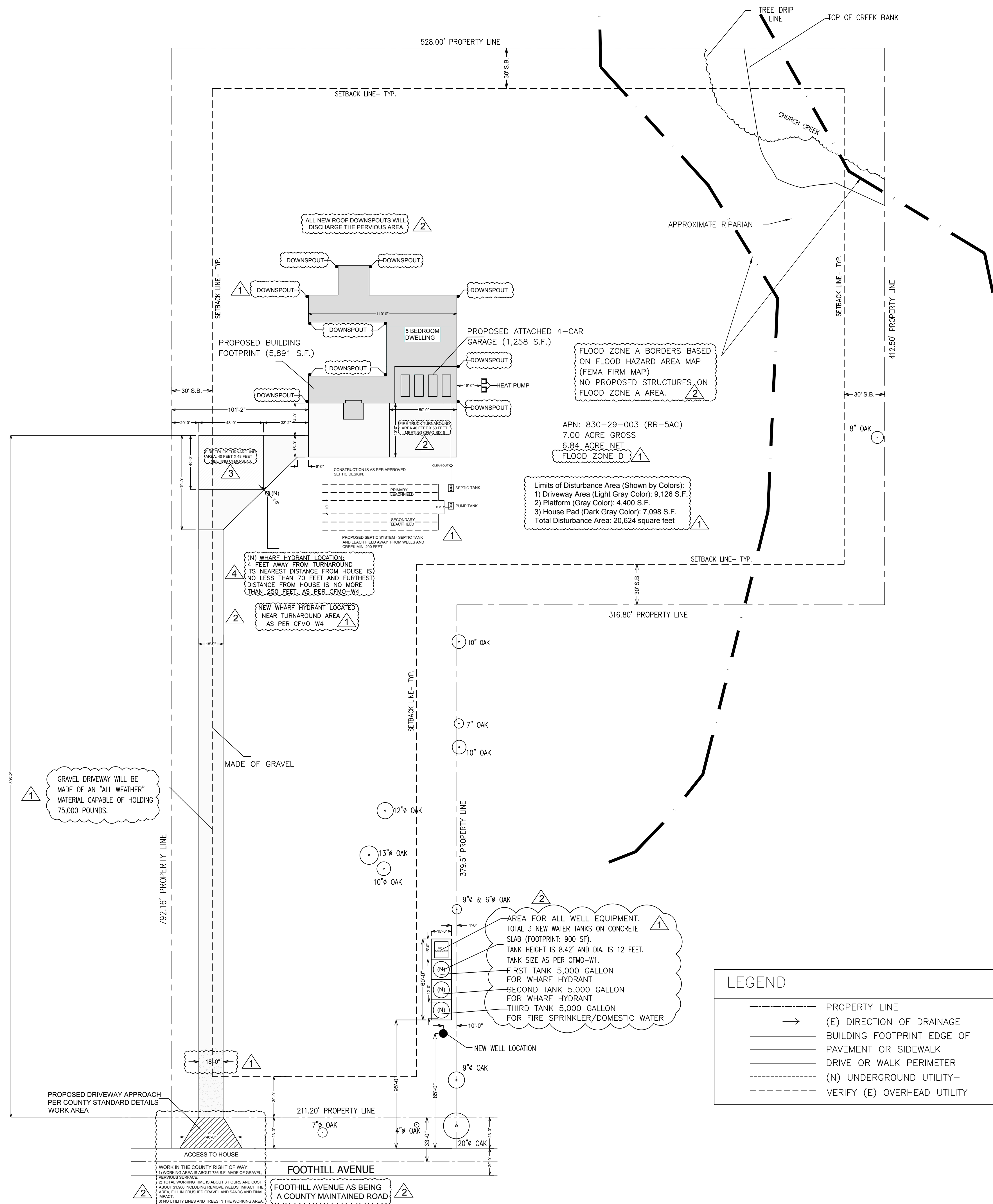
PROJECT #: 1989

DATE: March 16, 2021

NO.	REVISION	DATE	BY
1	PLAN CHECK COMMENTS on July 15, 2021	Jan. 31, 2022	R.J.W.
2	PLAN CHECK COMMENTS on Sept. 20, 2022	Oct. 23, 2022	R.J.W.
3	PLAN CHECK COMMENTS on Dec. 19, 2023	Jan. 19, 2024	R.J.W.
4	PLAN CHECK COMMENTS on April. 03, 2024	April. 06, 2024	R.J.W.

**SITE PLAN**

**A-1**



Sym	Count	Width	Height	Operation	Model	Notes
D1	1	6'-0"	8'-0"	INSWING	BARRINGTON SIERRA	
D2	2	0'-22"	0'-30"	INSWING	R-50 E-Z HATCH MODEL: 22x30R-50	ATTIC ACCESS DOOR HOMEDEPOT AVAILABLE
D3	2	6'-0"	9'-0"	GLIDING	ANDERSEN E-SERIES	2-PANEL, 2" AND 7" MULLED
D4	7	3'-0"	8'-0"	INSWING	MASONITE PRIMED MDF LA CHATEAU	2-PANEL TRADITIONAL
D5	1	3'-0"	8'-0"	INSWING	1-3/8" SOLID CORE DOOR	SEE KEY NOTE#12
D6	2	6'-0"	6'-8"	GLIDING	ANDERSEN 400-SERIES	COMPENSATORY TEMPERED
D8	11	2'-6"	8'-0"	INSWING	MASONITE PRIMED MDF LA CHATEAU	2-PANEL TRADITIONAL
D9	3	3'-0"	6'-8"	INSWING	MASONITE PRIMED MDF LA CHATEAU	2-PANEL TRADITIONAL
D10	4	2'-0"	6'-8"	INSWING	MASONITE PRIMED MDF LA CHATEAU	2-PANEL TRADITIONAL TEMPERED HALF-LITE COMPENSATORY TEMPERED
D13	2	12'-0"	6'-8"	GLIDING	ANDERSEN 400-SERIES	
D14	2	16'-0"	8'-0"	SECTIONAL	AMARR HERITAGE HR3000 WITH BATTERY BACKUP OPENER	SEE KEY NOTE#18
D15	1	3'-0"	8'-0"	OUTSWING	MASONITE PRIMED MDF LA CHATEAU	2-PANEL TRADITIONAL
D16	1	0'-21"	0'-31"	OUTSWING	AKRO DWK WALL HATCH MODEL: 869900	ATTIC ACCESS DOOR HOMEDEPOT AVAILABLE

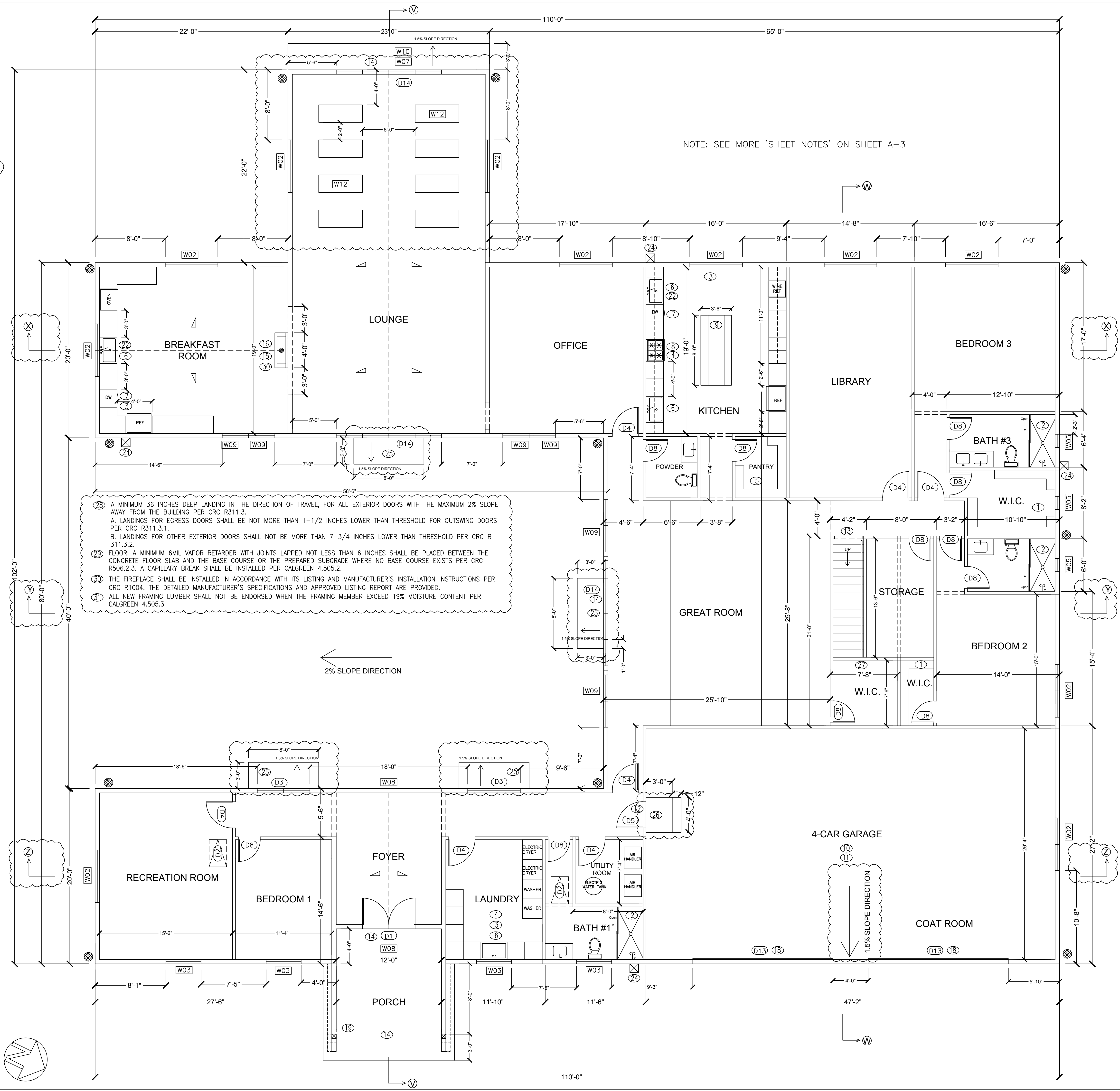
DOOR NOTES:  
 1. ALL DOORS TO BE SOLID CORE  
 2. GLAZING IN BATHROOM DOORS (D7) TO BE FROSTED GLASS.  
 3. ALL DOORS TO BE PRE-HUNG WITH THEIR ORIGINAL JAMBS & CASINGS.  
 4. COURTYARD DOORS TO BE DOUBLE-PANE, LOW-E, GAS-INSULATED.  
 5. PERIMETER DOORS TO BE DOUBLE-PANE, LOW-E GLASS, GAS-INSULATED.

Sym	Count	Width	Height	Operation	Manuf./Model	Notes
W02	11	6'-0"	6'-0"	DOUBLE HUNG	ANDERSEN 400 SERIES	3' WIDE TWO PIECES MULLED
W03	4	4'-0"	6'-0"	DOUBLE HUNG	ANDERSEN 400 SERIES	2' WIDE TWO PIECES MULLED
W05	3	1'-6"	6'-0"	DOUBLE HUNG	ANDERSEN 400 SERIES	
W06	6	22 8"	46 8"	OPERABLE	VELUX MODEL CK06	VENTING TOP HINGED ROOF WINDOW SEE DIMENSIONS ON SHEET A-4
W07	1	6'-0"	6'-0"	FIXED	ANDERSEN 100 SERIES	SEE DIMENSIONS ON SHEET A-4
W08	2	6'-0"	3'-0"	FIXED	ANDERSEN 100 SERIES	SEE DIMENSIONS ON SHEET A-4
W09	8	6'-0"	9'-0"	FIXED	ANDERSEN E-SERIES	2' AND 7" MULLED
W10	2	3'-0"	4'-0"	FIXED	ANDERSEN 100 SERIES	SEE DIMENSIONS ON SHEET A-4
W11	2	46 1/2"	46 1/2"	FIXED	VELUX FCM 4646	CURB MOUNTED
W12	8	21"	70 1/2"	FIXED	VELUX FS C12	DECK MOUNTED

WINDOW NOTES:  
 1. COURTYARD WINDOWS TO BE DOUBLE-PANE, LOW-E GLASS, GAS-INSULATED.  
 2. PERIMETER WINDOWS TO BE DOUBLE-PANE, LOW-E GLASS, GAS-INSULATED.

LEGEND & BUILDING DATA		BUILDING MATERIALS & SPECIFICATIONS	
A	SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN	1.	Concrete Roof: Eagle Roofing: 4697 . SLATE RANGE, RANGE OF CHARCOOL, T24 CRRC 0918-0046
2	DETAIL NUMBER SHEET WHERE DETAIL IS DRAWN	2.	Roof Sheathing: 5/8" thick OSB.
3	DETAIL NUMBER SHEET WHERE DETAIL IS DRAWN	3.	Wall Sheathing: 5/8" thick OSB.
4	DETAIL NUMBER SHEET WHERE DETAIL IS DRAWN	4.	Subflooring for Main Floor and Attic Floor: 3/4" thick OSB with Tongue & Groove Edge.
5	SOFFIT WALL ABOVE	5.	Interior wall and ceiling sheathing: 5/8" Drywall.
6	4" WALL W/ 2x4 STUDS @ 12" O.C. GYP BD. AS SPECIFIED	6.	Hardwood Flooring: Bruce Frisco 3/4" thick, 5" wide, Oak Gunstock Solid Hardwood. LOWE'S Model # CB9521.
7	6" WALL - All walls (bearing & shear) taller than 10'-0" W. 2x6 STUDS @ 16" O.C. GYP BD. AS SPECIFIED	7.	Base Board: 5-1/2 in. x 11/16 in. x 96 in. Primed MDF Base Moulding.
8	6" WALL - All walls (bearing & shear) taller than 10'-0" W. 2x6 STUDS @ 16" O.C. GYP BD. AS SPECIFIED	8.	Roof Venting: Master Flow® High-Capacity Dome Vent - HCD144 (Exhaust Vent).
T	TEMPERED SAFETY GLAZING REQUIRED PER CRC R308.4	9.	Soffit venting: Master Flow® Aluminum Soffit Vent EAC 16 x 8
Downspout	Downspout	10.	Epoxy Concrete Flooring: Garage
Outdoor Faucet	Outdoor Faucet	11.	Tile Flooring: Bathrooms, Laundry, Porch, Outdoor Steps.
DWELLING: 5,702 S.F.		12.	Hardwood Flooring: All other rooms both attic and main floors.
ATTIC: 1,931 S.F.		13.	Sill Board for both exterior and interior walls is 3" inches thick.
GARAGE: 1,239 S.F.			
PORCH: 171 S.F.			
TOTAL: 9,043 S.F.			

- NOTES
- SINGLE SHELF & POLE PLUS SHELF ABOVE
  - SHOWER AREA COVERED WITH LIGHT COLOR TILE FROM FLOOR TO CEILING.
  - FLOOR AS WELL AS BASEBOARD NEED TO BE COMPLETE BEFORE INSTALL CABINETS.
  - KITCHEN HOOD AND LAUNDRY DRYER USE SOFFIT VENTS.
  - BOTTOM 36" CABINET AND ABOVE SHELVES UP TO CEILING
  - 36" WIDE STAINLESS STEEL SINGLE BOWL SINK
  - DISHWASHER
  - 30" RANGE W/ HOOD ABOVE. MINIMUM 30" OF CLEARANCE FROM RANGE TOP TO COMBUSTIBLE MATERIALS
  - 36" HIGH ISLAND WITH 10" KNEE SPACE AT BOTH SIDES
  - EPOXY GARAGE FLOOR AND ITS SURFACE SLOPE IS 1.5% AND GARAGE DOOR THRESHOLD SEAL IS USED.
  - USE SCHEETROCK BRAND 5/8 INCH THICK, FIRECODE X, FIRE RESISTANT GYPSUM BOARD FOR ALL THE INTERIOR WALLS AND CEILINGS.
  - PROVIDE MIN. 1 1/2" THICK SOLID WOOD DOOR, EQUIPPED W/ SELF-CLOSING, SELF-LATCHING DEVICES, TIGHT FITTING & WEATHER STRIPPED
  - INTERIOR STAIRS & 34" HIGH HANDRAIL PER DETAIL 8/S-5
  - SLIP PROOFING TILES ON PORCH AND STEPS. STEP DEPTH 1.5 FEET.
  - THE FIREPLACE MANUFACTURER'S SPECIFICATION AND APPROVED LISTING REPORT (UL127) WILL BE PROVIDED DURING CONSTRUCTION. THE INSTALLATION INSTRUCTIONS PER CRC R1004. CHIMNEY ABOVE ROOF DIMENSION IS 4' X 2.5', WHICH IS DIFFERENT UNDER ROOF DIMENSION IS 4' X 1.5'.
  - FIREPLACE SURROUND, W/ MANTLE & 18" DEEP STONE HEARTH
  - 50 GAL WATER HEATER TO BE ON 18" ELEVATED PLATFORM ABOVE FLOOR LEVEL, WITH SEISMIC STRAPPING
  - AMARR HERITAGE HR3000, SHORT PANEL DESIGN, NO WINDOWS, TRUE WHITE COLOR. PROVIDE AMARR LOCK AND LIFTMASTER MODEL 8500 OPENER FOR HIGH LIFTING. DOOR OPENING HEIGHT IS 10.5 FEET, TOTALLY HORIZONTAL POSITION. GARAGE IS 11.5 FEET HIGH.
  - 6" X 6" WOOD POSTS AND 6" X 12" BEAM WITH 12" X 12" ALUMINUM POST AND BEAN WRAP. 3.5" HEIGH RAILS AT BOTH SIDES.
  - DRINKING WATER PURIFICATION SYSTEM UNDER SINK
  - OUTDOOR FAUCETS ARE REQUIRED ABOVE GROUND ABOUT 30". SHUT OFF VALVES ARE NEEDED JUST INSIDE OF THE HOUSE UNDER CABINET POSITIONS. PRODUCTS MODEL NUMBERS ARE PRIER P-164D12 ANTI-SIPHON & SHARKBITE 22222-0000LFA
  - CONCRETE LEVEL LANDING SPACE 1" LOWER THAN THE SLAB SURFACE LEVEL, COVERED BY SLIP PROOFING TILE.
  - HARDWOOD STEPS WITH RAILING AT BOTH SIDES
  - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL NOT HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD PER CRC R302.7.



PROJECT:  
**CHEN NEW RESIDENCE**  
 PROJECT AT:  
 Foothill Avenue  
 Gilroy, CA

CONSULTANT:  
 A.P.N.: 830-29-003

DRAWN BY: J.R.W.  
 CHECKED BY: J.R.W.

NO.	REVISION	DATE	BY
1.	PLANCHCK COMMENTS on July 15, 2021	Jan. 31, 2022	J.R.W.

SCALE: 3/16"=1'-0"  
 PROJECT #: 1989  
 DATE: March 16, 2021

SHEET NOTES

- 1. PROVIDE FIRESTOPS @ CONCEALED DRAFT OPENING, CEILING LINES, FLOOR LINES, FURRED AREAS, SUSPENDED CEILINGS, STAIR STRINGERS, SHOWERS, CHIMNEY ENCLOSURES, & MID HEIGHT OF WALLS OVER 10' IN HEIGHT.
2. WALLS AND CEILINGS OF ENCLOSED SPACES UNDER STAIRS MUST BE PROTECTED WITH 5/8" TYPE "X" SHEETROCK (MIN.)
3. STAIRS TO HAVE 72" MAXIMUM RISE, 10" MINIMUM RUN, AND 6"-8" MINIMUM HEADROOM...

Door Schedule:

Table with columns: Sym, Count, Width, Height, Operation, Model, Notes. Includes entries for D1 through D18.

- DOOR NOTES:
1. ALL DOORS TO BE SOLID CORE
2. GLAZING IN BATHROOM DOORS (D7) TO BE FROSTED GLASS
3. ALL DOORS TO BE PRE-HUNG WITH THEIR ORIGINAL JAMBES & CASINGS.

Window Schedule:

Table with columns: Sym, Count, Width, Height, Operation, Manuf./Model, Notes. Includes entries for W02 through W12.

- WINDOW NOTES:
1. COURTYARD WINDOWS TO BE DOUBLE-PANE, LOW-E GLASS, GAS-INSULATED.
2. PERIMETER WINDOWS TO BE DOUBLE-PANE, LOW-E GLASS, GAS-INSULATED.

LEGEND

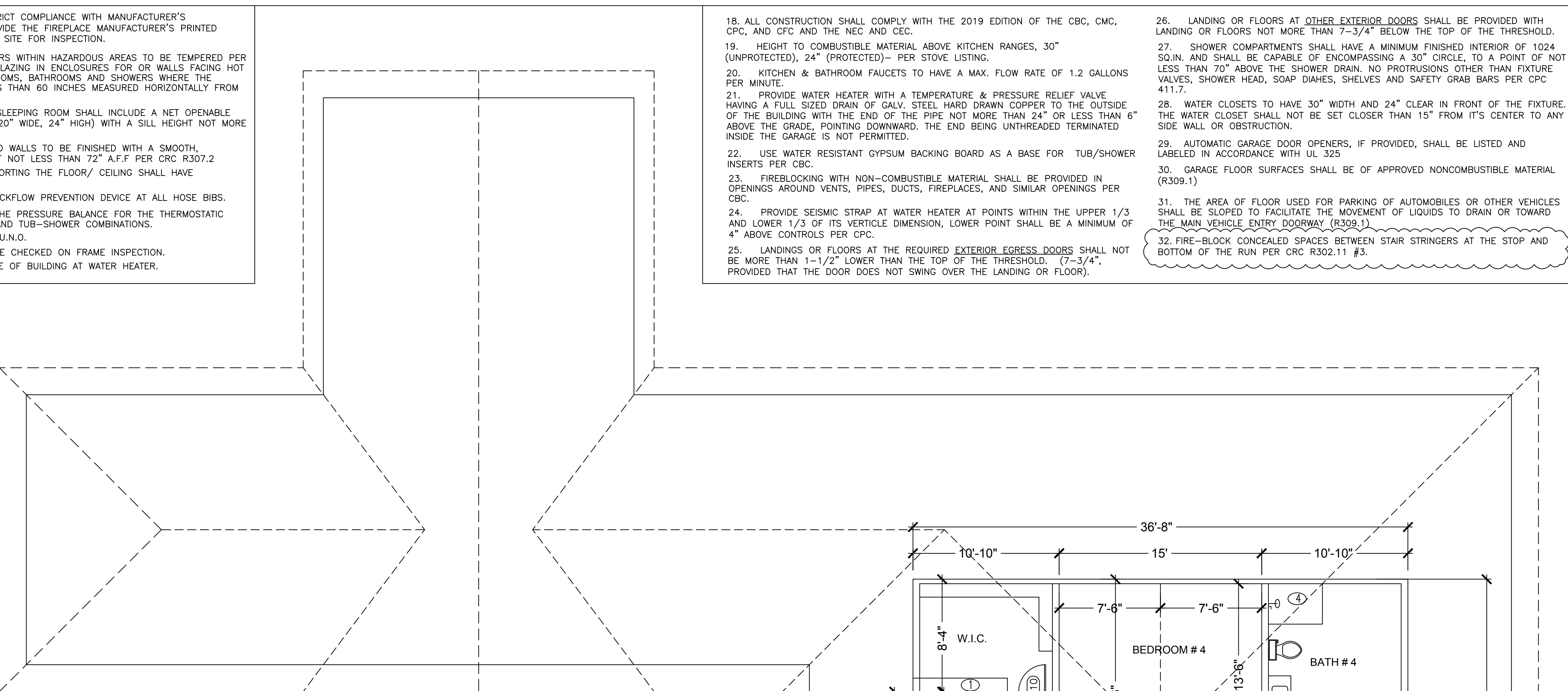
Legend section containing symbols for section identification (A-9), detail numbers (2, 8), soffit walls, 4" walls, 6" walls, and tempered safety glazing.

DATA

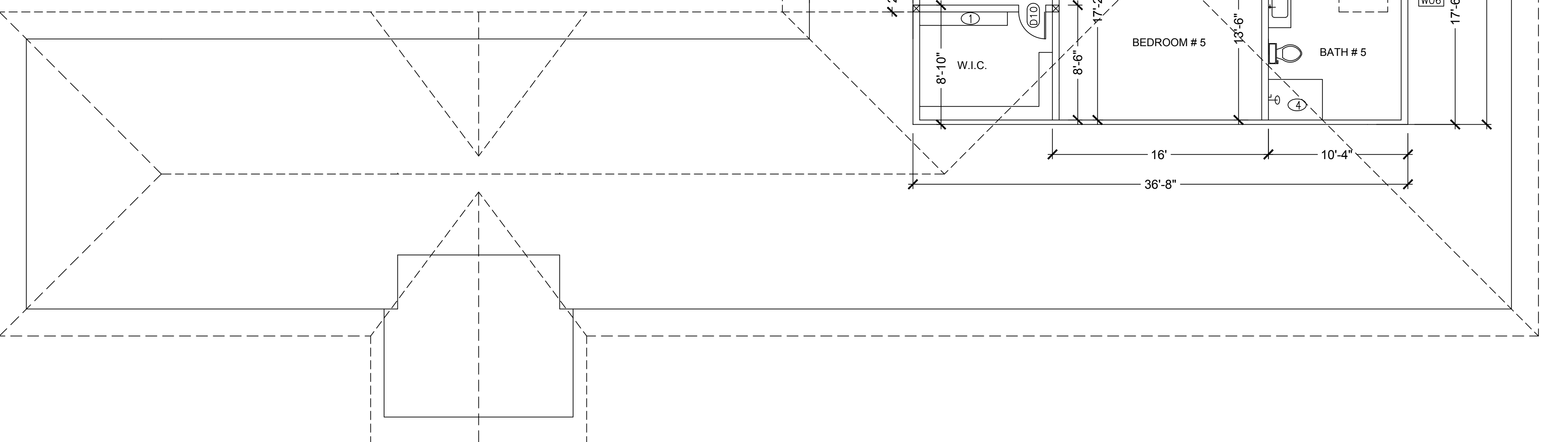
Table listing Dwelling (5,702 S.F.), Attic (1,931 S.F.), Garage (1,239 S.F.), and Porch (171 S.F.) with a total of 9,043 S.F. Includes Building Materials & Specifications.

LEGEND

- 1. SINGLE SHELF & POLE PLUS SHELF ABOVE
2. INTERIOR STAIRS & 34" HIGH HANDRAIL PER DETAIL 5/5F-1
3. DREAMLINE ENIGMA-X-34 1/2" X 48.375 IX 76 IN. FRAMELESS CORNER SLIDING SHOWER ENCLOSURE...
4. ROOFTOP DECK CONSTRUCTION:
A) USING 2" X 2" FURRING STRIP BOARD TO CREATE A MORE THAN 2% OF SLOPE FOR WATER FLOW...



33. OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES, AT CEILING AND FLOOR LEVEL SHALL BE PROVIDED WITH FIRE BLOCKING USING AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION...



- 18. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CBC, CMC, CPC, AND CFC AND THE NEC AND CEC.
19. HEIGHT TO COMBUSTIBLE MATERIAL ABOVE KITCHEN RANGES, 30" (UNPROTECTED), 24" (PROTECTED)- PER STOVE LISTING.
20. KITCHEN & BATHROOM FAUCETS TO HAVE A MAX. FLOW RATE OF 1.2 GALLONS PER MINUTE.

JW JENIFER WALLER
1400 SANTA ANA VLY RD
HOLLISTER, CA
P: (831) 801-5094
JWaller

PROJECT:
CHEN NEW RESIDENCE
PROJECT AT:
Foothill Avenue
Gilroy, CA

CONSULTANT:
A.P.N.: 830-29-003

DRAWN BY: J.R.W.
CHECKED BY: J.R.W.

Revision table with columns: NO., REVISION, DATE, BY. Includes revision 1: PLAN/CHECK COMMENTS July 15, 2021 by J.R.W.

SCALE: 3/16"=1'-0"
PROJECT #: 1989
DATE: March 16, 2021

ATTIC PLAN
A-3

*J. Waller*

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PROJECT AT:  
Foothill Avenue  
Gilroy, CA

CONSULTANT:

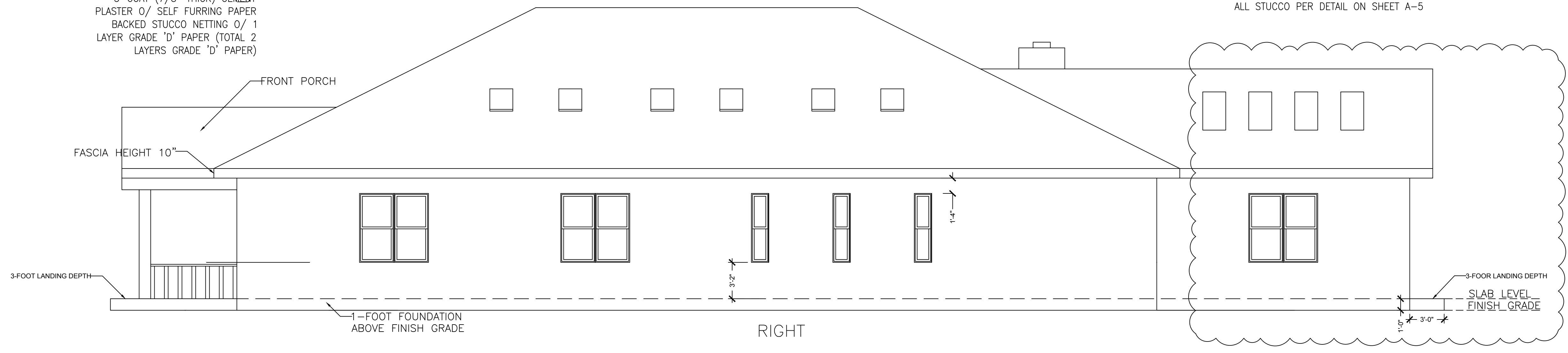
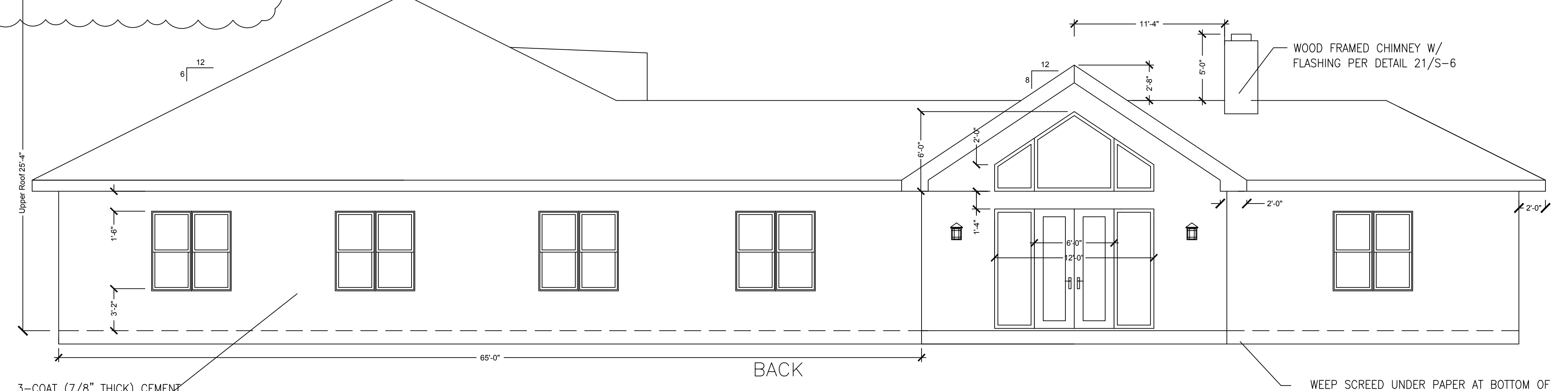
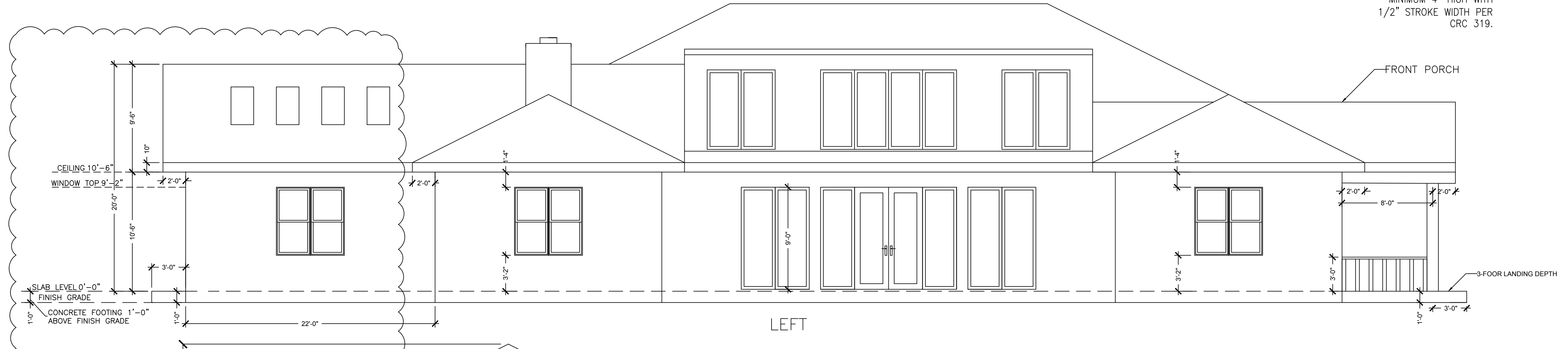
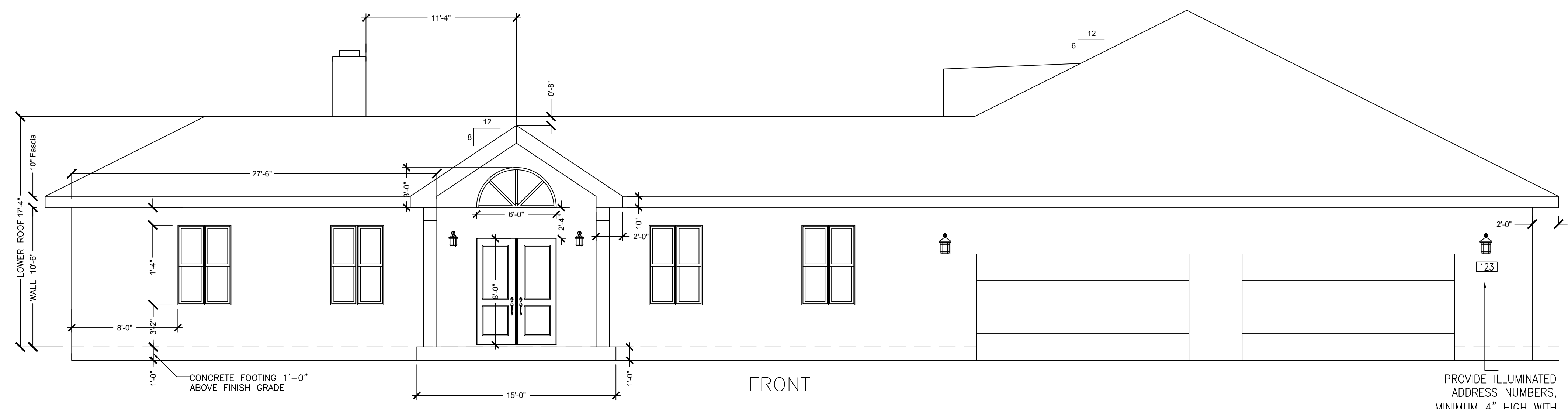
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DRAWN BY: J.R.W.  
CHECKED BY: J.R.W.

NO.	REVISION	DATE	BY
1.	PLANCHICK COMMENTS on July 15, 2021	Jan. 31, 2022	J.R.W.

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EXTERIOR ELEVATIONS



3-COAT (7/8" THICK) CEMENT PLASTER O/ SELF FURRING PAPER BACKED STUCCO NETTING O/ 1 LAYER GRADE 'D' PAPER (TOTAL 2 LAYERS GRADE 'D' PAPER)

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BY  
J.R.W.

DATE  
Jan. 31, 2022

REVISION  
PLAN/CHECK COMMENTS  
on July 15, 2021

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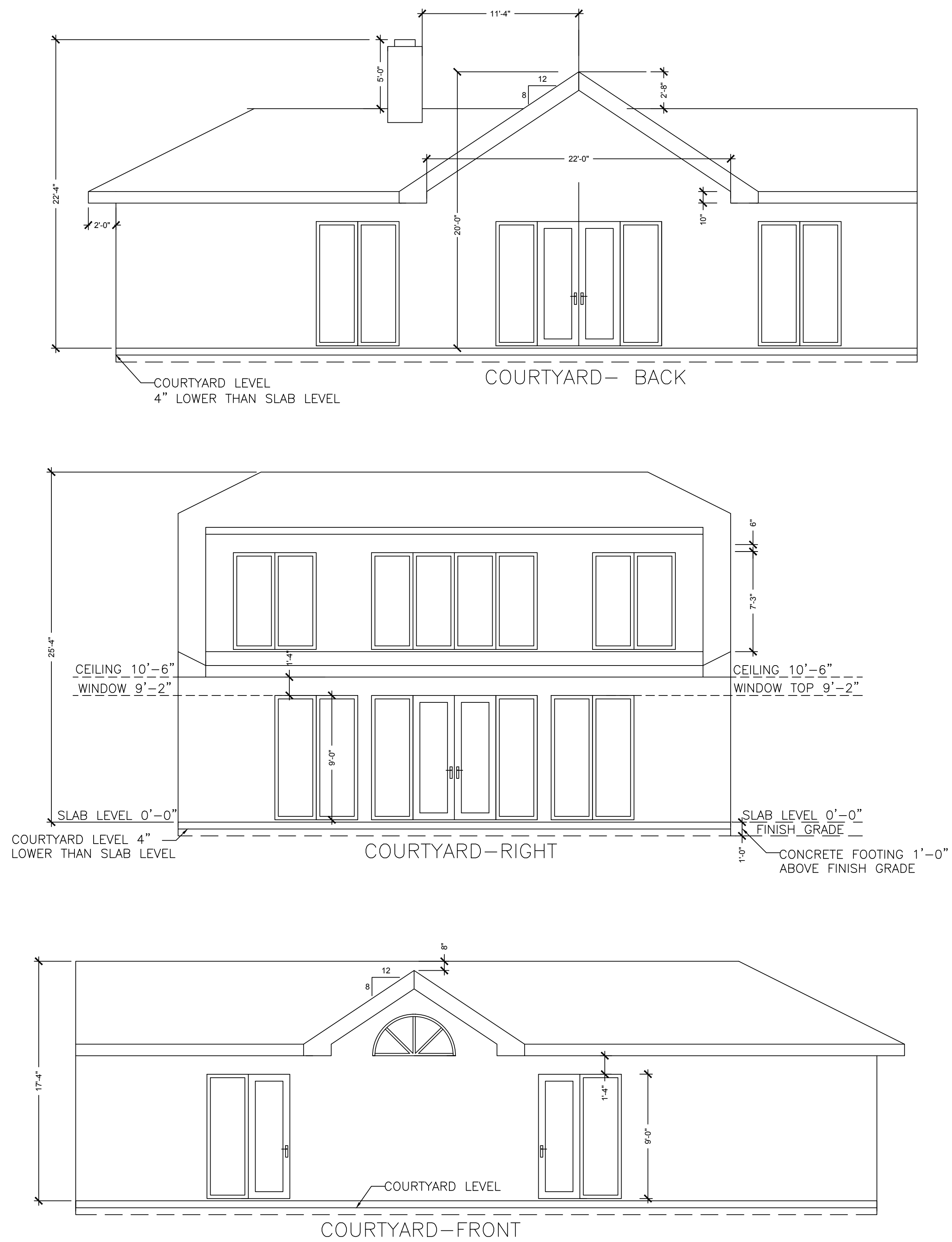
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PROJECT #: 1989

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EXTERIOR  
ELEVATIONS

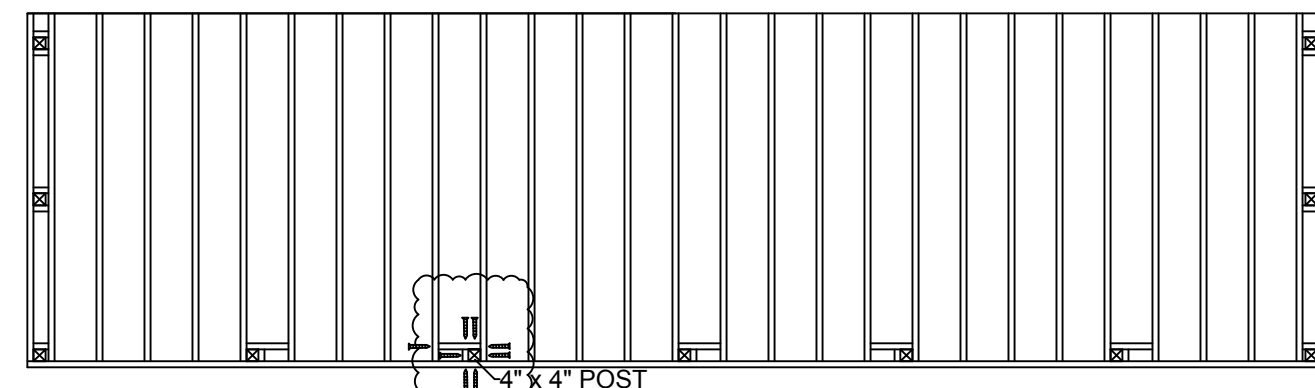
A-5



COURTYARD-LEFT IS  
OPEN TO OUTSIDE

**DECK TOP VIEW WITH EXACT POST LOCATIONS**

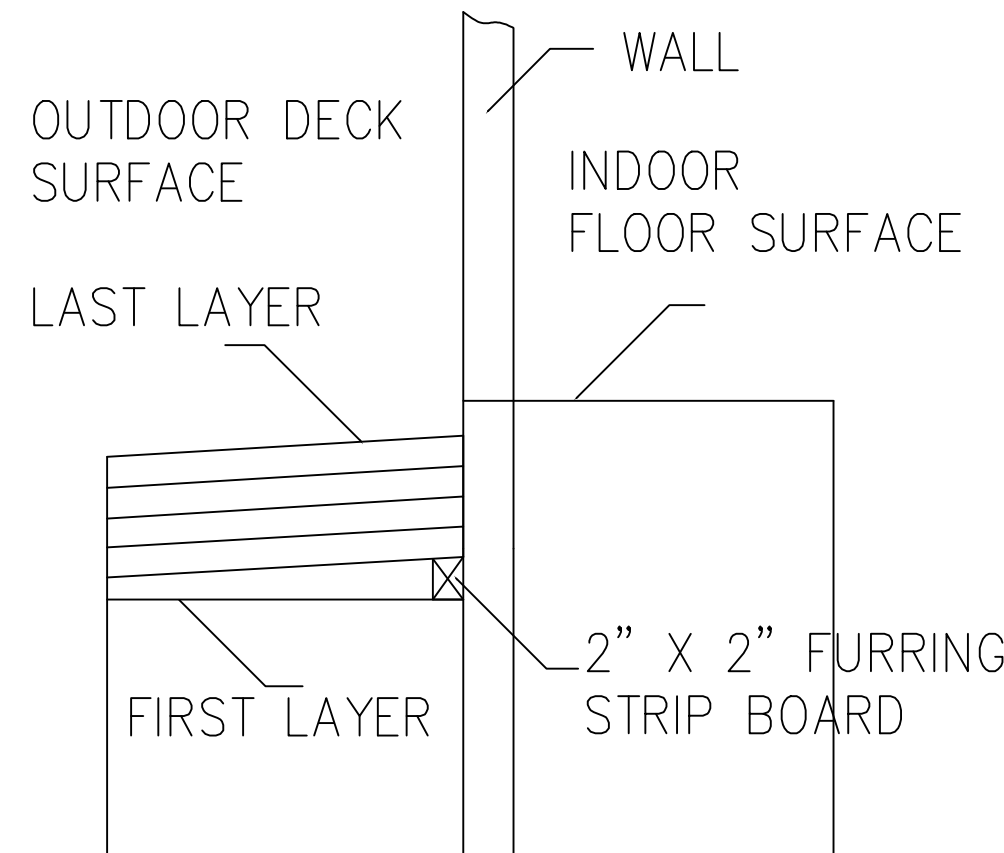
**DETAILED POST INSTALLATION REQUIREMENT**



**4 DIRECTION WRAPPED AND 4 DIRECTION FASTENING METHOD:**

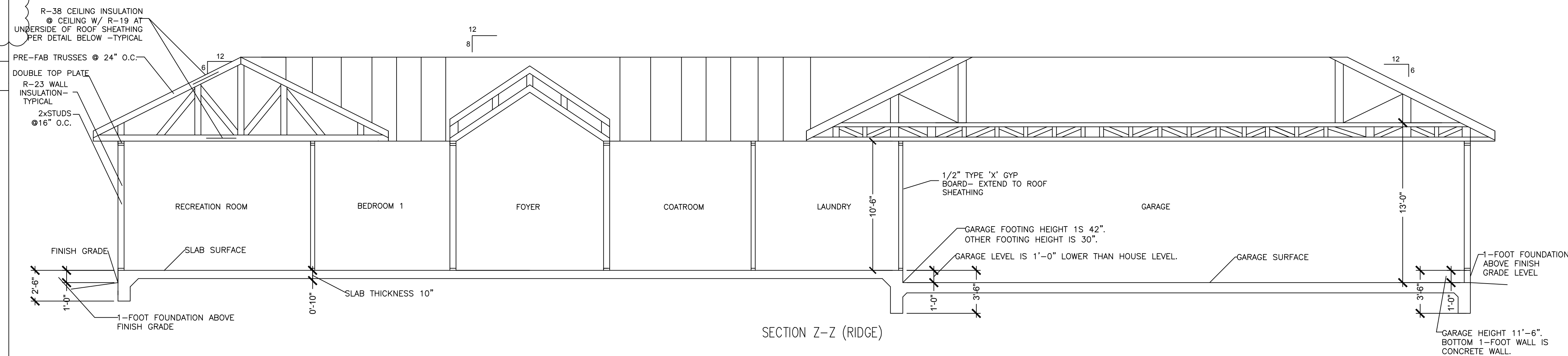
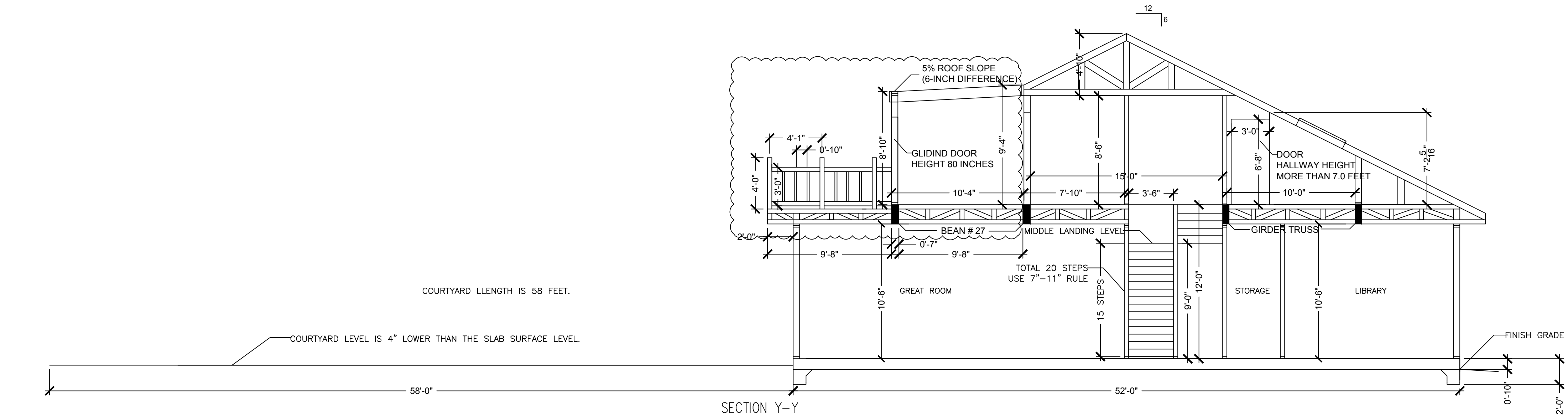
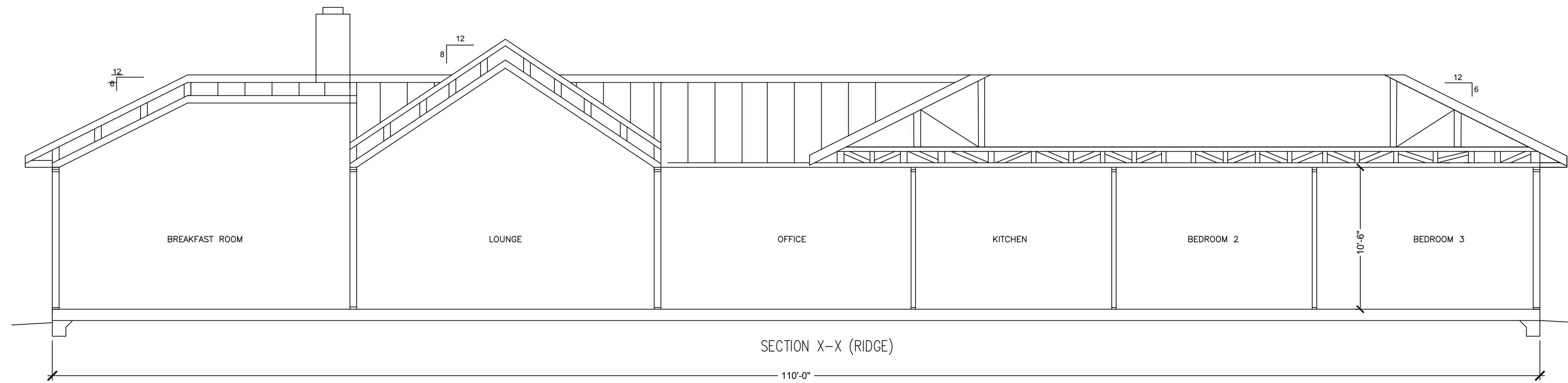
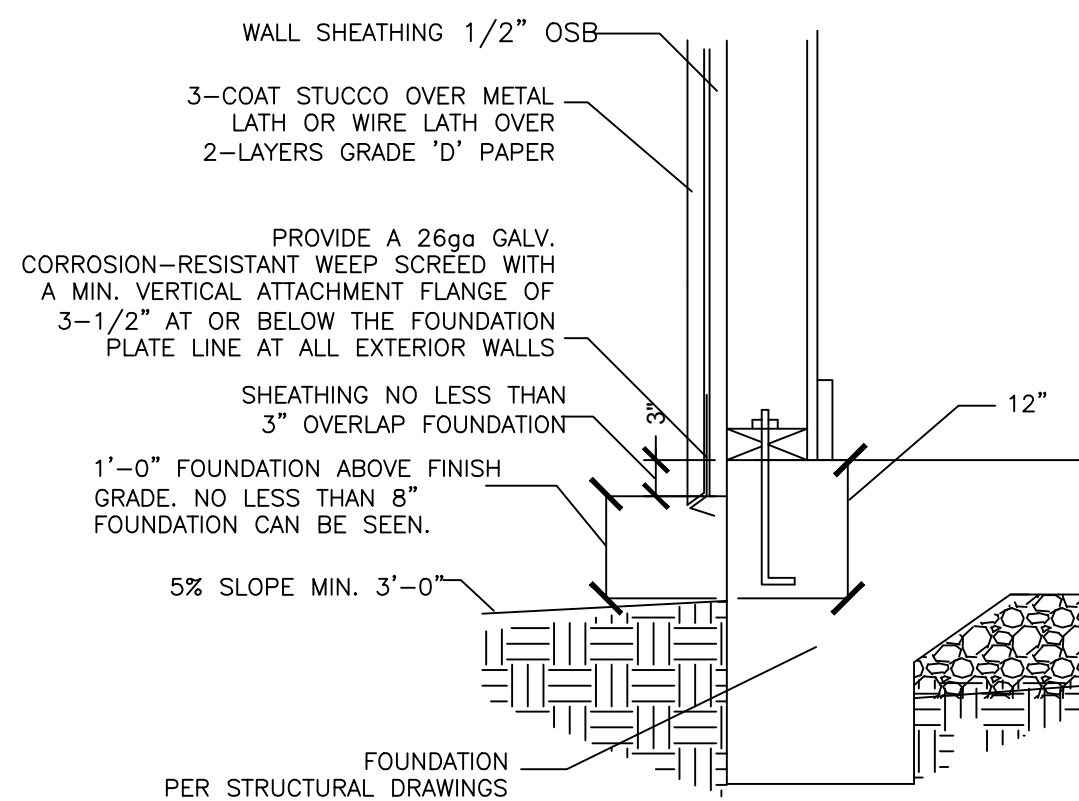
- 1) TRUSS OR LUMBER DEPTH IS 14".
- 2) TOTAL 11 PIECES OF 4" X 4" POSTS.
- 3) POST BOTTOM AND FLOOR TRUSS BOTTOM ARE AT THE SAME LEVEL.
- 4) USING 8 PIECES OF 4" LONG, 20D SCREWS TO FASTEN ONE POST AT 4 DIFFERENT DIRECTIONS AND AT 4 DIFFERENT HEIGHTS.
- 5) POST SHOULD BE 4 FEET ABOVE THE DECK SURFACE.
- 6) TWO SIDES OF POST SHOULD BE AGAINST FLOOR TRUSS AND FRONT BOARD AND THE REST TWO SIDES OF POST SHOULD BE WRAPPED BY 2" X 14" LUMBER BOARD.
- 7) USING 36 IN H X 72 IN W RAILINGS BETWEEN TWO POSTS. THE DISTANCE BETWEEN FLOOR AND BOTTOM RAIL IS 4 INCHES.

**ROOFTOP DECK DETAILED SECTION VIEW**



- 1) FIRST LAYER IS FLOOR TRUSS OR LUMBER 2" X 14"
- 2) USE 2" X 2" FURRING STRIP BOARD TO CREATE MORE THAN 2% SLOPE FOR WATER FLOWING.
- 3) SECOND LAYER IS 5/8 INCH THICK OSB
- 4) THIRD LAYER IS 60 MIL THICK EPDM.
- 5) FOURTH LAYER IS ANOTHER 60 MIL EPDM FOR DOUBLE PROTECTION. USING DOUBLE LAYERS OF 60 MIL EPDM FOR EXTRA PREVENTION FROM WATER
- 6) THREE LAYERS OF LIQUID RUBBER TO SEAL THE WHOLE SURFACE OF DECK. INTERVAL TIME OF EACH LAYER IS ABOUT TWO DAYS. EACH LAYER OF LIQUID RUBBER SHOULD BE TOTALLY DRY BEFORE ANOTHER LAYER ON IT.
- 7) LAST LAYER OF DECK IS OUTDOOR DECK TILE.
- 8) THE SURFACE LEVEL'S DIFFERENCE BETWEEN OUTDOOR AND INDOOR IS ABOUT 1.5 INCHES.

**WEEP SCREED DETAIL**



*J. Waller*

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**REVISION NUMBER:**

**REVISION DATE:**

**SCALE:** 3/16"=1'-0"  
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**SECTIONS (HORIZONTAL)**

**A-6**

**SHEET NOTES**

INSTALL APPROVED CORROSION-RESISTANT FLASHING APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS:

- A) EXTERIOR WINDOW AND DOOR OPENINGS (PER MANUFACTURER'S RECOMMENDATIONS)
- B) AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS.

- C) UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
- D) CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
- E) WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION.
- F) AT WALL AND ROOF INTERSECTIONS.
- G) AT BUILT-IN GUTTERS

NOTE: USE Z-BAR FLASHING AT WOOD TRIM

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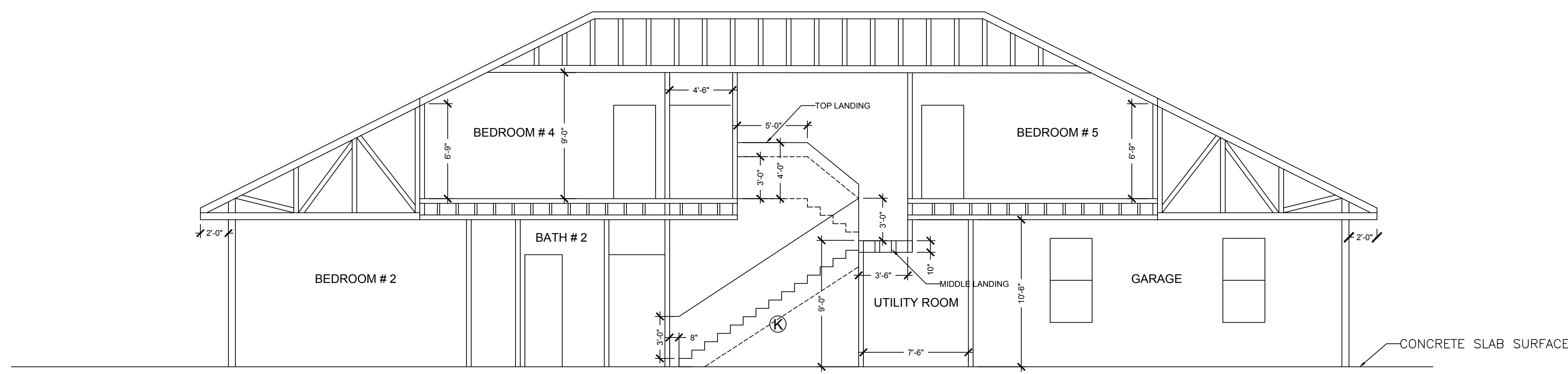
SCALE: 3/16"=1'-0"

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SECTIONS  
(VERTICAL)

**A-7**



SECTION V-V (RIDGE)

STAIRS:

- 1) WIDTH PER CRC R311.7.1
- 2) TREADS, RISERS, AND PROFILES PER CRC R311.7.5
- 3) LANDINGS PER CRC R311.7.6
- 4) HANDRAILS PER CRC R311.7.8
- 5) GUARDS PER CRC R312.

HANDRAILS:

- 1) HANDRAIL EXTENDS CONTINUOUSLY FROM A POINT DIRECTLY ABOVE THE TOP RISER TO A POINT DIRECTLY ABOVE THE LOWEST RISER, AND TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS PER CRC R311.7.8.4
- 2) PROVIDE 1-1/2 INCH SPACE BETWEEN THE WALL AND HANDRAIL PER CRC R311.7.8.3
- 3) HANDRAILS HAVE A 1-1/4 TO 2 INCH GRIPPABLE SCROSS SECTION WITH NO SHARP CORNERS PER CRC R311.7.8.5

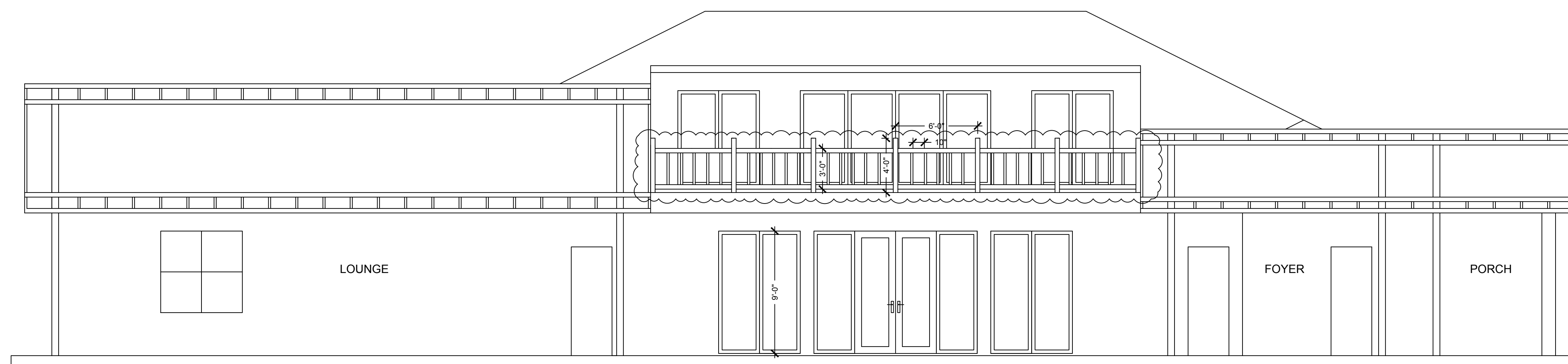
Ⓚ KEY NOTES

STAIRS SPECIFICATIONS:

- 1) STAIR WIDTH IS 3.5 FEET.
- 2) STAIR RISER IS 7-1/8 INCH.
- 3) STAIR RUN IS 11 INCH.
- 4) MIDDLE LANDING AREA: 4.0 FEET X 7.333 FEET.
- 5) TOP LANDING AREA: 4.0 FEET X 3.5 FEET.
- 6) TOP LANDING SIDE WALL HEIGHT IS 4 FEET FOR THE OPEN SIDE OF STAIRWAY.
- 7) HANDRAIL HEIGHT IS 3 FEET. THERE IS 1-1/2 INCH SPACE BETWEEN THE WALL AND HANDRAIL.

RULES:

- 1) THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH PER CRC R311.7.5.1.



SECTION W-W (RIDGE)



NOTES:

**INSULATION:**

- ① ROCKWOOL ITEM #291368 R23 THICKNESS 5.5 WIDTH 15.25 LENGTH 47 FRAME 16" OC
- ② ROCKWOOL ITEM #294340 R38 THICKNESS 9.5 WIDTH 23.0 LENGTH 47 FRAME 24" OC
- ③ ROCKWOOL ITEM #291365 Safe'n'Sound THICKNESS 3 WIDTH 15.25 LENGTH 47 16" OC
- ④ ROCKWOOL ITEM #292897 Safe'n'Sound THICKNESS 6 WIDTH 15.25 LENGTH 47 16" OC
- ⑤ ROCKWOOL ITEM #292908 Safe'n'Sound THICKNESS 6 WIDTH 23 LENGTH 47 24" OC

INSULATION MATERIAL SHALL FOLLOW THE FOLLOWING RULES:

- 1) ALL THE EXTERIOR WALLS: #1 R23. THICKNESS 5.5 INCHES.
- 2) BOTH SIDE WALLS OF LOUNGE AND FOYER: #1 R23. THICKNESS 5.5 INCHES.
- 2) ALL THE ROOFS: #2 R38 INCLUDING FLAT ROOF. THICKNESS 9.5 INCHES.
- 3) ALL THE INTERIOR WALLS: #3 SAFE N SOUND PROOFING. THICKNESS 3 INCHES.
- 4) THE CEILINGS BETWEEN FIRST FLOOR AND ATTIC FLOOR (BETWEEN FLOOR TRUSSES): #4 + #4 = DOUBLE #4 SAFE N SOUND PROOFING. THICKNESS 12 INCHES.
- 5) THE REST CEILINGS: #5 SAFE N SOUND PROOFING. THICKNESS 6 INCHES.
- 6) INSULATION MATERIAL USED FOR CATHEDRAL CEILINGS SHALL MEET THE REQUIREMENTS OF CRC R806.5.

VAPOR BARRIER NEEDS TO COVER THE INSULATION MATERIAL ON ALL THE EXTERIOR WALLS. RAFTER BAFFLES ARE NEEDED.  
ALL THE INSULATION MATERIAL MENTIONED ABOVE ARE PER TITLE-24 CALCULATIONS.

**DRYWALL:**

- 1) ALL THE INTERIOR WALLS AND CEILINGS USE USG SHEETROCK BRANK 5/8 INCH THICK, FIRECODE X FIRE-RESISTANT GYPSUM BOARD.

**ROOF:**

EAGLE ROOFING: 4697 STALE RANGE - RANGE OF CHARCOOL THIS CONCRETE ROOF MEETS COOL ROOF REQUIREMENTS IN CALIFORNIA AND OTHER COMPLIANCE PROGRAMS. THE CRRC 0918-0046.

**VENTILATION:**

- 1) FOR CATHEDRAL/VAULTED AREAS OF THE ROOF, INSULATION MATERIAL USED IN THIS PROJECT SHALL MEET THE REQUIREMENTS OF CRC R806.5. ALL OTHER CRC R806.5 REQUIREMENTS SHALL BE SATISFIED BY THE INSULATION CONTRACTOR. AIR IMPERMEABLE INSULATION OR OPEN EXTRA VENTS POSSIBLE.
- 2) UPPER ROOF VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY.
- 3) NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA SHALL BE PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE.

**SHEATHING:**

- 1) ALL THE EXTERIOR WALLS USE: ADVANTECH ROOF/WALL SHEATHING, 5/8 INCHES, SPECIFICATION: 5/8" X 4' X 8'
- 2) ALL THE ROOFS USE: ADVANTECH ROOF/WALL SHEATHING, 5/8 INCHES, SPECIFICATION: 5/8" X 4' X 8'

**SUBFLOOR:**

- 1) BOTH MAIN FLOOR AND ATTIC FLOOR USE: ADVANTECH SUBFLOORING, FLOOR PANEL SPECIFICATION: 23/32" X 4' X 8' WITH TONGUE AND GROVE

**SUBFLOOR UNDERLAYMENT:**

- 1) 6 MIL VAPOR BARRIER SHALL COVER THE CONCRETE SLAB BEFORE INSTALL SUBFLOOR. 6 INCHES OVERLAP IS REQUIRED.

**HARDWOOD FLOOR:**

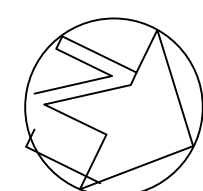
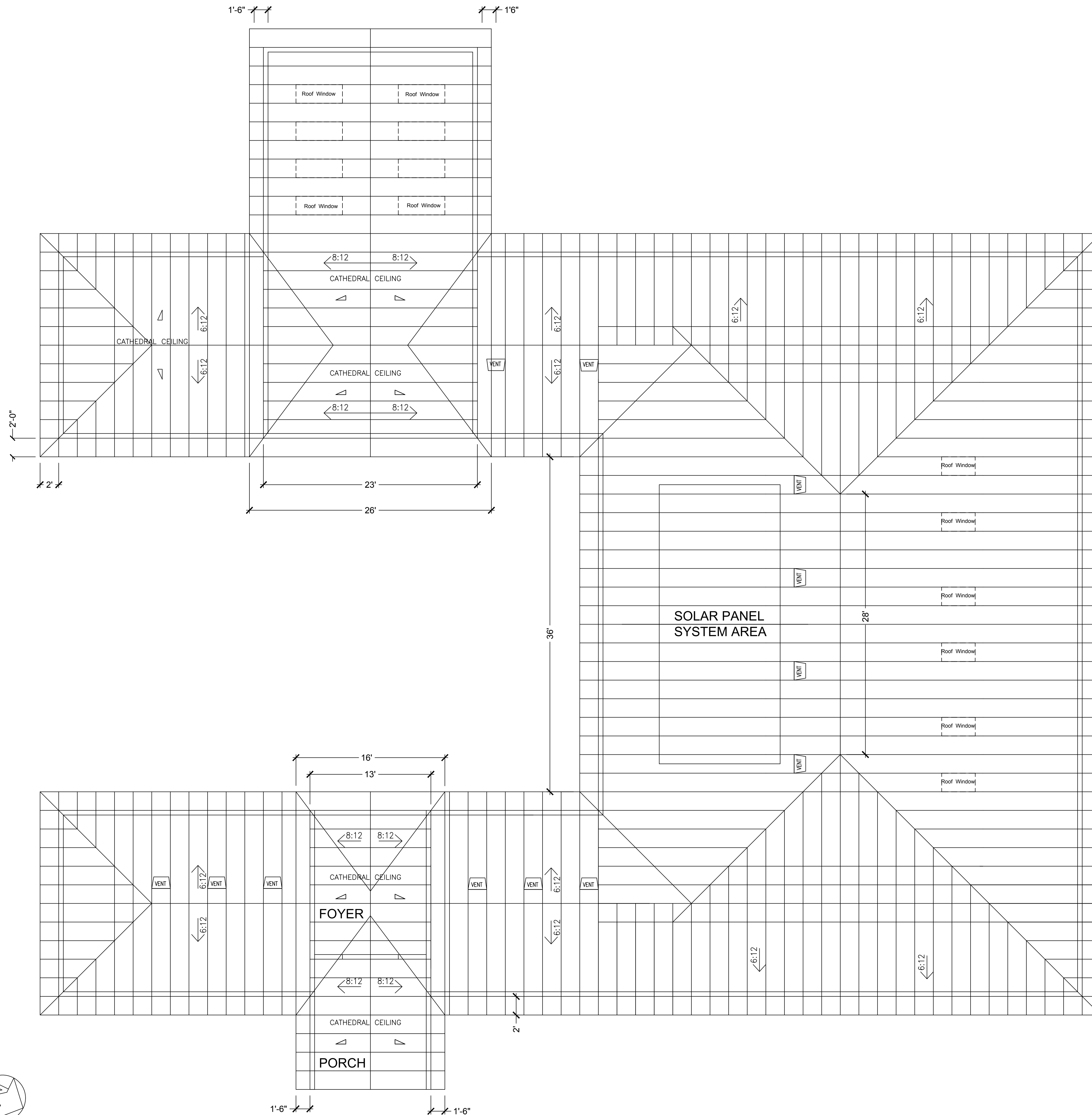
- 1) DETAILED SPECIFICATIONS SHALL BE CONFIRMED WITH OWNER BEFORE PURCHASING.

**HARDWOOD FLOOR UNDERLAYMENT:**

- 1) CORK UNDERLAYMENT IS REQUIRED BETWEEN HARDWOOD FLOOR AND SUBFLOOR. SPECIFICATION: 48 IN X 50 FT X 1/4 IN THICK NATURAL CORK UNDERLAYMENT ROLL.

**PV SYSTEMS:**

- 1) TESLA SOLAR PANEL 7.2 KW SYSTEMS: 20 SOLAR PANELS.
- 2) AZIMUTH OF THE SYSTEM FACE SHALL MEET CF1R ASSUMPTION.



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ROOF PLAN

**A-8**