MM), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.

2. PER BUILDING POLICY, WHERE FEASIBLE AND AS DETERMINE THE BUILDING INSPECTOR, ALL ABOVE GROUND UTILITIES SHALL BE RELOCATE UNDER-GROUND.

3. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL

POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (R319.1).

7. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE AT EXTERIOR WALL.

8. CONTRACTOR SHALL PROVIDE ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

9. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.

10. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY COUNTY REGULATIONS.

PARCEL MAP









EXISTING CONDITION PLAN 1" = 30'-0"

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ADDF PHO EMA	RESS: NE: IL:	2021 TH SUITE 3 CA 9512 408-621 DB.DBE GMAIL.0	HE ALAMEDA 360, SAN JOSE 26 I-0114 NGINEERING@ COM
ID 1 2 3	R E DA 2021 2023 2023	V I S ATE /06/24 /01/09 /08/02	I O N BY PLAN CHECK PLAN CHECK PLAN CHECK
		EXISTING CONDITION PL	
	NEW SINGLE FAMILY RESIDENCE		Monterey Highway, San Martin, CA 95020
DAT SCA DRA	TE: ALE AS AW BY	2024 S SHOW	I-04-051 /N HN
JOE		: 3 NO :	#116 01

Instructions:

This checklist is to be used on an individual project basis and may be modified by the applicant to meet the needs of their specific project. The applicant shall strike out those sections that are not applicable to their project and indicate the location of where this information is located. The applicant and property

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE DECIDENTIAL MANDATODY MEACHDEC CHEET 4

own	er assume all responsibility associated with the use of this document.	NIAL MANDAIORY MEASURE	ろ、う用ヒヒ I ´I (January 2020, Includes A	ugust 2019 Supplement)	PROJECT PRO
Y N/A RE	PON. RTY CHAPTER 3	SPON. ARTY Y N/A RESP	ON. TY	Y N/A RESPON. PARTY	
	GREEN BUILDING				
	301 1 SCOPE Buildings shall be designed to include the green building measures specified as mandatory in	4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces	DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION	DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE	NAME: MY TRUONG
	the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code,	1. The EV space shall be located adjacent to an accessible parking space meeting the Image: Comparison of the located adjacent to an accessible parking space meeting the	4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and	4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE	PHONE: 408-550-5496
	but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.	requirements of the <i>California Building Code</i> , Chapter 11A, to allow use of the EV charger from the accessible parking space.	urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.	Contractor 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such	EMAIL: BAYAREAPROJECT PRO@GMAIL.COM
	additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the	Code, Chapter 2, to the building.	Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final	openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.	CIVIL ENGINEER
	specific area of the addition or alteration.	Exception: Electric vehicle charging stations designed and constructed in compliance with the <i>California Building Code</i> , Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2. Item 2	completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential	4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65	NAME: DUNG BUI
	improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate	Note: Electric Vehicle charging stations serving public housing are required to comply with the California	 buildings affected and other important enactment dates. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per 	percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance	ADDRESS: 2021 THE ALAMEDA SUITE 360, SAN JOSE CA 95126
	of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important encoder determined by the section of the section	Building Code, Chapter 11B.	flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.	Exceptions:	PHONE: 408-621-0114
	other important enactment dates.	designed to comply with the following:	Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush	1. Excavated soil and land-clearing debris.	EMAIL: DB.DBENGINEERING@ GMAIL.COM
	301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential	1. The minimum length of each EV space shall be 18 feet (5486 mm). 2. The minimum width of each EV space shall be 9 feet (2743 mm).	4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush.	recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.	REVISION
	specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.	3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).	The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.	 The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. 	ID DATE BY
		a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units	4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8	Contractor 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as	1 2021/06/24 PLAN CHEC
	302.1 MIXED OCCUPANCY BUILDINGS	horizontal (2.083 percent slope) in any direction.	gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.	necessary and shall be available during construction for examination by the enforcing agency.	3 2023/08/02 PLAN CHEC
	shall comply with the specific green building measures applicable to each specific occupancy.	4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240- volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside	4.303.1.3.2 Multiple showerheads serving one shower . When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by	 Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. Specify if construction and demolition waste materials will be sorted on-site (source separated) or 	
	ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development	diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service papel and/or subpanel shall provide	a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.	bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be	
	BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety	capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.	Note: A hand-held shower shall be considered a showerhead.	 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated. 	
	LR Low Rise HR High Rise	4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV charges. Construction documents	4.303.1.4 Faucets.	 Špecify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. 	
	AA Additions and Alterations N New	shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system,	4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.	4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and	Ľ Ľ
	CHAPTER 4	including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a	4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory	demolition waste material diverted from the landfill complies with Section 4.408.1.	OL S
	RESIDENTIAL MANDATORY MEASURES	40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.	faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.	Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.	
	DIVISION 4.1 PLANNING AND DESIGN	4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent	4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.	A408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4	
	SECTION 4.102 DEFINITIONS	protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.	4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temperarily increase the flow above the second s	Ibs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1	j Ki
	The following terms are defined in Chapter 2 (and are included here for reference)	4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces	to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.	4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds	
	FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.	capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces.	Note : Where complying faucets are unavailable, aerators or other means may be used to achieve reduction	per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1	CA
	WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also	Notes:	4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed	Architect 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4.	
	used for perimeter and inlet controls.	 Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers 	in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> .	Notes:	
	 4.100 SITE DEVELOPMENT 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, 	are installed for use.	NOTE:	1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in	
	management of storm water drainage and erosion controls shall comply with this section.	4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the	THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.	documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California	ш
	4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage	nearest whole number.	TABLE - MAXIMUM FIXTURE WATER USE	4.410 BUILDING MAINTENANCE AND OPERATION	<u> </u>
	during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.	TABLE 4.106.4.3.1	FIXTURE TYPE FLOW RATE	A.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the	
	 Retention basins of sufficient size shall be utilized to retain storm water on the site. Where storm water is conveyed to a public drainage system, collection point, gutter or similar. 	TOTAL NUMBER OF PARKING NUMBER OF REQUIRED EV SPACES SPACES	SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI	following shall be placed in the building:	
	disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.	0-9 0	LAVATORY FAUCETS MAX. 1.2 GPM @ 60 PSI (RESIDENTIAL) MIN. 0.8 GPM @ 20 PSI	life cycle of the structure. 2. Operation and maintenance instructions for the following:	SS SI
	3. Compliance with a lawfully enacted storm water management ordinance.	10-25 1	LAVATORY FAUCETS IN COMMON & DUDU O LISE ADEAS 0.5 GPM @ 60 PSI	 Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major 	
	are part of a larger common plan of development which in total disturbs one acre or more of soil.	26-50 2	KITCHEN FAUCETS1.8 GPM @ 60 PSI	 b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. 	
	(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)	51-75 4	METERING FAUCETS 0.2 GAL/CYCLE	 d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce. 	
	manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:	76-100 5	URINALS 0.125 GAL/FLUSH	 resource consumption, including recycle programs and locations. Public transportation and/or carpool options available in the area. 	an M
	1. Swales	151-200 10		 Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. Information about water concerning landscape and irritation design and controllers which concerns 	AN ay, s
	 French drains Water retention gardens 	201 and over 6 percent of total	4.304 OUTDOOR WATER USE	 water. This indicate and the importance of diverting water at least 5 	L A
	 Other water measures which keep surface water away from buildings and aid in groundwater recharge. 	4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to	a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.	 feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 	Щ Т
	Exception: Additions and alterations not altering the drainage path.	1. The minimum length of each EV space shall be 18 feet (5486mm).	NOTES:	 9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code. 	J L
	4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply any import (EVSE) shall be installed in accordance with the <i>California Electrical Code</i> . Article 625	2. The minimum width of each EV space shall be 9 feet (2743mm)	1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the <i>California Code Regulations,</i> Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are	□ ⊠ 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(a) that some all buildings on the site and are identified for the	
	Exceptions:	in accordance with Section 4.106.4.2.3.	available at: https://www.water.ca.gov/	depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling	N N
	 On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1. Where there is no commercial nower supply. 	4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4.		ordinance, if more restrictive. Excention: Rural jurisdictions that meet and apply for the exemption in Public Persurges Code Section	2
	 1.2 Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase 	4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 4.106.4.2.5.		42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.	
	the utility side cost to the homeowner or the developer by more than \$400.00 per dwelling unit.	4.106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging			
	parking facilities.	stations in the California Building Code, Chapter 11B.			
	4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each			DIVISION 4.5 ENVIRONMENTAL QUALITY	DATE: 2024-04-05
	shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the	DIVISION 4.2 ENERGY EFFICIENCY		SECTION 4.501 GENERAL 4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are advenue	
	proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate to the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and space(c) reserved to participate the service of a branch circuit and	 4.201 SEITEINEL 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards. 		irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.	
	protective device.			SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)	
	4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination			AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door	
	4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of			cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.	
	parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall			COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated	
	be rounded up to the nearest whole number. Notes:			wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.	JOB NO : #116
	 Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. 			DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.	DRAWING NO :
	 There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 				
	4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space				
	shall be located in the common use parking area and shall be available for use by all residents.				A0.02



Instructions:

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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE **RESIDENTIAL MANDATORY MEASURES, SHEET 2** (January 2020, Includes August 2019 Supplement)

r N/A RESPON. Y N/A RESPON. PARTY MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O³/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701. MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere. VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). 4.503 FIREPLACES **4.503.1 GENERAL**. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. 4.504 POLLUTANT CONTROL Contractor 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING **CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system. Contractor 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. ☑ □ Contractor 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507. 🛛 🗆 Contractor 4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply. 🛛 🗆 Contractor 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation Rule 49. **4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the 🛛 🗆 Contractor enforcing agency. Documentation may include, but is not limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product containers. TABLE 4.504.1 - ADHESIVE VOC LIMIT_{1.2} (Less Water and Less Exempt Compounds in Grams per Liter) VOC LIMIT ARCHITECTURAL APPLICATIONS 50 INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES 50 OUTDOOR CARPET ADHESIVES 150 WOOD FLOORING ADHESIVES 100 RUBBER FLOOR ADHESIVES 60 SUBFLOOR ADHESIVES 50 65 CERAMIC TILE ADHESIVES 50 VCT & ASPHALT TILE ADHESIVES 50 DRYWALL & PANEL ADHESIVES 50 COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE 70 STRUCTURAL GLAZING ADHESIVES 100 250 SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED 50 SPECIALTY APPLICATIONS PVC WELDING 510 490 CPVC WELDING 325 ABS WELDING 250 PLASTIC CEMENT WELDING 550 ADHESIVE PRIMER FOR PLASTIC 80 CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE 250 STRUCTURAL WOOD MEMBER ADHESIVE 140 250 TOP & TRIM ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS 30 METAL TO METAL 50 PLASTIC FOAMS POROUS MATERIAL (EXCEPT WOOD) 50 30 WOOD FIBERGLASS 80 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SE (Less Water and Less Exen SEALANTS ARCHITECTURAL MARINE DECK NONMEMBRANE ROOF ROADWAY SINGLE-PLY ROOF MEMB OTHER SEALANT PRIMERS ARCHITECTURAL NON-POROUS POROUS MODIFIED BITUMINOUS MARINE DECK OTHER

ARCHITECTURAL COMPOUNDS COATING CATEGORY FLAT COATINGS NON-FLAT COATINGS NONFLAT-HIGH GLOSS SPECIALTY COATINGS ALUMINUM ROOF COA BASEMENT SPECIALTY BITUMINOUS ROOF CO. BITUMINOUS ROOF PRI BOND BREAKERS CONCRETE CURING CO CONCRETE/MASONRY DRIVEWAY SEALERS DRY FOG COATINGS FAUX FINISHING COATI FIRE RESISTIVE COATI FLOOR COATINGS FORM-RELEASE COMP GRAPHIC ARTS COATIN HIGH TEMPERATURE C INDUSTRIAL MAINTENA LOW SOLIDS COATINGS MAGNESITE CEMENT C MASTIC TEXTURE COA METALLIC PIGMENTED MULTICOLOR COATING PRETREATMENT WASH PRIMERS, SEALERS, & REACTIVE PENETRATIN RECYCLED COATINGS ROOF COATINGS RUST PREVENTATIVE C SHELLACS CLEAR OPAQUE SPECIALTY PRIMERS, S UNDERCOATERS STAINS STONE CONSOLIDANTS SWIMMING POOL COAT TRAFFIC MARKING COA TUB & TILE REFINISH C WATERPROOFING MEN WOOD COATINGS WOOD PRESERVATIVE ZINC-RICH PRIMERS EXEMPT COMPOUNDS

	г
mpt Compounds in Grar	ns per Liter)
	VOC LIMIT
	250
	760
	300
	250
BRANE	450
	420
	250
	775
	500
	760
	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR	
ARCHITECTURAL COATINGS2,3	

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

	VOC LIMIT
	50
	100
COATINGS	150
TINGS	400
COATINGS	400
ATINGS	50
IMERS	350
	350
OMPOUNDS	350
SEALERS	100
	50
	150
NGS	350
NGS	350
	100
OUNDS	250
IGS (SIGN PAINTS)	500
OATINGS	420
NCE COATINGS	250
S1	120
OATINGS	450
TINGS	100
COATINGS	500
S	250
I PRIMERS	420
UNDERCOATERS	100
NG SEALERS	350
	250
	50
COATINGS	250
	730
	550
SEALERS &	100
	250
6	450
TINGS	340
ATINGS	100
OATINGS	420
IBRANES	250
	275
S	350
	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER &

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS

SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

Y	N/A	RESPON.	х така така така така така така така так	,	N/A
		PARIT		+	
			TABLE 4 504 5 - FORMAL DEHYDE LIMITS		
			MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION		
			PRODUCT CURRENT LIMIT		
			HARDWOOD PLYWOOD VENEER CORE 0.05		
			HARDWOOD PLYWOOD COMPOSITE CORE 0.05		
			PARTICLE BOARD 0.09		
			THIN MEDIUM DENSITY FIBERBOARD 0.13		
			1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED		
			BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120 12		
			2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).		
	×		DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:		
			 Carpet and Rug Institute's Green Label Plus Program. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350). NSF/ANSI 140 at the Gold level. Scientific Certifications Systems Indoor Advantage™ Gold. 		
			4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.		
			4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.		
	⊠		4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:		
			 Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350). 	1	
×		Contractor	4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5		
×		Contractor	 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following: 		
			 Product certifications and specifications. Chain of custody certifications. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency. 		
			4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.		
×		Contractor Engineer	4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.		
	⊠		4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:		
			 A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional. 		
×		Contractor	4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:		
			 Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified. At least three random moisture readings shall be performed on wall and floor framing with documentation 		
			acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to		
			recommendations prior to enclosure.		
Ø		Engineer	4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:		
			 Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. 		
			 a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in) 		
			Notes:		
			 For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination. Lighting integral to bathroom exhaust fans shall comply with the <i>California Energy Code</i>. 		
×		Engineer	4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:		
			 The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods. 		

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

RESPON. PARTY

Owner

CHAPTER 7 **INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS** 702 QUALIFICATIONS

Contractor **702.1 INSTALLER TRAINING.** HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
- 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.

- 1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
- 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

Owner 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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REVISION DATE ΒY ID 1 2021/06/24 PLAN CHECK

2 2023/01/09 PLAN CHECK 3 2023/08/02 PLAN CHECK

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11 Ζ S Ľ Σ C Ζ S 2024-04-05 DATE: SCALE AS SHOWN HN DRAW BY:

#116 JOB NO DRAWING NO



GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, CONSTRUCTION TAXES AND FEES REQUIRED BY CITY, COUNTY AND STATE LAWS EXCEPT THE GENERAL BUILDING PLANCHECK FEE AND REQUIRED REFUNDABLE DEPOSITS WHICH WILL BE PAID BY THE OWNER. CONTRACTOR SHALL ARRANGE FOR ALL METER INSTALLATIONS AND PAY ALL FEES FOR SAID METERS. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AND EROSION CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL BUILDING CODE.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING COMPLETE KNOWLEDGE OF EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH THOSE SHOWN ON THE DRAWINGS AND SHALL VERIFY GRADES, CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE DEPICTED IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF ANY DISCREPANCIES FOUND WITHIN THE DRAWINGS AND SPECIFICATIONS.

- 3. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ACCURACY OF DETAILS: FOR CONFIRMING AND COORDINATING ALL QUANTITIES AND DIMENSIONS: FOR SELECTING FABRICATION PROCESSES; FOR TECHNIQUES OF ASSEMBLY AND PERFORMANCE OF ALL WORK IN A SAFE AND SATISFACTORY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL WORK INCLUDING THAT OF THE SUB-CONTRACTORS. CONTRACTOR SHALL PROVIDE SUPERVISION OF THE JOB DURING ALL PHASES OF CONSTRUCTION ACTIVITIES. A COMPETENT SUPERINTENDENT SHALL BE SELECTED BY THE CONTRACTOR AND SHALL BE IN CHARGE OF THE JOB UNTIL ITS COMPLETION. CONTRACTOR AGREES TO BIND EVERY SUB-CONTRACTOR BY THE TERMS OF THE CONTRACT AS FAR AS SUCH TERMS ARE APPLICABLE TO THE SUB-CONTRACTOR'S WORK.
- 4. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL DEBRIS ACCUMULATED AS A RESULT OF THEIR OPERATIONS. ALL SCRAP DEBRIS AND OTHER EXCESS MATERIAL SHALL BE LAWFULLY REMOVED FROM THE SITE. UNLESS OTHERWISE DIRECTED BY THE CONTRACTOR.
- 5. CONTRACTOR SHALL GUARANTEE ALL WORK, MATERIALS AND PRODUCTS FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK AND CONTRACTOR SHALL REPAIR OR REPLACE, OR CAUSE TO BE REPAIRED OR REPLACED ANY OR ALL SUCH WORK TOGETHER WITH ANY OTHER WORK WHICH MAY BE DISPLACED IN DOING SO, THAT MAY PROVE DEFECTIVE WITHIN ONE YEAR, WITHOUT ADDITIONAL EXPENSE; ORDINARY WEAR AND TEAR, UNUSUAL ABUSE OR NEGLECT IS EXCEPTED. EXCEPTIONS TO ONE YEAR GUARANTEE ARE SPECIFIED IN OTHER SECTIONS OF THE PROJECT MANUAL OR DRAWINGS. STATE LAW, OR MANUFACTURER'S GUARANTEE SHALL GOVERN IF LENGTH AND TYPES OF GUARANTEES ARE MORE STRICT OR FOR LONGER PERIODS.
- 6. THAT IS RESPONSIBILITY OF CONTRACTOR TO PROVIDE MATERIALS AND CONSTRUCTION WHICH WILL YIELD A REASONABLE VALUE OVER A PERIOD OF TIME WHICH MAY EXCEED THE SPECIFIED GUARANTEE AND WARRANTY PERIODS.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR A WEATHER TIGHT BUILDING, FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP. EACH SUB-CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE STATING THAT WORK EXECUTED BY HIM IS FREE AND WILL REMAIN FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE OF HIS WORK BY OWNER, AND THAT REPAIR AND REPLACEMENT OF SUCH DEFECTIVE WORK AND ALL OTHER WORK DAMAGED AS A RESULT THEREBY WILL BE EXECUTED IN A TIMELY MANNER AT THE CONVENIENCE OF THE OWNER AND WITHOUT COST TO OWNER
- 8. THE ARCHITECT WILL NOT ACT AS THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION. ARCHITECT WILL ADVISE AND CONSULT WITH OWNER ARCHITECT WILL OBSERVE CONSTRUCTION PER HIS AGREEMENT WITH OWNER AND RENDER INTERPRETATIONS NECESSARY FOR THE PROPER EXECUTION OR PROGRESS OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. ARCHITECT WILL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS, OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

ANY VERBAL INSTRUCTION OR AUTHORIZATION THAT IS CONFIRMED BY LETTER. MEETING NOTE, MEMORANDA, OR THE LIKE, (WITH A COPY SENT TO THE OWNER, OR THE OWNER'S REPRESENTATIVE) & THERE IS NO EXCEPTION TAKEN WITHIN (10) CALENDAR DAYS, SHALL BE DEEMED EQUIVALENT TO RECEIPT OF WRITTEN INSTRUCTION, APPROVAL AND AUTHORIZATION FROM THE OWNER.

- 9. OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED TO THE MUTUAL SATISFACTION OF THE OWNER, ARCHITECT AND CONTRACTOR. BEFORE ANY CHANGES ARE BEGUN, THE ADDED OR DEDUCTED SUM SHALL BE PRESENTED TO OWNER IN WRITING FOR APPROVAL.
- 10. SUBSTITUTIONS OF MATERIALS OR METHODS PROPOSED BY THE CONTRACTOR OR HIS SUB-CONTRACTORS CONTRARY TO DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO ARCHITECT IN WRITING FOR APPROVAL OR DENIAL. IF MORE THAN ONE MANUFACTURER IS SPECIFIED IN THE PLANS OR SPECIFICATIONS, IT SHALL BE THE CONTRACTOR'S OPTION TO SELECT THE ONE WHICH HE MAY DESIRE. IF MORE THAN ONE FINISH OR STYLE IS AVAILABLE IN THE ITEM SPECIFIED, CONTRACTOR SHALL BE OBLIGATED TO NOTIFY ARCHITECT VERBALLY AND IN WRITING OF THIS FACT FOR ARCHITECT'S AND OWNER'S DECISION.
- 1. THESE DRAWINGS AND SPECIFICATIONS SHALL BE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A CONSTRUCTIBLE BUILDING. PARTS AND DETAILS NOT FULLY SHOWN OR DESCRIBED SHALL BE DETAILED AND EXECUTED ACCORDING TO STANDARD FIRST CLASS PRACTICE AND IN SIMILAR MANNER AND SPIRIT OF THE DETAILS WHICH ARE SHOWN ON THE DRAWINGS AND/OR DESCRIBED IN THE PROJECT MANUAL. IF CONTRACTOR OR SUB-CONTRACTOR FINDS ANY DETAILS WHICH, IN HIS OPINION, ARE UNSOUND, UNSAFE, OR NOT WATERPROOF, IT IS HIS DUTY TO NOTIFY ARCHITECT IN WRITING OF THIS FACT. IF WORK IS PERFORMED AS DETAILED, IT WILL BE ASSUMED THAT THERE ARE NO OBJECTIONS TO THE DETAIL. ACCURACY OF ALL DIMENSIONS SHALL BE CHECKED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS.
- 12, IN USING THESE PLAN FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK, EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICALBE TO OTHER TRADES. IN CASE OF CONFLICTS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER. OR OTHERWISE TO APPLY THE MORE STRINGENT STANDARD.
- 13. THESE PLANS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL, AND THE ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR CLARIFICATION AND INFORMATION. ERRORS AND OMISSIONS ARE TO BE EXPECTED AND ANTICIPATED, AND ALL CONTRACTORS ARE REQUIRED TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS AND TO BRING THESE ERRORS AND OMMISIONS TO THE ATTENTION OF A APPROPRIATE OWNER & ARCHITECT IN WRITING IN A TIMELY MANNER: AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES. SCALED DIMENSIONS SHOULD BE CONSIDERED ONLY APPROXIMATE; AND IN ANY DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION.
- 14. FIGURED DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE. AND DETAIL DRAWINGS IN PREFERENCE TO SMALL SCALE DRAWINGS. SUB CONTRACTOR AND CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD PRIOR TO ANY WORK BEING CONSTRUCTED OR MATERIALS OR PRODUCTS FABRICATED OR ORDERED. SPECIFICATIONS AND WRITTEN NOTES AND SCHEDULES ON DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO INFORMATION FURNISHED IN THE FORM OF LINE DRAWINGS. DETAILED DRAWINGS FURNISHED DURING CONSTRUCTION OR APPROVED BY CONTRACTOR OR ARCHITECT ARE TO BE CONSIDERED EXPLANATORY AND NOT AS CHANGES TO DRAWINGS AND SPECIFICATIONS. NOTES, FIGURES AND DETAILS ON SAID DRAWINGS SHALL BE FOLLOWED AND EXECUTED AS IF PART OF THESE DOCUMENTS.
- 15. ERRORS OR OMISSIONS WHICH APPEAR ON THE DRAWINGS, IN SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR AND TO THE CONTRACTOR BY THE SUB-CONTRACTOR IN WRITING. IN EVENT OF FAILURE OF SUB-CONTRACTOR TO GIVE SUCH WRITTEN NOTIFICATION BEFORE CONSTRUCTION OR FABRICATIONS OF THE WORK, HE WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COSTS OF RECTIFYING SAME. HOWEVER, DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND WORK CALLED FOR ON ONE AND NOT THE OTHER SHALL BE PROVIDED AS THOUGH FULLY SET FORTH IN BOTH.
- 16. AT ALL TIMES DURING CONSTRUCTION ACTIVITIES OR ERECTION OF PROJECT OR ITS COMPONENT PARTS, PRIOR TO COMPLETION OF THE STRUCTURAL FRAME OR REPLACEMENT AND PERMANENT CONNECTION OF COMPONENT MEMBERS TO THE STRUCTURAL FRAME, SUB-CONTRACTORS SHALL PROVIDE, INSTALL AND MAINTAIN PROPERLY DESIGNED AND CONSTRUCTED TEMPORARY BRACING OF ADEQUATE STRENGTH TO PREVENT DISLOCATION, DISTORTION, CRACKING, FALLING OFF, OR ANY OTHER DAMAGE TO WORK OR ANY OF ITS COMPONENT PARTS DUE TO FORESEEABLE NORMAL AS WELL AS NOT FORESEEABLE EXCESSIVE WIND AND EARTHQUAKE FORCES WITHOUT ADDITIONAL COST TO OWNER. CONTRACTOR AND HIS SUB-CONTRACTORS SHALL, AT THEIR EXPENSE, REPLACE OR REPAIR, AS DIRECTED, DAMAGED PORTIONS OF THEIR WORK OR COMPONENT PARTS.
- 17. NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT/ ENGINEER WHOSE SIGNATURE APPEARS HERON.

18. NO FRAMING OF ANY TYPE TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.

19. REFERENCES TO ANY DETAIL OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.

- 20. MAXIMUM FLOW RATE STANDARDS SET BY THE CURRENT CALIFORNIA GREEN CODE G.C. TO VERIFY PRIOR TO PURCHASE AND INSTAL. OF ANY FIXTURES.
- 21. EXTERIOR DECKS, BALCONIES, AND STAIRWAYS SEALED UNDERNEATH SHALL BE WATERPROOFED- ARCH. TO APPV. METHOD OF WATERPROOFING G.C. TO SUBMIT SPECIFICATIONS.

22. MAX. TEMP. OF 120° TO BE APPROVED BY THE USE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES TYP. @ SHOWERS & TUBS.

23. THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY MAINTENANCE INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS, AND MANUFACTURED INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS AND MANUFACTURED DEVICES THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT OPERATION. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING, BY TITLE AND/OR PUBLICATION NUMBER, THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF FEATURE, MATERIAL, COMPONENT, OR MANUFACTURED DEVICE.

24. AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS FOR WHICH THE BUILDING PERMIT WAS ISSUED. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED R-VALUE.

25. DISTANCE FROM THE FACE OF FOUNDATION TO PROPERTY LINE TO BE ZONING SETBACK PLUS WALL FINISH THICKNESS.

26. MIN. 5/8" TYPE 'X' MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL BATHROOMS AND KITCHENS

27. INSPECTOR TO REVIEW AND APPROVE UNDERGROUND ELEC. SERVICE PRIOR TO CONCRETE PLACEMENT.

28. FACTORY-BUILT FIREPLACES, CHIMNEYS, AND ALL OTHER COMPONENTS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING.

29. FIREPLACE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY-BUILT CHIMNEY SYSTEMS AND ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

PROVIDE A PERMANENTLY ANCHORED GASEOUS FUEL BURNING PAN TO THE FIREBOX IN A SOLD FUEL BURNING FIREPLACE.

SOLID FUEL BRUNING FIREPLACE MUST COMPLY WITH THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES." GAS APPLIANCE FIREPLACE MUST COMPLY WITH THE CALGREEN CODE REQUIRMENTS."

GENERAL CONTRACTOR, CONTRACTORS, SUB-CONTRACTORS AND BUILDERS TO COORDINATE ALL ENGINEERING AND MECHANICAL DRAWINGS WITH ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH WORK. IF DISCREPANCIES ARE APPARENTLY OBSERVED OR INFORMATION APPARENTLY IS THOUGHT TO BE MISSING, NOTIFY ARCHITECT WITHIN 24 HOURS WITH SKETCH, DRAWING, PDF, PHOTOCOPIES WITH LEGIBLE HAND WRITTEN NOTES AND/OR WRITING (FAX, EMAIL OR CORRESPONDENCE). IF CONFLICT WITH EXISTING CONDITIONS, PROVIDE DOCUMENTATION (PHOTOS, SKETCHES, DWGS) OF EXISTING CONDITIONS AND SUGGEST PROPOSAL(S) FOR SOLUTION (SKETCH, DRAWING, AND/OR WRITING).

30. ISSUANCE OF A BUILDING PERMIT DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT









CABINET ELEVATION LAYOUT

TYPICAL FIXTURE SYMBOLS





(25CFM)OR EQUAL

- EXHAUST FAN FOR BATHROOM SHALL BE MIN. 50 CFM AND CONTAIN HUMIDISTAT
- 5/8" TYPE "X" GYPSUM BOARD ALL WALLS, CEILINGS, BEAMS, POSTS AND COLUMNS,
- WOOD DOOR WITH CLOSER AND LATCHING HARDWARE, SMOKE SEAL @ JAMB, HEAD
- DIMENSIONS AND POWER REQUIREMENTS WITH MANUFACTUER'S SPECIFICATIONS.
- 17 MEANS FOR FUTURE INSTALLATION AND USE OF ELECTRIC VEHICAL (EV) CHARGING
- 18 PANASONIC FV-0511VKS2 WHISPERGREEN (25CFM) OR EQUAL. FAN IS CONT. OPERATING WITH A SONAR RATING OF 1.0 MAX





PRIOR TO CASEWORK FABRICATION INSTALLATION.

EXPOSED GYP. BD. WALL TO MATCH WALLS. INSTALL MATCHING BASE BD.

EXTEND FLOORING UNDER APPLIANCES RESTING ON FLOOR. З.

5.

6.

7 STORY. SMOKE DETECTOR ALARM SOUND MUST BE AUDIBLE IN SLEEPING AREAS WHICH MAY REQUIRE PER MFGR. LISTED REQUIREMENTS.

ROOMS PER CHAPTER 3 CRC.

EXTERIOR OF THE BUILDING.

- 10.
- 11. USE 2x6 STUDS FOR PLUMBING WALL IF NECCESSARY
- 12.
- PROVIDE BACKING FOR ALL ACCESSORIES, FIXTURES AND WINDOW COVERINGS. 13.
- NO HEATING, COOLING, OR INSULATION IN GARAGE 14.

2019 CALIFORNIA GREEN BUILDING STANDARDS

GARAGES

FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

4.106.4.1.1 IDENTIFICATION

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

- CA TITLE 24 2019 RESIDENTIAL LIGHTING
- -ALL IN-UNIT FIXTURES TO BE HIGH EFFICACY -ALL INSEPERABLE LED'S TO BE JA8 APPENDIX APPROVED.
- -ALL MEDIUM BASED + GU24 LED LAMPS TO BE JA8-2016-3 APPROVED (WITH MARKINGS)
- -ALL RESESSED DOWNLIGHTS TO BE JA8 APPENDIX APPROVED -DOCUMENATION FOR THE ABOVE JA8 + JA8-2016-E REQUIREMENTS SHALL BE PROVIDED DURING SUBMITTAL PROCESS.
- -ALL FORWARD PHASE CUT DIMMERS USED WITH LED SHALL COMPLY WITH NEMA SSL 7A





ROOF VENTILATION NOTES: (CRC R806)

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE AT LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED W/. CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQ'TS. OF CRC R802.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.

2. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 IF ONE OR MORE OF THE FOLLOWING ARE MET; 1. IN CLIMATE ZONES 14 & 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. 2. AT LEAST 40% AND MORE THAN 50% OF THE REQUIRED VENTILATING ARE IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF TEH REQUIRED VANTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST OF THE SPACE SHALL BE PERMITTED.

3. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF A 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHT'G. AND AT THE LOCATION OF THE VENT.

4. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MFR'G.'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN ROOF SYSTEMS SHALL BE IN ACCORDANCE W/. THE REQ'TS. OF SECTION R903. INSTALLATION OF VENTILATORS IN WALL SYSTEMS SHALL BE IN ACCORDANCE W/. THE REQ'TS. OF SECTION R703.1.

5. UNVENTED ATTIC ASSEMBLIES (SPACES BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTERS) AND UNVENTED ENCLOSED RAFTER ASSEMBLIES (SPACES BETWEEN CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBER/RAFTERS AND THE STRUCTURAL ROOF SHT'G. AT THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS) SHALL BE PERMITTED IF ALL OF THE FOLLOWING CONDITIONS ARE MET:

1. THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE.

2. NO INTERIOR CLASS I VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED RAFTER ASEEMBLY.

3. WHERE WOOD SHINGLES OF SHAKES ARE USED, A MIN. 1/4" VENTED AIR SPACE SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHT'G.

4. IN CALIFORNIA CLIMATE ZONES 14 & 16, ANY AIR-IMPERMEABLE INSULATION SHALL BE A CLASS II VAPOR RETARDER, OR SHALL HAVE A CLASS III VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT W/. THE UNDERSIDE OF THE INSULATION (SEE TITLE 24, PART 6, FIG. 100.1-A)

5. EITHER ITEMS 5.1, 5.2 OR 5.3 SHALL BE MET, DEPENDING ON THE AIR PERMEABILITY OF THE INSULATION DIRECTLY UNDER THE STRUCTURAL ROOF SHT'G. (NO INSULATION SHALL BE REQ'D. WHEN ROOF TILES, WOOD SHINGLES OR WOOD SHAKES, OR ANY OTHER ROOFING SYSTEM USING BATTENS AND NO CONT, UNDERLAYMENT IS INSTALLED, A CONT, LAYER SHALL BE CONSIDERED TO EXIST IF SHT'G., ROOFING PAPER OR ANY CONT. LAYER WHICH HAS A PERM RATE OF NO MORE THAN ONE PERM UNDER THE DRY CUP METHOD.);

5.1. AIR-IMPERMEABLE INSULATION ONLY. INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/. THE UNDERSIDE OF THE STRUCTURAL ROOF SHT'G.

5.2. AIR-PERMEABLE INSULATION ONLY. IN ADDITION TO THE AIR-PERMEABLE INSULATION INSTALLED DIRECTLY BELOW THE STRUCTURAL SHT'G., RIDGE BOARD OR SHEET INSULATION W/. AN R-VALUE OR R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHT'G. FOR CONDENSATION CONTROL.

5.3. AIR-IMPERMEABLE AND AIR-PERMEABLE INSULATION. THE AIR-IMPERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/. THE UNDERSIDE OF THE STRUCTURAL ROOF SHT'G. FOR CONDENSATION CONTROL. THE AIR-PERMEABLE INSULATION SHALL BE INSTALLED DIRECTLY UNDER TH AIR-PERMEABLE INSULATION.

5.4. WHERE PREFORMED INSULATION BOARD IS USED AS THE AIROIMPERMEABLE INSULATION LAYER, IT SHALL BE SEALED AT THE PERIMETER OF EACH INDIVIDUAL SHEET INTERIOR SURFACE TO FORM A CONT. LAYER.

ROOF PLAN NOTES

1. THE INSTALLATION OF ROOF COVERING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

2. ALL DIMS. ARE TO FACE OF STUD (F.O.S.) OR FACE OF SHT'G. (F.O.S.) TYP. U.N.O. EAVE DIMS. ARE FROM FACE OF SHT'G. TO FACE OF FINISH FASCIA

BAY AREA

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PROJECT CONTACT

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PHONE: 408-621-0114

ADDRESS: 2021 THE ALAMEDA

CA 95126

EMAIL



Step 1: DETERMINE SQUARE FEET OF CODE-REQUIRED VENTILATION Square Feet: 1100 ÷ Compliance Method: 300 =

= Total Square Feet of Code Required Ventilation

- Step 2: CONVERT SQ. FT. OF CODE-REQUIRED VENTILATION TO SQ. IN.
 - x 144 = **528** Total Square inches of Code-Required Ventilation
- Step 3: DETERMINE QUANTITY OF O'HAGIN VENTS REQUIRED





STORAGE - FRONT ELEVATION 3/16" = 1'-0"

1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10' O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES,

2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OF

4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.

5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.

11. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR.

DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/4 INCHES

14. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUN OF 8 INCHES WITHIN THE FIRST 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC R401.3)









<u>NOTES</u>

1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10' O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPA CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES, CRC R302.11.

2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE NATURALLY DURABLE TO DECAY, CRC R317.2(2).

3. ALL WALLS TO BE SMOOTH FINISH U.N.O.

4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.

5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.

6. MIN. 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL

7. CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER)

8. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.

9. DESIGN BUILT CABINET TO FIT

10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE WOOD MOLDING.

11. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL B MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR.

12. EXTERIOR CONCRETE LANDING TO COMPLY 2019 CRC R311.3 A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING S DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZ PERCENT).

B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/4 BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.

13. FIRE PLACE TO COMPLY ICBO #3507 FMI

14. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUN OF 8 INCHES WITHIN THE FIRST 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (C





<u>STORAGE PROPOSED SECTION DD</u> 1/4" = 1'-0"

		SECTION KEYNOTES
	(N) 2x RIDGE BOARD PER STRUCT.	(N) 2x STUD WALL PER STRUCT. L DEPTH OF EAVE TO MATCH MAIN DWELLING, TYP.
S,	(N) 2x ROOF RAFTER PER STRUCT.	(N) ATTIC INSULATION PER T-24 (N) ROOF R.R. INSULATION PER T-24
'ED OR	(N) 2x CEILING JOISTS PER STRUCT.	(N) WALL INSULATION PER T-24
	(N) CONCRETE SLAB PER STRUCT.	J WEEP SCREED FOR STUCCO, 2" ABOVE PAVED AREAS
	(N) FOOTING PER STRUCT.	GUTTER / DOWNSPOUT. SPLASH BLOCK ON GRADE
THE	<u>STUCCO NOTES</u>	
. THE . HAVE A	STUCCO NOTES 1. FOR EXTERIOR STUCCO, A WEEP SCREED AT 2" CONFORM TO THE FOLLOWING: 26 GA. MIN. COR ATTACHMENT FLANGE. 6" MIN. ABOVE GRADE OF	" MIN. BELLOW THE FOUNDATION PLATE LINE , SCREED SHALL RROSION RESISTAN MATERIAL. 3 1/2" MIN VERTICAL R 2" ABOVE PAVED AREA.
. THE . HAVE A AL (2 ES	STUCCO NOTES 1. FOR EXTERIOR STUCCO, A WEEP SCREED AT 2" CONFORM TO THE FOLLOWING: 26 GA. MIN. COR ATTACHMENT FLANGE. 6" MIN. ABOVE GRADE OF 2. STUCCO LATH & DRYWALL SHALL BE NAILED TO	2" MIN. BELLOW THE FOUNDATION PLATE LINE , SCREED SHALL RROSION RESISTAN MATERIAL. 3 1/2" MIN VERTICAL R 2" ABOVE PAVED AREA. D ALL STUD & TOP, BOTTOM PLATES.
. THE L HAVE A TAL (2 ES	STUCCO NOTES 1. FOR EXTERIOR STUCCO, A WEEP SCREED AT 2" CONFORM TO THE FOLLOWING: 26 GA. MIN. COR ATTACHMENT FLANGE. 6" MIN. ABOVE GRADE OF 2. STUCCO LATH & DRYWALL SHALL BE NAILED TO 3. USE 2 LAYER OR GRADE "D" BUILDING PAPERS E EXTERIOR STUCCO.	" MIN. BELLOW THE FOUNDATION PLATE LINE , SCREED SHALL RROSION RESISTAN MATERIAL. 3 1/2" MIN VERTICAL R 2" ABOVE PAVED AREA. O ALL STUD & TOP, BOTTOM PLATES. BACKING WHEN STUCCO IS APPLIED OVER PLYWOOD FOR







<u>MDU PROPOSED SECTION BB</u> 1/4" = 1'-0"

A1.04

	DOOR SCH	EDULE			
MARK	DESCRIPTION	DOOR SIZE	Mark	HEAD HEIGHT	COUNT
D1	Door-Garage-Flush_Panel	16' - 0" x 7' - 0"	NEW	7' - 0"	1
D2	Exterior Door, Entrance, Wood Frame/Panel, See Elev.	4' - 9" x 6' - 8"	NEW	6' - 8"	1
D3	Interior Door, Wood Frame/Panel, See Elev.	2' - 6" x 6' - 8"	NEW	6' - 8"	5
D4	Interior Door, Wood Frame/Panel, Bathroom/Toilet Door	2' - 4" x 6' - 8"	NEW	6' - 8"	4
D5	Exterior door, 3-Panel Bi-fold door, Wood Frame/Glass Panel, See Elev.	8' - 6" x 6' - 8"	NEW	6' - 8"	1
D6	Interior 2 Panels Wood Louver Door	4' - 0" x 6' - 8"	NEW	6' - 8"	1
D7	Interior 1 Panels Wood Louver Door	2' - 4" x 6' - 8"	NEW	6' - 8"	1
D8	Closet door, 2-Panel sliding door, Wood Frame/Panel, See Elev.	6' - 0" x 6' - 8"	NEW	6' - 8"	2
D9	Closet door, 2-Panel sliding door, Wood Frame/Panel, See Elev.	8' - 0" x 6' - 8"	NEW	6' - 8"	1
D10	Interior Door, Alumium Frame, GlassPanel, Bathroom/Toilet Door	2' - 4" x 6' - 8"	NEW	6' - 8"	3
D11	Exterior Door, Entrance, Wood Frame/Panel, See Elev.	6' - 0" x 6' - 8"	NEW	6' - 8"	2
d total: 22					

	WIND	OW SCHEDULE			
MARK	DESCRIPTION	WIDTHxHEIGHT	SILL HEIGHT	HEAD HEIGHT	COUNT
А	Double casement window, Aluminium Frame/Glass Panel, See Elev.	6' - 0" x 3' - 8"	3' - 0"	6' - 8"	5
В	Double casement window, Aluminium Frame/Glass Panel, See Elev.	4' - 0" x 2' - 6"	3' - 0"	5' - 6"	1
С	Single Hung window, Aluminium Frame/Glass Panel, See Elev.	3' - 0" x 3' - 8"	3' - 0"	6' - 8"	8
D	Awning window, Aluminium Frame/Glass Panel, See Elev.	3' - 0" x 2' - 6"	4' - 2"	6' - 8"	3
E	Double casement window, Aluminium Frame/Glass Panel, See Elev.	4' - 0" x 3' - 8"	3' - 0"	6' - 8"	2
Grand total: 19					



WINDOW HEAD/SILL DETAIL (TYP.) 3" = 1'-0"

3" = 1'-0"







COUNTY OF SANTA CLARA **General Construction Specifications**

GENERAL CONDITIONS

- 1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY AND DATED THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2)
- THE COUNTY OF SANTA CLARA STANDARD DETAILS. 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS
- AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER
- THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED
- 7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR. 8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
- 9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (4008) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18).
- 10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION. 11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY 9.
- CONSTRUCTION STAKING

ENGINEER PRIOR TO CONSTRUCTION.

- 1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, 13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO
- ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK. 4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND
- SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND
- PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

- 1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS: A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED
 - ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS
- 2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

- 1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- 2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- 4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION **REQUIREMENTS WILL NOT BE THEREBY WAIVED.**
- 6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. 3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
- 4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
- THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL

CUT	40	C.Y.
FILL	277	C.Y.
IMPORT	237	C.Y.
EXPORT	0	C.Y.

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD. 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE
- SITE THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%
- 10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION. 11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY
- GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY. 12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED ARFA
- CLARA COUNTY GRADING OFFICIAL
- 14. TOTAL DISTURBED AREA FOR THE PROJECT 15,370 SF 15. WDID NO.
- 16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

EARTH WORK QUANTITY:

- FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
- 1.1. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL
- BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION. FENCING SHALL BE REPAIRED. AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM 1.3.
- CONSTRUCTION ACTIVITIES. 1.4. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT http://www.sccplanning.gov." SHALL BE PLACED
- ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
- SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

- 1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A 3. MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
- 2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST 4. BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY
- COMBUSTIBLE FRAMING. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR
- ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM. 5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

GRADING AND DRAINAGE PLAN

MONTEREY, SAN MARTIN, CA 95020 APN 779-15-037

AIR QUALITY, LANDSCAPING AND EROSION CONTROL WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.

- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS. PARKING AREAS AND STAGING AREAS
- AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT
- PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR
- ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
 - A. 15 MILES PER HOUR (MPH) SPEED LIMIT B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
- TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAIN HOTLINE OF 1-800-334-6367. 10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF
- WITHSTANDING WEATHERING. 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH
- 12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SD8. 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- 14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE
- 15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE. 16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR
- REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR. . THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALI AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE LIMITED
- TO THE FOLLOWING; A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS. B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC
- ROAD RIGHT-OF-WAY C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY
- CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY. 19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE AND SITUATIONAL APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004/ ORDER NO. 2013-0001-DWO.
- DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE
- UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

DATE

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (____ WERE) (____ WERE NOT) MINOR FIELD CHANGES MARKED WITH THE SYMBOL (^). THERE (WERE) (WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL

SIGNATURE

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

- 1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.
- 2. ALTHOUGH THE SOUTHERN PORTION OF THE PARCEL IS WITHIN A COUNTY LIQUEFACTION HAZARD ZONE, THE PROPOSED HOUSE WILL NOT BE LOCATED WITHIN THE ZONE. THEREFORE, NO GEOLOGY REQUIREMENTS ARE NEEDED.

SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY
- MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF
- RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
- 3. THE LANDOWNER. CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.













PROPOSED OVERLAND RELEA
EXISTING OVERLAND RELEAS
9" CATCH BASIN
PROPOSED WHARF HYDRAN
SURFACE SLOPE
STORM DRAIN SLOPE
EXISTING SURFACE
PROPOSED PAD ELEVATION PROPOSED FINISHED SURFAC PROPOSED FINISHED GROUN PROPOSED FINISHED FLOOR INVERT OF PIPE TOP OF GRATE HIGH POINT FLOW LINE PROPERTY LINE EXISTING

SECTION B-B 1" = 10'

WM-1	MATERIAL DELIVERY AND STORAGE	MATERIALS SHALL BE STORED ON-SITE IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND. MATERIAL INVENTORY SHALL CONSIST OF SUPPLY REQUIRED FOR A FEW DAYS.
WM-2	MATERIAL USE	MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTION.
WM-3	STOCKPILE MANAGEMENT	MATERIALS STOCKPILES SHALL BE SURROUNDED BY A TEMPORARY SEDIMENT BARRIER AND COVERED TO MAINTAIN DUST CONTROL.
WM-4	SPILL PREVENTION AND CONTROL	AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEE SHALL BE EDUCATED ON THE CLASSIFICATION OF SPILLS AND APPROPRIATE RESPONSES.
WM-5	SOLID WASTE MANAGEMENT	SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8	CONCRETE WASTE MANAGEMENT	AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENT OF THE CITY.
WM-9	SANITARY / SEPTIC WASTE MANAGEMENT	ON-SITE FACILITY SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.

X	\sum_{n}	

AREA (ft ²)	CUT (ft ³)	FILL (ft ³)	IMPORT (ft ³)	EXPORT (ft ³)	VERTICAL DEI (ft)
A1	0	0	0	0	0
A2	0	3.68	3.68	0	1.44
A3	0	18.35	18.35	0	2.14
A4	2.28	109	109	0	1.3
A5	0	27.45	31.28	0	1.62
A6	9.28	0.99	0	10.25	0.25
A7	23.67	117.63	107.44	0	0.53
Total	35.23	277.10	241.87	10.25	

DESIGN CRITERIA

PROJECT DESIGN CRITERIA					
BUILDING CODE				2 CBC	
OC	CUPANCY CATE	GORY	11		
	GEOTECHNICA	_ PARAN	IETERS		
GEOT	ECHNICAL ENG	INIEER	TYLE	R BROWN, C.E	
	REPORT NU	MBER	5885)	
		DATE	09/2	8/202	
ALLOWABLE SOIL	BEARING PRES	SSURE	2100) PSF	
COEF	FICIENT OF FRI	CTION	-		
	SEISMIC DESIG	N PARAN	METERS		
SEISMIC	C DESIGN CATE	GORY	D		
SEISMIC IMPO	ORTANCE FACT	OR, I _e	1.0		
	SITE (CLASS	D		
SHORT PERIOD SPECTRA	L ACCELERATIC	DN, 5 ₅	1.5		
I ST PERIOD SPECTRA	L ACCELERATIO	DN, S _I	0.6		
SHORT PERIOD ACCELERAT	ION PARAMETE	R, S _{DS}	1.0		
I SECOND ACCELERAT	ION PARAMETE	R, S _{DI}	0.68		
RESPONSE MODI	FICATION FACT	OR, R	6.5		
SEISMIC RESPONS	GE COEFFIECIEI	NT, C _S	0.15	4	
REDI	JNDANCY FACT	TOR, p	1.0 (N	/AIN HOUSE)-	I.3 (STORAGE
LATERAL FORCI	E RESISTING S'	YSTEM	PLYWOOD SHEAR WALL		
1A	NALYSIS PROCE	EDURE	EQUIVALENT LATERAL FORCE PROCEDURE		
DES	BIGN BASE SHE	EAR, V	0.108W		
	WIND DESIGN	PARAMI	ETERS		
BASIC [DESIGN WIND S	SPEED	92		
	EXPO	SURE	С		
WIND IMPC	ORTANCE FACT	OR, I _w	1.0		
AN	ALYSIS PROCE	DURE	ENCLOSED SYSTEM/ANALYTICAL ALL HEIGHT DESIGN METHODOLOGY		
VERTICAL (LIV	. (GRAVITY) DES E LOADS ARE R	IGN PAR	RAMETE	RS: (PSF) .0.)	
	Dead	Roof	live	Snow	Live
Roof	20	2	0	-	
Floor	20				40
Deck	20				60
EO					

GENERAL NOTES

- THE CONTRACTOR SHALL CONFORM TO ALL STATE AND LOCAL LAWS GOVERNING THE WORK AND OBTAIN ALL NECESSARY LICENSES AND PERMITS.
- ALL DIMENSIONS ON STRUCTURAL DRAWINGS SHALL BE CHECKED AGAINST ARCHITECTURAL DIMENSIONS. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE OMITTED OR NOT CLEAR, CONTACT THE ARCHITECT OR STRUCTURAL ENGINEER OF RECORD FOR CLARIFICATIONS.
- THE CONTRACTOR SHALL COMPARE THE STRUCTURAL DRAWINGS WITH ARCHITECTURAL PLUMPING, MECHANICAL, CIVIL AND ELECTRICAL DRAWINGS AS TO ALL LAYOUTS, DIMENSIONS AND ELEVATIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR PROPER ADJUSTMENT BEFORE PROCEEDING WITH THE WORK
- SUBSTITUTION REQUESTS FOR MATERIALS SPECIFIED ON THE STRUCTURAL DRAWINGS MAY BE CONSIDERED WITH MATERIALS HAVING EQUIVALENT OR GREATER CAPACITY AND PERFORMANCE. CURRENT EVALUATION REPORTS AND PRODUCT INFORMATION SHALL BE PROVIDED TO THE STRUCTURAL ENGINEER DEMONSTRATING THE REQUIRED CAPACITY AND PERFORMANCE OF THE MATERIAL TO BE SUBSTITUTED. WRITTEN APPROVAL FROM THE E.O.R SHALL BE OBTAINED PRIOR TO THE SUBSTITUTION OF ANY MATERIAL SPECIFIED ON THE STRUCTURAL CONSTRUCTION DOCUMENTS.
- ANY DEVIATION, MODIFICATION & SUBSTITUTION FROM THE APPROVED SET OF STRUCTURAL DRAWINGS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW/APPROVAL PRIOR TO ITS USE OR INCLUSION ON THE SHOP DRAWINGS & PRIOR TO PROCEEDING WITH THE WORK.
- EXISTING CONDITIONS AS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT CONDITIONS THAT CONFLICT WITH THE CONTRACT DOCUMENTS TO THE OWNER'S REPRESENTATIVE. DO NOT DEVIATE FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN DIRECTION FROM THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON THE STRUCTURE. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE STRUCTURE AT THE TIME THE LOADS ARE IMPOSED.
- SPECIFICATIONS RELATED TO WATERPROOFING. INCLUDING BUT NOT LIMITED TO MEMBRANES, WATERSTOPS, SEALANTS, FLASHING, VAPOR BARRIER, ARE AS SPECIFIED BY ARCHITECT/WATER PROOFING CONSULTANT.
- FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL DETAILS REFERENCED, AND DETAILS NOT REFERENCED ON PLANS, SHALL BE CONSIDERED TYPICAL AND APPLY TO ALL SIMILAR CONDITIONS OF THE CONSTRUCTION.
- O. UNLESS SHOWN OTHERWISE, DETAILS SHOWN ON "TYPICAL DETAIL" SHEETS SHALL BE USED WHEREVER APPLICABLE. SPECIFIC DETAILS ON THE STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER "TYPICAL DETAILS". SPECIFIC NOTES ON STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER NOTES SHOWN IN "GENERAL NOTES".
- . THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE SHOWN THEY DO NOT INDICATE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE CONSTRUCTION AND ALL ADJACENT PROPERTIES DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO BRACING, SHORING OF LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR E.O.R SHALL NOT INCLUDE OBSERVATION OF THE ABOVE ITEMS.

TYPICAL ABBREVIATIONS

ANCHOR BOLT	GLB.
ABOVE	GR.BM.
REINF. BAR	GWB.
BOARD	HI.
BLOCKING	HDR.
BELOW	HFX
BEAM	HORIZ.
BOUNDARY NAIL	K.P.
BOTTOM OF BEAM	LT.WT.
BOTH WAYS	L.V.L.
CANTILEVER	MAS.
CEILING JOIST	M.B.
COLUMN	(N)
CONCRETE	N.G.
CONTINUOUS	O/C
DOUBLE	P.J.
DOUGLAS FIR	PSL.
DIAMETER	PLWD.
EXISTING	Ρ.Τ.
EACH WAY	REINF.
EXPANSION JOINT	req'd
EDGE NAIL	RR.
EQUAL	T.O.B
FINISH GRADE	UNO.
FLOOR JOIST	V.I.F.
FLUSH	
FIELD NAIL	
FACE OF CONCRETE	
FACE OF MASONRY	
FACE OF STUDS	
GAUGE	
GALVANIZED	
	ANCHOR BOLT ABOVE REINF. BAR BOARD BLOCKING BELOW BEAM BOUNDARY NAIL BOTTOM OF BEAM BOTH WAYS CANTILEVER CEILING JOIST COLUMN CONCRETE CONTINUOUS DOUBLE DOUGLAS FIR DIAMETER EXISTING EACH WAY EXPANSION JOINT EDGE NAIL EQUAL FINISH GRADE FLOOR JOIST FLUSH FIELD NAIL FACE OF CONCRETE FACE OF MASONRY FACE OF STUDS GAUGE GALVANIZED

GRADE BEAM GYPSUM WALLBOARD HIGH HEADER HARDY FRAME HORIZONTAL KING POST LIGHT WEIGHT LAMINATED VENEER LUMBER MASONRY MACHINE BOLT NFW NATURAL GRADE ON CENTER POUR JOINT PARALLAM BEAM Plywood PRESSURE TREATED REINFORCING required ROOF RAFTER TOP OF BEAM UNLESS NOTED OTHERWISE

VERIFY IN FIELD

GLUE-LAMINATED BEAM

FOUNDATION

- SAWN LUMBER I. THE GEOTECHNICAL INVESTIGATION REPORT AND ITS RECOMMENDATIONS SHALL BE 10. PROVIDE DOUBLE JOISTS BENEATH ALL PARALLEL WALLS AND SOLID BLOCKING BENEATH ALL STRUCTURAL WOOD SHALL BE OF DOUGLAS FIR LARCH SPECIES, (19% MAXIMUM FOLLOWED AND SHALL BE CONSIDERED MINIMUM REQUIREMENTS UNLESS MORE ALL WALLS PERPENDICULAR TO JOISTS. MOISTURE CONTENT AT THE TIME OF CONSTRUCTION U.N.O.). STRINGENT REQUIREMENTS ARE PRESENTED IN THE SPECIFICATIONS OR ON THE DRAWINGS SPACING. FRAMING MEMBER SPECIFICATION
- 2. FOOTINGS SHALL BEAR ON NATIVE SOIL OR ENGINEERED FILL AS DIRECTED BY THE GEOTECHNICAL REPORT.
- 3. REMOVE LOOSE SOIL AND STANDING WATER FROM FOUNDATION EXCAVATIONS PRIOR. TO PLACING CONCRETE.
- 4. SEE ARCHITECTURAL PLANS FOR LOCATIONS OF SLAB SLOPES, DEPRESSIONS, CURBS. DRAINS, NON-STRUCTURAL PARTITIONS AND OTHER EMBEDDED ITEMS NOT SHOWN ON THE STRUCTURAL PLANS. 5. ALL EXCAVATIONS SHALL BE PROPERLY BACKFILLED WITH NON-EXPANSIVE SOIL BUT NOT
- BEHIND RETAINING WALLS BEFORE CONCRETE OR MASONRY ATTAINS ITS FULL DESIGN
- 6. THE CONTRACTOR SHALL CONFORM TO ALL RECOMMENDATIONS AND CONDITIONS INDICATED IN THE GEOTECHNICAL REPORT. THE GEOTECHNICAL ENGINEER SHALL OBSERVE ALL FOOTING EXCAVATIONS PRIOR TO PLACING CONCRETE OR STEEL
- 7. PRIOR TO THE CONTRACTOR REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION, THE GEOTECHNICAL ENGINEER SHALL ADVISE THE BUILDING OFFICIAL IN WRITING THAT: a. THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE REPORT.
- b. THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED AND COMPACTED
- c. THE FOUNDATION EXCAVATIONS COMPLY WITH THE INTENT OF THE REPORT 8. WAITING PERIOD FOR CONCRETE SLABS-ON-GRADE PRIOR TO START OF CONSTRUCTION IS AS FOLLOWS: a. DO NOT WALK ON SLAB UNTIL 24 HOURS AFTER CONCRETE HAS BEEN POURED. b. BEGIN WALL FRAMING 4-5 DAYS AFTER CONCRETE POURED. c. BEGIN ROOF/FLOOR FRAMING 7-10 DAYS AFTER CONCRETE POURED
- d. DO NOT LOAD ROOF PRIOR TO 14 DAYS AFTER CONCRETE POURED. 9. WHERE NEW CONCRETE IS PLACED AGAINST EXISTING CONCRETE, THE EXISTING CONCRETE SHALL BE ROUGHENED TO A MINIMUM 1/4" AMPLITUDE.
- 10. ALUMINUM CONDUIT, ALUMINUM SLEEVES AND ALUMINUM EMBEDS ARE NOT PERMITTED IN CONCRETE.
- II. ALL CONDUITS SHALL BE PLACED WITHIN THE MIDDLE ONE-THIRD OF THE SLAB THICKNESS. THE MAXIMUM SIZE OF CONDUITS SHALL BE 1 1/4" DIAMETER AND SHALL BE SPACED NO CLOSER (TO EACH OTHER OR REINFORCING STEEL) THAN 4 INCHES UNLESS PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.
- 12. ALL HOLDOWNS AND POST ANCHORS SHALL BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.
- 13. ALL GRADE BEAMS SHALL BE POURED MONOLITHICALLY FOR THEIR ENTIRE LENGTH.

CONCRETE

- I. CONCRETE SHALL BE SUPPLIED AND PLACED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318 AND ACI 301 EXCEPT AS MODIFIED BY THE CONSTRUCTION DOCUMENTS.
- 2. PORLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE V, U.N.O. 3. AGGREGATE FOR STONE CONCRETE SHALL CONFORM TO ASTM C-33. FOR LOW SHRINKAGE AGGREGATE, USE LIMESTONE OR GRANITE. AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C-330.
- 4. DO NOT USE ANY CONCRETE OR GROUT CONTAINING CHLORIDES. WATER USED IN MIXING CONCRETE SHALL CONFORM WITH ASTM CI 602.
- 5. CONCRETE MIX DESIGNS CONTAINING FLY ASH MAY BE USED WHERE CONCRETE IS NOT VISUALLY EXPOSED. FLY ASH SHALL CONFORM WITH ASTM CG18 AND MAY REPLACE UP TO 20% PORTLAND CEMENT BY VOLUME.
- 6. CONCRETE STRENGTH TEST REPORTS SHALL BE IN COMPLIANCE WITH ACI 318 AND SHALL BE SUBMITTED TO E.O.R. FOR REVIEW.
- 7. ALL REINFORCING BARS, ANCHOR BOLTS AND ALL OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
- 8. THE CONCRETE COMPRESSIVE STRENGTH (28 DAYS), f'c: a. ALL LOCATIONS, U.N.O: MIN 2500 PSI, (W/C = 0.45) SPECIAL INSPECTION IS REQUIRED WHEN $f_c > 2500$ PSI.
- b. CONCRETE IN CONTACT WITH SOIL CONTAINING SULFATE $S_{0_4} \ge 0.1\%$ BY WEIGHT: 4500 PSI, SPECIAL INSPECTION IS NOT REQUIRED. CONCRETE IN CONTACT WITH SOIL CONTAINING SULFATE So > 0.2% BY
- WEIGHT: 4500 PSI, SPECIAL INSPECTION IS NOT REQUIRED. 3. USE RING OR SCREW SHANK NAILS AND GLUE SHEATHING TO FRAMING USING 9. TIME BETWEEN CONCRETE BATCHING AND PLACEMENT SHALL BE IN ACCORDANCE WITH ADHESIVES MEETING APA SPECIFICATION AFG-01 OR ASTM D3498.
- ASTM C94 4. HOT DIP GALVANIZED FASTENERS SUCH AS (BUT NOT LIMITED TO) NAILS, SCREWS, I.O. CONCRETE PLACEMENT/CURING/REDUCTION IN STRENGTH SHALL CONFORM TO ACI 305R BOLTS, THREADED ROD, ETC., SHALL BE USED WHEN IN CONTACT WITH PRESERVATIVE AND 3065R REQUIREMENTS FOR HOT AND COLD WEATHER CONCRETING. OR FIRE RETARDANT TREATED LUMBER. EXCEPTION: PLAIN CARBON STEEL FASTENERS IN SBX/DOT AND ZINC BORATE PRESERVATIVE TREATED WOOD IN AN INTERIOR, DRY 1. CONCRETE SHALL BE CURED PER ACI 308R, UNLESS ALTERNATE METHODS OF CURING ENVIRONMENT SHALL BE PERMITTED. HAVE BEEN APPROVED BY THE ARCHITECT OR ENGINEER. FOR SLAB CURING,
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING COMPATIBILITY OF CURING COMPOUNDS WITH PROPOSED FINISHES PRIOR TO COMMENCING ANY WORK.
- 12. MAX. SLUMP SHALL BE 5 INCHES EXCEPT WHERE ADMIXTURES/PLACITIZERS HAVE BEEN ADDED IN THE MIX DESIGN TO IMPROVE FLOWABILITY/WORKABILITY. THE SLUMP LIMIT SHALL BE BASED ON ADMIXTURE MANUFACTURER'S RECOMMENDATIONS.

REINFORCING STEEL

- REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH ACI 315 AND ACI 318. AND CRSI'S MANUAL OF STANDARD PRACTICE.
- 2. REINFORCING STEEL SHALL CONFORM TO ASTM AG I 50R ASTM 7 I G(WELDABLE STEEL) AND SHALL BE GRADE GO DEFORMED BARS, TYP., U.N.O. REINFORCING IN SLAB ON GRADE MAYBE GRADE 40 STEEL FOR BARS #4 AND SMALLER U.N.O ON THE PLANS. 3. WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A 185. LAPS IN WWF SHALL BE
- SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRE OF EACH FABRICH SEET IS NOT LESS THAN THE SPACING OF CROSS WIRES PLUS 2 INCHES.
- 4. ALL DIMENSIONS SHOWING THE LOCATION OF REINFORCING BARS/STEEL ARE TO THE CENTER OF STEEL U.N.O. ON THE PLANS OR DETAILS:

	CONDITION	COVER
•	CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
•	EXPOSED TO EARTH OR WEATHER (INCLUDING SLABS ON GRADE)	
	#6 AND LARGER	2"
	#5 AND SMALLER NOT EXPOSED TO WEATHER OR	/2
	IN CONTACT WITH SOIL:	
	 #11 BARS AND SMALLER 	3/4"
	#14 BARS AND LARGER	1 1/2
	2. DEAMS, COLULMINS	/2

- 5. LAP SPLICES OF BARS SHALL CONFORM TO THE TYPICAL THE LAP SCHEDULE ON THE PLANS, U.N.O. NO TACK WELDING OF BARS ALLOWED.
- G. MECHANICAL SPLICE COUPLERS MAY BE USED AND SHALL HAVE CURRENT ICC APPROVAL 5. FOR WALLS I O'-O" AND GREATER PROVIDE BLOCKING AT MID-HEIGHT FOR CONSTRUCTION ANDREENFORCENE BEREVEHALI'BE BERT COLD! 50 AND FIELD SERENGEHUNBEND ANY BARS STABILITY. 7. IN A MANNER THAT MAY DAMAGE REINFORCING.
- 8. REINFORCING SPACING SHOWN ON THE PLANS ARE THE MAXIMUM SPACING "ON CENTER SPACING". DO NOT EXCEED THIS. ANY DISCREPANCIES DURING CONSTRUCTION SHALL BE FORWARRENIFORTHAGHERBARCREREBLAB AND MEPRODECK SHALL BE 6x6-WI.4xWI.4 9. WELDED WIRE FABRIC, U.N.O. PLACE WWF MID-DEPTH OF THE SLAB OVER THE TOP OF THE 8. WOOD COLUMNS SHALL HAVE SOLID VERTICAL BLOCKING THROUGH THE FLOORS TO THE
- FLUTE OF THE METAL DECK. I.O. ALL DOWELS TO BE SET IN CONCRETE SHALL BE TIED IN PLACE PRIOR TO PLACEMENT OF
- CONCRETE. NO WET SETTING, STABBING, RODDING OR OTHER MOVEMENT OF EMBEDDED ITEMS SHALL BE PERFORMED DURING THE PLACEMENT OF CONCRETE. II. DOWELS BETWEEN FOOTING AND WALLS OR COLUMNS SHALL BE THE SAME GRADE, SIZE AND SPACING AS THE MAIN REINFORCING, UNO.
- 12. CHAIRS OR SPACERS FOR REINFORCING SHALL BE NON-FERROUS OR PLASTIC COATED WHEN RESTING ON EXPOSED SURFACES.

WOOD

- 2x FRAMING: #2 DF BEAMS/ POST/ RAFTERS 4x FRAMING: #2 DF Gx FRAMING: #1 DF ¢ ALL OTHER STRUCTURAL FRAMING 8x FRAMING: #1 DF DFL STUD GRADE (UP TO 9'-0") STUDS DFL #2 (TALLER THAN 9'-0") TOP PLATES ≰ MUD SILLS DFL CONSTRUCTION GRADE OR BETTER
- 2. STRUCTURAL COMPOSITE LUMBER
- THE FOLLOWING BEAMS/HEADERS/RIMS CAN BE FROM ANY MANUFACTURER WITH CURRENT APPROVED ICC-ES EVALUATION REPORT WITH THE FOLLOWING MECHANICAL PROPERTIES

FRAMING MEMBER	SIZE (WIDTH)	F _b (MIN)	F _{c perp} (MIN)	F c parallel (MIN)	F _v (MIN)	F _t (MIN)	E (MIN)	TYPE MATERIAL
BEAM/ HEADERS	3 1/2" \$ WIDER	3 00 PSI	750 PSI	3000 PSI	285 PSI	2 50 PSI	2.0EG PSI	LVL
	3/4" ¢ 2 5/8" WIDE	2800 PSI	750 PSI	3000 PSI	285 PSI	2 50 PSI	2.0EG PSI	LVL
RIM BOARD	1 1/4" THICK (MIN)	1750 PSI	525 PSI	2500 PSI	225 PSI	1 1 00 PSI	1 .3E6 PSI	LVL

3 GIUED LAMINATED LUMBER

5. GLL	JED LAMINATEL	LUIVIDER	-	-	-	-	
	SPEC	F _b @ BOT	Fb @ TOP	F _v (MIN)	E (MIN)	CAMBER	CONDITION
	24F-V4	2400 PSI	1850 PSI	265 PSI	1 .8EG PSI	I 600' RADIUS, UNO	SINGLE SPAN
	24F-V8	2400 PSI	2400 PSI	265 PSI	1.8EG PSI	I 600' RADIUS, UNO	ALL OTHERS

4. TYPICAL UNBLOCKED DIAPHRAGM, UNO ON PLANS

	SHEATHING	NAILING
	APA RATED SHEATHING 15/32	8d's @ 6" B.N.
ROOF	PERFORMANCE CATEGORY 32/16	8d's @ 6" E.N.
	EXPOSURE I	8d's @ 12" F.N.
	APA RATED STURD FLOOR 9/32	10d's @ 6" B.N.
FLOOR	PERFORMANCE CATEGORY 20" OC	10d's @ 6" E.N.
	EXPOSURE I	10d's @ 12" F.N.

ALL SHEATHING SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, SHALL BE C-D OR C-C SHEATHING CONFORMING TO CBC 2303.1.5.

NAILING & HARDWARE

NAIL SPACING TO BE NOT LESS THAN REQUIRED PENETRATION. EDGE AND END DISTANCES SHALL BE NOT LESS THAN HALF THIS SPACING. ALL SPACING AND EDGE AND END DISTANCES SHALL BE SUCH AS TO AVOID SPLITTING OF THE WOOD. HOLES FOR NAILS, WHERE NECESSARY TO PREVENT SPLITTING, SHALL BE BORED OF A DIAMETER SMALLER THAN THAT OF THE NAILS. ALL NAILS SHALL BE SINKER NAILS AND STAGGERED U.N.O., EXCEPT AS SHOWN IN NAILING SCHEDULE.

NAIL SIZE	SHANK DIAMETER	LENGTH
8d COMMON	0.131"	2 1/2"
I Od COMMON	0.148"	3"
I 6d COMMON	0.162"	3 1/2"

- 2. AS AN ALTERNATE TO I OD COMMON NAILS, THE FOLLOWING FASTNERS CAN BE USED: GRABBER PLYWOOD SCREWS (ICC-ER-5280), OR SIMPSON STRONG-TIE QUICK DRIVE SCREWS (ICC-ER-1472)
- 5. ALL METAL FRAMING CONNECTORS SHALL BE MANUFACTURED BY SIMPSON STRONG TIE COMPANY (CURRENT CATALOG), OR "USP" WITH EQUIVALENT ICC PUBLISHED VALUES AND SHALL BE INSTALLED PER SPECIFICATIONS, NO EXCEPTIONS.
- 6. USE 5/8" DIA, X MIN. 12" ANCHOR BOLTS W/ MIN. 7" EMBEDMENT INTO CONCRETE FOOTING AT 72" O.C. MAX. FOR SILL PLATE TO FOUNDATION UNLESS NOTED OTHERWISE ON SHEARWALL SCHEDULE. A BOLT BETWEEN 6" TO 12" FROM THE END OF EACH PIECE OF SILL (2 BOLTS MIN EACH PIECE). PIECE OF SILL SHALL BE CONSIDERED ENDED WHERE PLATE IS CUT OUT OVER ONE-THIRD OF CROSS SECTION.
- 7. FOR SHEAR WALL APPLICATIONS, ANCHOR BOLT SHALL BE INSTALLED WITH PLATE WASHERS OF MIN. 3" SQ. X 0.229" THICK BETWEEN SILL PLATE AND NUT. EDGE(S) OF PLATE WASHERS SHALL BE 1/2" MAX. FROM INSIDE FACE OF SHEAR PANEL.
- 8. FOR NON-SHEAR WALL APPLICATIONS, ANCHOR BOLT SHALL BE INSTALL WITH ROUND WASHERS AND SHOULD CONFORM WITH ANSI/ASME B 18.22.1. USE MIN. 1 3/8" Ø X 7/64" THICK WASHER FOR 1/2" Ø BOLT, 1 3/4" Ø X 9/64" THICK WASHER FOR 5/8" Ø BOLT AND 2 1/2" Ø X 1 1/64" THICK WASHER FOR 1" Ø BOLT. U.N.O.
- 9. STUD WALLS PERPENDICULAR TO A CONCRETE OR MASONRY WALL SHALL BE BOLTED TO THE CONCRETE OR MASONRY WALL WITH 5/8" DIAMETER X 8" A307 BOLTS AT TOP, MID-HEIGHT AND BOTTOM.
- 10. FOR INTERIOR NON-SHEAR WALLS USE SIMPSON 0.157"Ø SERIES PDPAWL SHOT PINS WITH A PENETRATION OF 3/4" INTO SLAB AT 16" O.C. TO BE INSTALLED IN ACCORDANCE WITH ICC ESR-2138.

WOOD FRAMING

- I. ALL NON-STRUCTURAL ELEMENTS SHALL BE CONSTRUCTED PER APPROVED CODE REQUIREMENTS. FRAMING PLAN IS ONLY SHOWING FOR THE MAIN STRUCTURAL ELEMENTS IN ACCORDANCE WITH BUILDING CODE OR REQUIREMENTS ARE SPECIFIED OR REQUIRED BY THE LOCAL JURISDICTION.
- 2. ALL EXTERIOR LUMBER AND ALL LUMBER IN CONTACT WITH CONRETE OR MASONRY, OR EXPOSED TO THE EXTERIOR SHALL BE TREATED LUMBER.
- 3. ALL WALLS SHALL HAVE SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE, UNO.
- 4. STUD BEARING WALLS AND PARTITIONS SHALL HAVE HAVE DOUBLE TOP PLATES LAPPED AT WALL AND PARTITION INTERSECTIONS. JOINTS IN UPPER AND LOWER MEMBERS OF DOUBLE TOP PLATES SHALL BE STAGGERED AT LEAST 4'-O".
- 6. ALL WALLS SHALL BE CONSTRUCTED USING 2x STUDS @ I G" O.C. REFER TO FRAMING PLANS FOR ACTUAL STUD SIZE AND SPACING.
- 7. SILL PLATE SHALL BE PRESSURE-TREATED AND UNDER SHEAR WALLS OF UP TO 4'-O" IN LENGTH MUST BE CONTINUOUS.
- SUPPORT BELOW.
- 9. I-JOISTS SHALL BE MANUFACTURED BY WEYERHAEUSER OR EQUIVALENT APPROVED ICC MANUFACTURED PRODUCT.

WOOD FRAMING, CONT

- THE DETAILS.
- 40% TO 70% OF THE SHANK DIAMETER.
- MEASURED INTO THE PIECE RECEIVING THE NAIL POINT.
- 24" O.C.:

II. ALL CEILING JOISTS ARE TO BE 2x JOISTS. REFER TO FRAMING FOR ACTUAL SIZE AND FLOOR 12. DO NOT CUT, BORE, COUNTERSINK OR NOTCH WOOD MEMBERS EXCEPT WHERE SHOWN IN 3-8d COMMON . JOIST TO SILL, TOP PLATE OR TOE NAIL IRDER 13. HOLES IN WOOD MEMBERS FOR BOLTS SHALL BE THE NOMIAL BOLT DIAMETER PLUS 1/16". 14. LAG SCREWS SHALL BE TURNED, NOT DRIVEN, INTO PRE DRILLED HOLES. HOLES IN 2. RIM JOIST, BAND JOIST OR 8d COMMON 6" o.c. TOE NAIL WOOD FOR LAG SCREW SHANK SHALL BE BORED TO THE SAME DIAMETER AND DEPTH AS BLOCKING TO SILL OR TOP PLATE THE SHANK, AND FOR THE THREADED PORTION BORED WITH A BIT NOT LARGER THAN 23. 1 "xG" SUBFLOOR OR LESS TO 3-8d COMMON FACE NAIL 15. WOOD SCREWS SHALL BE TURNED, NOT DRIVEN, INTO LEAD HOLES. SOAP OR OTHER EACH JOIST. LUBRICANTS SHALL BE PERMITTED AS NEEDED TO FACILITATE THE INSERTION AND PREVENT DAMAGE OF THE WOOD SCREW. LEAD SCREWS SHALL BE ABOUT 7/8 THE 4. 2" SUBFLOOR TO JOIST OR DIAMETER OF THE SCREW. THE MINIMUM PENETRATION OF WOOD SCREWS SHALL BE 10 FACE NAIL 2-16d COMMON TIMES THE SCREW DIAMETER OR 1.5", WHICHEVER IS GREATER. PENETRACTION IS IRDER 5. 2" PLANKS (PLANK & T EACH BEARING 2-16d COMMON I.G. WOOD NAILERS: UNO. ON PLANS AND DETAILS, WHERE WOOD MEMBERS ARE TO BE EAM-FLOOR & ROOF). ACE NAIL. CONNECTED TO STEEL ELEMENTS, OR WHERE WOOD NAILERS CONNECTED TO STEEL MEMBERS ARE NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS, AS A MINIMUM S. BAND OR RIM JOIST TO JOIST 3-16d COMMON END NAIL PROVIDE WOOD NAILERS AS SPECIFIED BELOW WITH 5/8"Ø WELDED THREADED STUDS @ 24" O.C. FACE NAIL AT TOP AND A. WOOD NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL: 2X BOTTOM . BUILT-UP GIRDERS AND BEAMS, IOd COMMON WOOD NAILERS, COUNTERSINKING OF THREADED STUDS BOLT IS ACCEPTABLE IF NEEDED STAGGERED ON 2-INCH LUMBER LAYERS. FOR FLUSH INSTALLATION OF FINISH MATERIAL. OPPSITE SIDES B. WOOD NAILERS NEEDED TO SUPPORT OTHER WOOD ELEMENTS: 2X OR 3X WOOD ACE NAIL AT NAILERS WITH OR WITHOUT COUNTERSINKING OF THREADED STUDS BOLT RESPECTIVELY. 3-10d COMMON ENDS AND AT EACH SPLICE. 17. STRUCTURAL GLUED-LAMINATED (GLULAM) TIMBER OF SOFTWOOD SPECIES SHALL BE IN CONFORMANCE WITH ANSI/AITC STANDARD A 190.1 AND ASTM D3737, OR OTHER CODE 28. LEDGER STRIP SUPPORTING 3-16d COMMON end nail APPROVED DESIGN, MANUFACTURING AND/OR QUALITY ASSURANCE PROCEDURES. ISTS OR RAFTERS MEMBERS SHALL BE MARKED WITH THE ENGINEERED WOOD SYSTEM APA EWS TRADEMARK INDICATING CONFORMANCE WITH THE MANUFACTURING, QUALITY EACH END, TOE 29. BRIDGING OR BLOCKING 2-8d COMMON ASSURANCE AND MARKING PROVISIONS OF ANSI/AITC STANDARD A 190.1. THE D JOIST.

- MANUFACTURER OR SELLER SHALL SUBMIT CERTIFICATES OF CONFORMANCE TO THE FIELD INSPECTOR PRIOR TO INSTALLATION
- 18. ALL WOOD CONSTRUCTION CONNECTORS SHOWN ON THE PLANS OR DETAILS SHALL BE SIMPSON STRONG-TIE OR EQUIVALENT, U.N.O. ALL CONNECTORS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS IN CONJUNCTION WITH APPROVED ICC REPORTS. NOTIFY EOR FOR ANY POTENTIAL SUBSTITUTION PRIOR TO COMMENCING WORK
- 19. SDS SCREWS SPECIFIED ON PLANS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE WITH ICC ESR-2236. ALTERNATES MAYBE USED ONLY WITH PRIOR APPROVAL BY EOR.

20. USE THIS SPAN TABLE FOR STUD SPACING (U.N.O. ON PLANS):

			Υ.					
		SIZ	E, HEIGH	IT AND SI	PACING C	DF WO		
2X4"S ARE ALLOWED TO SPAN MORE THAN 14'-0". BEARING WALLS EXCEEDING 10'-0" MUST BE DESIGNED CASE BY CASE.	BEARING WALLS							
			MAXIMUM SPACING WHEN SUPPORTING					
	STUD SIZE	STUD HEIGHT	ROOF & CLN'G ONLY	ONE FLOOF ROOF \$ CLN'G	TWO FLOOF ROOF & CLN'G	ON FLO ON		
			(INCHES)	(INCHES)	(INCHES)	(INC)		
	2x4	10	24	16	NOT ALLOWED	24		
	3x4	10	24	24	16	24		
	2x6	10	24	24	16	24		
	2-2x4	10	-	-	16	-		
	2-2x6	10	-	-	24	-		

* SHALL NOT BE USED IN EXTERIOR WALLS. * REFER TO PLANS FOR STUD HEIGHTS EXEEDING THIS TABLE.

NAILING SCHEDULE

- NC

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
	ROOF	•
I . BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	3-8d COMMON	TOE NAIL
2. CEILING JOISTS TO PLATE	3-8d COMMON	PER JOIST, TOE NAIL
3. CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITION	3-1 Gd COMMON	FACE NAIL
4. CEILING JOIST ATTACHED TO PARALLEL RAFTER	PER TABLE 2308.7.3.1	FACE NAIL
5. COLLAR TIE TO RAFTER, FACE NAIL OR 1 1/4"X20 GA.RIDGE STRAP TO RAFTER	3-10d COMMON	FACE NAIL EACH RAFTER
G. RAFTER OR ROOF TRUSS PLATE	3-10d COMMON	(2) TOE NAILS ON ONE SIDE AND (1) TOE NAIL ON OPP. SIDE OF EACH RAFTER OR TRUSS
7. ROOF RAFTER TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM	3-10d COMMON	TOE NAIL
	WALL	
8. STUD TO STUD(NOT AT BRACED WALL PANELS)	I Gd COMMON	24" o.c. FACE NAII
9. STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	I GA COMMON	I 6" o.c. FACE NAIL
10. BUILT-UP HEADER(2" TO 2" HEADER WITH 1/2" SPACER)	I 6d COMMON	I G" o.c. FACE NAIL
I I. CONTINUOUS HEADER TO STUD	4-8d COMMON	TOE NAIL
I 2. TOP PLATE TO TOP PLATE	I 6d COMMON	I 6" o.c. FACE NAIL
I 3. DOUBLE TOP PLATE SPLICE	8-16d COMMON	FACE NAIL ON EA. SIDE OF END JOIN (MINIMUM 24" LAP SPLICE LENGTH EA. SIDE OF END JOIN
I 4. BOTTOM PLATE TO JOIST, RIM JOIST,BAND JOIST OR BLOCKING(NOT AT BRACED WALL PANELS)	I Gd COMMON	I G" <i>o.c.</i> FACE NAIL
I 5. BOTTOM PLATE TO JOIST, RIM JOIST,BAND JOIST OR BLOCKING(AT BRACED WALL PANELS)	2-16d COMMON	I G" <i>o.c.</i> FACE NAIL
I G. TOP OR BOTTOM PLATE TO STUD.	4-8d COMMON	END NAIL
I 7. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS.	2-16d COMMON	FACE NAIL
18. 1" BRACE TO EACH STUD AND PLATE.	2-8d COMMON	FACE NAIL
19. 1"x 6" SHEATHING TO EACH BEARING.	2-8d COMMON	FACE NAIL
20. I "x8" AND WIDER SHEATHING TO EACH BEARING.	2-8d COMMON	FACE NAIL

NAILING SCHEDULE, CONT

OOD STUDS NON-BEARING W/ALLS MAX 24

A. NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 90 ksi FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 ks FOR SHANK DIAMETERS OF 0.142 INCH OR LESS

B. NAILS SHALL BE SPACED AT NOT MORE THAN G INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.

C. FOUR-FOOT BY 8-FOOT OR 4-FOOT BY 9 FOOT PANELS SHALL BE APPLIED VERTICALLY. D. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON CHAPTER 23.

E. FOR WOOD STRUCTURAL PANEL ROOF SHEATHING ATTACHED TO GABLE END ROOF FRAMING AND TO INTERMEDIATE SUPPORTS WITHIN 48 INCHES OF ROOF EDGES AND RIDGES, NAILS SHALL BE SPACED AT 6 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS LESS THAN 130 MPH AND SHALL BE SPACED 4 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS 130 MPH OR GREATER BUT LESS THAN 140 MPH.

F. GYPSUM SHEATHING SHALL CONFORM TO ASTM C I 396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C208.

G. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.

H.WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND TOE NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE. THE TOE NAIL ON THE OPPOSITE SIDE OF THE RAFTER SHALL NOT BE REQUIRED.

I. RSRS-01 IS A ROOF SHEATHING RING SHANK NAIL MEETING THE SPECIFICATIONS IN ASTM FIGG7.

PRE-MANUFACTURED TRUSSES

- TRUSS DRAWINGS AND CALCULATIONS SHALL HAVE ORIGINAL SIGNATURE BY CIVIL OR STRUCTURAL ENGINEER LICENSED IN THE STATE AND SHALL BE SUBMITTED TO THE PROJECT ENGINEER AND LOCAL BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATION.
- 2. TRUSS MANUFACTURER SHALL DESIGN ALL MEMBERS, TRUSS TYPES AND CONNECTIONS FOR SELF-WEIGHT, LIVE (ROOF OR FLOOR) LOAD, INCLUDING MECHANICAL EQUIPMENT LOADS, ATTIC LOADS AS REQUIRED PER IBC/CBC TABLE I GO7. I AND ALSO BE DESIGNED TO RESIST ALL DRAG FORCES, SHEAR WALL UPLIFT AND DOWNWARD LOADS AND ANY OTHER SPECIAL LOADS NOTED ON THE PLANS.
- 3. APPROVED COPIES OF TRUSS DRAWINGS SHALL BE FORWARDED TO THE BUILDING INSPECTION DEPARTMENT.
- 4. TRUSS MANUFACTURER SHALL LAYOUT AND DESIGN ALL TRUSSES TO ACCOMMODATE ROOF AND REFLECTED CEILING LAYOUT AS SHOWN ON THE ARCHITECTURAL DRAWINGS.
- 5. ALL TRUSS TO TO TRUSS CONNECTIONS SHALL BE DESIGNED AND SPECIFIED BY THE TRUSS MANUFACTURER. SUCH CONNECTIONS SHALL BE CLEARLY NOTED ON THE SHOP DRAWINGS.
- 6. TEMPORARY BRACING/BRIDGING PER MANUFACTURER'S RECOMMENDATIONS SHALL BE INSTALLED TO HOLD TRUSS TRUE AND PLUMB UNTIL PERMANENT SHEATHING IS INSTALLED.
- 7. TRUSS MANUFACTURER IS RESPONSIBLE FOR PROVIDING ADDITIONAL SHEAR AND DRAG TRUSSES AS SHOWN ON THE FRAMING PLAN.
- 8. PRE-MANUFACTURED TRUSSES SHALL BE DESIGNED AND FABRICATED AND ERECTED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE(TPI) "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" AND SHALL BE PROVIDED BY AN APPROVED FABRICATOR.
- 9. ALL TRUSS TOP CHORDS SHALL BE DOUGLAS FIR-LARCH. ALL LUMBER USED FOR TRUSSES SHALL BE SURFACE DRY OR KILN DRIED TO A MOISTURE CONTENT LESS THAN 19% PRIOR TO FABRICATION.
- 10. MAXIMUM DEFLECTION LIMITS FOR TRUSSES SHALL BE AS FOLLOWS:

	LIVE LOAD	TOTAL LOAD
ROOF	L/360	L/240
FLOOR	L/480	L/360

II. REFER TO THE BUILDING CODE FOR THE BALANCE OF NOTES APPLICABLE.

SHEET INDEX

SHEET NO.	SHEET TITLE
5-0.10	GENERAL NOTES & REQUIREMENTS
5-0.11	GENERAL NOTES & REQUIREMENTS
5-0.20	TYPICAL DETAILS
S-1.0	FOUNDATION PLAN MAIN HOUSE
S-2.0	ROOF FRAMING PLAN MAIN HOUSE
5-3.0	FOUNDATION & ROOF FRAMING PLAN STORAGE
SDI.O	FOUNDATION DETAILS
SDI.I	FOUNDATION DETAILS
SD2.0	STRUCTURAL DETAILS
SD3.0	STRUCTURAL DETAILS

*: FOR SPECIAL INSPECTION OF WOOD DIAPHRAGMS AND SHEAR WALLS, CONTACT EOR FOR SCHEDULE.

FOUNDATION PLAN

MAIN HOUSE SCALE : 1/4" = 1'-0"

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FJ I DJ I SHEAR PANEL TYPE	2 X G 2 X G SHEATHING (8)	EDGE S FLOOR J DECK JC	OISTS @ ISTS @ I SHEA 022 CALIF FIELD NAILING (COMMON)	MEMBER I G" O.C. G" O.C. R WALL FORNIA BU FORNIA BU ALLOWABLE SHEAR (PLF)	SCHEE	OULE ODE (1), (SILL PLATE CONNECTION 1/4"ØXG"	(3)	FRAMING CLIPS A35's, L950's OR LTP4's	Project Name:	IS МЦИ : 04/03/ IECT MA	2024 NAGE P.P.	Project Address	I 1205 N
FJ I DJ I SHEAR PANEL TYPE	2 X 6 2 X 6 2 X 6 3/8" APA	EDGE S DECK JC	OISTS @ ISTS @ I SHEA 022 CALIF NAILING (COMMON) (9)	MEMBER I 6" O.C. 6" O.C. R WALL FORNIA BI ALLOWABLE SHEAR (PLF) 2G0 (7)	SCHEE	DULE ODE (1), (SILL PLATE CONNECTION 1/4"Øx6" SDS SCREWS @ 16" 0 C	(3) 5/8" Ø A.B. SPC'G 2X 48"	FRAMING CLIPS A35's, L550's OR LTP4's (5), (6) @ 24" O.C.	Project Name:	IS МЦИ : 04/03/ IECT МА	2024 NAGE P.P.	Project Address	I 1 205 N
FJ I DJ I SHEAR PANEL TYPE SWI	2 X 6 2 X 6 2 X 6 3/8" APA rated 3/8" APA	EDGE NAILING (COMMON)	OISTS @ ISTS @ I SHEA 022 CALIF NAILING (COMMON) (9) @ ⁸ d ¹ 5 (2" O.C.	MEMBER I 6" O.C. 6" O.C. R WALL FORNIA BL FORNIA BL SHEAR (PLF) 260 (7) 220 380 (7)	SCHED SCHED JILDING C I Gd's SINKER @ G" O.C. @ 4" O.C.	DULE ODE (1), (SILL PLATE CONNECTION 1/4"Øx6" SCREWS @ 16" O.C. @ 12" O.C.	(3) 1 5/8" Ø A.B. SPC'G 2X 48" 42"	FRAMING CLIPS A35'5, L550'5 OR LTP4'5 (5), (6) @ 24" O.C. @ 16" O.C.	Date Project Name:	S МЦ : 04/03/ IECT МА	2024 NAGE P.P.	Project Address	I 1 205 N
FJ I DJ I SHEAR PANEL TYPE SWI (4) (2) SW3 (4) (2)	2 X 6 2 X 6 2 X 6 2 X 6 3/8" APA rated 3/8" APA rated 3/8" APA rated	EDGE NAILING (COMMON) 8 d's 6 6" 0.C. 8 d's 6 4" 0.C. 8 d's 7 0.C. 8 d's 7 0.C.	OISTS @ ISTS @ I SHEA 022 CALIF 022 CALIF (COMMON) (9) (2" 0.C 8 d's @ 12" 0.C 8 d's @ 12" 0.C	MEMBER I G" O.C. G" O.C. R WALL FORNIA BL ALLOWABLE SHEAR (PLF) 2G0 (7) 220 380 (7) 320 490 (7)	CTYPE CONTROLOGIES CONTROL	DULE ODE (1), (SILL PLATE CONNECTION 1/4"ØxG" SDS SCREWS @ 16" O.C. @ 12" O.C. (10) @ 8" O.C.	(3) 1 5/8" Ø A.B. SPC'G 2X 48" 42" 36"	FRAMING CLIPS A35's, L950's OR LTP4's (5), (6) @ 24" O.C. @ 16" O.C. (10) @ 8" O.C.	Date Project Name:	IS MIN : 04/03/ IECT MA	2024 NAGE P.P.	Eroject Address	I 1205 N
FJ I DJ I DJ I SHEAR PANEL TYPE SW1 SW2 (4) (2) SW3 (4) (2) SW4 (4) (2)	2 X 6 2 X 6	EDGE NAILING (COMMON) 8 d's 6 6" 0.C. 8 d's 6 4" 0.C. 8 d's 6 3" 0.C. 8 d's 6 3" 0.C. 8 d's 6 2" 0.C.	OISTS @ ISTS @ I SHEA 022 CALIF 022 CALIF (COMMON) (2) (COMMON) (9) (2) (2) (2) (2) (2) (2) (2) (2) (2) (2	MEMBER I G" O.C. G" O.C. R WALL FORNIA BL ALLOWABLE SHEAR (PLF) 2G0 (7) 220 380 (7) 320 490 (7) 410 640 (7) 530	CTYPE C TYPE C SCHEE UILDING C I Gd's SINKER @ 6" 0.C. @ 4" 0.C. @ 4" 0.C. @ 10) @ 2" 0.C.	DULE ODE (1), (SILL PLATE CONNECTION 1/4"Øx6" SDS SCREWS @ 16" O.C. @ 12" O.C. @ 12" O.C. (10) @ 8" O.C. (10) @ 6" O.C.	(3) 1 5/8" Ø A.B. SPC'G 2X 48" 42" 36" 24"	FRAMING CLIPS A35's, L950's OR LTP4's (5), (6) @ 24" O.C. @ 16" O.C. @ 16" O.C. (10) @ 8" O.C. (10) @ 8" O.C.	Date Project Name:	IS MAN	2024 NAGE P.P.	Eroject Address	I 1205 N
FJ I DJ I SHEAR PANEL TYPE SW1 (4) (2) SW3 (4) (2) SW3 (4) (2) SW4 (4) (2) SW4 (4) (2)	2 X 6 2 X 6	EDGE NAILING (COMMON) 8 d's @ 6" 0.C. 8 d's @ 4" 0.C. 8 d's @ 4" 0.C. 8 d's @ 2" 0.C. 10 d's @ 2" 0.C.	OISTS @ I ISTS @ I SHEA 022 CALIF NAILING (COMMON) @ 12" 0.C @ 12" 0.C @ 12" 0.C @ 12" 0.C @ 12" 0.C	MEMBER I 6" O.C. 6" O.C. R WALL FORNIA BI ALLOWABLE SHEAR (PLF) 260 (7) 220 380 (7) 320 490 (7) 410 640 (7) 530 870	CTYPE SCHEE JILDING C I Gd's SINKER @ 6" 0.C. @ 4" 0.C. @ 4" 0.C. (10) @ 3" 0.C. (10) @ 2" 0.C. (10) @ 2" 0.C. (10) 2 ROWS STAGG.	DULE ODE (1), (SILL PLATE CONNECTION 1/4"Øx6" SDS SCREWS @ 16" O.C. @ 12" O.C. (10) @ 6" O.C. (10) @ 6" O.C. (10) @ 5" O.C.	(3) 1 5/8" Ø A.B. SPC'G 2X 48" 42" 36" 24" 18"	FRAMING CLIPS A35's, L550's OR LTP4's (5), (6) @ 24" O.C. @ 16" O.C. @ 16" O.C. (10) @ 8" O.C. (10) @ 6" O.C.	Date Project Name:	IS MAN	2024 NAGE P.P.	Eroject Address	I 1205 N
FJ I DJ I SHEAR PANEL TYPE SW1 SW2 (4) (2) SW3 (4) (2) SW3 (4) (2) SW5 (4) (2) SW5 (4) (2) SW5	2 X 6 2 X 6	EDGE NAILING (COMMON) 8 d's @ 6" 0.C. 8 d's @ 4" 0.C. 8 d's @ 2" 0.C. 10 d's @ 2" 0.C. 2 ANEL JOIN	OISTS @ I ISTS @ I SHEA 022 CALIF 022 CALIF 022 CALIF (COMMON) (9) @ 12" 0.C. @ 12" 0.C. @ 12" 0.C. @ 12" 0.C. @ 12" 0.C. @ 12" 0.C. @ 12" 0.C.	MEMBER I G" O.C. G" O.C. R WALL FORNIA BL FORNIA BL ALLOWABLE SHEAR (PLF) 260 (7) 220 380 (7) 220 380 (7) 220 380 (7) 320 490 (7) 530 640 (7) 530 870 L PLATE N	C TYPE C TYPE C SCHEE JILDING C I Gd's SINKER @ 6" 0.C. @ 4" 0.C. @ 4" 0.C. (10) @ 3" 0.C. (10) @ 2" 0.C. (10) @ 3" 0.C. (10) C ROWS STAGG. @ 3" 0.C. IAILING SF	DULE ODE (1), (SILL PLATE CONNECTION 1/4"Øx6" SCREWS @ 16" O.C. @ 12" O.C. @ 12" O.C. (10) @ 6" O.C. (10) @ 5" O.C. (10) @ 5" O.C. (10) @ 5" O.C.	(3) 1 5/8" Ø A.B. SPC'G 2X 48" 42" 36" 24" 18" AGGEREI	FRAMING CLIPS A35's, LS50's OR LTP4's (5), (6) @ 24" O.C. @ 16" O.C. @ 16" O.C. (10) @ 8" O.C. (10) @ 6" O.C. (10) @ 6" O.C.	Project Name:	IS MAN	2024 NAGE P.P.	Project Address	I 1205 N
FJ I DJ I DJ I SHEAR PANEL TYPE SW1 SW2 (4) (2) SW3 (4) (2) SW4 (4) (2) SW4 (4) (2) SW4 (4) (2) SW5 (4) (2) SW5 (2) SW5 (2) SW5 (4) (2) SW5 (4) (2) SW5 (2) SW5 (2) SW5 (4) (2) SW5 (4) (2	2 X 6 2 X 6	EDGE NAILING (COMMON) B d's (COMMON) B d's	OISTS @ I ISTS @ I SHEA 022 CALIF 022 CALIF 022 CALIF 022 CALIF (COMMON) (9) (2" 0.C. 8 d's (0 12" 0.C. 8 d's (0 12" 0.C. 8 d's (0 12" 0.C. (0 12" 0.C	MEMBER I G" O.C. G" O.C. R WALL FORNIA BL FORNIA BL SHEAR (PLF) 2GO (7) 220 380 (7) 220 380 (7) 320 490 (7) 410 640 (7) 530 870 LL PLATE N FRAMING	C TYPE C TYPE C SCHEE JILDING C I Gd's SINKER @ 6" 0.C. @ 4" 0.C. @ 4" 0.C. @ 4" 0.C. @ 100 @ 2" 0.C. (10) @ 2" 0.C. (10) @ 2" 0.C. (10) @ 3" 0.C. (10) @ 3" 0.C. IAILING SF AT ADJOI	DULE ODE (1), (SILL PLATE CONNECTION 1/4"Øx6" SCREWS @ 16" O.C. @ 12" O.C. @ 12" O.C. (10) @ 6" O.C. (10) @ 6" O.C. (10) @ 5" O.C. 1ALL BE ST NING PANE	(3) 1 5/8" Ø A.B. SPC'G 2X 48" 42" 36" 24" 18" FAGGEREI EL EDGES	FRAMING CLIPS A35's, LS50's OR LTP4's (5), (6) @ 24" O.C. @ 16" O.C. @ 16" O.C. @ 8" O.C. (10) @ 8" O.C. (10) @ 6" O.C. O IN ALL D IN ALL	Date Project Name:	IS MAN	2024 NAGE P.P.	Project Address	I 1205 N
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FJ I DJ I DJ I DJ I Construction Constructio	2 X 6 2 X 6	EDGE NAILING (COMMON) B d's (COMMON) B d's (COMMON)	OISTS @ I STS @ I SHEA 022 CALIF PIELD NAILING (COMMON) @ 12" O.C. @ 12" O.C. I O d's @ 12" O.C. @ 12" O.C. I O d's @ 12" O.C. I O d's @ 12" O.C. I O D SIMPSO I O D SIMPSO I O SIMPSO I E FOR STLL S TO EITH EN STUDS IEAR PANE OF SILL PI S SCREWS DETAIL ON W3, SW4	MEMBER I G" O.C. G" O.C. R WALL FORNIA BI FORNIA BI FORNIA BI ALLOWABLE SHEAR (PLF) 260 (7) 220 380 (7) 200 490 (7) 530 870 L PLATE N FRAMING MAX. UN 5 REQUIRI ON STRON NUMBER (JDS SPAC ER DOC P ARE SPA ELS: LATE ANCH IN SCHEEL PLAN FOR \$ SW5.	C TYPE C	DULE ODE (1), (SILL PLATE CONNECTION 1/4"ØX6" SCREWS @ 16" O.C. @ 12" O.C. (10) @ 6" O.C. (10) @ 6" O.C. (10) @ 6" O.C. (10) @ 5" O.C. (10) @ 5" O.C. (10) @ 5" O.C. 1ALL BE ST NING PANE ED OTHER HARDY FR NG CLIPS A O.C. MAX 6 2 STANE 4" O.C. S FOR TYPE WITH HALF 5 CLIP TYPE	(3) (3) (3) (3) (3) (3) (3) (3)	FRAMING CLIPS A35's, LS50's OR LTP4's (5), (6) @ 24" O.C. @ 16" O.C. @ 8" O.C. @ 6" O.C. O IN ALL D WITH NAILS PLAN. N.O.). SPECIFIED , SW4 \$ SW5 ACING, IALF THE	JOB SHE	IECT MAN IECT MAN IECT MAN IECT MAN IECT MAN IECT MAN		INAIN DOUUC	
FJ I DJ I DJ I DJ I Construction Constructio	2 X 6 2 X 6	EDGE NAILING (COMMON) B d's @ 6" O.C. B d's @ 4" O.C. B d's @ 2" O.C. B d's @ 2" O.C. C ANEL JOIN NOMINAL (DPACED @ ECIAL INS C ECIAL INS	OISTS @ I ISTS @ I SHEA 022 CALIF PIELD NAILING (COMMON) @ 12" O.C. @ 12" O.C. I O d's @ 12" O.C. I O d's @ 12" O.C. I O C. I O	MEMBER I G" O.C. G" O.C. R WALL FORNIA BI FORNIA BI FORNIA BI ALLOWABLE SHEAR (PLF) 260 (7) 220 380 (7) 200 490 (7) 410 640 (7) 530 870 L PLATE N FRAMING NAX. UN 5 REQUIRI ON STROM NUMBER (JDS SPAC ER DOC P ARE SPA ELS: LATE ANCH IN SCHEE PLAN FOR \$ SW5.	SCHEE JILDING C I Gd's SINKER @ G" O.C. @ 4" O.C. @ 4" O.C. @ 4" O.C. @ 1 Gd's SINKER @ G" O.C. @ 1 Gd's SI O.C. @ 1 Gd's STAGG. @ 3" O.C. I (10) @ 2" O.C. I (10) @ 2" O.C. I (10) @ 2" O.C. I (10) @ 3" O.C. I (10) @ 2" O.C. I (10) @ 3" O.C. I (10) @ 2" O.C. I (10) @ 3" O.C. I (10) @ 3" O.C. I (10) @ 3" O.C. I (10) @ 3" O.C. I (10) I ESS NOT ED. I GD (I I I I I I I I I I I I I I I I I I I	DULE ODE (1), (SILL PLATE CONNECTION 1/4"ØXG" SCREWS @ 16" O.C. @ 12" O.C. @ 12" O.C. (10) @ 6" O.C. (10) @ 6" O.C. (10) @ 6" O.C. (10) @ 6" O.C. (10) @ 5" O.C. 1ALL BE ST NING PANE ED OTHER HARDY FR NG CLIPS A O.C. MAX 6 2 STANE 4" O.C. S FOR TYPE WITH HALF 5 CLIP TYPE	(3) 5/8" Ø A.B. SPC'G 24" 48" 42" 36" 24" 18" TAGGEREI EL EDGES WISE ON RAME (U. ARE NOT C. DARDS. PES SW3 THE SPA ES AND H	FRAMING CLIPS A35's, LS50's OR LTP4's (5), (6) @ 24" O.C. @ 16" O.C. @ 8" O.C. @ 8" O.C. @ 6" O.C. O IN ALL D WITH NAILS PLAN. N.O.). SPECIFIED , SW4 \$ SW5 ACING, IALF THE	JOB SHE	IS MAN IECT MAN IECT MAN IECT MAN IECT MAN IECT MAN IECT MAN		INAIN DOUUS	
FJ I DJ I DJ I DJ I C DJ I DJ I C DJ I C DJ I C DJ I C DJ I C C C C C C C C C C C C C C C C C C C	2 X 6 2 X 6	EDGE NAILING (COMMON) B d's @ 6" O.C. B d's @ 4" O.C. B d's @ 2" O.C. B d's @ 2" O.C. C ANEL JOIN NOMINAL (DPACED @ ECIAL INS C PACED @ C C PER SCH PLANS. D HEAR AR C ONFORM " O.C. WH SIDED SH SPACING "ØXG" SDE VA & SW5 ANSFER E C TYPES S'	OISTS @ I STS @ I SHEA 022 CALIF FIELD NAILING (COMMON) @ 12" O.C. @ 12" O.C. IT AND SII OR WIDER @ I 2" O.C. IT AND SII DR WIDER @ I 6" O.C. PECTION IS DN SIMPSO IEDULE IF I E FOR STL S TO EITH EN STUDS IEAR PANE OF SILL PI OSCREWS DETAIL ON W3, SW4	MEMBER	SCHEE JILDING C I Gd's SINKER @ G" O.C. @ 4" O.C. @ 4" O.C. @ 4" O.C. @ 1 Gd's SINKER @ G" O.C. @ 3" O.C. @ 3" O.C. @ 3" O.C. [10) @ 2" O.C. [10) @ 3" O.C. [10) @ 3" O.C. [10) @ 3" O.C. [10) @ 3" O.C. [10) @ 2" O.C. [10) @ 3" O.C. [10) [2 ROWS STAGG. @ 3" O.C. [10) [2 ROWS STAGG. [10] [2 ROWS [10]	DULE ODE (1), (SILL PLATE CONNECTION 1/4"ØX5" SCREW5 @ 16" O.C. @ 12" O.C. @ 12" O.C. @ 12" O.C. @ 6" O.C. (10) @ 6" O.C. (10) @ 6" O.C. (10) @ 6" O.C. (10) @ 5" O.C. 1ALL BE ST NING PANE ED OTHER HARDY FF NG CLIPS A O.C. MAX 6 2 STANE 4" O.C. S FOR TYF WITH HALF ; CLIP TYPE	(3) 5/8" Ø A.B. SPC'G A.B. SPC'G 48" 42" 36" 24" 18" 7AGGEREI EL EDGES WISE ON RAME (U. ARE NOT C. DARDS. PES SW3 THE SPA ES AND H	FRAMING CLIPS A35's, LS50's OR LTP4's (5), (6) @ 24" O.C. @ 16" O.C. @ 8" O.C. @ 8" O.C. @ 6" O.C. D IN ALL D WITH NAILS PLAN. N.O.). SPECIFIED , SW4 \$ SW5 ACING, IALF THE	JOB SHE	IS MAN IECT MAN IECT MAN IECT MAN IECT MAN IECT MAN IECT MAN		INAIN FOUSE	

ROOF FRAMING PLAN

MAIN HOUSE SCALE : 1/4" = 1'-0"

ROOF FRAMING PLAN

FOUNDATION PLAN

		FRAN	1ING I			
 REFER TO SHEET S-0. I O FOR MORE INFORM CONTRACTOR IS RESPONSIBLE FOR VERIFYIN AND MATCH TOP PLATE HEIGHT AND WALL WI RECORD IF DIFFERENT THAN PLANS. USP CONNECTORS CAN BE USED IN LIEU OF PROJECT. CONTACT E.O.R. FOR CONVERSION DRAWINGS TO E.O.R. FOR REVIEW AND APPR ALL BEAM HANGERS SHALL BE SIMPSON HU DETAIL. USE STG224 STRAP FOR THE TOP PLATES SF (3B/SD2.0), UNO ON PLANS. USE ST22 STRAP FOR LEDGER SPLICES, UNC USE (1)CS I G x 3'-0" STRAP AT RIM JOISTS S MIN. LVL RIM JOISTS SHOULD BE USED AT A HEADER AT NON-BEARING WALLS, USE 2x4 F (2)2x4 FOR OPENINGS UP TO 6'-0" MAX 4x0 						
WITH 9. WOO TOG I O. SHE HOL	HOUT POINT L DD HEADER C ETHER PER TH ARWALL PANE DOWNS AND	OADS. POSTS MADE TE NAILING SCH L TO BE NAILED DO NOT BREAK	UP OF 2 OI EDULE. TO ALL MUI AT PERPEND			
		LE	EGENI			
	DENOTI DENOTI	ES DROP BEAM O ES FLUSH BEAM P ES BEAM NUMBER ES POST OR TRIM ES DIRECTION OF ES SHEAR PANEL L ES PANEL TYPE, RE	R HEADER PEI ER PLAN , REFER TO E MER AS NOTE MER FROM FI FRAMING ME ERATH EFER TO SHEA			
		ES DETAIL NUMBE	R			
	DENOT	ES BEARING WALL	NUMBER			
		ES OVER FRAMING	2			
Þ	DENOT	ES FRAMING ZONE	DIVISION			
X	DENOT	ES SHEARWALL LIN	NE IN CALCUL			
		KE	Y NO			
(4) TF (9) PF Al	RUSS HANGER ROVIDE SOLID ND/OR FROM T	BY TRUSS MANUF BLOCKING WHERE OP OF BEAMS/HEA	ACTURER POSTS ARE [ADERS TO LO			
	F	RAMIN	G SCI			
MARK		Ν	MEMBER TYF			
RT	DESIGN RO	OF TRUSSES @	24" O.C.			

STORAGE SCALE : 1/4" = 1'-0"

NOTES	FOUNDATION NOTES												
MATION. 1NG PREFABRICATED SHEAR WALLS WIDTH AND NOTIFY ENGINEER OF	 REFER TO SHEET S-0. I O FOR MORE INFORMATION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PREFABRICATED SHEAR WALLS AND MATCH TOP PLATE HEIGHT AND WALL WIDTH AND NOTIFY ENGINEER OF RECORD IF DIFFERENT THAN PLANS 												
PF SIMPSON STRONG TIE IN THIS ON TABLE OR SUBMIT SHOP PROVAL.	 3. TOP OF ALL EXTERIOR FOOTING, GRADE BEAM FOOTING, PAD FOOTING, OR FLAG POLE FOOTING TO BE MIN. 6" BELOW FINISH GRADE. 4. FOR NON-SHEAR WALLS, MASA/MASAP MUDSILL ANCHORS CAN BE USED IN LIEU OF ANCHOR BOLTS WITH FND DISTANCE OF 4" MIN. PER. FOR #2555 												
U HANGERS, UNO. ON PLAN OR	LIEU OF ANCHOR BOLTS WITH END DISTANCE OF 4" MIN. PER ESR #2555. 5. FOR DOUBLE SHEAR PANEL TYPES SW3, SW4, SW5 USE MIN. 3XG SILL PLATES U.N.O.												
	6. 5	DEE DETAIL	. 7/SD1.0 /	AND 8/SD			INSTALLATION		┢				
ALL FLOOR FRAMING EDGES. FOR OPENINGS UP TO 3'-0" MAX.,	LEGEND												
XG FOR OPENINGS UP TO 12'-0" 5 THAN 16" AT BEARING WALLS			DENOTES FO	DOTING						NOI			
OR MORE 2X'S SHALL BE SPIKED		DENOTES PAD											
ULTIPLE STUDS RECEIVING NDICULAR WALL LOCATIONS, UNO.		\times	DENOTES PA	AD NUMBER	R PER SCHE				181>				
1D	-	$\frac{1}{X}$	DENOTES P		BER	LATIONS			Ш ⊿∕				
PER PLAN			DENOTES H							щ			
E.O.R. CALCULATIONS		<u>^</u>	DENOTES S	HEAR PANE	EL LENGTH	LL				DAT			
PTED FLOOR ABOVE		×	DENOTES P.	ANEL TYPE,	REFER TO S	SHEARWALL	SCHEDULE		L		- N 0	04	e 0
IEMBER PER FRAMING SCHEDULE		STEP	DENOTES SI	LAB STEP F	'ER ARCH. (VERIFY PRIC	DR TO CONSTRUCTIO	DN)		A REAL F	ROFESS/	ONA, C	A
EARWALL SCHEDULE	·	<u>×</u>	DENOTES D	ROP BEAM	OR HEADE	R PER PLAN				tEGIS/	». Jo C7819	94	
	[X	DENOTES B		BER, REFER	TO E.O.R. C	CALCULATIONS						
		\boxtimes	DENOTES P	OST OR TR OST OR TR	RIMMER AS RIMMER FRC	NOTED IM FLOOR A	ABOVE				OF GAL	FORMER	,
			DENOTES D	IRECTION (OF FRAMING	G MEMBER F	PER FRAMING SCHED	DULE		- Mr 0	4/03/2	2024	 1
		f	DENOTES FI	RAMING ZC	DNE DIVISIO	N			┝				
		. 1	F		ING	<u>SCH</u>	EDULE						()
JLATIONS	SYMBO CF1		CON	PAD SIZE	D=24"		CONT. (2) #5 TC	DP & BOTTOM		Щ			2046
	P I)		2'-0"	' SQ. x 24"	THICK		(3) #5 E	.w.	-				6 40
NES			НС			SCH			•				tın, C
E DISCONTINUOUS AT JOIST SPACE OWER TOP PLATE	SYMBO	L SIMPSON	I HOLDOWN	USP H			NOTES			С Ц С			Mar
	HDI	STh	HDIO	STA	ADIO		REFER TO DETA 8/SD1.0		-	>	- - -		San
YPE	HD3	H					7/5D1.0		-			ıway,	
	MARI	<		<u> </u>	MEMBER	CTTLL R TYPE	JULL		-	< 世	L -		High
	FJI	2 X 6	g floor j	OISTS @	16" O.C.					Ш — (JLL		erey
		I		SHEA	R WALL	SCHED	ULE					:S	Mont
			20	022 CALII	FORNIA BL	JILDING CC	DDE (1), (3)		me:	0) 2	dres	105
	SHEAR PANEL TYPE	SHEATHING (8)	; EDGE NAILING (COMMON)	FIELD NAILING (COMMON)	ALLOWABLE SHEAR (PLF)	C I Gd's	SILL PLATE CONNECTION 1/4"Øx6" 5/8" Ø SDS A B SPC'G	FRAMING CLIPS A35's, LS50's OR LTP4's	ct Na	Ш И И		ct Ac	- -
	SWI	3/8" APA	8 d's @ 6" 0.C.	(9) 8 d's	260 (7)	SINKER @ 6" O.C. (SCREWS 2X @ 6" O.C. 48"	(5), (6) @ 24" O.C.	Proje			Proje	
	SW2 (4) (2)	3/8" APA rated	8 d's @ 4" O.C.	8 d's @ 12" O.C	380 (7) 320	@ 4" O.C. (@ 2" O.C. 42"	@ 6" O.C.	DATE	Ē: 04/(03/2024		
	<u>5W3</u> (4) (2)	3/8" APA rated	8 d's @ 3" O.C.	8 d's @ 2" O.C	490 (7) 410	(10) @ 3" O.C. ((10) @ 8" O.C. 36"	(10) @ 8" 0.C.	PRO	JECT N	MANAGE PP	R:	
	SW4 (4) (2)	3/8" APA rated	8 d's @ 2" O.C.	8 d's @ 2" O.C	640 (7) 530	(10) @ 2" O.C. ((10) @ 6" O.C. 24"	(10) @ 8" 0.C.	 			,	
	SW5 (4) (2)	5/32" APA rated Structural	10 d's @ 2" 0.C.	0 d's @ 2" 0.C	870	(10) 2 ROWS STAGG. @ 3" O.C.	(10) @ 5" O.C. 8"	(10) @ 6" 0.C.			$\overline{\langle}$	•	
	(1) SF CA	IEATHING F	PANEL JOIN	IT AND SI	LL PLATE N	AILING SH	ALL BE STAGGEREI	D IN ALL	1		\prec		
	(3) ST	GVIDE 3" AGGERED. UDS ARE S	SPACED @	216" O.C.	, max. Uni	LESS NOTE	ED OTHERWISE ON	PLAN.					
	(4) PE	RIODIC SP	PECIAL INSP	PECTION I	S REQUIRE	ED. IG WALL &	HARDY FRAMF (I)	N (O)		1	()		
	(6) US (6) US ON	E SPACING	G PER SCH G PLANS.	EDULE IF	NUMBER (DF FRAMIN	IG CLIPS ARE NOT	SPECIFIED		ፓ	Ž	•	
	(7) AL (8) SH	LOWABLE : IEATHING (SHEAR ARE	E FOR STL S TO EITH	JDS SPACI ER DOC P	ED @ 24" 5 OR PS	O.C. MAX. 2 STANDARDS.			<i>Z</i>	1	•	
	(9) NA (10)FC	NLING @ 6 DR DOUBLE	S" O.C. WHI SIDED SH	EN STUDS IEAR PANE) ARE SPAC ELS:	CED @ 24	" O.C.		()	2	•	
	a. USE	HALF THE	SPACING	OF SILL P	LATE ANCH	IOR BOLTS	6 FOR TYPES SW3 WITH HALF THE SPA	, SW4 ¢ SW5 ACING.		_		· L	
	FOR	R TYPES SI	W4 ¢ SW5.			EDANAINIC	CUR TARES AND L		<	1		(D
	SPA	ACING, FOR	R TYPES SI	N3, SW4	¢ SW5.	TRAIVING	CEIT THE LO AND T				<u> </u>	<hr/>	ζ
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