

### SITE PLAN NOTES

- R401.3 CRC - SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM).
- EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES (152 MM) OF FALL WITHIN 10 FEET (3048 MM), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.
- PER BUILDING POLICY, WHERE FEASIBLE AND AS DETERMINE THE BUILDING INSPECTOR, ALL ABOVE GROUND UTILITIES SHALL BE RELOCATE UNDER-GROUND.
- FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
- DRIVEWAYS, PATHWAYS, UNCOVER PATIOS AND OTHER PAVER AREAS SHALL BE MADE OF UNCOLOR CONCRETE OR GRAVEL.
- DRIVEWAYS SHALL BE MADE OF UNCOLOR CONCRETE OR GRAVEL WITH CAPABLE OF HOLDING OF 75,000 POUNDS.
- BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (R319.1).
- PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE AT EXTERIOR WALL.
- CONTRACTOR SHALL PROVIDE ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
- CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
- CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY COUNTY REGULATIONS.

### SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE (SFR) : 2,600 SQ.FT
- A 425 SF ATTACHED 2-CAR GARAGE
- A 240 SF DETACHED 2-STORAGE BUILDING
- NEW DRIVEWAY

### DEFERRED SUBMITAL

- SOLAR PV SYSTEM
- FIRE SPRINKLER SYSTEM

### APPLICABLE CODES

2019 CBC - CA BUILDING CODE PART 1&2  
 2019 CRC - CA RESIDENTIAL CODE  
 2019 CEC - CA ENERGY EFFICIENCY STANDARD  
 2019 CMC - CA PLUMBING CODE  
 2019 CFC - CA FIRE CODE  
 2019 CGBSC - CA GREEN BUILDING STANDARDS CODE  
 2019 CALIFORNIA REFERENCED STANDARDS CODE  
 CITY OF SANTA CLARA COUNTY MUNICIPAL CODE

#### FIRE PROTECTION INFORMATION:

- TOTAL SF OF STRUCTURES TO DETERMINE SIZE OF WATER TANKS PER CMC/W-1 = 3,800 SF.
- CONSTRUCTION TYPE: V-B.
- FIRE SPRINKLER SYSTEM WILL BE A DEFERRED SUBMITTAL.
- WATER SOURCE: NEWLY BUILD ON-SITE WELL WITH (2) X 5,000 GAL WATER TANKS. FIRE PUMP WILL BE USED TO MEET THE REQUIRED PRESSURE.
- SEE WHARF HYDRANT IN THE BELOW SITE PLAN.
- DRIVEWAY CONFIGURATIONS IS SHOWN IN THE BELOW SITE PLAN.
- PARCEL IS NOT WITHIN THE STATE RESPONSE AREA PR WILDLAND URBAN INTERFACE.

### PROJECT DATA:

PROJECT ADDRESS : MONTEREY HIGHWAY, SAN MARTIN, CA 95020  
 ASSESSOR'S PARCEL NUMBER: 779-15-037

- LOT: 37
- ZONING: RR -5AC
- SETBACKS: FRONT: 30' SIDE: 30' (ACTUAL 31') REAR: 30'
- LOT SIZE, GROSS: 87,170.45 (1.99 AC)
- OCCUPANCY GROUP: R3-U
- CONSTRUCTION TYPE: V-B
- NEW SINGLE FAMILY RESIDENCE (SFR): 2,600 SF
- NEW 2 CAR- GARAGE: 425 SF
- PATIO: 206 SF
- PORCH: 75 SF
- 2 STORAGE (120 SF): 240 SF
- TOTAL FLOOR AREA (SFR + 2 STORAGE): 2,600 + 240 = 2,840 SF
- TOTAL AREA FOOTPRINT: 2,600 + 425 + 206 + 75 + 240 = 3,546 SF
- LOT COVERAGE: (3,546 / 87,170.45) X 100% = 4.07%
- FAR : (TOTAL FLOOR AREA / LOT SIZE) X 100% = (2,840 / 87,170.45) X 100% = 3.26 %
- TOTAL DISTURBED AREA : 3,745 SF < 1 AC.

### VICINITY MAP



### SHEET INDEX

ARCHITECTURAL	
A0.00	PROPOSED SITE PLAN
A0.01	EXISTING CONDITION PLAN
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A0.03	GENERAL NOTES & DETAILS
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A1.03	PROPOSED ELEVATIONS
A1.04	PROPOSED SECTIONS
A1.05	DOOR & WINDOW SCHEDULE AND DETAILS
A1.06	WALL AND ROOF DETAILS
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C-01	TITLE SHEET
1	TOPOGRAPHIC
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C-03	GRADING AND DRAINAGE PLAN
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S-0.11	GENERAL NOTES & REQUIREMENTS
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S-1.0	FOUNDATION PLAN MAIN HOUSE
S-2.0	ROOF FRAMING PLAN MAIN HOUSE
S-3.0	FOUNDATION & ROOF FRAMING PLAN STORAGE
SD1.0	FOUNDATION DETAILS
SD1.1	FOUNDATION DETAILS
SD2.0	STRUCTURAL DETAILS
SD3.0	STRUCTURAL DETAILS

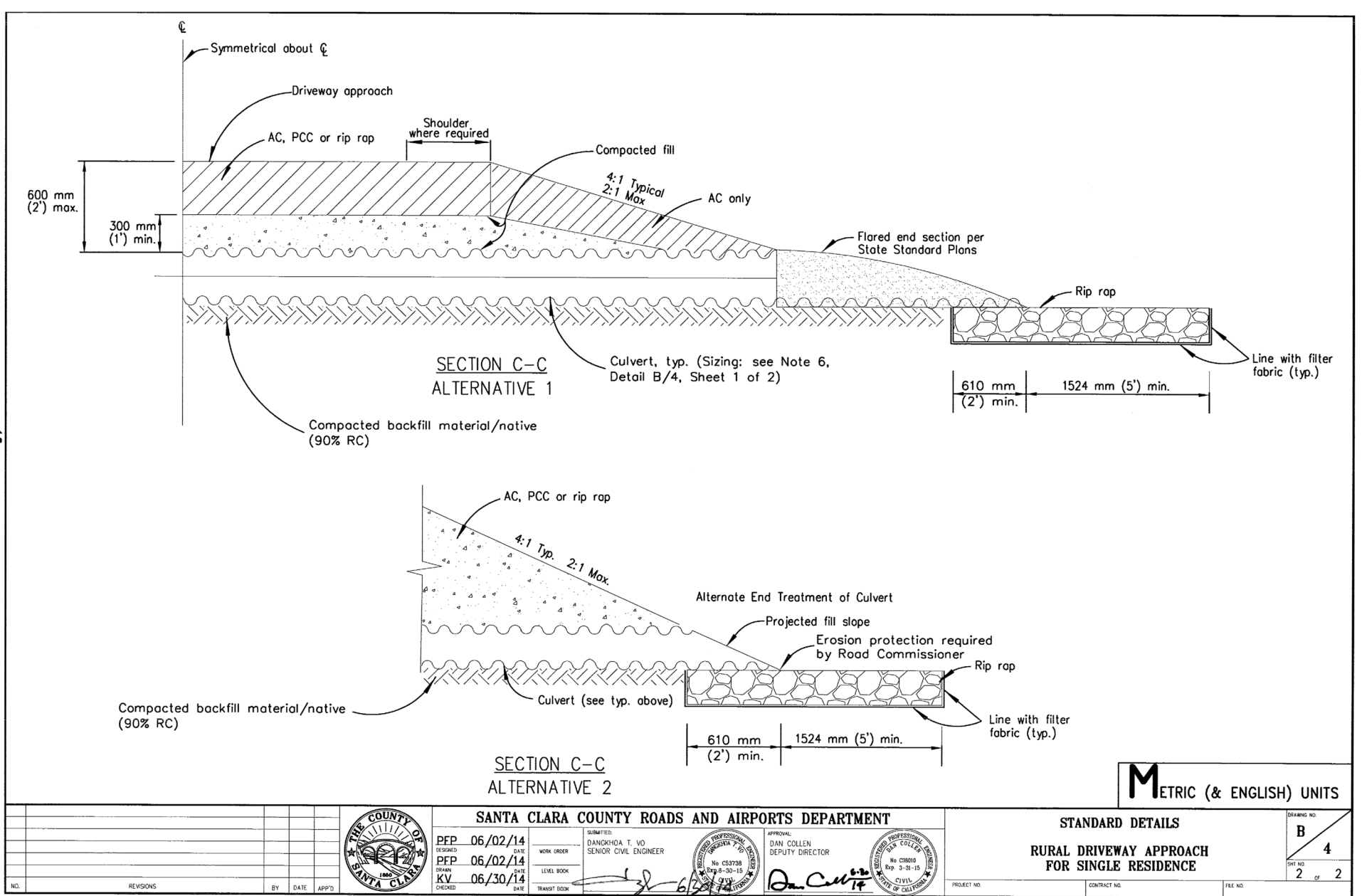
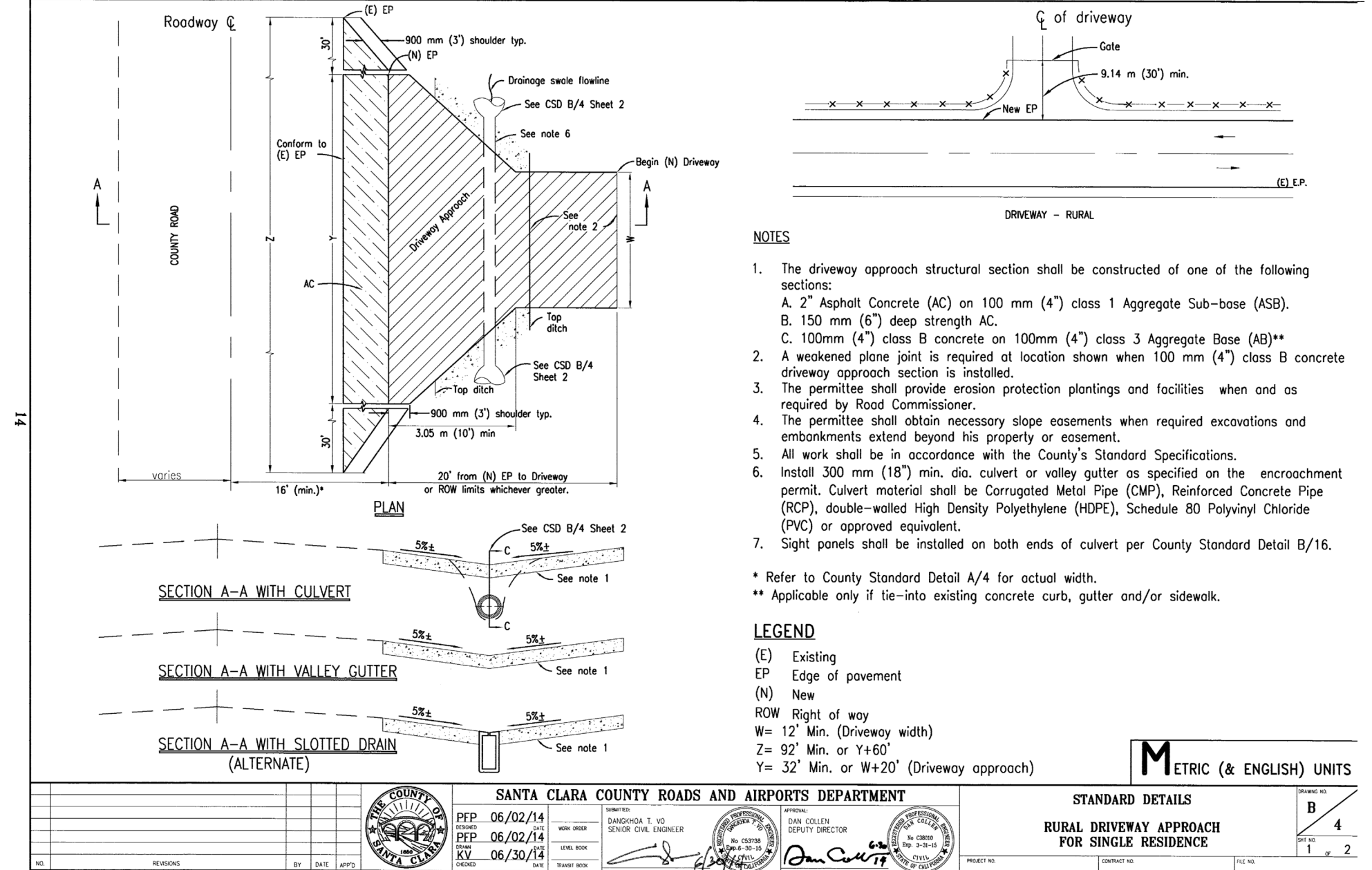
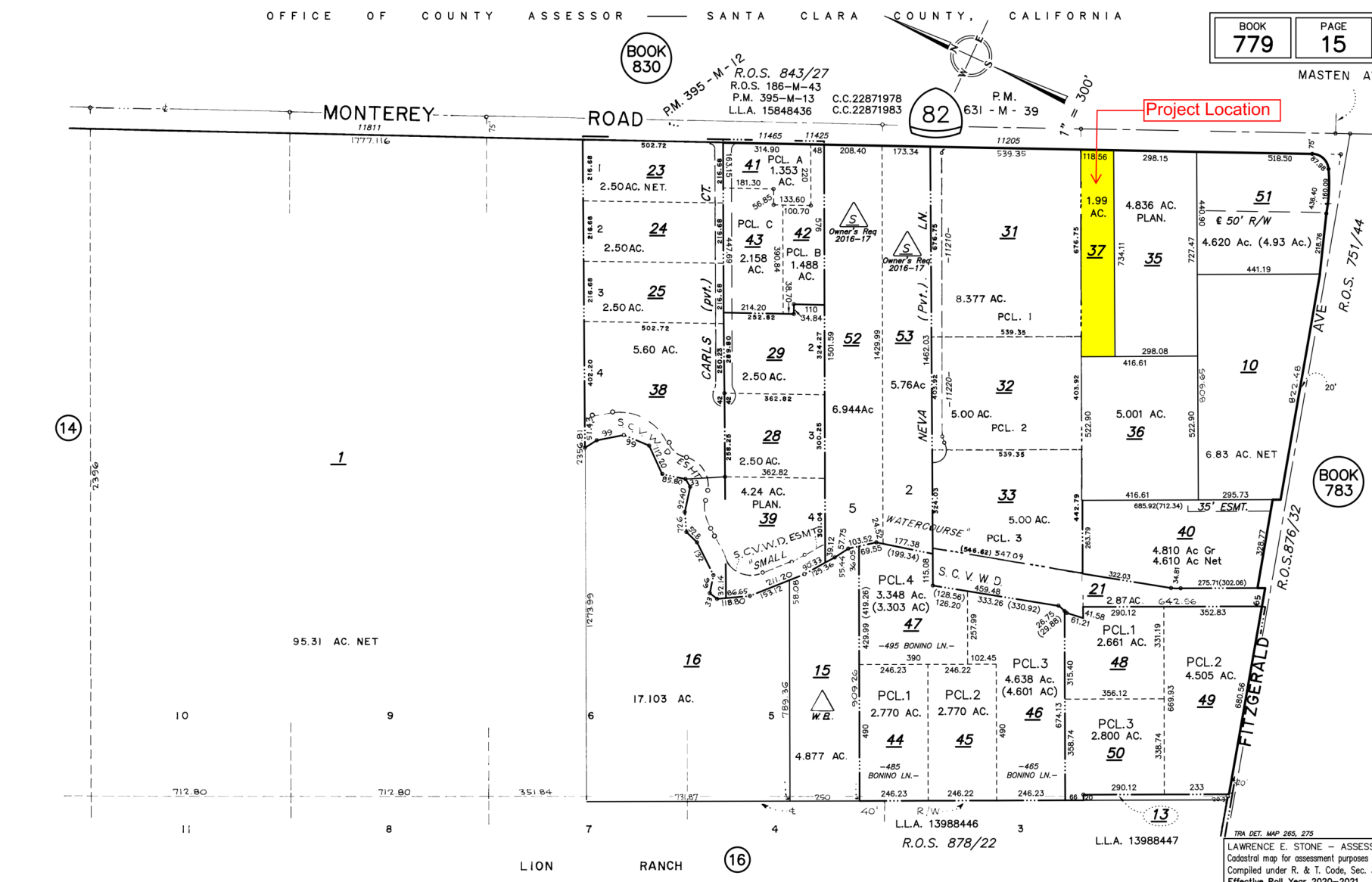


**PROJECT CONTACT**  
 NAME: MY TRUONG  
 PHONE: 408-550-5496  
 EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

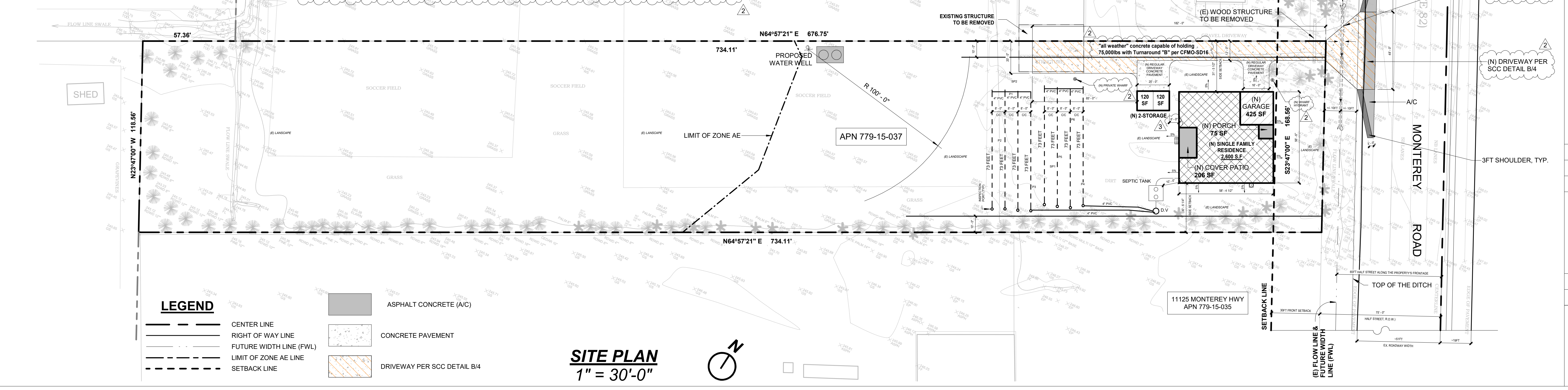
**CIVIL ENGINEER**  
 NAME: DUNG BUI  
 ADDRESS: 2021 THE ALAMEDA SUITE 360, SAN JOSE, CA 95126  
 PHONE: 408-621-0114  
 EMAIL: DB.BENGINEERING@GMAIL.COM

REVISION		
ID	DATE	BY
1	2021/06/24	PLAN CHECK
2	2023/01/09	PLAN CHECK
3	2023/08/02	PLAN CHECK

### PARCEL MAP



**NOTE:**  
 1. AVIGATION EASEMENT DOES NOT EXIST. ONE MAY BE DEDICATED PRIOR TO PARCEL MAP RECORDATION UPON SAN MARTIN AIRPORT'S REQUEST.  
 2. REFER TO AN ENCROACHMENT PERMIT PACKAGE FOR ANY WORK WITHIN COUNTY ROAD RIGHT OF WAY.  
 3. ANY IMPROVEMENTS WITHIN THE COUNTY RIGHT OF WALL SHALL BE CONSISTENT WITH ROADS AND AIRPORTS DEPARTMENT'S STANDARD DETAILS AND STANDARD SPECIFICATION.



**LEGEND**

	CENTER LINE		ASPHALT CONCRETE (A/C)
	RIGHT OF WAY LINE		CONCRETE PAVEMENT
	FUTURE WIDTH LINE (FWL)		DRIVEWAY PER SCC DETAIL B/4
	LIMIT OF ZONE AE LINE		
	SETBACK LINE		

**SITE PLAN**  
 1" = 30'-0"

**PROPOSED SITE PLAN**

**NEW SINGLE FAMILY RESIDENCE**

DATE: 2024-04-05  
 SCALE AS SHOWN  
 DRAW BY: HN  
 JOB NO : #116  
 DRAWING NO :

**A0.00**

Monterey Highway, San Martin, CA 95020







**GENERAL NOTES**

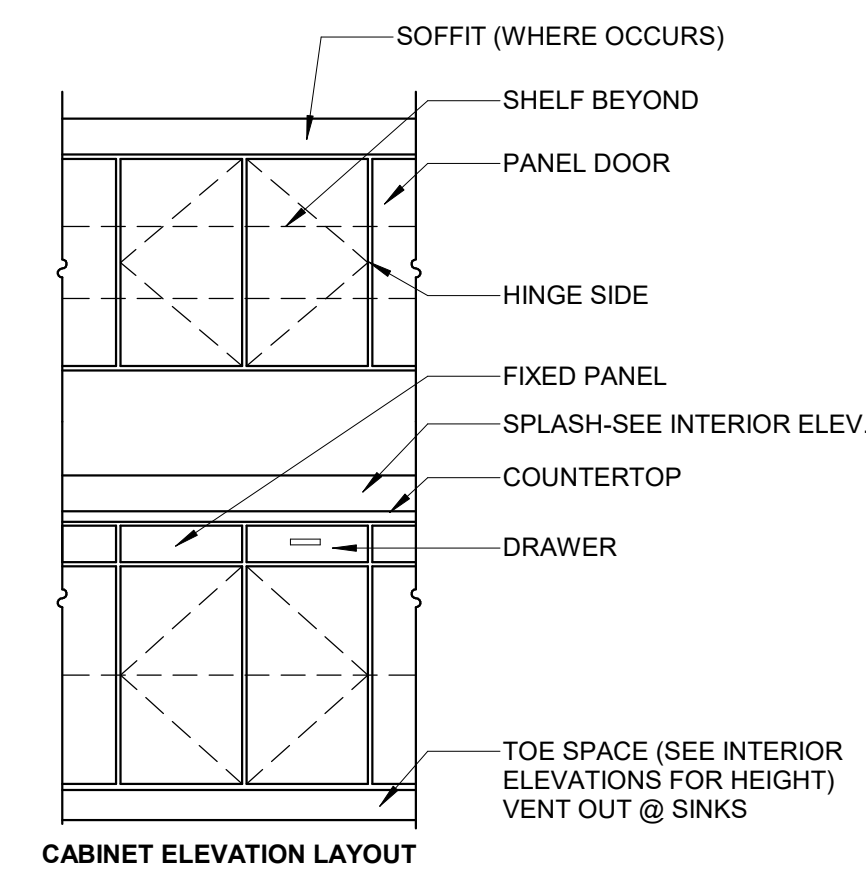
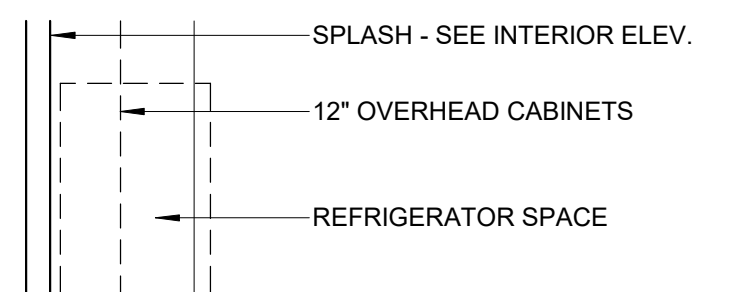
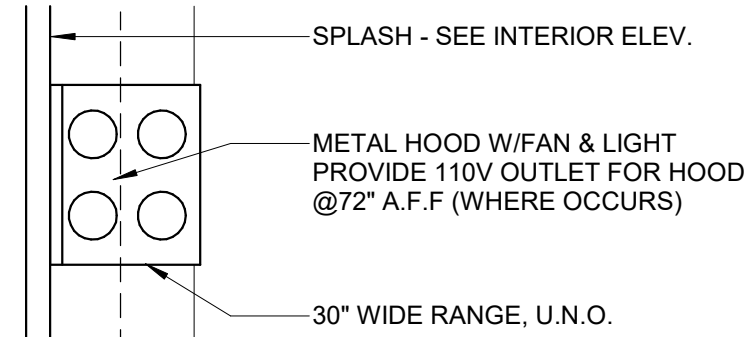
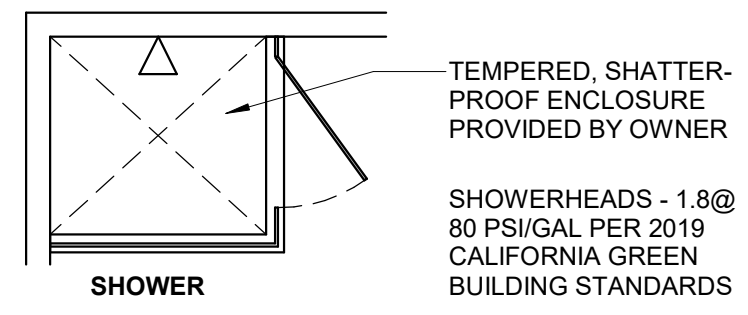
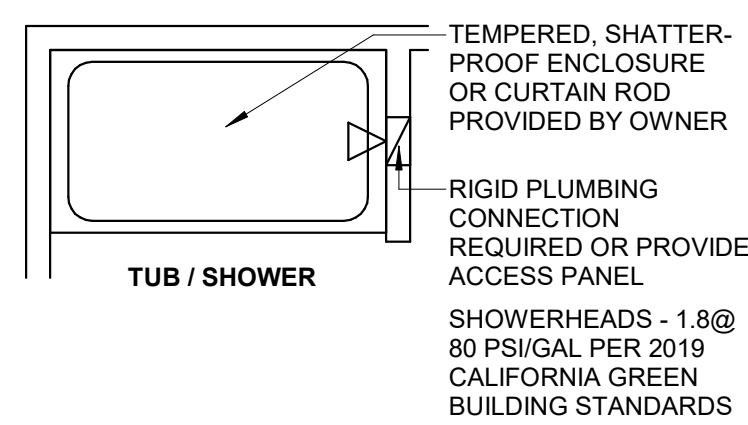
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, CONSTRUCTION TAXES AND FEES REQUIRED BY CITY, COUNTY AND STATE LAWS EXCEPT THE GENERAL BUILDING PLANCHECK FEE AND REQUIRED REFUNDABLE DEPOSITS WHICH WILL BE PAID BY THE OWNER. CONTRACTOR SHALL ARRANGE FOR ALL METER INSTALLATIONS AND PAY ALL FEES FOR SAID METERS. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AND EROSION CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL BUILDING CODE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING COMPLETE KNOWLEDGE OF EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH THOSE SHOWN ON THE DRAWINGS AND SHALL VERIFY GRADES, CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE DEPICTED IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF ANY DISCREPANCIES FOUND WITHIN THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ACCURACY OF DETAILS; FOR CONFIRMING AND COORDINATING ALL QUANTITIES AND DIMENSIONS; FOR SELECTING FABRICATION PROCESSES; FOR TECHNIQUES OF ASSEMBLY AND PERFORMANCE OF ALL WORK IN A SAFE AND SATISFACTORY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL WORK INCLUDING THAT OF THE SUB-CONTRACTORS. CONTRACTOR SHALL PROVIDE SUPERVISION OF THE JOB DURING ALL PHASES OF CONSTRUCTION ACTIVITIES. A COMPETENT SUPERVISOR SHALL BE SELECTED BY THE CONTRACTOR AND SHALL BE IN CHARGE OF THE JOB UNTIL ITS COMPLETION. CONTRACTOR AGREES TO BIND EVERY SUB-CONTRACTOR BY THE TERMS OF THE CONTRACT AS FAR AS SUCH TERMS ARE APPLICABLE TO THE SUB-CONTRACTOR'S WORK.
- CONTRACTORS SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL DEBRIS ACCUMULATED AS A RESULT OF THEIR OPERATIONS. ALL SCRAP DEBRIS AND OTHER EXCESS MATERIAL SHALL BE LAWFULLY REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE CONTRACTOR.
- CONTRACTOR SHALL GUARANTEE ALL WORK, MATERIALS AND PRODUCTS FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK AND CONTRACTOR SHALL REPAIR OR REPLACE, OR CAUSE TO BE REPAIRED OR REPLACED ANY OR ALL SUCH WORK TOGETHER WITH ANY OTHER WORK WHICH MAY BE DISPLACED IN DOING SO, THAT MAY PROVE DEFECTIVE WITHIN ONE YEAR, WITHOUT ADDITIONAL EXPENSE, ORDINARY WEAR AND TEAR, UNUSUAL ABUSE OR CHARGE OVER THE ACTS OR OMISSIONS, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS, OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
- THAT IS RESPONSIBILITY OF CONTRACTOR TO PROVIDE MATERIALS AND CONSTRUCTION WHICH WILL YIELD A REASONABLE VALUE OVER A PERIOD OF TIME WHICH MAY EXCEED THE SPECIFIED GUARANTEE AND WARRANTY PERIODS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR A WEATHER TIGHT BUILDING, FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP. EACH SUB-CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE STATING THAT WORK EXECUTED BY HIM IS FREE AND WILL REMAIN FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE OF HIS WORK BY OWNER, AND THAT REPAIR AND REPLACEMENT OF SUCH DEFECTIVE WORK AND ALL OTHER WORK DAMAGED AS A RESULT THEREBY WILL BE EXECUTED IN A TIMELY MANNER AT THE CONVENIENCE OF THE OWNER AND WITHOUT COST TO OWNER.
- THE ARCHITECT WILL NOT ACT AS THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION. ARCHITECT WILL ADVISE AND CONSULT WITH OWNER. ARCHITECT WILL OBSERVE CONSTRUCTION PER HIS AGREEMENT WITH OWNER AND RENDER INTERPRETATIONS NECESSARY FOR THE PROPER EXECUTION OR PROGRESS OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. ARCHITECT WILL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS, OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
- ANY VERBAL INSTRUCTION OR AUTHORIZATION THAT IS CONFIRMED BY LETTER, MEETING NOTE, MEMORANDA, OR THE LIKE, (WITH A COPY SENT TO THE OWNER, OR THE OWNER'S REPRESENTATIVE) & THERE IS NO EXCEPTION TAKEN WITHIN (10) CALENDAR DAYS, SHALL BE DEEMED EQUIVALENT TO RECEIPT OF WRITTEN INSTRUCTION, APPROVAL AND AUTHORIZATION FROM THE OWNER.
- OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED TO THE MUTUAL SATISFACTION OF THE OWNER, ARCHITECT AND CONTRACTOR. BEFORE ANY CHANGES ARE BEGUN, THE ADDED OR DEDUCTED SUM SHALL BE PRESENTED TO OWNER IN WRITING FOR APPROVAL.
- SUBSTITUTIONS OF MATERIALS OR METHODS PROPOSED BY THE CONTRACTOR OR HIS SUB-CONTRACTORS CONTRARY TO DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO ARCHITECT IN WRITING FOR APPROVAL OR DENIAL. IF MORE THAN ONE MANUFACTURER IS SPECIFIED IN THE PLANS OR SPECIFICATIONS, IT SHALL BE THE CONTRACTOR'S OPTION TO SELECT THE ONE WHICH HE MAY DESIRE. IF MORE THAN ONE FINISH OR STYLE IS AVAILABLE IN THE ITEM SPECIFIED, CONTRACTOR SHALL BE OBLIGATED TO NOTIFY ARCHITECT VERBALLY AND IN WRITING OF THIS FACT FOR ARCHITECT'S AND OWNER'S DECISION.
- THESE DRAWINGS AND SPECIFICATIONS SHALL BE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A CONSTRUCTIBLE BUILDING. PARTS AND DETAILS NOT FULLY SHOWN OR DESCRIBED SHALL BE DETAILED AND EXECUTED ACCORDING TO STANDARD FIRST CLASS PRACTICE AND IN SIMILAR MANNER AND SPIRIT OF THE DETAILS WHICH ARE SHOWN ON THE DRAWINGS AND/OR DESCRIBED IN THE PROJECT MANUAL. IF CONTRACTOR OR SUB-CONTRACTOR FINDS ANY DETAILS WHICH, IN HIS OPINION, ARE UNSOUND, UNSAFE, OR NOT WATERPROOF, IT IS HIS DUTY TO NOTIFY ARCHITECT IN WRITING OF THIS FACT. IF WORK IS PERFORMED AS DETAILED, IT WILL BE ASSUMED THAT THERE ARE NO OBJECTIONS TO THE DETAIL. ACCURACY OF ALL DIMENSIONS SHALL BE CHECKED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS.
- IN USING THESE PLAN FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK, EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES. IN CASE OF CONFLICTS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE TO APPLY THE MORE STRINGENT STANDARD.
- THESE PLANS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL, AND THE ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR CLARIFICATION AND INFORMATION. ERRORS AND OMISSIONS ARE TO BE EXPECTED AND ANTICIPATED, AND ALL CONTRACTORS ARE REQUIRED TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS AND TO BRING THESE ERRORS AND OMISSIONS TO THE ATTENTION OF A APPROPRIATE OWNER & ARCHITECT IN WRITING IN A TIMELY MANNER, AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES. SCALED DIMENSIONS SHOULD BE CONSIDERED ONLY APPROXIMATE; AND IN ANY DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION.
- FIGURED DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE, AND DETAIL DRAWINGS IN PREFERENCE TO SMALL SCALE DRAWINGS. SUB-CONTRACTOR AND CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD PRIOR TO ANY WORK BEING CONSTRUCTED OR MATERIALS OR PRODUCTS FABRICATED OR ORDERED. SPECIFICATIONS AND WRITTEN NOTES AND SCHEDULES ON DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO INFORMATION FURNISHED IN THE FORM OF LINE DRAWINGS. DETAILED DRAWINGS FURNISHED DURING CONSTRUCTION OR APPROVED BY CONTRACTOR OR ARCHITECT ARE TO BE CONSIDERED EXPLANATORY AND NOT AS CHANGES TO DRAWINGS AND SPECIFICATIONS. NOTES, FIGURES AND DETAILS ON SAID DRAWINGS SHALL BE FOLLOWED AND EXECUTED AS IF PART OF THESE DOCUMENTS.
- ERRORS OR OMISSIONS WHICH APPEAR ON THE DRAWINGS, IN SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR AND TO THE CONTRACTOR BY THE SUB-CONTRACTOR IN WRITING. IN EVENT OF FAILURE OF SUB-CONTRACTOR TO GIVE SUCH WRITTEN NOTIFICATION BEFORE CONSTRUCTION OR FABRICATIONS OF THE WORK, HE WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COSTS OF RECTIFYING SAME, HOWEVER, DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND WORK CALLED FOR ON ONE AND NOT THE OTHER SHALL BE PROVIDED AS THOUGH FULLY SET FORTH IN BOTH.
- AT ALL TIMES DURING CONSTRUCTION ACTIVITIES OR ERECTION OF PROJECT OR ITS COMPONENT PARTS, PRIOR TO COMPLETION OF THE STRUCTURAL FRAME OR REPLACEMENT AND PERMANENT CONNECTION OF COMPONENT MEMBERS TO THE STRUCTURAL FRAME, SUB-CONTRACTORS SHALL PROVIDE, INSTALL AND MAINTAIN PROPERLY DESIGNED AND CONSTRUCTED TEMPORARY BRACING OF ADEQUATE STRENGTH TO PREVENT DISLOCATION, DISTORTION, CRACKING, FALLING OFF, OR ANY OTHER DAMAGE TO WORK OR ANY OF ITS COMPONENT PARTS DUE TO FORESEEABLE NORMAL AS WELL AS NOT FORESEEABLE EXCESSIVE WIND AND EARTHQUAKE FORCES WITHOUT ADDITIONAL COST TO OWNER. CONTRACTOR AND HIS SUB-CONTRACTORS SHALL, AT THEIR EXPENSE, REPLACE OR REPAIR, AS DIRECTED, DAMAGED PORTIONS OF THEIR WORK OR COMPONENT PARTS.
- NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT/ ENGINEER WHOSE SIGNATURE APPEARS HERON.
- NO FRAMING OF ANY TYPE TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
- REFERENCES TO ANY DETAIL OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
- MAXIMUM FLOW RATE STANDARDS SET BY THE CURRENT CALIFORNIA GREEN CODE - G.C. TO VERIFY PRIOR TO PURCHASE AND INSTAL. OF ANY FIXTURES.
- EXTERIOR DECKS, BALCONIES, AND STAIRWAYS SEALED UNDERNEATH SHALL BE WATERPROOFED- ARCH. TO APPV. METHOD OF WATERPROOFING - G.C. TO SUBMIT SPECIFICATIONS.
- MAX. TEMP. OF 120° TO BE APPROVED BY THE USE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES TYP. @ SHOWERS & TUBS.
- THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY MAINTENANCE INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS, AND MANUFACTURED INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS AND MANUFACTURED DEVICES THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT OPERATION. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING, BY TITLE AND/OR PUBLICATION NUMBER, THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF FEATURE, MATERIAL, COMPONENT, OR MANUFACTURED DEVICE.
- AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS FOR WHICH THE BUILDING PERMIT WAS ISSUED. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED R-VALUE.
- DISTANCE FROM THE FACE OF FOUNDATION TO PROPERTY LINE TO BE ZONING SETBACK PLUS WALL FINISH THICKNESS.
- MIN. 5/8" TYPE 'X' MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL BATHROOMS AND KITCHENS
- INSPECTOR TO REVIEW AND APPROVE UNDERGROUND ELEC. SERVICE PRIOR TO CONCRETE PLACEMENT.
- FACTORY-BUILT FIREPLACES, CHIMNEYS, AND ALL OTHER COMPONENTS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING.
- FIREPLACE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY-BUILT CHIMNEY SYSTEMS AND ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

PROVIDE A PERMANENTLY ANCHORED GASEOUS FUEL BURNING PAN TO THE FIREBOX IN A SOLD FUEL BURNING FIREPLACE.

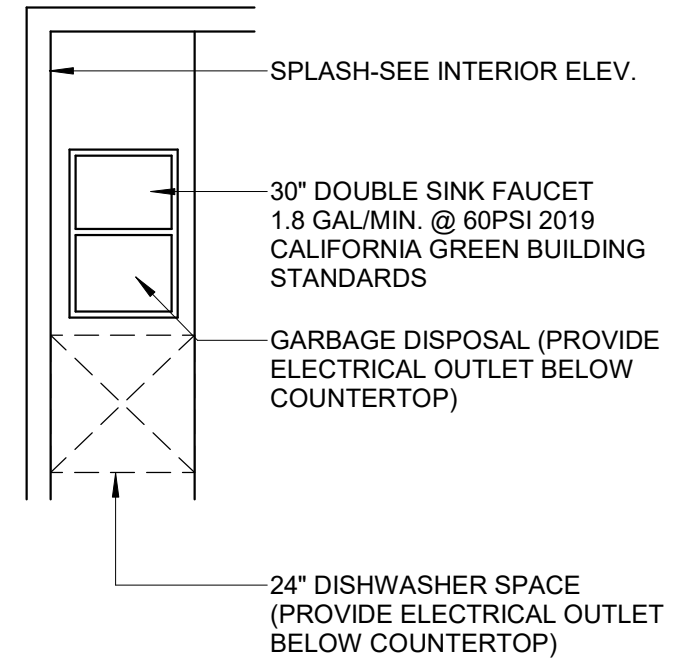
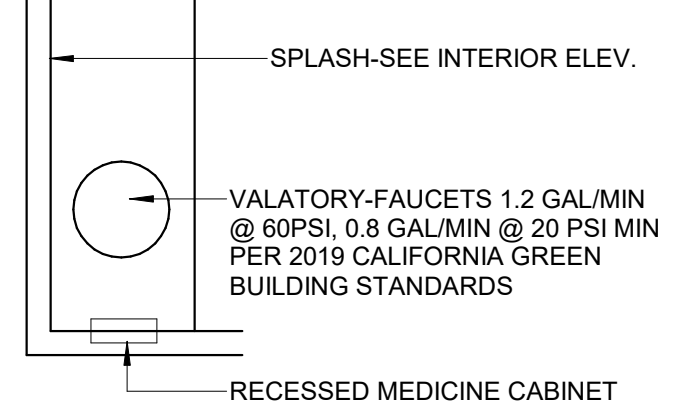
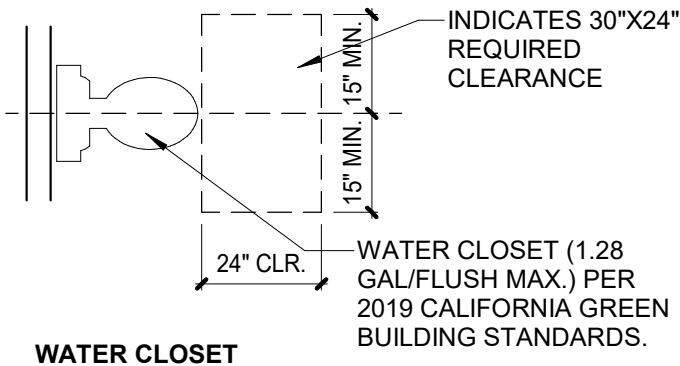
SOLID FUEL BRUNING FIREPLACE MUST COMPLY WITH THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES: " GAS APPLIANCE FIREPLACE MUST COMPLY WITH THE CALGREEN CODE REQUIREMENTS."

GENERAL CONTRACTOR, CONTRACTORS, SUB-CONTRACTORS AND BUILDERS TO COORDINATE ALL ENGINEERING AND MECHANICAL DRAWINGS WITH ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH WORK. IF DISCREPANCIES ARE APPARENTLY OBSERVED OR INFORMATION APPARENTLY IS THOUGHT TO BE MISSING, NOTIFY ARCHITECT WITHIN 24 HOURS WITH SKETCH, DRAWING, PDF, PHOTOCOPIES WITH LEGIBLE HAND WRITTEN NOTES AND/OR WRITING (FAX, EMAIL OR CORRESPONDENCE) IF CONFLICT WITH EXISTING CONDITIONS. PROVIDE DOCUMENTATION (PHOTOS, SKETCHES, DWGS) OF EXISTING CONDITIONS AND SUGGEST PROPOSAL(S) FOR SOLUTION (SKETCH, DRAWING, AND/OR WRITING).

30. ISSUANCE OF A BUILDING PERMIT DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

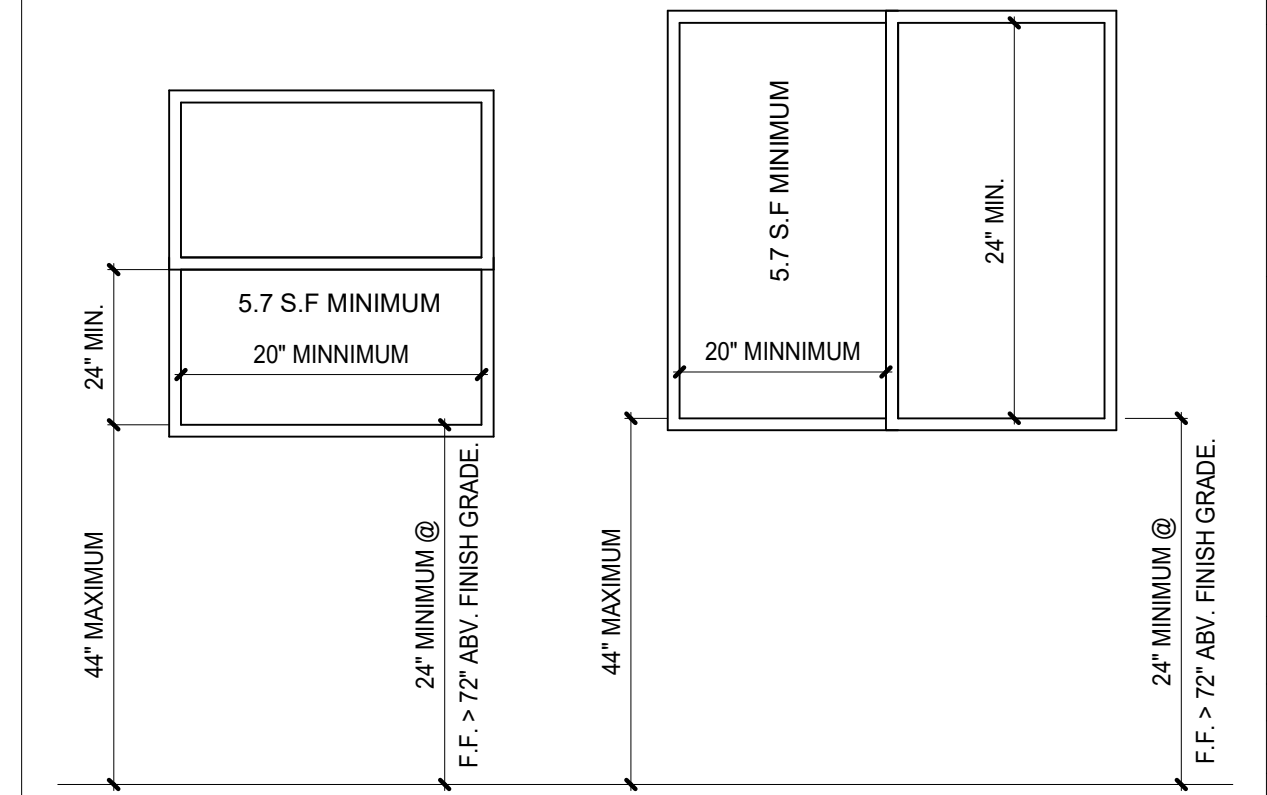


**TYPICAL FIXTURE SYMBOLS**

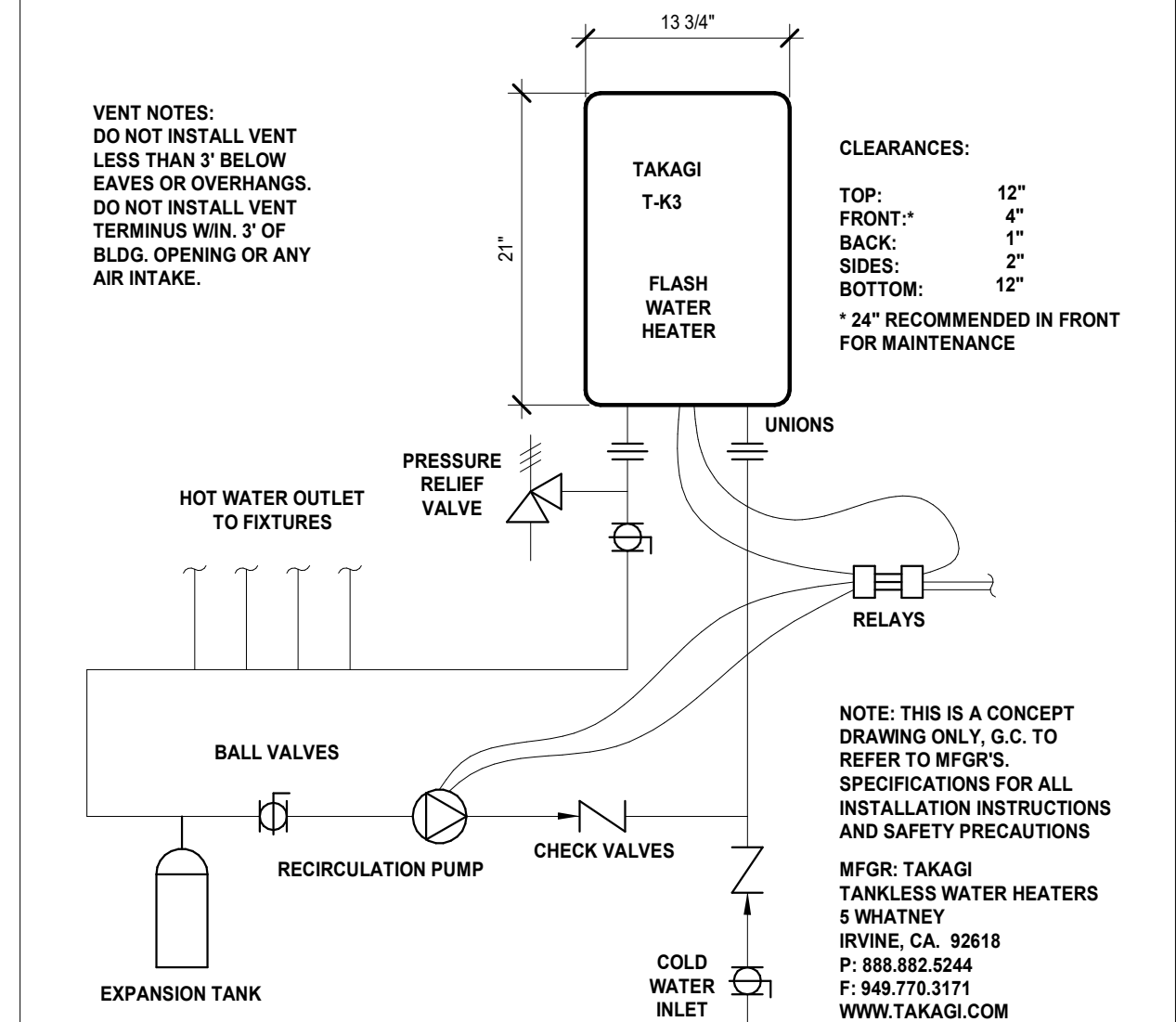


**KITCHEN SINK/GARBAGE DISPOSAL**

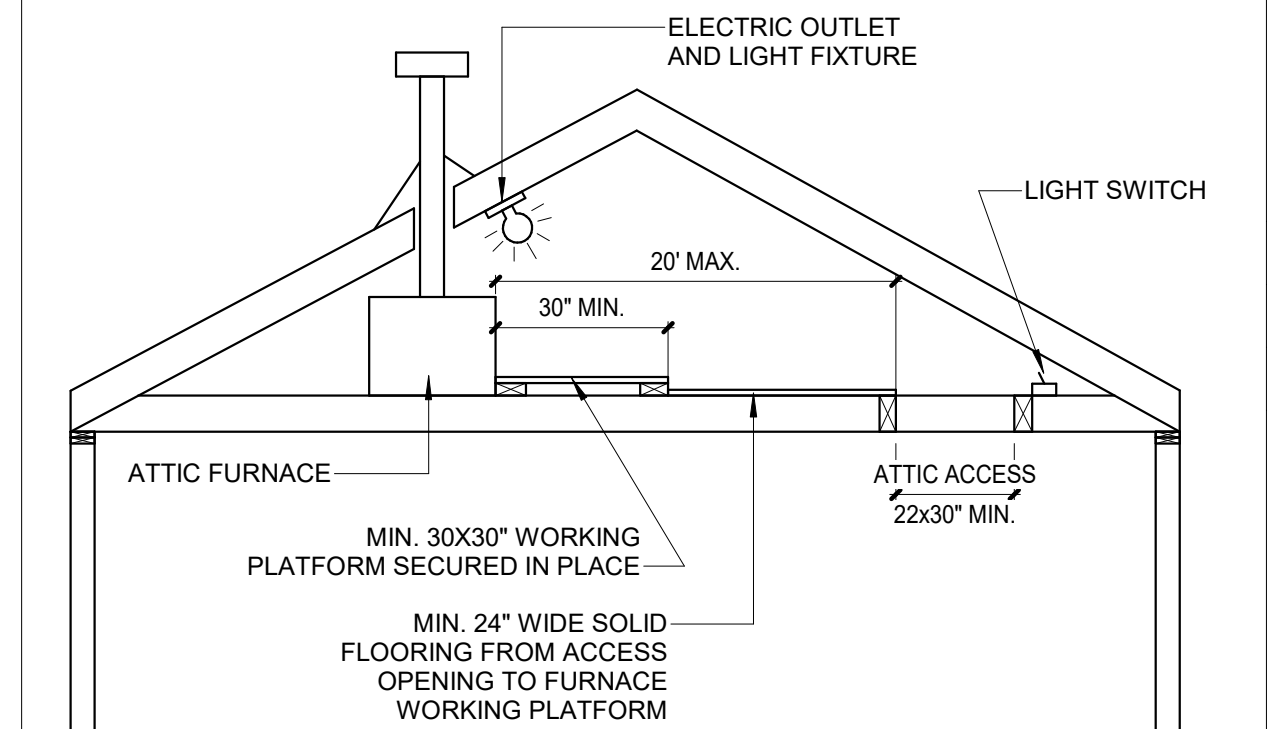
- WINDOW MANUFACTURER AND INSTALLER SHALL INSURE THAT ALL WINDOWS MEET OR EXCEED ALL EGRESS REQUIREMENTS OF CRC R310 & R312
- ALL WINDOWS AND SLIDING GLASS DOORS SHALL BE INSTALLED PER AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION AAMA 2400-02 RECOMMENDATIONS "STANDARD PRACTICE FOR INSTALLATION OF WINDOWS WITH INTEGRAL MOUNTING FLANGES IN STUD FRAME CONSTRUCTION".
- INSTALL AN ISOLATION MEMBRANE BELOW THE THRESHOLD OF ALL SLIDING GLASS DOORS THAT REST ON A CONCRETE SLAB.
- ALL SEALANT SHALL BE OF HIGH QUALITY AND REVIEWED OFR COMPATIBILITY WITH ASPHALTIC MEMBRANES AND FLASHING MATERIAL.



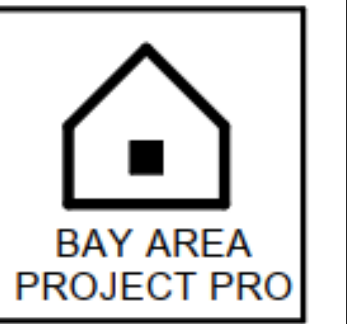
**GENERAL WINDOW NOTES**



**ON DEMAND WATER HEATER**  
1" = 1'-0"



**ATTIC FURNACE REQUIREMENTS**  
3/8" = 1'-0"



**PROJECT CONTACT**  
NAME: MY TRUONG  
PHONE: 408-550-5496  
EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

**CIVIL ENGINEER**  
NAME: DUNG BUI  
ADDRESS: 2021 THE ALAMEDA SUITE 360, SAN JOSE, CA 95126  
PHONE: 408-621-0114  
EMAIL: DB.ENGINEERING@GMAIL.COM

**REVISION**

ID	DATE	BY
1	2021/06/24	PLAN CHECK
2	2023/01/09	PLAN CHECK
3	2023/08/02	PLAN CHECK

**GENERAL NOTES & DETAILS**

**NEW SINGLE FAMILY RESIDENCE**

Monterey Highway, San Martin, CA 95020

DATE: **2024-04-05**

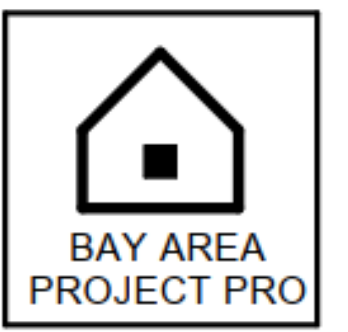
SCALE AS SHOWN

DRAW BY: **HN**

JOB NO : **#116**

DRAWING NO :

**A0.04**



**PROJECT CONTACT**  
 NAME: MY TRUONG  
 PHONE: 408-550-5496  
 EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

**CIVIL ENGINEER**  
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**REVISION**

ID	DATE	BY
1	2021/06/24	PLAN CHECK
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**PROPOSED FLOOR PLANS**

**NEW SINGLE FAMILY RESIDENCE**

Monterey Highway, San Martin, CA 95020

DATE: 2024-04-05

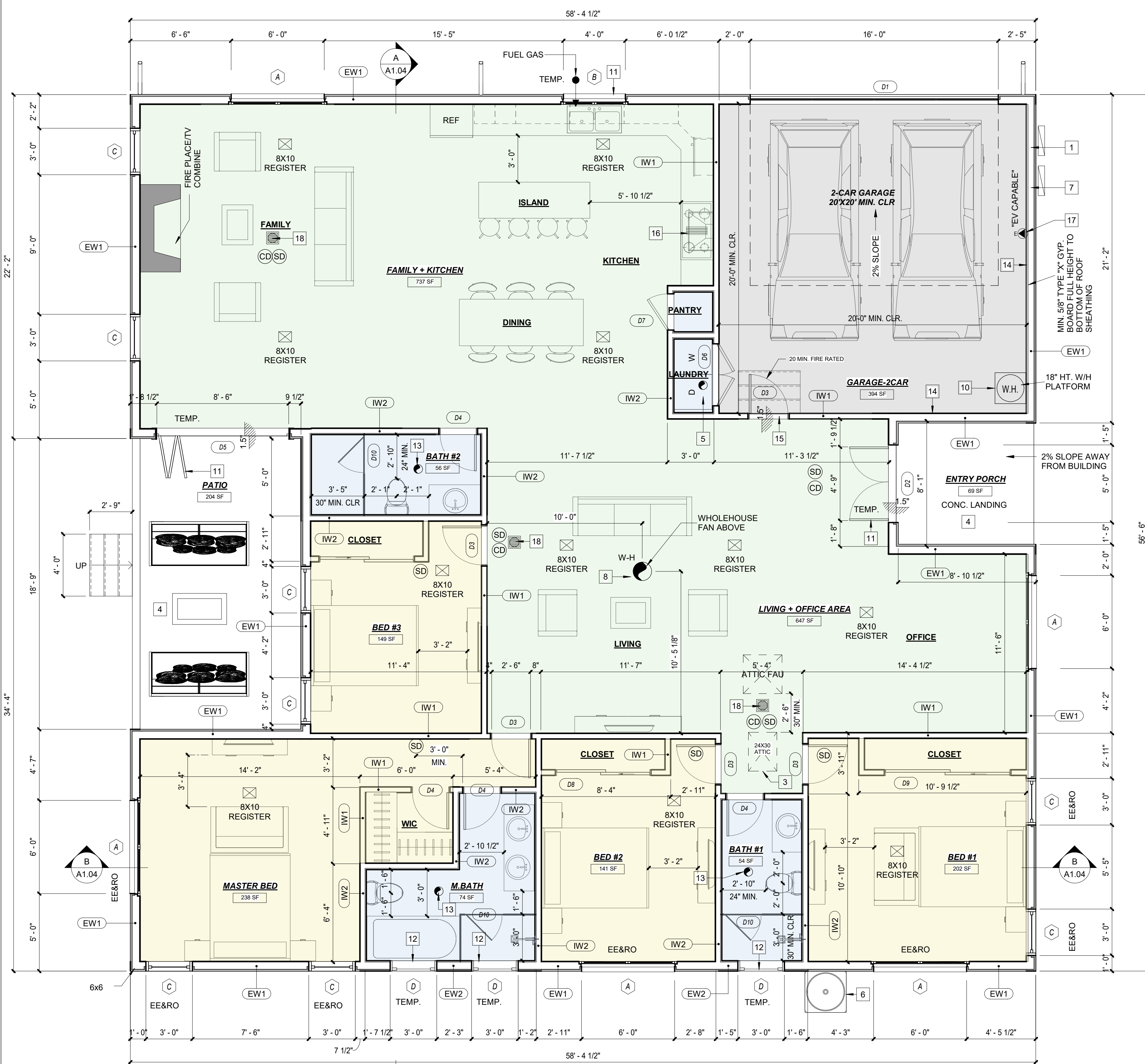
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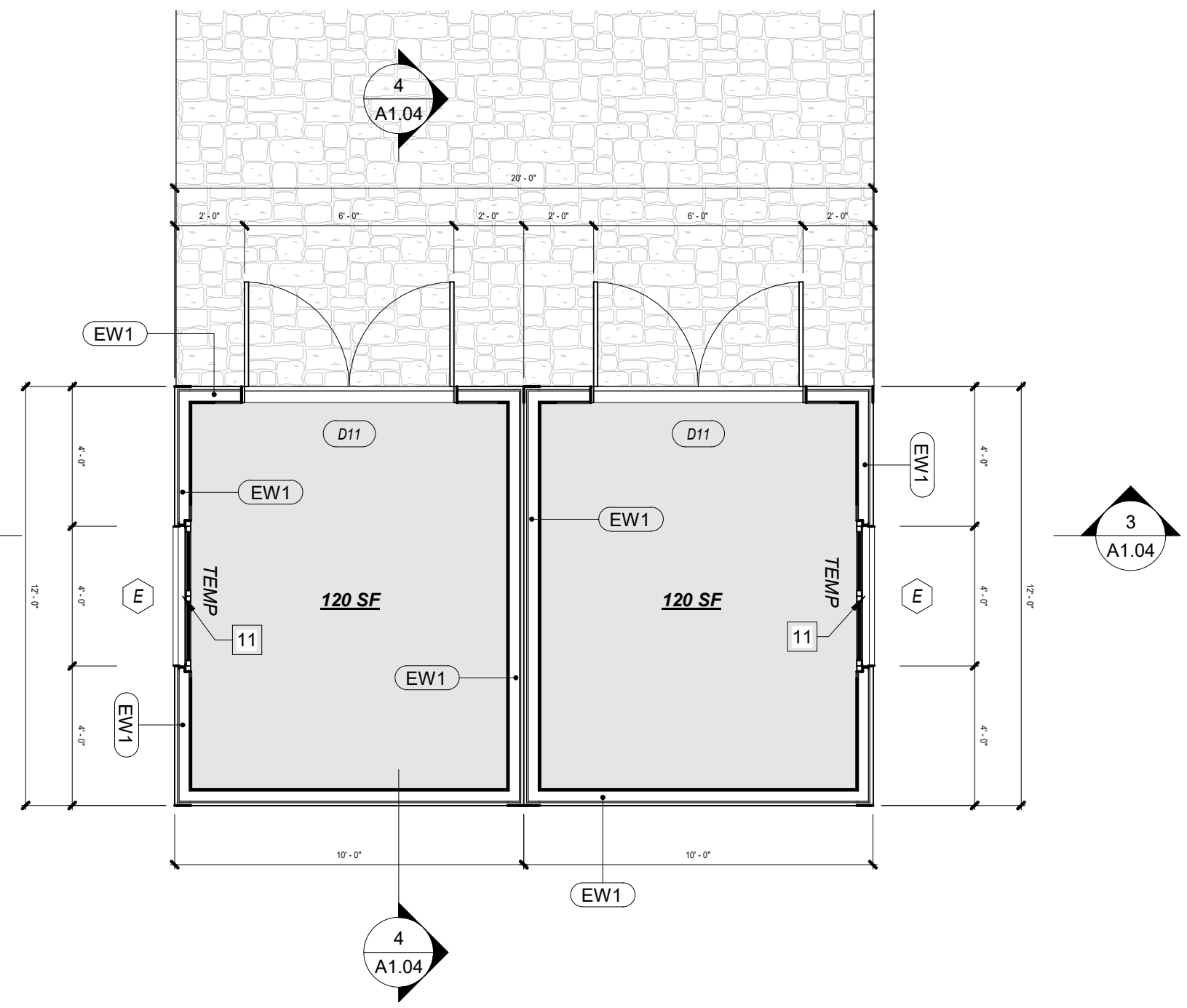
JOB NO : **#116**

DRAWING NO :

**A1.01**



**SFR - PROPOSED FLOOR PLAN**  
 1/4" = 1'-0"



**STORAGE ONE STORY**  
 1/4" = 1'-0"

**GENERAL NOTES**

- VERIFY ALL APPLIANCE EQUIPMENT AND FIXTURE DIMENSIONS AND INSTALLATION REQUIREMENTS PRIOR TO CASEWORK FABRICATION INSTALLATION.
- FINISH END WALLS OF CABINETS FLANKING OPENING TO MATCH CABINET FACE. PRIME & PAINT EXPOSED GYP. BD. WALL TO MATCH WALLS. INSTALL MATCHING BASE BD.
- EXTEND FLOORING UNDER APPLIANCES RESTING ON FLOOR.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATH TUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET.
- OFFSET ALL IMMEDIATELY ADJACENT DOOR OPENINGS 4" FROM PERPENDICULAR WALL, UNO.
- CEILING HEIGHTS INDICATED ARE FROM TOP OF SLAB OR FLOOR FILL TO BOTTOM OF FINISH.
- SMOKE DETECTORS WILL BE PROVIDED PER CHAPTER 3 CRC. THE SMOKE DETECTOR WILL BE HARD WIRED WITH BATTERY BACK-UP AND LOCATED (1) IN EACH BEDROOM, HALLWAYS OUTSIDE BEDROOMS, AND ON EACH STORY. SMOKE DETECTOR ALARM SOUND MUST BE AUDIBLE IN SLEEPING AREAS WHICH MAY REQUIRE INTERCONNECTED SMOKE DETECTORS WITHIN THE UNIT. SEE UTILITY PLANS FOR LOCATIONS. INSTALL AND LOCATE PER MFG. LISTED REQUIREMENTS.
- PROVIDE CARBON MONOXIDE DETECTOR ALARMS ON CEILINGS OR WALLS OUTSIDE SLEEPING ROOMS PER CHAPTER 3 CRC.
- BATHROOM FANS MUST BE ENERGY STAR W/ HUMIDISTAT CONTROLLER AND MUST BE DUCTED TO THE EXTERIOR OF THE BUILDING.
- ALL NEW WINDOWS TO BE DUAL PANES TO MEET CURRENT ENERGY STANDARD REQUIREMENTS.
- USE 2x6 STUDS FOR PLUMBING WALL IF NECESSARY
- CEILING HEIGHTS INDICATED ARE MEASURED FROM FINISH FLOOR TO BOTTOM OF CEILING FINISH.
- PROVIDE BACKING FOR ALL ACCESSORIES, FIXTURES AND WINDOW COVERINGS.
- NO HEATING, COOLING, OR INSULATION IN GARAGE

**LEGENDS**

- ⊗ DOOR TYPE, SEE SCHEDULE A1.05
- ⊗ WINDOW TYPE, SEE SCHEDULE A1.05
- ⊗ KEY NOTE
- 1.5" FLOOR DEPRESSION
- EE&RO EGRESS ESCAPE AND RESCUE OPENING

**CRAWLSPACE VENTILATION**

FLOOR AREA 2,600 SF  
 2,600/150 = 17.3 SQ. FT. OPEN VENTILATION AREA  
 (17.3X144 = 2,491 SQ.IN)  
 USE 14.5X5.5 VENT , NEED 32 UNITS (8 AT EACH SIDE OF HOUSE)  
 VENTS SHALL BE WITHIN 3FT OF BLDG. CORNER & 18" WIRED MESH WEEP SCREED  
 4" ABOVE GRADE OR 2" ABOVE PAVED AREA (TYP.)

**FLOOR PLAN LEGEND**

- ⊗ EXHAUST FAN 50CFM W/HUMIDITY SENSOR
- W-H WHOLE-HOUSE VENTILATION FAN
- ⊗ SMOKE DETECTOR WITH BATTERY BACK-UP
- ⊗ CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP
- ⬆ ELECTRIC VEHICLE CHARGER
- ⬆ FUEL GAS
- 100CFM 100CFM FAN FOR GAS COOKTOP
- ⊗ 8X10 CEILING AIR REGISTER
- IAQ FAN, PANASONIC FV-0511VKS2 WHISPERGREEN (25CFM) OR EQUAL

**UNIT PLAN KEYNOTES**

- |   |  |
|---|--|
| 1 (N) ELECTRICAL PANEL  | 10 (N) TANK WATER HEATER   |
| 2 (N) WATER HEATER ON 18" HT. PLATFORM; SEE SEISMIC STRAPPING OF WATER HEATER   | 11 TEMPERED GLASS  |
| 3 (N) 22X30 ATTIC ACCESS  | 12 OBSCURED, TEMPERED GLASS  |
| 4 (N) LANDING, 1 1/2" BELOW THRESHOLD, MINIMUM 36" IN DEPTH.  | 13 EXHAUST FAN FOR BATHROOM SHALL BE MIN. 50 CFM AND CONTAIN HUMIDISTAT (EXHAUST THROUGH ROOF)   |
| 5 MIN. 4" DIA. TO THE OUTSIDE, EQUIPPED WITH A BACK DRAFT DAMPER. DUCT LENGTH OR SIZES AS PERMITTED OR REQUIRED BY MANUFACTURERS INSTALLATIONS AND APPROVED BY THE BUILDING OFFICIAL. | 14 5/8" TYPE "X" GYPSUM BOARD ALL WALLS, CEILINGS, BEAMS, POSTS AND COLUMNS, SMOOTH FINISH TYPICAL AT GARAGE   |
| 6 (N) AC / HEATING UNIT CONDENSER   | 15 DOOR BETWEEN GARAGE AND LIVING AREA SHALL BE 20 MIN. RATED 3/8" SOLID CORE WOOD DOOR WITH CLOSER AND LATCHING HARDWARE, SMOKE SEAL @ JAMB, HEAD @ METAL THRESHOLD |
| 7 (N) ELECTRICAL METER  | 16 36" COOKTOP, HOOD OVER GAS RANGE SHALL BE 70% CE OR 180 CFM. VERIFY DIMENSIONS AND POWER REQUIREMENTS WITH MANUFACTURER'S SPECIFICATIONS.                         |
| 8 WHOLE HOUSE FAN, CFM PER T-24   | 17 MEANS FOR FUTURE INSTALLATION AND USE OF ELECTRIC VEHICAL (EV) CHARGING   |
| 9 ELECTRICAL VEHICLE CHARGING STATION LOCATION -240V OR 280V, 40A EVSE HEIGHT MIN. 4FT FROM FLOOR   | 18 PANASONIC FV-0511VKS2 WHISPERGREEN ( 25CFM ) OR EQUAL .FAN IS CONT. OPERATING WITH A SONAR RATING OF 1.0 MAX  |

**2019 CALIFORNIA GREEN BUILDING STANDARDS**

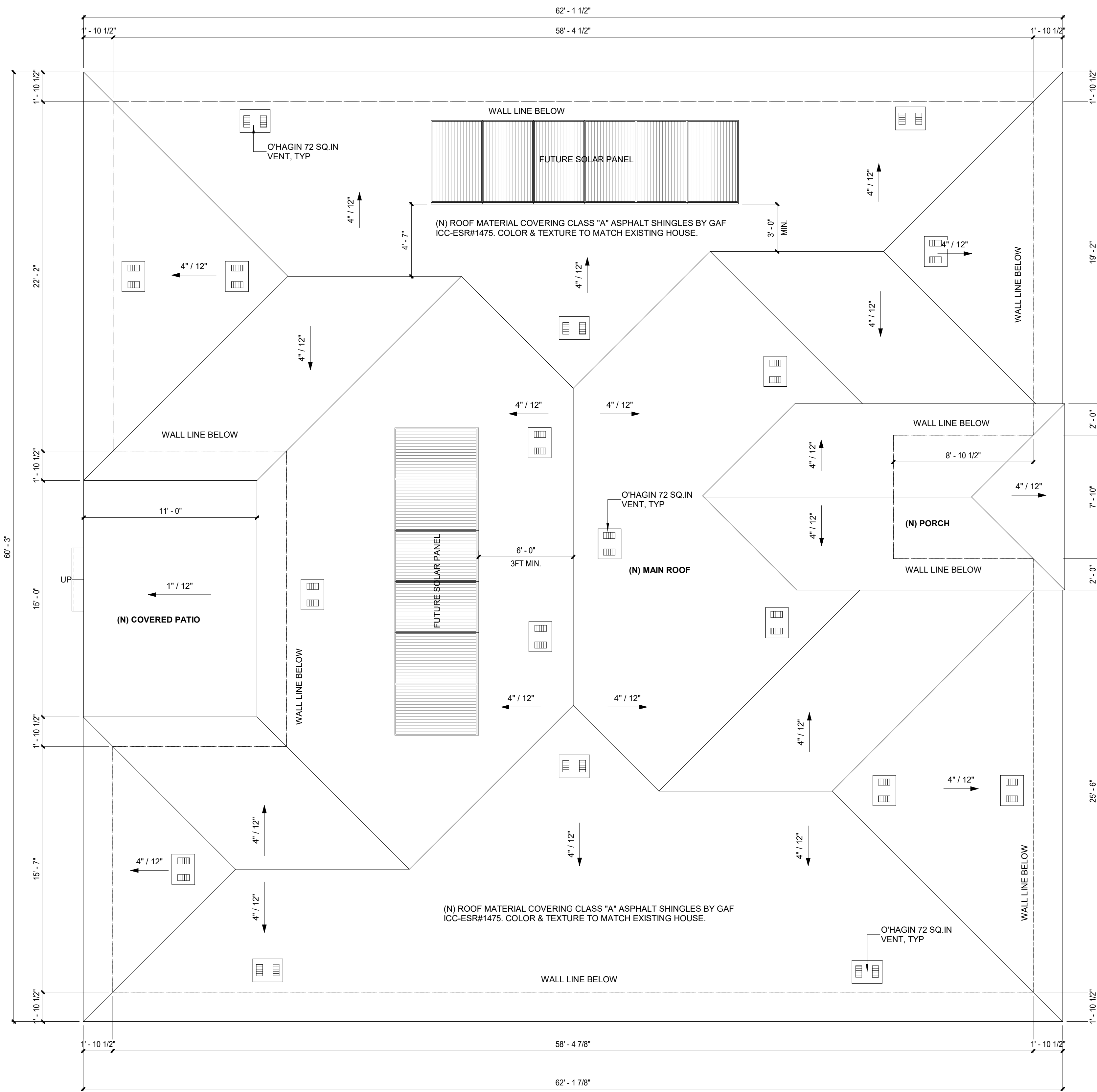
**SECTION 4.106.4.1 NEW ONE AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES**

FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

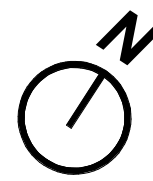
**4.106.4.1.1 IDENTIFICATION**

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE. SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

CA TITLE 24 2019-RESIDENTIAL LIGHTING  
 -ALL IN-UNIT FIXTURES TO BE HIGH EFFICACY.  
 -ALL INSEPERABLE LED'S TO BE JA8 APPENDIX APPROVED.  
 -ALL MEDIUM BASED + GU24 LED LAMPS TO BE JA8-2016-3 APPROVED (WITH MARKINGS)  
 -ALL RESESSED DOWNLIGHTS TO BE JA8 APPENDIX APPROVED  
 -DOCUMENTATION FOR THE ABOVE JA8 + JA8-2016-E REQUIREMENTS SHALL BE PROVIDED DURING SUBMITTAL PROCESS.  
 -ALL FORWARD PHASE CUT DIMMERS USED WITH LED SHALL COMPLY WITH NEMA SSL 7A



**SFR - ROOF PLAN**  
1/4" = 1'-0"



**ROOF VENTILATION NOTES: (CRC R806)**

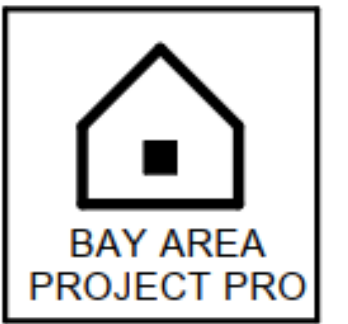
- ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE AT LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED W/ CORROSION-RESISTANT WIRE CLOTH SCREENING. HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQ'TS. OF CRC R802.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.
- THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 IF ONE OR MORE OF THE FOLLOWING ARE MET: 1. IN CLIMATE ZONES 14 & 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. 2. AT LEAST 40% AND MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE LOCATION OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST OF THE SPACE SHALL BE PERMITTED.
- WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF A 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHTG. AND AT THE LOCATION OF THE VENT.
- VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MFR'G'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN ROOF SYSTEMS SHALL BE IN ACCORDANCE W/ THE REQ'TS. OF SECTION R903. INSTALLATION OF VENTILATORS IN WALL SYSTEMS SHALL BE IN ACCORDANCE W/ THE REQ'TS. OF SECTION R703.1.
- UNVENTED ATTIC ASSEMBLIES (SPACES BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTERS) AND UNVENTED ENCLOSED RAFTER ASSEMBLIES (SPACES BETWEEN CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBER/RAFTERS AND THE STRUCTURAL ROOF SHTG. AT THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS) SHALL BE PERMITTED IF ALL OF THE FOLLOWING CONDITIONS ARE MET:
  - THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE.
  - NO INTERIOR CLASS I VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED RAFTER ASSEMBLY.
  - WHERE WOOD SHINGLES OR SHAKES ARE USED, A MIN. 1/4" VENTED AIR SPACE SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHTG.
  - IN CALIFORNIA CLIMATE ZONES 14 & 16, ANY AIR-IMPERMEABLE INSULATION SHALL BE A CLASS II VAPOR RETARDER, OR SHALL HAVE A CLASS III VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT W/ THE UNDERSIDE OF THE INSULATION (SEE TITLE 24, PART 6, FIG. 100.1-A)
  - EITHER ITEMS 5.1, 5.2 OR 5.3 SHALL BE MET, DEPENDING ON THE AIR PERMEABILITY OF THE INSULATION DIRECTLY UNDER THE STRUCTURAL ROOF SHTG. (NO INSULATION SHALL BE REQ'D. WHEN ROOF TILES, WOOD SHINGLES OR WOOD SHAKES, OR ANY OTHER ROOFING SYSTEM USING BATTENS AND NO CONT. UNDERLAYMENT IS INSTALLED, A CONT. LAYER SHALL BE CONSIDERED TO EXIST IF SHTG., ROOFING PAPER OR ANY CONT. LAYER WHICH HAS A PERM RATE OF NO MORE THAN ONE PERM UNDER THE DRY CUP METHOD.);
    - AIR-IMPERMEABLE INSULATION ONLY. INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/ THE UNDERSIDE OF THE STRUCTURAL ROOF SHTG.
    - AIR-PERMEABLE INSULATION ONLY. IN ADDITION TO THE AIR-PERMEABLE INSULATION INSTALLED DIRECTLY BELOW THE STRUCTURAL SHTG., RIDGE BOARD OR SHEET INSULATION W/ AN R-VALUE OR R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHTG. FOR CONDENSATION CONTROL.
    - AIR-IMPERMEABLE AND AIR-PERMEABLE INSULATION. THE AIR-IMPERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/ THE UNDERSIDE OF THE STRUCTURAL ROOF SHTG. FOR CONDENSATION CONTROL. THE AIR-PERMEABLE INSULATION SHALL BE INSTALLED DIRECTLY UNDER TH AIR-PERMEABLE INSULATION.
  - WHERE PREFORMED INSULATION BOARD IS USED AS THE AIR-IMPERMEABLE INSULATION LAYER, IT SHALL BE SEALED AT THE PERIMETER OF EACH INDIVIDUAL SHEET INTERIOR SURFACE TO FORM A CONT. LAYER.

**ROOF PLAN NOTES**

- THE INSTALLATION OF ROOF COVERING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL DIMS. ARE TO FACE OF STUD (F.O.S.) OR FACE OF SHTG. (F.O.S.) TYP. U.N.O. EAVE DIMS. ARE FROM FACE OF SHTG. TO FACE OF FINISH FASCIA

14/06/2021

Vent Calculator - O'Hagin



**O'Hagin Vent Calculator**

**Step 1: DETERMINE SQUARE FEET OF CODE-REQUIRED VENTILATION**  
Square Feet: 1100 ÷ Compliance Method: 300 =

= Total Square Feet of Code Required Ventilation

**Step 2: CONVERT SQ. FT. OF CODE-REQUIRED VENTILATION TO SQ. IN.**

x 144 = **528** Total Square inches of Code-Required Ventilation

**Step 3: DETERMINE QUANTITY OF O'HAGIN VENTS REQUIRED**

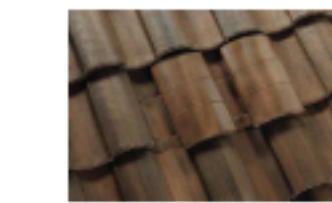
Total Vents Required for sq. inches:

**Tapered Low-Profile**  
72.0 sq. in NFVA



Vents High: **4**  
Vents Low: **4**

**High-Profile Model S**  
97.5 sq. in NFVA



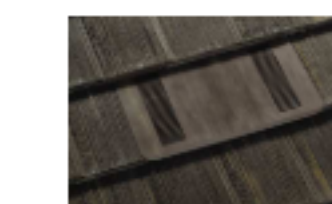
Vents High: **3**  
Vents Low: **3**

**Low/Med Profile Model M**  
86.25 sq. in NFVA



Vents High: **4**

**Low-Profile Model Flat**  
98.75 sq. in NFVA



Vents High: **3**

<https://ohagin.com/vent-calculator/>

1/2

PROPOSED ROOF PLANS

14/06/2021

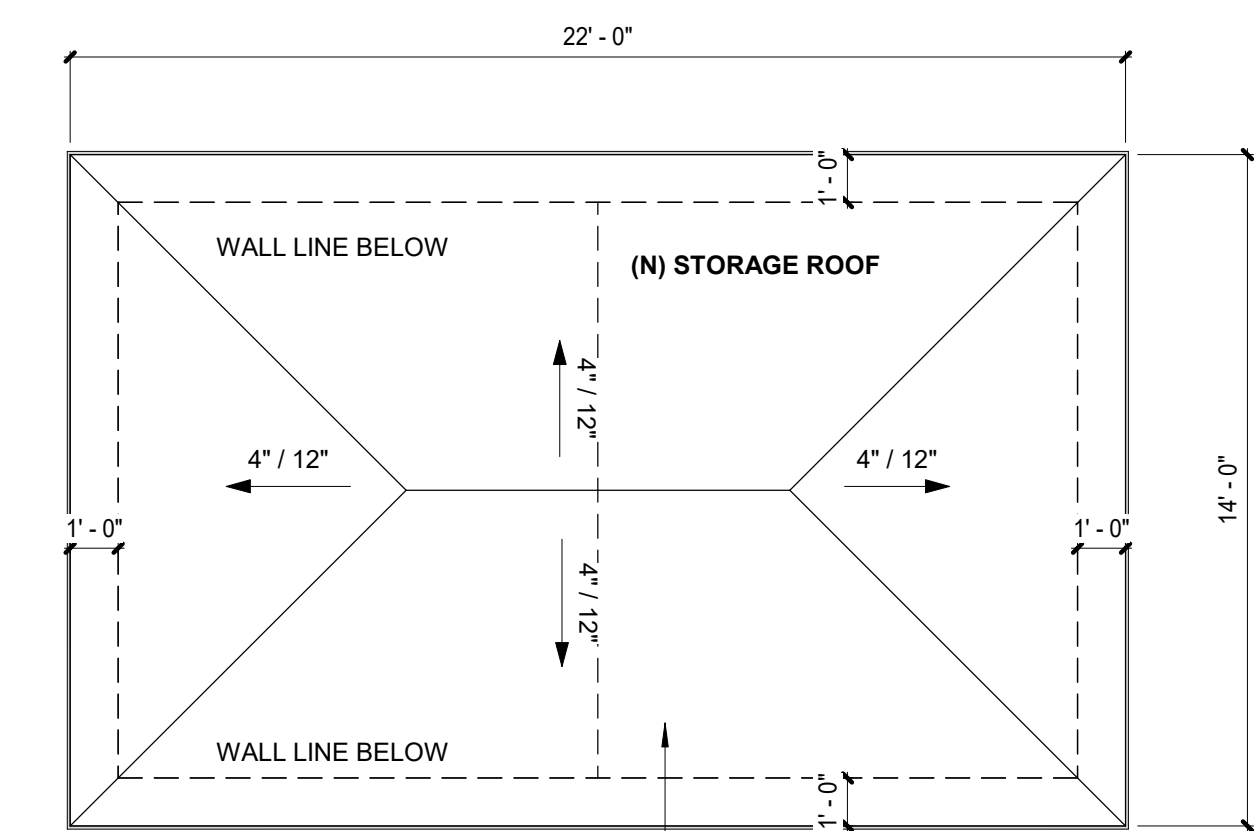
Vent Calculator - O'Hagin

Vents Low: **4**

Vents Low: **3**

**MANUFACTURER'S RECOMMENDATIONS**  
The patented O'Hagin Balanced Ventilation System utilizes O'Hagin vents placed strategically within the field of roofing material both high (near the ridge for exhaust) and low (near the eave for intake). This strategic high and low placement of O'Hagin vents allows the balanced system to fully optimize both wind and thermal effects to provide superior passive ventilation throughout the attic. Additionally, placement of O'Hagin vents both high and low should provide an equal, balanced rate of ventilation performance in each area. **The calculations above do not include any potential Net Free Ventilation Area (NFVA) values provided by alternative ventilation methods that may be present in any specific structural design.**

Visit us online at [Ohagin.com](http://Ohagin.com) for more information or call us at: (877) 324-0444



**STORAGE - ROOF PLAN**  
1/4" = 1'-0"

<https://ohagin.com/vent-calculator/>

2/2

NEW SINGLE FAMILY RESIDENCE

Monterey Highway, San Martin, CA 95020

**PROJECT CONTACT**

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PHONE: 408-550-5496  
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ADDRESS: 2021 THE ALAMEDA SUITE 360, SAN JOSE, CA 95126  
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**REVISION**

ID	DATE	BY
1	2021/06/24	PLAN CHECK
2	2023/01/09	PLAN CHECK
3	2023/08/02	PLAN CHECK

JOB NO : #116

DRAWING NO :

**A1.02**

DATE: 2024-04-05

SCALE AS SHOWN

DRAW BY: **HN**

# ELEVATION KEYNOTES

- 1 (N) STUCCO, PAINT AND MATERIAL TO MATCH EXISTING
- 2 (N) ASPHALT SHINGLES (ESR-1389) OVER 2-15# FELT PAPER OVER 1/2" PLYWOOD. COLOR & TEXTURE TO MATCH EXISTING HOUSE
- 3 (N) FASCIA & TRIMMING - PAINT TO MATCH EXISTING HOUSE
- 4 (N) 2 1/2" VINYL MOLDING TRIM FOR ALL WINDOWS TO MATCH EXISTING HOUSE
- 5 (N) CONCRETE LANDING
- 6 (N) ELECTRICAL PANEL PROPOSED LOCATION
- 7 (N) DORMER, LOUVER, OR SOFFIT VENTS
- 8 (N) SOLAR PANELS
- 9 (N) ELECTRICAL METER PROPOSED LOCATION
- 10 INVERTER AND METERING EQUIPMENT PROPOSED LOCATION. PROVIDE PATHWAY FOR ROUTING FROM THE SOLAR ZONE TO THE MAIN SERVICE PANEL. 1-INCH CONDUIT LINE SHALL BE PROVIDED.
- 11 (N) AC UNIT

## IAQ FAN CALCULATION:

FLOOR AREA 2,600 SF  
 2,600/100 x 1 = 26 CFM  
 4 BEDROOM x 1 + 1 = 5 OCCUPANTS  
 5 x 7.5 = 37.5 CFM  
 CFM (FAN) = 37.5+26 = 63.5 CFM. USE 70 CFM FAN

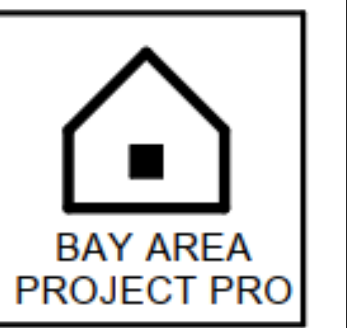
USE THIS FAN MODEL:  
 \*PANASONIC **FV-0511VKS2** WHISPERGREEN 70 CFM, OR EQUAL  
 FAN IS CONT. OPERATING WITH A SONAR RATING OF 1.0 MAX.

# NOTES

1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10' O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES. CRC R302.11.
2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY. CRC R317.2(2).
3. ALL WALLS TO BE SMOOTH FINISH U.N.O.
4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
6. MIN. 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL
7. CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER)
8. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
9. DESIGN BUILT CABINET TO FIT
10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE WOOD MOLDING.
11. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR.
12. EXTERIOR CONCRETE LANDING TO COMPLY 2019 CRC R311.3  
 A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).  
 B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.
13. FIRE PLACE TO COMPLY ICBO #3507 FM1
14. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC R401.3)

# STUCCO NOTES

1. FOR EXTERIOR STUCCO, A WEEP SCREED AT 2" MIN. BELOW THE FOUNDATION PLATE LINE. SCREED SHALL CONFORM TO THE FOLLOWING: 28 SA MIN. CORROSION RESISTANT MATERIAL. 3 1/2" MIN VERTICAL ATTACHMENT FLANGE. 6" MIN. ABOVE GRADE OR 2" ABOVE PAVED AREA.
2. STUCCO LATH & DRYWALL SHALL BE NAILED TO ALL STUD & TOP, BOTTOM PLATES.
3. USE 2 LAYER OR GRADE "D" BUILDING PAPERS BACKING WHEN STUCCO IS APPLIED OVER PLYWOOD FOR EXTERIOR STUCCO.
4. USE 7/8" MIN. THICK 3-COATS APPLICATION ( SCRATCH - BROWN AND FINISH ).



**PROJECT CONTACT**  
 NAME: MY TRUONG  
 PHONE: 408-550-5496  
 EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

**CIVIL ENGINEER**  
 NAME: DUNG BUI  
 ADDRESS: 2021 THE ALAMEDA SUITE 360, SAN JOSE, CA 95126  
 PHONE: 408-621-0114  
 EMAIL: DB.DENGINEERING@GMAIL.COM

REVISION		
ID	DATE	BY
1	2021/06/24	PLAN CHECK
2	2023/01/09	PLAN CHECK
3	2023/08/02	PLAN CHECK

PROPOSED ELEVATIONS

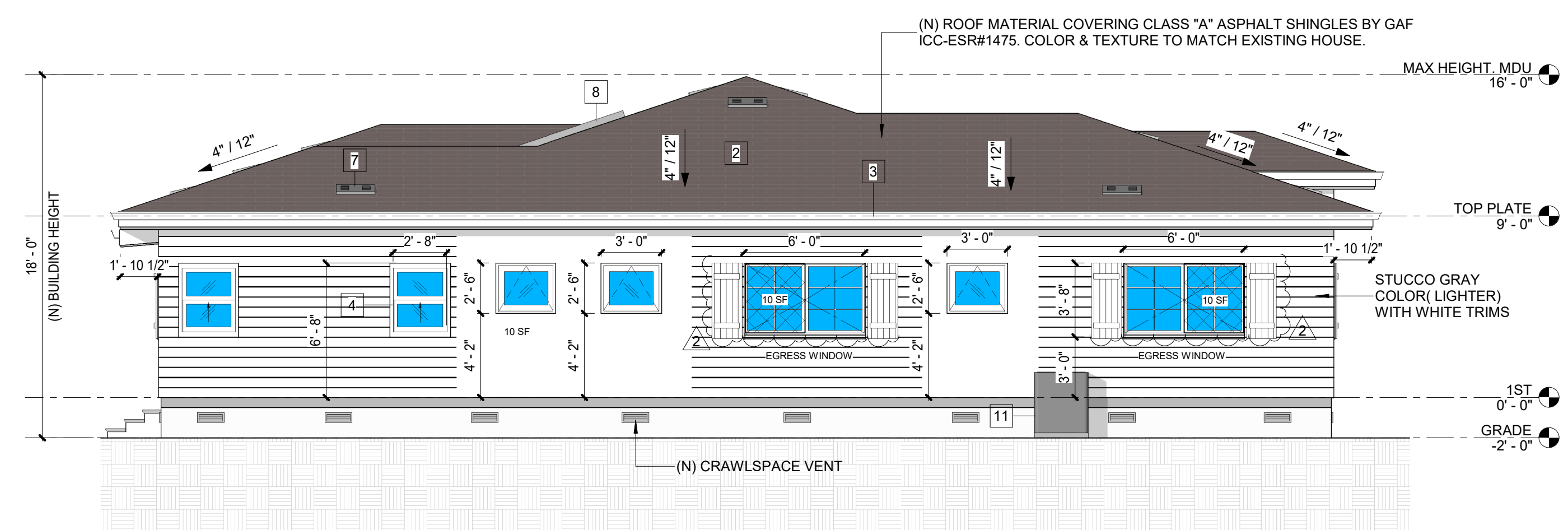
NEW SINGLE FAMILY RESIDENCE

Monterey Highway, San Martin, CA 95020

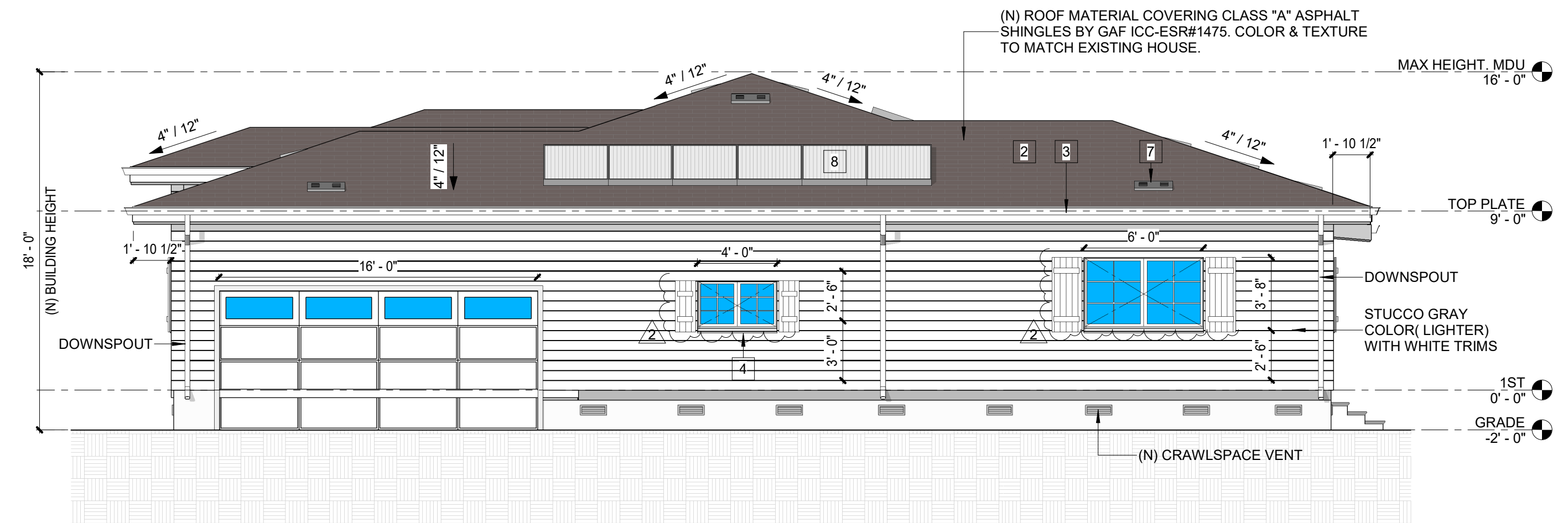
DATE: 2024-04-05  
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 DRAW BY: HN

JOB NO : #116  
 DRAWING NO :

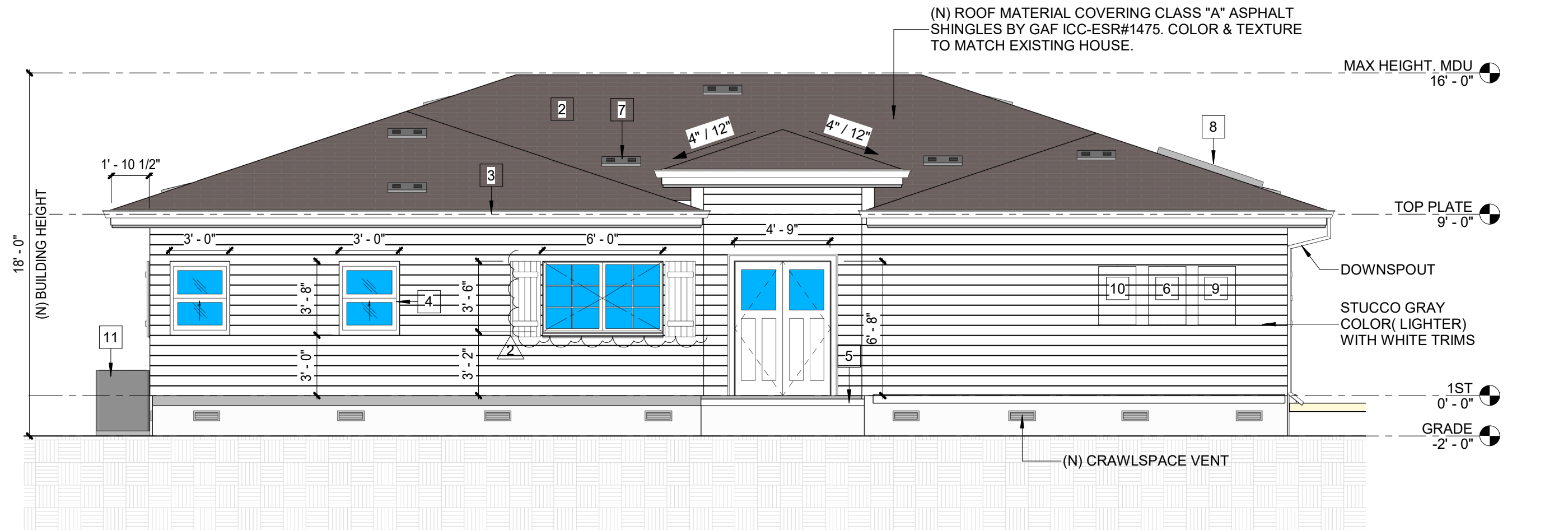
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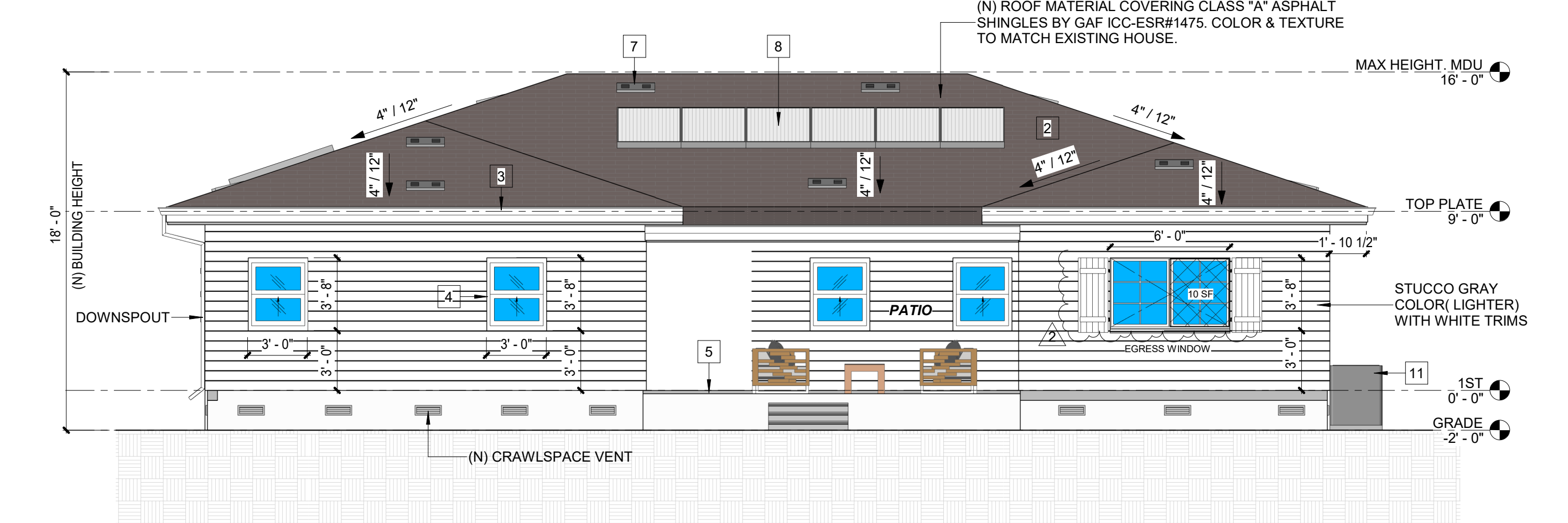
**SFR - SOUTH ELEVATION**  
 3/16" = 1'-0"



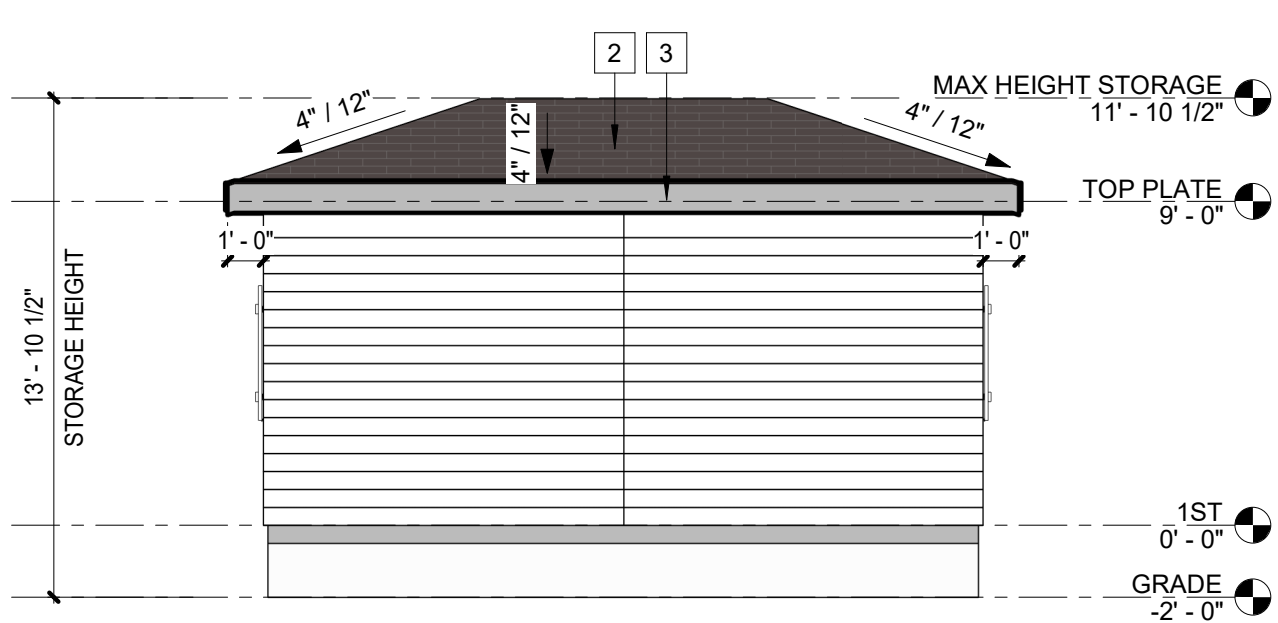
**SFR - NORTH ELEVATION**  
 3/16" = 1'-0"



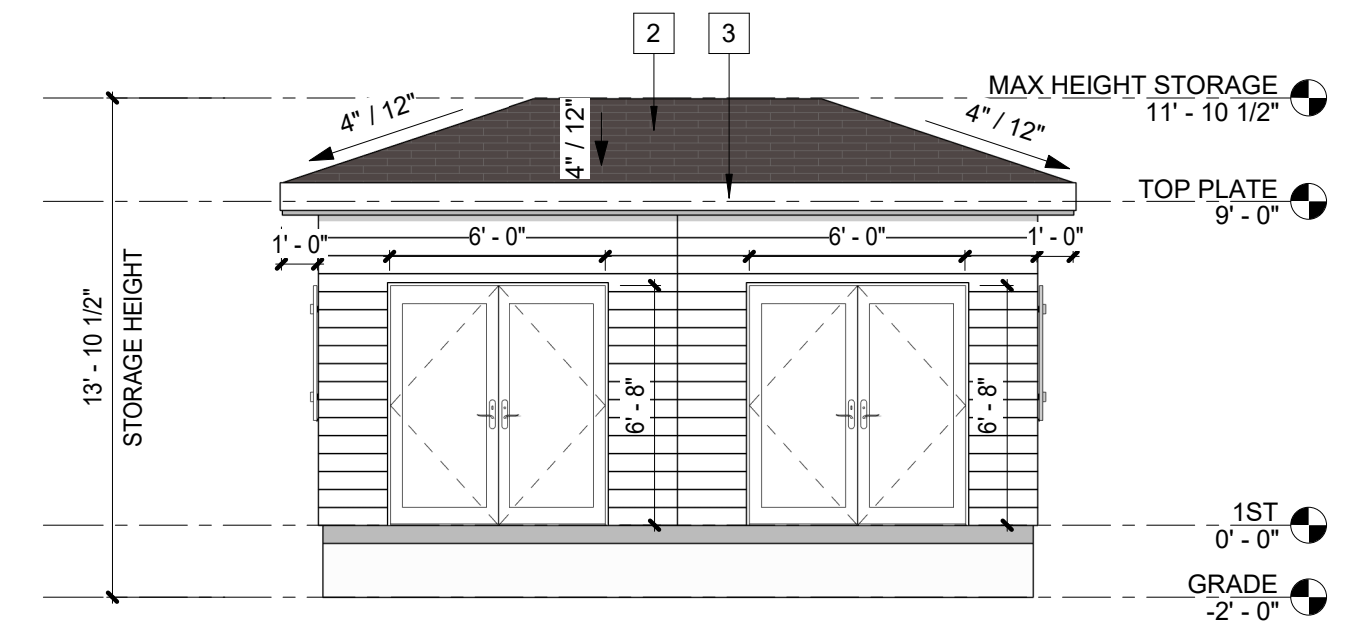
**SFR - EAST ELEVATION**  
 3/16" = 1'-0"



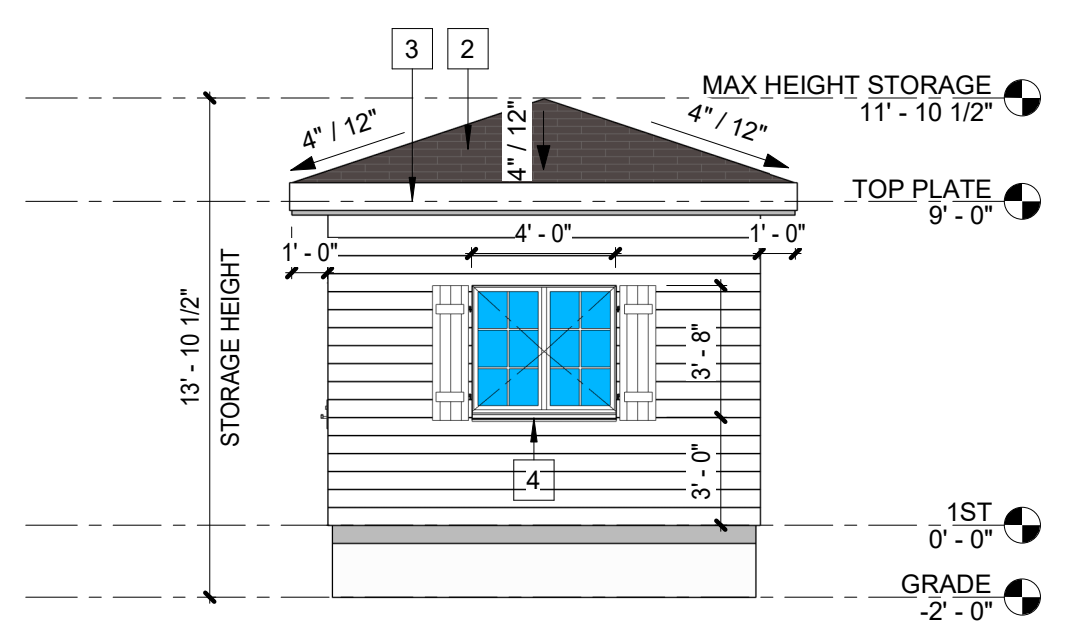
**SFR - WEST ELEVATION**  
 3/16" = 1'-0"



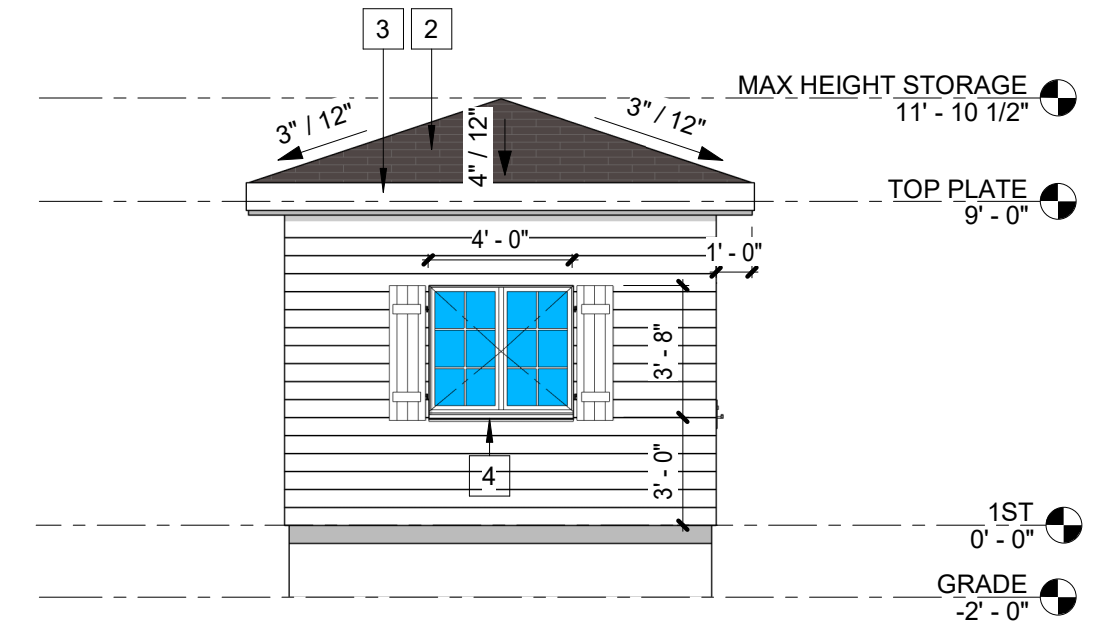
**STORAGE - FRONT ELEVATION**  
 3/16" = 1'-0"



**STORAGE - REAR ELEVATION**  
 3/16" = 1'-0"



**STORAGE - RIGHT ELEVATION**  
 3/16" = 1'-0"



**STORAGE - LEFT ELEVATION**  
 3/16" = 1'-0"



**NOTES**

1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10" O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES, CRC R302.11.
2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY, CRC R317.2(2).
3. ALL WALLS TO BE SMOOTH FINISH U.N.O.
4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
6. MIN. 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL
7. CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER)
8. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
9. DESIGN BUILT CABINET TO FIT
10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE WOOD MOLDING.
11. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR.
12. EXTERIOR CONCRETE LANDING TO COMPLY 2019 CRC R311.3
  - A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
  - B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.
13. FIRE PLACE TO COMPLY ICBO #3507 FM1
14. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC R401.3)

- A (N) 2x RIDGE BOARD PER STRUCT.
- B (N) 2x ROOF RAFTER PER STRUCT.
- C (N) 2x CEILING JOISTS PER STRUCT.
- D (N) CONCRETE SLAB PER STRUCT.
- E (N) FOOTING PER STRUCT.

- F (N) 2x STUD WALL PER STRUCT.
- G (N) ATTIC INSULATION PER T-24 (N) ROOF R.R. INSULATION PER T-24
- H (N) WALL INSULATION PER T-24
- J WEEP SCREED FOR STUCCO, 2" ABOVE PAVED AREAS
- K GUTTER / DOWNSPOUT. SPLASH BLOCK ON GRADE

- L DEPTH OF EAVE TO MATCH MAIN DWELLING, TYP.

**STUCCO NOTES**

1. FOR EXTERIOR STUCCO, A WEEP SCREED AT 2" MIN. BELOW THE FOUNDATION PLATE LINE. SCREED SHALL CONFORM TO THE FOLLOWING: 26 GA. MIN. CORROSION RESISTANT MATERIAL. 3 1/2" MIN VERTICAL ATTACHMENT FLANGE. 6" MIN. ABOVE GRADE OR 2" ABOVE PAVED AREA.
2. STUCCO LATH & DRYWALL SHALL BE NAILED TO ALL STUD & TOP, BOTTOM PLATES.
3. USE 2 LAYER OR GRADE "D" BUILDING PAPERS BACKING WHEN STUCCO IS APPLIED OVER PLYWOOD FOR EXTERIOR STUCCO.
4. USE 7/8" MIN. THICK 3-COATS APPLICATION ( SCRATCH - BROWN AND FINISH ).

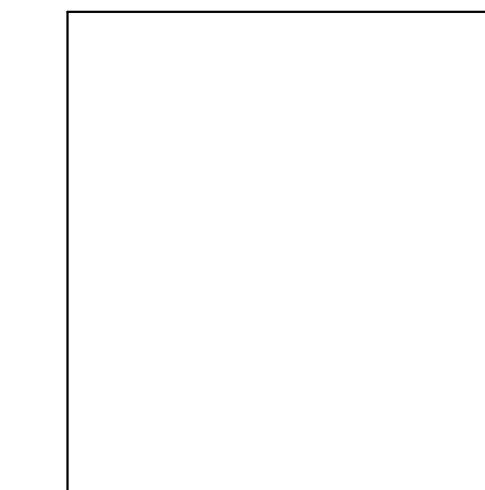
**FINISH MATERIALS**



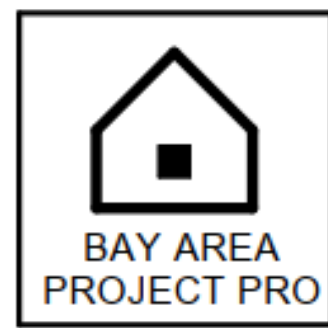
ROOF SHINGLE  
COLOR: BARKWOOD



HORIZONTAL SIDING WALL  
COLOR: WHITE



WINDOWS FRAME + TRIM / FASCIA  
COLOR: WHITE



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**PROPOSED SECTIONS**

**NEW SINGLE FAMILY RESIDENCE**

Monterey Highway, San Martin, CA 95020

DATE: 2024-04-05

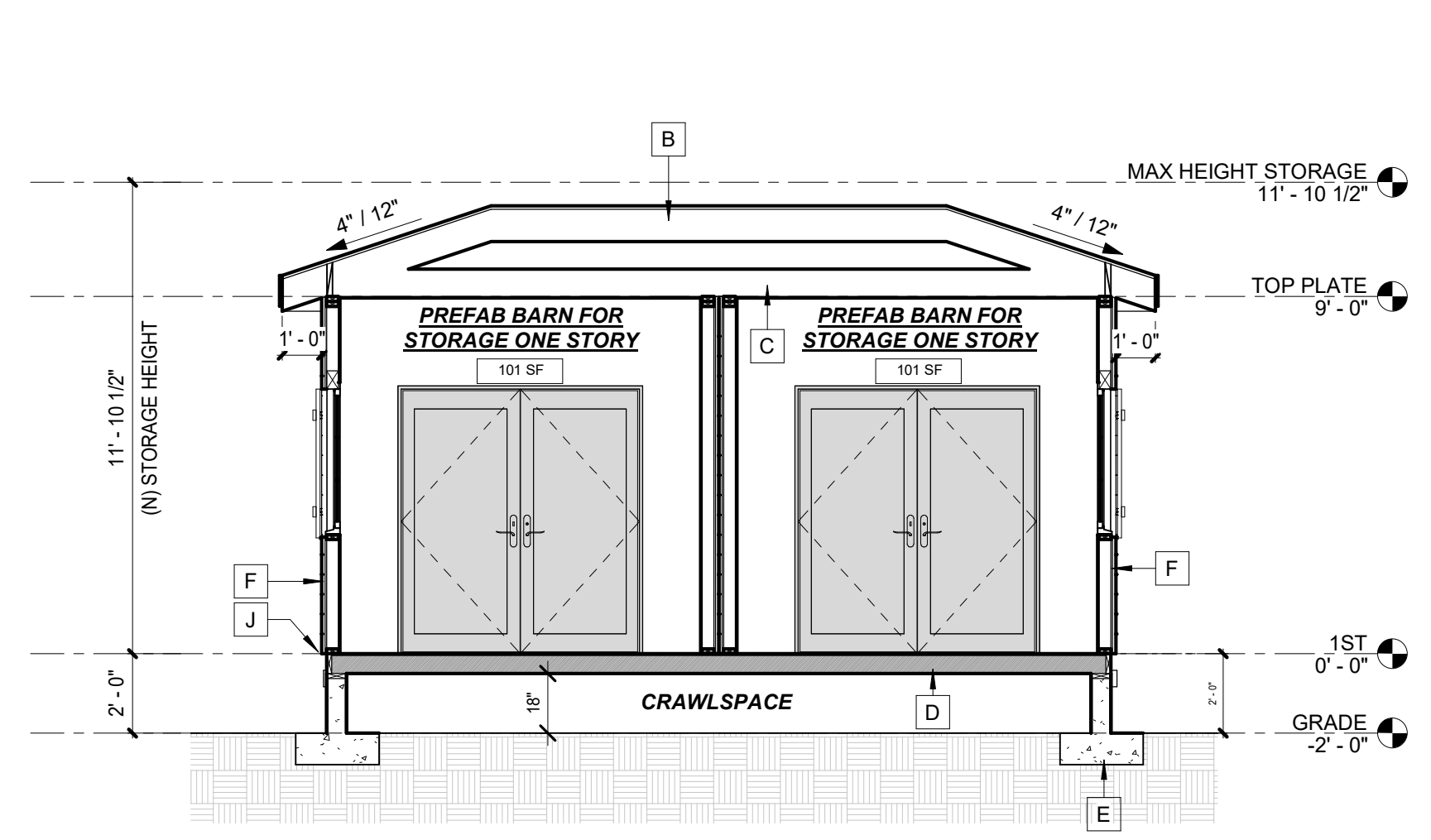
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DRAW BY: HN

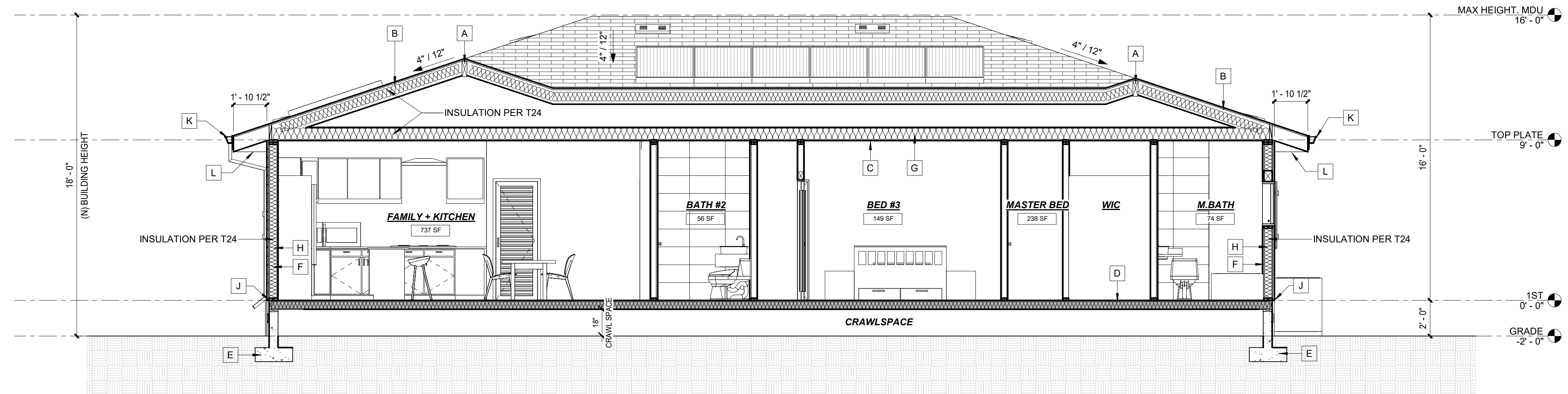
JOB NO : #116

DRAWING NO :

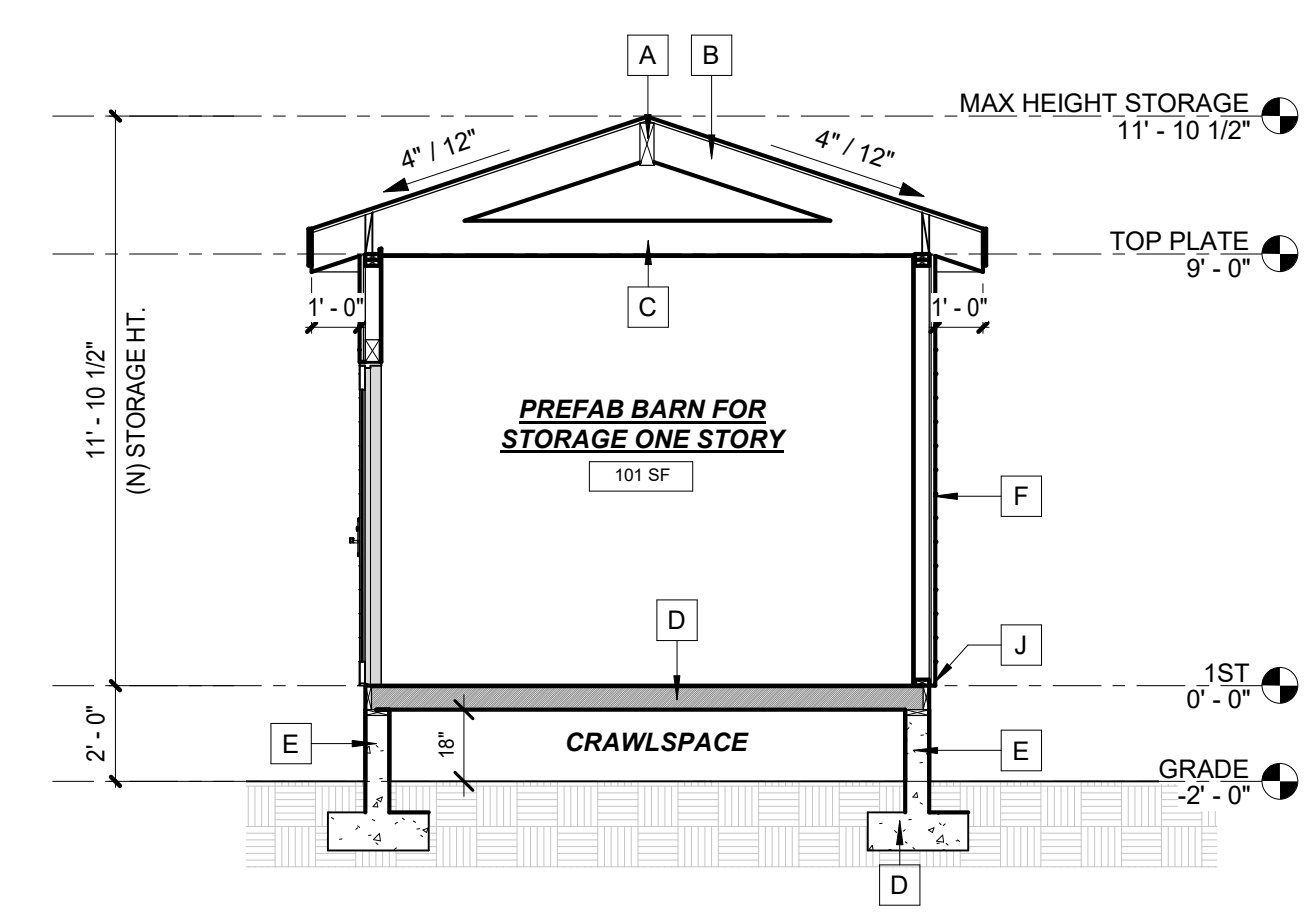
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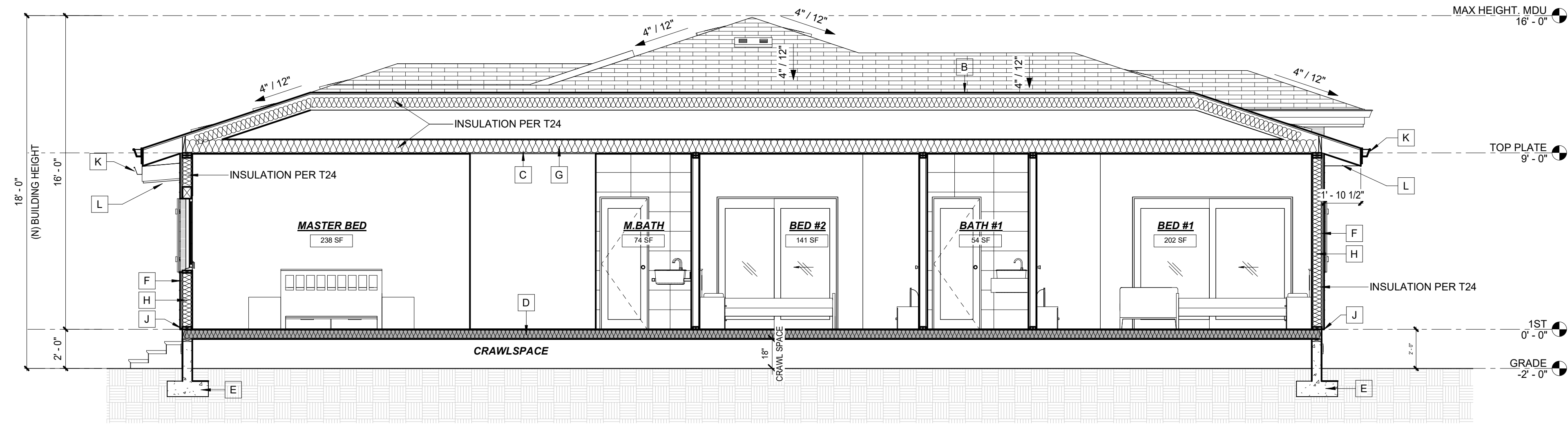
**STORAGE PROPOSED SECTION CC**  
1/4" = 1'-0"



**MDU PROPOSED SECTION AA**  
1/4" = 1'-0"



**STORAGE PROPOSED SECTION DD**  
1/4" = 1'-0"



**MDU PROPOSED SECTION BB**  
1/4" = 1'-0"



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**DOOR & WINDOW SCHEDULE AND DETAILS**

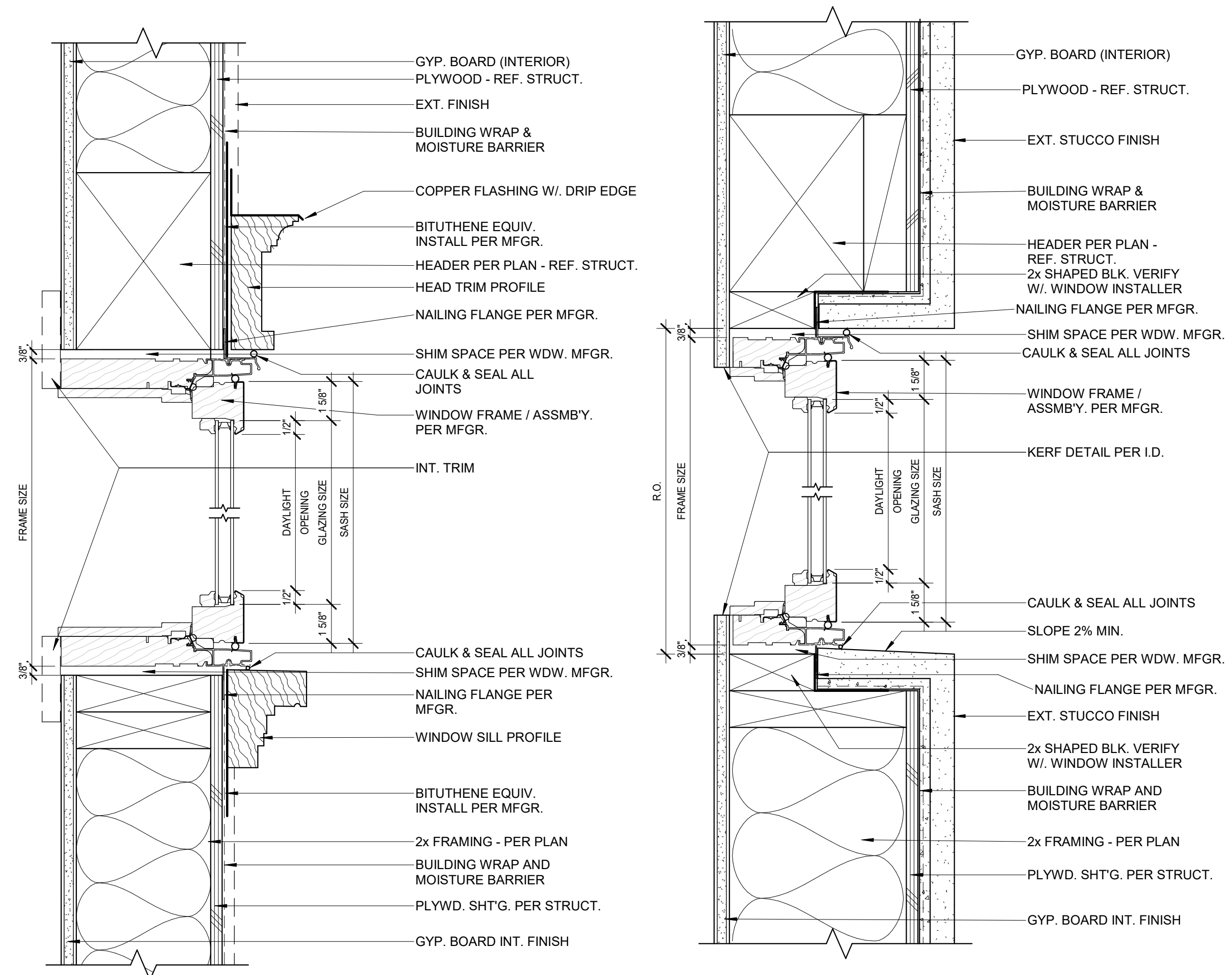
**NEW SINGLE FAMILY RESIDENCE**

DATE: **2024-04-05**  
 SCALE AS SHOWN  
 DRAW BY: **HN**  
 JOB NO: **#116**  
 DRAWING NO: \_\_\_\_\_

**A1.05**

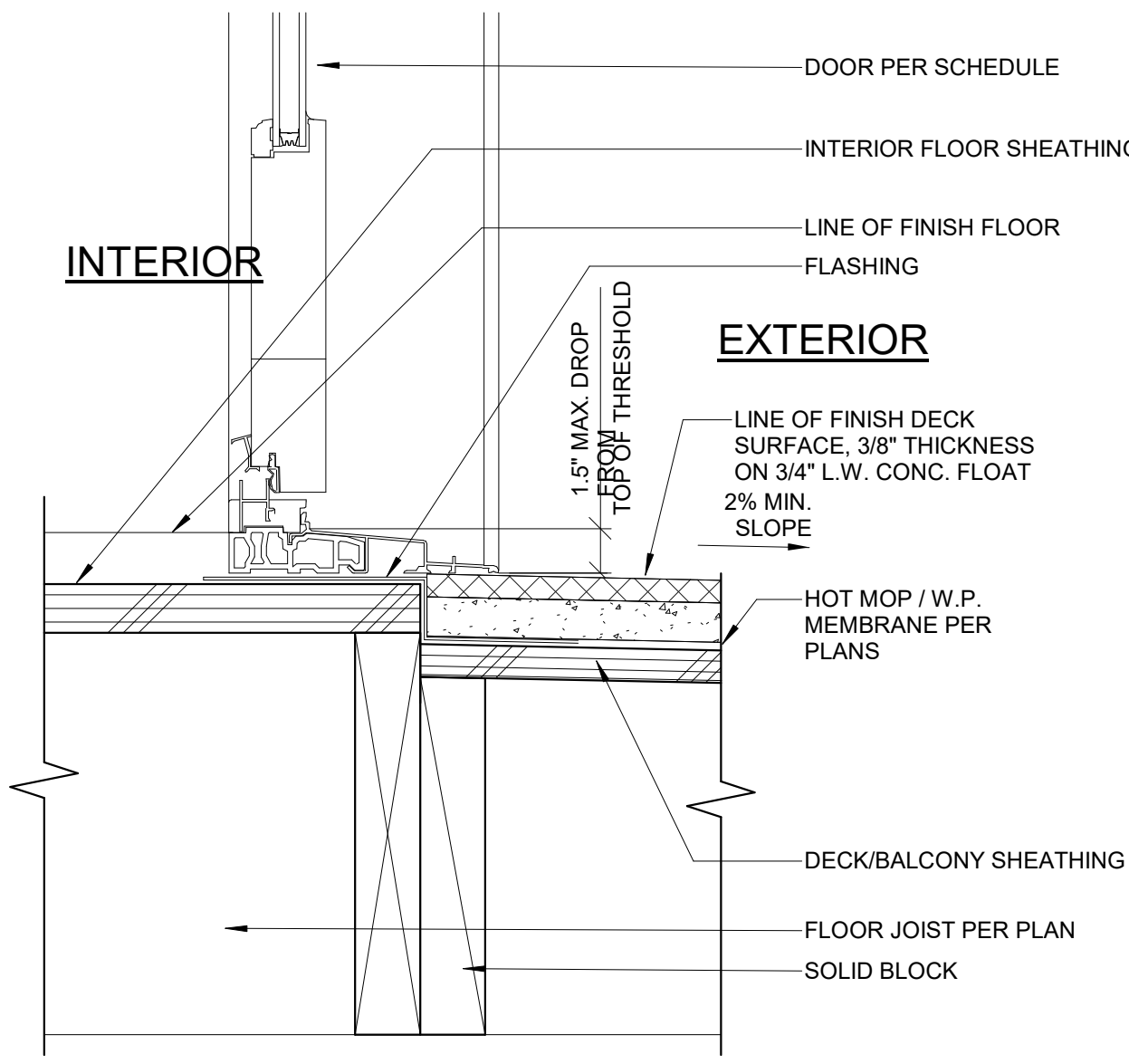
DOOR SCHEDULE						
MARK	DESCRIPTION	DOOR SIZE	Mark	HEAD HEIGHT	COUNT	
D1	Door-Garage-Flush_Panel	16'-0" x 7'-0"	NEW	7'-0"	1	
D2	Exterior Door, Entrance, Wood Frame/Panel, See Elev.	4'-9" x 6'-8"	NEW	6'-8"	1	
D3	Interior Door, Wood Frame/Panel, See Elev.	2'-6" x 6'-8"	NEW	6'-8"	5	
D4	Interior Door, Wood Frame/Panel, Bathroom/Toilet Door	2'-4" x 6'-8"	NEW	6'-8"	4	
D5	Exterior door, 3-Panel Bi-fold door, Wood Frame/Glass Panel, See Elev.	8'-6" x 6'-8"	NEW	6'-8"	1	
D6	Interior 2 Panels Wood Louver Door	4'-0" x 6'-8"	NEW	6'-8"	1	
D7	Interior 1 Panels Wood Louver Door	2'-4" x 6'-8"	NEW	6'-8"	1	
D8	Closet door, 2-Panel sliding door, Wood Frame/Panel, See Elev.	6'-0" x 6'-8"	NEW	6'-8"	2	
D9	Closet door, 2-Panel sliding door, Wood Frame/Panel, See Elev.	8'-0" x 6'-8"	NEW	6'-8"	1	
D10	Interior Door, Alumium Frame, GlassPanel, Bathroom/Toilet Door	2'-4" x 6'-8"	NEW	6'-8"	3	
D11	Exterior Door, Entrance, Wood Frame/Panel, See Elev.	6'-0" x 6'-8"	NEW	6'-8"	2	
Grand total: 22						

WINDOW SCHEDULE						
MARK	DESCRIPTION	WIDTHxHEIGHT	SILL HEIGHT	HEAD HEIGHT	COUNT	
A	Double casement window, Aluminium Frame/Glass Panel, See Elev.	6'-0" x 3'-8"	3'-0"	6'-8"	5	
B	Double casement window, Aluminium Frame/Glass Panel, See Elev.	4'-0" x 2'-6"	3'-0"	6'-6"	1	
C	Single Hung window, Aluminium Frame/Glass Panel, See Elev.	3'-0" x 3'-8"	3'-0"	6'-8"	8	
D	Awning window, Aluminium Frame/Glass Panel, See Elev.	3'-0" x 2'-6"	4'-2"	6'-8"	3	
E	Double casement window, Aluminium Frame/Glass Panel, See Elev.	4'-0" x 3'-8"	3'-0"	6'-8"	2	
Grand total: 19						

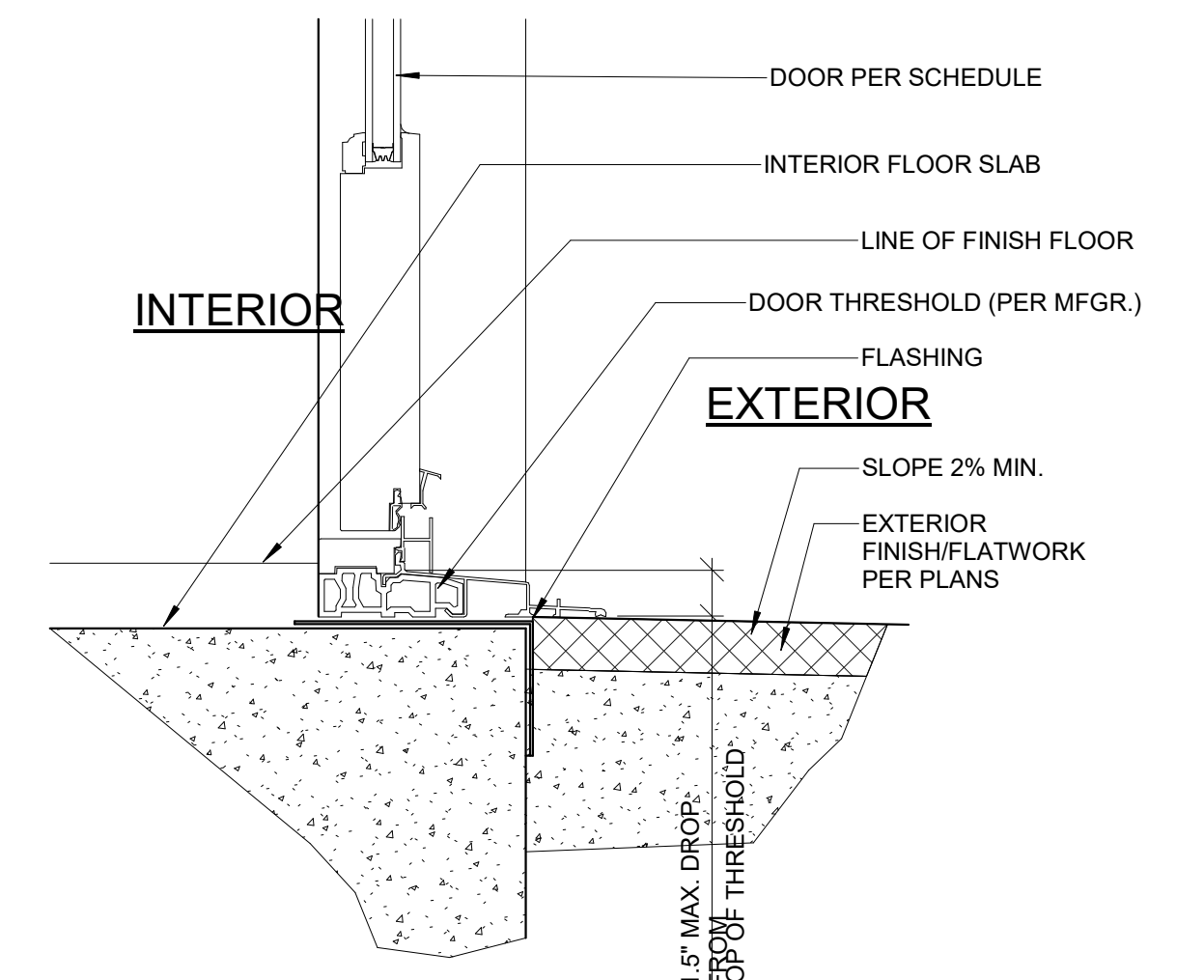


**WINDOW HEAD/SILL DETAIL (TYP.)**  
 3" = 1'-0"

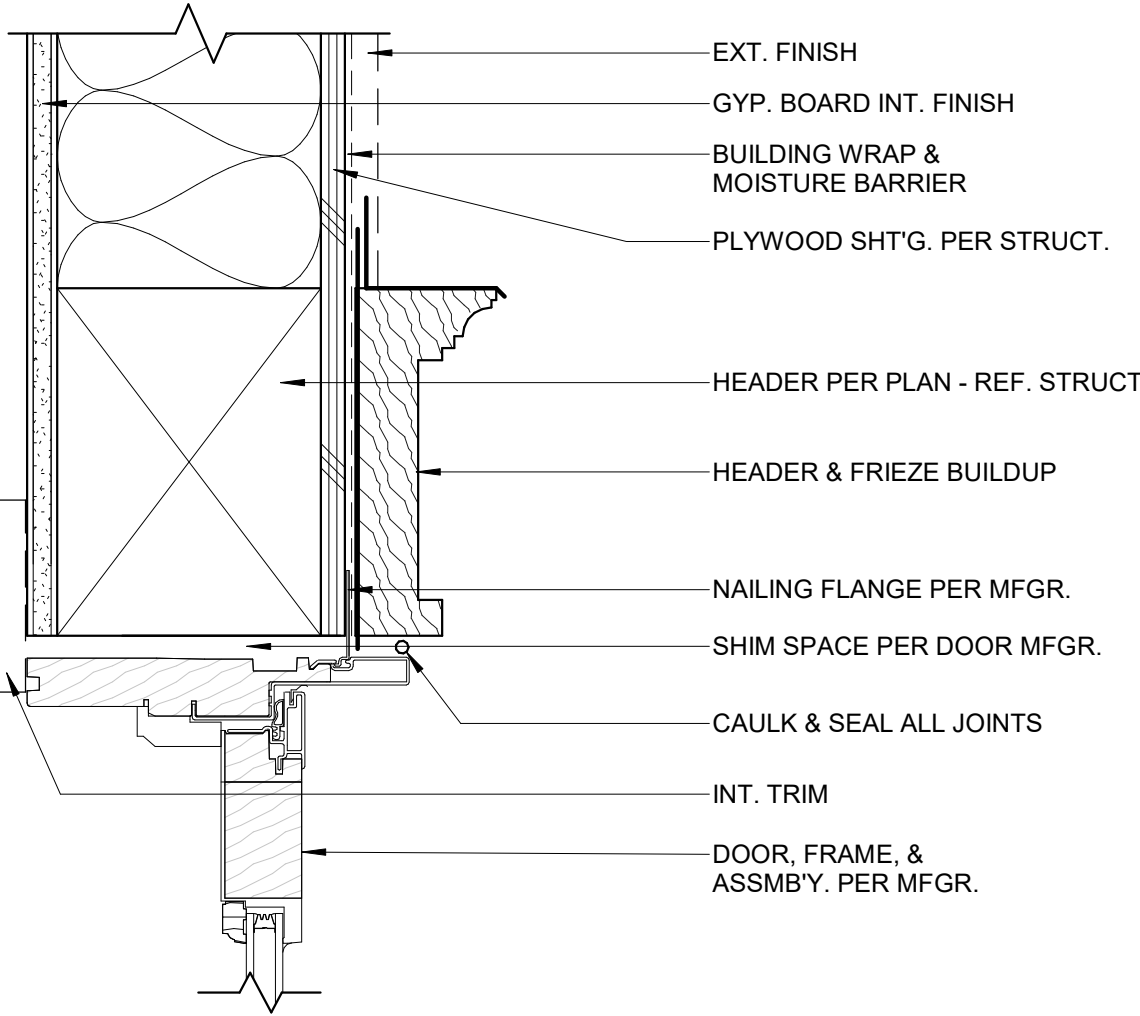
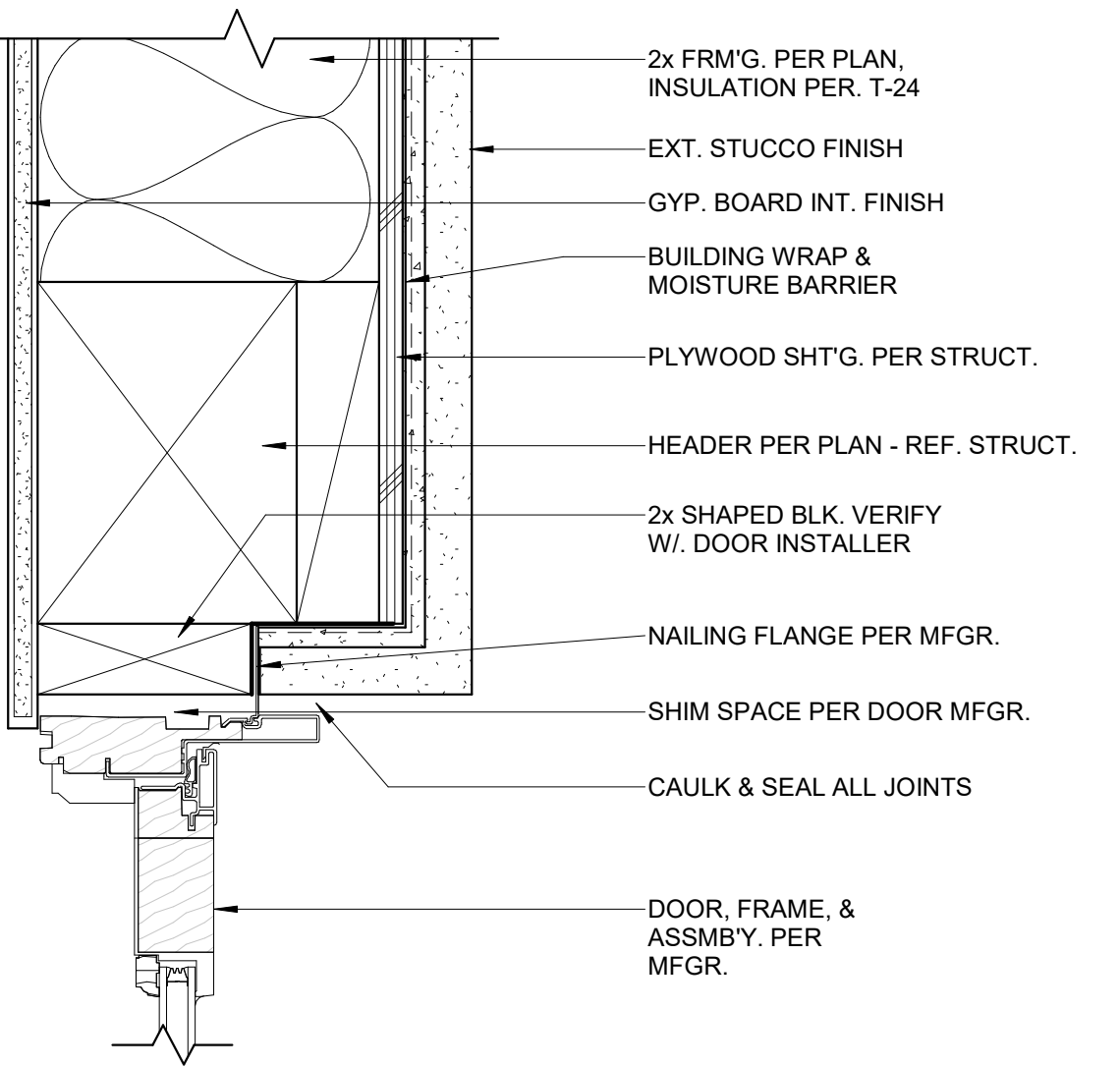
- DOOR & WINDOW NOTES**
- ALL EXTERIOR DOORS & WINDOWS SHALL BE WEATHER TIED AND PROVIDE WITH INSECT SCREEN-METAL. DOORS & WINDOWS SHALL BE IN COMPLIANCE WITH ANSI. STD. A13 OR A1342.
  - GLAZING AND INSULATION SHALL CONFORM TO THE STATE ENERGY INSULATION STANDARD.
  - EXTERIOR DOOR SHALL BE SOLID CORE DOOR OR TEMPERED GLASS WITH DEAD BOLT PER SECURITY ORDINANCE.
  - DOOR BETWEEN GARAGE AND LIVING AREA SHALL BE 20 MIN. RATED 3" SOLID CORE WOOD DOOR WITH CLOSER AND LATCHING HARDWARE, SMOKE SEAL @ JAMB, HEAD @ METAL THRESHOLD.
  - ALL GLAZING IN HAZARDOUS LOCATION AS DEFINED IN CBC.
  - ALL NEW DOOR AND WINDOWS MUST COMPLY W/ BUILDING DEPARTMENT SECURITY STANDARD.
  - ALL NEW WINDOWS MATCHING EXISTING WINDOW STYLE.
  - SLIDING GLASS DOORS AND WINDOWS LOCATED LESS THAN 16 FEET ABOVE ANY SURFACE AVAILABLE FOR USE BY THE PUBLIC SHALL BE CAPABLE OF BEING LOCKING SECURELY. MOVEABLE PANELS SHALL NOT BE EASILY REMOVED FROM THE FRAME.
  - ALL MAIN OR FRONT ENTRY TO DWELLINGS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE WITHOUT OPENING DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEW, A VIEW PORT, WINDOW, OR OTHER OPENING.
  - ALL SWINGING DOORS SHALL BE EQUIPPED WITH A DEAD BOLT WITH A MINIMUM THROW OF 1 INCH AND AN EMBEDMENT OF NOT LESS THAN 5/8 INCH.
  - THE INACTIVE LEAF OF A PAIR OF DOORS AND THE UPPER LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A DEAD BOLT.
  - NON-REMOVABLE PINS SHALL BE USED IN PIN TYPE HINGES WHICH ARE ACCESSIBLE FROM THE OUTSIDE WHEN THE DOOR IS CLOSED.
  - UNFRAMED GLASS DOORS SHALL BE FULLY TEMPERED GLASS NOT LESS THAN 1/2" THICK.
  - NARROW-FRAMED GLASS DOORS SHALL BE FULLY TEMPERED GLASS NOT LESS THAN 1/4" THICK.
  - ANY GLASS WHICH IS LOCATED WITHIN 40 INCHES OF THE BLOCKING DEVICE ON A DOOR SHALL BE FULLY TEMPERED, OR HAVE APPROVED METAL BARS, SCREENS OR GRILLS.
  - SOLID WOODEN HATCHWAYS LESS THAN 1-3/4 INCHES THICK SHALL BE COVERED ON THE INSIDE WITH 16 GAUGE SHEET METAL ATTACHED WITH SCREWS AT 8 INCHES O.C. AROUND THE PERIMETER AND SHALL BE SECURED FROM THE INSIDE WITH A SLIDE BAR, SLIDE BOLTS, AND/OR PAD LOCK WITH HARDENED STEEL SHACKLE. ALL OTHER OPENINGS LARGER THAN 96 SQ. INCHES WITH A DIMENSION IN EXCESS OF 8 INCHES SHALL BE SECURED BY METAL BARS, SCREENS, OR GRILLS. (EXCEPTION: NON-OPENING SKYLIGHTS)
  - IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM DOOR/WINDOW ROUGH OPENING DIMENSIONS WITH THE MANUFACTURE/SUPPLIER PRIOR TO BEGIN CONSTRUCTION
  - AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)



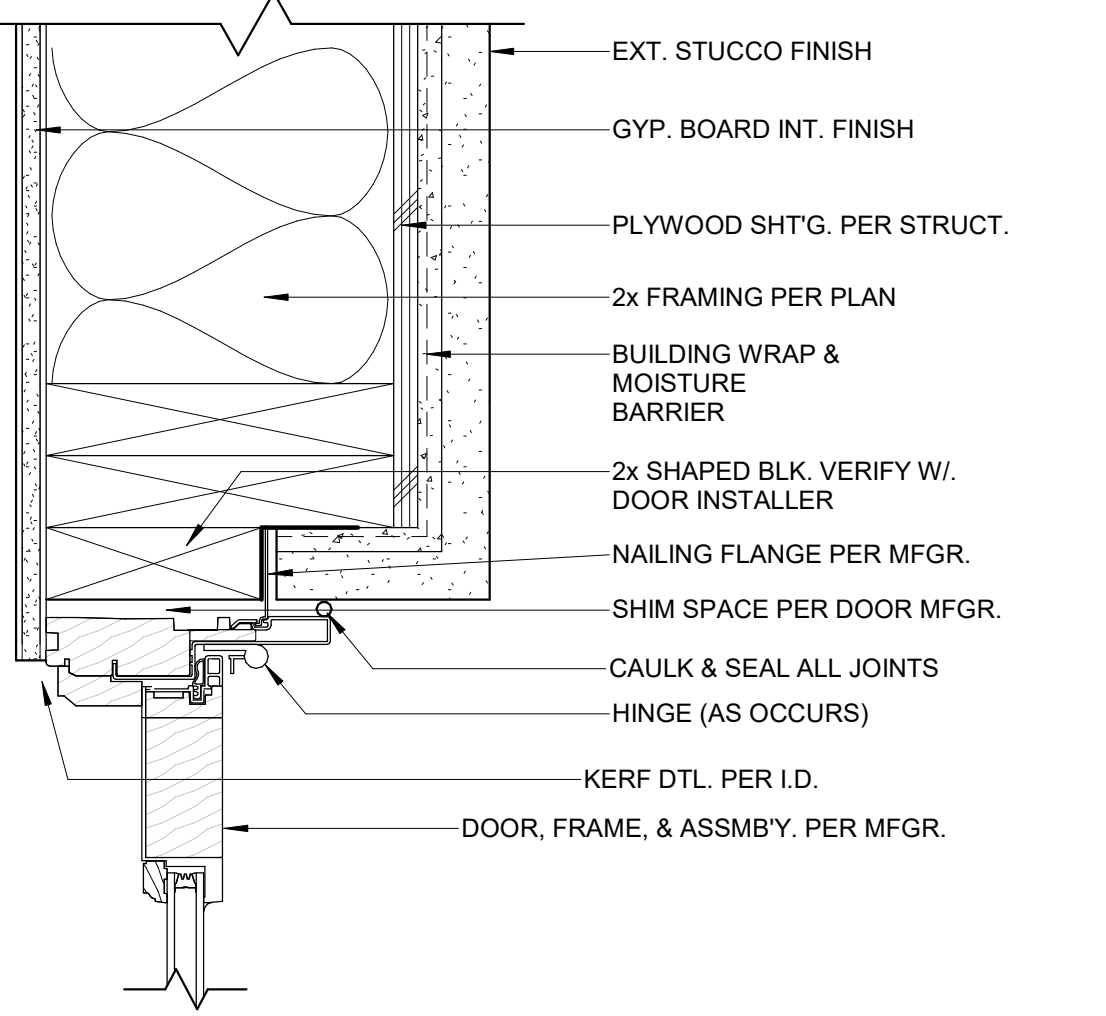
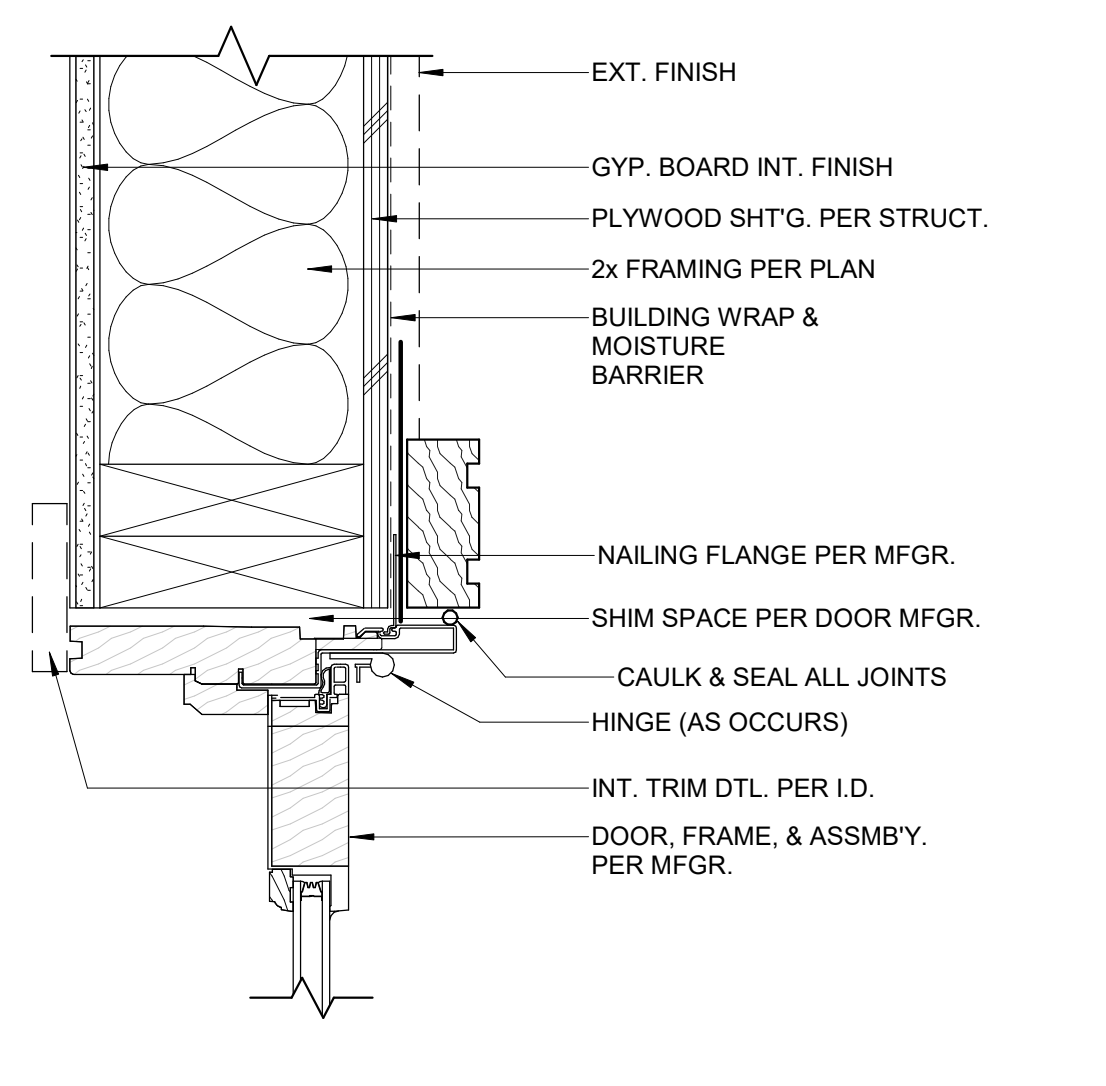
**THRESHOLD - OUTSWING (FRM'G.)**  
 3" = 1'-0"



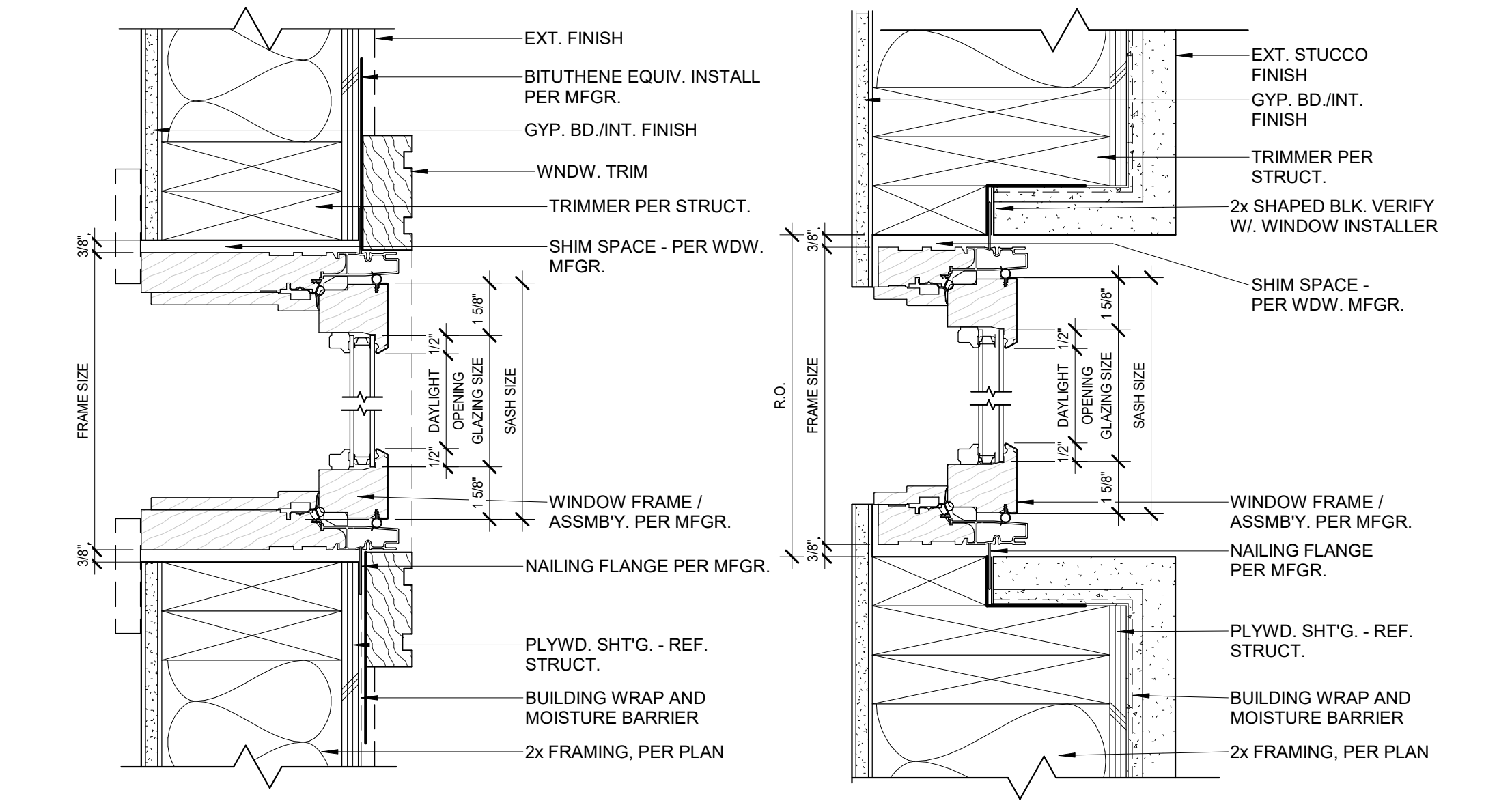
**THRESHOLD - OUTSWING (SLAB)**  
 3" = 1'-0"



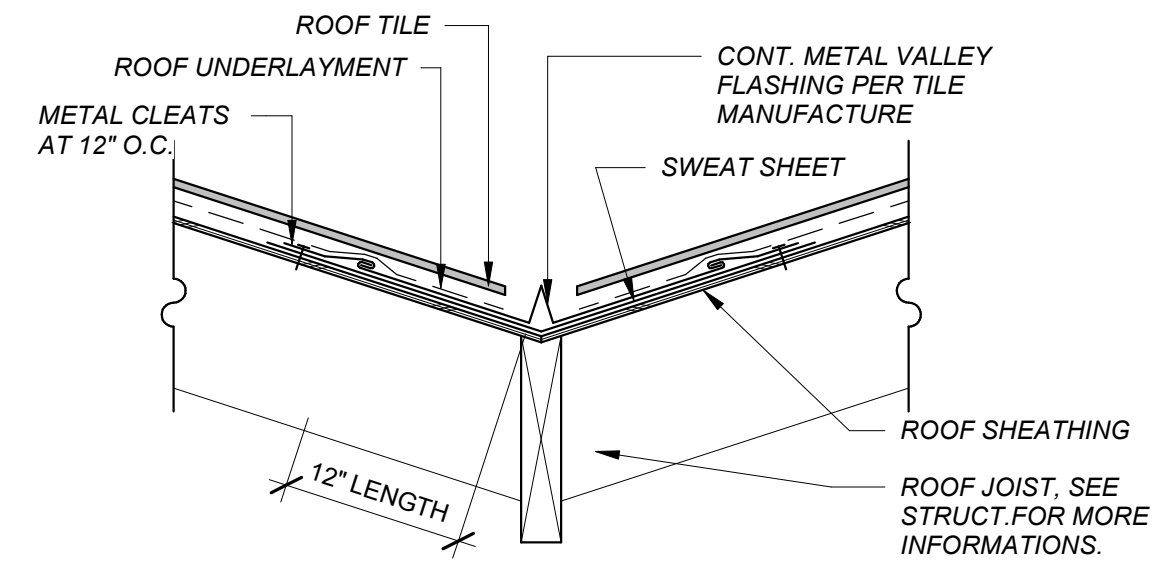
**EXTERIOR DOOR HEAD (TYP.)**  
 3" = 1'-0"



**EXTERIOR DOOR JAMB (TYP.)**  
 3" = 1'-0"



**WINDOW HEAD/SILL DETAIL (TYP.)**  
 3" = 1'-0"



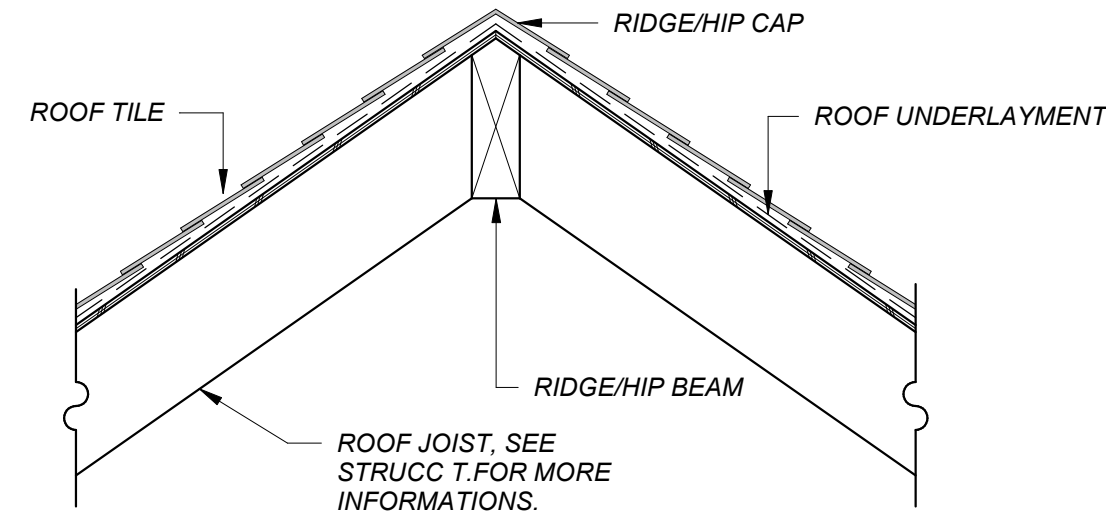
**NOTE:**  
THE VALLEY FLASHING MUST HAVE A SPLASH DIVERTER RIB NOT LESS THAN 1" HIGH AT THE FLOW LINE. FORMED AS PART OF THE FLASHING MUST HAVE AN OVERLAP OF NOT LESS THAN 4 INCHES

PENETRATIONS & INTERRUPTIONS AT METAL VALLEY FLASHING NOT PERMITTED. METAL CLEATS AT 12" O.C.

REFER TO ROOF TILE MANUFACTURERS SPECIFICATIONS FOR INSTALLATION OF TILE

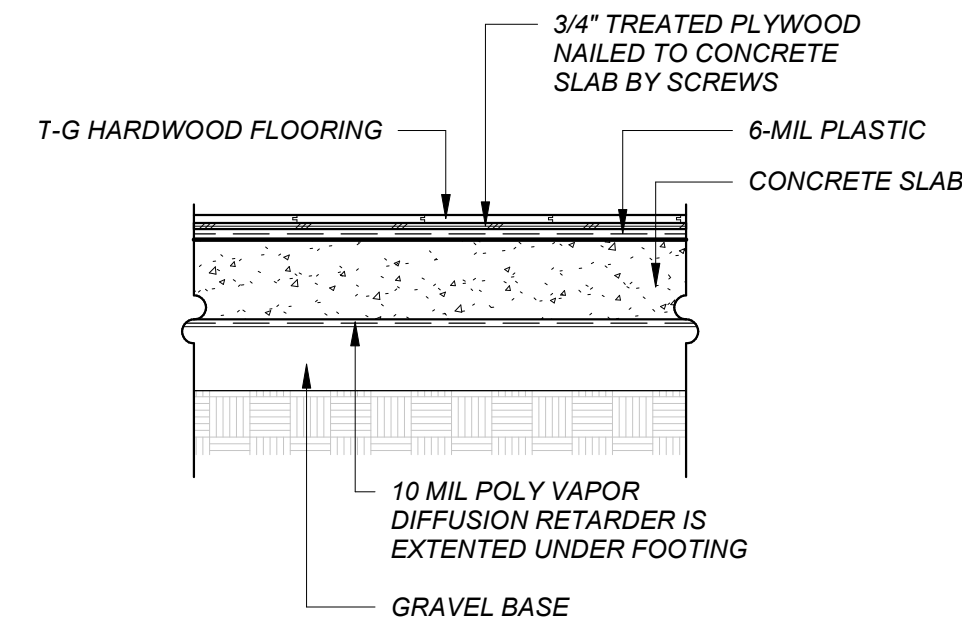
26-GUAGE MINIMUM GALVANIZED ROOF FLASHING. (CRC R903.2)

**ROOF VALLEY DETAIL**  
1" = 1'-0"

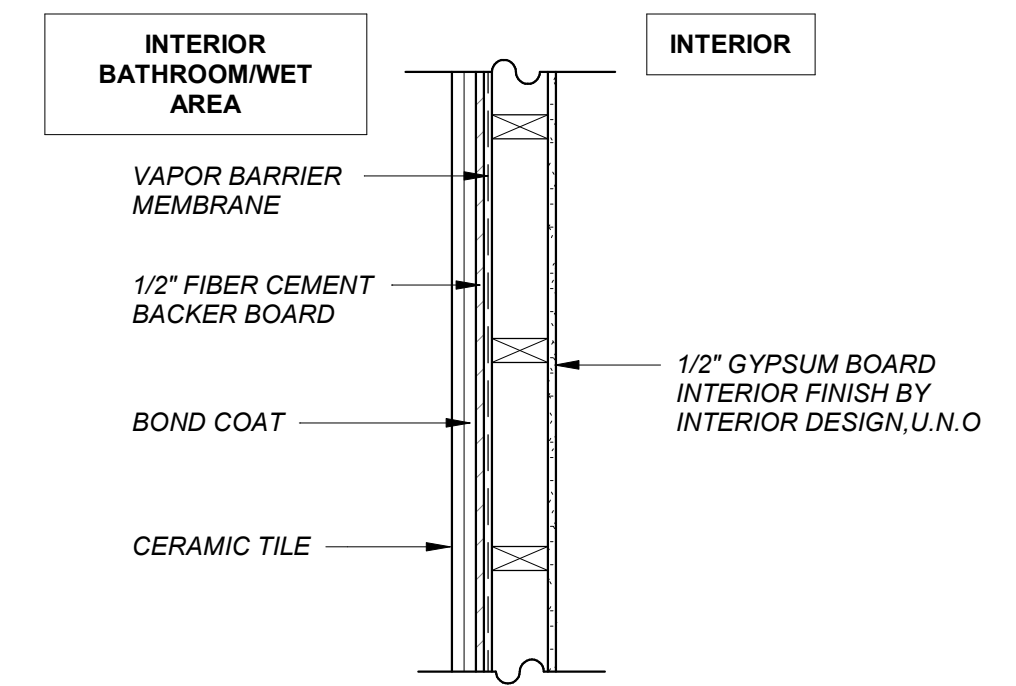


**NOTE:**  
REFER TO ROOF TILE MANUFACTURERS SPECIFICATIONS FOR INSTALLATION OF TILE

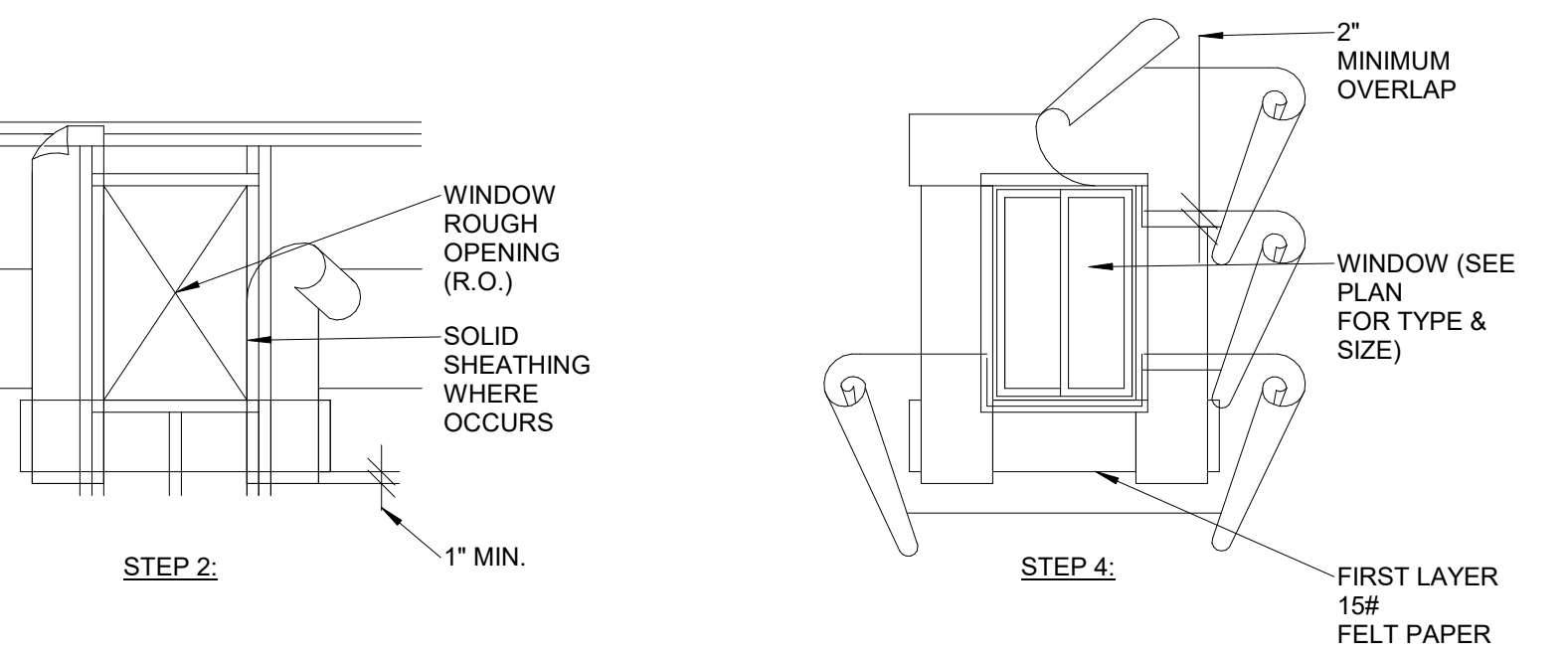
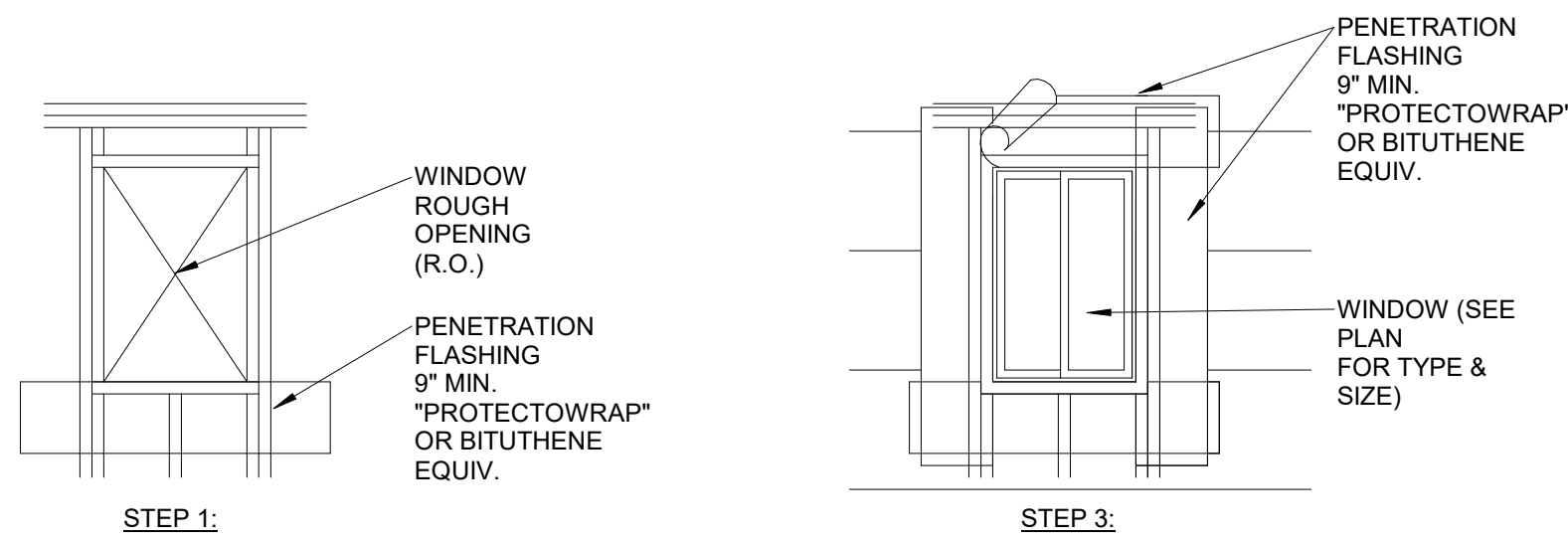
**RIDGE / HIP DETAIL**  
1" = 1'-0"



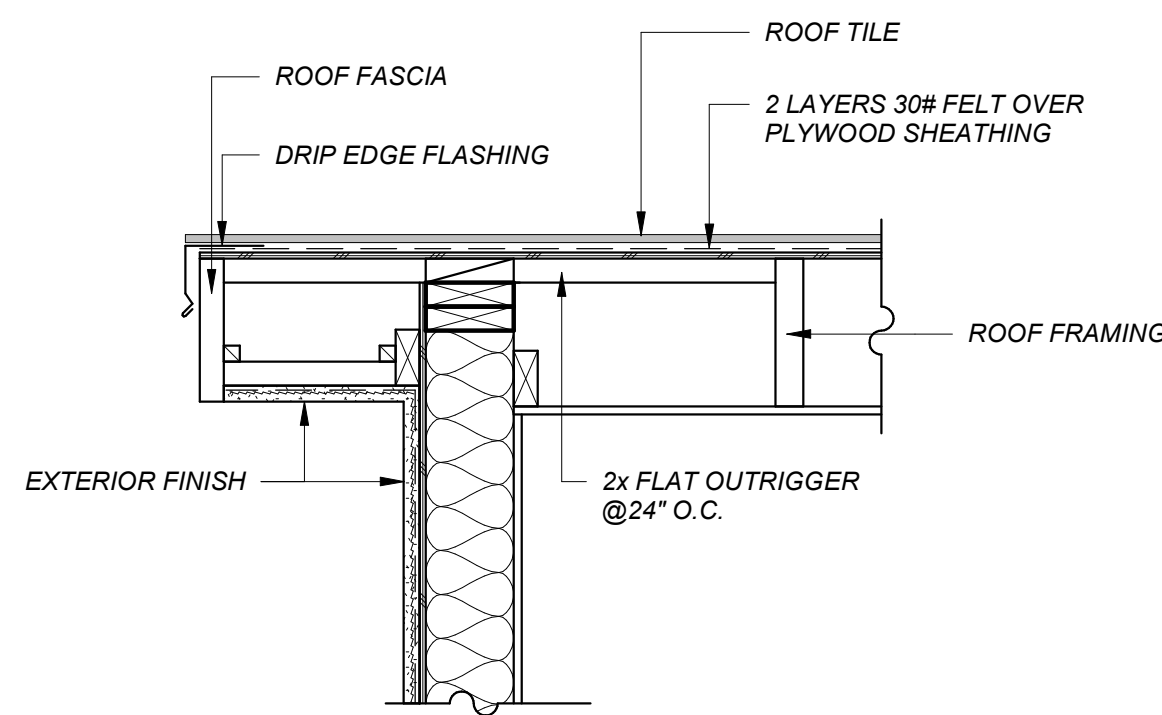
**HARDWOOD/ CONCRETE**  
1" = 1'-0"



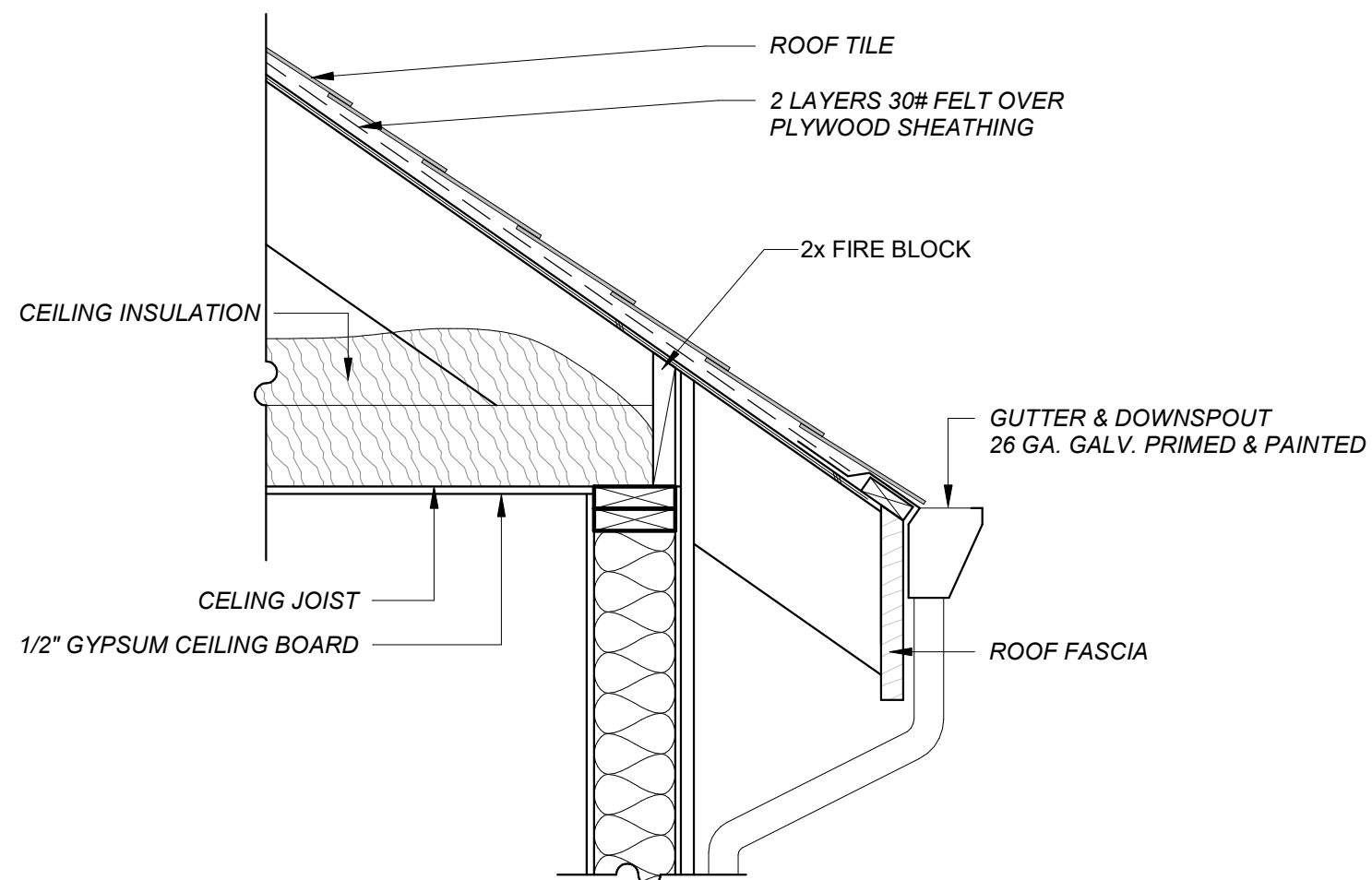
**IW2 - INTERIOR WALL**  
1" = 1'-0"



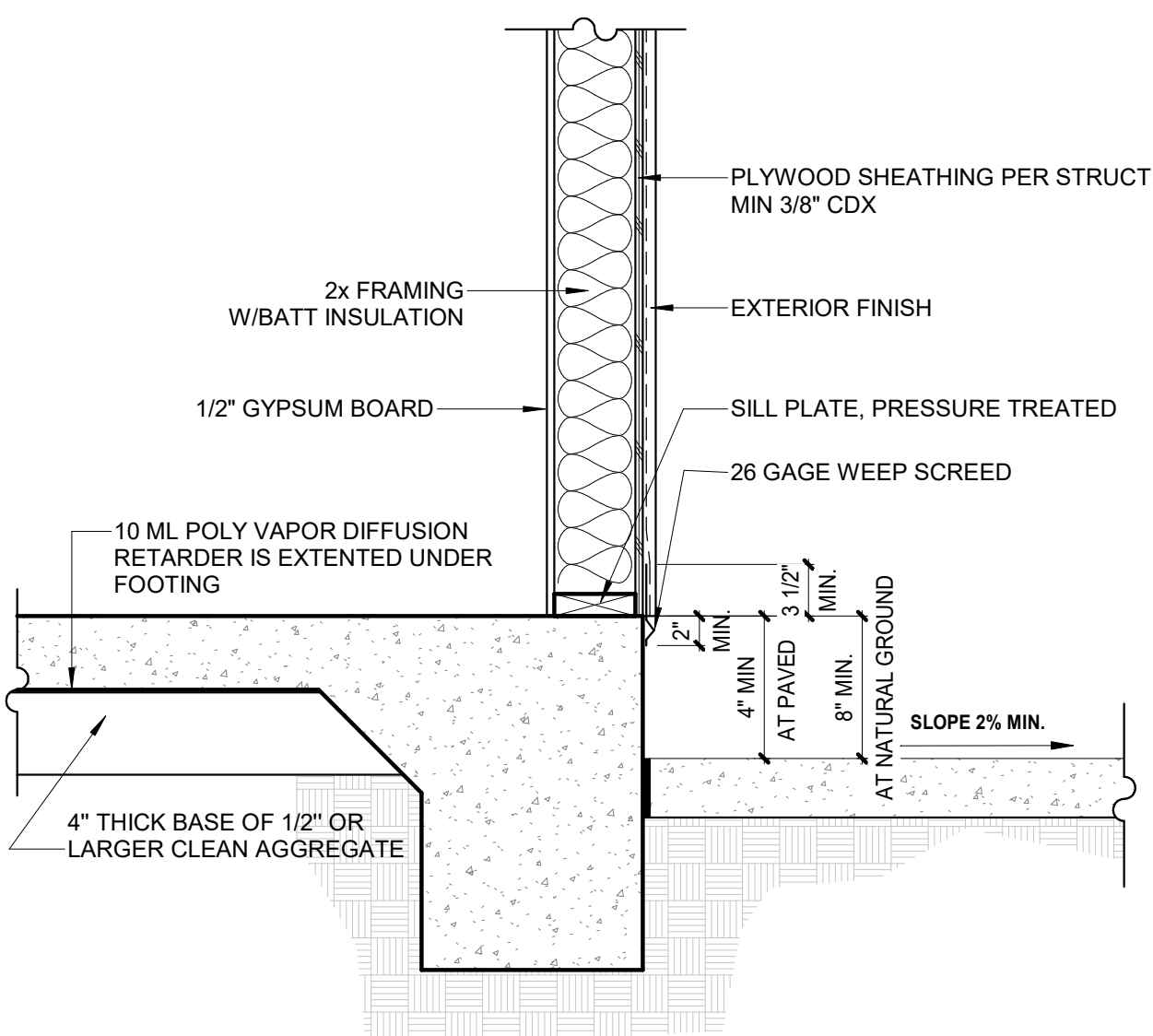
**TYP. WINDOW PENETRATION DETAIL**  
1/2" = 1'-0"



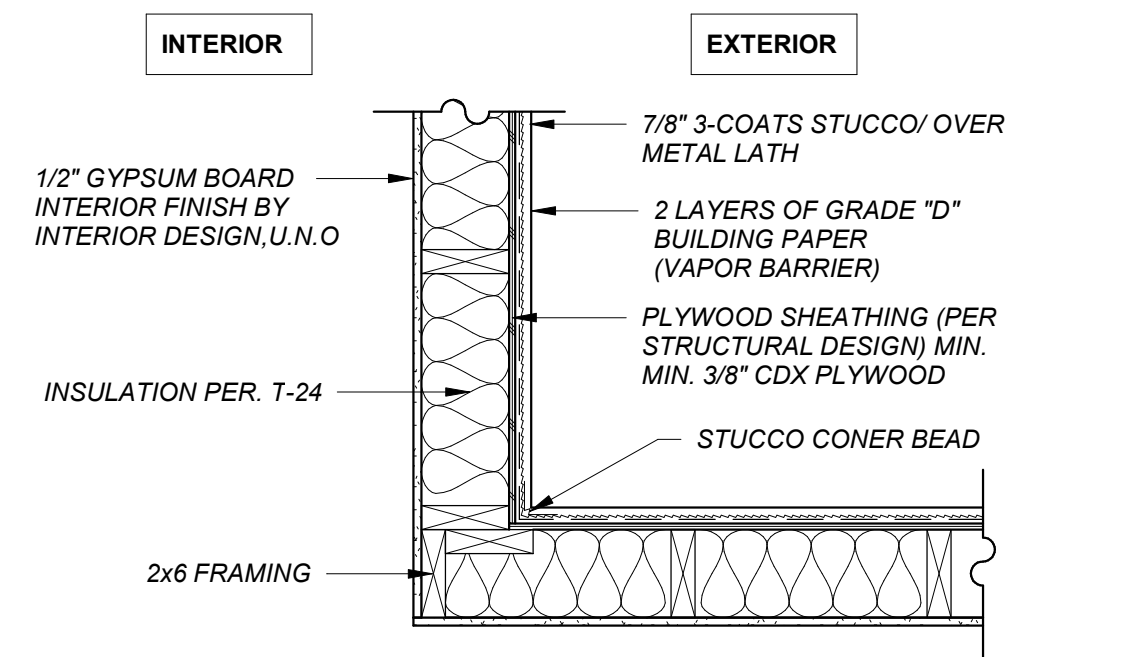
**GABLE EAVE**  
1" = 1'-0"



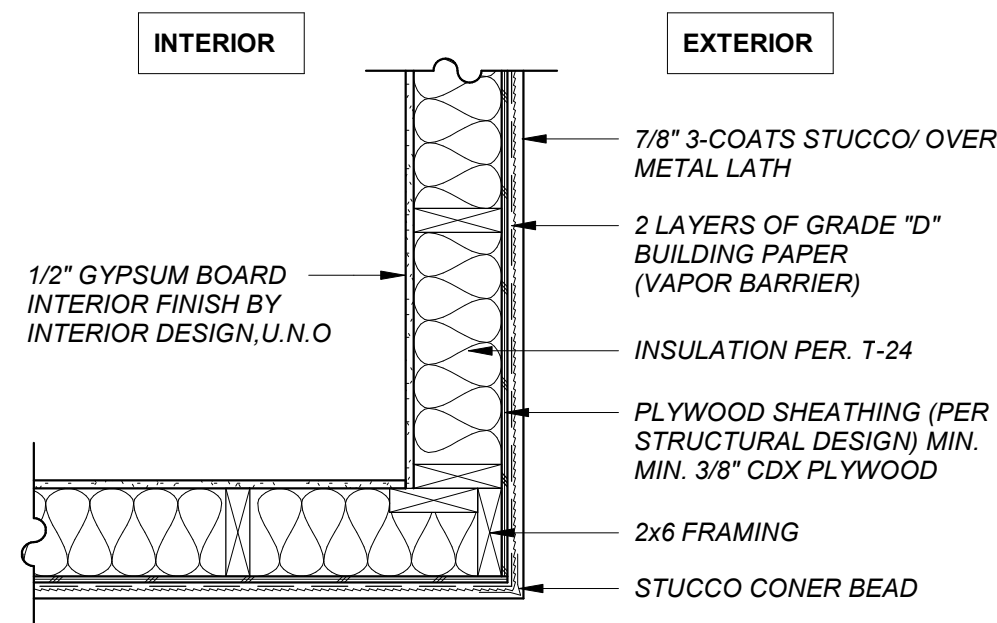
**EAVE DETAIL**  
1" = 1'-0"



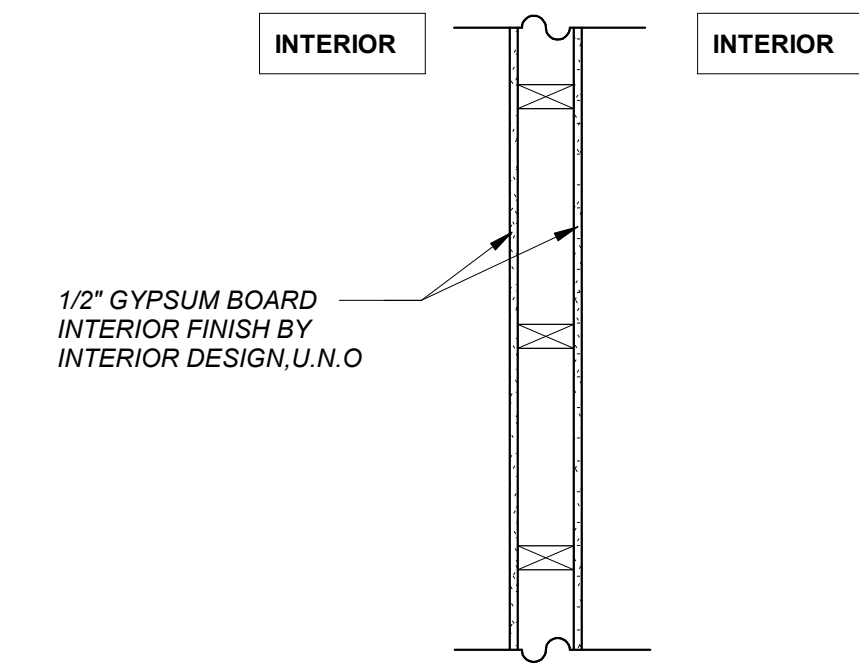
**TYP. EXTERIOR WALL DETAIL**  
1" = 1'-0"



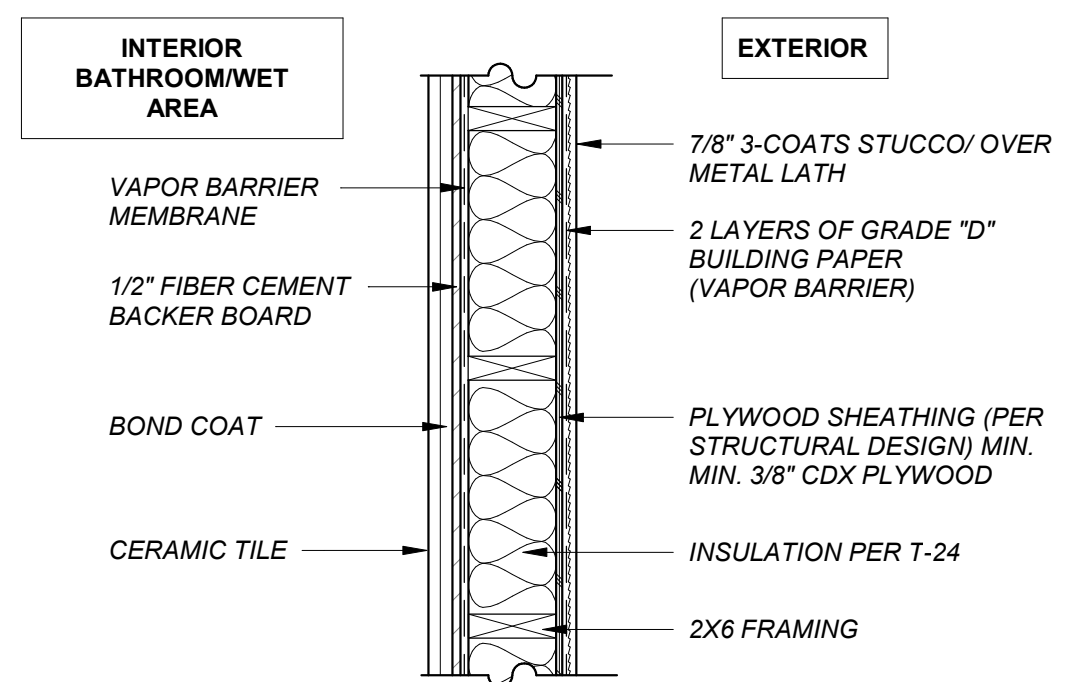
**EXTERIOR WALL CORNER**  
1" = 1'-0"



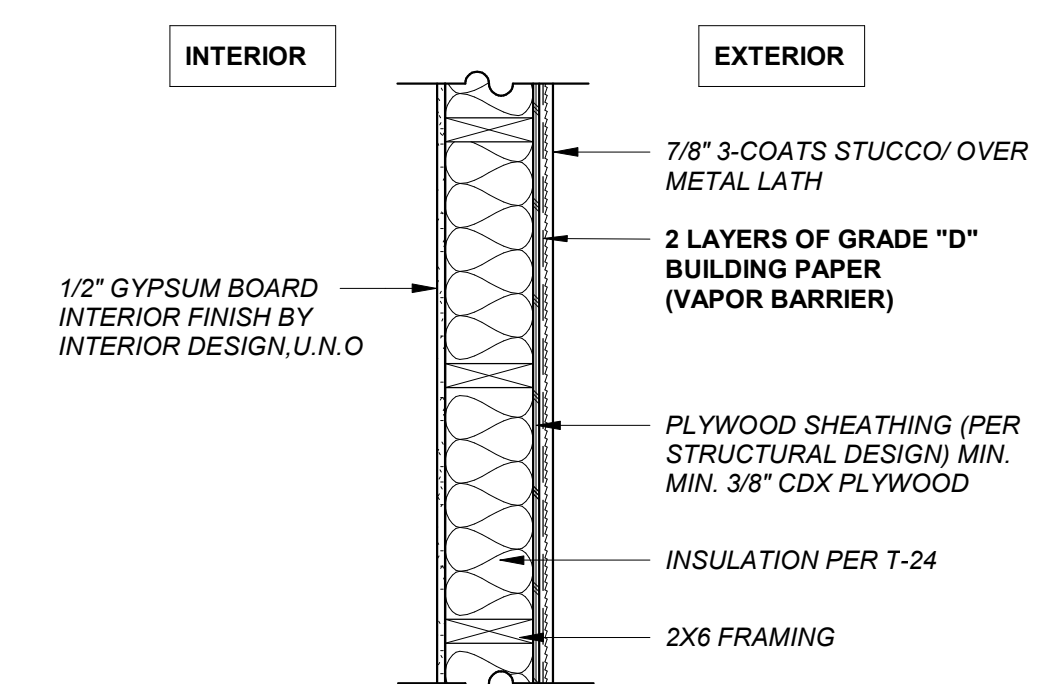
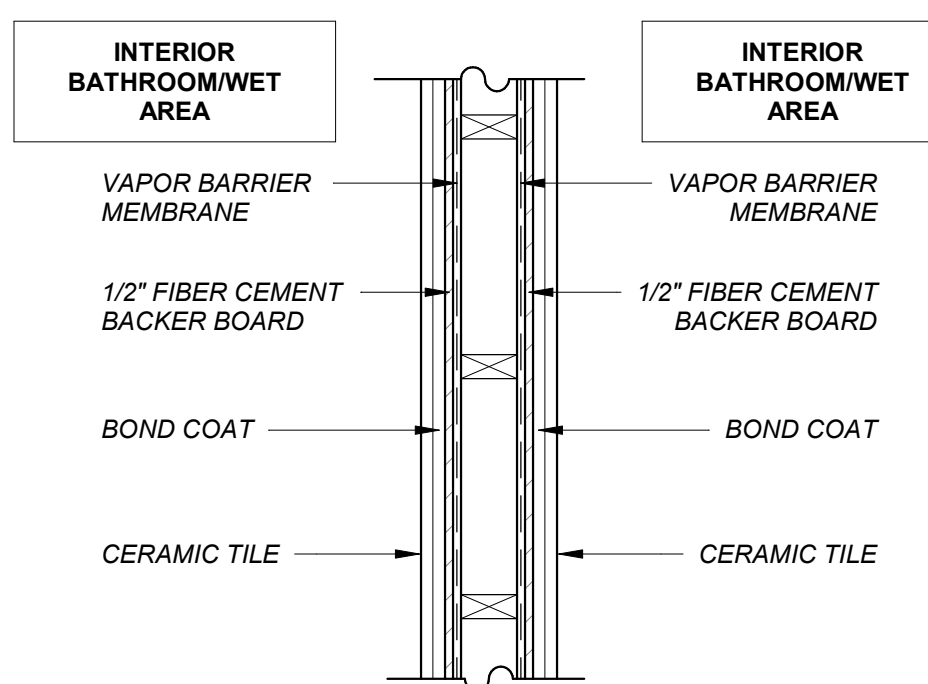
**IW3 - INTERIOR WALL**  
1" = 1'-0"



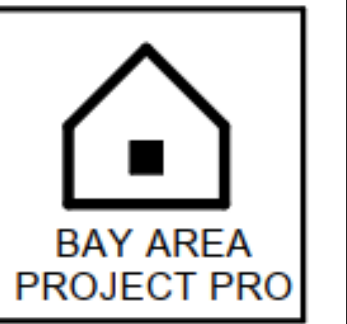
**IW1 - INTERIOR WALL**  
1" = 1'-0"



**EW20 - EXTERIOR WALL**  
1" = 1'-0"



**EW10 - EXTERIOR WALL**  
1" = 1'-0"



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3	2023/08/02	PLAN CHECK

**WALL AND ROOF DETAILS**

**NEW SINGLE FAMILY RESIDENCE**

Monterey Highway, San Martin, CA 95020

DATE: 2024-04-05

SCALE AS SHOWN

DRAW BY: **HN**

JOB NO : **#116**

DRAWING NO :

**A1.06**

# COUNTY OF SANTA CLARA

## General Construction Specifications

### GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY \_\_\_\_\_ AND DATED \_\_\_\_\_. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS, IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER, THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
- ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
- UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 86-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

### CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

### CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION. THE COUNTY SHALL NOT BE RESPONSIBLE FOR INSPECTION OF THE PROJECT SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

### SITE PREPARATION (CLEARING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
  - TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
  - FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

### UTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

# GRADING AND DRAINAGE PLAN

MONTEREY, SAN MARTIN, CA 95020  
APN 779-15-037

### AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
- ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
  - 15 MILES PER HOUR (MPH) SPEED LIMIT
  - 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
  - TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367.
- ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
- ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
- ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS, WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
- THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
- THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
  - PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
  - PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
  - PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
- EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE AND SITUATIONAL APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

### STORM DRAINAGE AND STORMWATER MANAGEMENT

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004 / ORDER NO. 2013-0001-DWQ.
- DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
- ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
- THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

### AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (\_\_\_ WERE) (\_\_\_ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (\*). THERE (\_\_\_ WERE) (\_\_\_ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL .

DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_

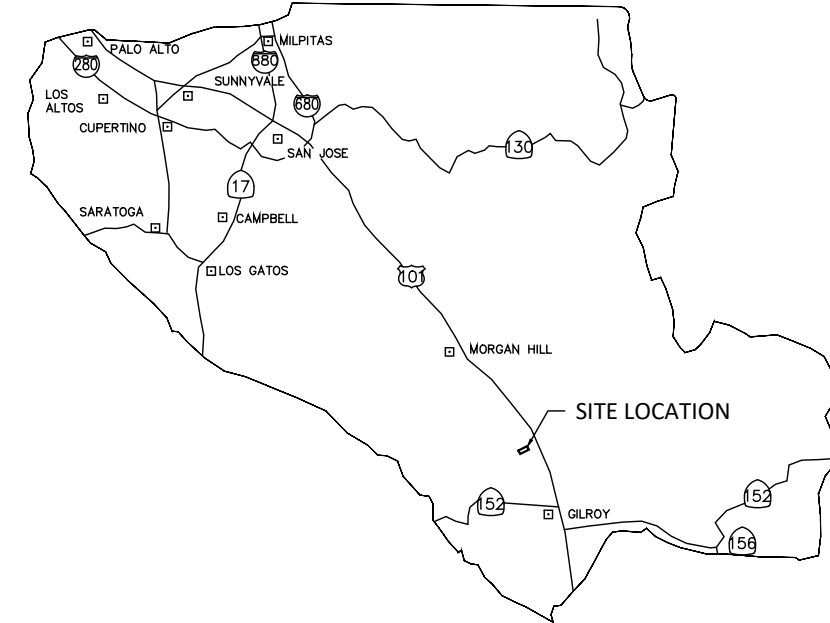
NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

### GEOTECHNICAL ENGINEER OBSERVATION

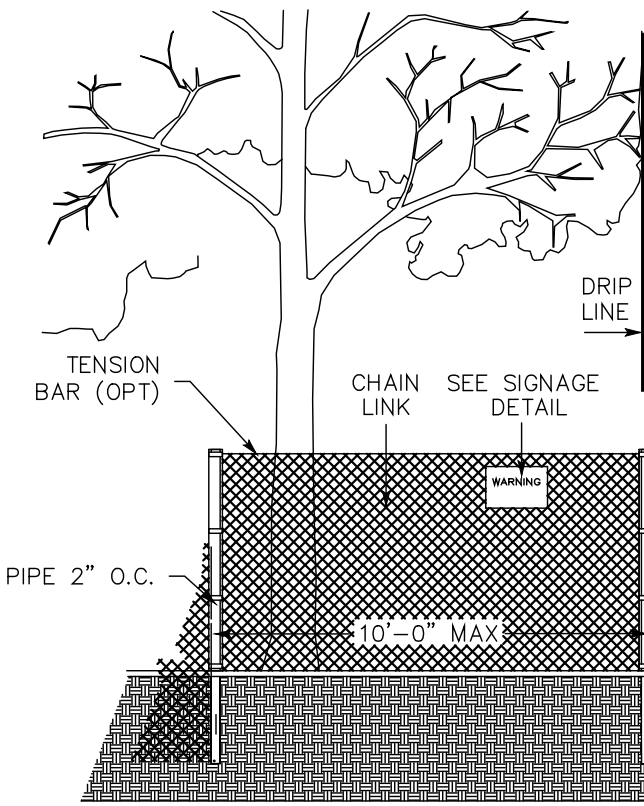
- A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.
- ALTHOUGH THE SOUTHERN PORTION OF THE PARCEL IS WITHIN A COUNTY LIQUEFACTION HAZARD ZONE, THE PROPOSED HOUSE WILL NOT BE LOCATED WITHIN THE ZONE. THEREFORE, NO GEOLOGY REQUIREMENTS ARE NEEDED.

### SURVEY MONUMENT PRESERVATION

- THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
- THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



### COUNTY LOCATION MAP



### VICINITY MAP

NOT TO SCALE

### OWNER

NAME: CHRISTINA HOANG  
ADDRESS: 2681 CAROL DRIVE, SAN JOSE, CA 95125  
PHONE: 408-489-9013  
EMAIL: CHRISTINA@MODERN CERAMICS.COM

### ARCHITECT

NAME: BAY AREA PROJECT PRO  
PHONE: 669-667-9189  
EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

### SOIL ENGINEER

NAME: WAYNE TING & ASSOCIATES, INC.  
ADDRESS: 42329 OSGOOD RD UNIT A, FREMONT, CA 94539  
PHONE: 510-623-7768  
EMAIL: WAYNE@WAYNETING.NET

### CIVIL ENGINEER

NAME: DUNG BUI  
ADDRESS: 2021 THE ALAMEDA, #360, SAN JOSE, CA 95126  
PHONE: 408-621-0114  
FAX:  
EMAIL: DB.DBENGINEERING@GMAIL.COM

### SURVEYOR

NAME: THOMAS FINNEGAN COMPANY  
ADDRESS: 32 MIRANGO COURT CLAYTON, CA. 94517  
PHONE: 925-783-4268

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS	
ISSUED BY: _____	DATE: _____
ENCROACHMENT PERMIT NO. _____	

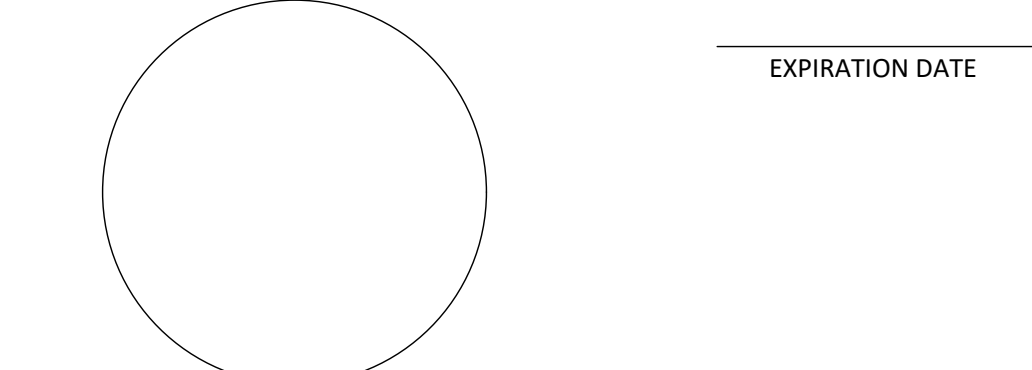
COUNTY OF SANTA CLARA	
LAND DEVELOPMENT ENGINEERING & SURVEYING	
GRADING / DRAINAGE PERMIT NO. _____	DATE: _____
ISSUED BY: _____	

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

### ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERE TO DATED FILE(S) NO. \_\_\_\_\_

DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_ R.C.E. NO. \_\_\_\_\_

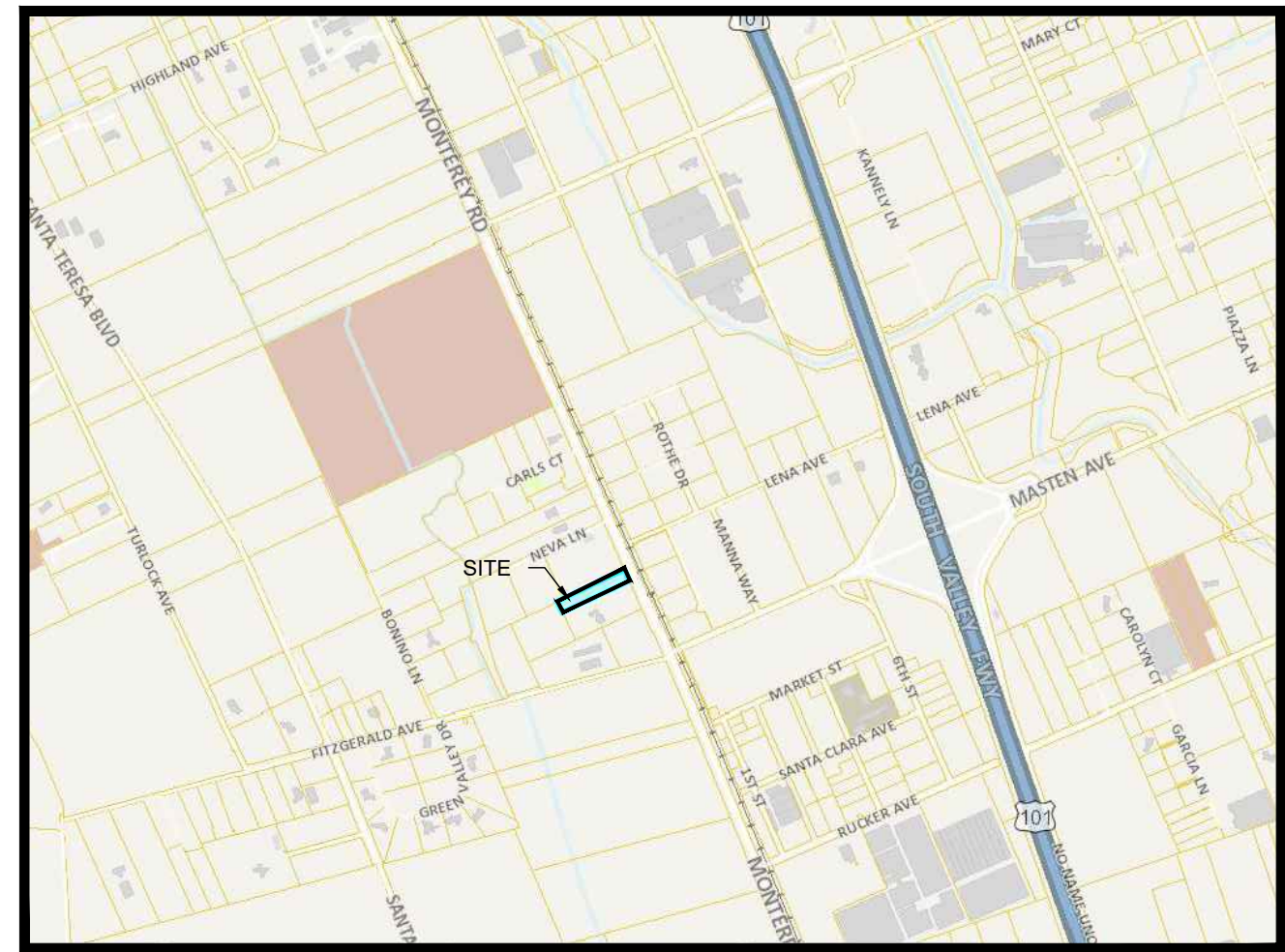


### COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE \_\_\_\_\_

R.C.E. NO. \_\_\_\_\_ EXPIRATION DATE \_\_\_\_\_



### PROJECT CONTACT

NAME: MY TRUONG

PHONE: 408-550-5496

EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

### REVISION

ID	DATE	BY
1	2021/06/24	PLAN CHECK
2	2023/01/09	PLAN CHECK

TITLE SHEET

DATE: 2024/03/27

SCALE AS SHOWN

DRAW BY:

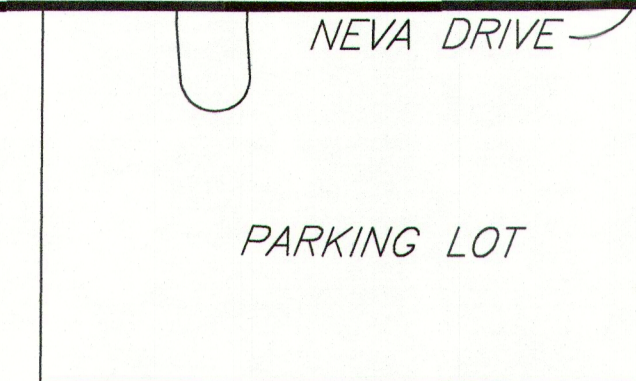
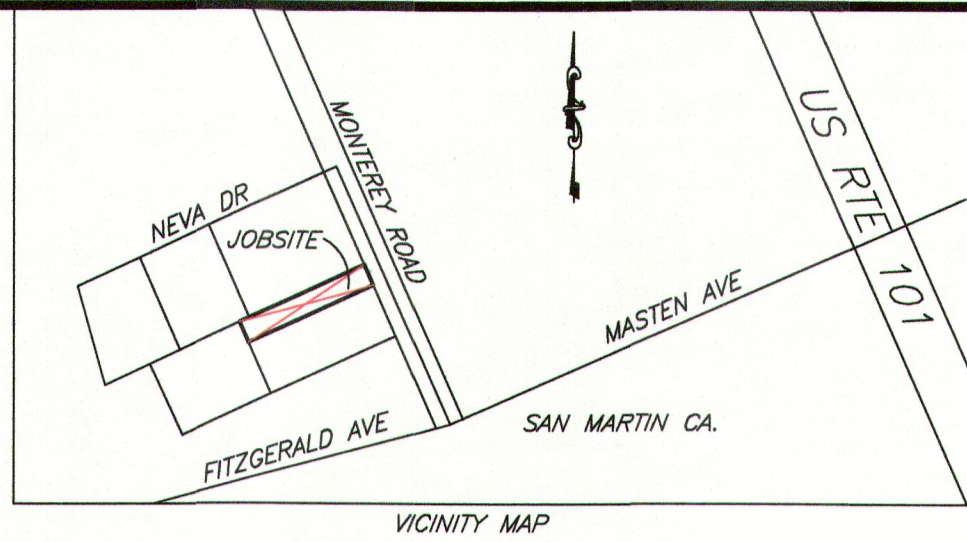
JOB NO. : #116

DRAWING NO. :

# C-01

TECHNICAL INFORMATION

ASSESSOR'S PARCEL NUMBER: 779-15-037  
 ADDRESS OF PROJECT: 11205 MONTEREY HIGHWAY  
 SAN MARTIN, CA. 95046  
 ZONING: RR-5Ac (100%)  
 LAND USE: RESIDENTIAL  
 OWNERS NAME: BRANDON JOSEPH LY AND VIVIAN LYNN LY  
 DEED DOCUMENT: #24394283  
 SIZE OF LOT: 87,120 SQ.FT ± 2.00 ACRES  
 FEMA FLOOD ZONE: D (66.7%), AE (33.3%)

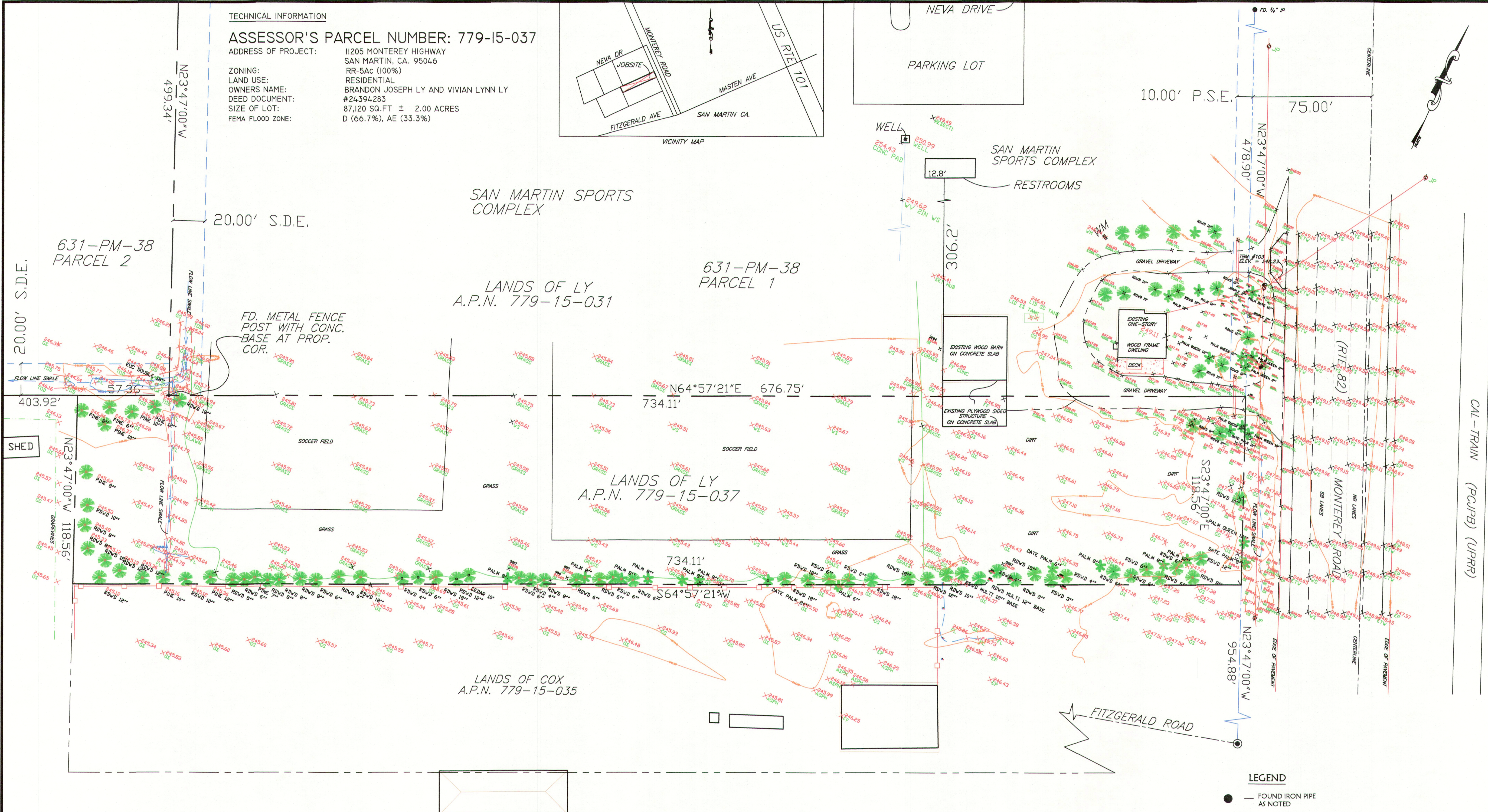


DATE: JUNE 24, 2021	
DRAWN BY: HSE	
REVISION	DATE
1	
2	
3	

THOMAS FINNEGAN & ASSOCIATES  
 PLS 8894  
 32 MIRANGO COURT  
 CLAYTON, CA. 94517  
 (925) 783-4268

TOPOGRAPHIC & BOUNDARY SURVEY  
 LANDS OF LY  
 11205 MONTEREY HIGHWAY  
 SAN MARTIN, CA. 95046

SCALE:  
**1"=30'**  
 SHEET:  
 1 OF 1



**DISCLAIMER:**  
 THOMAS FINNEGAN & ASSOCIATES, OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

**NOTES:**  
 THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF STATION AND OFFSET FROM THE CONTROL LINE. CURBLINE OFFSETS ARE TO THE FACE OF CURB. MANHOLES AND FLAT GRATE OFFSETS ARE TO THEIR RESPECTIVE CENTERS. HOODED CATCH BASINS ARE MEASURED FROM THE TOP OF HOOD AND INVERTS FOR MANHOLES ARE MEASURED FROM THE RIM. THE TOPOGRAPHY CONTROL LINE(S) DEPICTED ON THIS MAP IS BASED ON FOUND MONUMENTS, A SPLIT OF IMPROVEMENTS OR A COMBINATION THEREOF. THE TOPOGRAPHY CONTROL LINE(S) SHOULD NOT BE TAKEN AS REPRESENTING THE RECORD CENTERLINE OF THE STREETS.  
 IF UNDERGROUND UTILITIES ARE SHOWN ON THIS MAP THEN THEY HAVE BEEN LOCATED PER "USA" MARKINGS

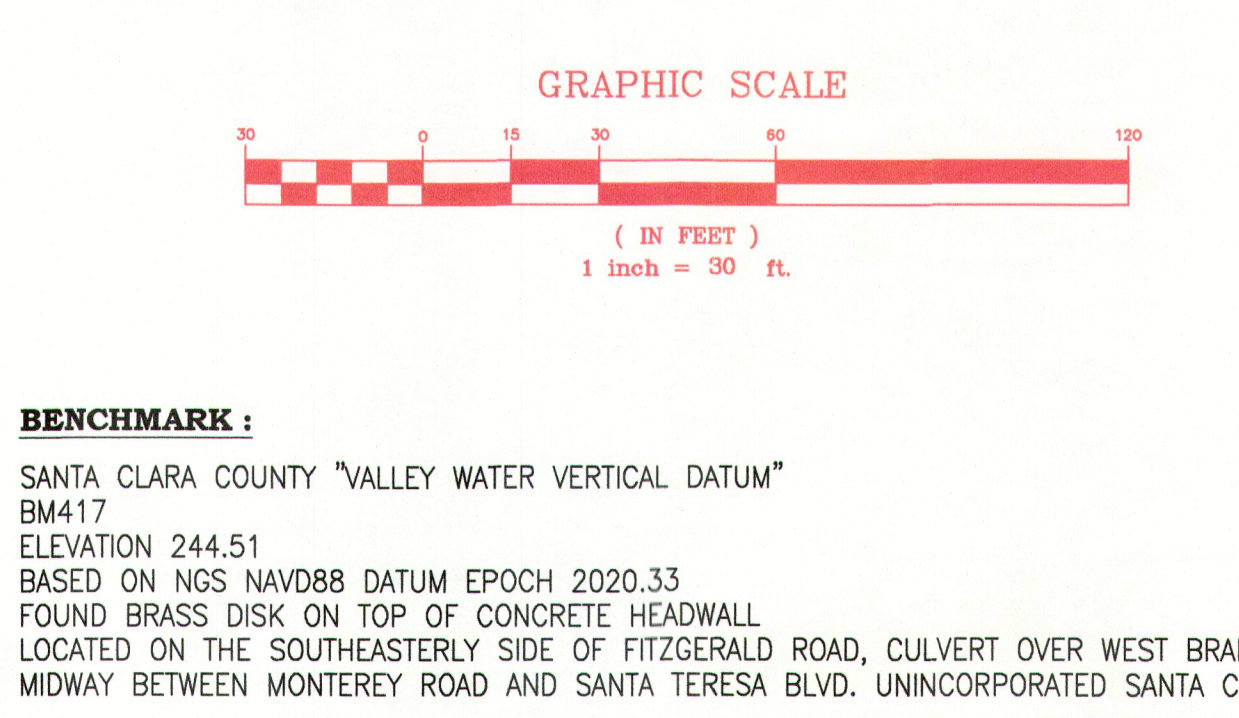
THERE ARE EASEMENTS OF RECORD DELINEATED AND REFERENCED ON THE UNDERLYING MAPS OR THERE MAY BE OTHER RECORDED EASEMENTS WITHIN THE AREA BEING ADJUSTED THAT ARE NOT SHOWN ON THIS MAP THAT COULD ENCUMBER SAID ENCUMBER SAID PARCELS HEREIN.

**SURVEYORS STATEMENT**  
 ALL DISTANCES AND ELEVATIONS SHOWN ARE IN US SURVEY FEET AND DECIMALS THEREOF.

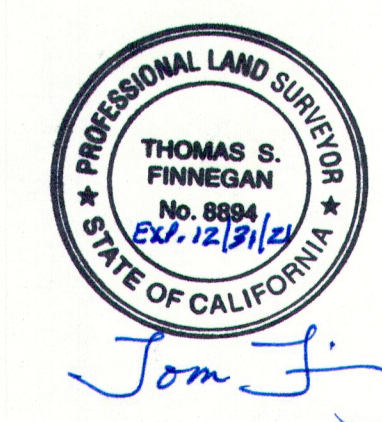
BOUNDARY LINES DELINEATED ON THIS MAP ARE BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORD DATA.

BEARING AND DISTANCES SHOWN ARE BASED ON THE FIELD SURVEYS ON JUNE 24, 2021.

**BASIS OF BEARING**  
 BEARINGS AS SHOWN ON THIS MAP ARE BASED ON MONUMENTS FOUND. THE BEARING N 23°47'00" W THE NORTHWESTERY RIGHT OF WAY LINE OF MONTEREY ROAD, AS SHOWN ON UPON THAT CERTAIN MAP ENTITLED "PARCEL MAP" MAP FILED IN BOOK 631 OF MAPS, PAGE 38, AT THE COUNTY RECORDER OF SANTA CLARA COUNTY OCTOBER 28, 1991.



- LEGEND**
- FOUND IRON PIPE AS NOTED
  - APPROX. LOC. SEPTIC TANK
  - ⊙ SEWER CLEAN OUT
  - ⊗ WATER VALVE
  - ⊕ WATER METER
  - ⊙ JP
  - MAILBOX
  - 6" WIRE MESH FENCE
  - - - RIGHT OF WAY LINE
  - - - EXIST. PROPERTY LINE
  - - - CENTERLINE
  - - - EDGE OF PAVEMENT



CAL - TRAIN (PCJPB) (UPRR)

**LEGEND**

- 100 — EXISTING CONTOUR
- 100 — PROPOSED CONTOUR
- 100FS SPOT ELEVATION
- ▨ PROPOSED CONCRETE AREA
- ▨ PROPOSED LANDSCAPE AREA
- ▨ DECK AREA
- ▨ PROPOSED INFILTRATION BASIN
- SD — PROPOSED STORM DRAIN
- SUB — PROPOSED SUB-DRAIN
- - - FLOW LINE
- - - PROPERTY LINE
- - - BUILDING OUTLINE
- ➔ PROPOSED OVERLAND RELEASE
- ▨ EXISTING OVERLAND RELEASE
- 9" CATCH BASIN
- ⊕ PROPOSED WHARF HYDRANT
- X.X% SURFACE SLOPE
- S=X.X% STORM DRAIN SLOPE
- X.X% EXISTING SURFACE
- PAD PROPOSED PAD ELEVATION
- FS PROPOSED FINISHED SURFACE
- FG PROPOSED FINISHED GROUND
- FF PROPOSED FINISHED FLOOR
- INV INVERT OF PIPE
- TG TOP OF GRATE
- HP HIGH POINT
- FL FLOW LINE
- PL PROPERTY LINE
- EXIST EXISTING
- OFD OVERFLOW DRAIN

**STORMWATER CALCULATION:**

1. TOTAL IMPERVIOUS AREA = 9,744-SF (< 15,000-SF, THE PROJECT FOLLOWS TIER 1 - WATER QUALITY TREATMENT SIZING CRITERIA)
2. INFILTRATION BIORETENTION AREA = 9,744-SF x 0.04 = 390-SF. THIS CALCULATION IS MADE BASED ON THE 10-YEAR STORM ASSUMPTIONS AND OTHER INPUTS BELOW:
  - RAIN INTENSITY = 0.2 IN./HR.
  - PERCOLATION THROUGH SAND/COMPOST MIX MIN. RATE = 5 IN./HR.
  - UNDERDRAIN BEDDED IN GRAVEL LAYER AND ROUTED TO STORM DRAIN AND OUTFALL TO THE FRONTAGE SWALE.
  - INFILTRATION TO NATIVE SOIL
  - DEPTH OF GROUND WATER = MIN. 14-FT (PER HYDROLOGY REPORT BY GEOCONSULTANT, INC DATED 09/02/2021)
3. THE OVERFLOW SD CATCH BASIN IS PROVIDED FOR 100-YEAR STORM RUNOFF.
4. STORM WATER ON THE LANDSCAPE ARE WILL BE SELF-TREATED

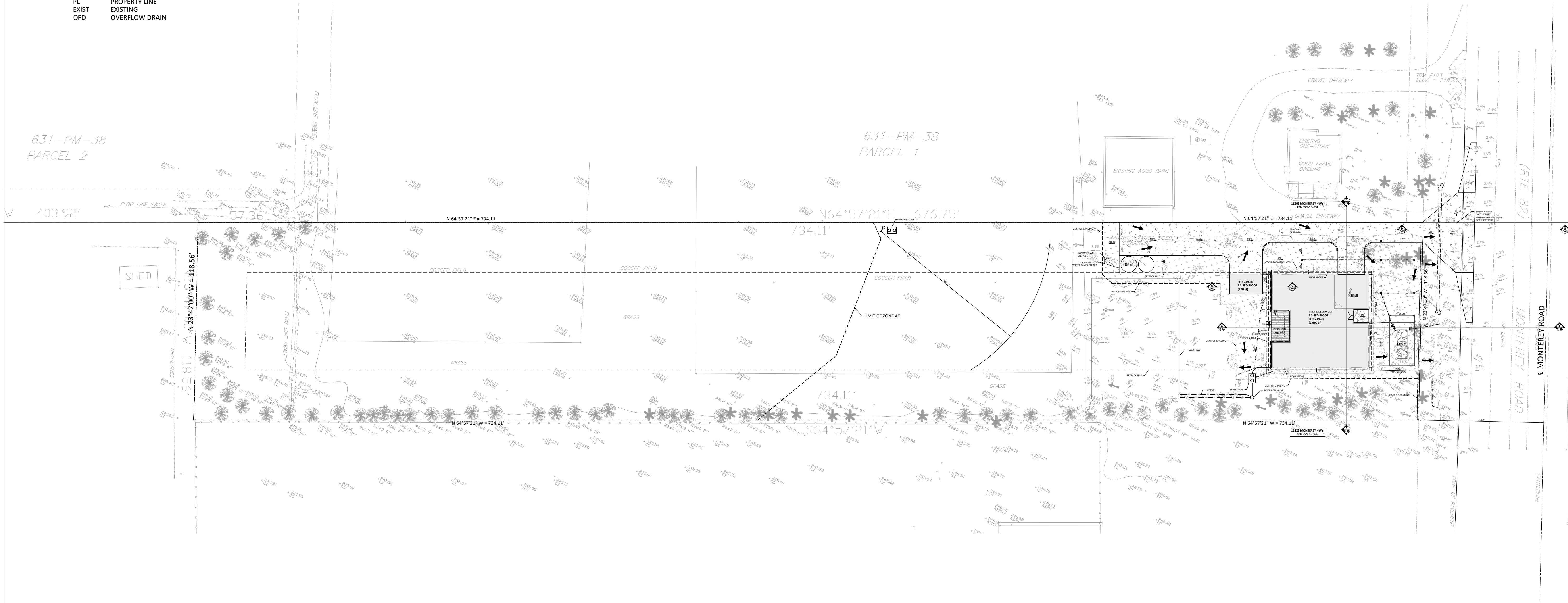


**PROJECT CONTACT**

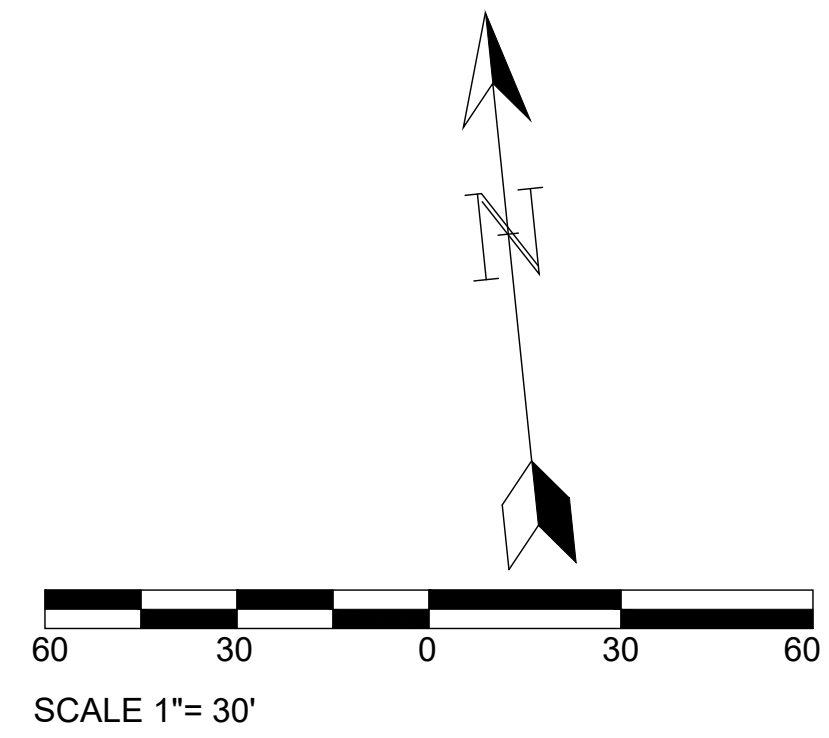
NAME: MY TRUONG  
 PHONE: 408-550-5496  
 EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

**REVISION**

ID	DATE	BY
1	2021/06/24	PLAN CHECK
2	2023/01/09	PLAN CHECK



**OVERALL GRADING AND DRAINAGE PLAN**  
 SCALE 1"= 30'



**OVERALL GRADING AND DRAINAGE PLAN**

MONTEREY HIGHWAY, SAN MARTIN, CA 95020  
 APN 779-15-037

DATE: 2024/03/27

SCALE AS SHOWN

DRAW BY:

JOB NO. : #116

DRAWING NO. :

**C-02**



**PROJECT CONTACT**  
 NAME: MY TRUONG  
 PHONE: 408-550-5496  
 EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

REVISION		
ID	DATE	BY
1	2021/06/24	PLAN CHECK
2	2023/01/09	PLAN CHECK

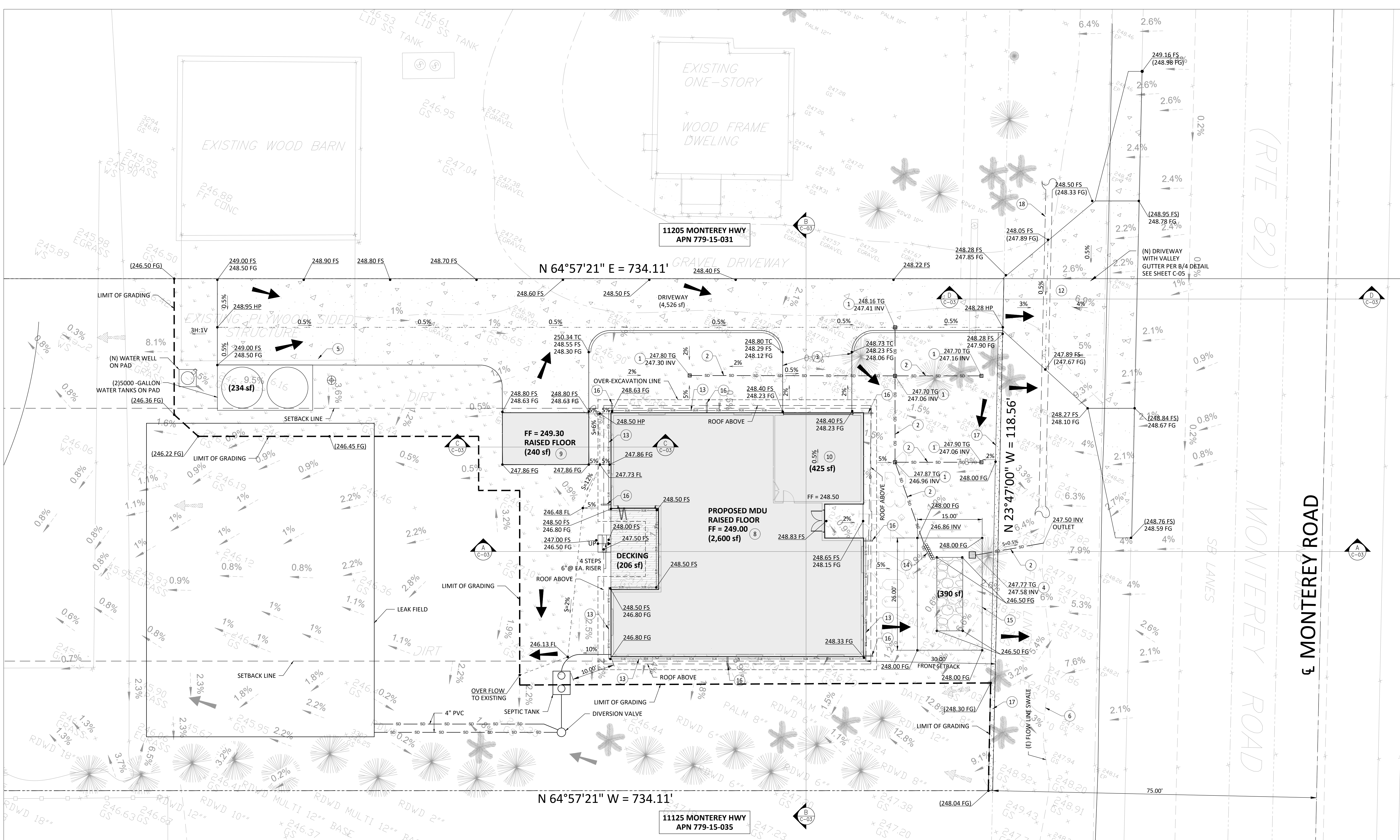
**GRADING AND DRAINAGE PLAN**

MONTEREY HIGHWAY, SAN MARTIN, CA 95020  
 APN 779-15-037

DATE: 2024/03/27  
 SCALE AS SHOWN  
 DRAW BY:

JOB NO. : #116  
 DRAWING NO. :

**C-03**



- CONSTRUCTION KEY NOTE**
- INSTALL 9" CATCH BASIN WITH 9" SQUARE GRATE NUMBER 980
  - INSTALL 4" DIA. PVC SCHEDULE 40 OR SDR 35 PIPE DRAIN SYSTEM.
  - CONSTRUCT NEW DRIVEWAY PER DETAIL ON C-3.
  - INSTALL 18"x18" OVERFLOW INLET
  - EXISTING STRUCTURE TO BE DEMOLISHED.
  - EXISTING FLOW LINE SWALE.
  - CONSTRUCT PROPOSED ADU PER ARCHITECTURAL PLAN.
  - CONSTRUCT PROPOSED MDU PER ARCHITECTURAL PLAN.
  - CONSTRUCT PROPOSED STORAGE PER ARCHITECTURAL PLAN.
  - CONSTRUCT PROPOSED GARAGE PER ARCHITECTURAL PLAN.
  - INSTALL INFILTRATION BIORETENTION AREA, SEE DETAIL ON SHEET C-3
  - CONSTRUCT DRIVEWAY APPROACH PER STANDARD DETAIL 84-1.2
  - INSTALL SUB-DRAIN SYSTEM

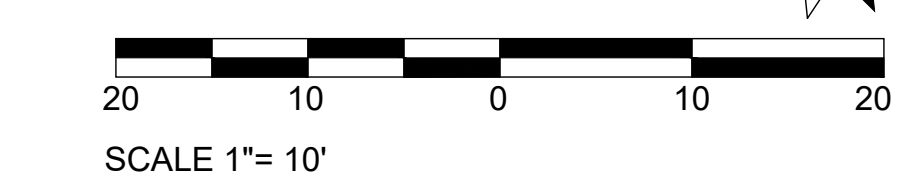
- BIOTREATMENT SOIL REQUIREMENTS:**
- BIORETENTION SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX C OF THE C-3 STORM WATER HANDBOOK AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX C FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE C-3 HANDBOOK AT: [HTTPS://CLEANWATER.SCCGOV.ORG/SITES/G/FILES/XCJCKP461/FILES/SCVURPPP\\_C.PDF](https://cleanwater.sccgov.org/sites/g/files/xcjckp461/files/scvurppp_c.pdf)
  - PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

- BIOTREATMENT NOTES:**
- SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
  - PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.
  - SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS
  - CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT MAXIMUM 10' O.C. INTERVALS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED IN LINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
  - A MINIMUM 0.2' DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
  - DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

- LEGEND**
- 100 — EXISTING CONTOUR
  - 100 — PROPOSED CONTOUR
  - 100FS — PROPOSED CONCRETE AREA
  - PROPOSED LANDSCAPE AREA
  - DECK AREA
  - PROPOSED INFILTRATION BASIN
  - SD — PROPOSED STORM DRAIN
  - SUB — PROPOSED SUB-DRAIN
  - FLOW LINE
  - - - PROPERTY LINE
  - BUILDING OUTLINE

- PROPOSED OVERLAND RELEASE
- EXISTING OVERLAND RELEASE
- 9" CATCH BASIN
- ⊕ PROPOSED WHARF HYDRANT
- X.X% SURFACE SLOPE
- S=X.X% STORM DRAIN SLOPE
- EXISTING SURFACE
- PAD PROPOSED PAD ELEVATION
- FS PROPOSED FINISHED SURFACE
- FG PROPOSED FINISHED FLOOR
- FF INVERT OF PIPE
- INV TOP OF GRATE
- HP HIGH POINT
- FL FLOW LINE
- PL PROPERTY LINE
- EXIST EXISTING
- OFD OVERFLOW DRAIN

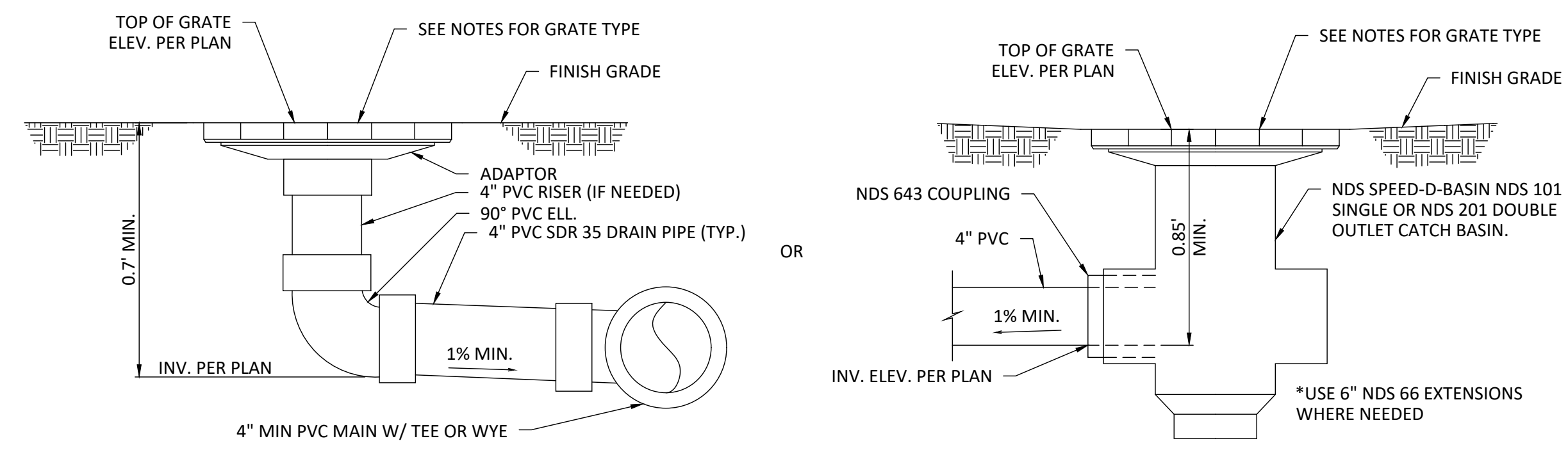
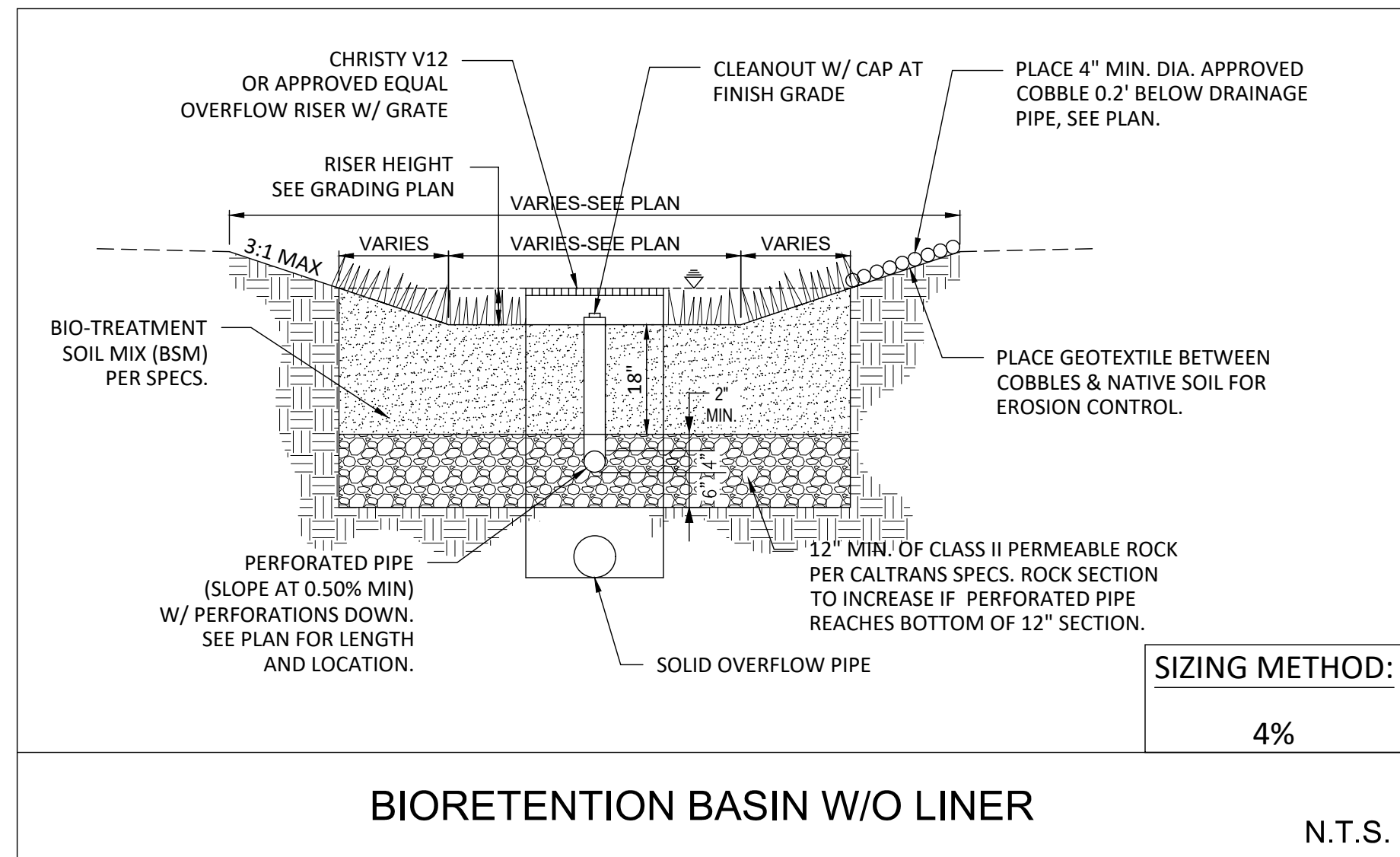
**GRADING AND DRAINAGE PLAN**  
 SCALE 1" = 10'



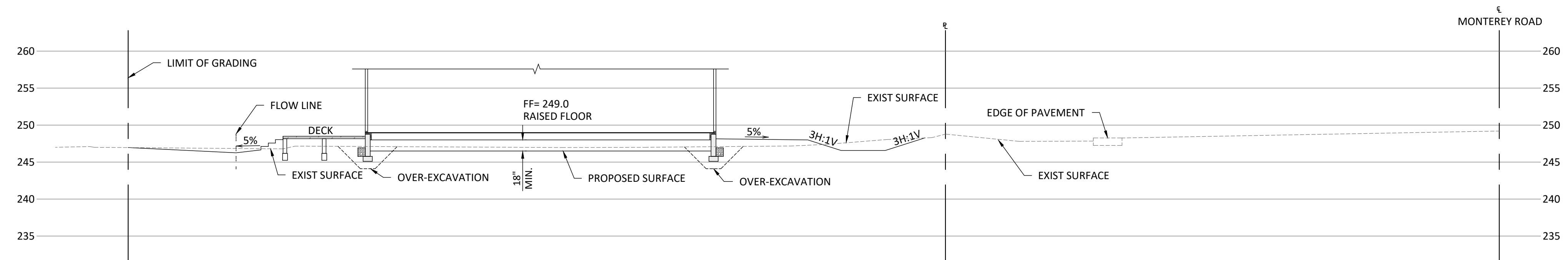
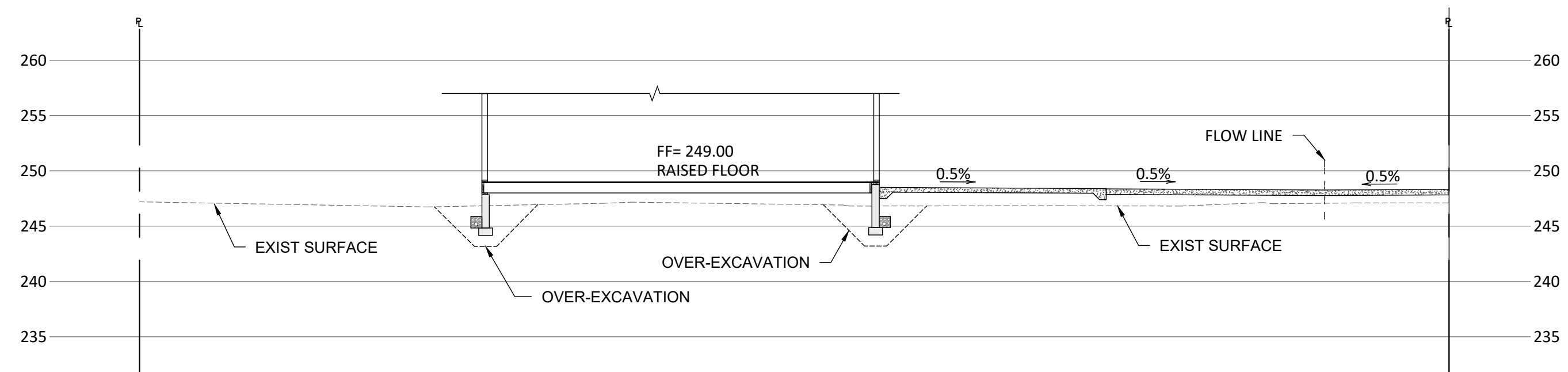
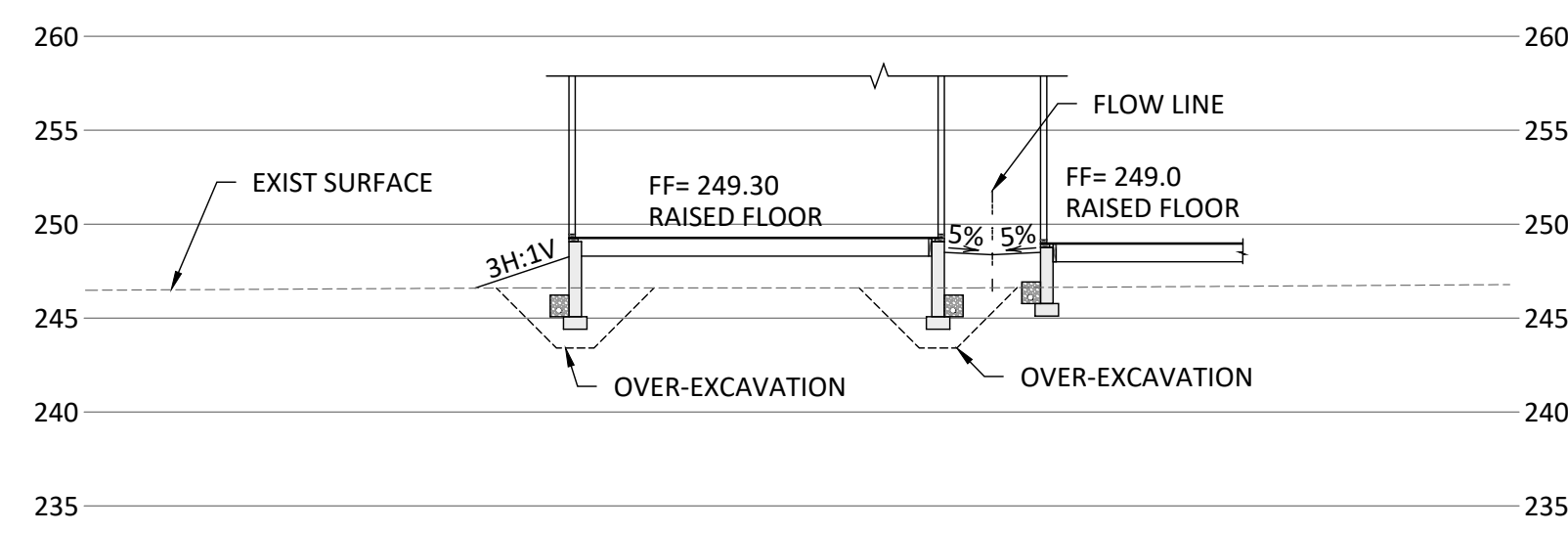
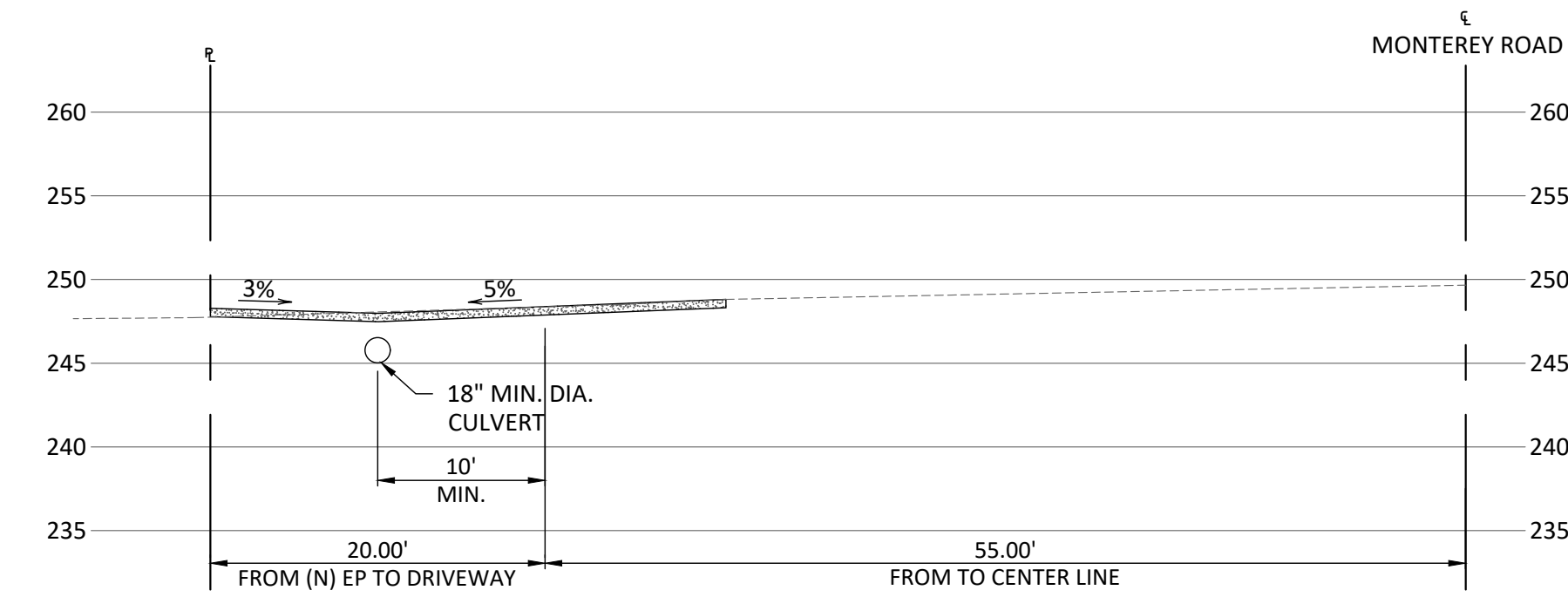


**PROJECT CONTACT**  
 NAME: MY TRUONG  
 PHONE: 408-550-5496  
 EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

REVISION		
ID	DATE	BY
1	2021/06/24	PLAN CHECK
2	2023/01/09	PLAN CHECK



- NOTE:
- ALL FITTINGS BY: NDS, INC. (OR EQUAL) PHONE: 1-800-726-1994
  - REFER TO GRADING PLAN FOR FINISH GRADING.
  - DO NOT GLUE GRATE OR RISER TO PIPE.
  - GLUE "L.P.S. WELD ON" #773 SOLVENT (MEDIUM BODIED FAST SET) FOR PIPE THRU 6" Ø.
  - ALL PIPES TO BE 4" Ø PVC SDR 35 OR SCHEDULE 40.



SECTION AND DETAILS

MONTEREY HIGHWAY, SAN MARTIN, CA 95020  
 APN 779-15-037

DATE: 2024/03/27  
 SCALE AS SHOWN  
 DRAW BY:

JOB NO. : #116  
 DRAWING NO. :

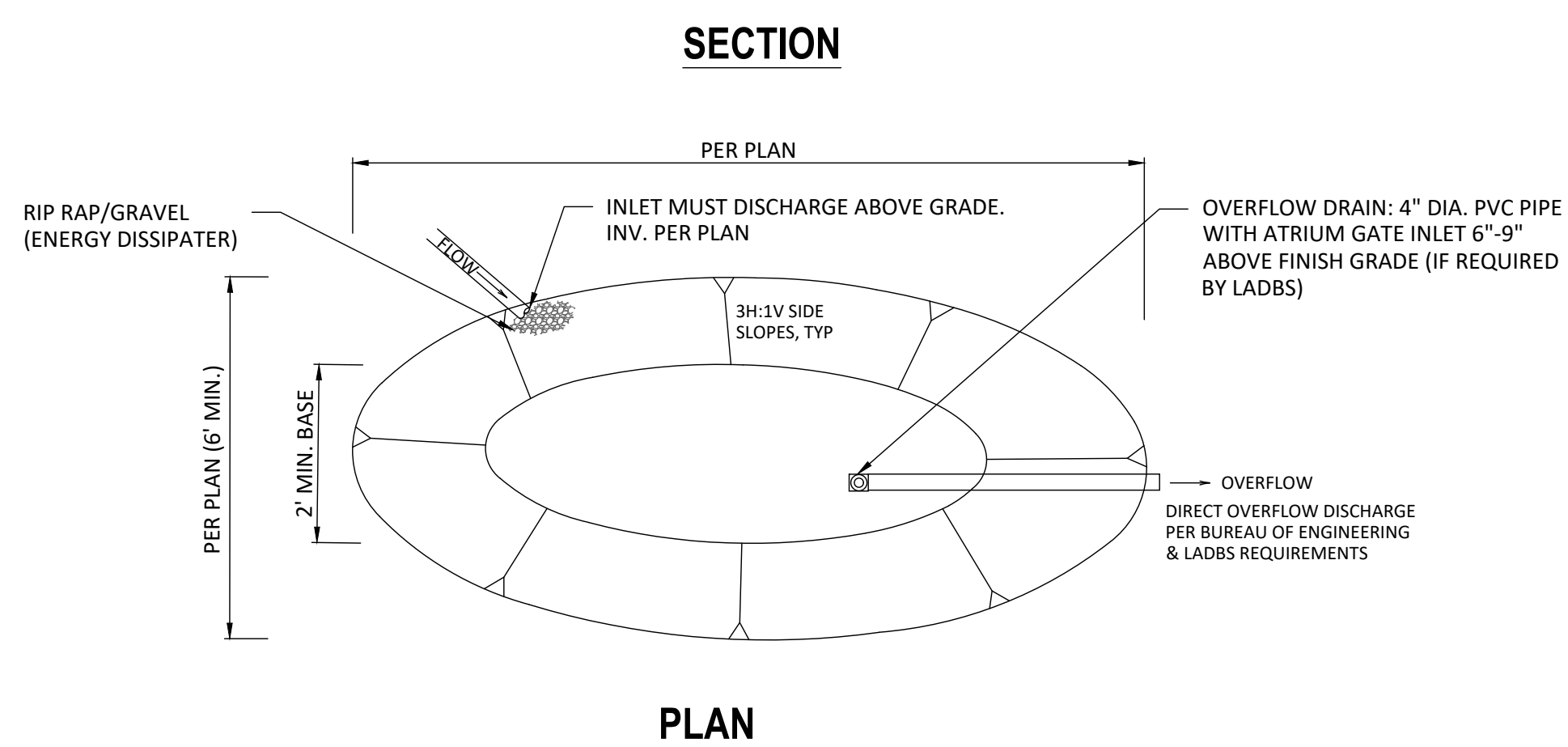
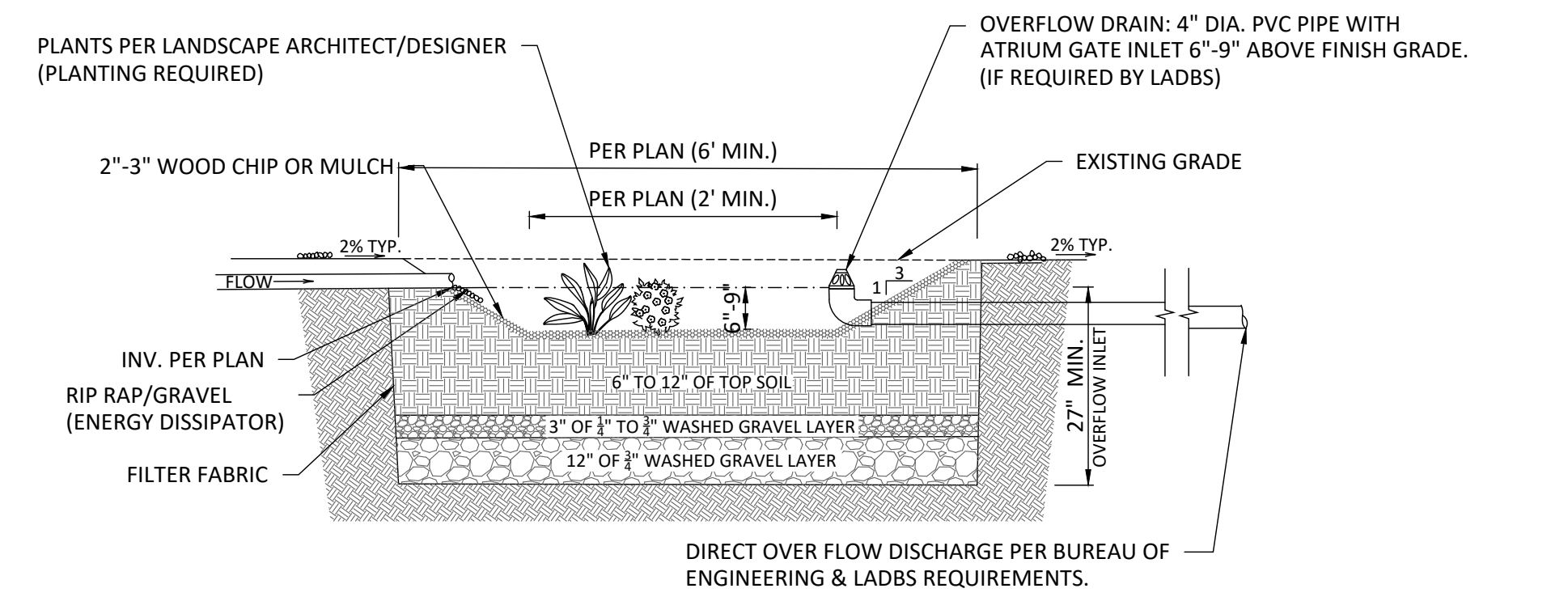
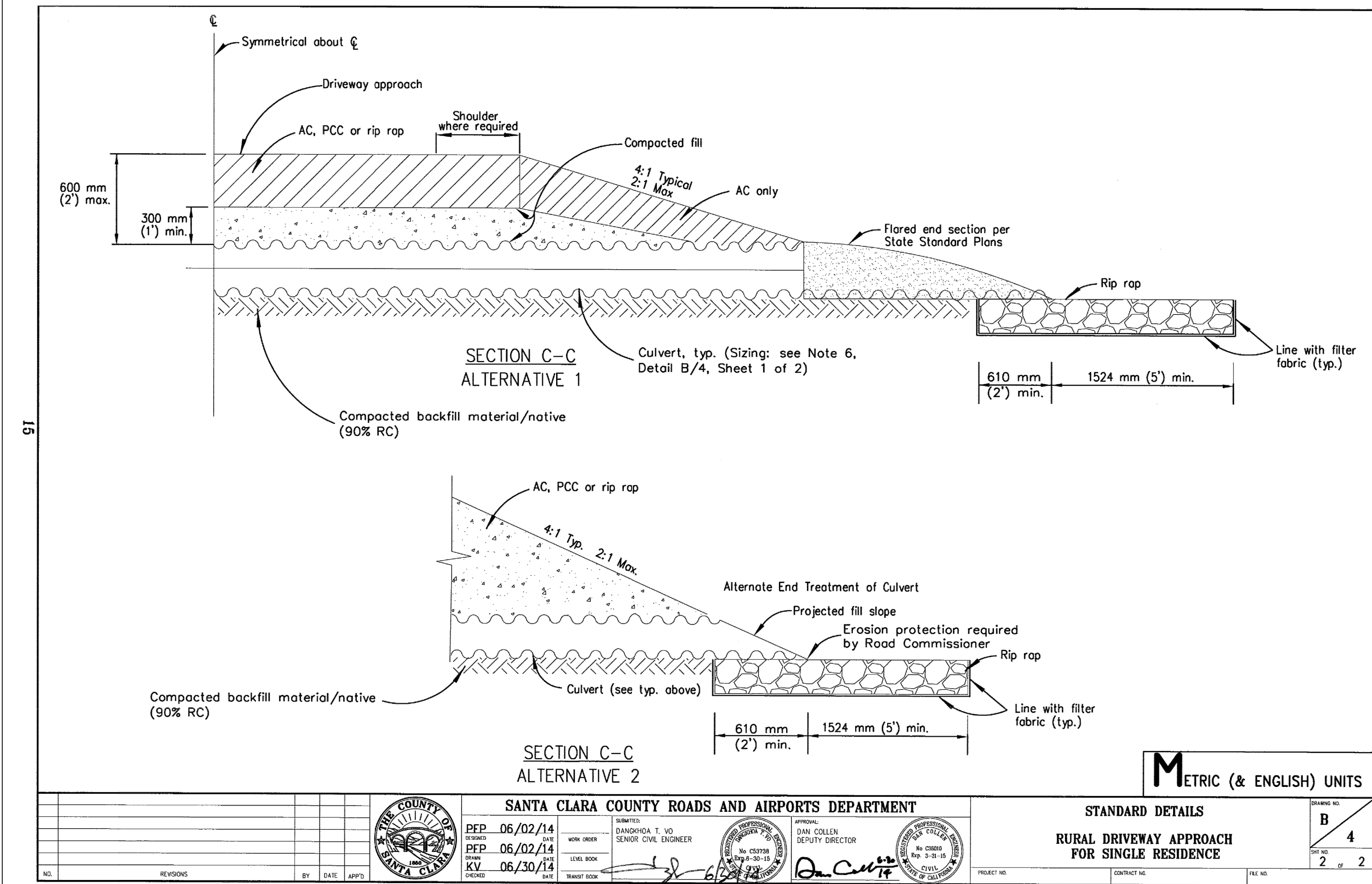
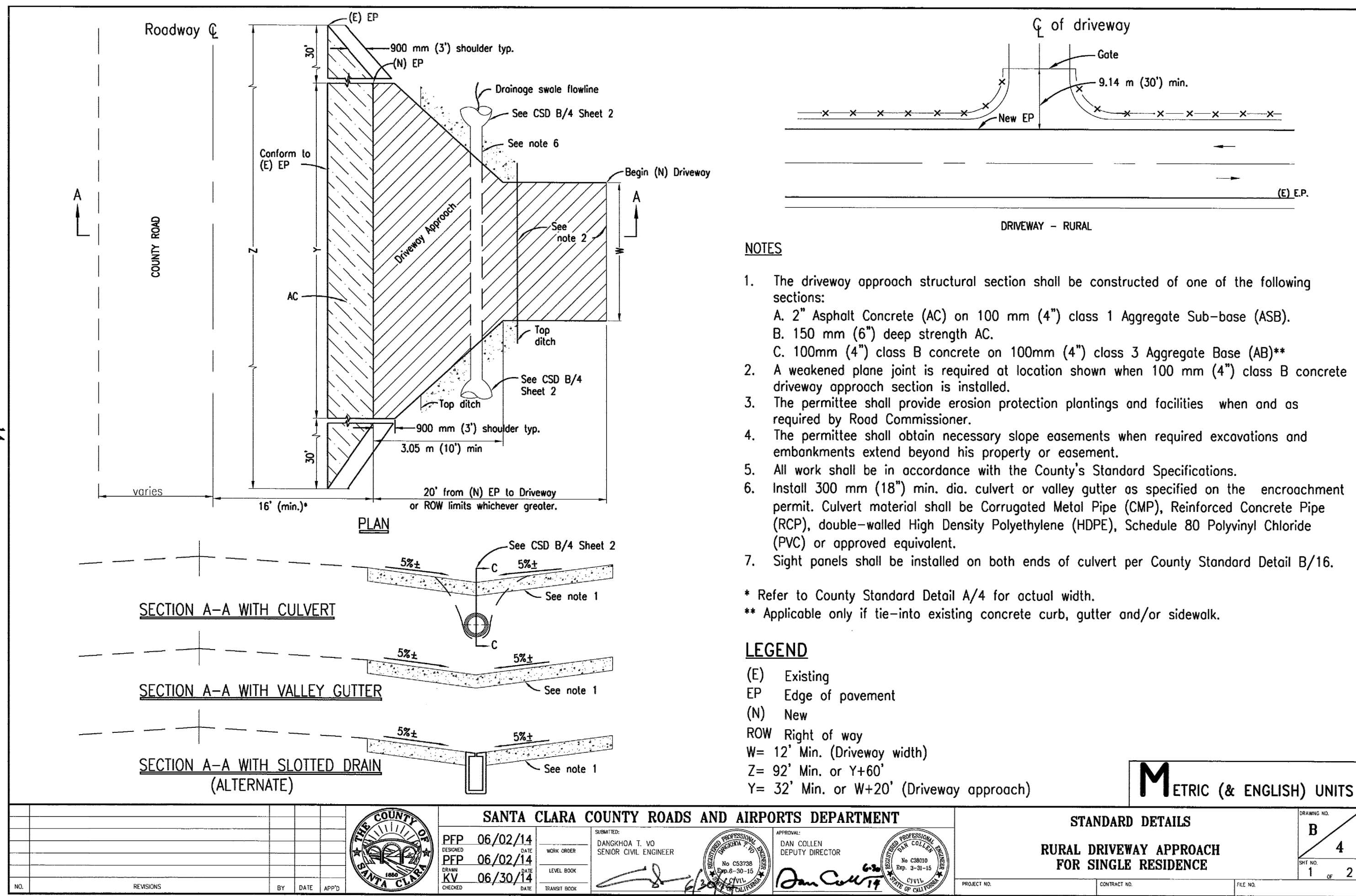
C-04





**PROJECT CONTACT**  
 NAME: MY TRUONG  
 PHONE: 408-550-5496  
 EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

REVISION		
ID	DATE	BY
1	2021/06/24	PLAN CHECK
2	2023/01/09	PLAN CHECK

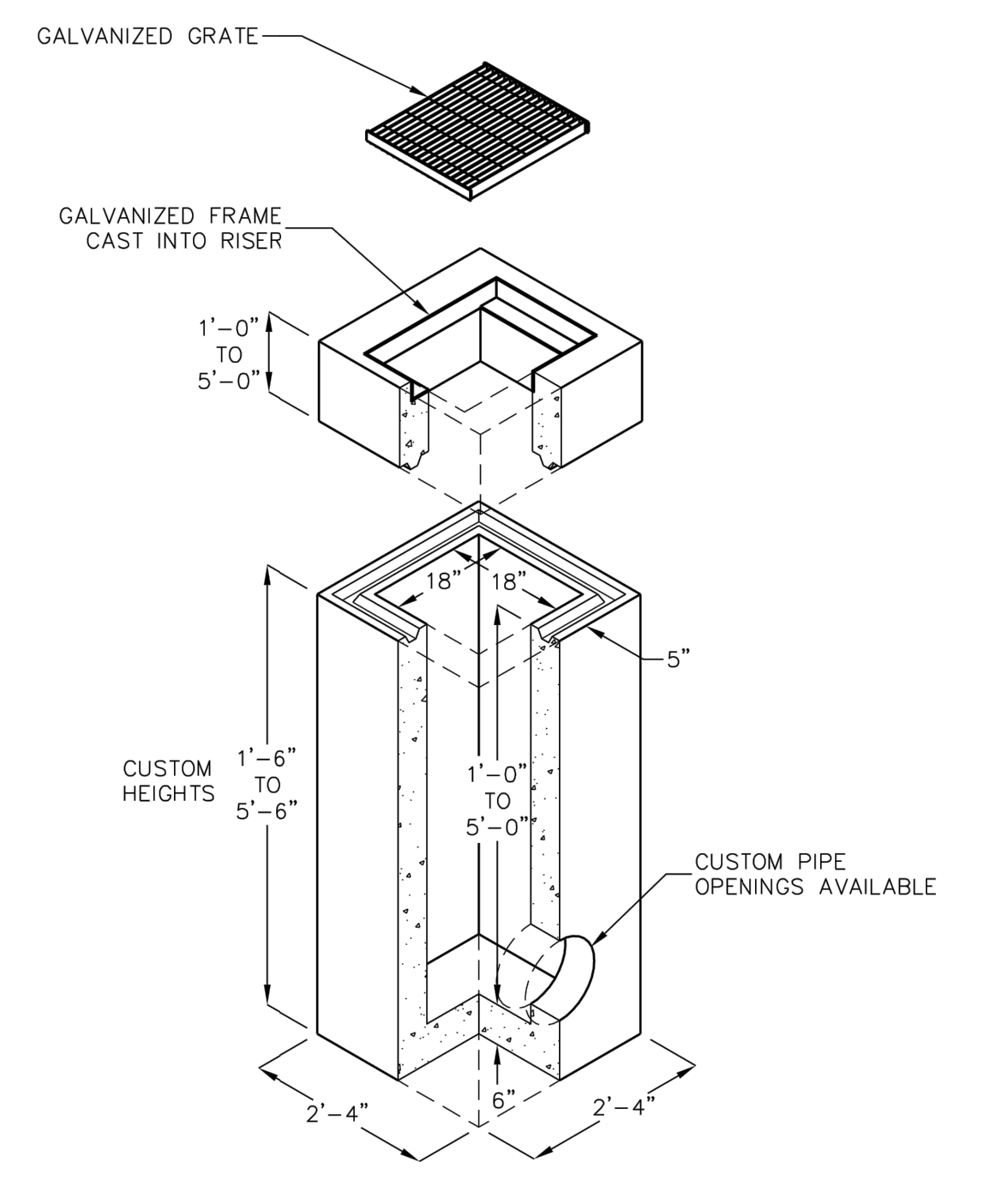


**NOTE:**

- RAIN GARDENS USED AS INFILTRATION SHALL NOT BE PERMITTED IN AREAS DESIGNATED AS LIQUEFACTION OR HILLSIDE GRADING AREAS AND ON SLOPES THAT EXCEEDS 30%.
- EDGE OF RAIN GARDEN MUST MEET INFILTRATION SETBACKS PER LADBS INFILTRATION BULLETIN (P/BC 2014-118).
- DIRECT OVERFLOW DISCHARGE PER BUREAU OF ENGINEERING AND BUILDING & SAFETY REQUIREMENTS.
- SEE RAIN GARDEN FACT SHEET FOR MORE INFORMATION.

**DETAIL STORMWATER RAIN GARDEN FOR SMALL SCALE RESIDENTIAL**  
 NOT TO SCALE

**DROP INLET**  
 18"x18" I.D.  
 (NOMINAL DIMENSIONS)  
 WITH FRAME AND GRATE

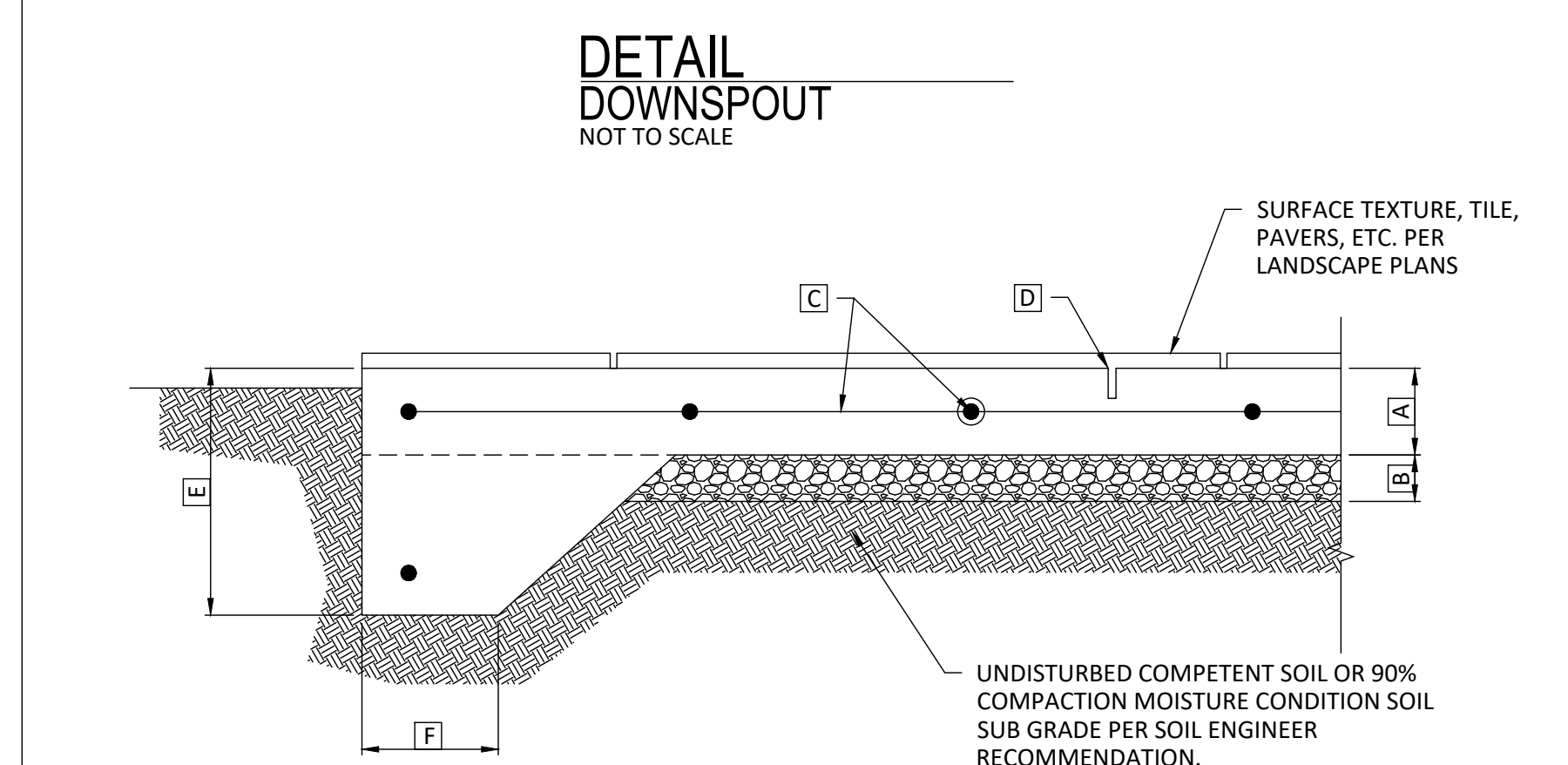
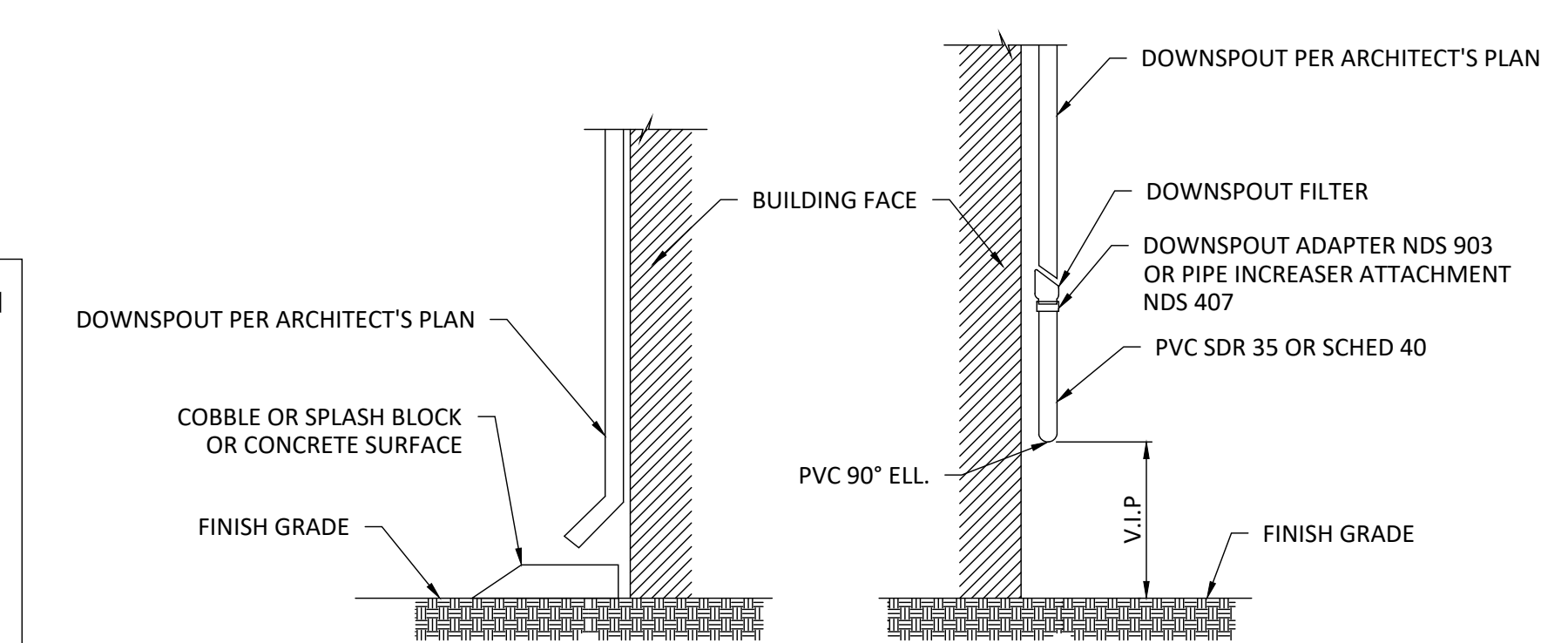


FOR COMPLETE DESIGN AND PRODUCT INFORMATION CONTACT JENSEN PRECAST.

2/1/08  
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Jensen Precast reserves the right to make changes to product design and/or dimensions without notice. Please contact Jensen Precast whenever necessary for confirmation or advice on product design.

**JENSEN PRECAST**



**NOTES:**

- THIS DETAIL IS FOR REFERENCE ONLY TO ILLUSTRATE SOILS REPORT REQUIREMENTS. HARDSCAPE DESIGN BY OTHERS.
- SEE SOILS REPORT FOR OVEREXCAVATION AND SUBGRADE PREPARATION REQUIREMENTS.

	DRIVEWAYS	HARDSCAPE
A	MIN. SLAB THICKNESS	6" / 4"
B	MIN. AGG. BASE THICKNESS	6" / 4"
C	MIN. REINFORCEMENT (O.C./E.W.)	#4@12" / #4@12"
D	MAX. SAWCUT OR COLD JT. SPACING	6" / 6"
E	THICKENED EDGE DEPTH	12" / 12"
F	THICKENED EDGE WIDTH	8" / 8"

**DETAIL TYPICAL DRIVEWAY / HARDSCAPE SECTION**  
 NOT TO SCALE

SECTION AND DETAILS

MONTEREY HIGHWAY, SAN MARTIN, CA 95020  
 APN 779-15-037

DATE: 2024/03/27  
 SCALE AS SHOWN  
 DRAW BY:

JOB NO. : #116  
 DRAWING NO. :

**C-05**

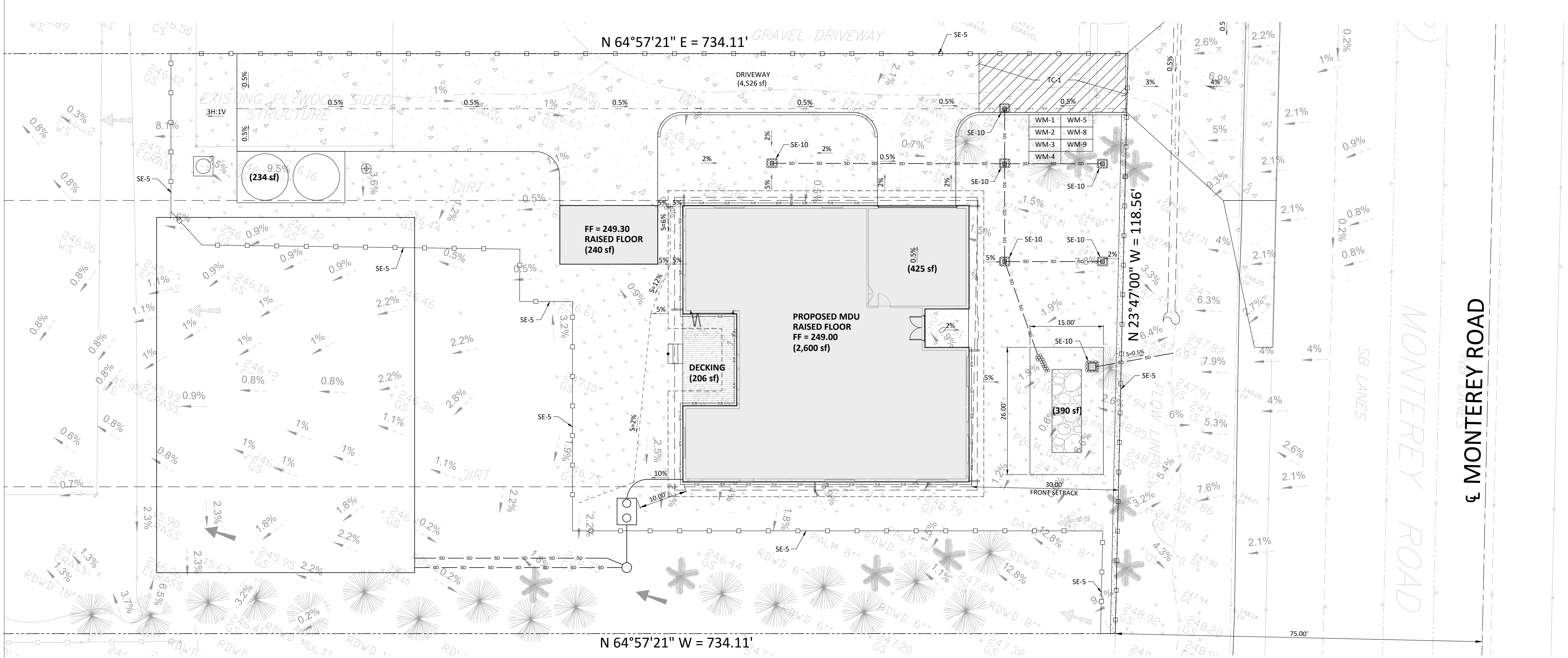


**PROJECT CONTACT**  
 NAME: MY TRUONG  
 PHONE: 408-550-5496  
 EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

REVISION		
ID	DATE	BY
1	2021/06/24	PLAN CHECK
2	2023/01/09	PLAN CHECK

EROSION CONTROL PLAN

MONTEREY HIGHWAY, SAN MARTIN, CA 95020  
APN 779-15-037



TRACKING CONTROL		
TC-1	STABILIZED CONSTRUCTION EXIT	RUMBLE RACK SHALL BE PLACED ON THE DRIVEWAY TO ENSURE THAT ALL VEHICLES LEAVING THE SITE PASS OVER THE DEVICES BEFORE ENTERING THE PUBLIC STREET.

NON-STORMWATER MANAGEMENT		
NS-1	WATER CONSERVATION PRACTICES	MAINTAIN WATER EQUIPMENT TO PREVENT NON-STORMWATER DISCHARGES.
NS-3	PAVING AND GRADING OPERATIONS	APPLY PARAMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGE.
NS-6	ILLCIT CONNECTION / ILLEGAL DISCHARGE	CONTRACTOR SHALL REPORT ILLICIT CONNECTIONS OR ILLEGALLY DUMPED MATERIALS ON SITE TO THE RESIDENT ENGINEER IMMEDIATELY AND CONTRACTOR SHALL TAKE NO FURTHER ACTION UNTIL THE RESIDENT ENGINEER PROVIDE A RESPONSE/
NS-7	POTABLE WATER / IRRIGATION	EXCISE CARE DURING CONSTRUCTION TO PREVENT NON-STORMWATER DISCHARGES.
NS-8	VEHICLE AND EQUIPMENT CLEANING	ALL VEHICLES AND EQUIPMENT WILL BE CLEANED OFF-SITE.
NS-9	VEHICLE AND EQUIPMENT FUELING	ALL VEHICLES AND EQUIPMENT WILL BE FUELED OFF-SITE.
NS-10	VEHICLE AND EQUIPMENT MAINTENANCE	ALL VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE.
NS-12	CONCRETE CURING	APPLIES TO ALL CONCRETE CONSTRUCTION.
NS-13	CONCRETE FINISHING	APPLIES TO ALL CONCRETE CONSTRUCTION.

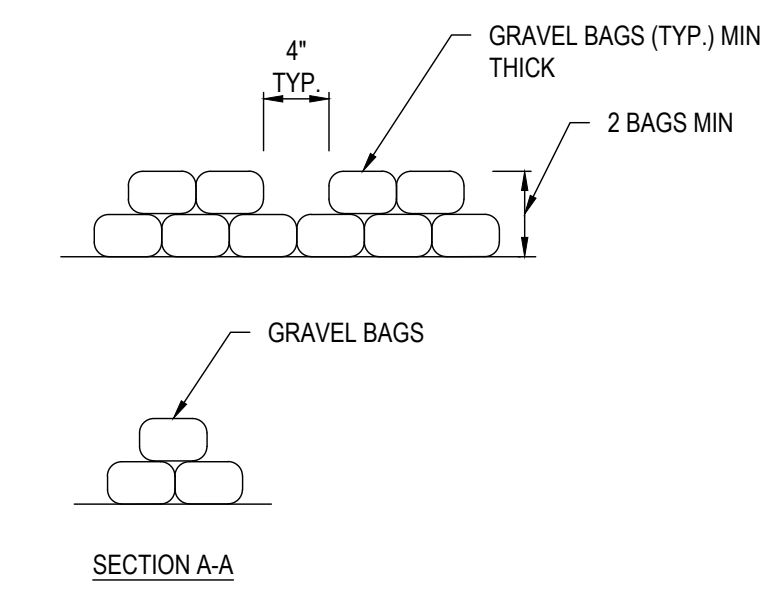
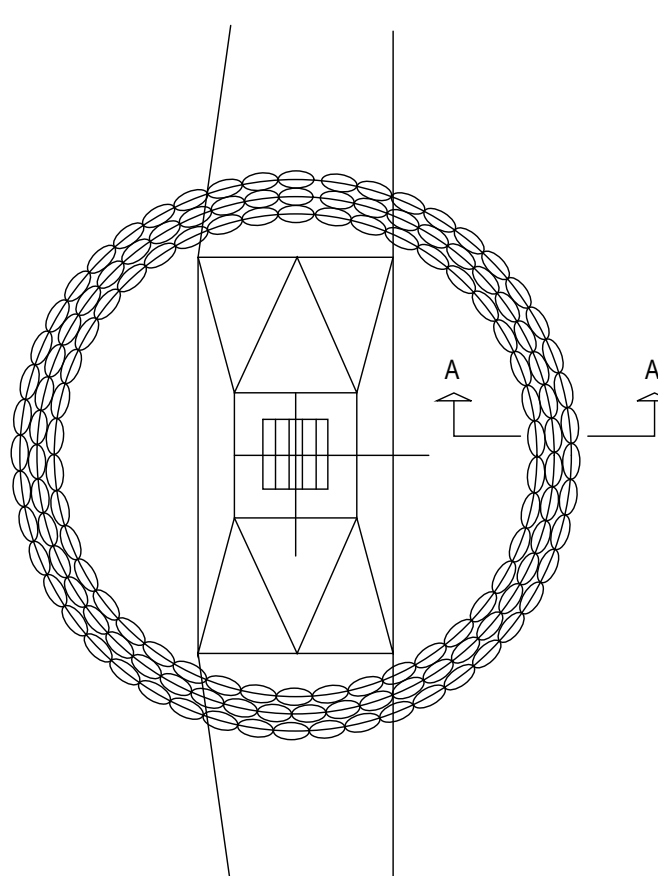
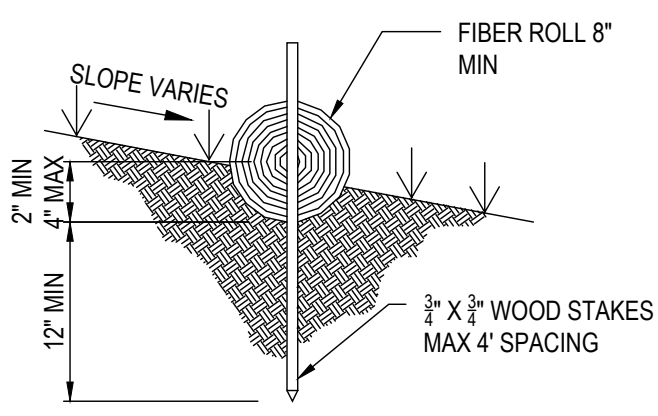
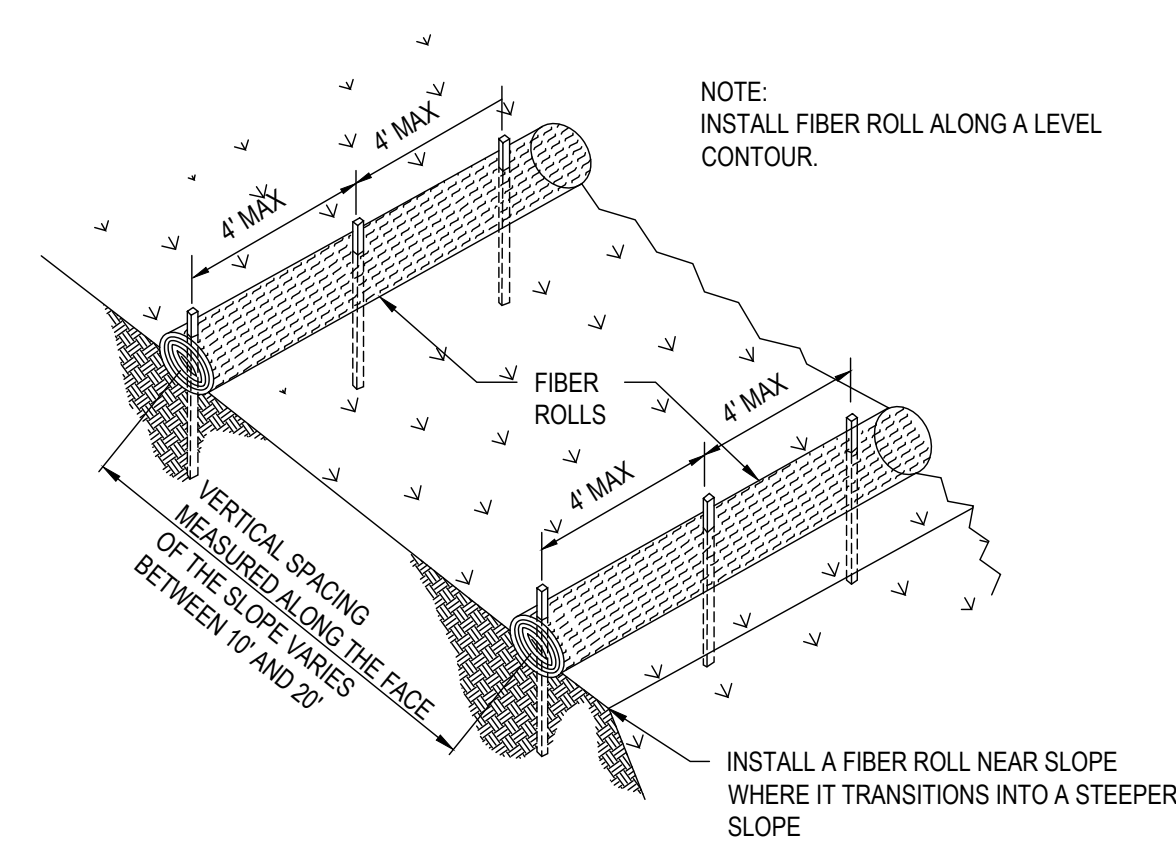
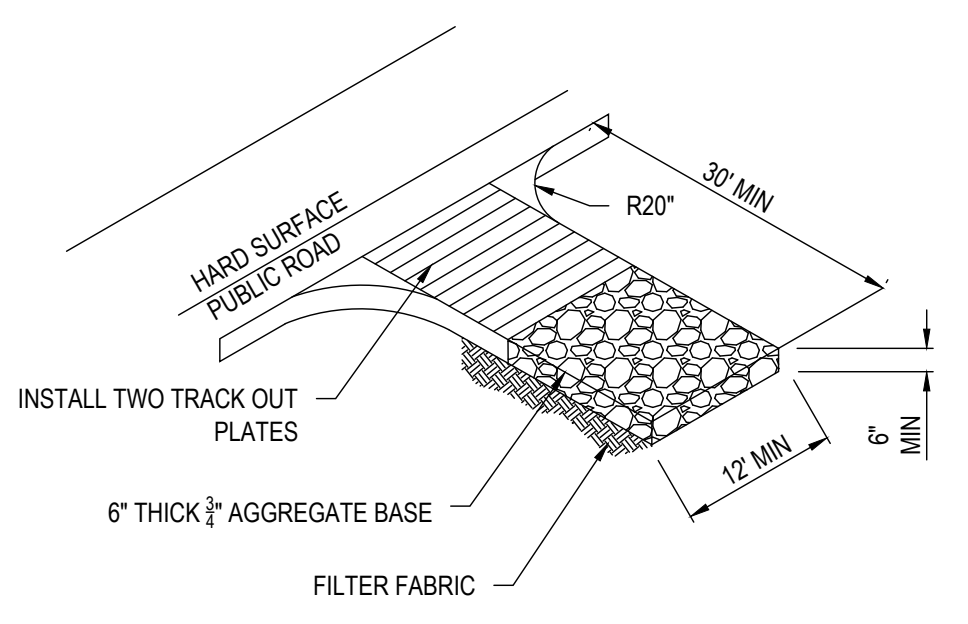
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL		
WM-1	MATERIAL DELIVERY AND STORAGE	MATERIALS SHALL BE STORED ON-SITE IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND. MATERIAL INVENTORY SHALL CONSIST OF SUPPLY REQUIRED FOR A FEW DAYS.
WM-2	MATERIAL USE	MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTION.
WM-3	STOCKPILE MANAGEMENT	MATERIALS STOCKPILES SHALL BE SURROUNDED BY A TEMPORARY SEDIMENT BARRIER AND COVERED TO MAINTAIN DUST CONTROL.
WM-4	SPILL PREVENTION AND CONTROL	AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEE SHALL BE EDUCATED ON THE CLASSIFICATION OF SPILLS AND APPROPRIATE RESPONSES.
WM-5	SOLID WASTE MANAGEMENT	SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8	CONCRETE WASTE MANAGEMENT	AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENT OF THE CITY.
WM-9	SANITARY / SEPTIC WASTE MANAGEMENT	ON-SITE FACILITY SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.

EROSION CONTROL BMPs		
EC-1	SCHEDULING	SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.

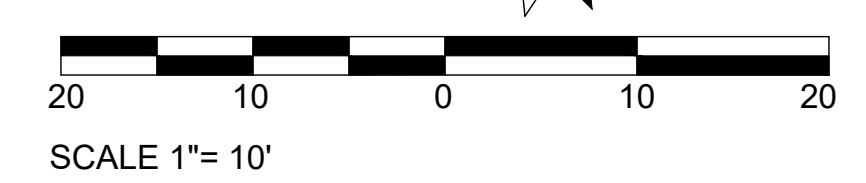
TEMPORARY SEDIMENT CONTROL		
SE-5	FIBER ROLLS	INSTALL WHERE SHOWN ON PLAN.
SE-7	STREET SWEEPING AND VACUUMING	STREET SHALL BE SWEEPED, SEDIMENT COLLECTED, AND DISPOSED OF OFF-SITE ON A DAILY BASIS.
SE-10	STORM WATER INLET PROTECTION	ONCE INLET RISERS ARE CONSTRUCTED, SURROUND RISERS WITH GRAVEL BAGS OR CAP THE RISER TO REDUCE SEDIMENT INTRODUCTION TO THE AREA DRAIN SYSTEM.

WIND EROSION CONTROL BMPs		
WE-1	WIND EROSION CONTROL	WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE ON THE ROUGH GRADED PADS AND ANY STOCKPILE AREAS.

**EROSION CONTROL PLAN**  
SCALE 1"= 10'



**DETAIL STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



DATE: 2024/03/27  
 SCALE AS SHOWN  
 DRAW BY:

JOB NO. : #116  
 DRAWING NO. :

**C-06**



**PROJECT CONTACT**  
 NAME: MY TRUONG  
 PHONE: 408-550-5496  
 EMAIL: BAYAREAPROJECTPRO@GMAIL.COM

REVISION		
ID	DATE	BY
1	2021/06/24	PLAN CHECK
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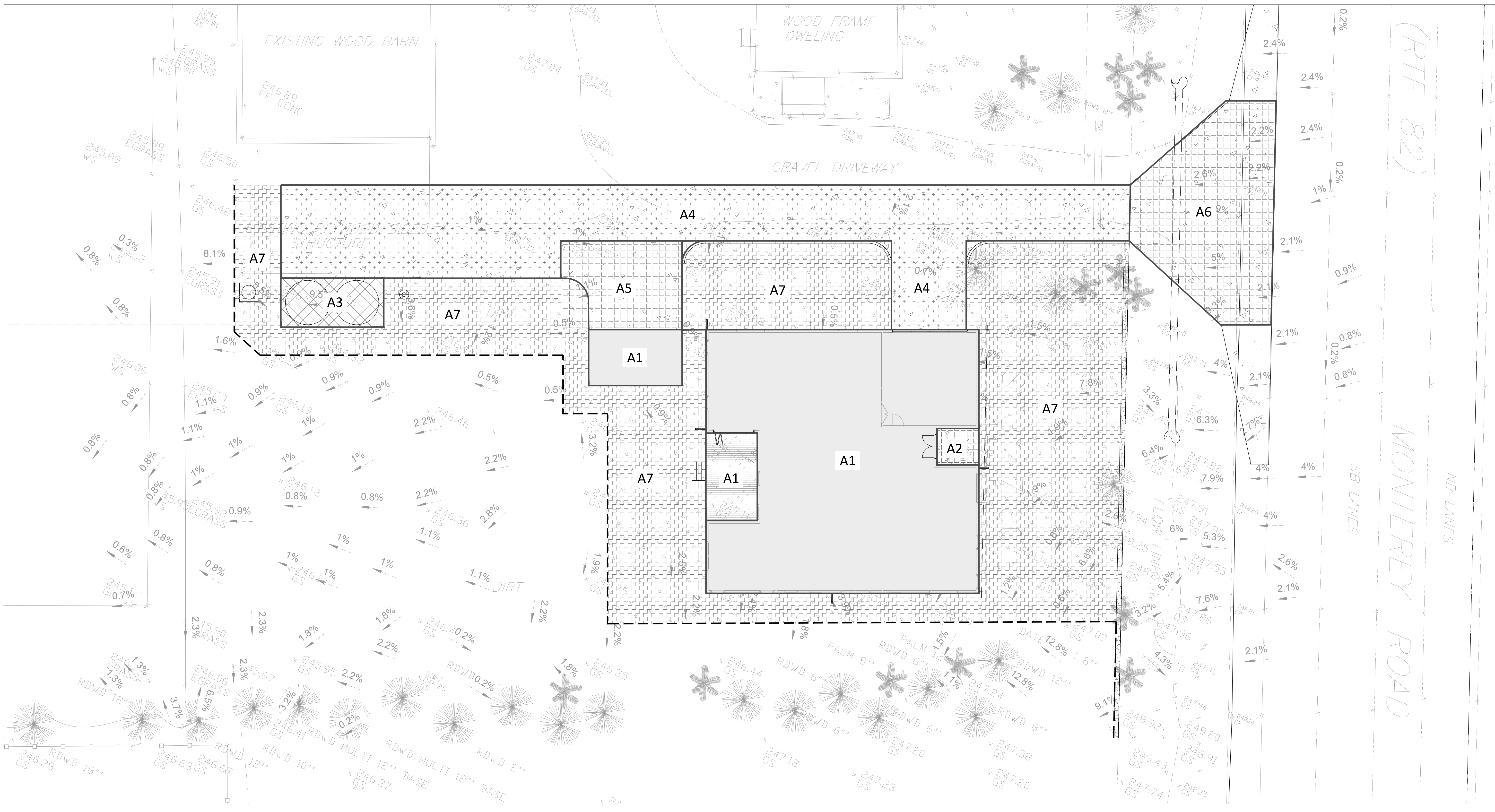
**CUT AND FILL PLAN**

MONTEREY HIGHWAY, SAN MARTIN, CA 95020  
 APN 779-15-037

DATE: 2024/03/27  
 SCALE AS SHOWN  
 DRAW BY:

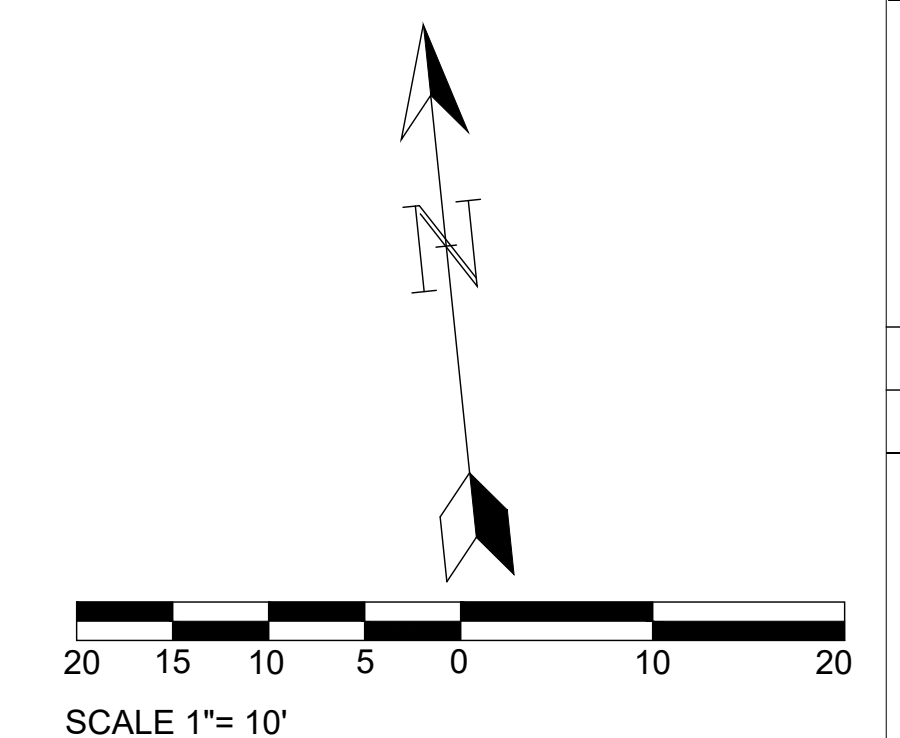
JOB NO. : #116  
 DRAWING NO. :

**C-07**



**CUT AND FILL PLAN**  
 SCALE 1"=10'

AREA (ft <sup>2</sup> )	CUT (ft <sup>3</sup> )	FILL (ft <sup>3</sup> )	IMPORT (ft <sup>3</sup> )	EXPORT (ft <sup>3</sup> )	VERTICAL DEPTH (ft)	NOTE
A1	0	0	0	0	0	Raise floor
A2	0	3.68	3.68	0	1.44	Landing
A3	0	18.35	18.35	0	2.14	Tank pad
A4	2.28	109	109	0	1.3	Driveway
A5	0	27.45	31.28	0	1.62	In front of storage
A6	9.28	0.99	0	10.25	0.25	Driveway approach
A7	23.67	117.63	107.44	0	0.53	Site improvements
<b>Total</b>	<b>35.23</b>	<b>277.10</b>	<b>241.87</b>	<b>10.25</b>		





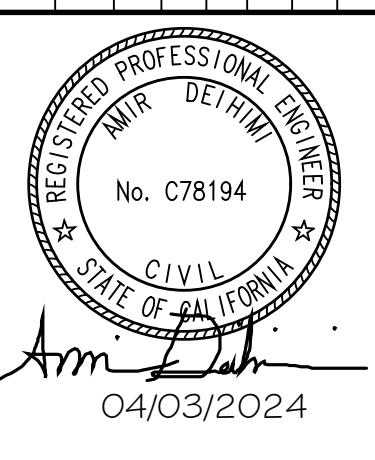
**SUBMITTALS AND SHOP DRAWINGS**

1. PREFABRICATED OR SPECIALTY ITEMS AND THEIR COMPONENTS, WHICH ARE INDICATED BY THE STRUCTURAL DRAWINGS TO BE DESIGNED BY OTHERS, MAY BE SUBMITTED TO THE ARCHITECT AND/OR ENGINEER OF RECORD FOR REVIEW AS A DEFERRED SUBMITTAL PROVIDED THAT SUCH SUBMITTAL IS AUTHORIZED BY THE BUILDING DEPARTMENT. DEFERRED SUBMITTALS REQUIRED TO BE SUBMITTED TO THE STRUCTURAL ENGINEER OF RECORD SHALL INCLUDE BUT NOT BE LIMITED TO:
  - A. MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT
  - B. SELF SUPPORTING, PRE-MANUFACTURED STAIR ASSEMBLY
  - C. PREFABRICATED ROOF & FLOOR TRUSSES
  - D. HVAC STRUCTURAL SUPPORT REQUIREMENTS
  - E. AWNINGS, SIGNAGE, FASCIAS, ETC.
  - F. FIRE SPRINKLERS
  - G. CONTINUOUS TIE DOWN SYSTEM
  - H. CONCRETE MIX DESIGN
2. ALL DEFERRED SUBMITTALS SHALL INCLUDE CALCULATIONS AND DRAWINGS PREPARED IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND STAMPED BY AN APPROPRIATELY LICENSED PROFESSIONAL ENGINEER. SUBMITTALS SHALL SHOW LOCATION AND MAGNITUDE OF LOADS, SIZE AND CONFIGURATIONS OF MEMBERS, AND COMPATIBILITY WITH THE PRIMARY STRUCTURAL SYSTEM.
3. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS. SHOP DRAWINGS ARE REVIEWED ONLY FOR GENERAL COMPLIANCE WITH THE STRUCTURAL DRAWINGS. DESIGN ACCURACY OF SUCH PRODUCT, DIMENSIONS AND QUANTITY OF THE PRODUCT IS NOT REVIEWED BY EOR. RESPONSIBILITY FOR CORRECTNESS SHALL REST WITH THE CONTRACTOR. ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM CONTRACT DRAWINGS SHALL BE CLOUDED ANY OF THE AFOREMENTIONED SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW UNLESS SPECIFICALLY NOTED ACCORDINGLY.
4. THE SHOP DRAWINGS DO NOT SUPERSEDE OR REPLACE THE ORIGINAL CONTRACT DRAWINGS. ANY ENGINEERING PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF AN APPROPRIATELY REGISTERED ENGINEER. ENGINEERING SYSTEM SOLUTIONS SHALL NOT BE RESPONSIBLE FOR THE ADEQUACY OF ENGINEERING DESIGNS PERFORMED BY OTHERS.
5. SHOP DRAWINGS SHALL REFERENCE DATE AND DELTA (IF ANY) OF CONTRACT DRAWINGS.

**STATEMENT OF SPECIAL INSPECTION:**

1. CONTINUOUS AND PERIODIC SPECIAL INSPECTION IS REQUIRED FOR THE WORK AS DESCRIBED IN IBC/CBC CHAPTER 17, SEE INSPECTION SCHEDULE BELOW, ONLY CHECKED ITEMS ARE REQUIRED.
2. APPROVAL BY THE INSPECTOR DOES NOT MEAN APPROVAL OF FAILURE TO COMPLY WITH THE PLANS OR SPECIFICATIONS, ANY DETAIL THAT FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE STRUCTURAL ENGINEER FOR INTERPRETATION OR CLARIFICATION.
3. CONTINUOUS SPECIAL INSPECTION PER AWS D1.1 IS REQUIRED FOR ALL STRUCTURAL STEEL WELDING, EXCEPT FOR SINGLE PASS FILLET WELDS NOT EXCEEDING 5/16" IN SIZE.
4. STRUCTURAL WOOD, PERIODIC SPECIAL INSPECTION IS REQUIRED FOR WOOD SHEARWALLS, SHEAR PANELS, AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING OF COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM, INCLUDING WOOD SHEARWALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, SHEAR PANELS, AND HOLD-DOWNS, EXCEPTION: SPECIAL INSPECTION IS NOT REQUIRED FOR WOOD SHEARWALLS, SHEAR PANELS AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING AND OTHER FASTENING TO OTHER COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM, WHERE THE FASTENER SPACING OF THE SHEATHING IS MORE THAN 4 INCHES ON CENTER. INSPECTIONS SHALL BE PERFORMED BEFORE COVERING.
5. CONTRACTOR RESPONSIBLE FOR CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM COMPONENT LISTED IN THIS STATEMENT OF SPECIAL INSPECTION SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH A SYSTEM OR COMPONENT PER SEC 1704.4.
6. WHERE FABRICATION OF MEMBERS AND ASSEMBLIES IS PERFORMED ON THE PREMISES OF A FABRICATOR'S SHOP, SPECIAL INSPECTION OF THE FABRICATED ITEMS SHALL BE REQUIRED BY THIS SECTION, UNLESS THE FABRICATOR IS REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION, APPROVAL SHALL BE BASED UPON REVIEW OF THE FABRICATOR'S WRITTEN PROCEDURAL AND QUALITY CONTROL MANUALS AND PERIODIC AUDITING OF FABRICATION PRACTICES BY AN APPROVED SPECIAL INSPECTION AGENCY. AT COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE OF VERIFYING APPROVAL OF FABRICATOR.
7. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED INDIVIDUAL WHO WILL DEMONSTRATE COMPETENCE AND KNOWLEDGE TO THE BUILDING OFFICIAL FOR THE SPECIFIC TYPE OF SPECIAL INSPECTION REQUIREMENT REQUIRED PER SCHEDULE BELOW.
8. WOOD SPECIAL INSPECTIONS SHALL BE PER CBC SECTION 1705.5.
9. SPECIAL INSPECTIONS FOR WIND AND SEISMIC RESISTANCE SHALL BE PER SECTION 1705.1.1 AND 1705.1.2 RESPECTIVELY.

REVISION	
DATE	DESCRIPTION



Project Name: **NEW SINGLE FAMILY RESIDENCE**  
 Project Address: **11205 Monterey Highway, San Martin, CA 92046**

**STATEMENT OF SPECIAL INSPECTIONS (ONLY INDICATED ITEMS ARE REQUIRED)**

REQ'D(?)	INSPECTION ITEMS	SPECIAL INSPECTORS (NAME, PHONE#, REGISTRATION#)
	STRUCTURAL STEEL (1705.2.1)	
	STEEL FRAME JOINT DETAILS	
	COLD-FORMED STEEL DECK (1705.2.2)	
	OPEN-WEB STEEL JOISTS AND JOISTS GIRDERS (1705.2.3)	
	REINFORCING STEEL AND PRE-STRESSING STEEL TENDONS	
	SHOTCRETE (CURING TEMPERATURE, DESIGN MIX, PLACEMENT, STRENGTH ETC. PER TABLE 1705.3)	
	COLD-FORMED STEEL TRUSSES SPANNING >= 60 FT	
	CONCRETE CONSTRUCTION (DESIGN MIX, FORMWORK, PLACEMENT, ETC. PER TABLE 1705.3) (SEE 1705.3 EXCEPTIONS)	
	STRUCTURAL WELDING/REBAR WELDING	
	ALL MASONRY CONSTRUCTION (1705.4)	
	WOOD FOR HIGH LOAD DIAPHRAGMS (1705.5.1)	
	METAL PLATE-CONNECTED WOOD TRUSSES SPANNING >= 60 FT	
YES	SOILS (EXCAVATION, FILL, ETC. PER 1705.6) (SEE 1705.6 EXCEPTIONS)	
	DRIVEN PILES PER 1705.7	
	CAST IN PLACE PILES PER 1705.8	
	HELICAL PILE FOUNDATIONS PER 1705.9	
	ERECTION OF PRE- CAST CONCRETE MEMBERS	
	BOLTS INSTALLED IN CONCRETE	
	HIGH STRENGTH BOLTING/MATERIAL VERIFICATION	
YES	WOOD DIAPHRAGM AND SHEAR WALLS*	
	EPOXY POST INSTALLED ANCHORS	

DATE: 04/03/2024

PROJECT MANAGER: P.P.

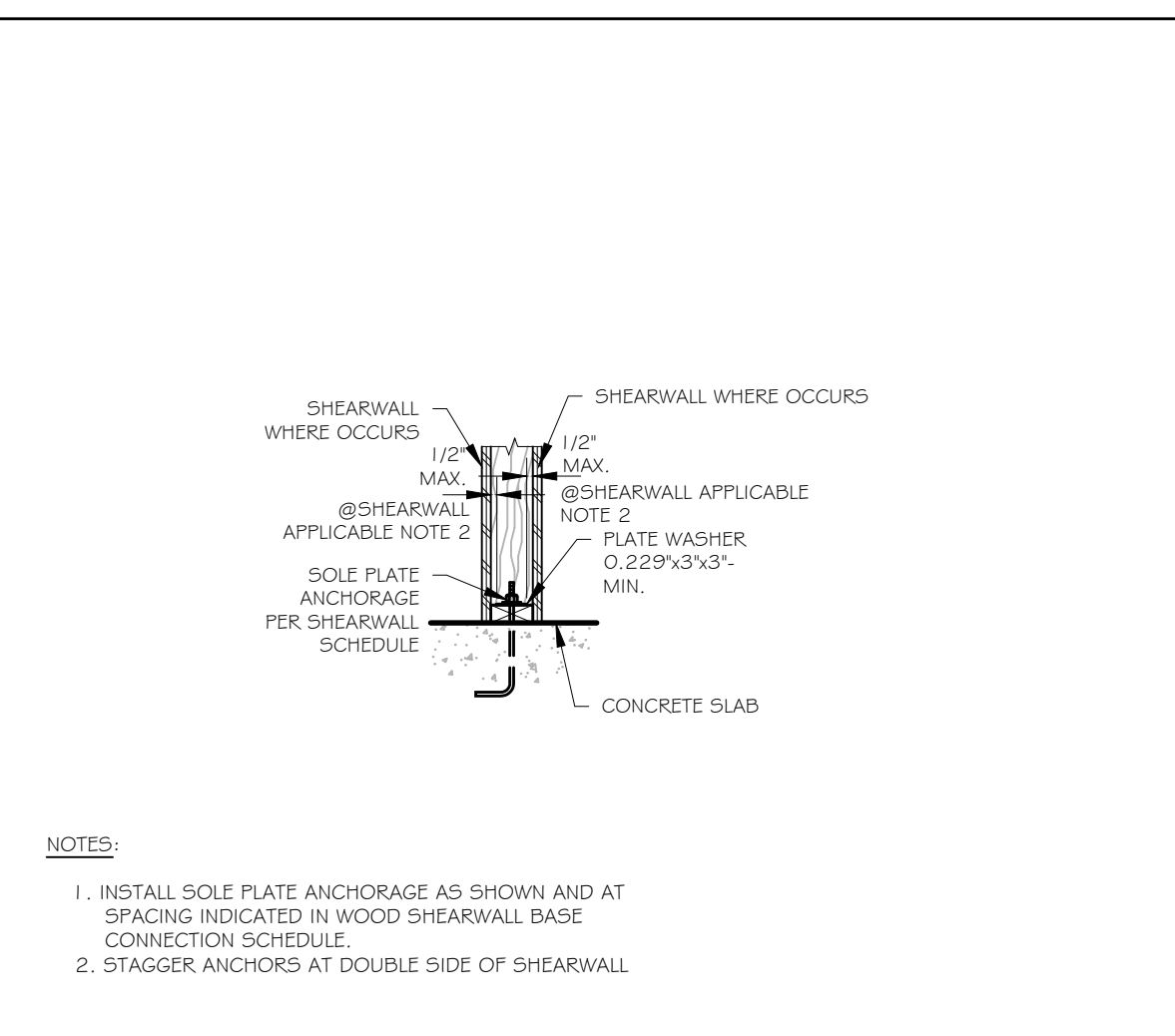
**GENERAL NOTES & REQUIREMENTS**

JOB NO.: 11205

SHEET NO.:

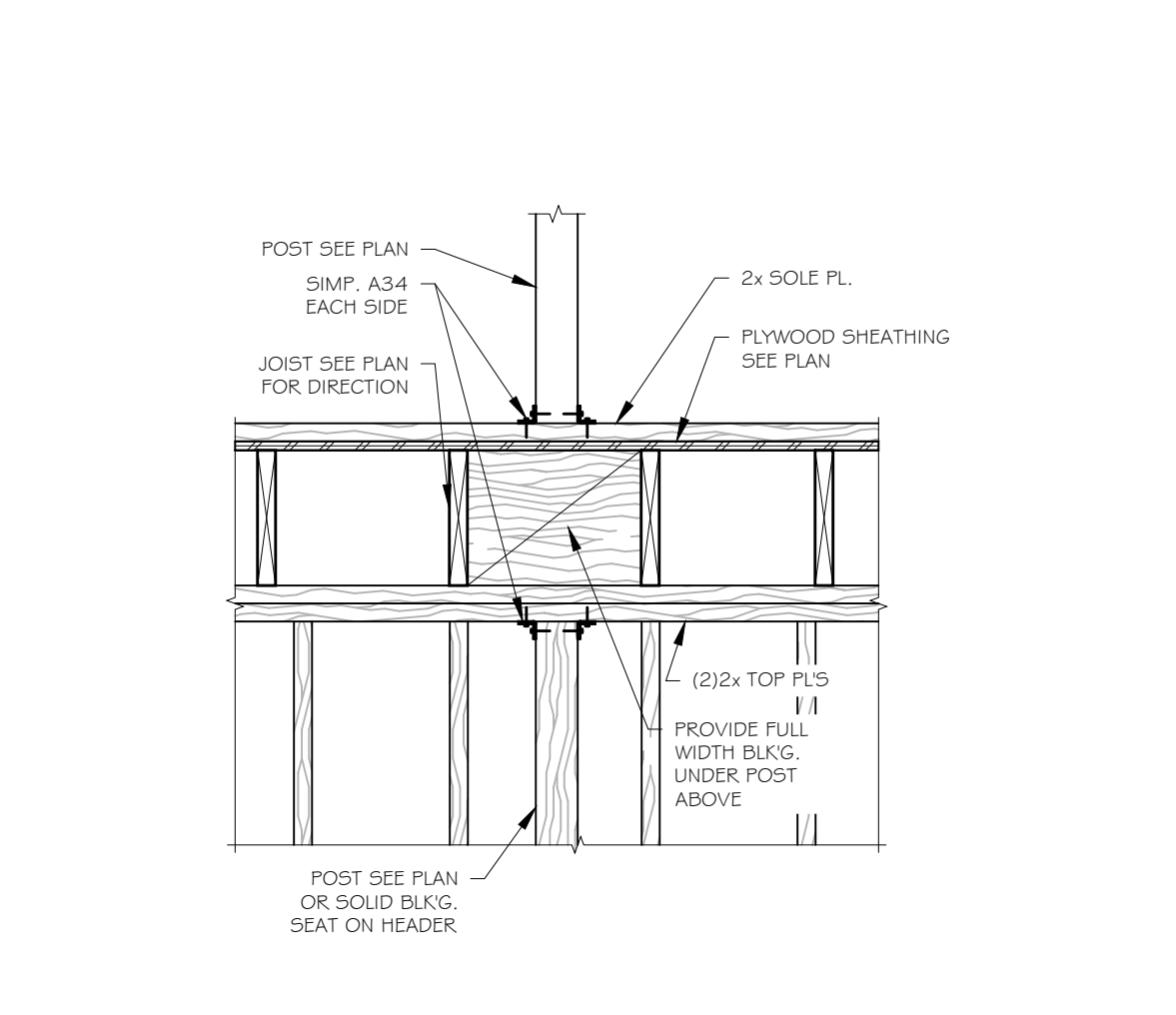
**S-0.111**

\* FOR SPECIAL INSPECTION OF WOOD DIAPHRAGMS AND SHEAR WALLS, CONTACT EOR FOR SCHEDULE.



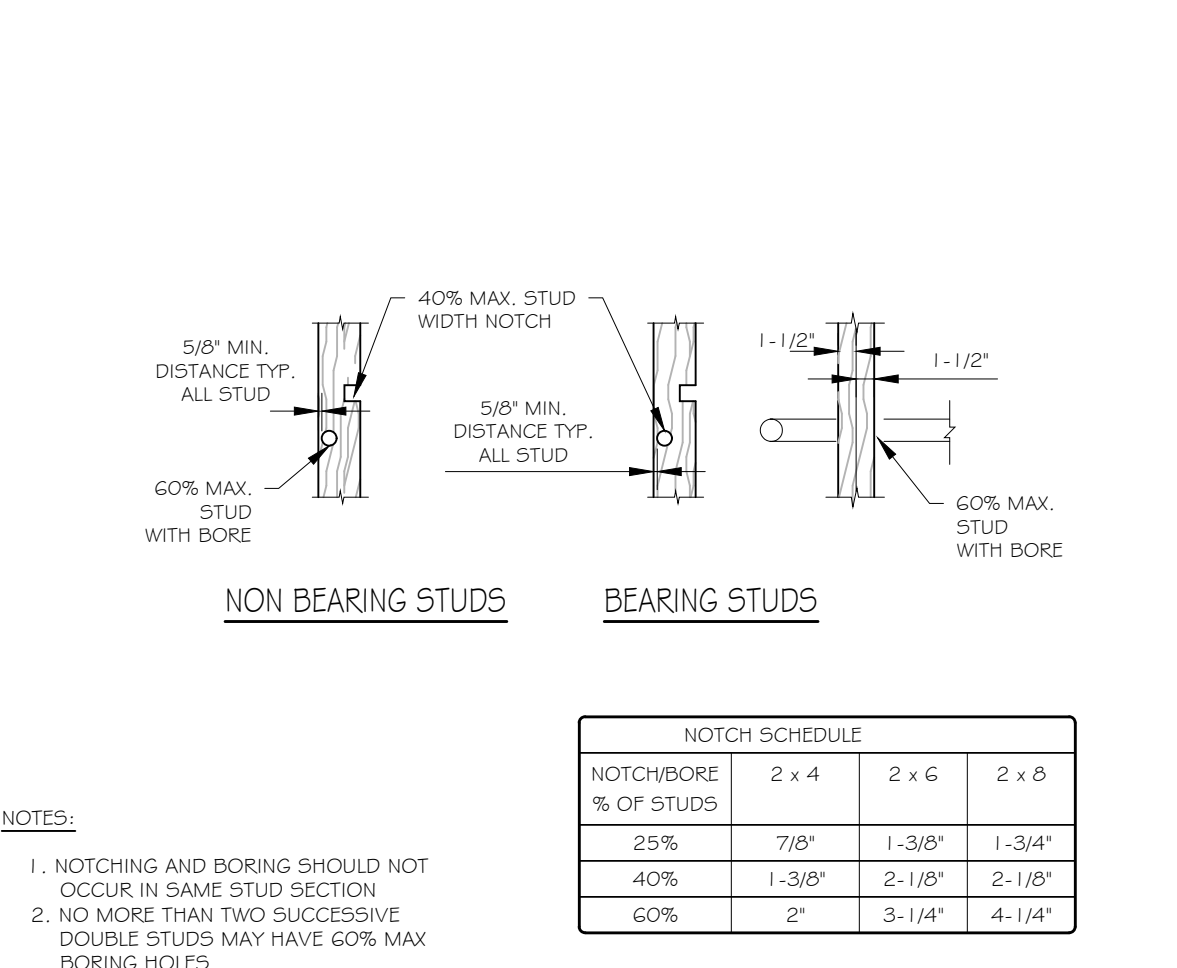
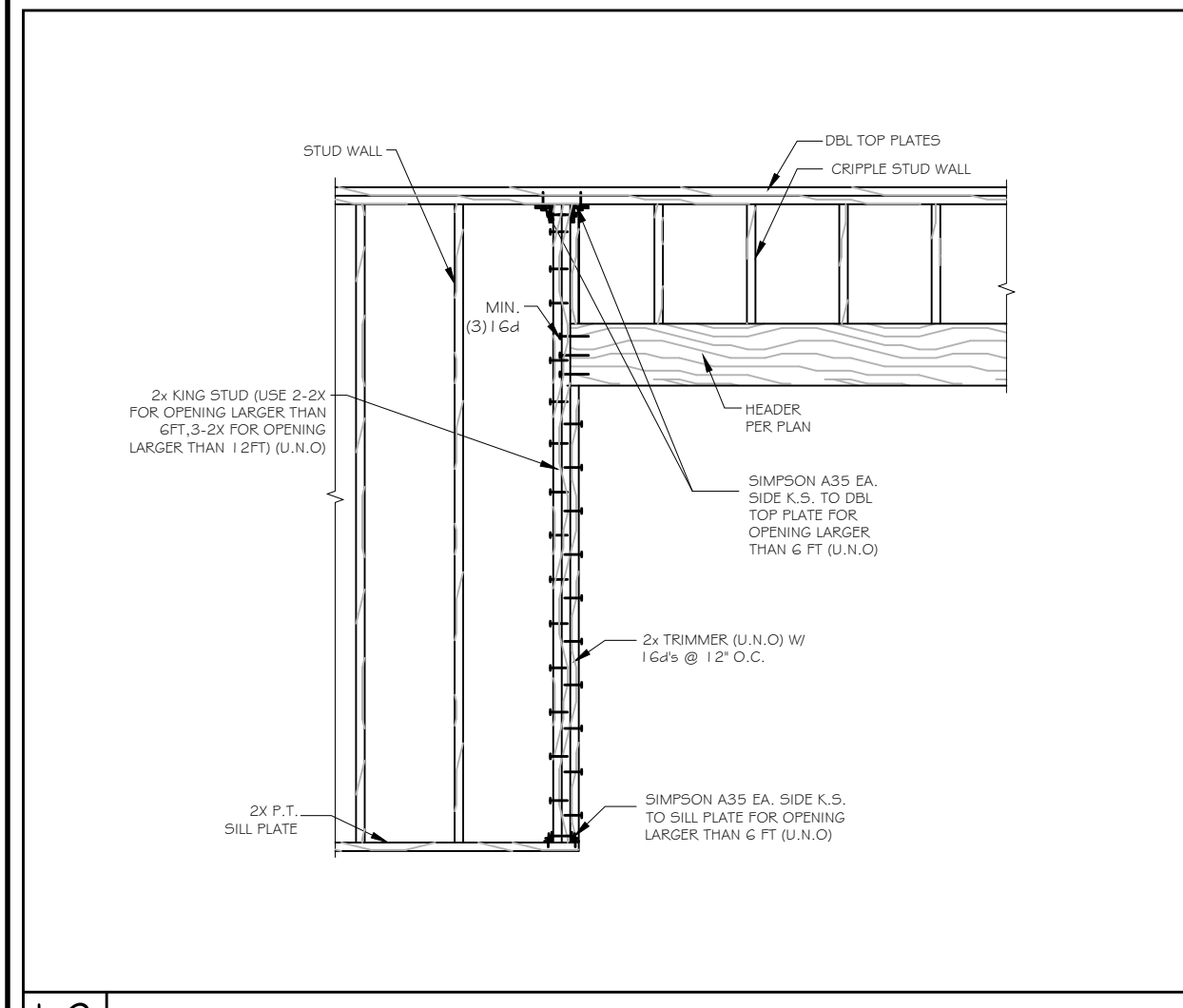
**14 WOOD SHEARWALL SILL PLATE ANCHORAGE**

**10 WALL INTERSECTION**



**13 BLOCKING AT POSTS/TRIMMERS**

**9 SHEAR WALL/ INTERSECTION**



**12 STUD NOTCHING/BORING LIMITS**

**8 OVER FRAMING**

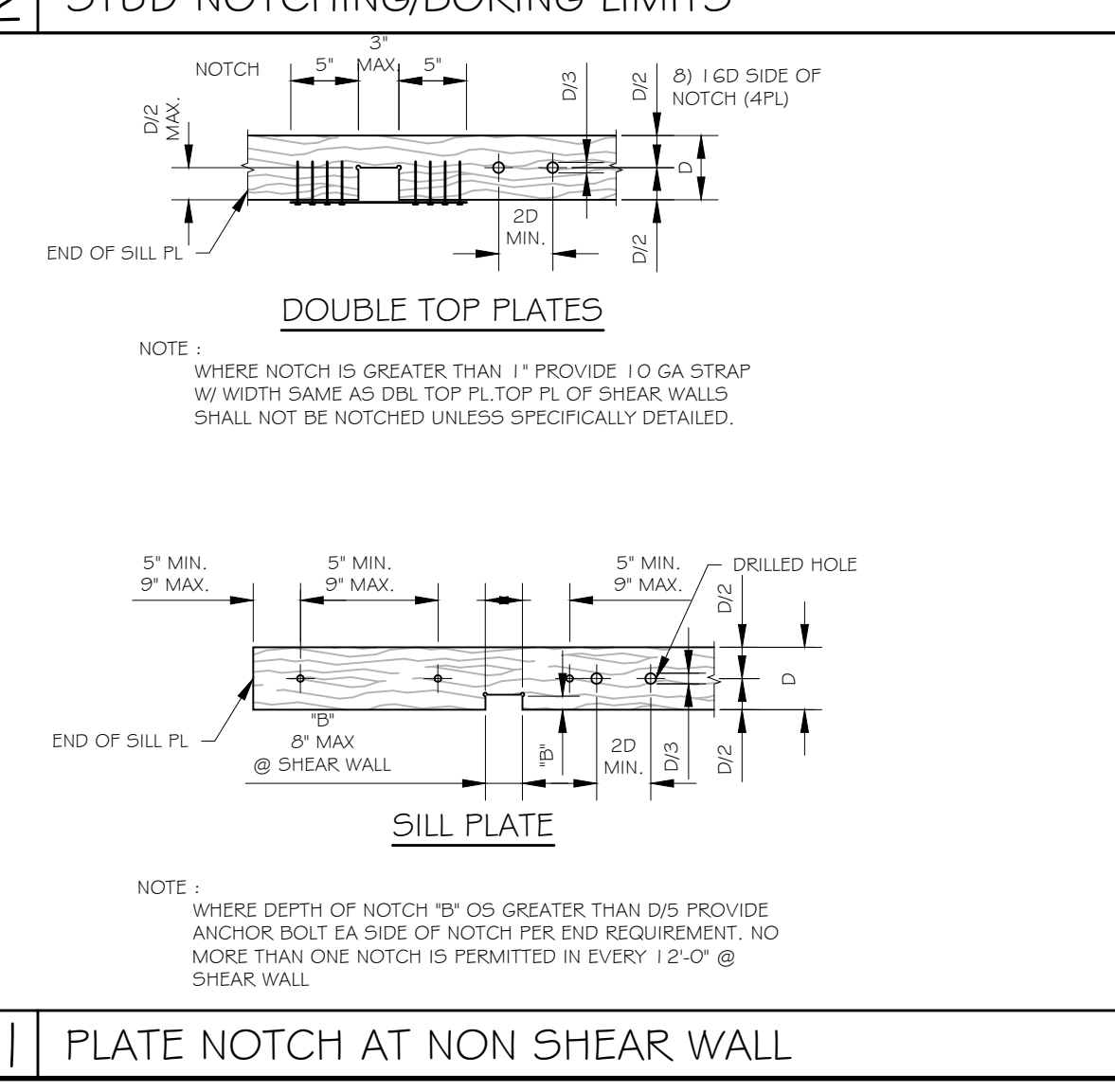
**16 TRIMMER DETAIL**

CLASS B REBAR TENSION SPLICE LENGTH  
(PROVIDED CONCRETE COVER, CLEAR BAR SPACING AND TRANSVERSE REINFORCEMENT ARE IN COMPLIANCE WITH ACI 318-19, CHAPTER 25)

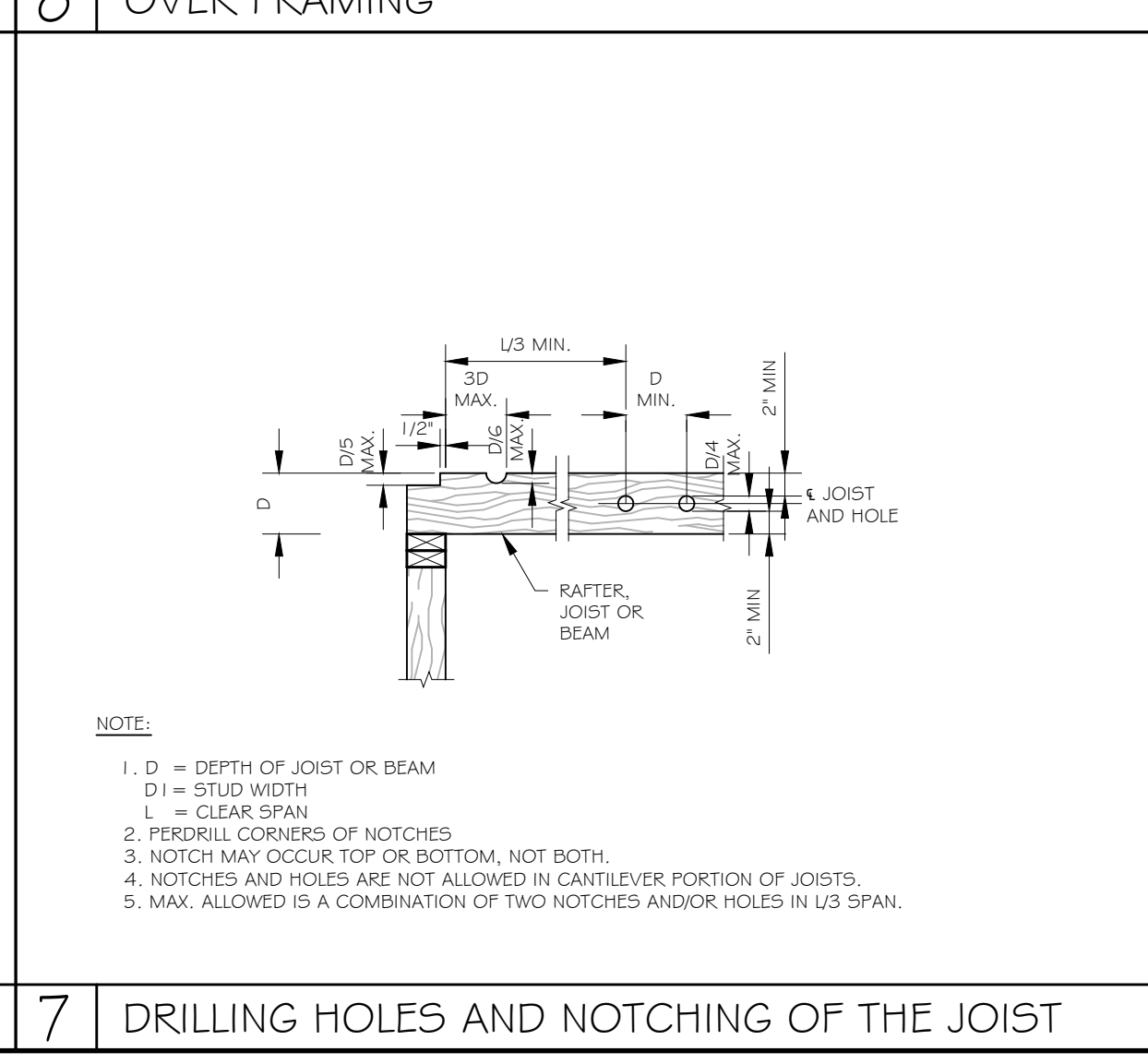
Fc	LOCATION	Fy	3	4	5	6	7	8	9	10	11
60000	*TOP BARS AND HORIZONTAL WALL STEEL	40	20	27	34	41	59	68	76	86	95
	OTHER BARS	60	30	41	51	61	89	101	114	129	143
40000	*TOP BARS AND HORIZONTAL WALL STEEL	40	16	21	26	31	46	52	59	66	73
	OTHER BARS	60	23	31	39	47	68	78	88	99	110
30000	*TOP BARS AND HORIZONTAL WALL STEEL	40	19	25	31	37	54	62	70	78	87
	OTHER BARS	60	28	37	46	56	81	93	104	118	131
20000	*TOP BARS AND HORIZONTAL WALL STEEL	40	17	22	28	33	49	55	63	70	78
	OTHER BARS	60	25	33	42	50	73	83	94	105	117
15000	*TOP BARS AND HORIZONTAL WALL STEEL	40	13	17	22	26	37	43	48	54	60
	OTHER BARS	60	19	26	32	38	56	64	72	81	90

REBAR TENSION SPLICE LENGTH  
(PROVIDED MASONRY COVER, CLEAR BAR SPACING AND TRANSVERSE REINFORCEMENT ARE IN COMPLIANCE WITH ACI 318-19, SECTION 9.3.3.3)

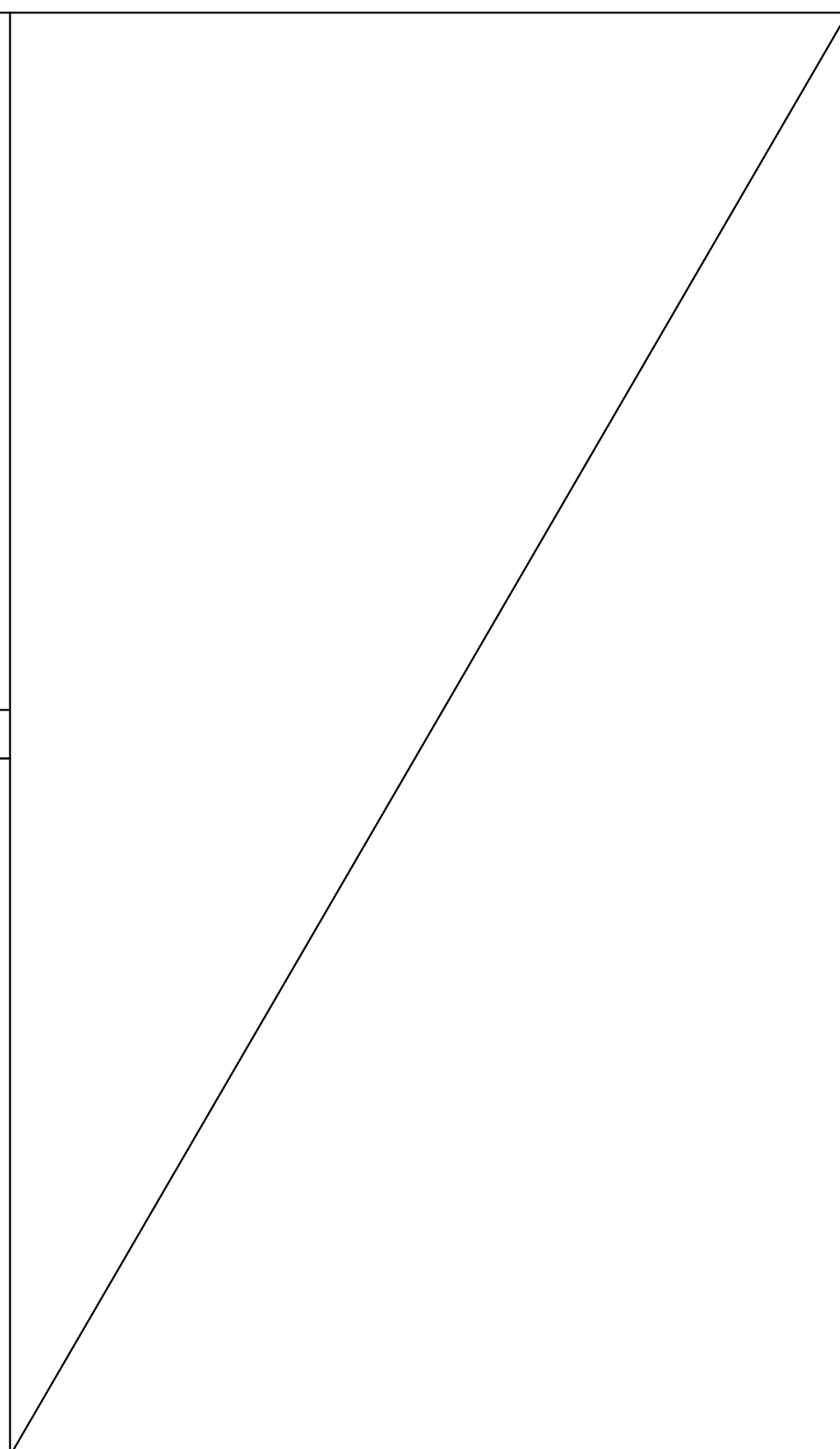
Fy (psi)	Fm (psi)	BAR SIZE								
		3	4	5	6	7	8	9		
60000	1500	SPLICE LENGTH IN INCHES								
		19	34	45	54	63	72	81		
		18	30	45	54	63	72	81		
60000	2000	SPLICE LENGTH IN INCHES								
		18	30	45	54	63	72	81		
		18	26	41	54	63	72	81		
60000	2500	SPLICE LENGTH IN INCHES								
		18	26	41	54	63	72	81		
		18	24	38	54	63	72	81		
60000	3000	SPLICE LENGTH IN INCHES								
		18	24	38	54	63	72	81		
		18	24	38	54	63	72	81		



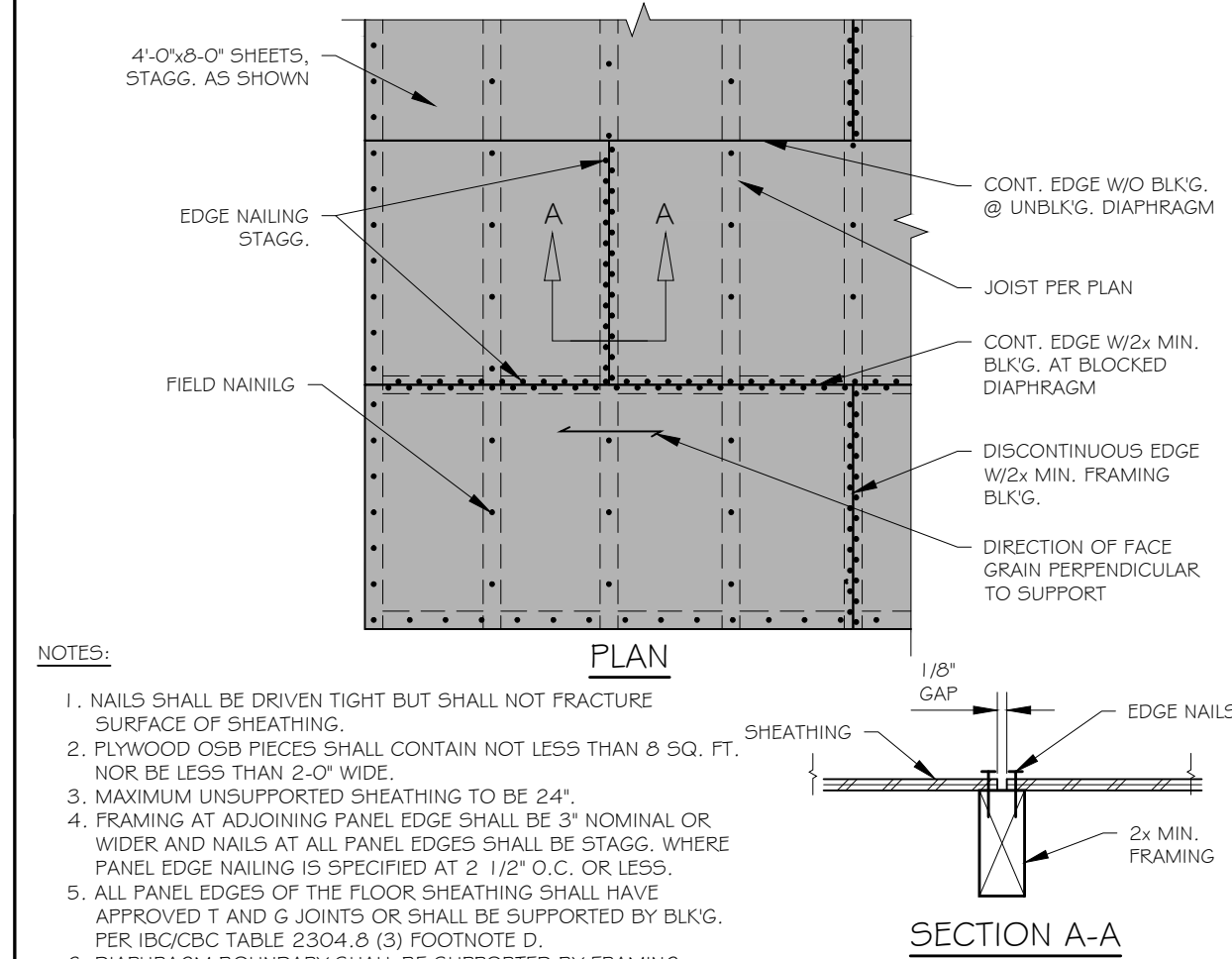
**11 PLATE NOTCH AT NON SHEAR WALL**



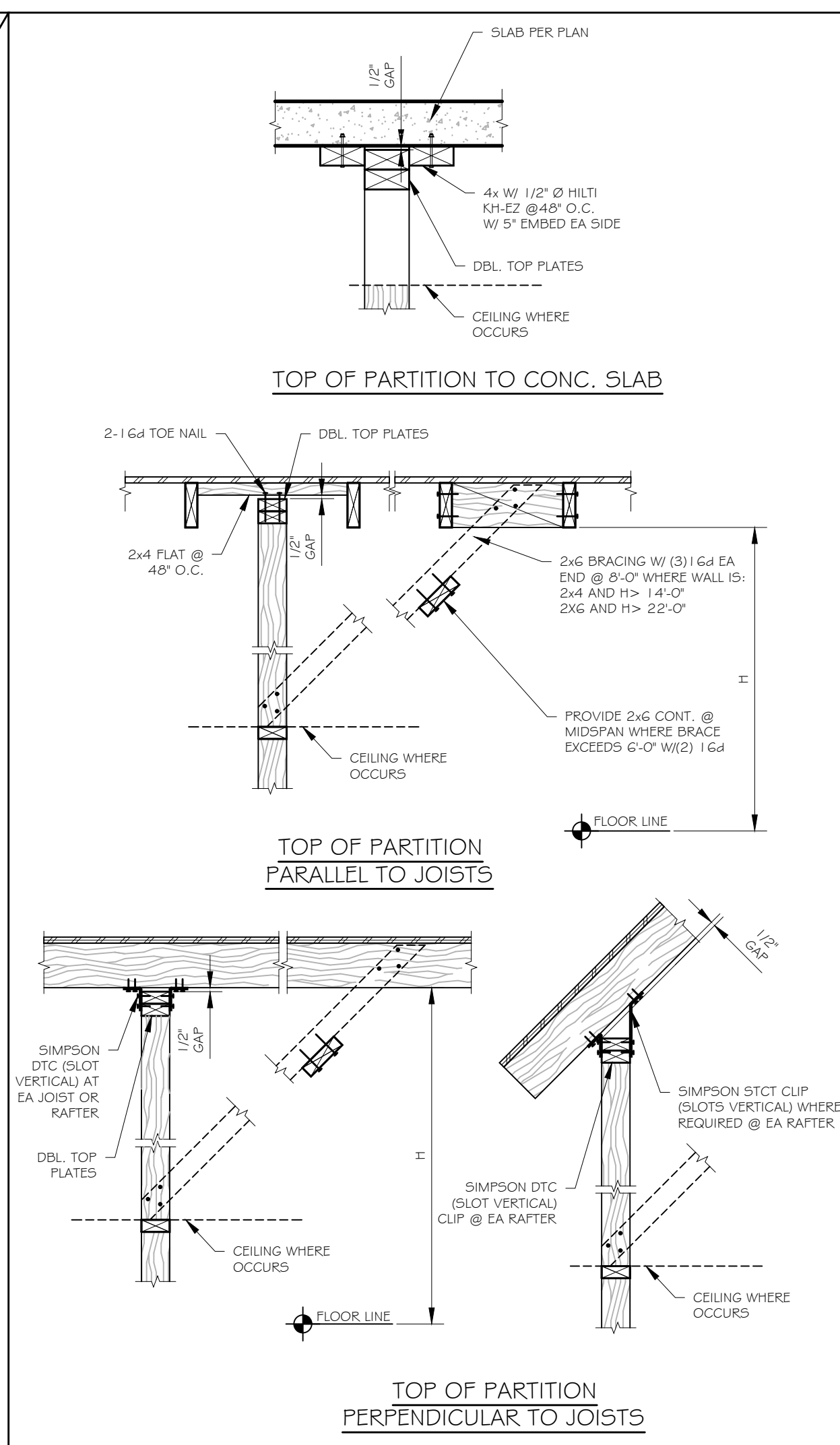
**7 DRILLING HOLES AND NOTCHING OF THE JOIST**



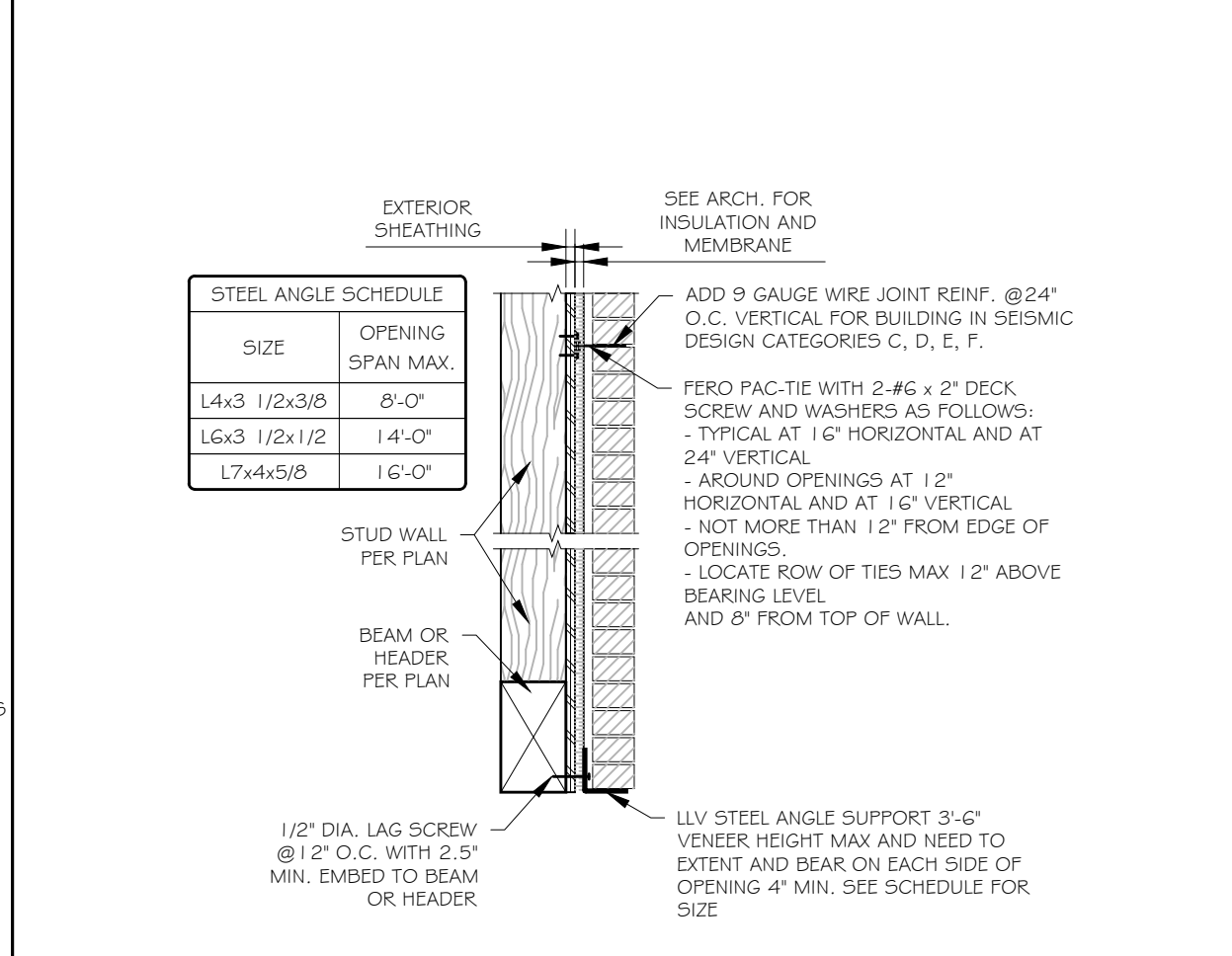
**6 PARTITION WALL (NON-BEARING/ NON-SHEARWALL)**



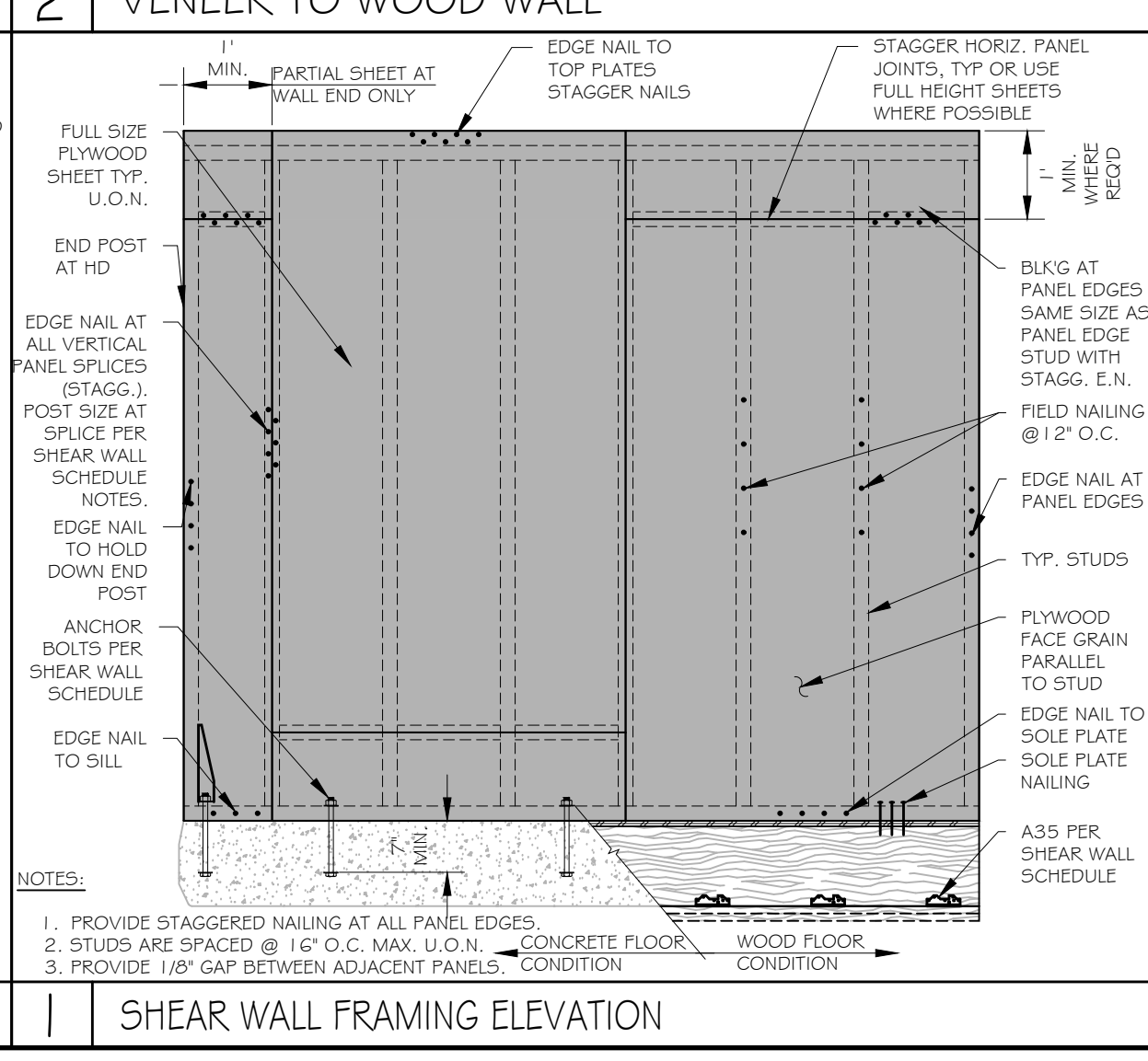
**5 VENEER TO WOOD WALL**



**4 ROOF OR FLOOR SHEATHING LAYOUT**



**3 FRAMING AT NON BEARING WALLS**



**2 SHEAR WALL FRAMING ELEVATION**

**TYPICAL DETAILS**

Project Name: NEW SINGLE FAMILY RESIDENCE  
Project Address: 11205 Monterey Highway, San Martin, CA 92046

Project Manager: P.P.

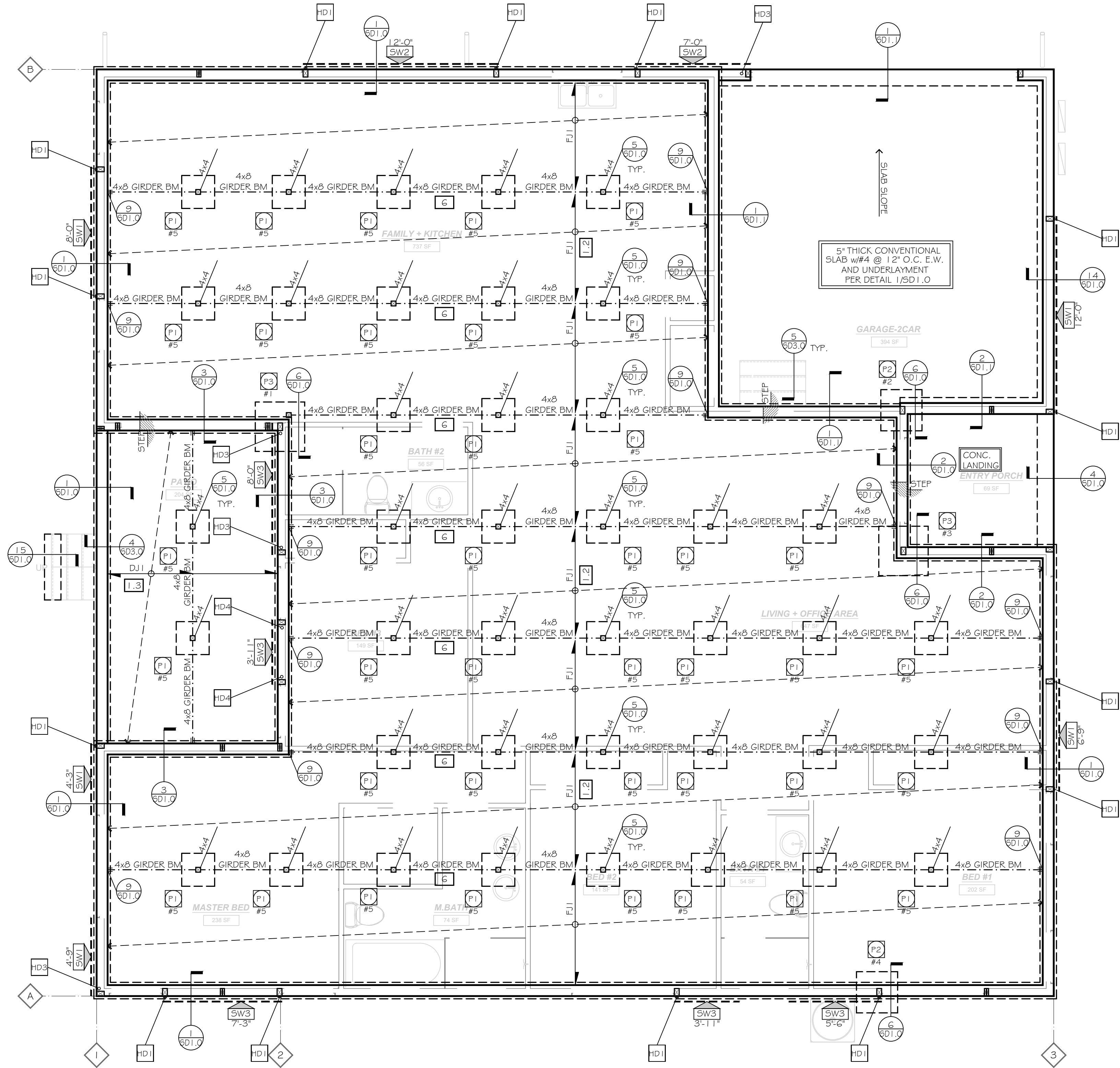
DATE: 04/03/2024

REVISION

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

REGISTERED PROFESSIONAL ENGINEER  
No. C78194  
CIVIL  
STATE OF CALIFORNIA  
04/03/2024

JOB NO.: 11205  
SHEET NO.: S-0.20



FOUNDATION PLAN MAIN HOUSE  
SCALE: 1/4" = 1'-0"

- REFER TO SHEET S-0.10 FOR MORE INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING PREFABRICATED SHEAR WALLS AND MATCH TOP PLATE HEIGHT AND WALL WIDTH AND NOTIFY ENGINEER OF RECORD IF DIFFERENT THAN PLANS.
- TOP OF ALL EXTERIOR FOOTING, GRADE BEAM FOOTING, PAD FOOTING, OR FLAG POLE FOOTING TO BE MIN. 6" BELOW FINISH GRADE.
- FOR NON-SHEAR WALLS, MASAMASAP MUDDSILL ANCHORS CAN BE USED IN LIEU OF ANCHOR BOLTS WITH END DISTANCE OF 4" MIN. PER ESR #2555.
- FOR DOUBLE SHEAR PANEL TYPES SW3, SW4, SW5 USE MIN. 3X6 SILL PLATES U.N.O.
- SEE DETAIL 7/SD1.0 AND 8/SD1.0 FOR HOLDOWN INSTALLATION

LEGEND

- DENOTES FOOTING
- DENOTES PAD
- ⊗ DENOTES PAD NUMBER PER SCHEDULE
- ⊗# DENOTES PAD NUMBER IN CALCULATIONS
- ⊙ DENOTES DETAIL NUMBER
- ⊙SD# DENOTES DETAIL SHEET NUMBER
- ⊗ DENOTES HOLDOWN PER SCHEDULE
- ⊗X DENOTES SHEAR PANEL LENGTH
- ⊗X DENOTES PANEL TYPE, REFER TO SHEARWALL SCHEDULE
- STEP DENOTES SLAB STEP PER ARCH. (VERIFY PRIOR TO CONSTRUCTION)
- DENOTES DROP BEAM OR HEADER PER PLAN
- X DENOTES FLUSH BEAM PER PLAN
- X DENOTES BEAM NUMBER, REFER TO E.O.R. CALCULATIONS
- ⊗ DENOTES POST OR TRIMMER AS NOTED
- ⊗ DENOTES POST OR TRIMMER FROM FLOOR ABOVE
- DENOTES DIRECTION OF FRAMING MEMBER PER FRAMING SCHEDULE
- DENOTES FRAMING ZONE DIVISION

FOOTING SCHEDULE

SYMBOL	PAD SIZE	REINFORCEMENT
P1	2'-0" SQ. x 24" THICK	(3) #5 E.W.
P2	2'-6" SQ. x 24" THICK	(4) #5 E.W.
P3	3'-0" SQ. x 24" THICK	(4) #5 E.W.
CF1	CONT. W=12', D=24"	CONT. (2) #5 TOP & BOTTOM

HOLDOWN SCHEDULE

SYMBOL	SIMPSON HOLDOWN	USP HOLDOWN	NOTES
HD1	STHD10	STAD10	REFER TO DETAIL 8/SD1.0
HD3	HTT5	HTT22	REFER TO DETAIL 8/SD1.0
HD4	HDU8	PHD8	REFER TO DETAIL 7/SD1.0

FRAMING SCHEDULE

MARK	MEMBER TYPE
FJ1	2 X 6 FLOOR JOISTS @ 16" O.C.
DJ1	2 X 6 DECK JOISTS @ 16" O.C.

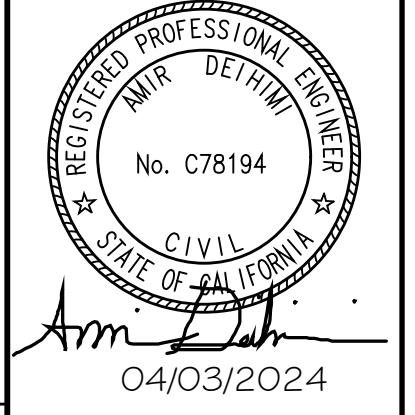
SHEAR WALL SCHEDULE

2022 CALIFORNIA BUILDING CODE (1), (3)

SHEAR PANEL TYPE	SHEATHING (S)	EDGE NAILING (COMMON)	FIELD NAILING (COMMON)	ALLOWABLE SHEAR (PLF)	SILL PLATE CONNECTION	FRAMING CLIPS
SW1	3/8" APA rated	8 ds @ 6" O.C.	8 ds @ 12" O.C.	260	16ds SIKKER @ 6" O.C. @ 16" O.C.	A35%, L550% OR LTF4% (S), (I)
SW2	3/8" APA rated	8 ds @ 4" O.C.	8 ds @ 12" O.C.	360	16ds SIKKER @ 4" O.C. @ 12" O.C.	48" @ 24" O.C.
SW3	3/8" APA rated	8 ds @ 3" O.C.	8 ds @ 12" O.C.	480	16ds SIKKER @ 3" O.C. @ 8" O.C.	36" @ 8" O.C.
SW4	3/8" APA rated	8 ds @ 2" O.C.	8 ds @ 12" O.C.	640	16ds SIKKER @ 2" O.C. @ 6" O.C.	24" @ 8" O.C.
SW5	1 1/2" APA Structural I	10 ds @ 2" O.C.	10 ds @ 12" O.C.	870	2 ROWS STAGG. @ 3" O.C.	18" @ 6" O.C.

- (1) SHEATHING PANEL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.
- (2) PROVIDE 3" NOMINAL OR WIDER FRAMING AT ADJOINING PANEL EDGES WITH NAILS STAGGERED.
- (3) STUDS ARE SPACED @ 16" O.C. MAX. UNLESS NOTED OTHERWISE ON PLAN.
- (4) PERIODIC SPECIAL INSPECTION IS REQUIRED.
- (5) USE CLIPS @ 6" O.C. ON SIMPSON STRONG WALL & HARDY FRAME (U.N.O.).
- (6) USE SPACING PER SCHEDULE IF NUMBER OF FRAMING CLIPS ARE NOT SPECIFIED ON FRAMING PLANS.
- (7) ALLOWABLE SHEAR ARE FOR STUDS SPACED @ 24" O.C. MAX.
- (8) SHEATHING CONFORMS TO EITHER DOC P5.1 OR P5.2 STANDARDS.
- (9) NAILING @ 6" O.C. WHEN STUDS ARE SPACED @ 24" O.C.
- (10) FOR DOUBLE SIDED SHEAR PANELS:
  - a. USE HALF THE SPACING OF SILL PLATE ANCHOR BOLTS FOR TYPES SW3, SW4 & SW5
  - b. USE ONLY 1/4"x6" SDS SCREWS IN SCHEDULE AND WITH HALF THE SPACING, FOR TYPES SW4 & SW5.
  - c. SEE SHEAR TRANSFER DETAIL ON PLAN FOR FRAMING CLIP TYPES AND HALF THE SPACING, FOR TYPES SW3, SW4 & SW5.

REVISION	DESCRIPTION



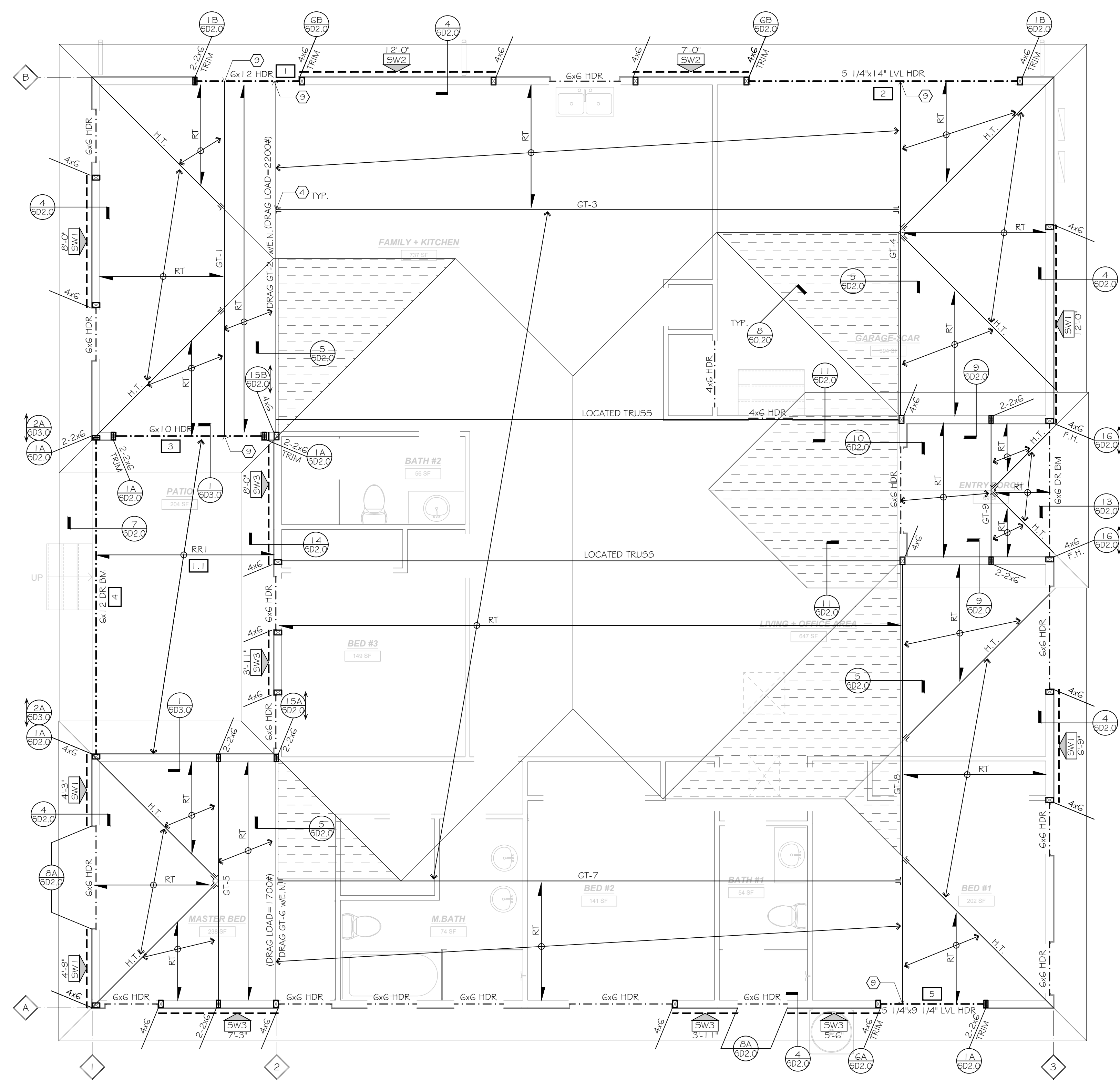
Project Name: NEW SINGLE FAMILY RESIDENCE  
Project Address: 11205 Monterey Highway, San Martin, CA 92046

DATE: 04/03/2024  
PROJECT MANAGER: P.P.

FOUNDATION PLAN  
MAIN HOUSE

JOB NO.: 11205  
SHEET NO.:

S-1.0



**ROOF FRAMING PLAN** **MAIN HOUSE**  
 SCALE : 1/4" = 1'-0"

**FRAMING NOTES**

1. REFER TO SHEET S-0.10 FOR MORE INFORMATION.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PREFABRICATED SHEAR WALLS AND MATCH TOP PLATE HEIGHT AND WALL WIDTH AND NOTIFY ENGINEER OF RECORD IF DIFFERENT THAN PLANS.
3. USP CONNECTORS CAN BE USED IN LIEU OF SIMPSON STRONG TIE IN THIS PROJECT. CONTACT E.O.R. FOR CONVERSION TABLE OR SUBMIT SHOP DRAWINGS TO E.O.R. FOR REVIEW AND APPROVAL.
4. ALL BEAM HANGERS SHALL BE SIMPSON HU HANGERS, UNO, ON PLAN OR DETAIL.
5. USE STG224 STRAP FOR THE TOP PLATES SPLICE AT ALL FRAMING LEVELS (3BVS02.0), UNO ON PLANS.
6. USE ST22 STRAP FOR LEDGER SPLICES, UNO.
7. USE (1)C516 x 3'-0" STRAP AT RIM JOISTS SPLICE, U.N.O ON PLANS. 1 1/4" MIN. LVL RIM JOISTS SHOULD BE USED AT ALL FLOOR FRAMING EDGES.
8. HEADER AT NON-BEARING WALLS, USE 2x4 FOR OPENINGS UP TO 3'-0" MAX., (2)2x4 FOR OPENINGS UP TO 6'-0" MAX., 4x6 FOR OPENINGS UP TO 12'-0" MAX., (UNO). USE 4x4 FOR OPENINGS LESS THAN 1'6" AT BEARING WALLS WITHOUT POINT LOADS.
9. WOOD HEADER OR POSTS MADE UP OF 2 OR MORE 2x5 SHALL BE SPIKED TOGETHER PER THE NAILING SCHEDULE.
10. SHEARWALL PANEL TO BE NAILED TO ALL MULTIPLE STUDS RECEIVING HOLD-DOWNS AND DO NOT BREAK AT PERPENDICULAR WALL LOCATIONS, UNO.

**LEGEND**

- DENOTES DROP BEAM OR HEADER PER PLAN
- DENOTES FLUSH BEAM PER PLAN
- DENOTES BEAM NUMBER, REFER TO E.O.R. CALCULATIONS
- DENOTES POST OR TRIMMER AS NOTED
- DENOTES POST OR TRIMMER FROM FLOOR ABOVE
- DENOTES DIRECTION OF FRAMING MEMBER PER FRAMING SCHEDULE
- DENOTES SHEAR PANEL LENGTH  
DENOTES PANEL TYPE, REFER TO SHEARWALL SCHEDULE
- DENOTES KEY NOTE NUMBER
- DENOTES DETAIL NUMBER  
DENOTES DETAIL SHEET NUMBER
- DENOTES BEARING WALL
- DENOTES OVER FRAMING
- DENOTES DRAG DIRECTION
- DENOTES FRAMING ZONE DIVISION
- DENOTES SHEARWALL LINE IN CALCULATIONS

**KEY NOTES**

- (4) TRUSS HANGER BY TRUSS MANUFACTURER
- (9) PROVIDE SOLID BLOCKING WHERE POSTS ARE DISCONTINUOUS AT JOIST SPACE AND/OR FROM TOP OF BEAM/HEADERS TO LOWER TOP PLATE.

**FRAMING SCHEDULE**

MARK	MEMBER TYPE
RT	DESIGN ROOF TRUSSES @ 24' O.C.
RR1	2 X 8 ROOF RAFTERS @ 16' O.C.

**SHEAR WALL SCHEDULE**

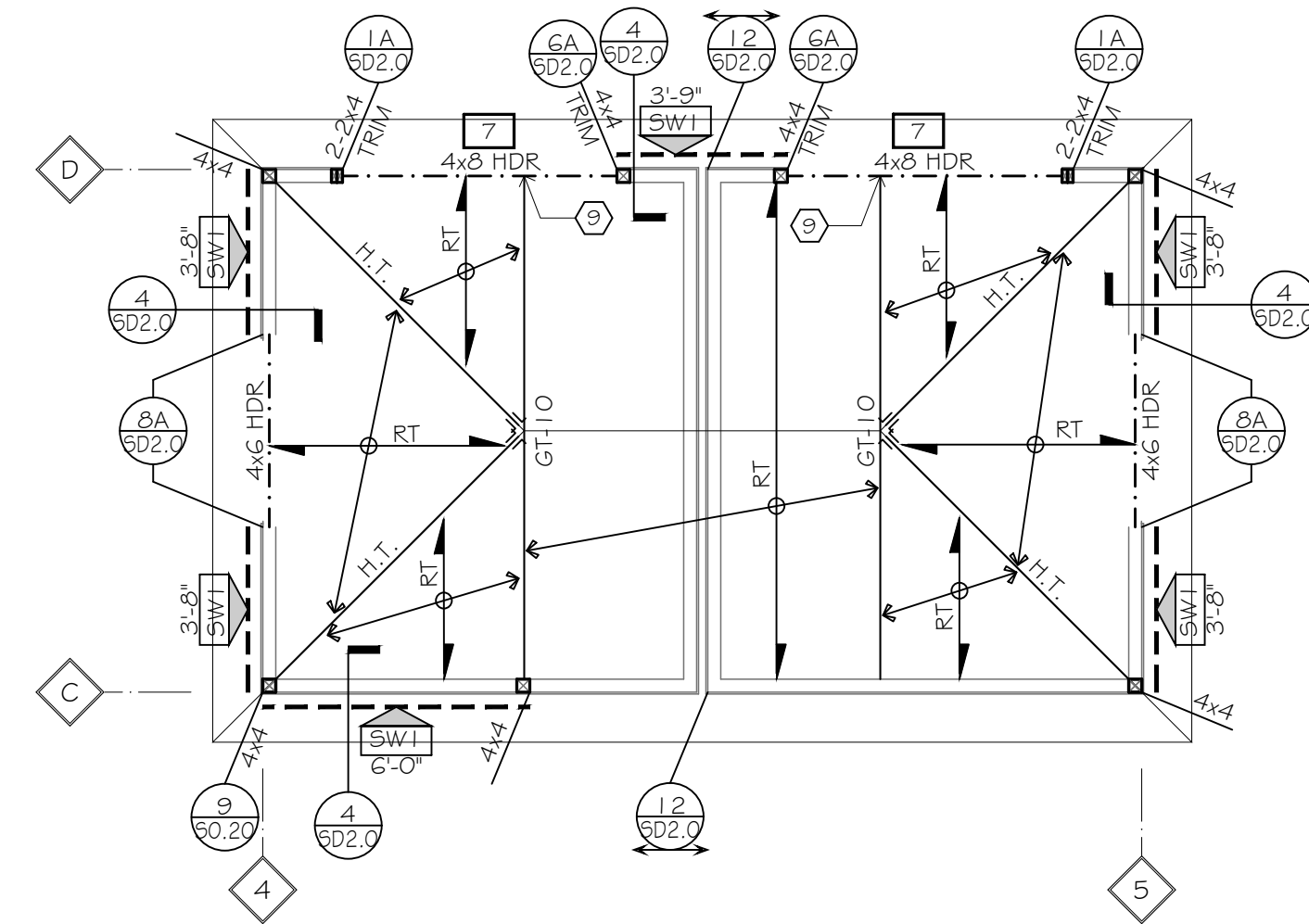
2022 CALIFORNIA BUILDING CODE (1), (3)

SHEAR PANEL TYPE	SHEATHING (5)	EDGE NAILING (COMMON) (6)	FIELD NAILING (COMMON) (5)	ALLOWABLE SHEAR (P.7)	SILL PLATE CONNECTION		FRAMING CLIPS A358, L5509 OR LTP45 (5), (6)
					1 1/2" x 6" x 2x SCS	5/8" x 2x A.3 SPCG	
SW1	3/8" APA rated	8 ds @ 6" O.C.	8 ds @ 12" O.C.	260 (7) 220	6" O.C.	16" O.C.	48" @ 24" O.C.
SW2 (4) (2)	3/8" APA rated	8 ds @ 4" O.C.	8 ds @ 12" O.C.	380 (7) 320	4" O.C.	12" O.C.	42" @ 16" O.C.
SW3 (4) (2)	3/8" APA rated	8 ds @ 3" O.C.	8 ds @ 12" O.C.	490 (7) 410	(10) 3" O.C.	(10) 8" O.C.	36" @ 8" O.C.
SW4 (4) (2)	3/8" APA rated	8 ds @ 2" O.C.	8 ds @ 12" O.C.	640 (7) 530	(10) 2" O.C.	(10) 6" O.C.	24" @ 8" O.C.
SW5 (4) (2)	1 5/8" APA rated Structural I	10 ds @ 2" O.C.	10 ds @ 12" O.C.	870	(10) 2" O.C.	(10) 9" O.C.	18" @ 6" O.C.

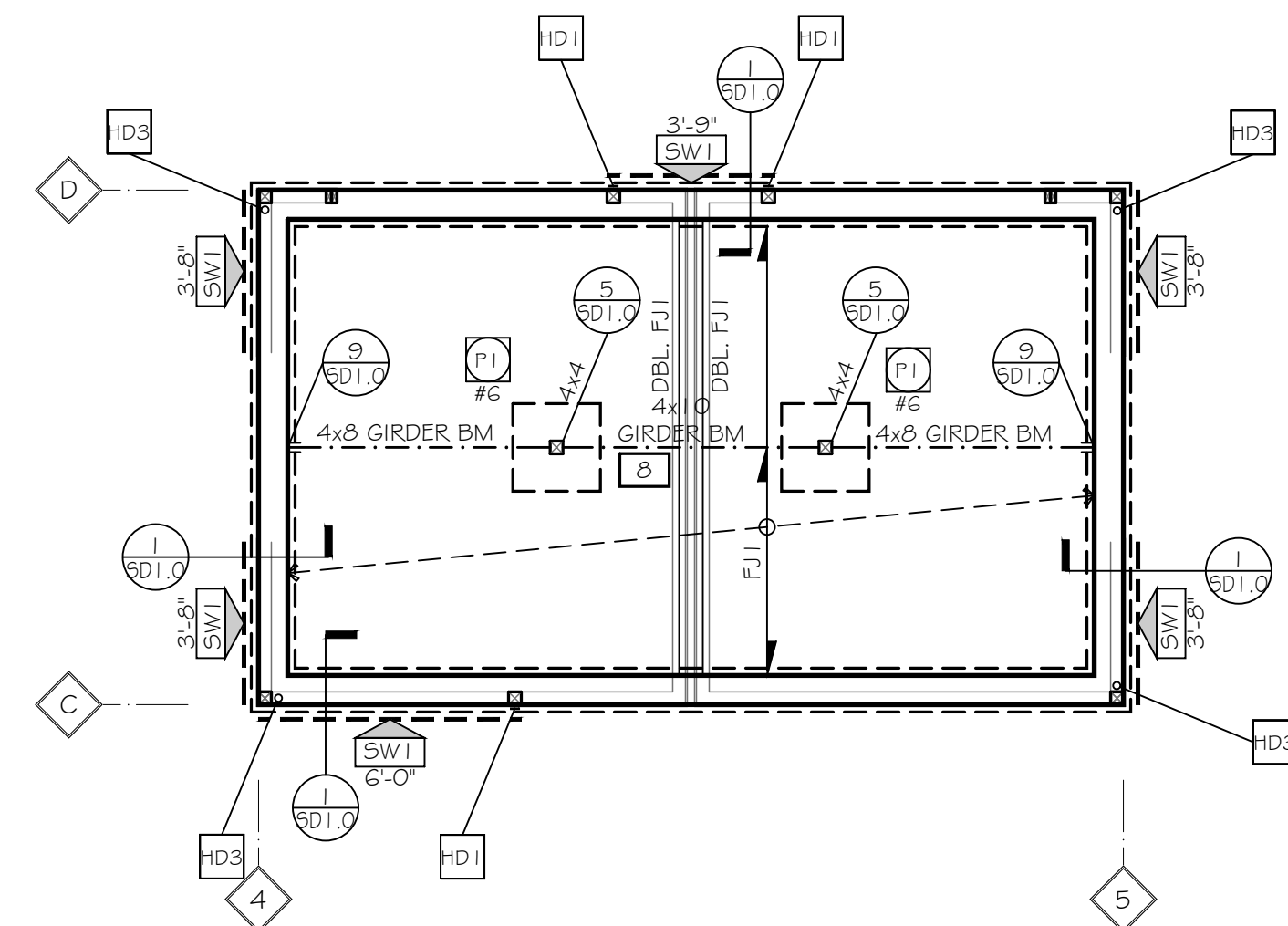
- (1) SHEATHING PANEL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.
- (2) PROVIDE 3" NOMINAL OR WIDER FRAMING AT ADJOINING PANEL EDGES WITH NAILS STAGGERED.
- (3) STUDS ARE SPACED @ 16" O.C. MAX. UNLESS NOTED OTHERWISE ON PLAN.
- (4) PERIODIC SPECIAL INSPECTION IS REQUIRED.
- (5) USE CLIPS @ 6" O.C. ON SIMPSON STRONG WALL # HARDY FRAME (U.N.O.).
- (6) USE SPACING PER SCHEDULE IF NUMBER OF FRAMING CLIPS ARE NOT SPECIFIED ON FRAMING PLANS.
- (7) ALLOWABLE SHEAR ARE FOR STUDS SPACED @ 24" O.C. MAX.
- (8) SHEATHING CONFORMS TO EITHER DOC PS 1 OR PS 2 STANDARDS.
- (9) NAILING @ 6" O.C. WHEN STUDS ARE SPACED @ 24" O.C.
- (10) FOR DOUBLE SIDED SHEAR PANELS:
  - a. USE HALF THE SPACING OF SILL PLATE ANCHOR BOLTS FOR TYPES SW3, SW4 & SW5
  - b. USE ONLY 1 1/4" x 6" SDS SCREWS IN SCHEDULE AND WITH HALF THE SPACING, FOR TYPES SW4 & SW5.
  - c. SEE SHEAR TRANSFER DETAIL ON PLAN FOR FRAMING CLIP TYPES AND HALF THE SPACING, FOR TYPES SW3, SW4 & SW5.

REVISION	DESCRIPTION	
DATE	NO.	BY
	Project Name: <b>NEW SINGLE FAMILY RESIDENCE</b> Project Address: <b>11205 Monterey Highway, San Martin, CA 92046</b>	
DATE: 04/03/2024 PROJECT MANAGER: P.P.		
ROOF FRAMING PLAN MAIN HOUSE		
JOB NO.: 11205 SHEET NO.:		
S-2.0		





**ROOF FRAMING PLAN** **STORAGE**  
SCALE : 1/4" = 1'-0"



**FOUNDATION PLAN** **STORAGE**  
SCALE : 1/4" = 1'-0"

**FRAMING NOTES**

- REFER TO SHEET S-O, 1.0 FOR MORE INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING PREFABRICATED SHEAR WALLS AND MATCH TOP PLATE HEIGHT AND WALL WIDTH AND NOTIFY ENGINEER OF RECORD IF DIFFERENT THAN PLANS.
- USP CONNECTORS CAN BE USED IN LIEU OF SIMPSON STRONG TIE IN THIS PROJECT. CONTACT E.O.R. FOR CONVERSION TABLE OR SUBMIT SHOP DRAWINGS TO E.O.R. FOR REVIEW AND APPROVAL.
- ALL BEAM HANGERS SHALL BE SIMPSON HU HANGERS, UNO, ON PLAN OR DETAIL.
- USE STG224 STRAP FOR THE TOP PLATES SPLICE AT ALL FRAMING LEVELS (3BYSD2.0), UNO ON PLANS.
- USE ST22 STRAP FOR LEDGER SPLICES, UNO.
- USE (1)CS16 x 3'-0" STRAP AT RIM JOISTS SPLICE, U.N.O ON PLANS. 1 1/4" MIN. LVL RIM JOISTS SHOULD BE USED AT ALL FLOOR FRAMING EDGES.
- HEADER AT NON-BEARING WALLS, USE 2x4 FOR OPENINGS UP TO 3'-0" MAX., (2)2x4 FOR OPENINGS UP TO 6'-0" MAX., 4x6 FOR OPENINGS UP TO 12'-0" MAX., (UNO) USE 4x4 FOR OPENINGS LESS THAN 16" AT BEARING WALLS WITHOUT POINT LOADS.
- WOOD HEADER OR POSTS MADE UP OF 2 OR MORE 2X5 SHALL BE SPIKED TOGETHER PER THE NAILING SCHEDULE.
- SHEARWALL PANEL TO BE NAILED TO ALL MULTIPLE STUDS RECEIVING HOLDDOWNS AND DO NOT BREAK AT PERPENDICULAR WALL LOCATIONS, UNO.

**LEGEND**

- DENOTES DROP BEAM OR HEADER PER PLAN
- DENOTES FLUSH BEAM PER PLAN
- DENOTES BEAM NUMBER, REFER TO E.O.R. CALCULATIONS
- DENOTES POST OR TRIMMER AS NOTED
- DENOTES POST OR TRIMMER FROM FLOOR ABOVE
- DENOTES DIRECTION OF FRAMING MEMBER PER FRAMING SCHEDULE
- DENOTES SHEAR PANEL LENGTH  
DENOTES PANEL TYPE, REFER TO SHEARWALL SCHEDULE
- DENOTES KEY NOTE NUMBER
- DENOTES DETAIL NUMBER
- DENOTES DETAIL SHEET NUMBER
- DENOTES BEARING WALL
- DENOTES OVER FRAMING
- DENOTES DRAG DIRECTION
- DENOTES FRAMING ZONE DIVISION
- DENOTES SHEARWALL LINE IN CALCULATIONS

**KEY NOTES**

- TRUSS HANGER BY TRUSS MANUFACTURER
- PROVIDE SOLID BLOCKING WHERE POSTS ARE DISCONTINUOUS AT JOIST SPACE AND/OR FROM TOP OF BEAMS/HEADERS TO LOWER TOP PLATE.

**FRAMING SCHEDULE**

MARK	MEMBER TYPE
RT	DESIGN ROOF TRUSSES @ 24' O.C.

**FOUNDATION NOTES**

- REFER TO SHEET S-O, 1.0 FOR MORE INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING PREFABRICATED SHEAR WALLS AND MATCH TOP PLATE HEIGHT AND WALL WIDTH AND NOTIFY ENGINEER OF RECORD IF DIFFERENT THAN PLANS.
- TOP OF ALL EXTERIOR FOOTING, GRADE BEAM FOOTING, PAD FOOTING, OR FLAG POLE FOOTING TO BE MIN. 6" BELOW FINISH GRADE.
- FOR NON-SHEAR WALLS, MASAMASAP MUDSILL ANCHORS CAN BE USED IN LIEU OF ANCHOR BOLTS WITH END DISTANCE OF 4" MIN. PER ESR #2555.
- FOR DOUBLE SHEAR PANEL TYPES SW3, SW4, SW5 USE MIN. 3X6 SILL PLATES U.N.O.
- SEE DETAIL 7/SD1.0 AND 8/SD1.0 FOR HOLDOWN INSTALLATION

**LEGEND**

- DENOTES FOOTING
- DENOTES PAD
- DENOTES PAD NUMBER PER SCHEDULE
- DENOTES PAD NUMBER IN CALCULATIONS
- DENOTES DETAIL NUMBER
- DENOTES DETAIL SHEET NUMBER
- DENOTES HOLDOWN PER SCHEDULE
- DENOTES SHEAR PANEL LENGTH  
DENOTES PANEL TYPE, REFER TO SHEARWALL SCHEDULE
- DENOTES SLAB STEP PER ARCH. (VERIFY PRIOR TO CONSTRUCTION)
- DENOTES DROP BEAM OR HEADER PER PLAN
- DENOTES FLUSH BEAM PER PLAN
- DENOTES BEAM NUMBER, REFER TO E.O.R. CALCULATIONS
- DENOTES POST OR TRIMMER AS NOTED
- DENOTES POST OR TRIMMER FROM FLOOR ABOVE
- DENOTES DIRECTION OF FRAMING MEMBER PER FRAMING SCHEDULE
- DENOTES FRAMING ZONE DIVISION

**FOOTING SCHEDULE**

SYMBOL	PAD SIZE	REINFORCEMENT
CF1	CONT. W=12', D=24"	CONT. (2) #5 TOP & BOTTOM
	2'-0" SQ. x 24" THICK	(3) #5 E.W.

**HOLDOWN SCHEDULE**

SYMBOL	SIMPSON HOLDOWN	USP HOLDOWN	NOTES
HD1	5THD1.0	STAD1.0	REFER TO DETAIL 8/SD1.0
HD3	HTT5	HTT22	REFER TO DETAIL 7/SD1.0

**FRAMING SCHEDULE**

MARK	MEMBER TYPE
FJ1	2 X 6 FLOOR JOISTS @ 16" O.C.

**SHEAR WALL SCHEDULE**

2022 CALIFORNIA BUILDING CODE (1), (3)

SHEAR PANEL TYPE	SHEATHING (B)	EDGE NAILING (COMMON)	FIELD NAILING (COMMON)	ALLOWABLE SHEAR (PLF)	SILL PLATE CONNECTION		FRAMING CLIPS A355, L550's OR LTP4's (5), (6)
					1 1/4" x 6" SINKER	5/8" x 3" SPCG 2x	
SW1	3/8" APA rated	8 ds @ 6" O.C.	8 ds @ 12" O.C.	260	(7) 220	6" O.C. @ 16" O.C.	48" @ 24" O.C.
SW2 (A) (2)	3/8" APA rated	8 ds @ 4" O.C.	8 ds @ 12" O.C.	380	(7) 320	4" O.C. @ 12" O.C.	42" @ 16" O.C.
SW3 (A) (2)	3/8" APA rated	8 ds @ 3" O.C.	8 ds @ 12" O.C.	490	(10) 410	3" O.C. @ 8" O.C.	36" @ 8" O.C.
SW4 (A) (2)	3/8" APA rated	8 ds @ 2" O.C.	8 ds @ 12" O.C.	640	(10) 530	2" O.C. @ 6" O.C.	24" @ 8" O.C.
SW5 (A) (2)	1 1/2" x 3/4" APA rated Structural I	10 ds @ 2" O.C.	10 ds @ 12" O.C.	870	(10) 730	2 ROWS STAGG. @ 9" O.C.	18" @ 6" O.C.

- SHEATHING PANEL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.
- PROVIDE 3" NOMINAL OR WIDER FRAMING AT ADJOINING PANEL EDGES WITH NAILS STAGGERED.
- STUDS ARE SPACED @ 16" O.C. MAX. UNLESS NOTED OTHERWISE ON PLAN.
- PERIODIC SPECIAL INSPECTION IS REQUIRED.
- USE CLIPS @ 6" O.C. ON SIMPSON STRONG WALL & HARDY FRAME (U.N.O.).
- USE SPACING PER SCHEDULE IF NUMBER OF FRAMING CLIPS ARE NOT SPECIFIED ON FRAMING PLANS.
- ALLOWABLE SHEAR ARE FOR STUDS SPACED @ 24" O.C. MAX.
- SHEATHING CONFORMS TO EITHER DOC PS 1 OR PS 2 STANDARDS.
- NAILING @ 6" O.C. WHEN STUDS ARE SPACED @ 24" O.C.
- FOR DOUBLE SIDED SHEAR PANELS:
  - USE HALF THE SPACING OF SILL PLATE ANCHOR BOLTS FOR TYPES SW3, SW4 & SW5
  - USE ONLY 1 1/4" x 6" SDS SCREWS IN SCHEDULE AND WITH HALF THE SPACING, FOR TYPES SW4 & SW5.
  - SEE SHEAR TRANSFER DETAIL ON PLAN FOR FRAMING CLIP TYPES AND HALF THE SPACING, FOR TYPES SW3, SW4 & SW5.

REVISION

NO.	DATE	DESCRIPTION
1		
2		
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4		
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6		

REGISTERED PROFESSIONAL ENGINEER  
No. C78194  
CIVIL  
STATE OF CALIFORNIA  
04/03/2024

Project Name:  
**NEW SINGLE FAMILY RESIDENCE**

Project Address:  
11205 Monterey Highway, San Martin, CA 92046

DATE: 04/03/2024

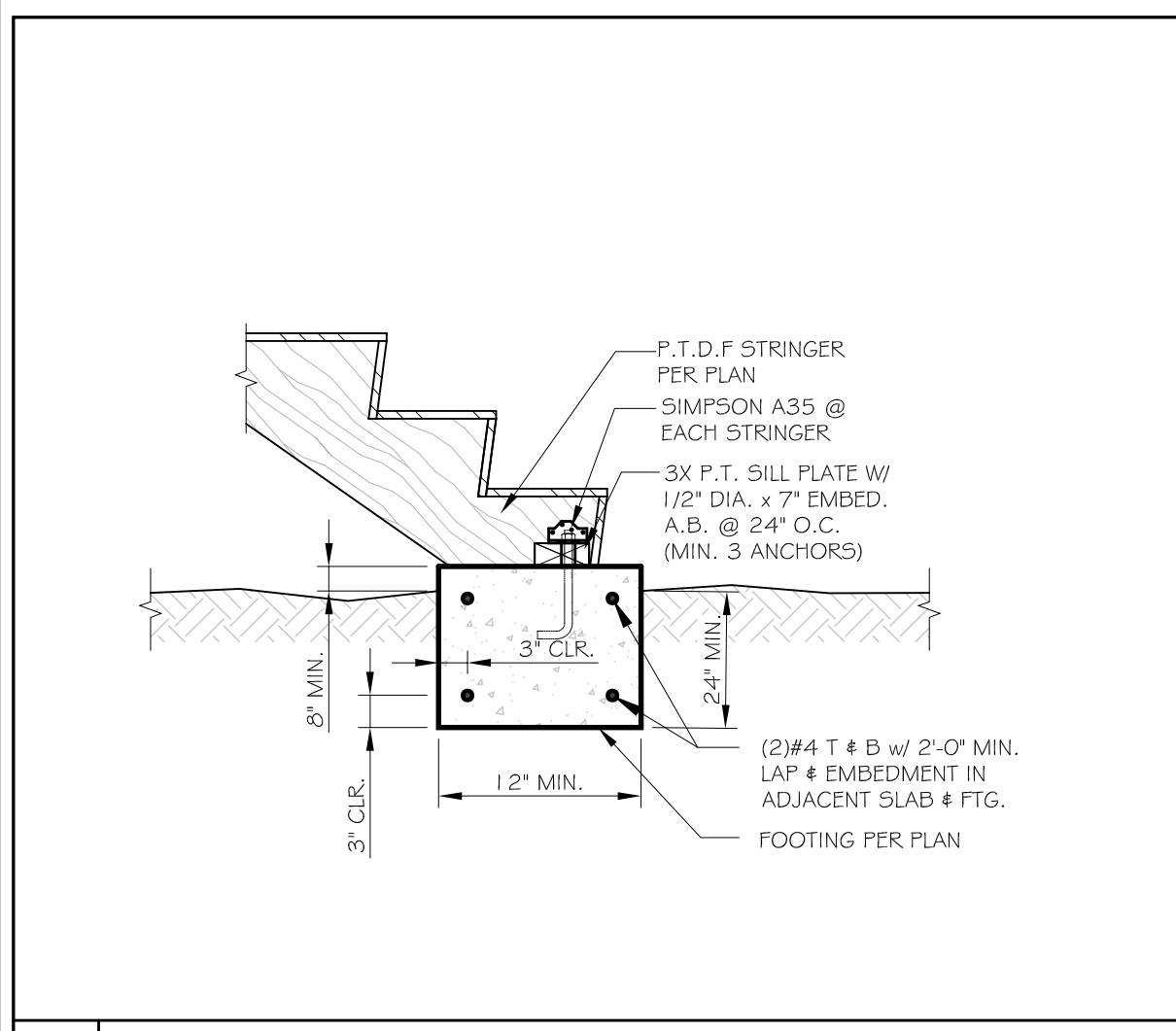
PROJECT MANAGER:  
P.P.

**FOUNDATION & ROOF FRAMING PLAN**

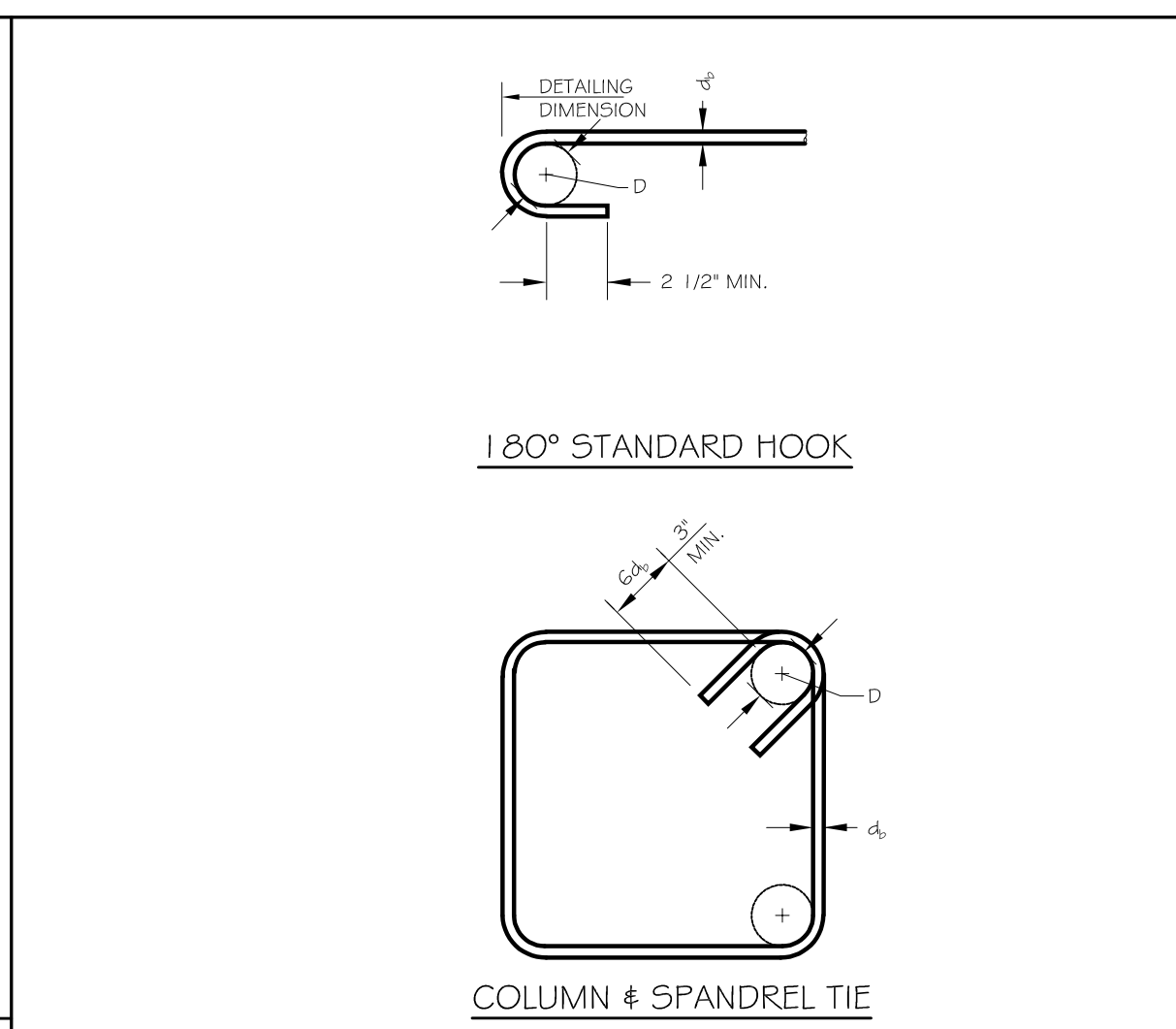
**STORAGE**

JOB NO.: 11205  
SHEET NO.:

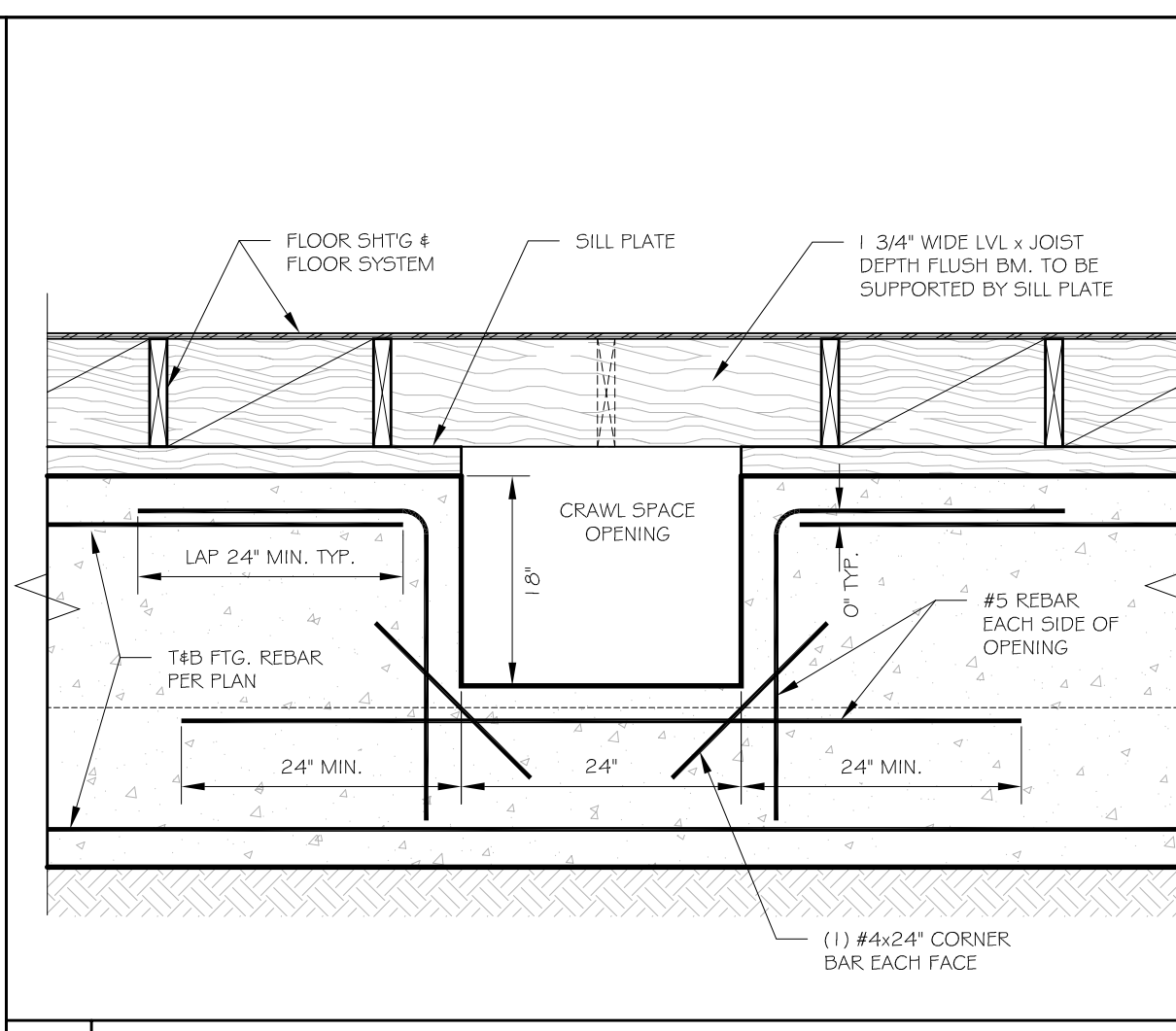
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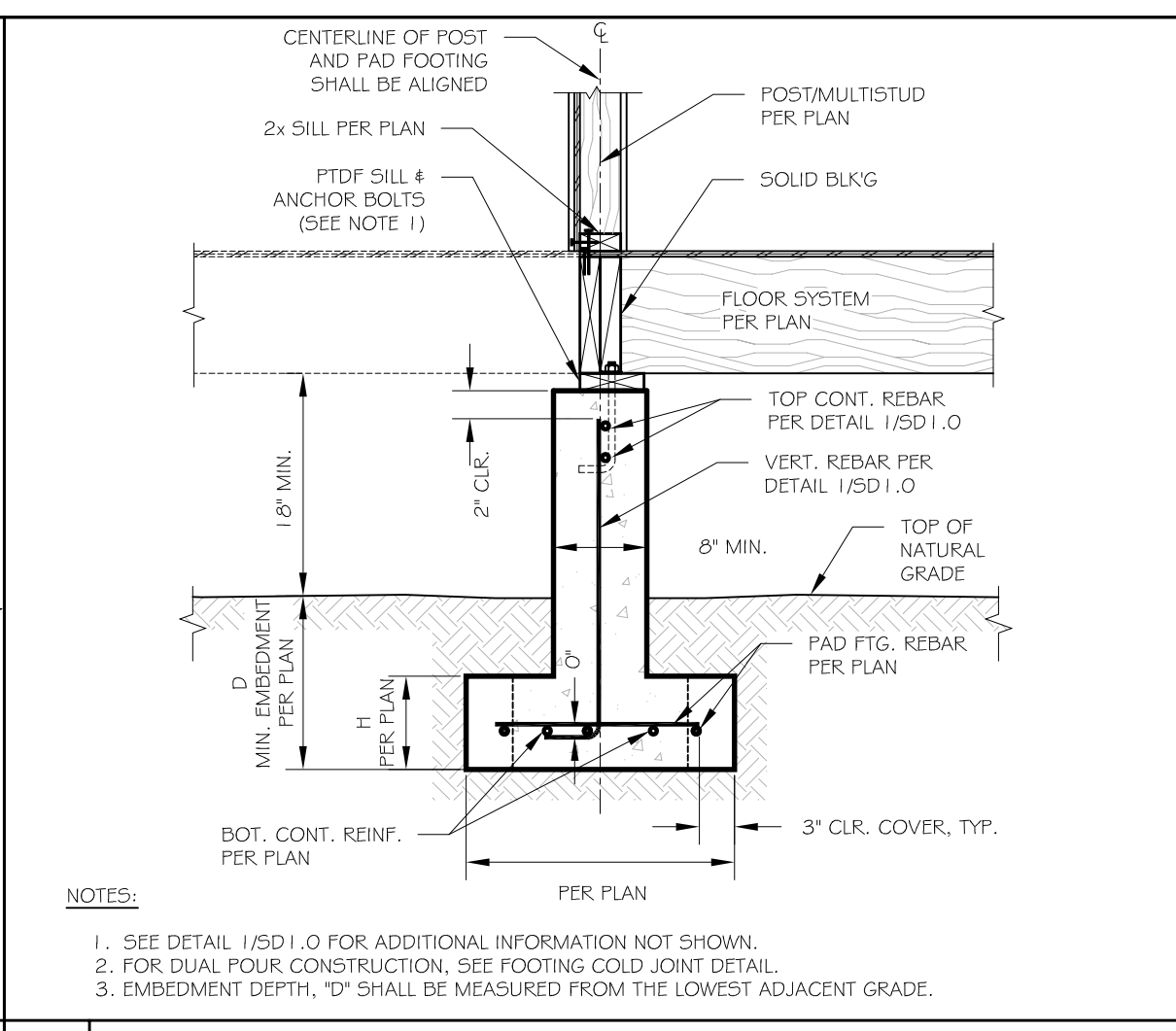
15 CONNECTION DETAIL



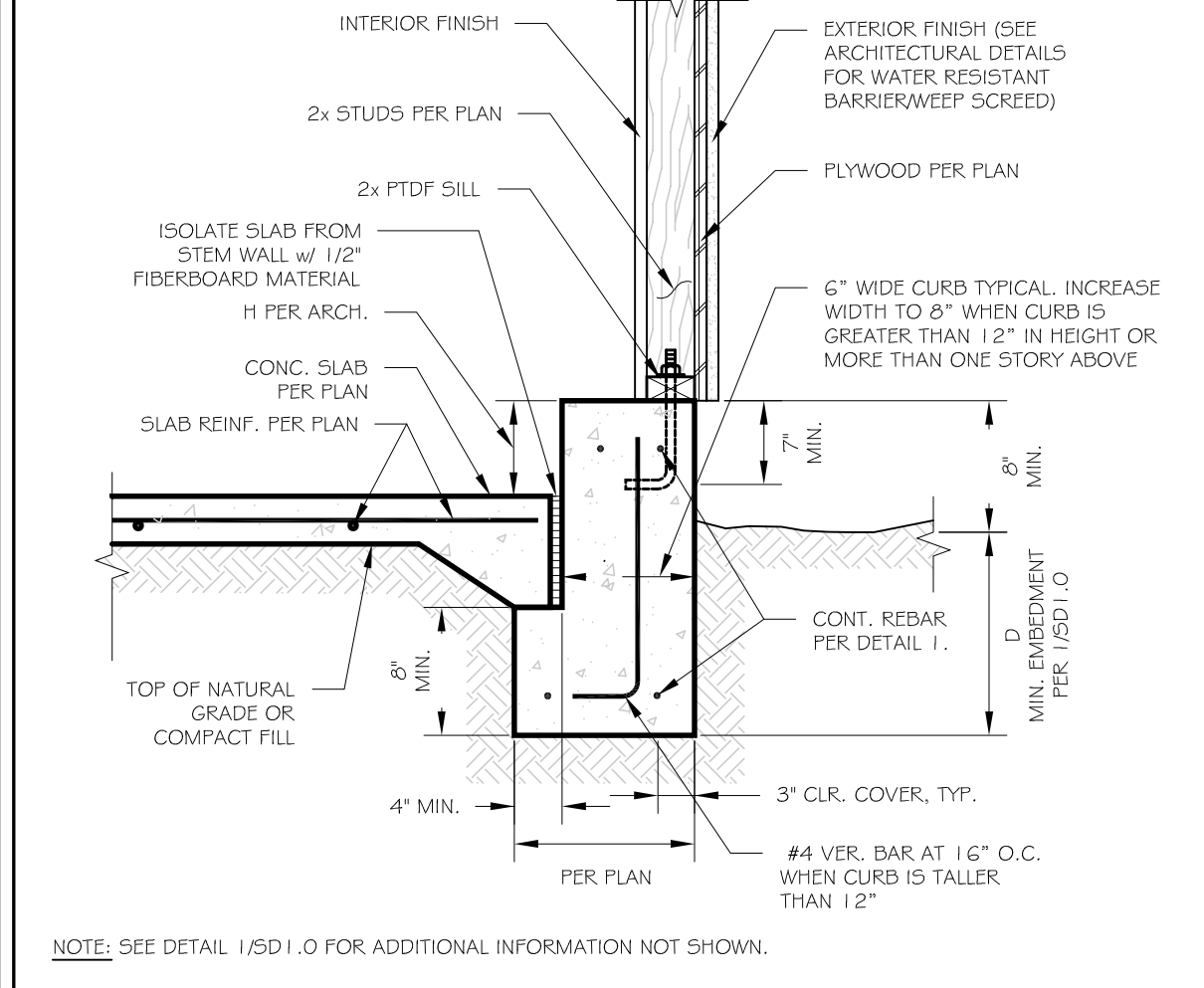
10 CRAWL SPACE ACCESS OPENING



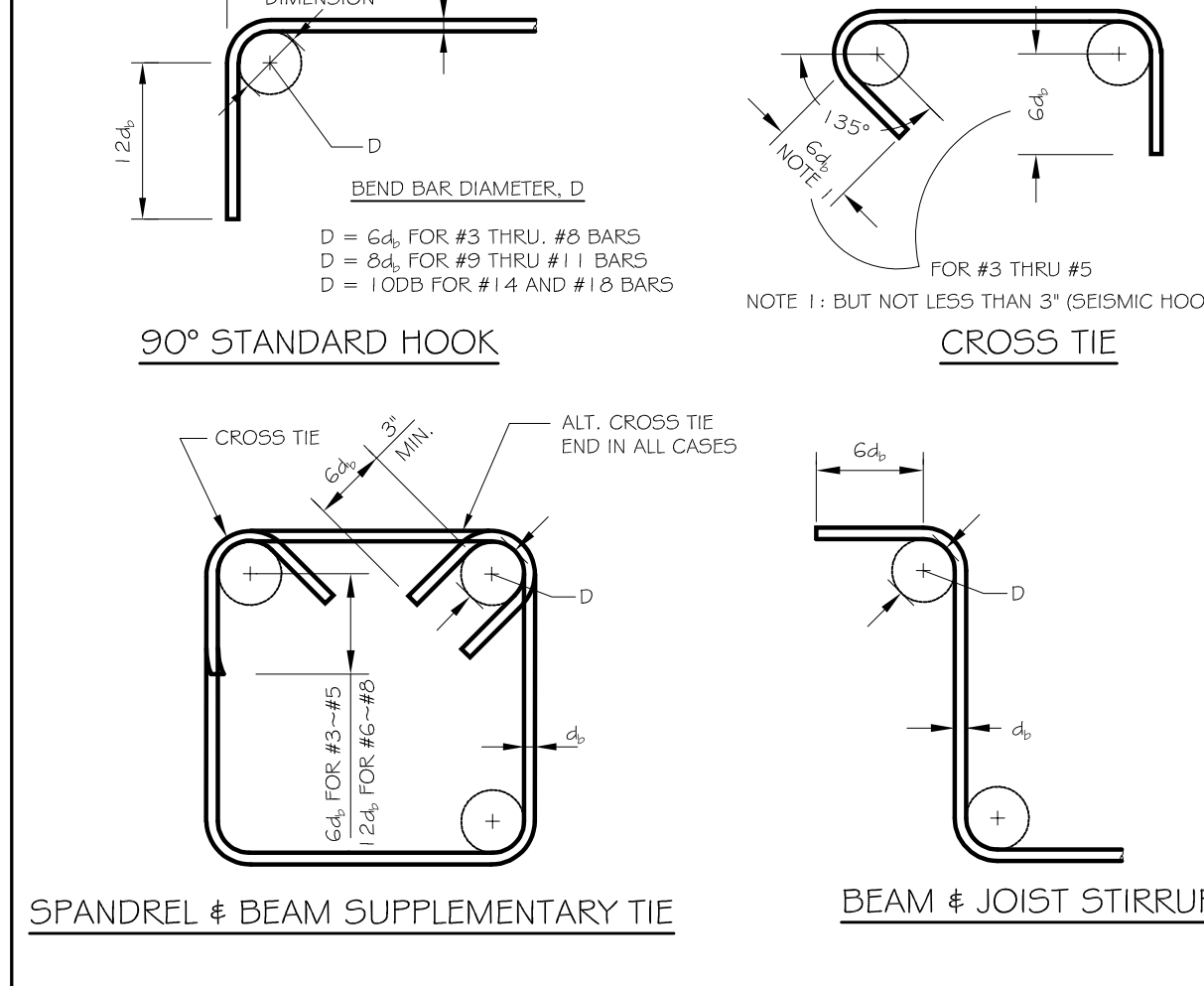
6 PAD FOOTING AT BEARING FOOTING



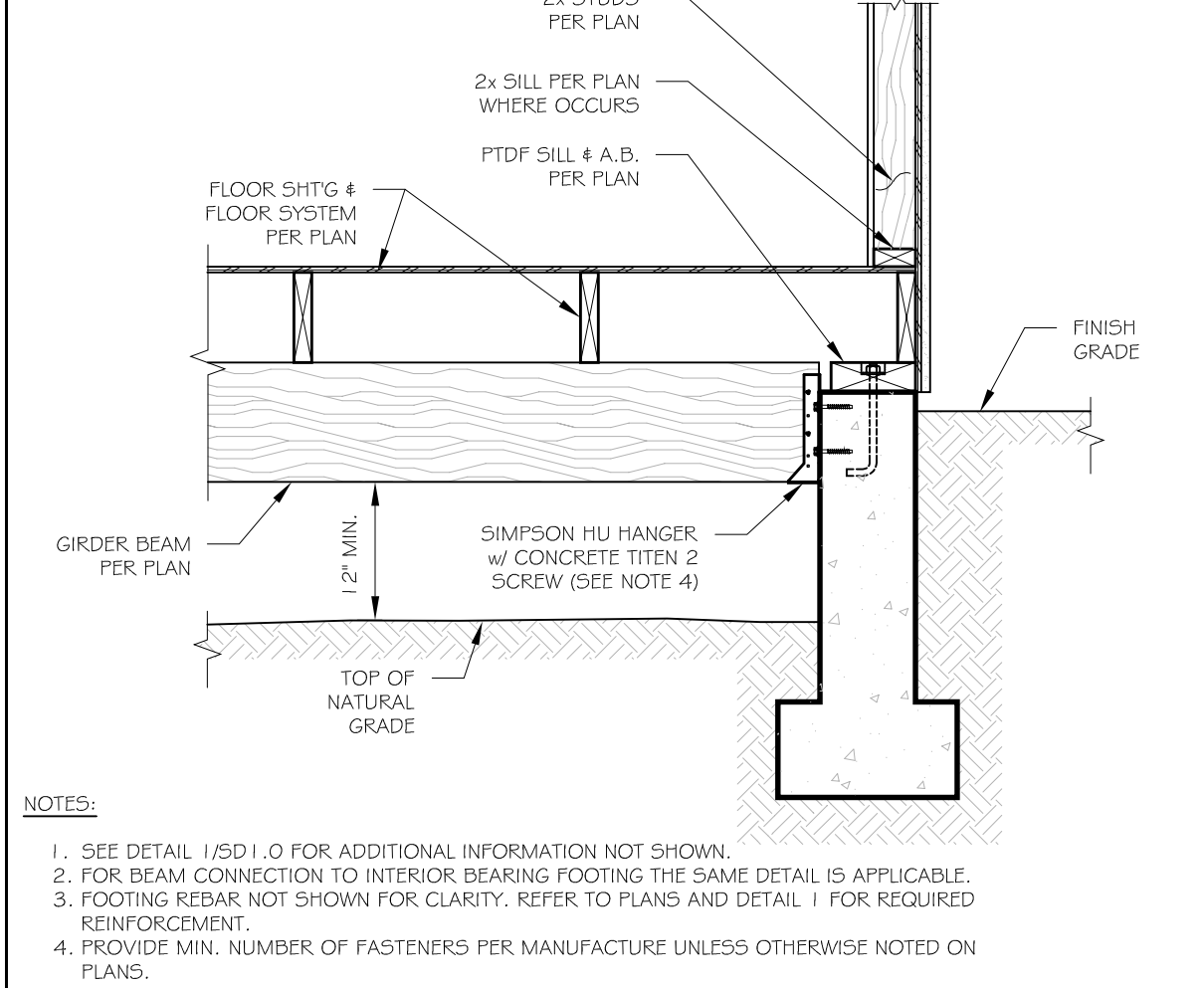
3 FLOOR TO DECK CONNECTION



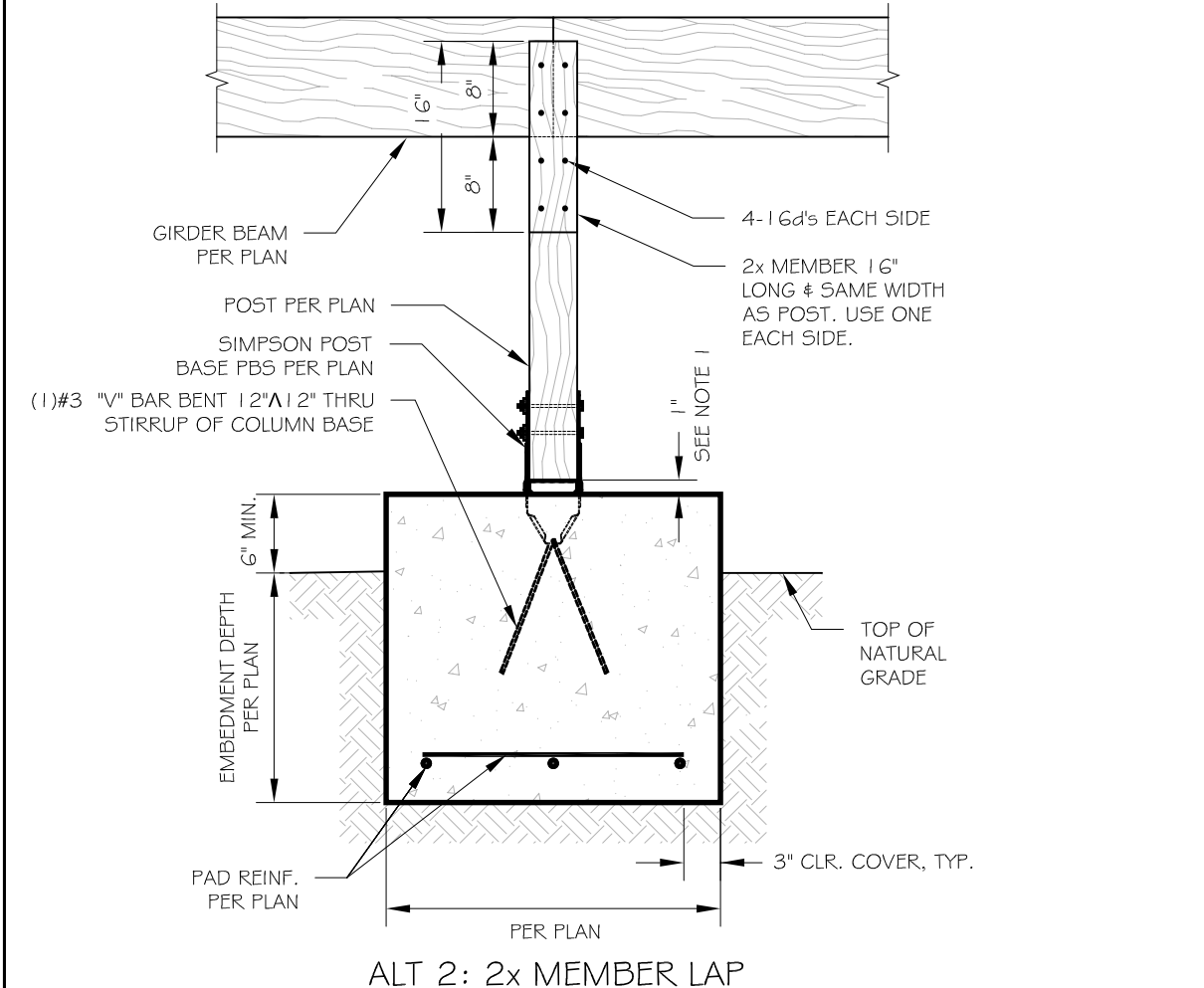
14 EXTERIOR BEARING AT GARAGE CURB



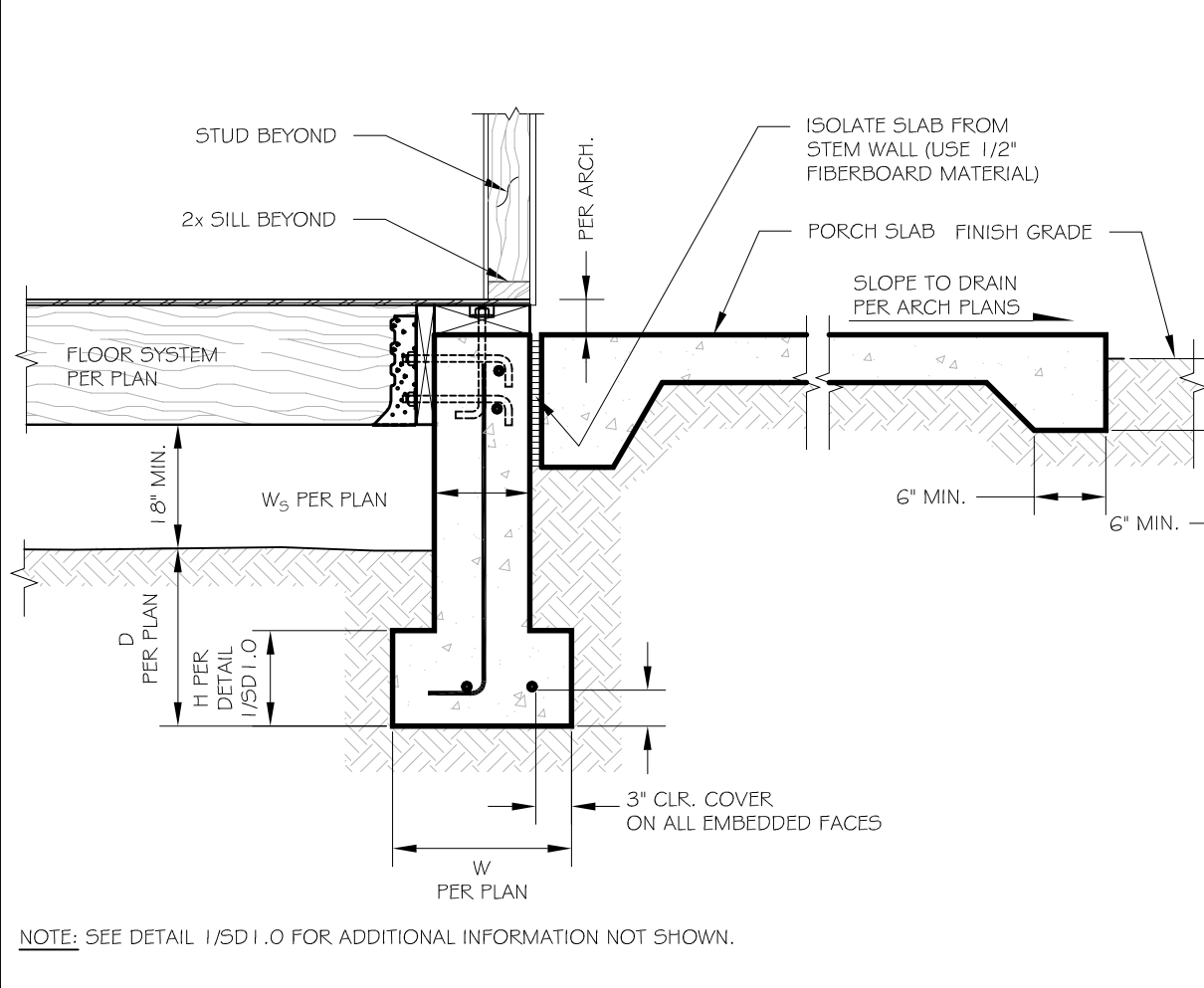
12 BAR BENDING & STANDARD HOOKS



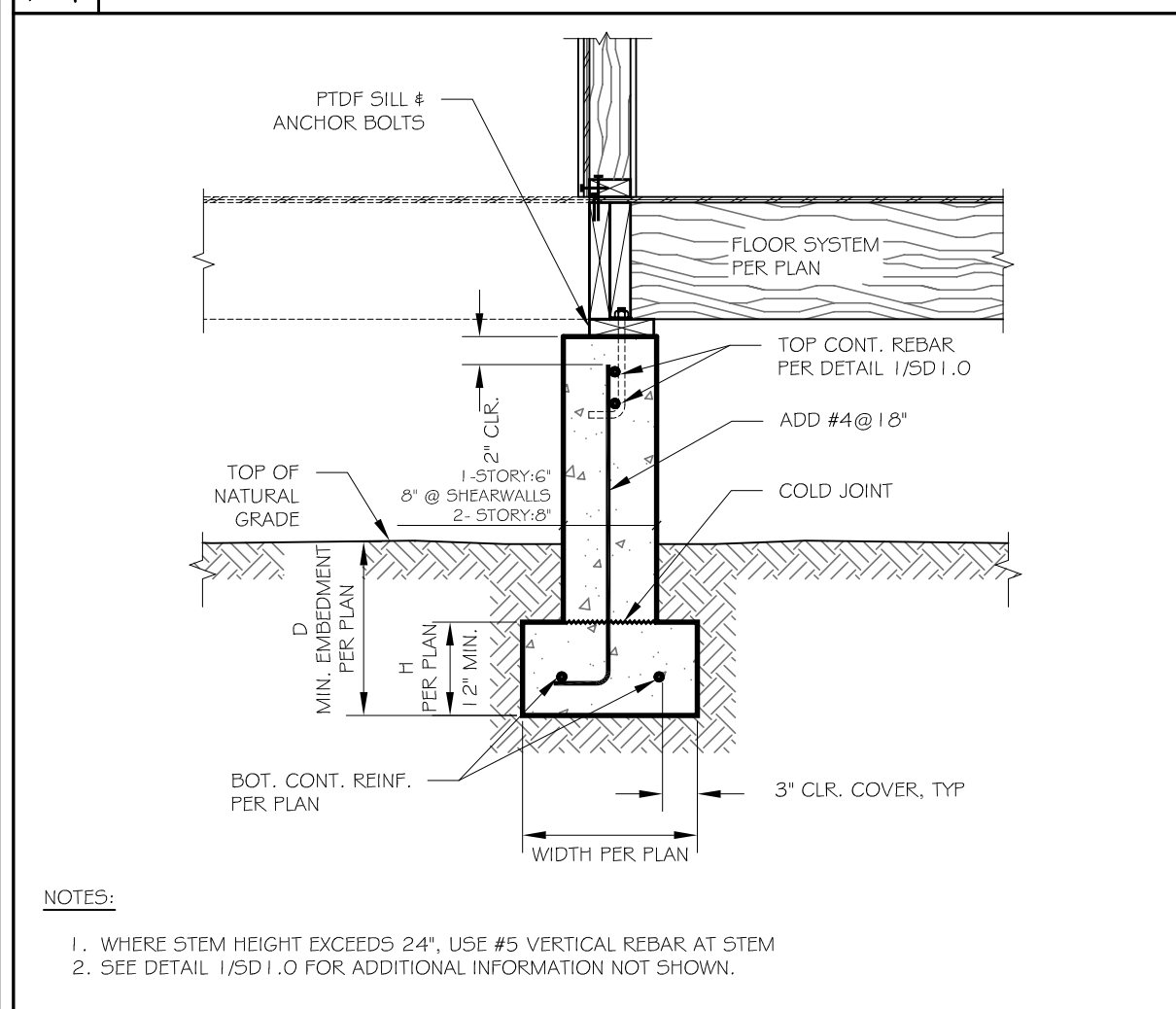
9 GIRDER TO FOOTING CONNECTION



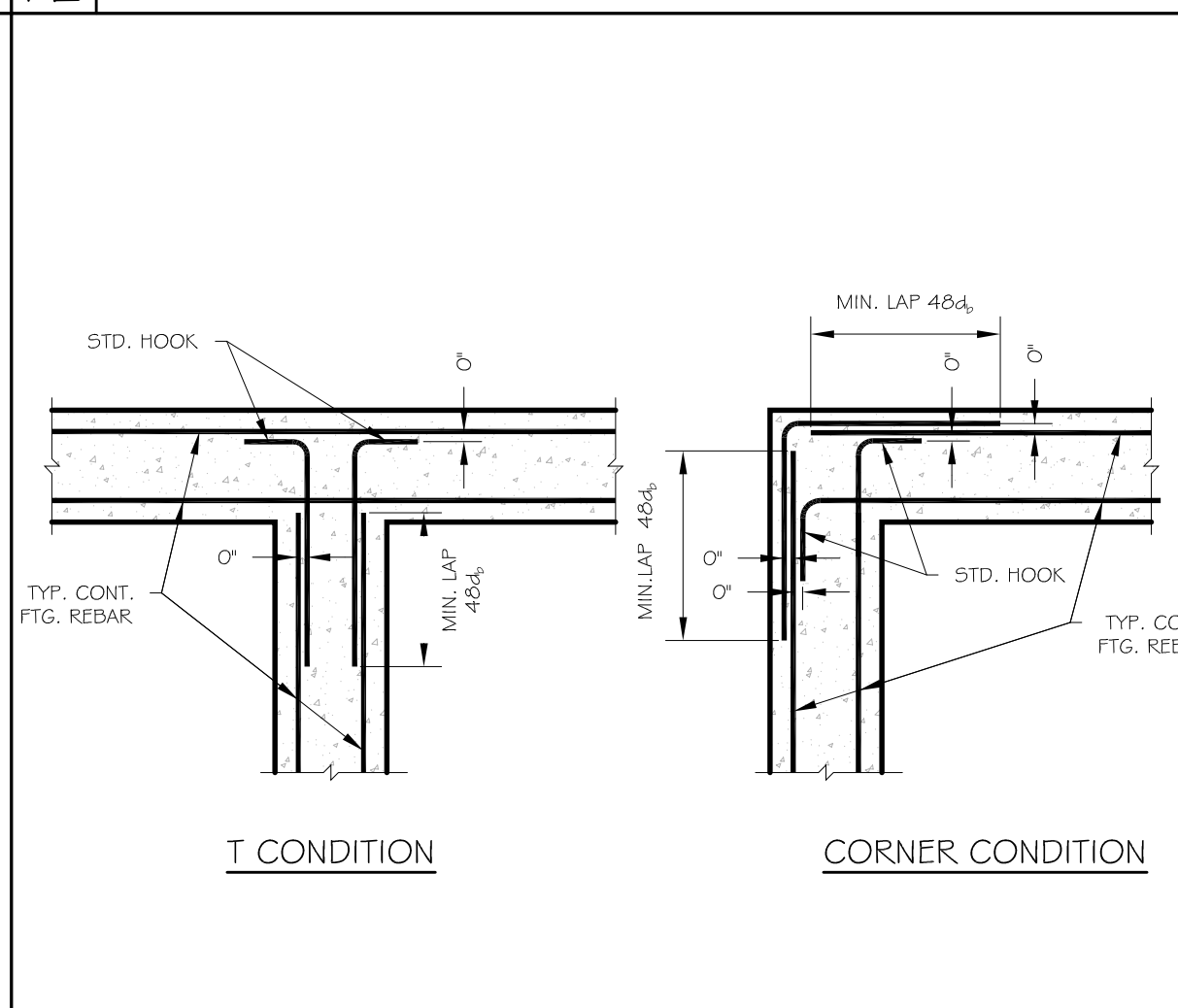
7 HOLDOWN ANCHOR BOLT AT RAISED FLOOR FOOTING



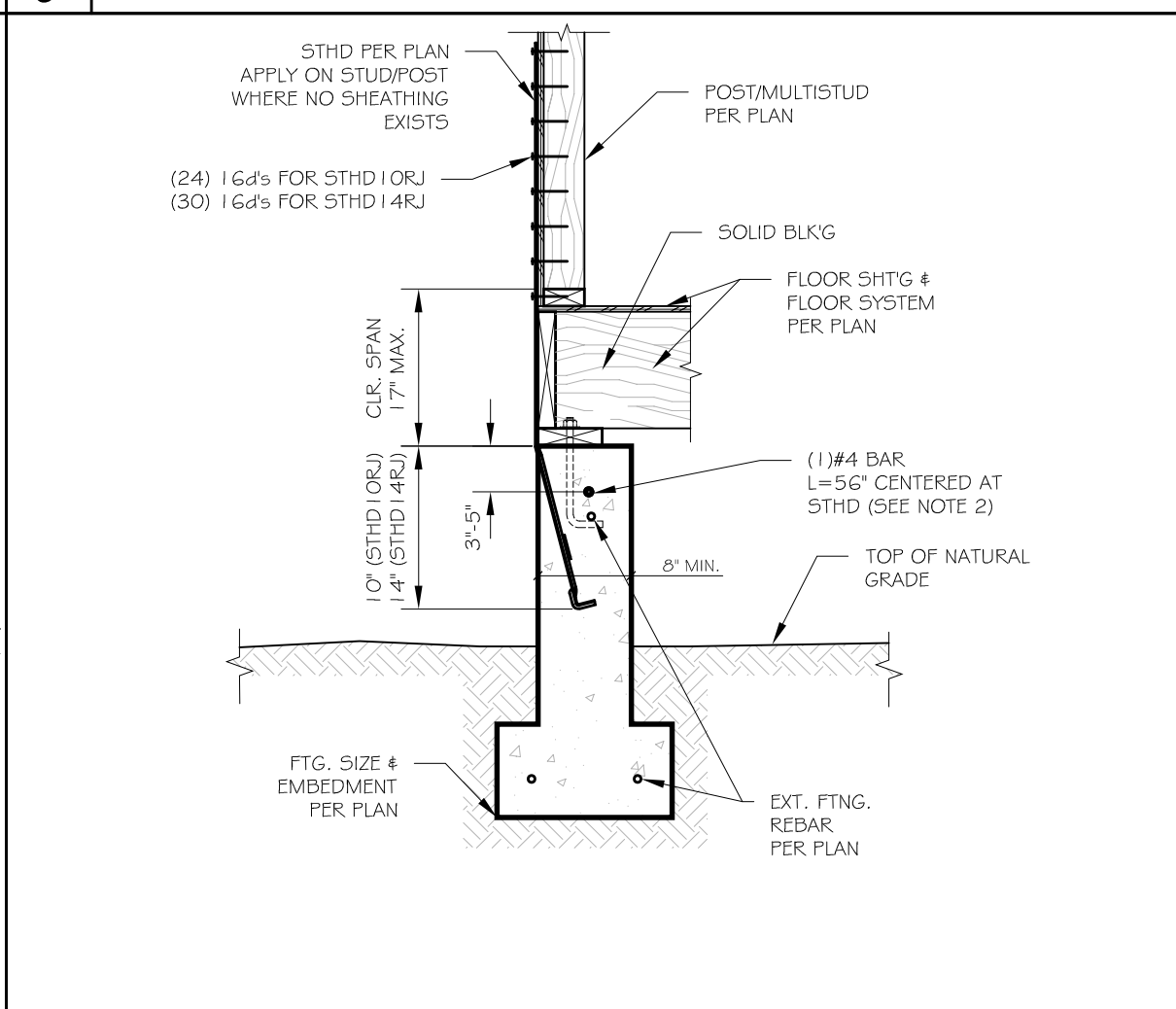
2 HOUSE TO PORCH



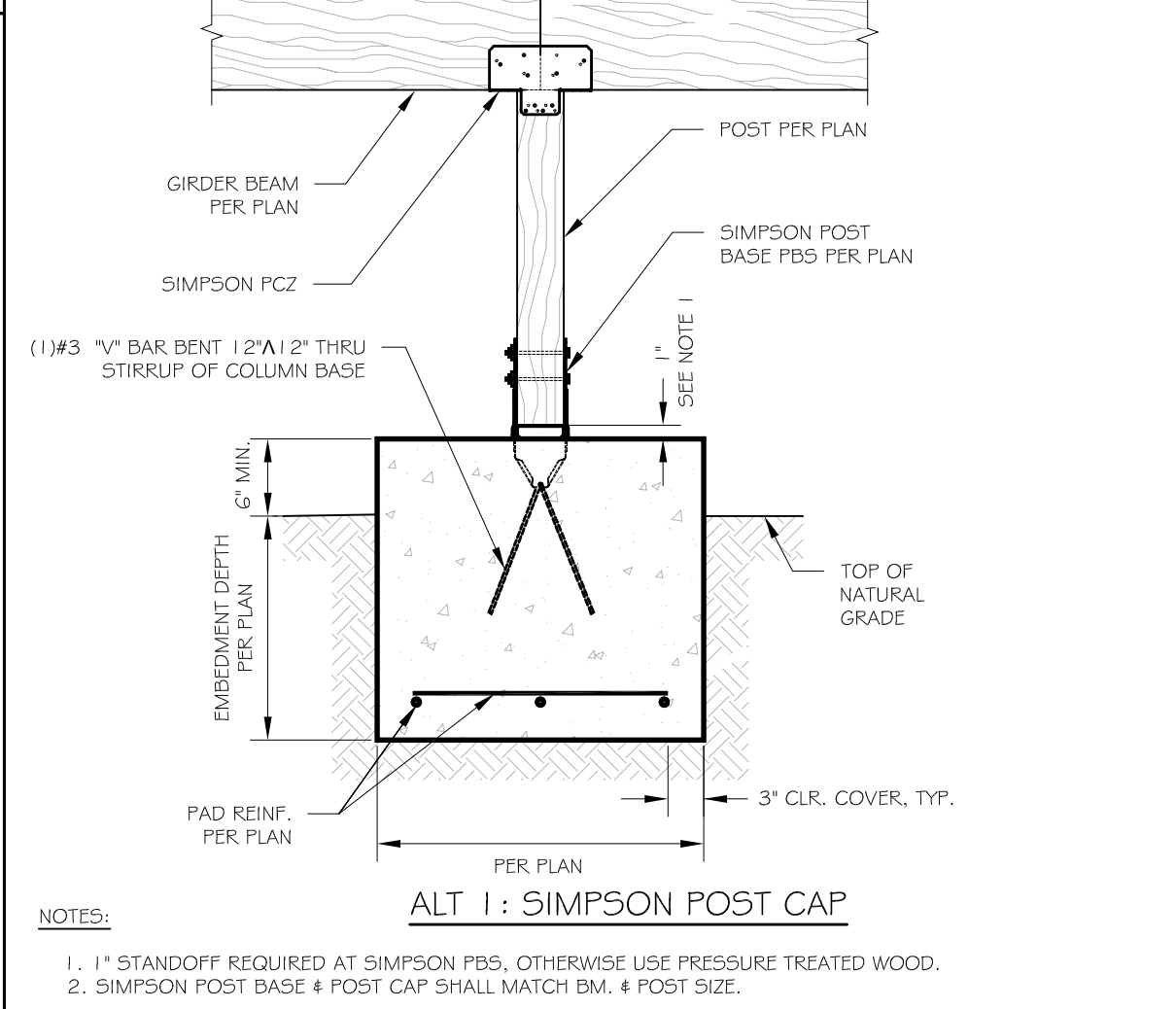
13 TYPICAL COLD JOINT IN FOOTING



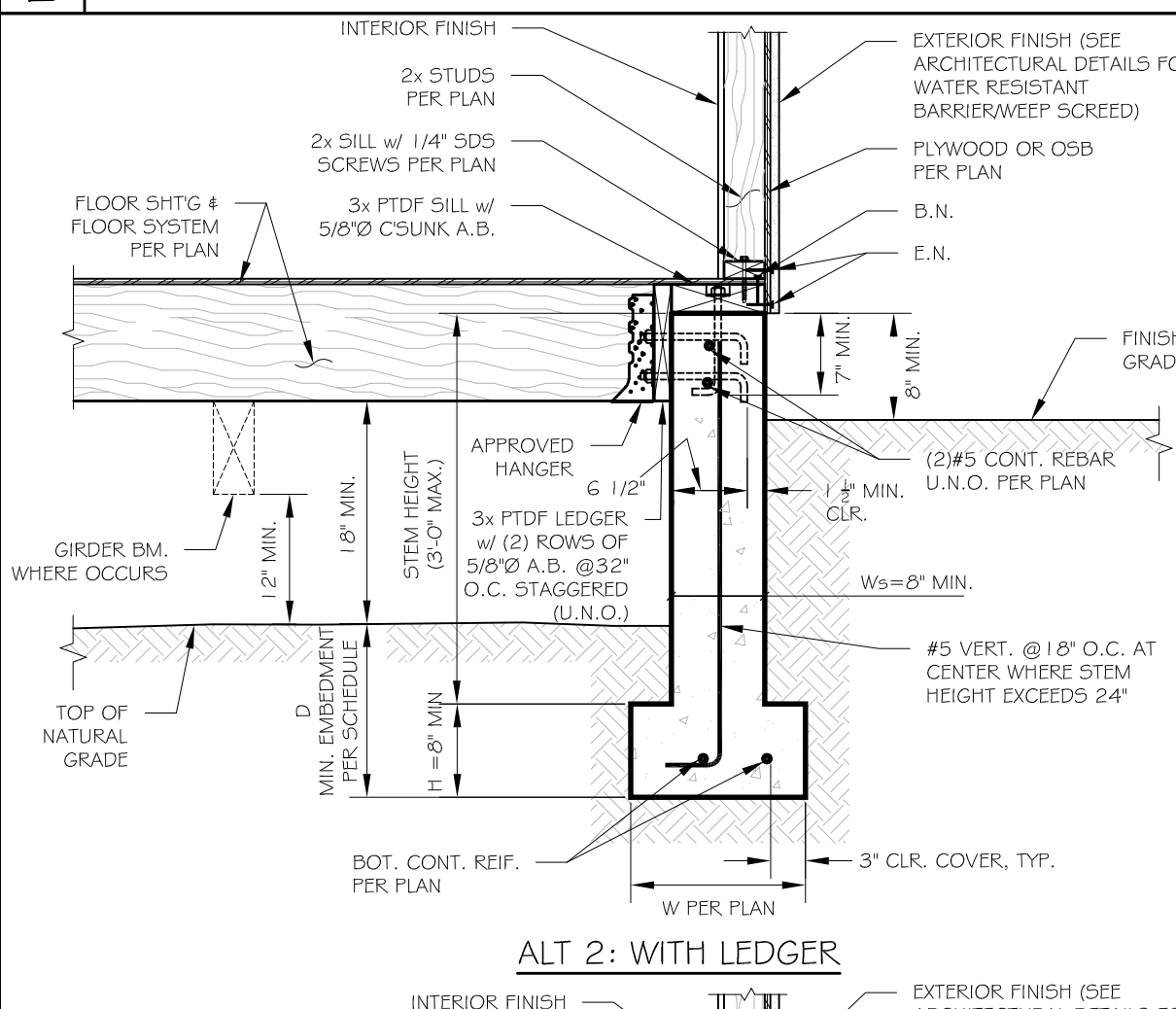
11 REINF. DETAILS AT FOOTING JUNCTIONS



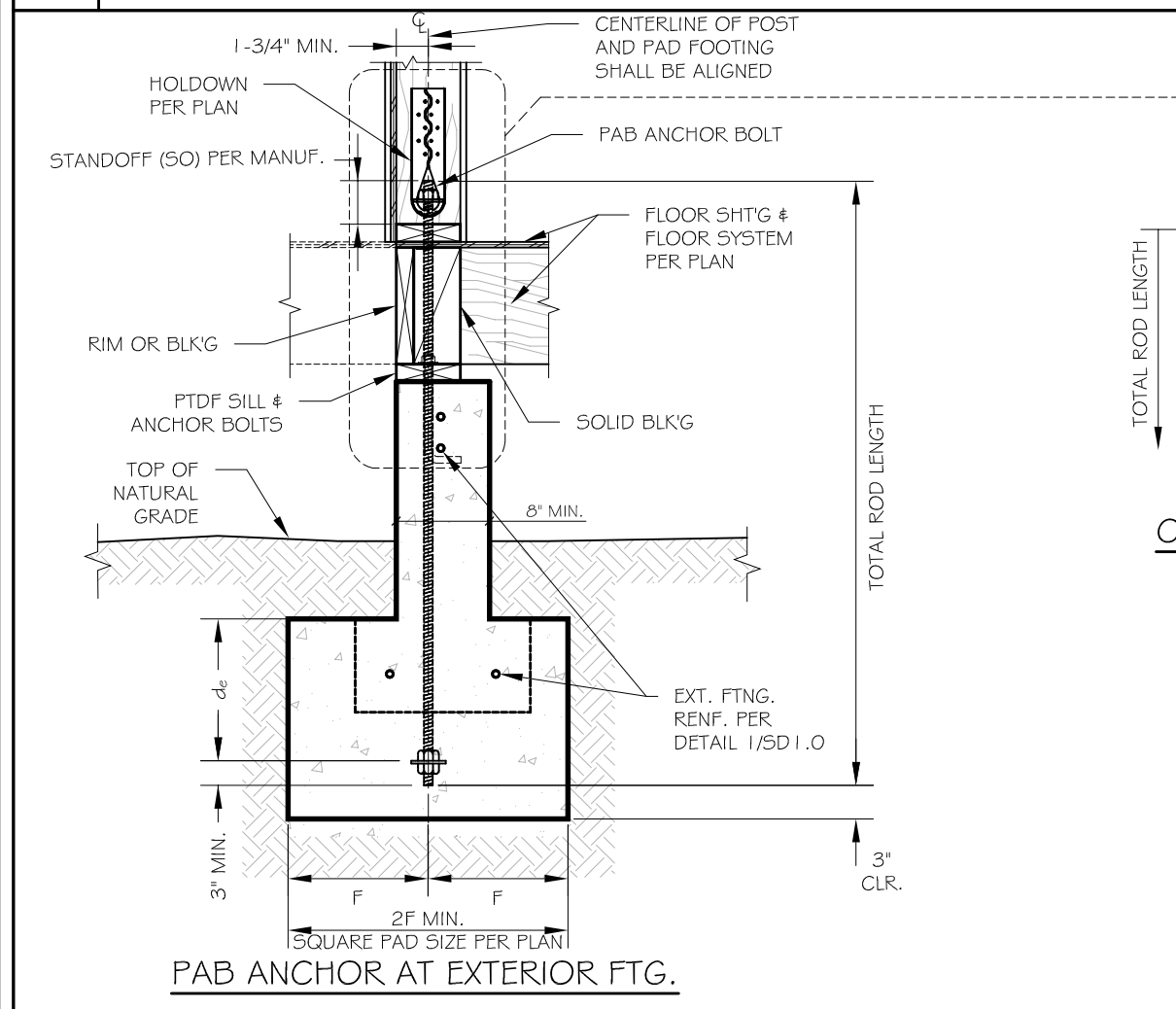
8 TYPICAL 5THD STRAP HOLDOWN



5 ISOLATED POST TO GIRDER CONNECTION



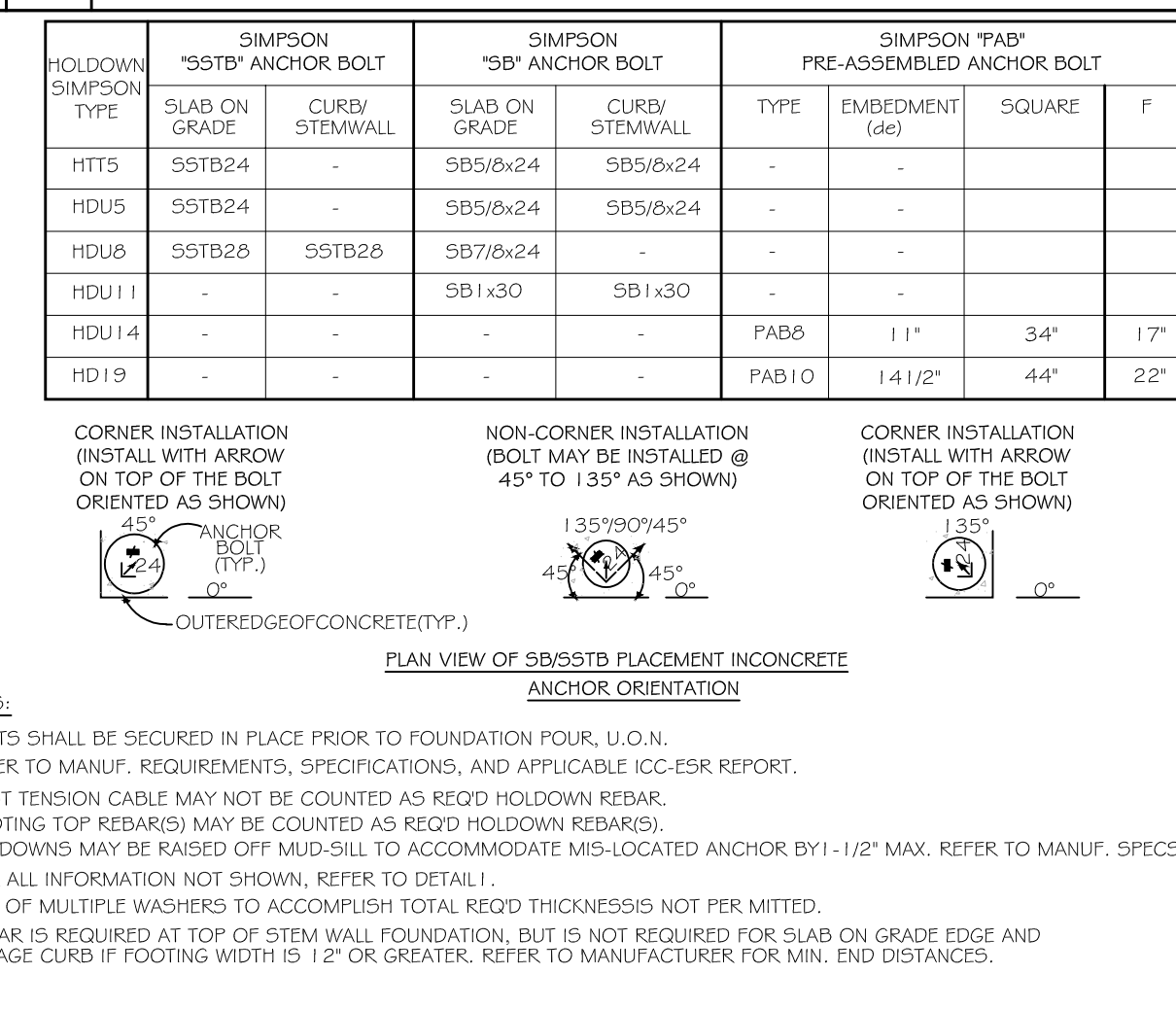
4 TIE BEAM



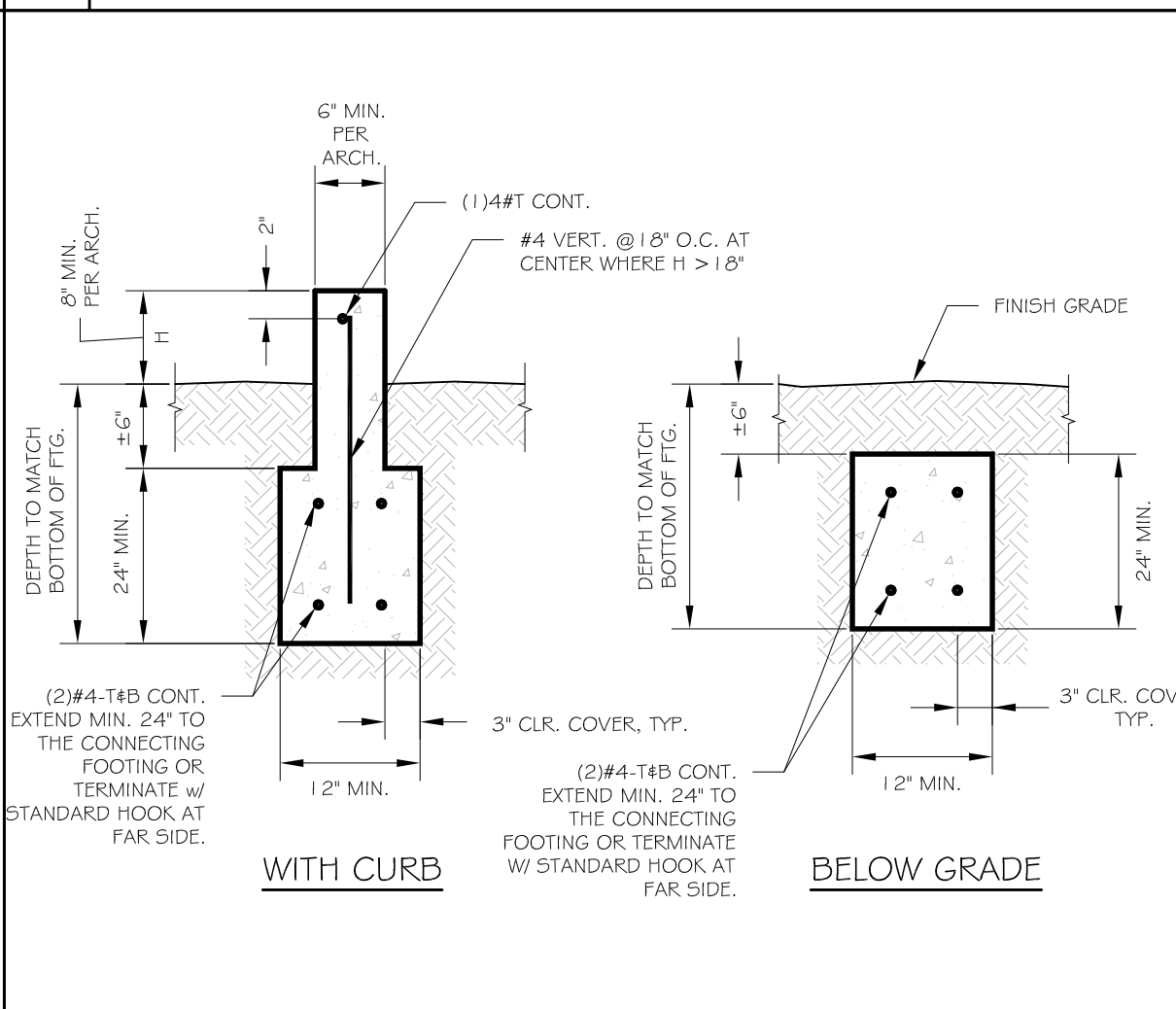
1 REIN. DETAILS AT FOOTING JUNCTIONS

HOLDOWN SIMPSON TYPE	SIMPSON '99TD ANCHOR BOLT		SIMPSON '98 ANCHOR BOLT		SIMPSON '99 PAB PRE-ASSEMBLED ANCHOR BOLT	
	SLAB ON GRADE	CURB/STEM WALL	SLAB ON GRADE	CURB/STEM WALL	TYPE	EMBEDMENT (d)
HTTS	S5TB24	-	S5B/6x24	S5B/6x24	-	-
HDUS	S5TB24	-	S5B/6x24	S5B/6x24	-	-
HDUS	S5TB26	-	S5B/6x24	S5B/6x24	-	-
HDU11	-	-	S5B1x30	S5B1x30	-	-
HDU14	-	-	-	-	FAB6	1.1\"
HDU19	-	-	-	-	FAB10	1.41/2\"

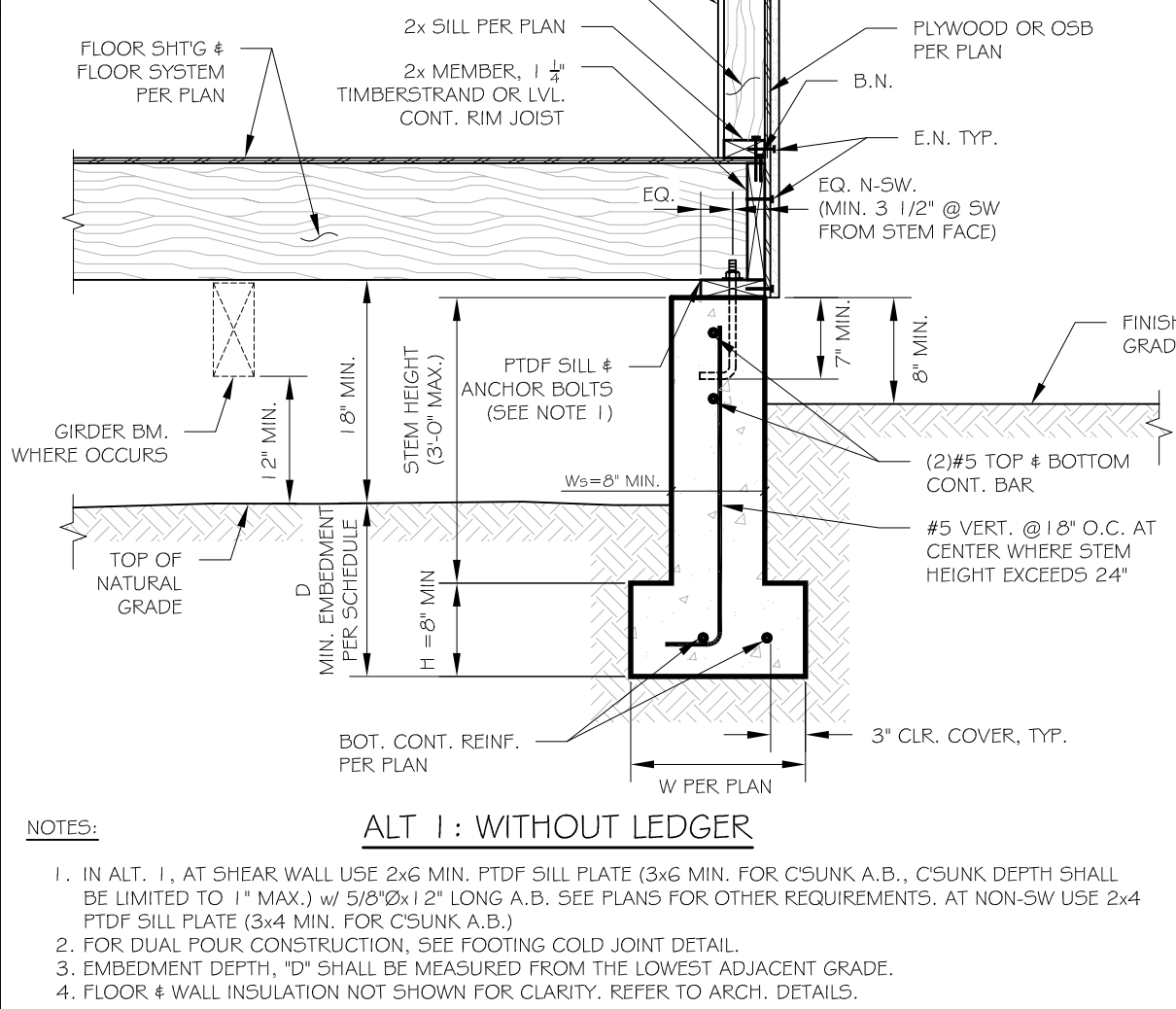
1 REIN. DETAILS AT FOOTING JUNCTIONS



3 FLOOR TO DECK CONNECTION



2 HOUSE TO PORCH



1 REIN. DETAILS AT FOOTING JUNCTIONS

REVISION

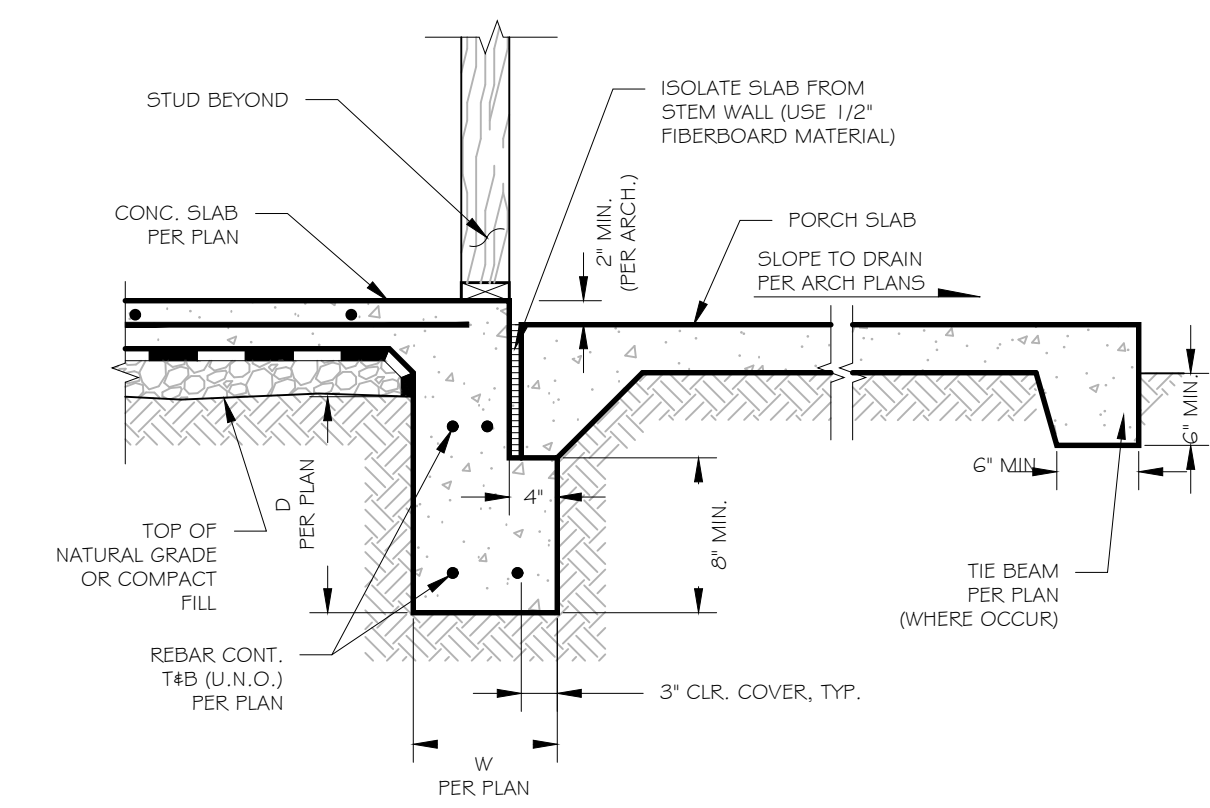
DATE	DESCRIPTION

REGISTERED PROFESSIONAL ENGINEER  
No. C78194  
CIVIL  
STATE OF CALIFORNIA  
04/03/2024

Project Name: NEW SINGLE FAMILY RESIDENCE  
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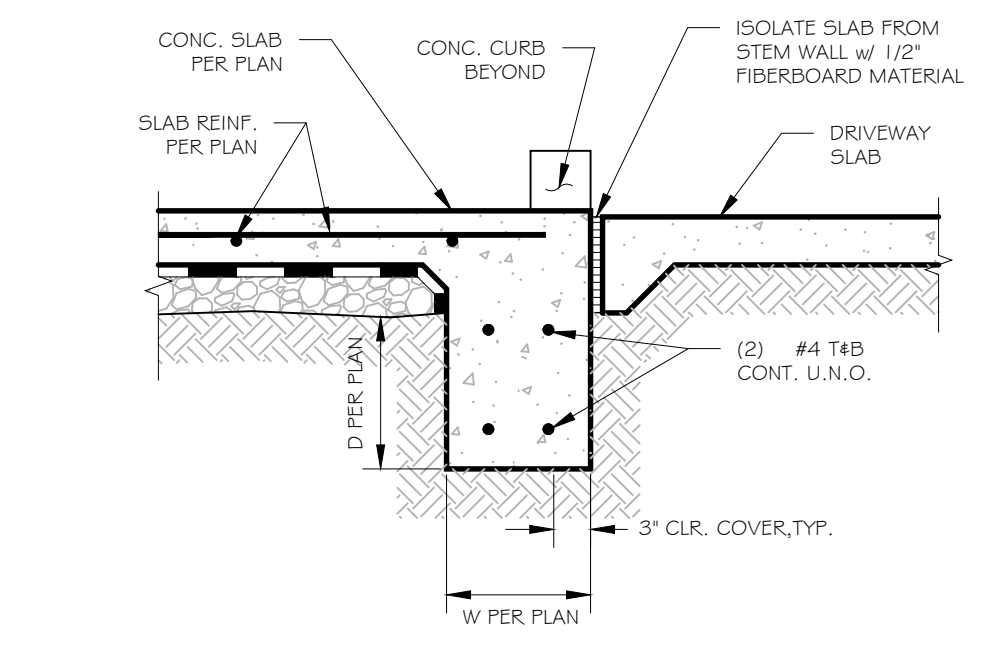
DATE: 04/03/2024  
PROJECT MANAGER: P.P.

JOB NO.: 11205  
SHEET NO.: SDI.0



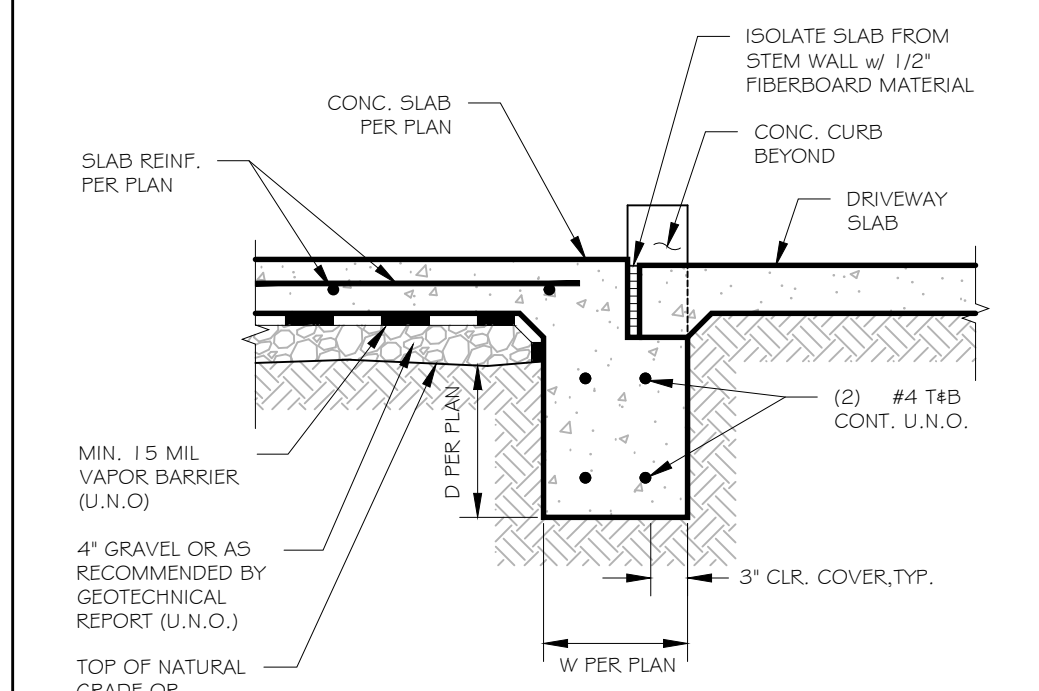
NOTE: SEE DETAIL 1/SD1.0 FOR ADDITIONAL INFORMATION NOT SHOWN.

2 GARAGE TO PORCH



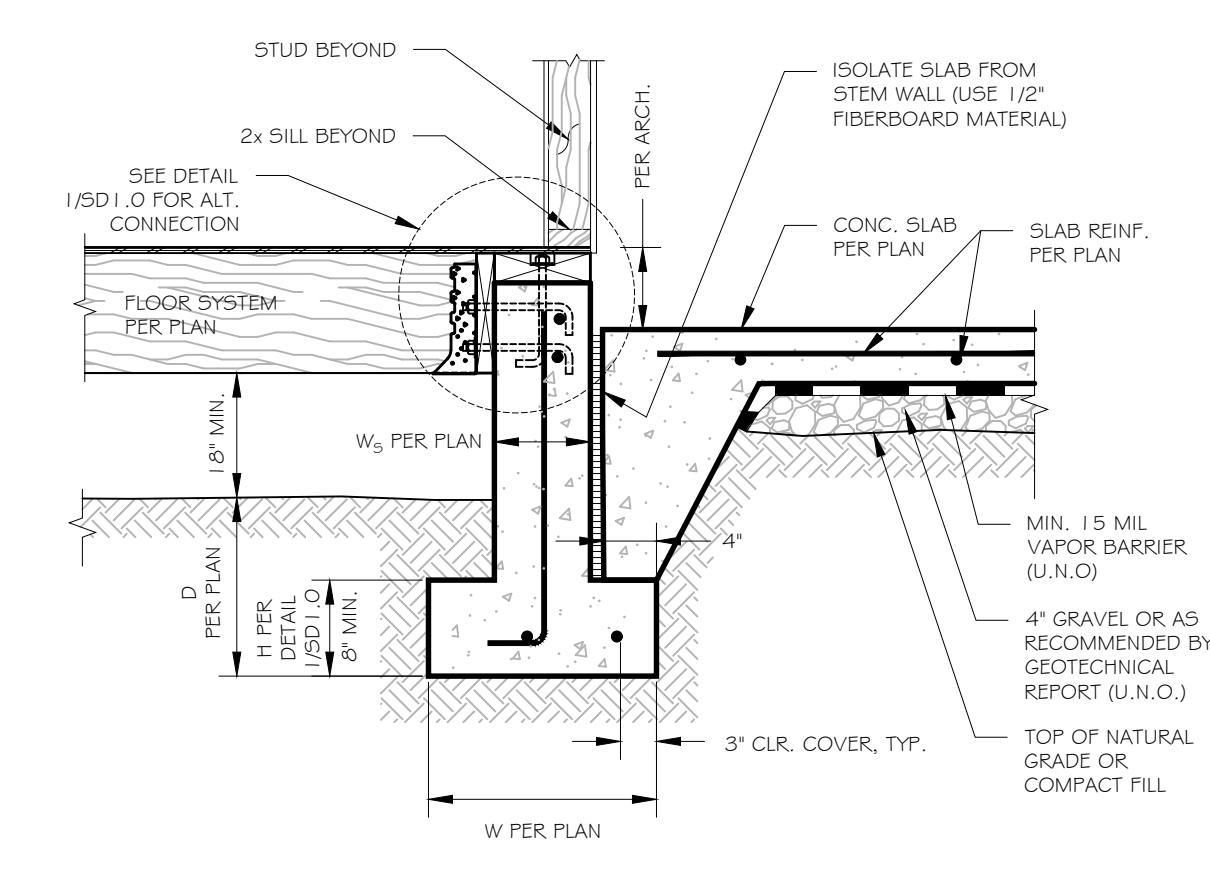
NOTE: SEE ALT 1/SD1.0 FOR ADDITIONAL INFORMATION NOT SHOWN.

GARAGE TO APRON - ALT 2



MIN. 15 MIL VAPOR BARRIER (U.N.O.)  
4\"/>

GARAGE TO APRON - ALT 1



NOTE: SEE DETAIL 1/SD1.0 FOR ADDITIONAL INFORMATION NOT SHOWN.

HOUSE TO GARAGE SLAB

1 GARAGE TO HOUSE/DRIVEWAY

REVISION	DESCRIPTION
1	
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REGISTERED PROFESSIONAL ENGINEER  
No. C78194  
CIVIL  
STATE OF CALIFORNIA  
04/03/2024

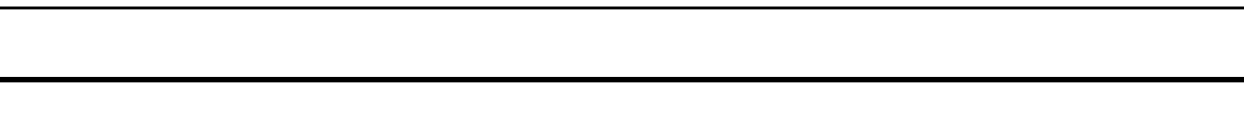
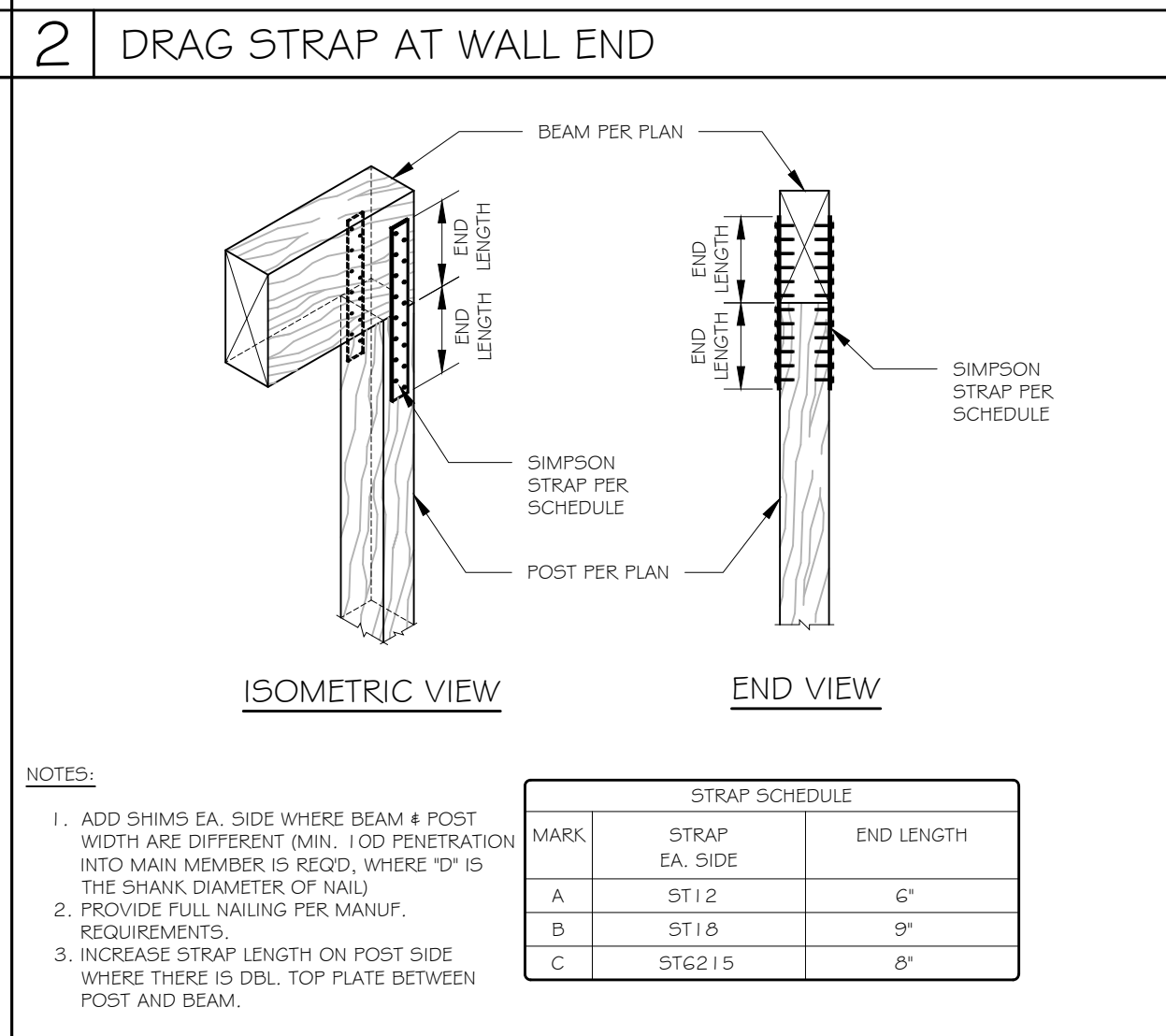
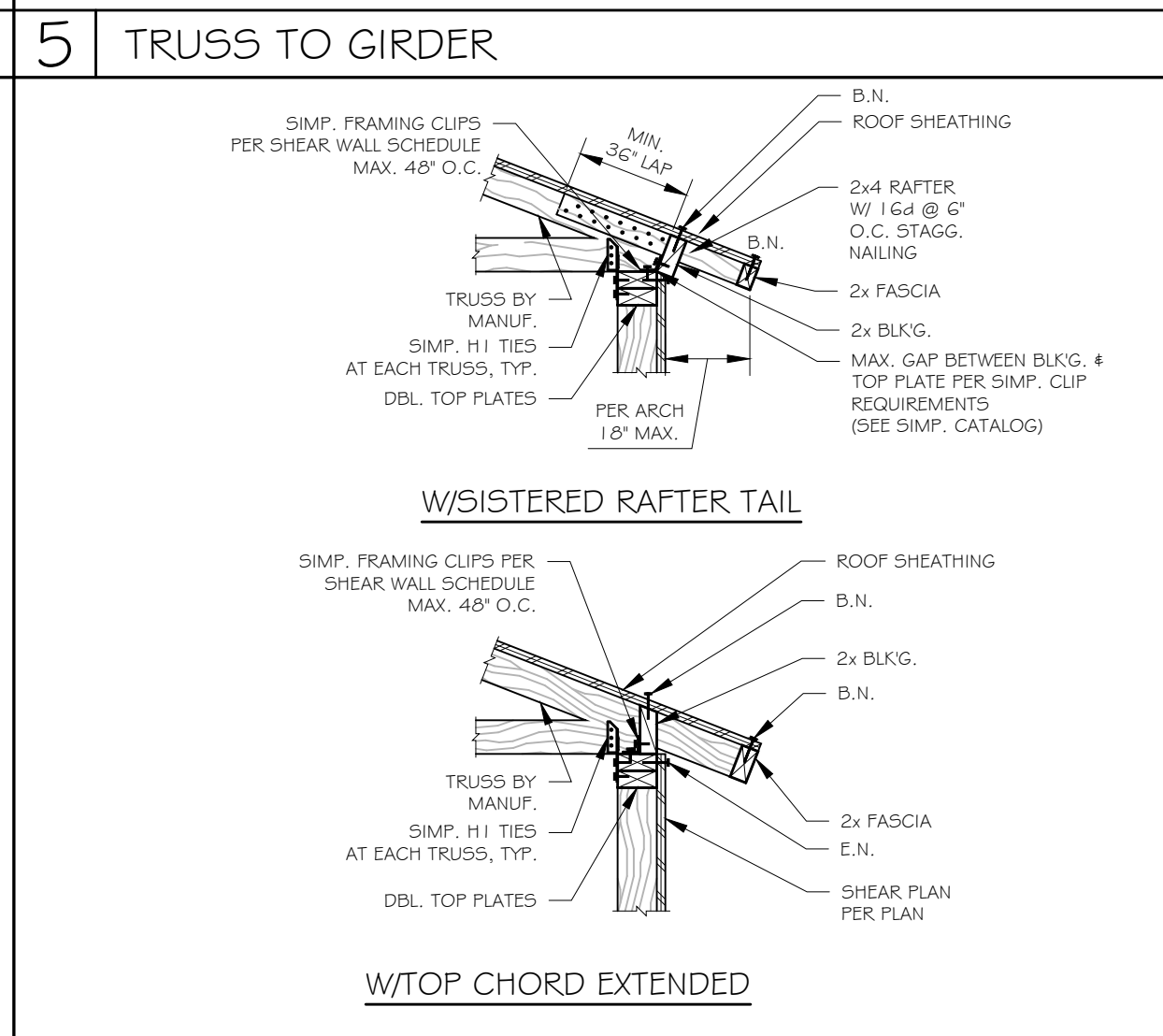
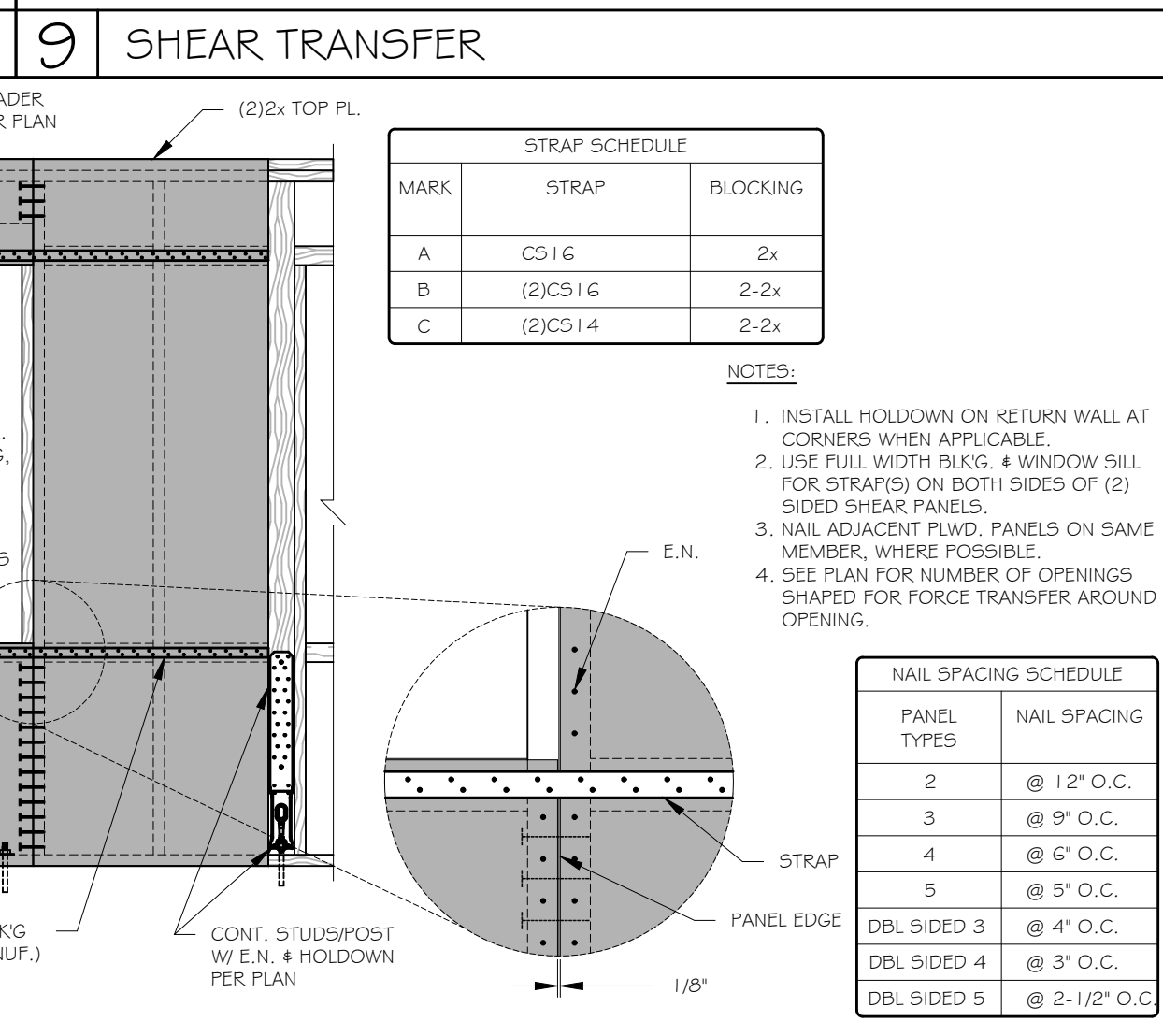
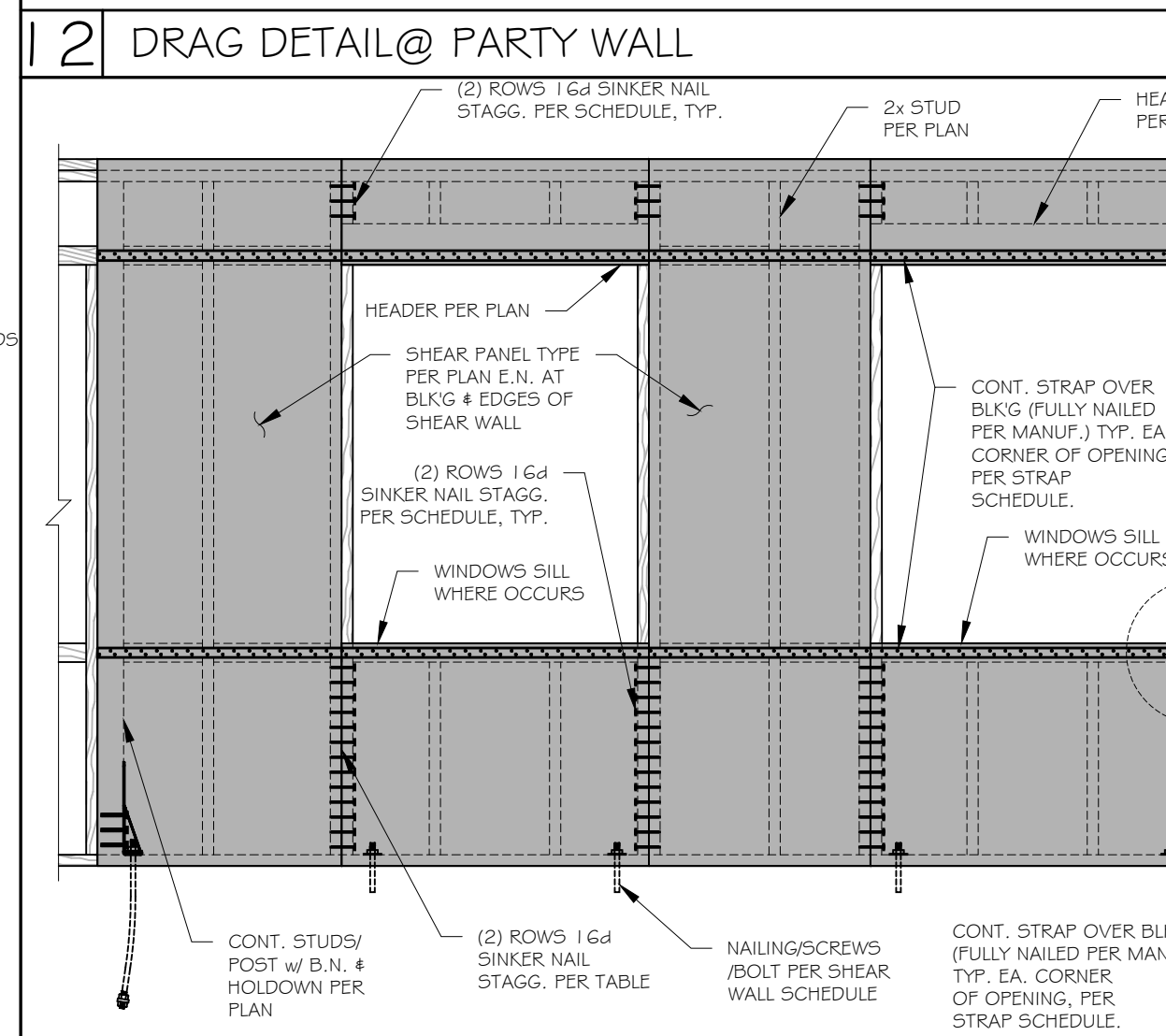
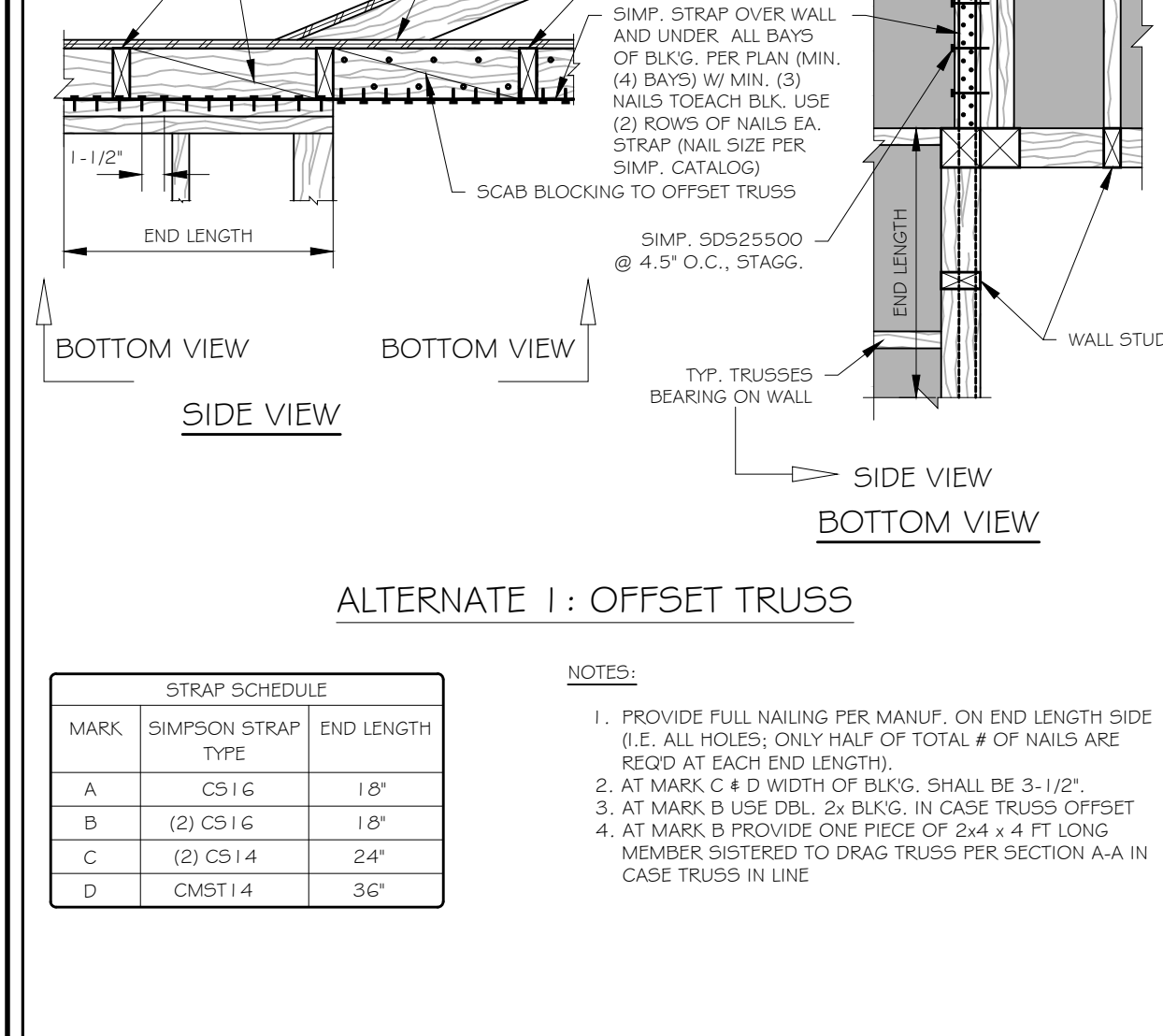
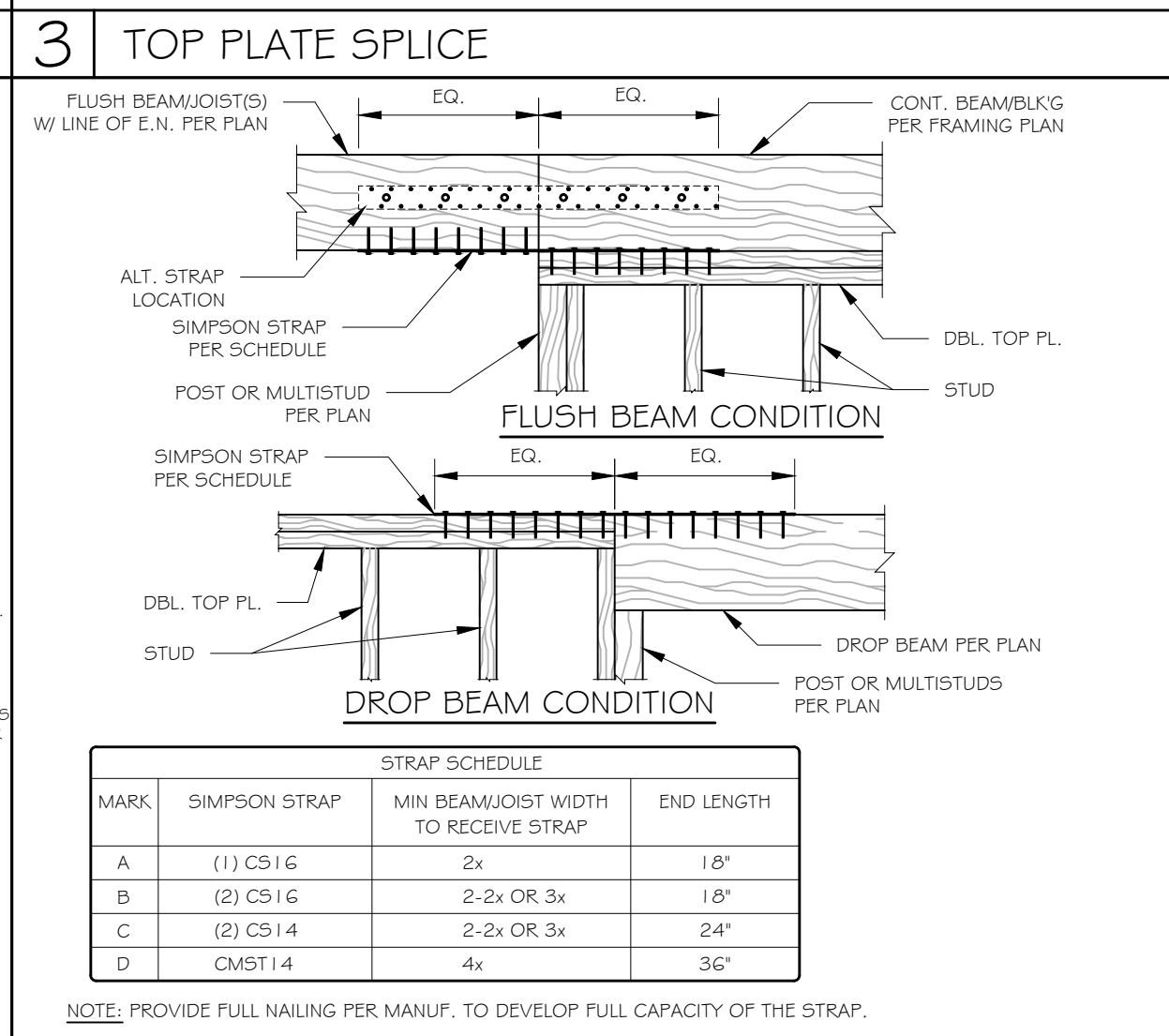
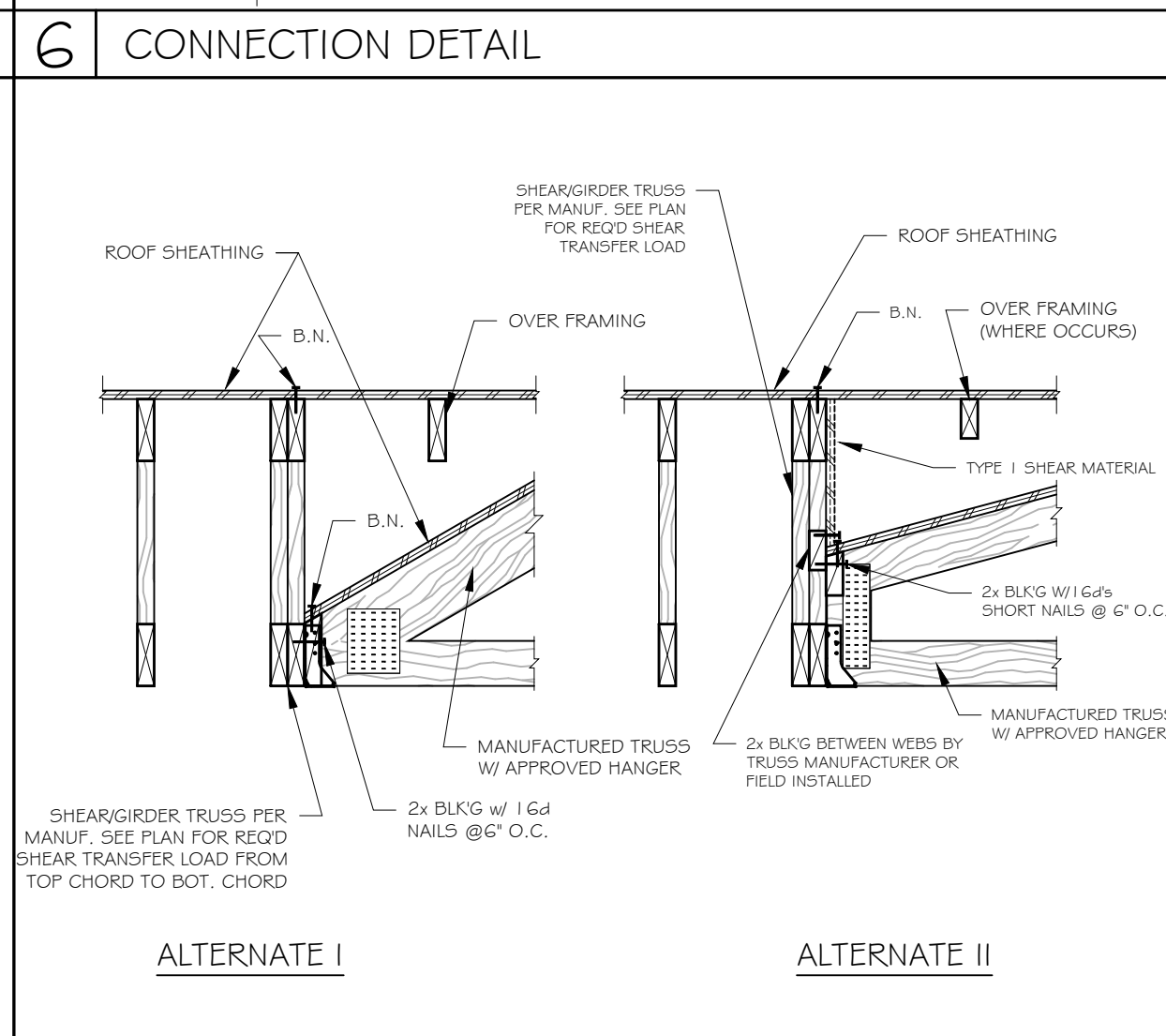
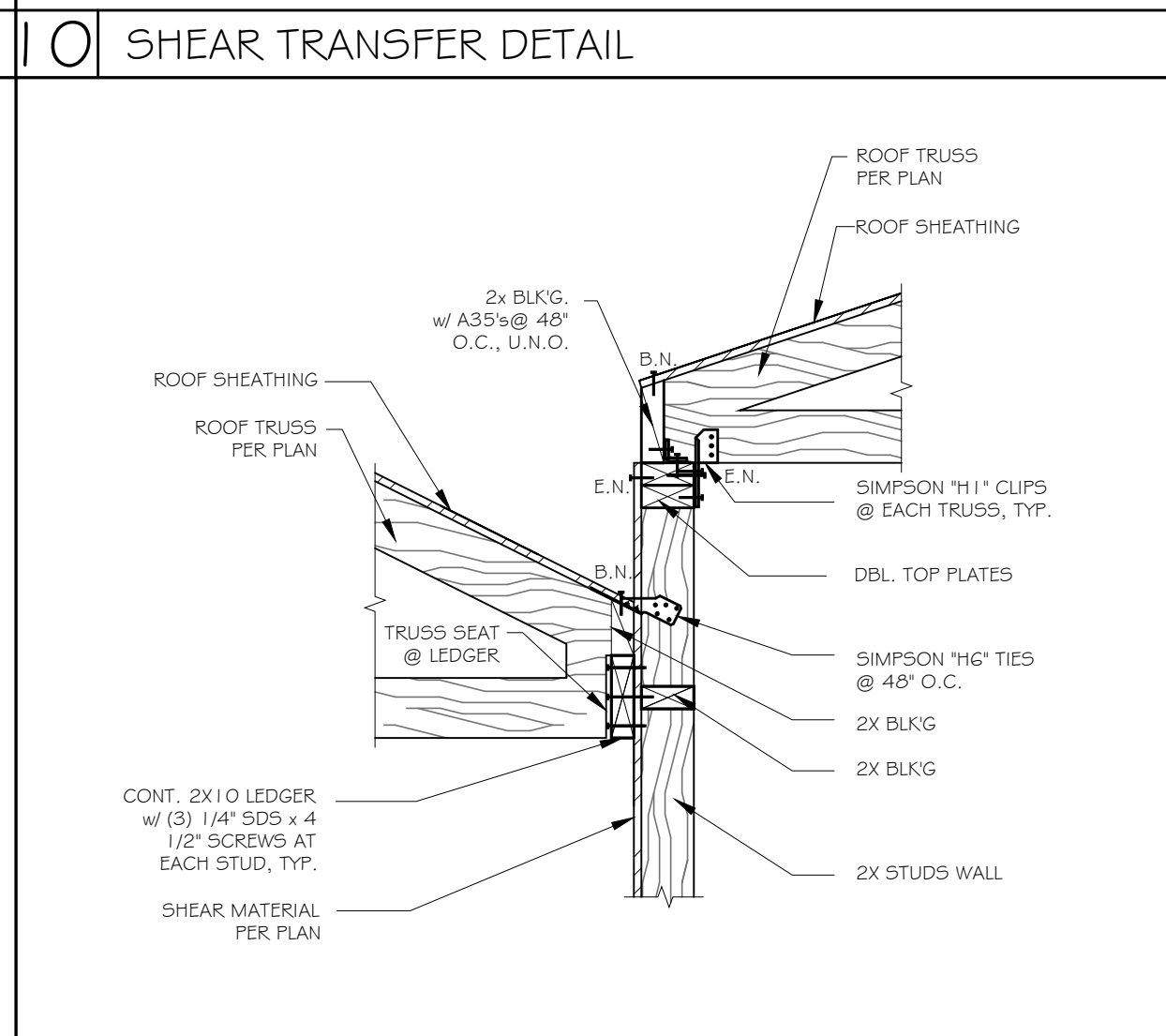
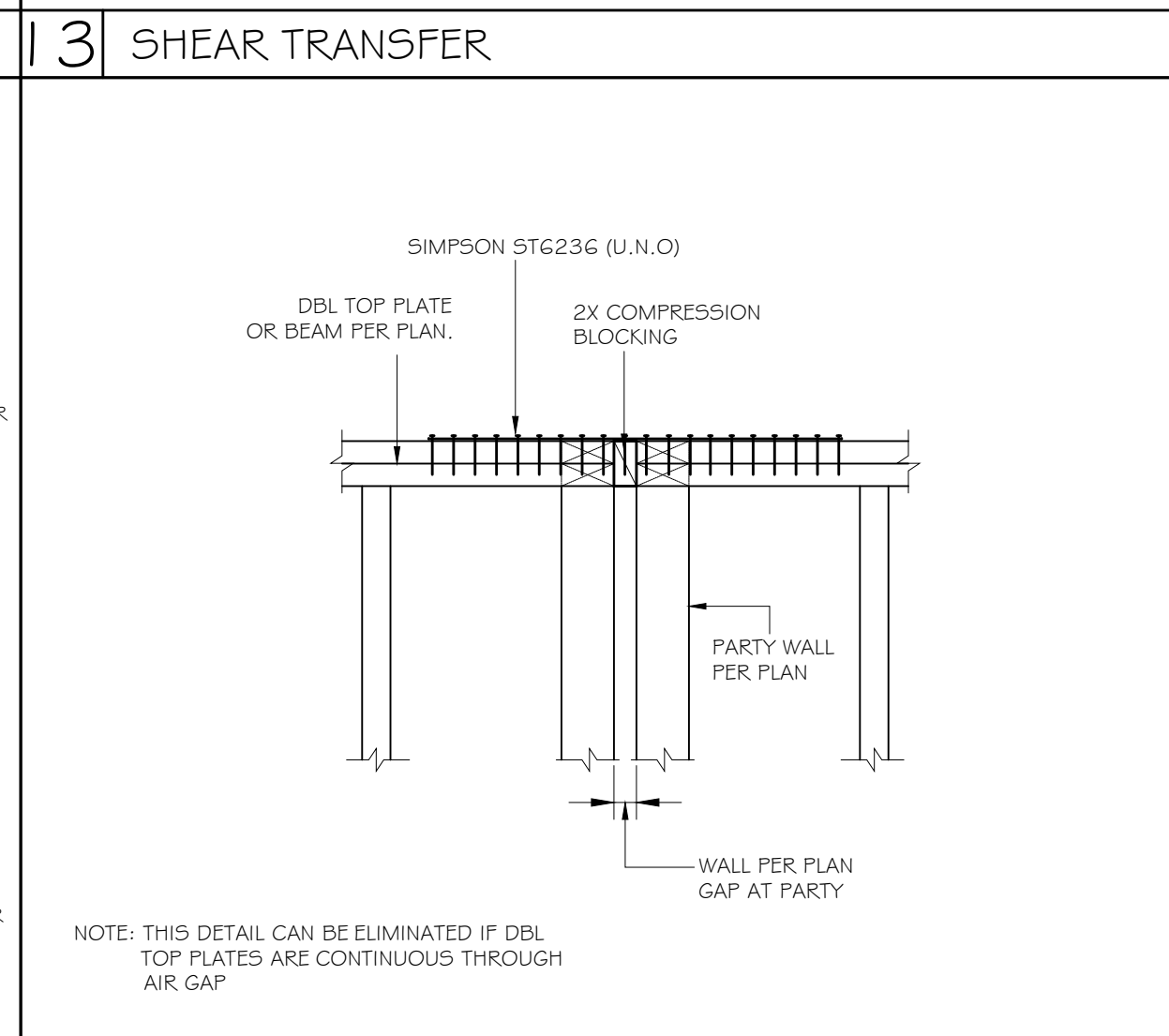
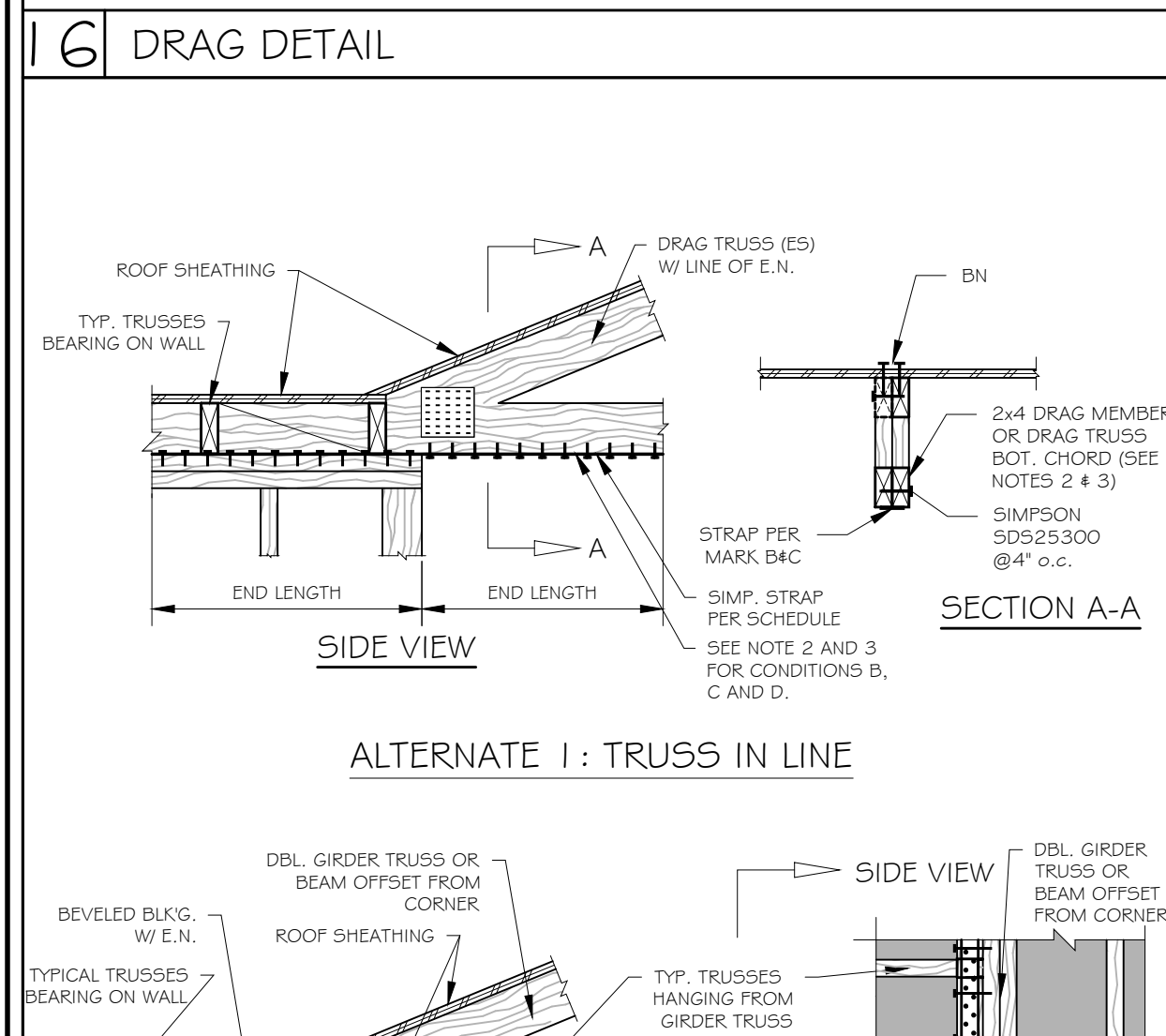
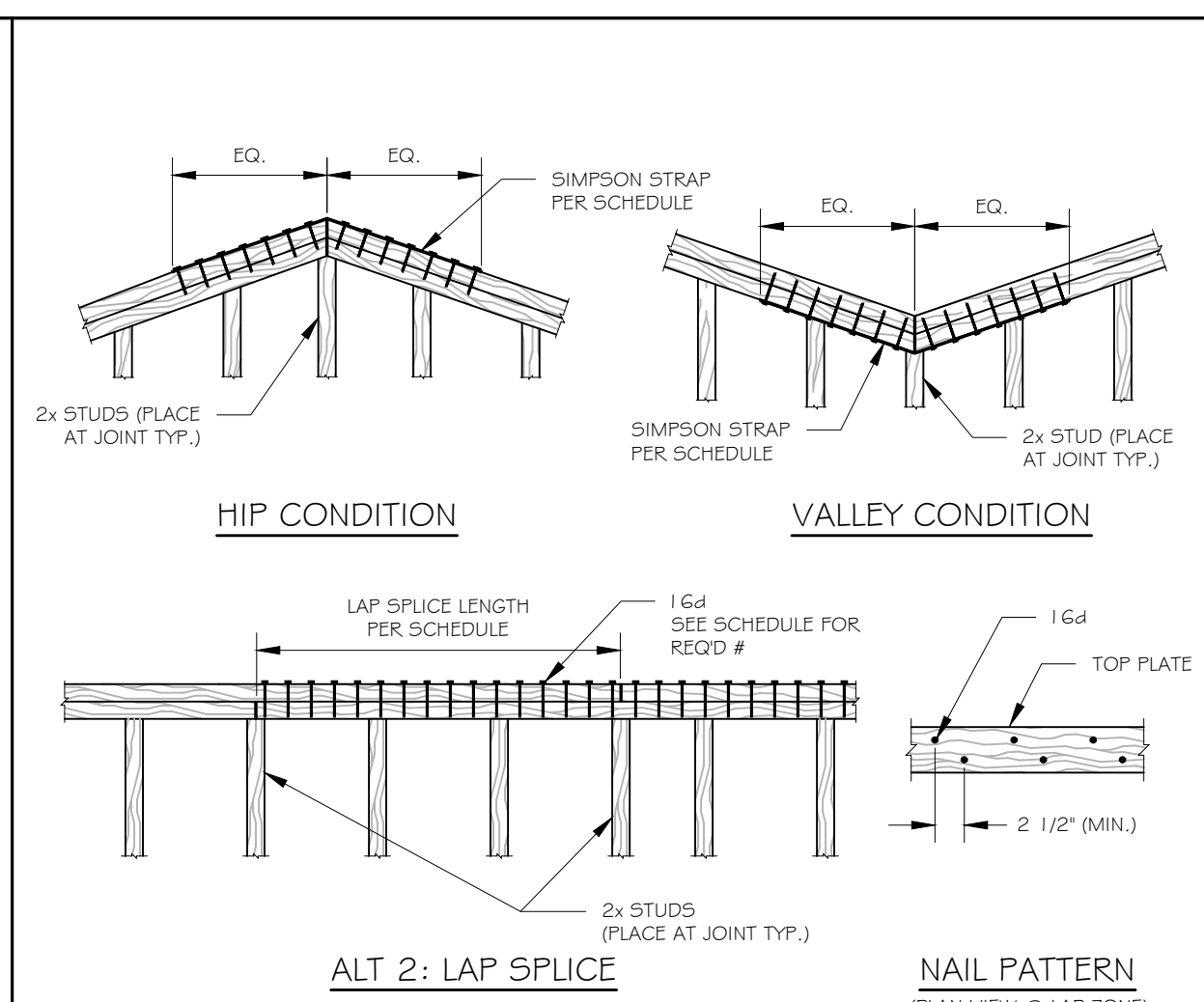
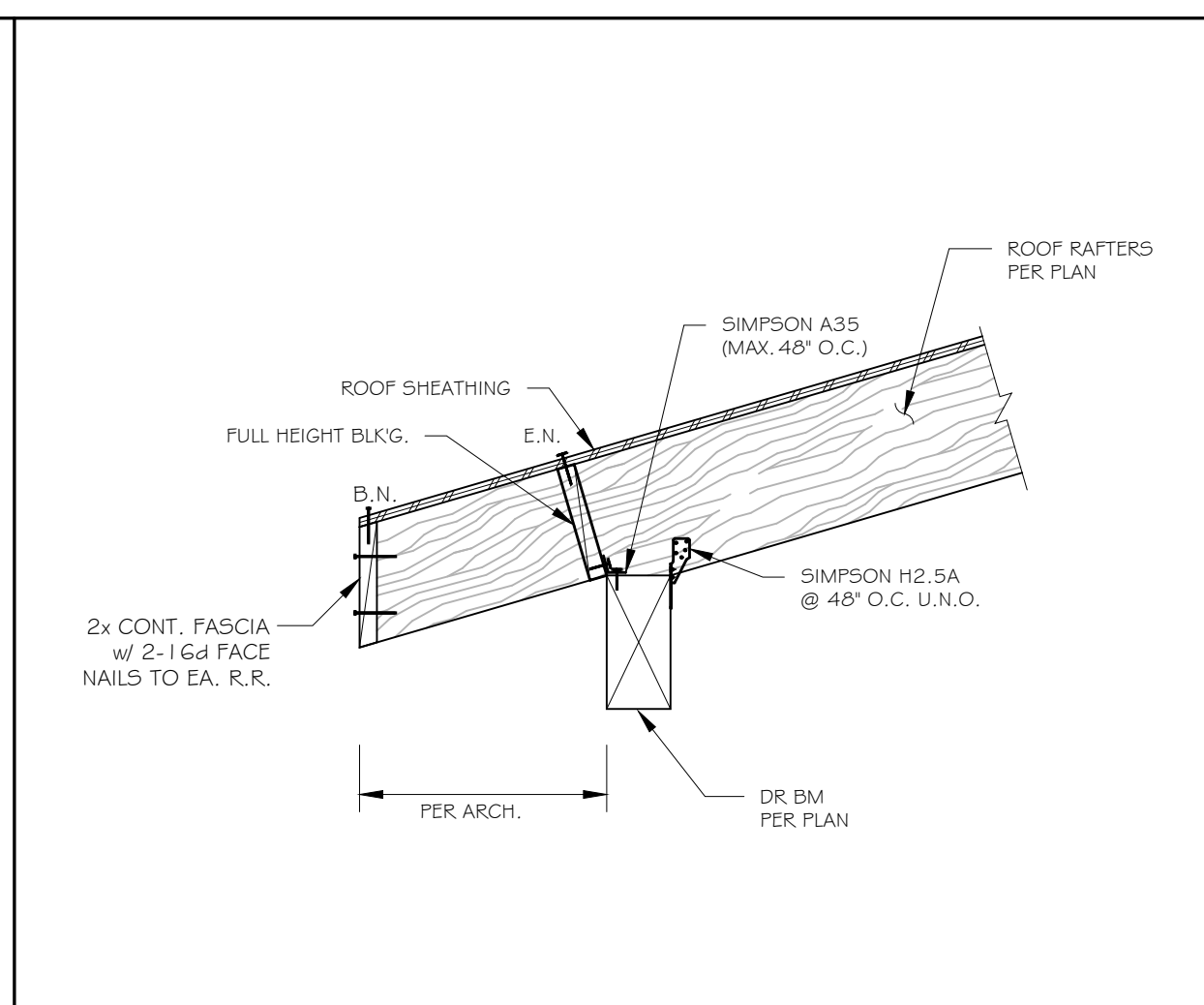
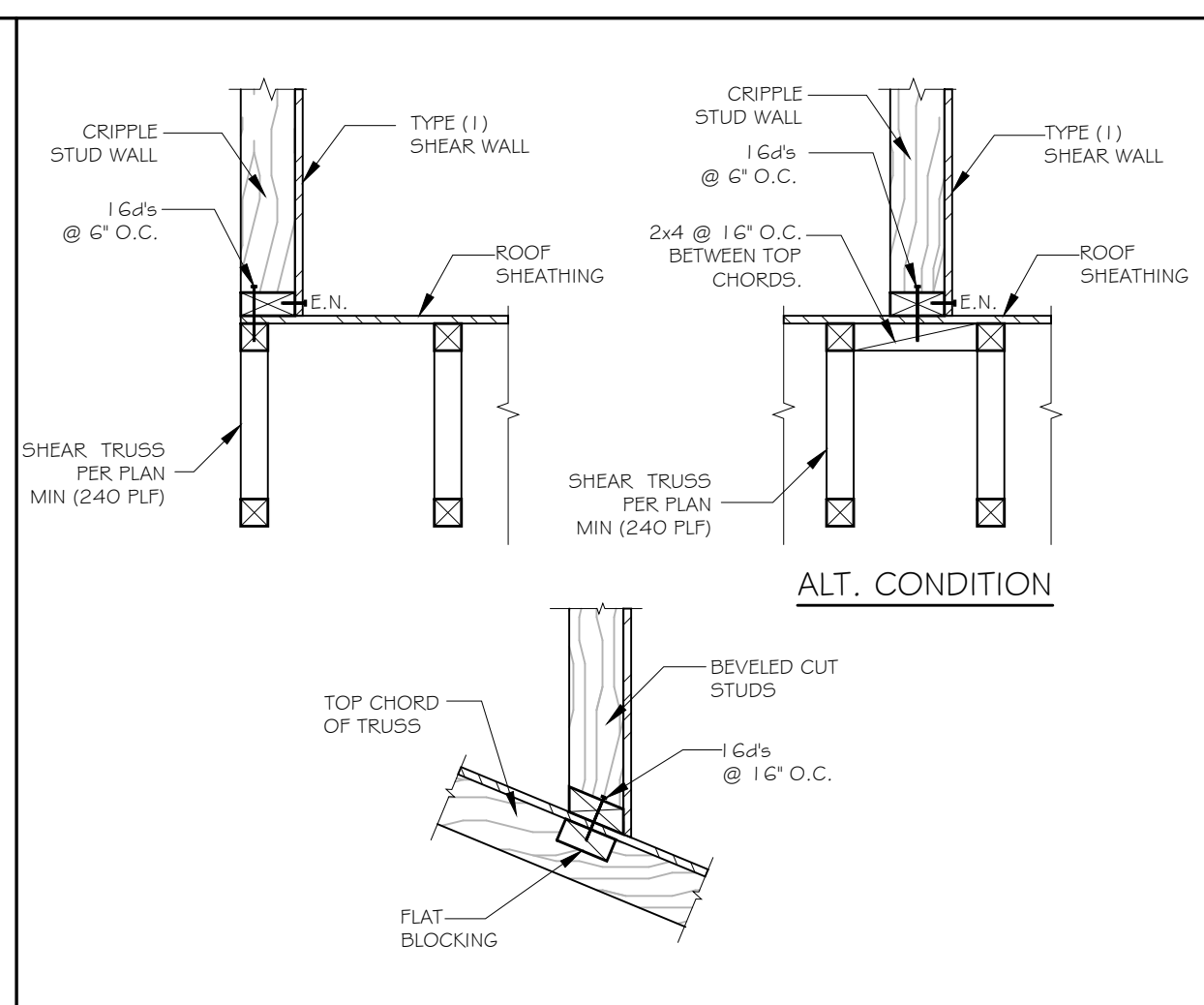
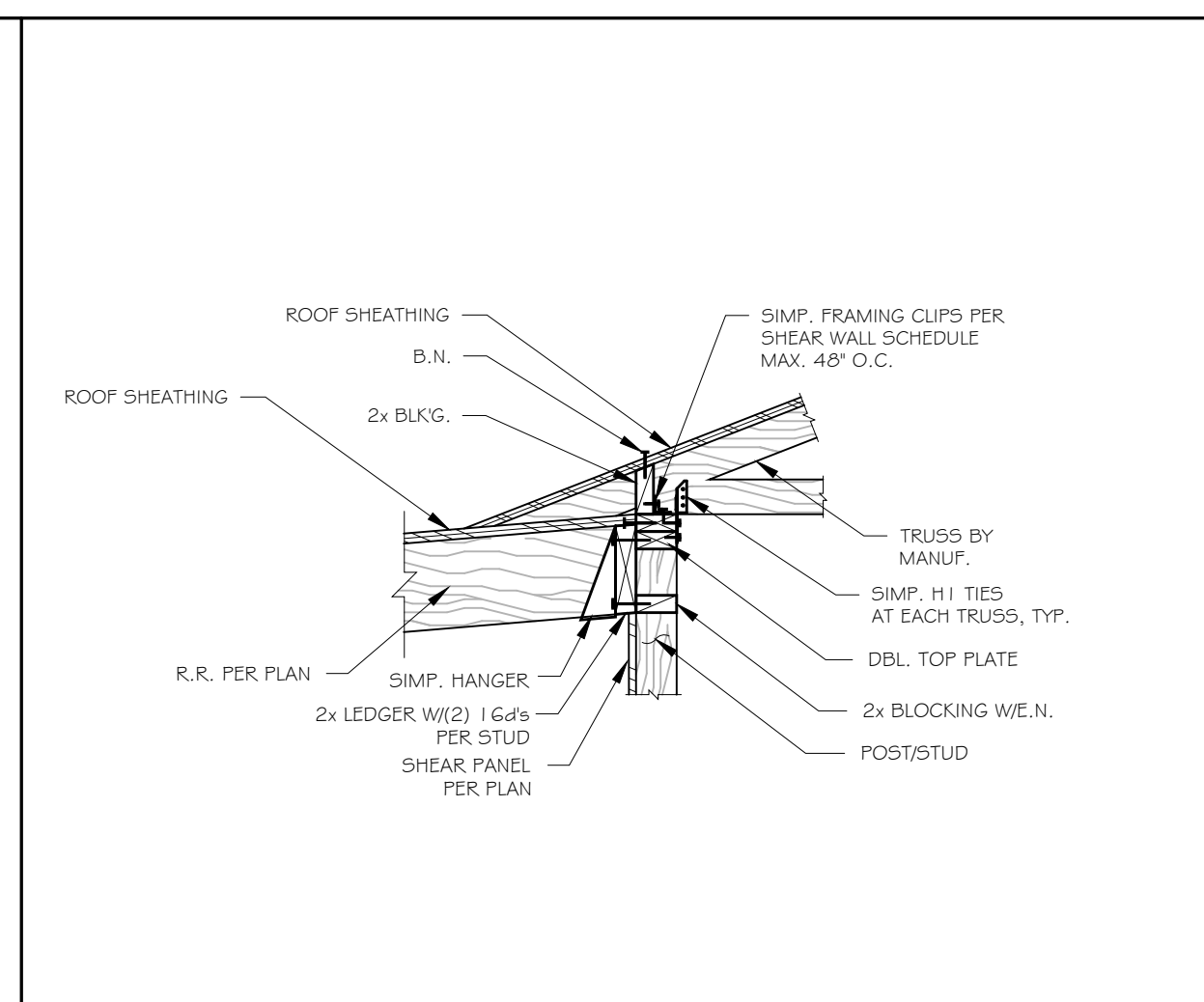
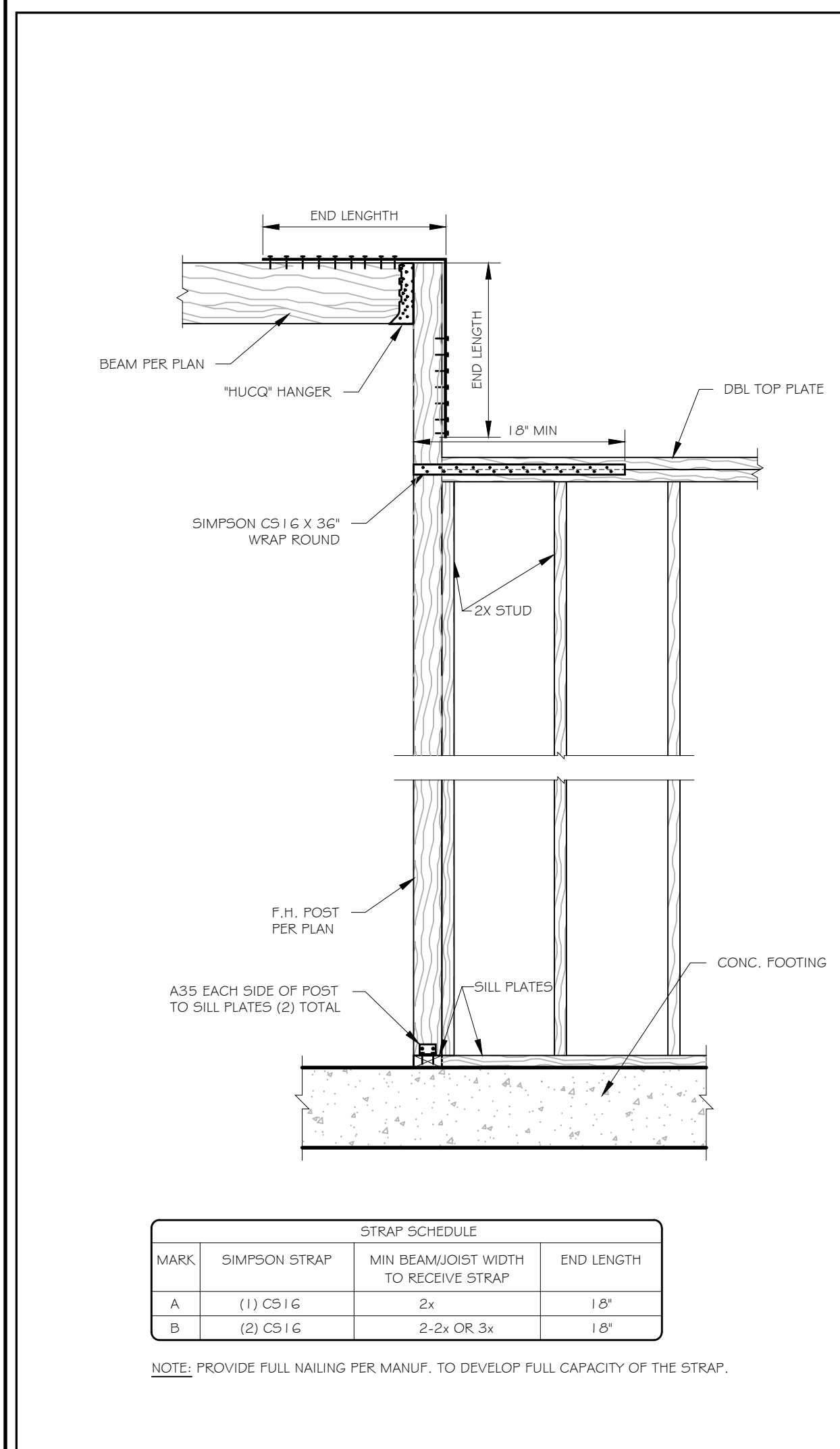
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DATE: 04/03/2024  
PROJECT MANAGER: P.P.

FOUNDATION DETAILS

JOB NO.: 11205  
SHEET NO.:

SDI.1



MARK	SIMPSON STRAP	MIN BEAM/JOIST WIDTH TO RECEIVE STRAP	END LENGTH
A	(1) CS1 1/2	2x	18"
B	(2) CS1 1/2	2-2x OR 3x	18"

NOTE: PROVIDE FULL NAILING PER MANUF. TO DEVELOP FULL CAPACITY OF THE STRAP.

MARK	STRAP EA. SIDE	END LENGTH	CAPACITY (LB)
A	(1) CS1 1/2	13"	3410
B	(1) CS1 1/4	16"	4390
C	(1) CM5TC1 6	20"	9380
D	(2) CS1 1/4	16"	9960
E	(2) CM5TC1 6	20"	18760

NOTES:  
 - NAIL TO ALL STRAP HOLES  
 - (\*) IF ANY STRAPS SHOULD CONTINUE FROM STUDS/WALLS ABOVE TO TRIMMERS BELOW, MATCH END LENGTH CONDITION PER TABLE.  
 - (\*\*) TO BUNDLE STUDS OR FASTEN TO POST / TRIMMER, USE 1/2\"/>

MARK	SIMPSON STRAP	MIN BEAM/JOIST WIDTH TO RECEIVE STRAP	END LENGTH
A	(1) CS1 1/2	2x	18"
B	(2) CS1 1/2	2-2x OR 3x	18"
C	(2) CS1 1/4	2-2x OR 3x	24"
D	CM5T1 4	4x	36"

NOTE: PROVIDE FULL NAILING PER MANUF. TO DEVELOP FULL CAPACITY OF THE STRAP.

MARK	STRAP	BLOCKING
A	CS1 1/2	2x
B	(2)CS1 1/2	2-2x
C	(2)CS1 1/4	2-2x

NOTES:  
 1. INSTALL HOLDOWN ON RETURN WALL AT CORNERS WHEN APPLICABLE.  
 2. USE FULL WIDTH BULKING & WINDOW SILL FOR STRAPS ON BOTH SIDES OF (2) SIDED SHEAR PANELS.  
 3. NAIL ADJACENT PLWD. PANELS ON SAME MEMBER, WHERE POSSIBLE.  
 4. SEE PLAN FOR NUMBER OF OPENINGS SHAPED FOR FORCE TRANSFER AROUND OPENING.

PANEL TYPES	NAIL SPACING
2	@ 12" O.C.
3	@ 9" O.C.
4	@ 6" O.C.
5	@ 5" O.C.
DBL SIDED 3	@ 4" O.C.
DBL SIDED 4	@ 3" O.C.
DBL SIDED 5	@ 2-1/2" O.C.

MARK	STRAP	END LENGTH
A	ST1 2	6"
B	ST1 1/8	9"
C	ST621 5	8"

NOTES:  
 1. ADD SHIMS EA. SIDE WHERE BEAM & POST WIDTH ARE DIFFERENT (MIN. 1/4\"/>

1 | 4 SHEAR TRANSFER DETAIL

1 | 11 SHEAR TRANSFER HIGH TO LOW ROOF

7 | CONNECTION DETAIL

1 | 6 DRAG DETAIL

1 | 3 SHEAR TRANSFER

1 | 10 SHEAR TRANSFER DETAIL

6 | CONNECTION DETAIL

1 | 13 SHEAR TRANSFER

3 | TOP PLATE SPLICE

1 | 16 DRAG TRUSS AT WALL

1 | 12 DRAG DETAIL @ PARTY WALL

9 | SHEAR TRANSFER

5 | TRUSS TO GIRDER

2 | DRAG STRAP AT WALL END

1 | 5 DRAG TRUSS AT WALL

8 | MULTI-OPENINGS AT SHEAR WALL

4 | TRUSS AT EXTERIOR WALL

1 | BEAM/POST CONNECTION

1 | 5 DRAG TRUSS AT WALL

1 | 4 SHEAR TRANSFER DETAIL

1 | 11 SHEAR TRANSFER HIGH TO LOW ROOF

7 | CONNECTION DETAIL

1 | 6 DRAG DETAIL

1 | 3 SHEAR TRANSFER

1 | 10 SHEAR TRANSFER DETAIL

6 | CONNECTION DETAIL

1 | 13 SHEAR TRANSFER

3 | TOP PLATE SPLICE

1 | 16 DRAG TRUSS AT WALL

1 | 12 DRAG DETAIL @ PARTY WALL

9 | SHEAR TRANSFER

5 | TRUSS TO GIRDER

2 | DRAG STRAP AT WALL END

1 | 5 DRAG TRUSS AT WALL

8 | MULTI-OPENINGS AT SHEAR WALL

4 | TRUSS AT EXTERIOR WALL

1 | BEAM/POST CONNECTION

1 | 5 DRAG TRUSS AT WALL

REVISION

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

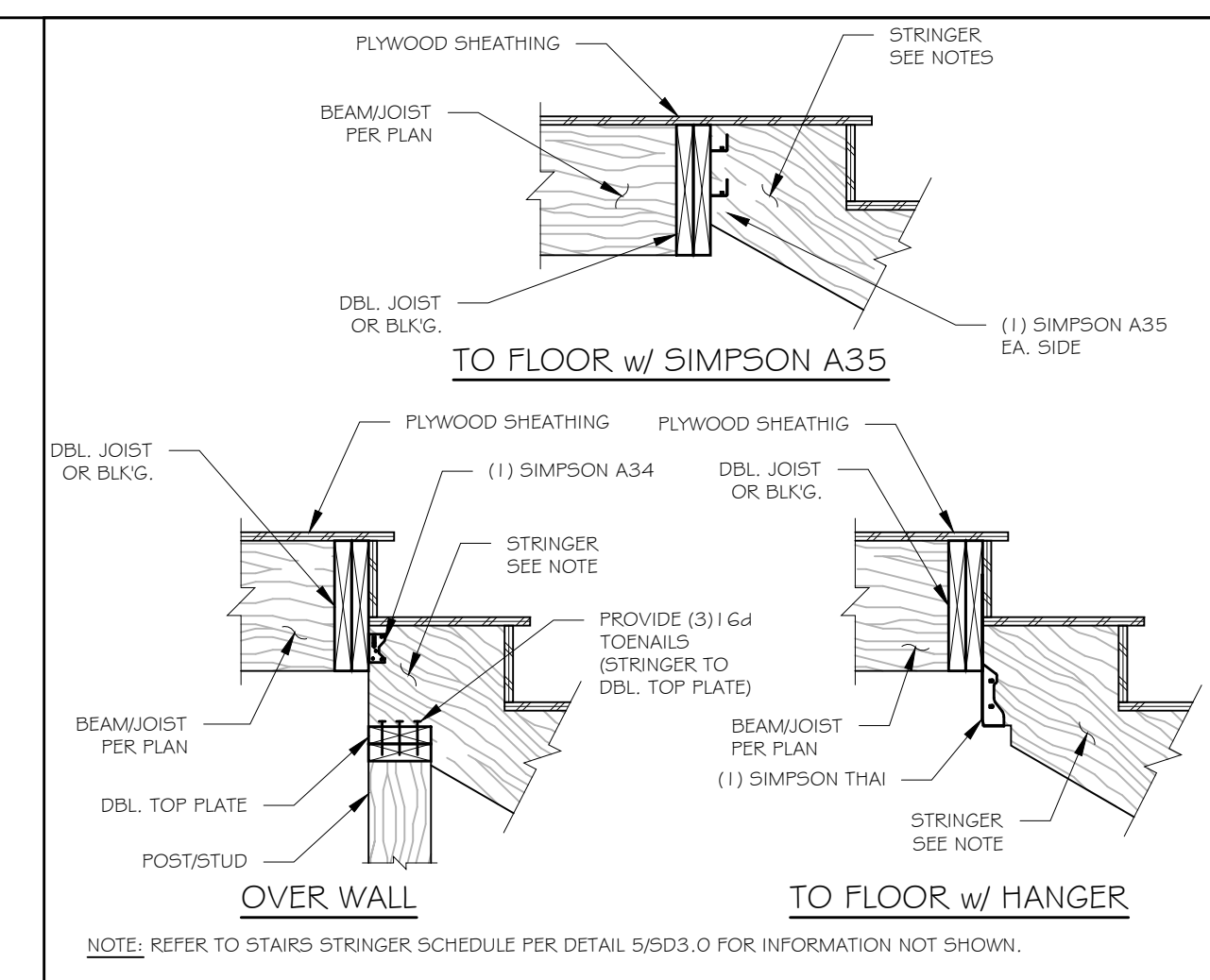
REGISTERED PROFESSIONAL ENGINEER  
 No. C78194  
 CIVIL  
 STATE OF CALIFORNIA  
 04/03/2024

Project Name: NEW SINGLE FAMILY RESIDENCE  
 Project Address: 11205 Monterey Highway, San Martin, CA 92046

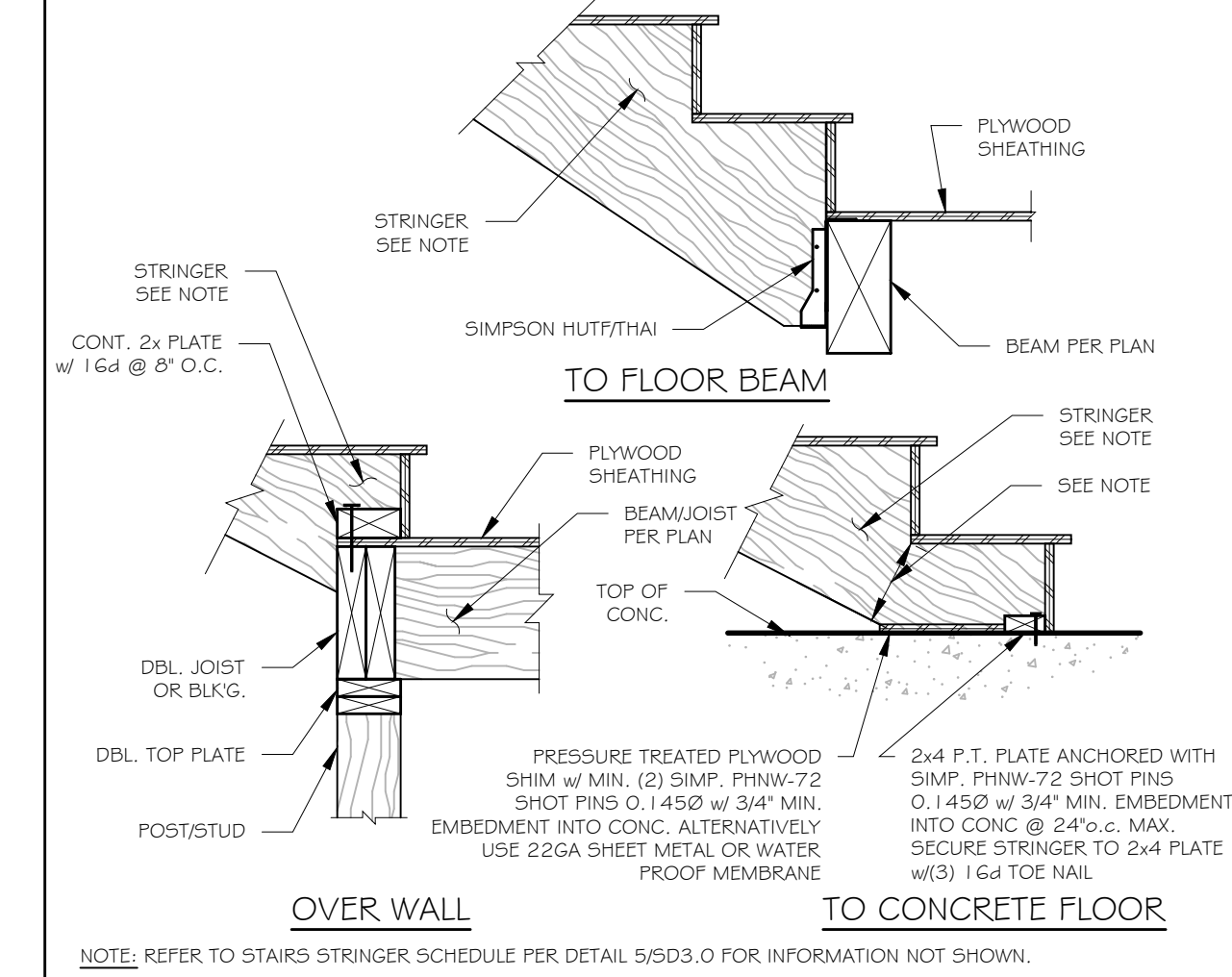
DATE: 04/03/2024  
 PROJECT MANAGER: P.P.

JOB NO.: 11205  
 SHEET NO.:

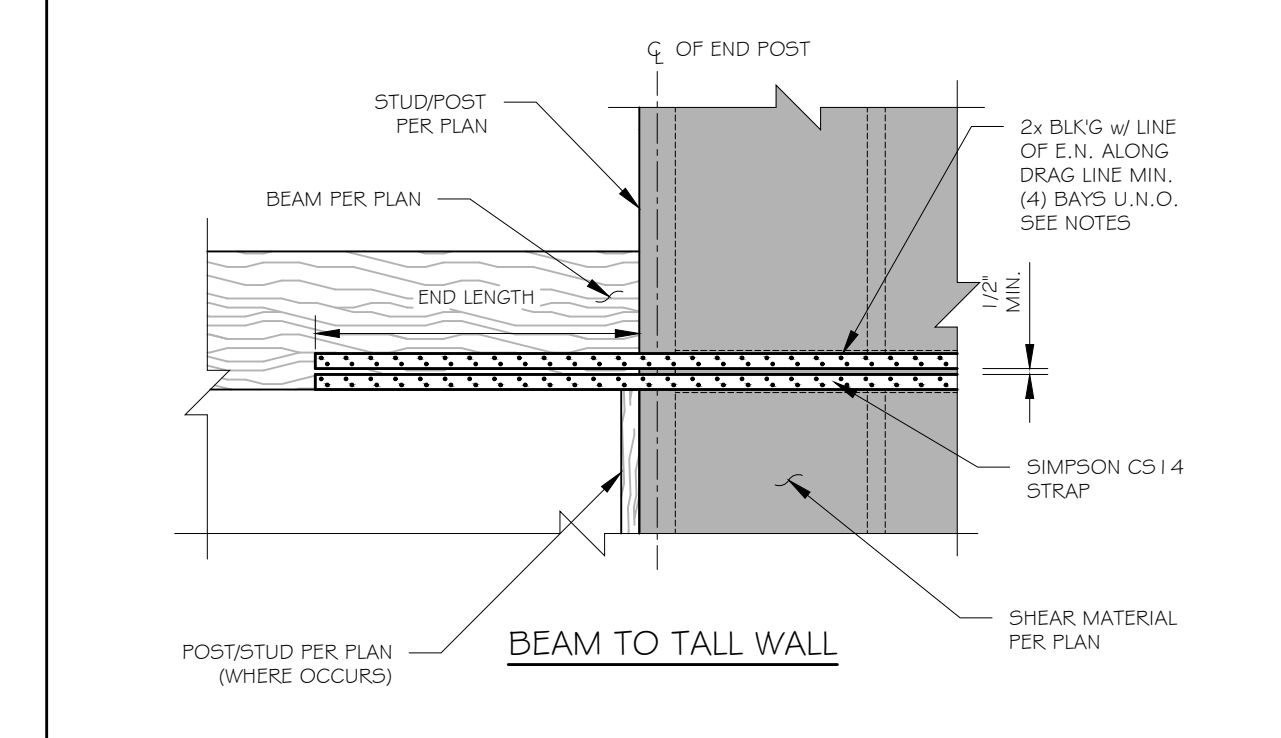
SD2.0



4 STAIRS STRINGER TOP CONNECTION



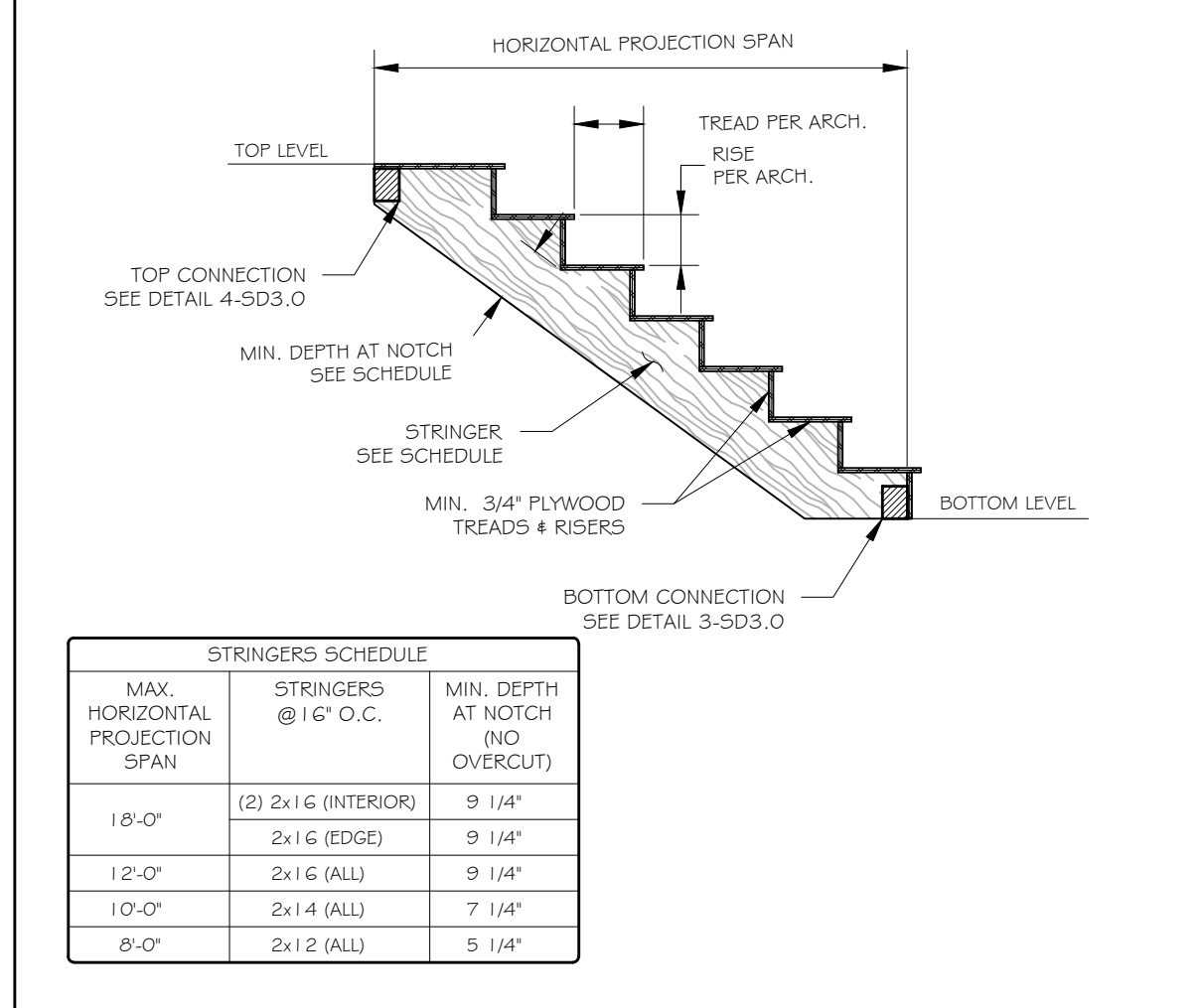
3 STAIRS STRINGER BOTTOM CONNECTION



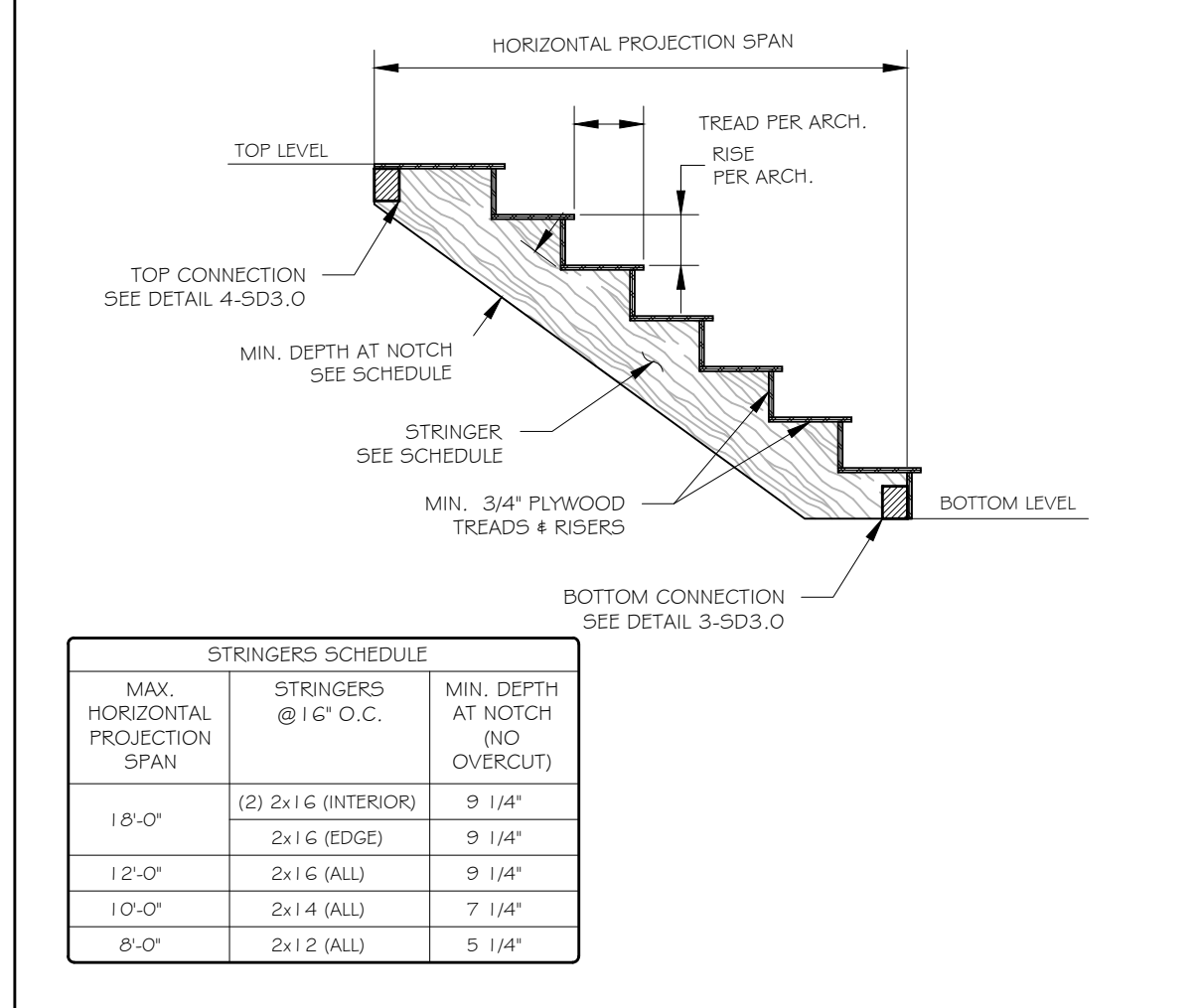
STRAP SCHEDULE			
TYPE	STRAP TYPE	END LENGTH	CAPACITY
A	(1) CS14	24"	1705#
B	(2) CS14	24"	3410#

NOTES:  
 1. USE 2x FLAT BLKG. FOR CONDITION B w/ MIN. 1/2" SPACE BETWEEN STRAPS.  
 2. LOCATE STRAP OVER PLWD. SHEAR PANEL. SEE PLAN FOR TYPE & LOCATION.

2 BEAM DRAG TO TALL WALL



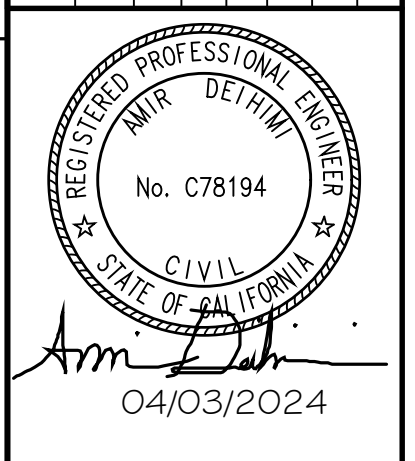
1 SHEAR TRANSFER



STRINGERS SCHEDULE			
MAX. HORIZONTAL PROJECTION SPAN	STRINGERS @ 16" O.C.	MIN. DEPTH AT NOTCH (NO OVERCUT)	
10'-0"	(2) 2x16 (INTERIOR)	9 1/4"	
	2x16 (EDGE)	9 1/4"	
12'-0"	2x16 (ALL)	9 1/4"	
10'-0"	2x14 (ALL)	7 1/4"	
8'-0"	2x12 (ALL)	5 1/4"	

5 STAIRS STRINGER SCHEDULE

REVISION	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		



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STRUCTURAL DETAILS

JOB NO.: 11205

SHEET NO.:

SD3.0