

County of Santa Clara

Department of Planning and Development

County Government Center, East Wing, 7th Floor

70 West Hedding Street

San Jose, CA 95110

Phone: (408) 299-5700

www.sccplandev.org



July 3, 2024

David Faria

1656 Cienega Road Unit 100

Hollister, CA 95023

Email: david@fariaengineering.com

*** Sent via email***

FILE NUMBER: PLN24-096
SUBJECT: Building Site Approval and Grading Approval for a new single-family residence with Accessory Dwelling Unit (ADU) & Junior Accessory Dwelling Unit (JADU).
SITE LOCATION: 820 Las Animas Ave, Gilroy (APN: 835-15-051)
DATE RECEIVED: June 3, 2024

Dear David Faria,

Your application for Building Site Approval and Grading Approval for a single-family residence with ADU and JADU is deemed **incomplete**. For the application processing to resume, you must resolve the following issues and submit the information listed below.

Please note that the Department is only accepting electronic submittals. Please refer to procedures for planning resubmittal, available on the County website at:

<https://plandev.sccgov.org/how/apply-permit/planning-resubmittal-procedures>

If you have any questions about the information being requested, you should first call the person whose name is listed as the contact person for that item. They represent a specialty or office and can provide details about the requested information.

AN APPOINTMENT IS REQUIRED FOR THIS RESUBMITTAL. PLEASE CALL ME AT (408) 299-6724 TO SCHEDULE AN APPOINTMENT.

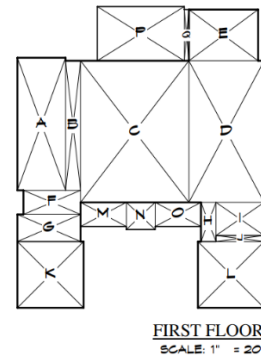
Please submit *all* electronic copies of the revised plans/resubmittal documents (PDF) with a **written response letter** addressing **each** incomplete comment.

PLANNING OFFICE

Contact Buyan Batbaatar at (408)299-6724 or buyan.batbaatar@pln.sccgov.org regarding the following comments:

1. Revise the site plan to show the front, side and rear setback distances measured from the property lines to the existing pro shop.
2. The proposed JADU and ADU garage exceed the maximum allowed square feet in floor area. Revise ADU/JADU the floor plan to comply with the applicable County Ordinance code. Place calculation diagrams on a separate plan sheet and utilize polygons (such as rectangles, squares, triangles) to scale, with each polygon area calculation noted in the tabular form. The polygons are to match the building footprint exactly. Per Zoning Ordinance [§ 4.10.015\(D\)\(4\)](#), “An attached garage or carport of up to 400 square feet in floor area may be incorporated in the design of a detached accessory dwelling unit”.

Polygon/Area Designation	Dimensions	Area
A	10 x 10	100
B	10 x 10	100
C	10 x 10	100
TOTAL		300



3. Revise sheet A2 to identify the walls that are proposed to be demolished.
4. The applicant is proposing to convert the existing pro shop into a home office space. Home offices proposed in a detached accessory structure would be classified as Home Occupation Expanded “Uses conducted in the dwelling or accessory building by the resident, with allowance for one nonresident employee, limited outdoor storage of materials, and not more than two vehicles” per section [§ 2.10.030](#) in the County Zoning Ordinance. Please note supplemental use regulations for home occupations in section [§ 4.10.180](#) apply.

To establish a Home Occupation Expanded use in A-40Ac (Exclusive Agriculture base zoning district with Standard Lot-Size Combining District), a Special Permit is required. Please pay the associated fees (\$ 2,569) for a Special Permit through the County’s Insite public portal.

5. Describe the home occupation. What type of service or product will be provided?
6. Pursuant to County Zoning Ordinance [§ 4.10.180\(C\)\(4\)](#) – Home Occupations: Expanded – “Accessory buildings containing expanded home occupation uses shall be limited in area to not more than 1,200 square feet (total). A larger building may be used provided the home occupation area is structurally partitioned to not exceed 1,200 square feet.” The existing pro shop is 1,444 sf which exceeds the allowed 1,200 sf and does not comply with the Zoning

Ordinance. Staff recommends modifying the design and revising the floor plan to partition 1,200 sf for the proposed office use.

ENVIRONMENTAL HEALTH

Contact Darrin Lee at (408)-918-3435, Darrin.lee@deh.sccgov.org regarding the following comments:

7. Contact the Department of Environmental Health and onsite wastewater treatment system (OWTS) consultant/designer to conduct the following activities to determine OWTS feasibility for the proposed development: site assessment, soil profiles, and percolation tests. This is a separate submittal to Env. Health and subject to completion of a service request application and payment of applicable fees.
 - a. Upon conclusion of OWTS feasibility testing, on a revised site grading and drainage plan, accurately locate and show all soil profile locations and percolation testing holes (including failed holes, if applicable). Include soil profile results and percolation test results.
 - b. Demonstrate through wastewater calculations the minimum amount of dispersal field required to accommodate the proposed development.
8. Contact the Department of Environmental Health (Jeff Camp, 408-918-3473) for individual water clearance for number of proposed dwellings (3 units). This is a separate submittal to Env Health subject to completion of service request application for individual water clearance, submittal of well/ water related documents, and payment of applicable fees.

LAND DEVELOPMENT ENGINEERING

Contact Darrell Wong at (408)-299-5735, Darrell.wong@pln.sccgov.org regarding the following comments:

9. Please show the limits of the disturbed area as a result of the proposed development. Include the disturbed areas of the proposed septic field and any stockpile and construction staging areas as well. The demolition of any of the existing driving range stalls may need to be included as well.
10. Show all of the existing and proposed utilities on the plans.
 - a. The septic systems for the proposed residences shall be shown on the plans.
 - b. Show the wells or water supply to the tanks near the ADU/JADU and show the water supply to the multiple residences and the existing pro-shop.
 - c. Show the electrical/joint trench connections to the existing and proposed structures.
11. Please supply a copy of the preliminary title report, prepared within the current ownership of the property, with a statement from the owner that no subsequent encumbrances have been recorded since the preparation of the title report. Please include all applicable easements affecting the parcel(s) with benefactors and recording information on the site plan reflecting the title report.

ROADS AND AIRPORT

Contact Thomas Esch at (408) 573-2450 or tom.esch@rda.sccgov.org regarding the following comments:

12. Show and identify on the revised plans the existing centerline. Continue to show existing edge of pavement and limits of the Las Animas Ave right-of-way (ROW).
13. Improvement plans must clearly indicate existing and proposed site conditions within the ROW including but not limited to, above and below ground utility lines, easements, drainage facilities, trees, landscaping, and other structures and features. All utility relocations, replacements, abandonments, temporary facilities, and new facilities shall be shown.
14. The new driveway accessing the property will be required to be improved to County Standard B/4.
15. The entire property's frontage will be required to be improved to County Standard B/4A. Plans do not currently apply B/4A detail requirements. In addition, application of B/4A will require removal of portions of the existing PCC driveway and replaced with asphalt up to 16 ft from the roadway centerline. Indicate improvements on the revised plans to identify any conflicts that will need to be resolved (i.e. utility poles, trees, culverts, etc.).
16. The frontage drainage channel appears to have been modified from past development (filled in, flat driveway) and will require restoration. Achievement of positive flow along frontage must be identified on the plans and reestablished. Reconstructing the existing driveway to provide positive flow may be necessary.
17. Gates shall be located 30 feet from (new) edge of pavement. The existing driveway gate will need to be relocated.
18. Gates, fences, retaining walls, fixed appurtenances, etc. shall be located outside the limits of the County maintained road ROW.
19. Include County Standard details on the plan sets. While not required during the planning review process, driveway and frontage details with dimensions and specifics will be required during the encroachment permit process, in sufficient detail to fully demonstrate application of the County standards that will apply to the driveway, driveway gates, frontage and drainage to be constructed (i.e., not only referencing the County details).
20. Demonstrate that the post-development maximum flow rate into the County Road right-of-way is equal-to or less-than the pre-development corresponding storm event flow rate per the County Drainage Manual. Provide engineered plans and drainage calculations for any detention or retention system necessary to satisfy this requirement.

SONOMA STATE UNIVERSITY

Contact Bryan Much at (707) 588-8455 or nwic@sonoma.edu regarding the following comments:

Previous Studies

21. This office has no record of any previous cultural resource studies by a professional archaeologist or architectural historian for the proposed project area (*see recommendation below*).

Archaeological and Native American Resources Recommendations:

22. We recommend the lead agency contact the local Native American tribe(s) regarding traditional, cultural, and religious heritage values. For a complete listing of tribes in the vicinity of the project, please contact the Native American Heritage Commission at (916)373-3710.
23. Although the general vicinity has sensitivity for archaeological resources, the proposed project area has a low possibility of containing unrecorded archaeological site(s). Therefore, no further study for archaeological resources is recommended. If archaeological resources are encountered during construction, work should be temporarily halted in the vicinity of the discovered materials and workers should avoid altering the materials and their context until a qualified professional archaeologist has evaluated the situation and provided appropriate recommendations.

Built Environment Recommendations:

24. Since the Office of Historic Preservation has determined that any building or structure 45 years or older may be of historical value, if the project area contains such properties, it is recommended that prior to commencement of project activities, a qualified professional familiar with the architecture and history of Santa Clara County conduct a formal CEQA evaluation.

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the California Historical Resources Information System (CHRIS) Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

The California Office of Historic Preservation (OHP) contracts with the California Historical Resources Information System's (CHRIS) regional Information Centers (ICs) to maintain information in the CHRIS inventory and make it available to local, state, and federal agencies, cultural resource professionals, Native American tribes, researchers, and the public. Recommendations made by IC coordinators or their staff regarding the interpretation and application of this information are advisory only. Such recommendations do not necessarily represent the evaluation or opinion of the State Historic Preservation Officer in carrying out the OHP's regulatory authority under federal and state law.

For your reference, a list of qualified professionals in California that meet the Secretary of the Interior's Standards can be found at <http://www.chrisinfo.org>. If archaeological resources are encountered during the project, work in the immediate vicinity of the finds should be halted until a qualified archaeologist has evaluated the situation. If you have any questions please give us a call (707) 588-8455.

Please make sure the requested changes are made for the revised plan sets and documents that are needed for the resubmittal. **Resubmittals are only accepted by appointment with the assigned project planner.** If the requested information is not submitted within **180 days**, you

will be required to pay a fee of 10% of the application fee at the time the information is submitted. All requested information must be submitted no later than **one (1) year** from the date of this letter. PARCIAL RESUBMITTALS WILL NOT BE PROCESSED. Fees required at the time of the resubmittal will be those in effect at that time.

In submitting this land use application, the owner/applicant included an initial application fee. Application fees are categorized as "fixed fees" and "billable fees", based on the particular application types. "Fixed fee" applications do not require any additional fees to continue processing. However, when funds associated with a "billable fee" application have been spent, an additional deposit will be required to continue processing the application.

If you have any additional questions regarding this application or would like to clarify Planning incomplete comments, please call me at (408) 299-6724 or buyan.batbaatar@pln.sccgov.org.

Sincerely,



Buyan Batbaatar
Assistant Planner

Cc:
Samuel Gutierrez, Principal Planner