

County of Santa Clara

Department of Planning and Development
County Government Center, East Wing, 7th Floor
70 West Hedding Street
San Jose, CA 95110
Phone: (408) 299-5700
www.sccplandev.org



STAFF REPORT
Zoning Administration
November 7, 2024
Item No. 2

Staff Contact: Michael Shwe, Assistant Planner
(408) 299-5714, michael.shwe@pln.sccgov.org

File: PLN24-113 Architecture and Site Approval (ASA) for Photovoltaic solar array carport structures

Summary: Public hearing to consider a land use application for an Architecture and Site Approval (ASA) for 5 new Photovoltaic solar array carport structures at Los Altos Golf and Country Club. The project does not propose any grading.

Owner: Los Altos Golf and Country Club
Applicant: David Wilbur
Address: 1560 Country Club Dr, Los Altos

Gen. Plan Designation: USA (Los Altos)
Zoning: R1E-20-n1/A
Lot Size: 6 acres development site (102 acres total site)

APN: 331-11-125, 331-08-005, 331-09-074,
331-03-083, 331-04-196

Present Land Use: Golf Course and
Country Club
HCP: Not within HCP area

Supervisory District: 5

RECOMMENDED ACTIONS

- A. Accept a Categorical Exemption under Section 15303 (Class 3)(e) of the CEQA Guidelines, Attachment A; and

- B. Grant Architecture and Site Approval (ASA), pursuant to the Conditions of Approval outlined in Attachment B.

ATTACHMENTS INCLUDED

- Attachment A – CEQA Determination
- Attachment B – Preliminary Conditions of Approval
- Attachment C – Location and Vicinity Map
- Attachment D – Proposed Plans
- Attachment E – Color and Materials Board

Attachment F – Permit History

PROJECT DESCRIPTION

The proposed project is an Architecture and Site Approval (ASA) application for 5 new Photovoltaic solar array carport structures at Los Altos Golf and Country Club. The 5 new photovoltaic solar array carport structures are proposed to be constructed within the existing parking lot to the south of the existing pool and clubhouse. The columns for the structures will be placed at the junction in between existing parking spots, resulting in no loss of parking spots. The project does not propose any grading, nine trees within the parking lot are proposed for removal, and the subject property is located outside of the Santa Clara Valley Habitat Plan Permit Area. The Los Altos Golf and Country Club was established in 1923, prior to the County's adoption of a Zoning Ordinance in 1937. The 1937 Zoning Ordinance allowed for the continuation of existing uses so long as they were not enlarged or increased or ceased operations. Expansions, including new structures, are subject to the current Zoning Ordinance provisions. For more information concerning previous improvements, refer to **Attachment F**.

Setting/Location Information

The 6-acre parcel for this subject application contains the parking lot, clubhouse, and recreational facilities for Los Altos Golf and Country Club, which is part of the larger 102-acre country club property. The 5 photovoltaic solar array carport structures are proposed to be located on APNs 331-11-125 and 331-08-005, and the overall site also includes APNs 331-09-074, 331-03-083, and 331-04-196. Staff is in the process of confirming whether the 5 aforementioned APNs are separate legal properties or if the overall site is a single legal property. The property is located within the Country Club/Loyola area of unincorporated Los Altos, and is situated amongst a residential community roughly bounded by Highway 280 to the west, Magdalena Avenue to the north, and Foothill Expressway to the east (refer to **Attachment C**). The site is served by the City of Los Altos for sewer connection and California Water Service Company for potable water service. This project will not affect the current use of the site as a Golf Course and Country Club. No changes to parking, employees, traffic, or on-site capacity are proposed with this project.

The parcel is zoned primarily A (Exclusive Agriculture), with the southeast portion of the parcel zoned R1E-20-n1 (One-Family Residence –Estate with a lot size and Los Altos neighborhood preservation combined zoning district). Surrounding properties are predominantly single-family residential uses within the R1E-20-n1 zoning designation.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The project has been reviewed in accordance with the California Environmental Quality Act (CEQA) and staff has determined that the proposed project qualifies for a Class 3 Categorical Exemption under Section 15303(e) as it involves the construction of accessory structures including garages and carports (refer to **Attachment A**).

B. Project/Proposal

1. **General Plan:** City of Los Altos Urban Service Area

2. **Architecture and Site Approval:** Per County Zoning Ordinance Section 5.40.020, Architecture and Site Approval (ASA) is required for the establishment or modification of a use in a zoning district requiring ASA. The cumulative square footage of the five new solar array carport structures comes out to 3,842 square feet. As the project includes a series of new structures exceeding 2,000 square feet, the project does not qualify for ASA administrative review.
3. **Zoning Standards:** The Zoning Ordinance specifies the development standards within the A zoning district, as summarized below.

Accessory Structures

Height: Accessory buildings or structures exceeding 12 feet in height (16 total feet with gable/hip roof allowance as provided in subsection 4.20.020(E)(1)(a), above) on lots 2.50 acres or larger are subject to side and rear yard setbacks of no less than 30 feet.

The photovoltaic carport structures are proposed to be a maximum of 20 feet in height, as shown on the plans, and shall maintain a setback of at least 30 feet from the side property line off Loyola Drive. As the project site is over 2.5 acres within a rural base zoning district, the proposed accessory structures may exceed 16 feet in height (with a maximum of 35 feet) as long as minimum 30 feet setbacks are maintained. A lot line determination concluded that the dimension off Loyola Drive is classified as a side property line, and that the dimension off Country Club Drive is the front property line. However, the overall the larger golf course site consists five APNs, totaling an area of approximately 102 acres. The project site has two APNs associated with it and no evidence of them being legal individual lots. However, COA No. 35 has been provided to require the lot legality to be resolved before the submission of building permits. If the lot are separate legal lots, then a lot merger application would be required to be submitted and approved prior to the submission of building permits due to there being an inconsistency with the zoning regulations for setbacks.

C. Architecture and Site Approval (ASA) Findings

All ASA applications are subject to the Scope of Review (Findings), as listed in §5.40.040 of the County Zoning Ordinance. The overall purpose of ASA is to encourage quality design and mitigate potential adverse visual impacts of development. In the following discussion, the scope of review finding is in bold, and an explanation of how the project meets the required finding is in plain text below

1. Adequate traffic safety, on-site circulation, parking and loading areas, and insignificant effect of the development on traffic movement in the area;

Traffic will not increase as a result of this proposal, and the project involves the installation of 5 new photovoltaic carport structures which will not obstruct existing driveways, parking spots, or ingress/egress at Los Altos Golf and Country Club. No increase in the number of visitor, member, or employee trips are proposed. Pursuant to the existing Use Permit, a total of 255 parking spaces are permitted on-site and no changes to personnel are proposed as part of this project. Adequate parking is

provided on-site, and as required with the 2011 expansion project and Use Permit. As such, the project will not impact traffic levels, and this finding can be made.

2. Appearance of proposed site development and structures, including signs, will not be detrimental to the character of the surrounding neighborhood or zoning district;

The proposed 5 new photovoltaic solar array carport structures are proposed to be located within the existing parking lot, and will be partially visible along the adjacent right of way, Loyola Drive. The proposed structures will be set back at least 30 feet from the adjacent property line off Loyola Drive, and are to be a maximum of 20 feet in height, as specified on plans. Existing trees and vegetation provide some screening off Loyola Drive, and the columns for the photovoltaic carport structures are to feature stucco on pilasters to match the existing pro shop, which is painted “Divine White”, a subtler shade of white. No signage is proposed as a part of this project. Due to the location of the photovoltaic solar array carports, nine parking lot trees under 12” in diameter are proposed be removed to create space for the carports. These trees are not required to be replaced as said trees are ornamental in nature, and do not serve to “soften any adverse impacts of buildings and pavement”, as stated within the ASA guidelines. Many trees and landscaping features exist around the parking lot and pro shop area which serve the practical purpose of providing screening off Loyola Drive, and to enhance the aesthetic quality of the club grounds, in alignment with the intent of the landscaping and parking lot design sections of the ASA guidelines. As such, this finding can be made.

3. Appearance and continued maintenance of proposed landscaping will not be detrimental to the character of the surrounding neighborhood or zoning district;

No new landscaping is proposed in association with this project. As such, this finding can be made.

4. No significant, unmitigated adverse public health, safety and environmental effects of proposed development;

No additional members or operational changes are proposed with this project. The proposed structures will conform to the applicable zoning standards for accessory structures. Proposed improvements would not result in new environmental impacts to traffic, noise, construction noise or air quality. The project was reviewed by County’s Land Development Engineering Division, Department of Environmental Health, Fire Marshal’s Office, and Roads and Airports Department, and no issues related to health, safety, or environmental effects were found to exist. As such, this finding can be made.

5. No adverse effect of the development on flood control, storm drainage, and surface water drainage;

The proposed project will not have any significant impact to flood control, storm drainage, and surface water drainage because there will not be any new impervious area added as a result of this project. The project has been reviewed and approved by the County's Land Development Engineering Division. As such, this finding can be made.

6. Adequate existing and proposed fire protection improvements to serve the development;

The proposed project was reviewed by the County Fire Marshal and conditioned to clearly show fire department access to accommodate emergency vehicles. The parking lot to the northeast of the Pro Shop will provide emergency access for fire vehicles. Prior to issuance of building permits for the photovoltaic solar array carport structures, the applicant will be required to demonstrate fire protection measures and improvements are met, outlined in the Conditions of Approval (refer to **Attachment B**). As such, this finding can be made.

7. No significant increase in noise levels;

The proposed photovoltaic solar array carport structures will not result in significant increases in noise levels, as temporary noise from construction is conditioned by the Department of Environmental Health to conform with the County Noise Ordinance, and as there will be ongoing noise since the photovoltaic solar array carports do not produce noise. As such, this finding can be made.

8. Conformance with zoning standards, unless such standards are expressly eligible for modification by the Zoning Administrator as specified in the Zoning Ordinance;

The proposed project satisfies all of the required zoning and development standards, as stipulated within the County Zoning Ordinance. The zoning district for the subject golf course and country club parcel is R1-E-20-n1/A, and the area that the photovoltaic solar array carport structures are proposed to be located is zoned A, which requires minimum front, side and rear setbacks of 30 feet for accessory structures which exceed 16 feet in height, per § 4.20.020 (E)(1). With respect to § 4.20.020 (E)(3), the proposed structures will be situated at least 30 feet from the side property line along Loyola Drive since the structures will be in excess of 16 feet, with a maximum height of 20 feet (refer to **Attachment D**). A lot line determination reviewed and approved by the Zoning Administrator confirms that the dimension abutting Loyola Drive is classified as an exterior side property line, thereby allowing the proposed solar array carport structures to be located as close as 30 feet from said property line, per § 4.20.020 (E)(3). The project complies with the minimum required setbacks and is within the allowed height limits established for the zoning district.

§ 4.10.140 (A)(9) states that, "Facilities associated with the golf course or driving range shall be limited to those which serve golfers on the course or range." The

proposed solar array carport structures are a compatible use which will serve the membership and facility by providing a sustainable and renewable source of energy which will reduce greenhouse gas emissions and energy costs for the club in the long term. The proposed solar array carport structures also conform with § 4.10.140 (A)(10), which states that, “The proposed use shall substantially conform to the adopted *Environmental and Design Guidelines for Golf Courses in Santa Clara County*”, as the solar arrays are environmentally friendly and provide a renewable source of energy for the club moving forward. Additionally, the proposed structures will not cause impacts to noise, traffic, aesthetics, or drainage. As such, this finding can be made.

9. Conformance with the general plan and any applicable area or specific plan, or, where applicable, city general plan conformance for property located within a city’s urban service area; and

The property is located within the Urban Service Area of the City of Los Altos. The city’s General Plan governs the subject site for use and density. Within the City of Los Altos, this property’s General Plan designation is Open Space with a pre-zoning of Public and Community Facilities (PCF). The project is in conformance with the County’s General Plan as the property is approved to operate as a golf course and country club through an approved Use Permit. The golf course and country club was established prior to permits being required by the County and is legal non-conforming, with subsequent use permits and approvals issued for upgrades and expansions to club facilities over the years (refer to **Attachment F**). The site has operated as a country club and golf course since 1923. As such, this finding can be made.

10. Substantial conformance with the adopted “Guidelines for Architecture and Site Approval” and any other applicable guidelines adopted by the County.

The proposal will be required to adhere to all Conditions of Approval required by other agencies and the Zoning Administrator. The intent of the “Guidelines for Architecture and Site Approval” is to “secure the general purposes of the zoning ordinance and the General Plan and to maintain the character and integrity of the neighborhood by promoting excellence of development, preventing undue traffic hazards or congestion, and encouraging the most appropriate development and use of land in harmony with the neighborhood.” The proposal is in harmony with the existing neighborhood as the building location and general scale are not changing. There would be no significant environmental effects on traffic, congestion, or noise. As such, this finding can be made.

Staff Recommendation

In conclusion, based on the analysis of the proposed project, Staff recommends that the Zoning Administrator approve the request for a land use entitlement for an Architecture and Site Approval (ASA) for 5 new Photovoltaic solar array carport structures at Los Altos Golf and

Country Club. The project as proposed conforms to the applicable policies, findings and guidelines of the County’s General Plan, Zoning Ordinance, and Ordinance Code.

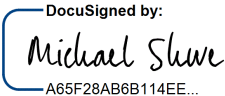
BACKGROUND


The Los Altos Golf (Golf Course) and Country Club (Country Club) was originally founded in 1923 on a 110-acre site. In 1966, the Planning Commission granted a Use Permit to allow the construction of a new dining room, pro-shop and snack shop within the existing structures of the Country Club. Between 1981 and 2006, the Planning Commission approved expansions and renovations to the Golf Course and the clubhouse areas. A major renovation of the Golf Course was approved by the Planning Commission in 2008. In 2011, a major modification to the Use Permit, ASA and Grading Approval was approved by the Planning Commission for a clubhouse remodel, expanded patio areas, lounge areas, yoga studios, expanded parking area and golf course (refer to **Attachment F**).

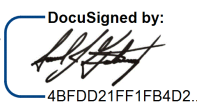
The project file for an Architecture and Site Approval (ASA) for new photovoltaic solar array carport structures was created on July 8, 2024, following the acceptance of an application request (AR) for the proposed project. The application was deemed incomplete on August 7, 2024, and after the applicant resubmitted materials in response to County Staff’s comments, the application was deemed complete on September 30, 2024.

As of the writing of this report, no public comments have been received on this project. A public notice was mailed to all property owners within a 300-foot radius on October 29, 2024, and was also published in the Post Records on [October 28, 2024](#)¹.

STAFF REPORT REVIEW

Prepared by: Michael Shwe, Assistant Planner 

Reviewed by: Robert Cain, Senior Planner 

Approved by: Samuel Gutierrez, Principal Planner 

¹ San Jose Post Record; <https://www.postrecord.news/home.cfm?ref=legalnotices&disp=1> – Legal Notices October 28, 2024; <https://www.postrecord.news/LegalNotices/SJR-2024-10-28.pdf>

Attachment A

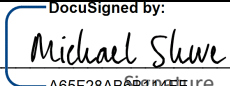
Statement of Exemption
from the California Environmental Quality Act (CEQA)

County of Santa Clara
Department of Planning and Development
 County Government Center, East Wing, 7th Floor
 70 West Hedding Street
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 Phone: (408) 299-5700
 www.sccplandev.org



STATEMENT OF EXEMPTION

from the California Environmental Quality Act (CEQA)

FILE NUMBER	APN(S)	DATE
PLN24-113	331-11-125, 331-08-005, 331-09-074, 331-03-083, 331-04-196	10/30/24
PROJECT NAME	APPLICATION TYPE	
Los Altos Country Club New PV Carport Structures	Architecture and Site Approval	
OWNER	APPLICANT	
Los Altos Golf and Country Club	David Wilbur	
PROJECT LOCATION		
1560 Country Club Dr, Los Altos, CA		
PROJECT DESCRIPTION		
<p>Architecture and Site Approval (ASA) for 5 new Photovoltaic solar array carport structures within an existing parking lot at Los Altos Golf and Country Club. The project does not propose any grading. All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects meeting the criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.</p>		
CEQA (GUIDELINES) EXEMPTION SECTION		
<p>Class 3 (CEQA Guidelines Section 15303 (e)): New construction or conversion of small structures.</p>		
COMMENTS		
<p>The project proposes to construct 5 new Photovoltaic solar array carport structures at Los Altos Golf and Country Club. No new grading is proposed in associated with this project.</p>		
APPROVED BY:	DocuSigned by:	11/1/2024
Michael Shwe, Assistant Planner	 <small>A65F28AB66314E1E</small>	Date

Attachment B

Preliminary Conditions of Approval

ATTACHMENT B
Proposed Conditions of Approval
Architecture and Site Approval

Date: November 7, 2024
Owner: Los Altos Golf and Country Club
Applicant: David Wilbur
Project Location: 1560 Country Club Dr, Los Altos (APN: 331-11-125, 331-08-005, 331-09-074, 331-03-083, 331-04-196)
File Number: PLN24-113
CEQA: Categorically Exempt - Section 15303, Class 3(e)
Project Description: Architecture and Site Approval (ASA) for 5 new Photovoltaic solar array carport structures at Los Altos Golf and Country Club. The project does not propose any grading. Approval is based on plans submitted on September 24, 2024.

If you have any questions regarding the following conditions of approval, please call the agency contact listed below.

Agency	Name	Phone	E-mail
Planning	Michael Shwe	(408) 299-5714	michael.shwe@pln.sccgov.org
Fire Marshal's Office	Christina DaSilva		christina.dasilva@sccfd.org
Environmental Health	Darrin Lee	(408) 918-3435	darrin.lee@cep.sccgov.org
Land Development Engineering	Darrell Wong	(408) 299-5735	darrell.wong@pln.sccgov.org
Building Inspection		(408) 299 - 5700	

STANDARD CONDITIONS OF APPROVAL FOR THE PROJECT

Building Inspection

1. For detailed information about the requirements for a building permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at www.sccbuiding.org.

Planning Division

2. Development shall take place in substantial compliance with the approved architectural and civil plans submitted on September 24, 2024, and the conditions of approval. Any changes to the proposed project are to be submitted for review to the Department of Planning and Development and are subject to approval by the Zoning Administrator. Changes to the project may result in additional entitlement submittals

based on the scope, as well as environmental review, pursuant to the California Environmental Quality Act, or be subject to additional public hearings.

3. Existing zoning is R1E-20-n1 and A (One-Family Residence –Estate with a lot size and Los Altos neighborhood preservation combined zoning district | Exclusive Agriculture). The following minimum setbacks apply to the approved accessory structures as shown on the approved plans and shall be maintained:
All property lines: 30 feet
4. The photovoltaic solar array carport structures shall not exceed 20 feet in height, and shall meet the minimum 30 foot setback from all property lines as shown within the approved plans.
5. The project does not propose any grading. Any increase in grading quantities, or modification to the grading design, is subject to further review.
6. Light Reflective Value (LRV) for the columns for the 5 photovoltaic solar array carport structures shall match the color sample on the color/materials board submitted on August 26, 2024, which matches with the approved exterior color of the existing pro shop and clubhouse. The existing pro shop was approved with a color of ‘Divine White’ per file No. PLN18-11471. Note: Submitted color samples conform to this requirement.
7. All building plans submitted into Plan Check shall be in substantial conformance with the plans approved by Planning as part of the land-use entitlement.
8. If archaeological resources or human skeletal remains are discovered during construction, work shall immediately stop, and the County Coroner’s Office notified. Upon determination that the remains are Native American, no further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs, in accordance with state law and Chapter B6-18 of the County Ordinance Code.

Land Development Engineering

9. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.
10. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to adjoining property.
11. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the building plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

Environmental Health

12. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

STANDARD CONDITIONS OF APPROVAL FOR THE ONGOING USE AND OPERATION OF THE SITE

13. All prior conditions of approval associated with the development and maintenance of the existing golf course and country club (1427-81A, 1427-88A, 1427-90A, 1427-90A2, 1427-96A, 1427-98A, 1427-01G, 1427-03DR & 1427-04A-06A) shall remain in effect.

[Previous condition #2, File No. 1427 11P-11A-11G]

14. New construction materials and finishes are to match existing clubhouse structure: typical clay tile roofing, white stucco walls, and dark brown wood trim. Provide a sample color board to the project planner for review and approval, prior to issuance of building permit.

The location of the proposed improvements should be oriented so that associated noise is minimized to surrounding neighbors.

[Previous condition #3, File No. 1427 11P-11A-11G, ZA MODIFIED: November 7, 2024]

15. Equipment installed on the roof (i.e. air conditioner, mechanical units, etc.) shall be adequately screened from view of all sides.

[Previous condition #4, File No. 1427 11P-11A-11G, ZA MODIFIED: November 7, 2024]

Landscaping

16. Maintain all existing landscaping. If any additional landscaping is proposed exceeding 5,000 s.f. in size, the following is required. The landscape plan shall emphasize native plant species, and shall be designed to provide some visual screening as viewed from the surrounding properties.
- a. The requirements of Division B32 of the County Ordinance Code (Water Conservation in Landscaping) shall apply. In particular:
 - i. Landscape water efficiency must be demonstrated by utilizing any one of the three options provided in Section B32-5: Demonstration of Landscape Water Efficiency.
 - ii. Landscape design must comply with all applicable standards and criteria of Section B33-6: Water-Efficient Design Elements.

- iii. Landscape and irrigation plans must comply with all applicable standards and criteria of Section B33-8: Landscape and Irrigation Design Plans. The landscape ordinance and supporting information can be found on the Planning Office web site:
<www.sccplanning.org> > Permits and Development> Landscape Ordinance
- b. The proposed landscaping should consist of a variety of landscape material types (i.e. large/ small trees, shrubs, vines/ ivy, and ground cover) of varying species. Canopy trees shall, for the purposes of this condition, mean deciduous or evergreen trees of a species whose height and/ or spread at maturity normally exceeds 35 feet, and shall not include palms.
- c. All trees to be removed shall be so indicated on the plan and replaced with native canopy trees.
- d. Arrangement of trees and other plant materials shall provide for defensible space for fire protection around proposed buildings. Please contact the Fire Marshal's Office (408 299-5760) for more information.
- e. Soil must be capable of supporting the proposed installation and must have adequate water storage capacity. Soil characteristics, including structure, texture, percolation, pH, mineral content, and microbiology, shall be evaluated early in the design process. Soil amendments, such as compost or fertilizer, shall be added as appropriate.

[Previous condition #6, File No. 1427 11P-11A-11G, ZA MODIFIED: November 7, 2024]

Tree Removal and Replacement

17. The following tree removal / protection requirements shall apply:
- a. Final grading plans shall show the size and species of all trees over 12 inches in diameter (at 4.5 feet above grade) within the proposed work area for the project and clearly label all trees proposed for removal. This shall include all trees where construction or disturbance will occur within the dripline of the tree.
 - b. A 4:1 planting ratio is required to mitigate impacts for the proposed removal of six (6) redwood trees larger than 24" in diameter. Prior to final inspection, a minimum of twenty-four (24) 24" box native trees shall be planted to mitigate for the loss of the six (6) redwood trees greater than 24" in diameter. Replacement trees are to include a variety of species, including a minimum of six (6) redwood trees. Replacement trees must be shown on the final grading plan.
 - c. An I.S.A.-certified arborist shall review final grading plans. The objective shall be to ensure that all the trees adjacent to the improvements-will not be damaged or removed.
 - d. A certified arborist shall monitor the construction, and provide recommendations to preserve any potentially impacted trees associated with the proposed improvements.

- e. Submit a plan-review letter prior to the issuance of the final grading permit evaluating consistency of final grading plans with these mitigations.
- f. Submit a construction-observation letter prior to the issuance of final occupancy summarizing implementation of these mitigation measures.
- g. Provide two copies of an arborist report that recommends effective tree protection measures for the site's existing trees that have not been slated for removal. Protection measures must be in place prior to construction activity commencing.
- h. Submit to Land Development Engineering (LDE) an estimate, prepared by a licensed landscape architect, of the landscaping and associated irrigation and improvements. The amount of this estimate shall be included in the bond for the improvements administered by LDE per Section C12-206 of the County Ordinance Code.

[Previous condition #7, File No. 1427 11P-11A-11G, ZA MODIFIED: November 7, 2024]

Nesting Raptors

18. Limit Tree Removal to Non-Breeding Season for Nesting Raptors. If possible, tree removal should be scheduled between September 1 and December 31 to avoid the nesting raptors breeding season. Evidence of compliance of this condition is as follows:
- a. Prior to final grading permit issuance, submit a copy of a contract with a tree removal company demonstrating that trees shall be removed between September 1 and December 31.

[Previous condition #8, File No. 1427 11P-11A-11G]

19. Pre-Construction Nesting Raptors Surveys. If tree removal is scheduled during the nesting raptors breeding season (January 1 to August 31), preconstruction surveys for nesting raptors shall be conducted by a qualified ornithologist to identify active raptor nests that may be disturbed during project implementation. Pre-construction surveys shall take place no more than 24 hours prior to the initiation of construction activities including tree removal.

[Previous condition #9, File No. 1427 11P-11A-11G]

20. If any active raptors nests are found in trees to be removed, the ornithologist shall contact the Planning Office and in consultation with the California Department of Fish & Game, designate a construction free buffer zone (typically 250 ft. or more - varies) around the nests.

Evidence of compliance of this condition is as follows:

- a. Prior to final grading permit issuance, submit a copy of a contract with an ornithologist to conduct the pre-construction surveys for nesting raptors.
- b. Prior to final inspection, submit copy of pre-construction surveys to Planning Office. Report must detail the results of the surveys and any designated buffer zones and other requirements per consultation with CA Dept. of Fish & Game.

[Previous condition #10, File No. 1427 11P-11A-11G, ZA MODIFIED:
November 7, 2024]

Ingress/Egress

21. INGRESS / EGRESS location to be limited to two (2) two-way driveway approaches off Loyola Dr and Country Club Dr. No additional access roads are approved at this time. Two-way ingress/ egress access shall be at a minimum of 20-feet wide.

[Previous condition #11, File No. 1427 11P-11A-11G]

22. Provide underground utilities for all new construction.

[Previous condition #12, File No. 1427 11P-11A-11G]

Parking

23. Maintain a minimum of 255 off-street parking spaces and (7) handicapped parking stalls delineated by painted lines. No additional parking is required or approved at this time.

[Previous condition #13, File No. 1427 11P-11A-11G]

24. The required handicapped spaces shall be designed in conformance with the development standards outlined in §4.30.070 (I) (Parking Design Standards Handicapped) of the County Zoning Ordinance. Regular parking spaces shall be in compliance with County standard as stipulated in Table 4.30-4 and 4.30-5.

[Previous condition #14, File No. 1427 11P-11A-11G]

25. Parking space area and driveways shall be paved and maintained with asphalt surface or better. Repair the surfaces in these areas where necessary.

[Previous condition #15, File No. 1427 11P-11A-11G]

26. On-site parking spaces shall be delineated with paint. On-site directional arrows to indicate the direction of the on-site access shall be delineated with paint, if necessary. Onsite Stop signs to provide clear flow of the parking lot are to be property installed.

[Previous condition #16, File No. 1427 11P-11A-11G]

Signs

27. Maintain the existing identification sign along Country Club Dr.

<u>Quantity</u>	<u>Type</u>	<u>Dimension</u>	<u>Location</u>
One (1)	Monument	12-ft W x 20-in D	Country Club Dr. Entrance

[Previous condition #17, File No. 1427 11P-11A-11G]

28. Two additional attached signs are approved with this approval:

<u>Quantity</u>	<u>Type</u>	<u>Dimension</u>	<u>Location</u>
Two (2)	Attached (Fence-mounted)	see exhibit I	see exhibit I

All signs shall be in accordance with the approved plans dated 11/15/2011 as shown in Exhibit I.

[Previous condition #18, File No. 1427 11P-11A-11G]

29. If illumination is provided for the proposed signs, only internal and continuous lighting are allowed, per Section 4.40.040 of the County Zoning Ordinance.

[Previous condition #19, File No. 1427 11P-11A-11G]

Trash Enclosure

30. Provide a trash enclosure in accordance with Section 4.20.100 of the County Zoning Ordinance.

Location:

Trash enclosures shall be located in the side or rear yard unless such location would prevent accessibility by a collection vehicle.

Pick up and Disposal:

Refuse storage shall be subject to weekly or other regularly scheduled pickup and disposal.

Standards:

Trash enclosures shall be constructed and maintained as follows:

- Constructed and inspected prior to final occupancy of the building;
- Screened on three (3) sides by a solid masonry or wood wall of at least six (6) feet in height;
- Screened from view from public rights-of-way; and
- Locations shall be accessible to refuse-collecting vehicles.

[Previous condition #20, File No. 1427 11P-11A-11G]

Lighting

31. On-site lighting shall be designed, controlled and maintained so that no light source is visible from off the property. In order to ensure that the existing and proposed light fixtures throughout subject property do not create a significant new source of light, light shields will be required which direct the light down onto the property.

[Previous condition #21, File No. 1427 11P-11A-11G]

32. Outdoor lighting plan. The outdoor lighting plan shall use full cut-off lighting fixtures directed downwards to minimize spillover lighting and visibility. A lighting plan and a sample of the proposed fixture shall be submitted for review and approval by the ASA Secretary prior to issuance of the building permit.

[Previous condition #22, File No. 1427 11P-11A-11G]

Air Quality

33. The following Bay Area Air Quality Management District (BAAQMD) dust control measures will be adhered to during construction for all improvements. Final improvement plans must contain language requiring that the following control measures be implemented.
 - a. Water all active construction areas at least twice daily.
 - b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard.
 - c. Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
 - d. Sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at construction sites.
 - e. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets.

[Previous condition #23, File No. 1427 11P-11A-11G]

34. Schedule a site visit with the project planner, at least two weeks prior to final inspection, to verify that required landscaping, parking and signage have been installed, required painting for parking space striping and directional arrows has been completed and that all required reports have been submitted. Further, the project planner will verify that the commercial structure was constructed and painted in conformance with approved plans and paint samples.

[Previous condition #25, File No. 1427 11P-11A-11G, ZA MODIFIED: November 7, 2024]

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO SUBMISSION FOR BUILDING PERMIT

35. Information must be submitted to the Department of Planning and Development confirming the number of legal lots within the project site. If the documentation confirms that there are multiple legal lots including underlying lot lines, those property lines that would be in conflict with the project and setback requirements must be merged in a manner to ensure compliance with the zoning code regulations for detached accessory structures. The application for lot merger is to be submitted to the Department of Planning and Development Services and must be completed, approved, and recorded prior to the submission of building permits for the proposed solar array carport structures.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO ISSUANCE OF BUILDING/GRADING PERMIT

Planning

36. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the project by the Department of Planning and Development.
37. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL INSPECTION

Planning

38. **Prior to final inspection**, contact the project planner Michael Shwe, at least two (2) weeks in advance to schedule a site visit to verify that the conditions of approval have been met.

Fire Marshal Office

39. The address for the proposed structure must take access from the street listed in the address to ensure that emergency responders can find the property in an emergency.

Fire Protection Water

40. **IMPORTANT**: Fire protection water system shall be installed, functioning and inspected prior to approval of the foundation. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.

41. The minimum fire-flow shall be 1500 gpm at 20 psi.
NOTE: The fire-flow may be adjusted depending upon the final size of the structure shown on the building permit set of drawings to meet Appendix B of the CFC.

42. Fire hydrant is to be located within 400 ft. exterior path of travel to all portions of non-sprinklered structures and 600 ft. of sprinklered structures.

Fire Department Access

43. These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.

44. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or maintained at all times.

45. Distance between PV arrays to be a minimum of 10'-0". Distance between PV arrays and other structures to be a minimum of 10'-0".

Attachment C

Location and Vicinity Map

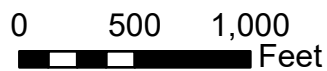


Location and Vicinity Map

PLN24-113

APN: 331-11-125, 331-08-005

1560 Country Club Dr, Los Altos



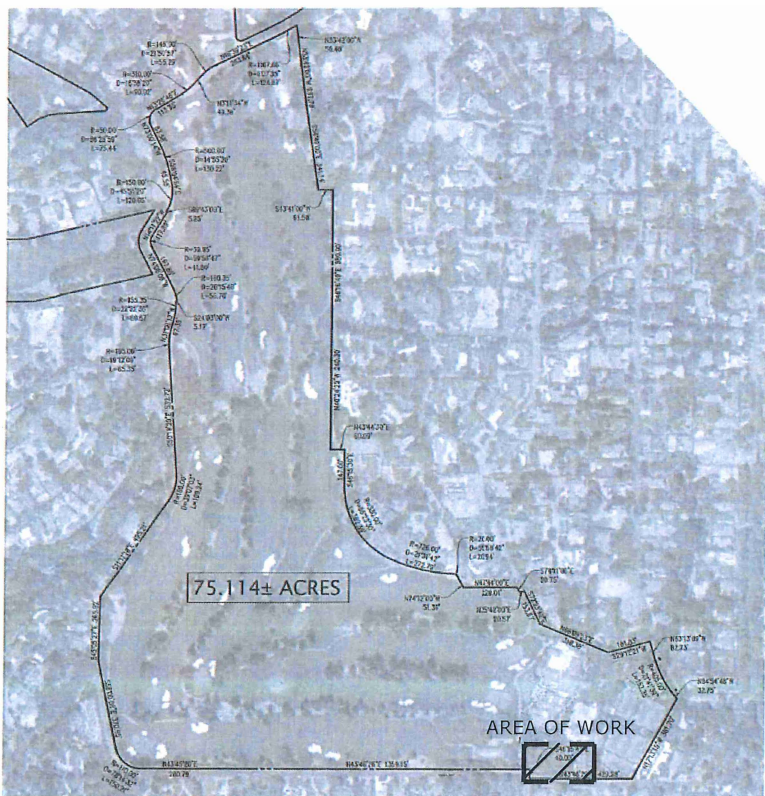
Attachment D

Proposed Plans

PROPOSED CARPORT & PV SOLAR ARRAY OF 1560 COUNTY CLUB DRIVE FOR LOS ALTOS GOLF & COUNTRY LOS ALTOS, CA



ARTIST RENDERED PV SOLAR



OVERALL SITE BOUNDARY

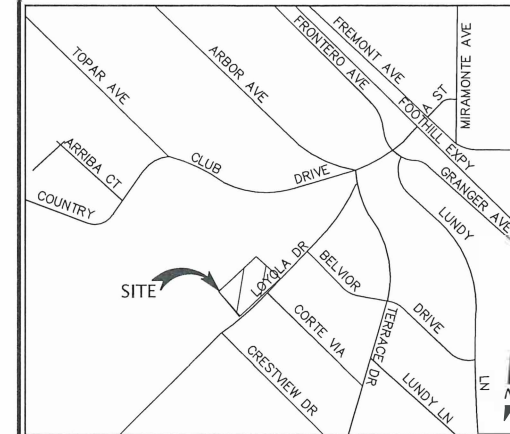
Project Description. A new carport structure for a new photovoltaic solar array installed over the existing parking lot accessed from Loyola Drive. Four (4) arrays of approximately 35' to 43' x 107' and one array approximately 24' x 73' max (total ~19,250 square feet). No new habitable building area is proposed.

New Building Area: 0 sqft
New area of shade/array size: +/- 19,250 sqft

Total Site area: +/- 75.144 acres
Area of Work (Existing Parking lot): 39,654 sqft
Impervious Area of existing parking lot: 39,012 sqft
Pervious Area of existing parking lot: 642 sqft
New Impervious area: 144 sqft
Total Landscaped Area affected: 310 sqft.
WELO: less than 500 sqft, so WELO does not apply

	Earthwork Quantities				
	Cut	Fill	Net	Max. Cut Ht.	Max. Fill Ht.
Building Pads (see addition)	0	0	0	0	0
Driveway (any improvements to existing driveway)	0	0	0	0	0
Foundations	#	#	#	12' max	12' max
Trenches	#	#	#	30" max	30" max
Site Grading	0	0	0	0	0
Retaining Wall	0	0	0	0	0
Trees	0	0	0	0	0

Total cut & fill is less than 200 CY.
 CONSTRUCTION TYPE: 11B



VICINITY MAP
NOT TO SCALE

SHEET INDEX

SHEET	DESCRIPTION
CIVIL	
C-1.0	COVER SHEET
C-2.1	TOPOGRAPHIC SURVEY
C-2.2	DEMOLITION PLAN
C-3.1	GRADING, DRAINAGE, UTILITY, & FIRE ACCESS PLAN
C-4.1	ELEVATED CARPORT PV ARRAY PLAN SECTION
C-5.1	SECTION
ELECTRICAL	
A-1.0	SITE PLAN
E-3.0.1, 3.0.1A	BLOCK DIAGRAM & EQUIPMENT SPECS



3350 Scott Boulevard, Building 22
 Santa Clara, California 95054
 Phone: (408) 727-6665
 www.kierwright.com



COVER SHEET
 PROPOSED CARPORT & PV SOLAR
 OF
 1560 COUNTY CLUB DRIVE
 FOR
 LOS ALTOS GOLF & COUNTRY
 LOS ALTOS, CALIFORNIA
 DRAWN BY: TK | CHECKED BY: NM | DEPARTMENT:

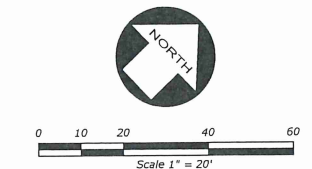
ORIGINAL ISSUE
 DATE: XX.XX.XXXX
 CURRENT SET ISSUE
 DATE: XX.XX.XXXX
 PERMIT SET / CONSTRUCTION ISSUE
 DATE: XX.XX.XXXX
 DRAWING NUMBER:

C1.0

OF 8 SHEETS



Know what's below.
 Call before you dig.



NOTES

1. THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED NOVEMBER 9, 2010, NUMBER NC5-465277-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
3. THIS IS NOT A UTILITY SURVEY. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
5. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, MAP NUMBER 06085C0202H FOR COMMUNITY NUMBER 060337 0202 H (SANTA CLARA COUNTY UNINCORPORATED AREAS), WITH AN EFFECTIVE DATE OF MAY 18, 2009, AS BEING LOCATED IN FLOOD ZONE "D". ACCORDING TO FEMA THE DEFINITION OF ZONE "D" IS:

AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.

FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD83 DATUM.

INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (WWW.FEMA.GOV) ON MAY 14, 2019.
6. BENCHMARK:
DI RIM AT WEST SIDE OF LOYOLA DRIVE AT INTERSECTION OF ESBERG ROAD.
ELEV: 278.83 (DATUM IS ASSUMED)
7. BASIS OF BEARINGS:
THE BEARING OF SOUTH 43°46'26" WEST TAKEN ON THE CENTER LINE OF LOYOLA DRIVE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED FOR RECORD ON AUGUST 5, 2003, IN BOOK 763 OF MAPS AT PAGES 1-6, OFFICIAL RECORDS OF SANTA CLARA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
8. CORNER RECORD NOTE:
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	IB	IRRIGATION BOX
AD	AREA DRAIN	IE	INVERT ELEVATION
BS	BOTTOM OF STEP	IRR	IRRIGATION
BR	BOTTOM OF RAMP	L/S	LANDSCAPE
BTM	BOTTOM	O.R.	OFFICIAL RECORDS
C	CONCRETE	P	PAVEMENT
CLF	CHAIN LINK FENCE	PED	PEDESTAL
CONC	CONCRETE	PL	PLASTIC
DI	DROP INLET	(PP)	PER PLAN
EB	ELECTRIC BOX	RE	RIM ELEVATION
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
EW	EDGE OF WALK	TC	TOP OF CURB
FC	FACE OF CURB	TCD	THRU CURB DRAIN
FF	FINISH FLOOR	TP	TOP OF PIPE
FL	FLOW LINE	TS	TOP OF STEP
FNC	FENCE	TW	TOP OF WALL
GRN	GROUND	TYP	TYPICAL
		WI	WROUGHT IRON
		WM	WATER METER

LEGEND

	ASPHALT BERM
	BUILDING LINE
	BUILDING LINE UNDERGROUND
	CENTERLINE
	CONCRETE/BLOCK/RETAINING WALL
	CONCRETE CURB
	CONTOUR LINE
	EASEMENT LINE
	EDGE OF PAVEMENT
	ELECTRIC LINE
	FENCE LINE
	FIRE SERVICE & VALVE
	GAS LINE-VALVE & METER
	GRADE BREAK
	HANDRAIL
	LOT LINE
	MONUMENT/MONUMENT LINE
	OVERHEAD POWER LINE
	PROPERTY LINE
	SANITARY SEWER-MANHOLE & CLEANOUT
	SIDEWALK
	SPOT ELEVATION
	STORM DRAIN-MANHOLE & CATCH BASIN
	WATER LINE & VALVE
	BACKFLOW PREVENTION DEVICE
	ELECTROLINER
	GUY ANCHOR
	GAS METER
	HANDICAP SYMBOL
	POST INDICATOR VALVE
	POWER POLE/JOINT POLE
	TRAFFIC SIGN
	TREE
	UTILITY BOX

NO.	REVISIONS	BY
	PLAN CHECK REVISIONS	NW
	08/12/24	

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TOPOGRAPHIC SURVEY

PROPOSED CARPORT & PV SOLAR OF 1560 COUNTY CLUB DRIVE FOR LOS ALTOS GOLF & COUNTRY LOS ALTOS, CALIFORNIA

DRAWN BY: TK | CHECKED BY: NW | DEPARTMENT:

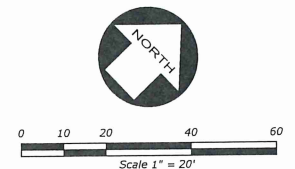
ORIGINAL ISSUE
DATE: XX.XX.XXXX

CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

DRAWING NUMBER:
C2.1
OF 8 SHEETS

Z:\2014\A10145-150\INGENIERIA\PLANNING\SETA\150145-013_C2.2 DEMOLITION PLAN.PLT, Tuesday, August 13, 2024 10:51 AM



DEMOLITION KEYNOTES

- ① REMOVE EXISTING CONCRETE CURB
- ② REMOVE EXISTING UNPROTECTED 7" SYCAMORE TREE
- ③ REMOVE EXISTING UNPROTECTED 8" SYCAMORE TREE
- ④ REMOVE EXISTING UNPROTECTED 9" SYCAMORE TREE
- ⑤ REMOVE EXISTING UNPROTECTED 11" SYCAMORE TREE
- ⑥ REMOVE LIGHT POLE (TYP OF 6)
- ⊗ EXISTING TREE TO BE REMOVED

NO.	REVISIONS	BY
1	PLAN CHECK REVISIONS	NW
2		
3		
4		
5		
6		

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DEMOLITION PLAN

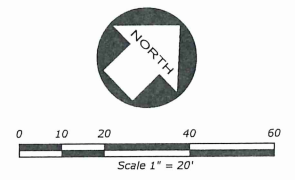
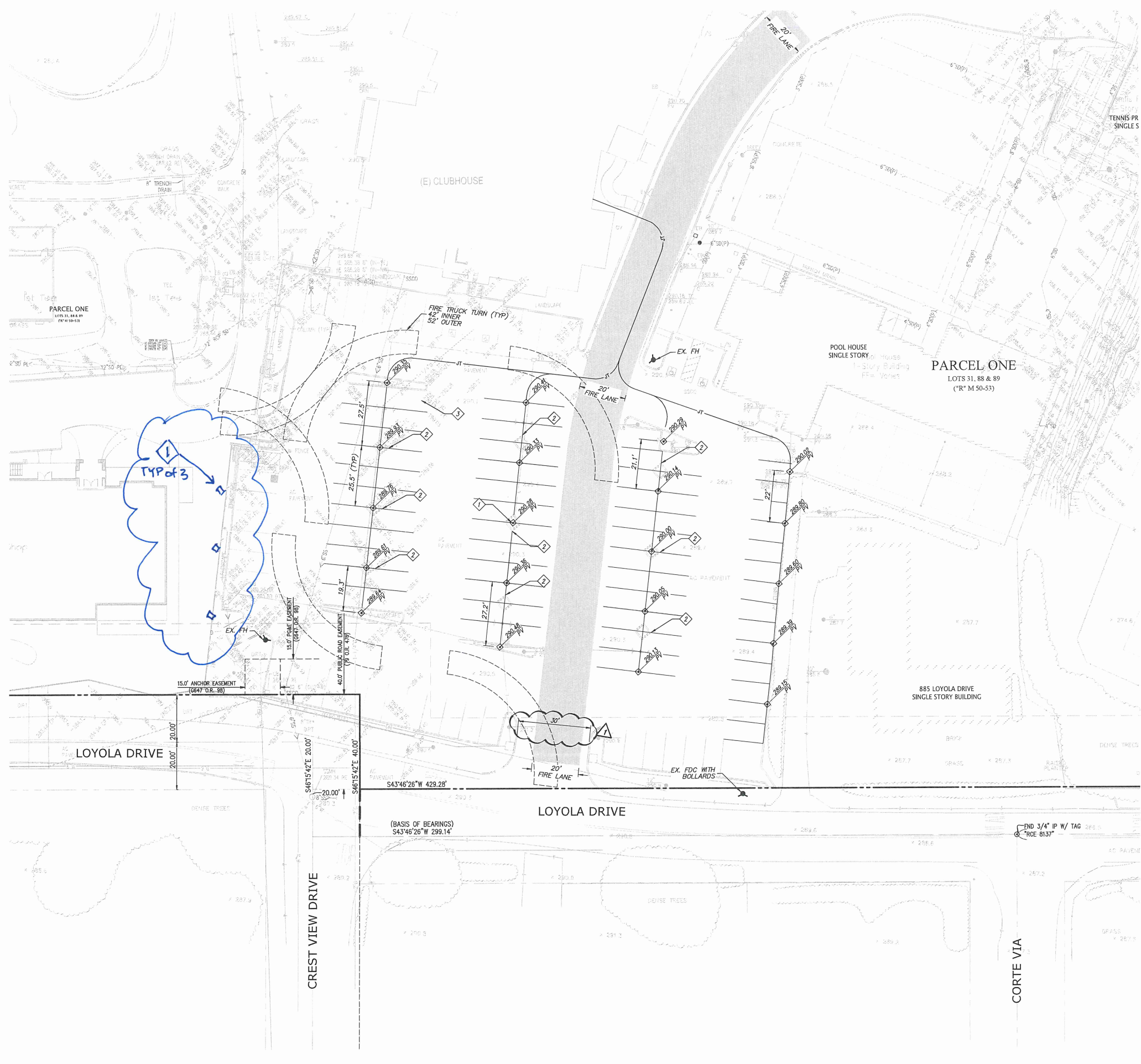
PROPOSED CARPORT & PV SOLAR
OF
1560 COUNTY CLUB DRIVE
FOR
LOS ALTOS GOLF & COUNTRY
LOS ALTOS, CALIFORNIA

DATE: XX.XX.XXXX
DATE: XX.XX.XXXX
DATE: XX.XX.XXXX

DRAWING NUMBER:
C2.2

OF 8 SHEETS

Z:\2024\1045-100\ENVIRONMENTAL\SPANNING SET\1045-031-01 GRADING, DRAINAGE, UTILITY, & FIRE ACCESS PLAN.PLT Tuesday, August 13, 2024 10:51 AM R.E.V. MOLLER



KEYNOTES

- 1 NEW 24" SQ PEDESTAL OVER NEW 18" CONCRETE PIER WITH PATCH AND STRIPE AC (TYP)
 - 2 PATCH AND STRIPE AC
 - 3 17' x 8.5' MINIMUM PARKING STALL (TYP)
- 20' FIRE LANE

GRADING AND DRAINAGE LEGEND

PROPOSED	EXISTING	DESCRIPTION
		CONTOUR LINE
		PROPERTY LINE
		STORM DRAIN-MANHOLE & CATCH BASIN
		THRU CURB DRAIN
		SPOT ELEVATION
		SLOPE (PERCENTAGE)
		UTILITY BOX
		AREA DRAIN
		BACK OF WALK
		BUILDING
		CATCH BASIN
		CONCRETE
		DUCTILE IRON PIPE
		FACE OF CURB
		FINISHED FLOOR
		FLOW LINE
		GRADE BREAK
		HIGH POINT
		INVERT ELEVATION
		LOW POINT
		NON-EXPANSIVE FILL
		OVERFLOW
		PAVEMENT
		RIDGE
		RIM ELEVATION
		STORM DRAIN JUNCTION BOX
		STORM DRAIN MANHOLE
		TOP OF CURB

NOTES

- FIRE DEPARTMENT ACCESS IS "ALL WEATHER MATERIAL" CAPABLE OF HOLDING 75,000 LBS
- MAXIMUM SLOPE DOES NOT EXCEED 15% SEE SHEET C2.1 AND C3.1
- DRIVEWAY WIDTH WILL BE MAINTAINED AT 12'-0" MINIMUM AND CLEAR HEIGHT OF 13'-6"

NO.	REVISIONS	BY
1	08/12/24 PLAN CHECK REVISIONS	NW
2	9/17/24 ABBAY #5	DW

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GRADING, DRAINAGE, UTILITY, & FIRE ACCESS PLAN

PROPOSED CARPORT & PV SOLAR OF 1560 COUNTY CLUB DRIVE FOR LOS ALTOS GOLF & COUNTRY LOS ALTOS, CALIFORNIA

DRAWN BY: TK CHECKED BY: NW DEPARTMENT:

ORIGINAL ISSUE DATE: XX.XX.XXXX

CURRENT SET ISSUE DATE: XX.XX.XXXX

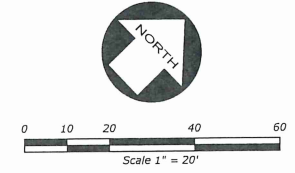
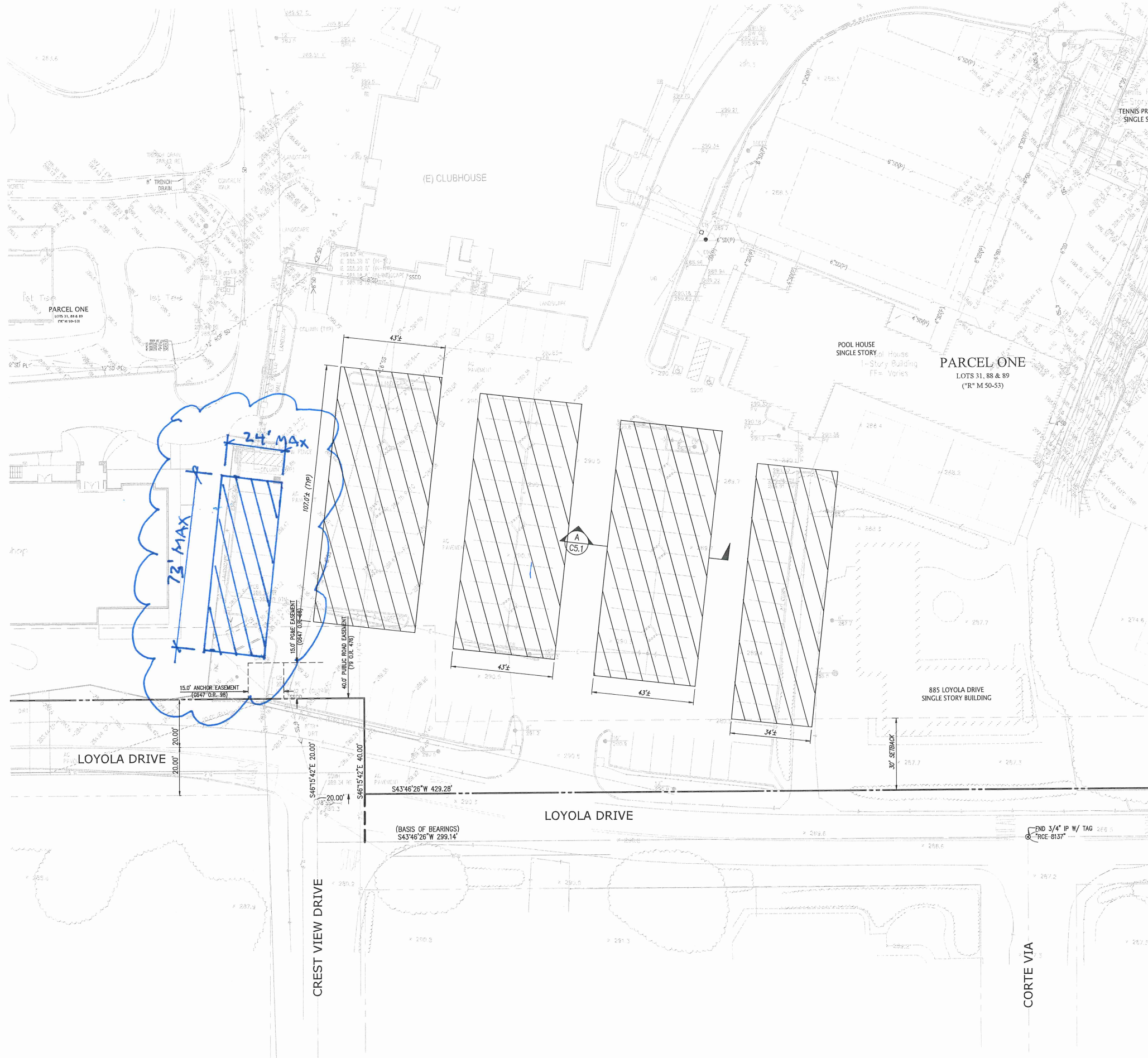
PERMIT SET / CONSTRUCTION ISSUE DATE: XX.XX.XXXX

DRAWING NUMBER:

C3.1

OF 8 SHEETS

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NO.	REVISIONS	BY
1	ARRAY #5	ARRAY
2		
3		
4		
5		
6		
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9		
10		

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ELEVATED CARPORT PV ARRAY PLAN

PROPOSED CARPORT & PV SOLAR OF 1560 COUNTY CLUB DRIVE FOR LOS ALTOS GOLF & COUNTRY LOS ALTOS, CALIFORNIA

DATE: XX.XX.XXXX

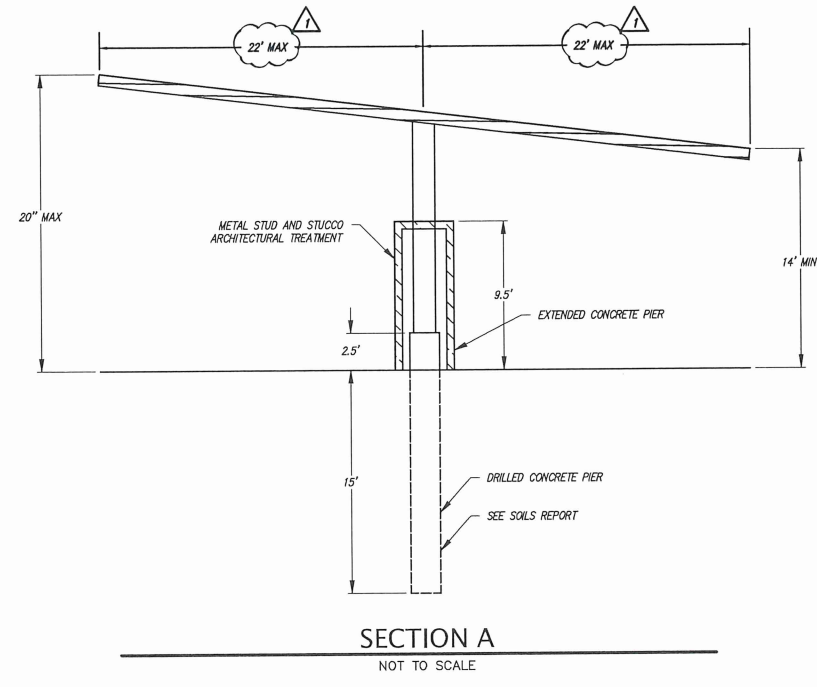
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DATE: XX.XX.XXXX

DRAWING NUMBER: **C4.1**

OF 8 SHEETS

Z:\2024\10145-13\DWG\TITLE\PLANNING SET\A10145-013 - C1 COVER & NOTES.dwg [C:\DETAILS\PLAN - TOWER, August 13, 2024] RILEY MALLER

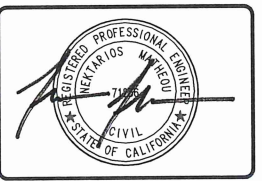


NO.	REVISIONS	BY
1	PLAN CHECK REVISIONS	NW

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SECTION & DETAILS

PROPOSED CARPORT & PV SOLAR
OF
1560 COUNTY CLUB DRIVE
FOR
LOS ALTOS GOLF & COUNTRY
LOS ALTOS, CALIFORNIA

DRAWN BY: TK | CHECKED BY: NW | DEPARTMENT:


ORIGINAL ISSUE
DATE: XX.XX.XXXX

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DATE: XX.XX.XXXX

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DATE: XX.XX.XXXX

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C5.1

OF 8 SHEETS

SYMBOL LEGEND		
SYMBOL	NAME	DESCRIPTION
	PV MODULE	TRINA SOLAR TSM-DEG20C.20

PV SYSTEM SUMMARY TABLE					
Array ID	Inverter ID	Mod Qty.	kW size	Tilt	Azimuth
1	Inv 1 & 4	150	90.00	10°	230°
2	Inv 2 & 4	150	90.00	10°	230°
3	Inv 3 & 4	150	90.00	10°	230°
4	Inv 5	120	72.00	10°	230°
Totals:		570	342		

SYSTEM SUMMARY:
 (570) TRINA SOLAR TSM-DEG20C.20
 (4) SOLECTRIA FVI 50TL (480V)
 (1) SOLECTRIA FVI 25TL-480 (480V)
 342 kWdc, 225 kW AC

NOTE:
 SITE DIMENSIONS DERIVED FROM GOOGLE AERIAL IMAGERY;
 RESOLUTION OF 6". DIMENSIONS PRECISE UP TO 1m (CE-90)

UTILITY ROOM
 MAIN SERVICE PANEL
 & UTILITY METER # 100G727520

MAIN BUILDING

EXTERIOR BLDG WALL
 TRANSFORMER
 UTILITY DISCONNECT

BASEMENT
 SUBPANEL LDP
 & POCC

PV CANOPY
 INVERTER W/ DC DISCONNECT TYP.
 AC COMBINER PANEL
 PV DISCONNECT

PV ARRAY #4

PV ARRAY #3

PV ARRAY #2

PV ARRAY #1

107'-5 1/2" TYP.

43'-1 1/2" TYP.

BUILDING

BUILDING

LOYOLA DRIVE

34'-6"

ARRAY #5



Contractor:
Y ENERGY CONSTRUCTION INC.
 10675 EAST PLEASANT PASTURE DRIVE
 TUCSON, AZ 85747

Project:
 LOS ALTOS GOLF COURSE
 1560 COUNTRY CLUB DR
 LOS ALTOS, CA 94024

Project Details:
 342.00 kWdc, 225.00 kW AC
 AHJ: LOS ALTOS, CITY OF
 APN: 3311125

Engineering Approval:

REVISIONS		
DESCRIPTION	DATE	REV
PFDL/UTILITY LAYOUT	3/1/2023	
5th ARRAY	9-24-24	2

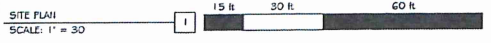
Sheet Title:
SITE PLAN

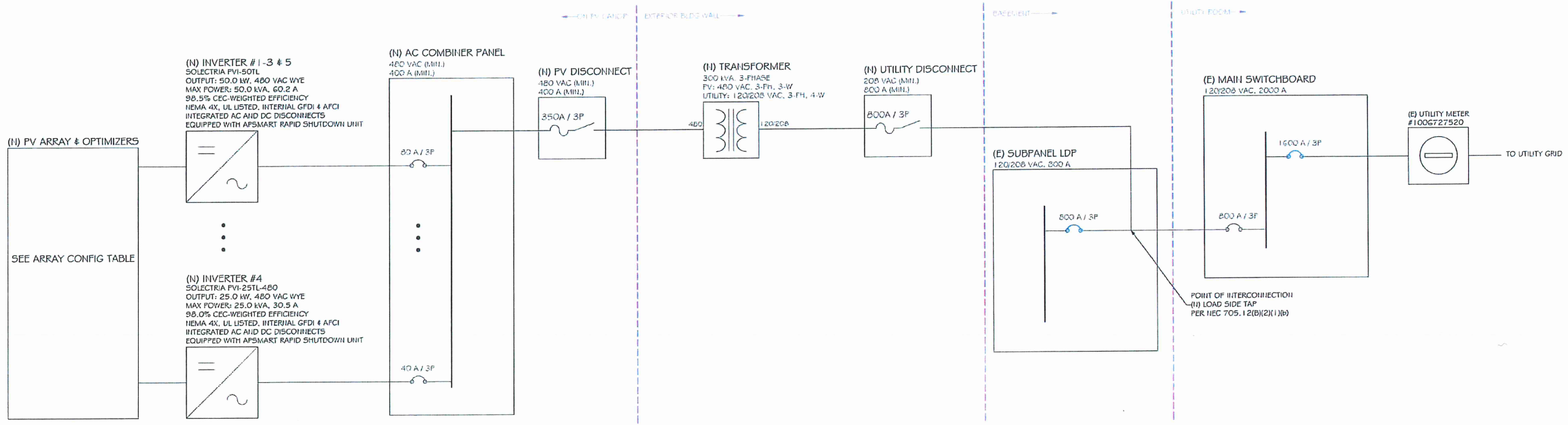
Sheet Number:
A1.0

Sheet Size:
ARCH D - 36" x 24"

Design & Drafting by:

Reviewed & Approved by:
RD





Contractor:
Y ENERGY CONSTRUCTION INC.
 10675 EAST PLEASANT PASTURE DRIVE
 TUCSON, AZ 85747

Project:
 LOS ALTOS GOLF COURSE
 1560 COUNTRY CLUB DR
 LOS ALTOS, CA 94024

Project Details:
 342.00 kWdc, 225.00 kW AC
 AHJ: LOS ALTOS, CITY OF
 APN: 33111125

Engineering Approval:

REVISIONS		
DESCRIPTION	DATE	REV
PRELIMINARY LAYOUT	3/1/2023	1

Array Configuration					
System: 342 kWdc, 225 kW AC					
Total PV Module Qty: 570					
Inverter I.D. #	Inv #1	Inv #2	Inv #3	Inv #4	Inv #5
Inverter AC Power (kW)	50.00	50.00	50.00	25.00	50.00
PV Power (kWdc)	79.20	79.20	79.20	32.40	72.00
Inverter DC:AC Ratio	1.58	1.58	1.58	1.30	1.44
Module Total Qty	132	132	132	54	120
String Qty	2	2	2	2	2
String Length	22	22	22	18	20

PV Module Specifications			
Model Number:	TRINA SOLAR TSM-DEG20C-20		
Weight (lbs):	76.9		
Dimensions (in):	85.5 x 51.3 x 1.3		
Power @ STC (W):	600		
Voc (VDC):	41.7		
Vmp (VDC):	34.5		
Voc Temp Coeff (%/°C):	-0.25		
Vmp (A):	16.42		
Max Voltage (VDC):	1,500		
Isc (A):	17.34		
Module Quantity:	570		

Inverter #1 - 3 & 5 Specifications			
Model Number:	SOLECTRIA PVI 50TL [S11-JUN20]		
Nominal Power (kW AC):	50.00	Max App. Pwr (kVA AC):	55.00
Nominal AC Voltage (V):	480 (3/N/PT)		
Max Output Current (A):	60.2		
CEC Weighted Efficiency:	98.5%		
Maximum DC Voltage (V):	1000	Max Current MPPT A:	36.0
DC Start Voltage (V):	330	Max Current MPPT B:	36.0
Max. MPPT Voltage (V):	850	Max Current MPPT C:	36.0
Min. MPPT Voltage (V):	480		
MPPT Quantity:	3		
Inverter Quantity:	4		

Inverter #4 Specifications			
Model Number:	SOLECTRIA PVI 25TL-480 [S11-JUN20]		
Nominal Power (kW AC):	25.00	Max App. Pwr (kW AC):	25.00
Nominal AC Voltage (V):	480 (3/N/PT)		
Max Output Current (A):	30.5		
CEC Weighted Efficiency:	98.0%		
Maximum DC Voltage (V):	1000	Max Current MPPT A:	45.0
DC Start Voltage (V):	330	Max Current MPPT B:	45.0
Max. MPPT Voltage (V):	850		
Min. MPPT Voltage (V):	560		
MPPT Quantity:	2		
Inverter Quantity:	1		

PV System Maximum Voltage Calculation per NEC 690.7(A)			
Local ASHRAE Min Temp:	0 °C		
Voc Temp Coefficient	25°C	Voc Correction Factor	+1 = 1.063
Voc	41.7	Max # of Modules in Series	22
Corrected Open Circuit Voltage	974.7 Volts DC		

CEC Rating Calculation			
Module PTC Rating (W)	No. of Modules	Average Inverter CEC Efficiency	CEC System Size
566.4 W	570	98.4%	317.68 kW AC

120% Rule Calculation per NEC 705.12(B)(2)(3)(b)			
Main Busbar Rating:	2000 Amps		
Main Service Breaker Rating:	1600 Amps		
PV Backfeeding Current:	783 Amps		
BUSBAR x 120% - MAIN BREAKER =	MAX ALLOWABLE PV CURRENT		
2400 - 1600 =	800		

PV-side AC System Summary			
NOMINAL SYSTEM VOLTAGE:	480 Volts AC		
MAX CURRENT PER 690.8(A):	271 Amps		
MAX CURRENT PER 690.8(B):	339 Amps		

Transformer Calculations			
PV Voltage:	480 VAC	Util. Voltage:	208 VAC
PV Current:	271.3 Amps	Util. Current:	626.1 Amps
Minimum Transformer kVA Rating:	300.0 kVA		

Utility-side AC System Summary			
NOMINAL SYSTEM VOLTAGE:	208 Volts AC		
MAX CURRENT PER 690.8(A):	626 Amps		
MAX CURRENT PER 690.8(B):	783 Amps		

Sheet Title:
BLOCK DIAGRAM & EQUIPMENT SPECS

Sheet Number:
E3.0.1

Sheet Size:
ARCH D - 36" x 24"

Design & Drafting by:

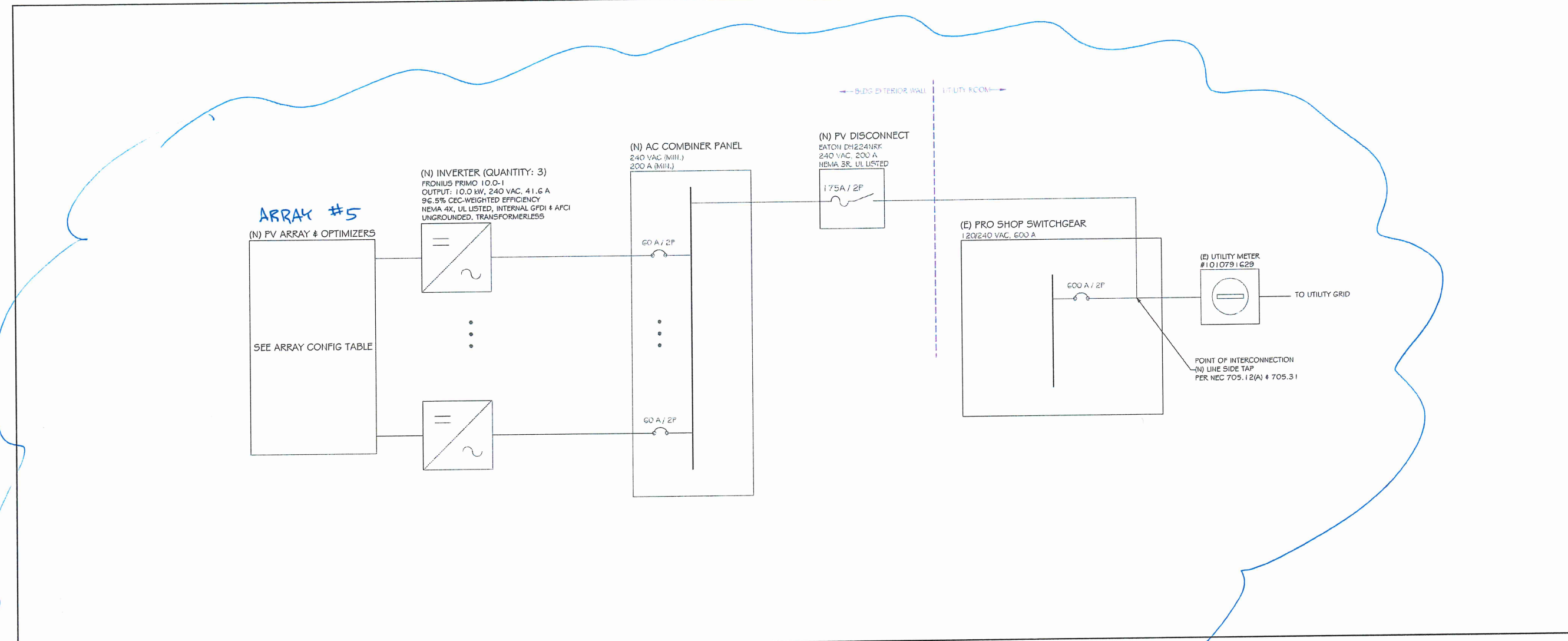
Reviewed & Approved by:
 RD

Contractor:
Y ENERGY CONSTRUCTION INC.
 10675 EAST PLEASANT PASTURE DRIVE
 TUCSON, AZ 85747

Project:
 LOS ALTOS GOLF COURSE
 1560 COUNTRY CLUB DR
 LOS ALTOS, CA 94024

Project Details:
 39.60 kWstc, 30.00 kW AC
 AHJ: LOS ALTOS, CITY OF
 APN: 33111125

Engineering Approval:



Array Configuration			
System: 39.6 kWstc, 30 kW AC			
Total PV Module Qty: 66			
Inverter I.D.#	Inv #1	Inv #2	Inv #3
Inverter AC Power (kW)	10.00	10.00	10.00
PV Power (kWstc)	12.00	13.20	14.40
Inverter DC:AC Ratio	1.20	1.32	1.44
Module Total Qty:	20	22	24
String Qty:	1	1	1
String Length:	10	11	14
Max Open Circuit Voltage:	443	487	620
Min Open Circuit Voltage:	375	413	525
Max Operating Voltage:	343	377	480
Min Operating Voltage:	311	348	436
Max Short Circuit Current:	23.0	23.0	23.0
Operating Current:	17.3	17.3	17.3

PV Module Specifications	
Model Number:	TRINA SOLAR TSM-DEG20C.20
Weight (lbs):	76.9
Dimensions (in):	85.5 x 51.3 x 1.3
Power @ STC (W):	600
Voc (VDC):	41.7
Vmp (VDC):	34.6
Voc Temp Coeff (%/°C):	-0.25
Isc (A):	18.42
Max Voltage (VDC):	1,500
Imp (A):	17.34
Module Quantity:	66

PV System Maximum Voltage Calculation per NEC 690.7(A)			
Local ASHRAE Min Temp:	0 °C	Data Source:	MOUNTAIN VIEW MOFFETT FLD NAS
Voc Temp Coefficient	25°C + 1 =	Voc Correction Factor	1.063
Max # of Modules in Series	14	Temperature Corrected Open Circuit Voltage	628.3 Volts DC

AC System Summary	
NOMINAL SYSTEM VOLTAGE:	240 Volts AC
MAX CURRENT PER 690.8(A):	125 Amps
MAX CURRENT PER 690.8(B):	156 Amps

CEC Rating Calculation			
Module PTC Rating (W)	566.4 W	No. of Modules	66
Average Inverter CEC Efficiency	96.5%	CEC System Size	36.07 kW AC

Inverter #1 - #3 Specifications	
Model Number:	FRONIUS PRIMO 10.0-1 (S13-JUN20)
Nominal Power (kW AC):	10.00
Nominal AC Voltage (V):	240 (2/N/PE)
Max Output Current (A):	41.6
CEC Weighted Efficiency:	96.5%
Maximum DC Voltage (V):	1000
DC Start Voltage (V):	80
Max. MPPT Voltage (V):	800
Min. MPPT Voltage (V):	220
MPPT Quantity:	2
Inverter Quantity:	3

REVISIONS		
DESCRIPTION	DATE	REV
PRELIMINARY LAYOUT	3/1/2023	1
	5/21/24	

Sheet Title:
BLOCK DIAGRAM & EQUIPMENT SPECS

Sheet Number:
E3.0.1 A

Sheet Size:
ARCH D - 36" x 24"

Design & Drafting by:
 Alexander

Reviewed & Approved by:
 RD

Attachment E

Color and Materials Board

1560 Country Club Dr, Los Altos
Project Address
331-22-125, 331-08-005

PLN24-113
Project File Number

APN

Color/Materials Board*

Roof

N/A (PV Solar panels over steel frame)

Manufacture & Material
Product Name, Number

(insert sample here)

Door & Window Frames, Railings

N/A

Manufacture / Number
Color Name, LRV

(insert sample here)

Trim

N/A

Manufacture / Number
Color Name, LRV

(insert sample here)

Exterior Walls

N/A

Manufacture / Number
Color Name, LRV

(insert sample here)

Architectural Accents (Ex. Stone Veneer)

Stucco on Pilasters over Structural Columns

Manufacture / Number
Color Name, LRV Benjamin Moore CC-428
Goose Down, 70.37

()

Retaining Walls

N/A

Manufacture / Number
Color Name, LRV

(insert sample here)

*This information shall also be provided on the elevation drawings in the plans.

Attachment F

Permit History of Los Altos Golf and Country Club

Chronology of Los Altos Country Club

Date Approved & Approving Body	File Number	Permit Type (UP=Use Permit; ASA= Architectural and Site Approval)	Description
1923 – Prior to County permit requirement	n/a	n/a	Los Altos Golf and Country Club was founded
1966 – Planning Commission	4P66.2	UP	New dining room, a new pro-shop replacing existing buildings and to convert the old pro-shop to a snack bar
1981 – ASA Committee	1427-81A	ASA	Addition to Country Club
1988 – ASA Committee	1427-88A	ASA	Construct pro shop
1990 & 1991 – Planning Commission	1427-90A-91P-90A2	UP Modification	Clubhouse renovation and expansion. Clubhouse was increased from 24,500 s.f. to 34,800 s.f. in size, with parking and other associated improvements.
1996 – ASA Committee	1427-96A	ASA	Reconfigure existing tennis courts and adding additional tennis courts.
1998	1427-98A	ASX	1,000 s.f. addition to the clubhouse.
2001	1427-01G-01EA	Grading Permit	Major renovation and realignment of the 18-hole golf course.
2004 – ASA Committee	1427-04A	ASA	Tennis court lighting to be installed exceeding the height restriction.
2006 – ASA Committee	1427-06A	ASA	Renovation of existing pool, pool house and locker room.

2011 – Planning Commission	1427-11P-11A-11G	UP and ASA Modification, Grading Permit	Expansion of existing clubhouse
2019 – Zoning Administrator	11471-18ASA-18G	ASA, G	New 15,000 s.f. Pro Shop
2024 – Zoning Administrator	PLN24-113	ASA	5 new photovoltaic solar array carport structures

Note: The above list may not be comprehensive and may not include all related/approved events and activities on-site.