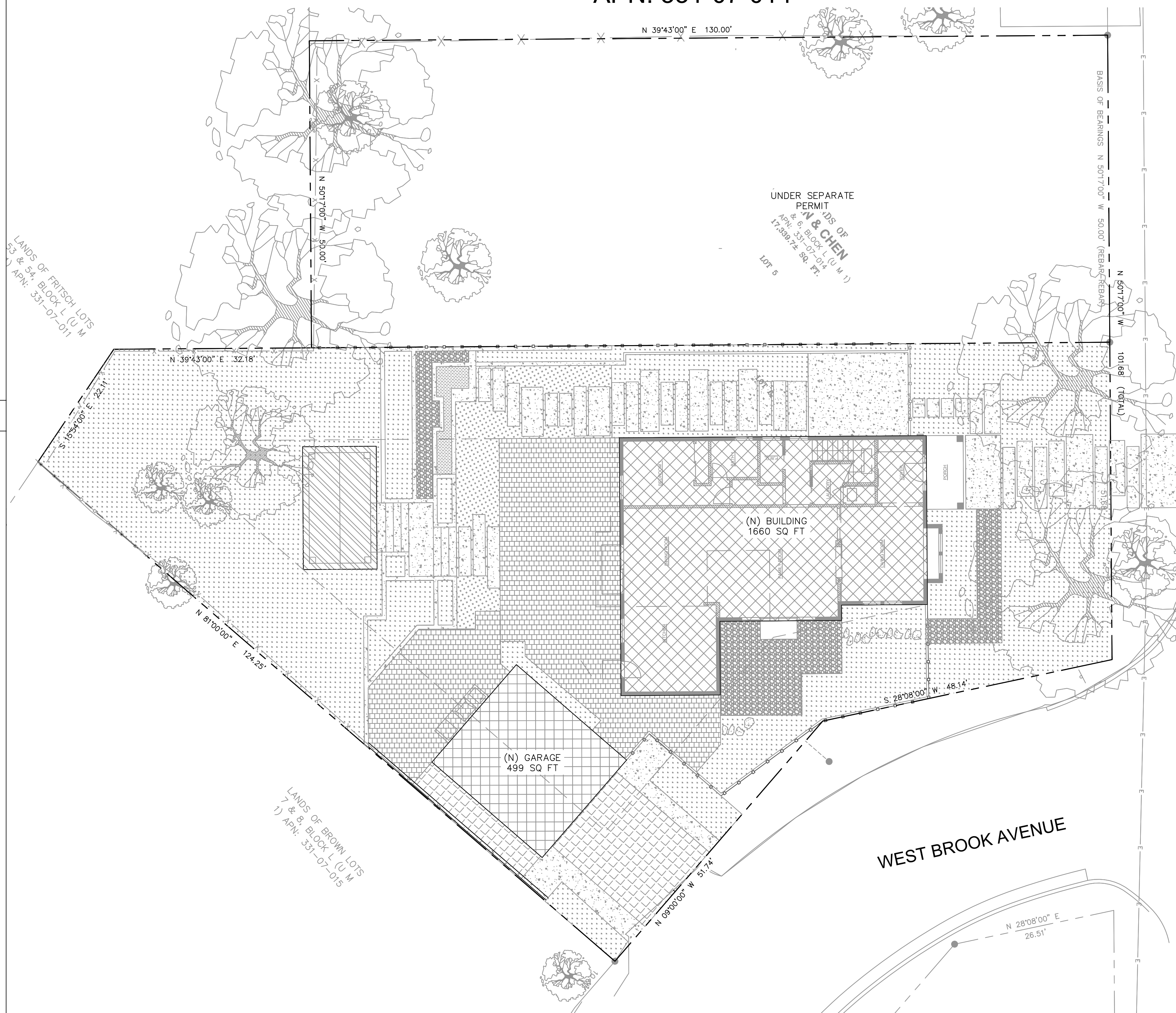


**LEGEND**

- PROPERTY BOUNDARY
- SETBACK LINE
- [Hatched Box] (N) BUILDING
- [Stippled Box] CONCRETE
- [Dotted Box] (N) LANDSCAPE
- [Diagonal Lines Box] (N) GARAGE
- [Cross-hatched Box] (N) ARTIFICIAL TURF
- [Gravel Box] (N) GRAVEL AREA
- [Square with X] (N) GOOD NEIGHBOR FENCE
- (EX) ELEC. LINE
- (EX) FENCE

# GRADING AND DRAINAGE PLAN FOR

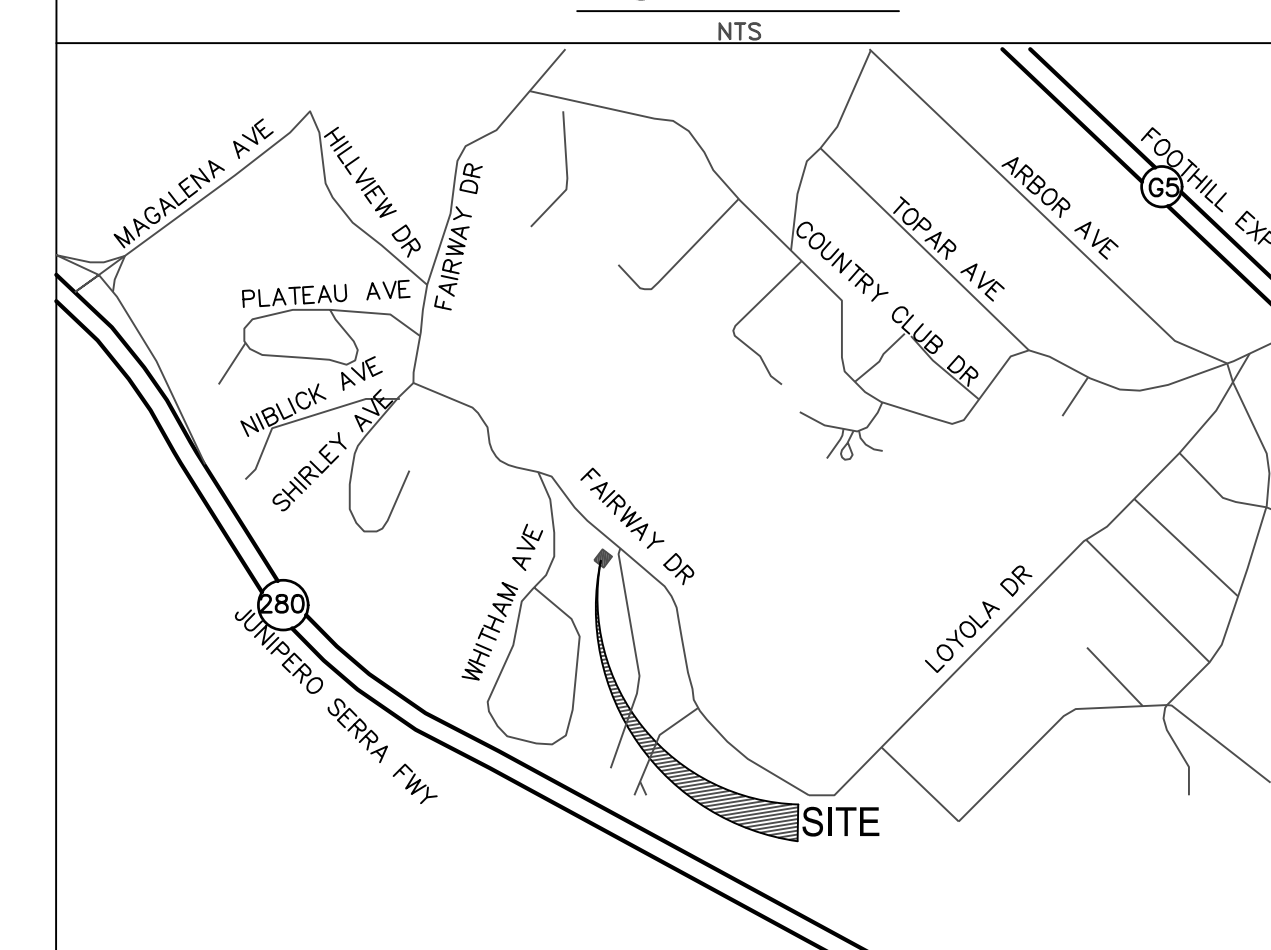
## 1675 FAIRWAY DR LOS ALTOS, CA 9402 APN: 331-07-014



**ABBREVIATIONS**

- A.P.N. ASSESSOR'S PARCEL NUMBER
- AD AREA DRAIN
- CO CLEAN OUT
- CB CATCH BASIN
- CONC CONCRETE
- E EAST
- ELEV ELEVATION
- EX EXISTING
- FF FINISHED FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- HP HIGH POINT
- INV INVERT
- (N) NEW
- P.L. PROPERTY LINE
- SS SANITARY SEWER
- SD STORM DRAIN
- SW SIDEWALK
- TW TOP OF WALL
- 12" TREE TREE W/SIZE
- W WATER LINE
- WM WATER METER
- WV WATER VALVE
- +/- PLUS OR MINUS (NOT EXACT)
- W/ WITH

**VICINITY MAP**



**SHEET INDEX (CIVIL)**

G-1.0	COVER SHEET
T-1.0	TOPOGRAPHIC BOUNDARY SURVEY
C-1.0	DEMOLITION PLAN
C-2.0	SITE IMPROVEMENT PLAN
C-3.0	GRADING AND DRAINAGE PLAN
C-3.1	SITE SECTION
C-4.0	EROSION AND SEDIMENT CONTROL PLAN

**PROPERTY DETAILS**

APN	331-07-014
AREA	0.40 AC
ZONING	R1-20-n1
ADDRESS	1675 FAIRWAY DR LOS ALTOS, CA 94024

**PROJECT DIRECTORY**

**APPLICANT:**

JESSE PAN,  
1675 FAIRWAY DRIVE  
LOS ALTOS, CA 94024  
EMAIL: - jpan@me.com

**CIVIL ENGINEER**

MANJIT SAINI, PE,  
INDER DESIGN BUILD LLC (DBA IENGCO)  
597 ROUGH AND READY RD  
SAN JOSE, CA 95133  
Phone: -(408) 313-5400  
Email: - manjit.saini@iengco.com

**NOTE TO CONTRACTOR:**

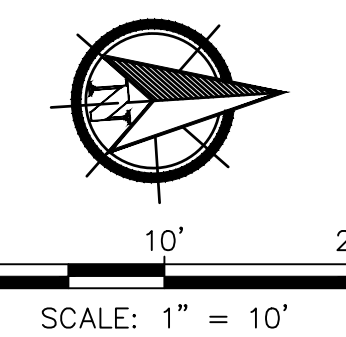
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**UNAUTHORIZED CHANGES & USES:**

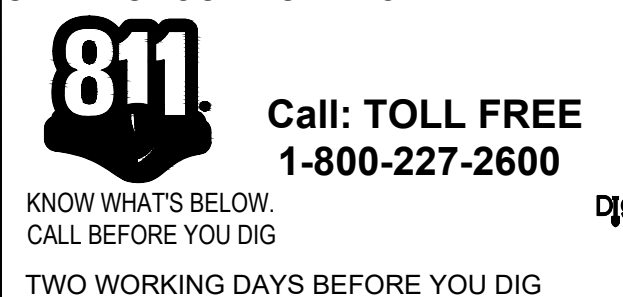
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**TOPOGRAPHIC AND BOUNDARY SURVEY**

TOPOGRAPHIC AND BOUNDARY SURVEY COMPLETED BY OTHERS SEE SHEET T-1.0.



**UNDERGROUND SERVICE ALERT**



NO.	BY	DATE

PREPARED BY:

PREPARED FOR:

**GRADING AND DRAINAGE PLAN FOR  
1675 FAIRWAY DR  
LOS ALTOS, CA 9402  
APN: 331-07-014**

TITLE:

**COVER SHEET**

DATE:	02/20/2024	SHEET NO. <b>G-1.0</b>
DESIGNED BY:	P. SINGH	
DRAWN BY:	A. SINGH	
CHECKED BY:	M. SAINI	
APPROVED BY:	M. SAINI	



LEGEND	
	PROPERTY BOUNDARY
	EX BUILDING
	EX CONCRETE
	EX TREE
	REMOVE EX TREE
	(EX) ELEC. LINE
	(EX) FENCE
	(EX) WOOD RETAINING WALL

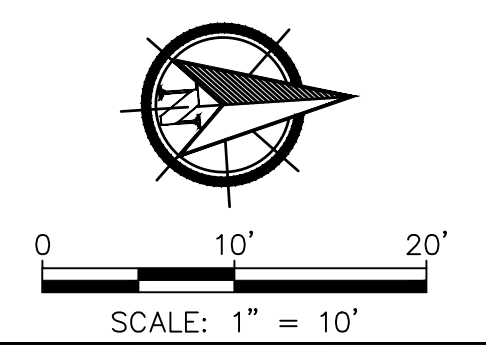
DEMOLITION KEY PLAN NOTES	
①	DEMO EX BUILDING.
②	DEMO EX CONC. PAVER PATIO.
③	DEMO EX PLASTIC STORAGE SHED.
④	DEMO EX CONC. DRIVEWAY AND RIVER ROCKS.
⑤	DEMO EX CONC. WALKWAY.
⑥	DEMO EX GRAVEL PARKING AREA.
⑦	DEMO EX GARAGE.
⑧	REMOVE EX TREE.
⑨	REMOVE EX WOOD RETAINING WALL.
⑩	REMOVE EX WOOD PRIVACY FENCE.
⑪	DEMO EX PLANTER AREA.

PROTECT SITE FACILITIES	
Ⓟ1	EX TREE TO REMAIN. PROTECT IN PLACE.
Ⓟ2	EX WOOD PRIVACY FENCE TO REMAIN. PROTECT IN PLACE.

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NO.	BY	DATE

PREPARED BY:

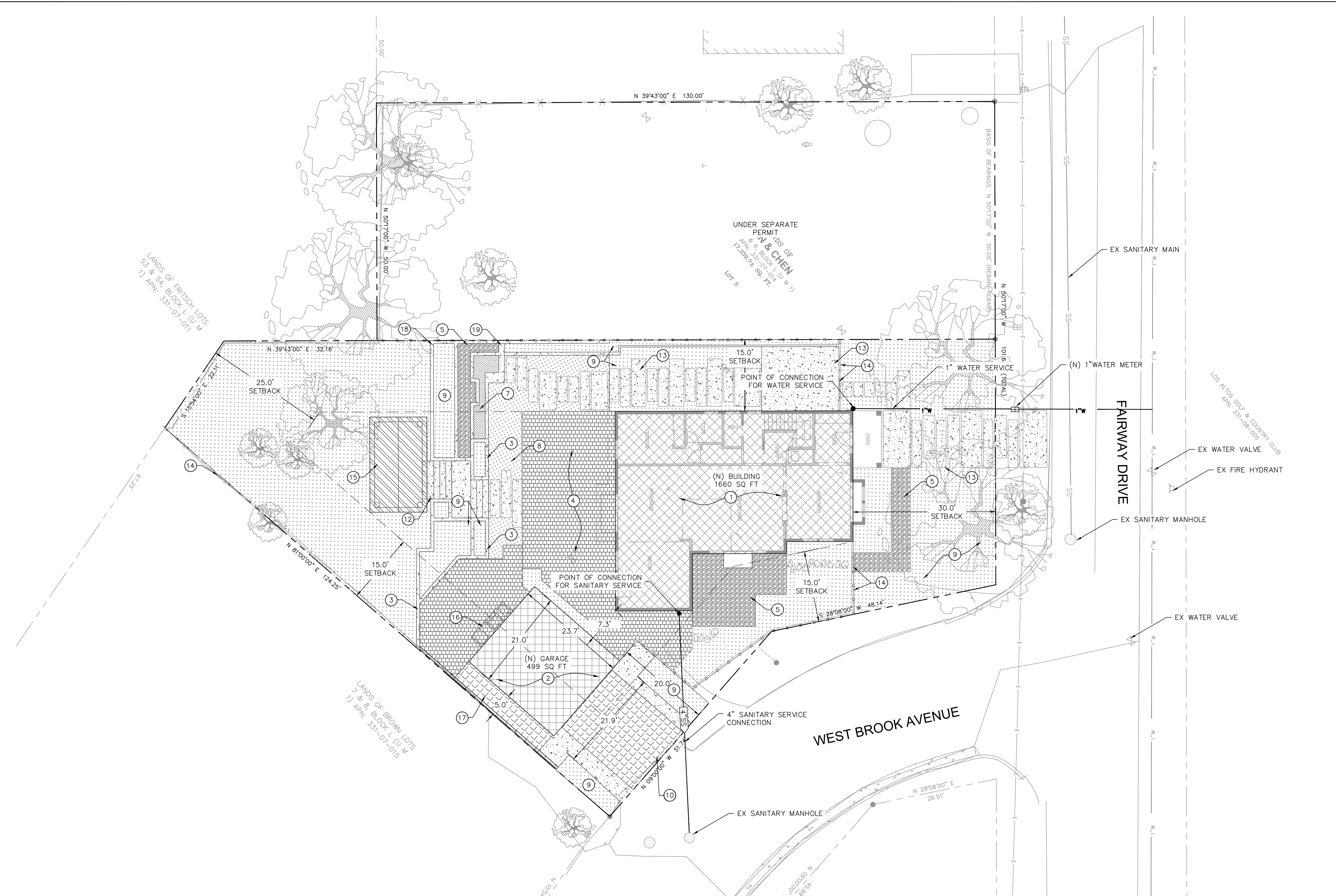
PREPARED FOR:  
**GRADING AND DRAINAGE PLAN FOR**  
**1675 FAIRWAY DR**  
**LOS ALTOS, CA 9402**  
**APN: 331-07-014**

TITLE:  
**DEMOLITION PLAN**

DATE:	02/20/2024
DESIGNED BY:	P. SINGH
DRAWN BY:	A. SINGH
CHECKED BY:	M. SAINI
APPROVED BY:	M. SAINI

SHEET NO.  
**C-1.0**





**LEGEND**

- PROPERTY BOUNDARY
- SETBACK LINE
- (N) BUILDING
- CONCRETE
- (N) LANDSCAPE
- (N) GARAGE
- (N) ARTIFICIAL TURF
- (N) GRAVEL AREA
- (N) GOOD NEIGHBOR FENCE
- (EX) ELEC. LINE
- (EX) FENCE

**KEY PLAN NOTE**

- ① BUILDING 1660 SQ FT.
- ② GARAGE 499 SQ FT.
- ③ 24" HEIGHT CONCRETE RETAINING WALL.
- ④ BACKYARD PATIO.
- ⑤ GRAVEL AREA.
- ⑥ LANDSCAPE AREA.
- ⑦ POND.
- ⑧ ARTIFICIAL TURF.
- ⑨ LANDSCAPE AREA.
- ⑩ PERMEABLE PAVER DRIVEWAY.
- ⑪ STEPPING STONE.
- ⑫ STAIRCASE (7) RISERS, 6" HEIGHT.
- ⑬ CONCRETE PAD.
- ⑭ 6' HEIGHT GOOD NEIGHBOR FENCE. 4' WIDE WOOD GATE.
- ⑮ GAZEBO 12'X20' SET WITH 4 POTS.
- ⑯ BACKYARD OUTDOOR KITCHEN/ BBQ.
- ⑰ PERMEABLE PAVER SIDE PATH.
- ⑱ 36" HEIGHT RETAINING WALL.
- ⑲ WATER FEATURE EDGER.

**UTILITY CONSTRUCTION NOTES**

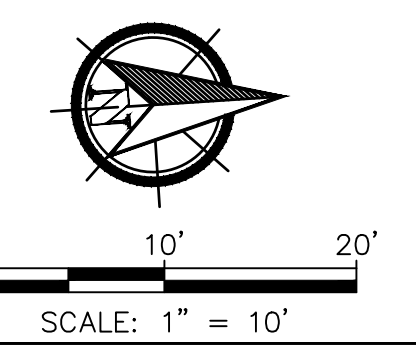
1. CONTRACTOR TO VERIFY THE LOCATION/DIA/SIZE OF EX WATER METER & SANITARY MAIN FOR CONNECTION PRIOR TO THE TIME OF CONSTRUCTION.
2. ALL UTILITY WORK SHALL CONFIRM TO THE STANDARDS OF THE RESPECTIVE AGENCY.
3. ALL OFFSITE CONSTRUCTION IS EXISTING AND TO REMAIN UNLESS NOTED OTHERWISE.
4. LANDSCAPE SHOWN HEREON IS FOR REFERENCE ONLY. REFER LANDSCAPE PLAN.
5. REUSE EX GAS METER FOR NEW BUILDING.

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TWO WORKING DAYS BEFORE YOU DIG

NO.	BY	DATE

PREPARED BY:

PREPARED FOR:

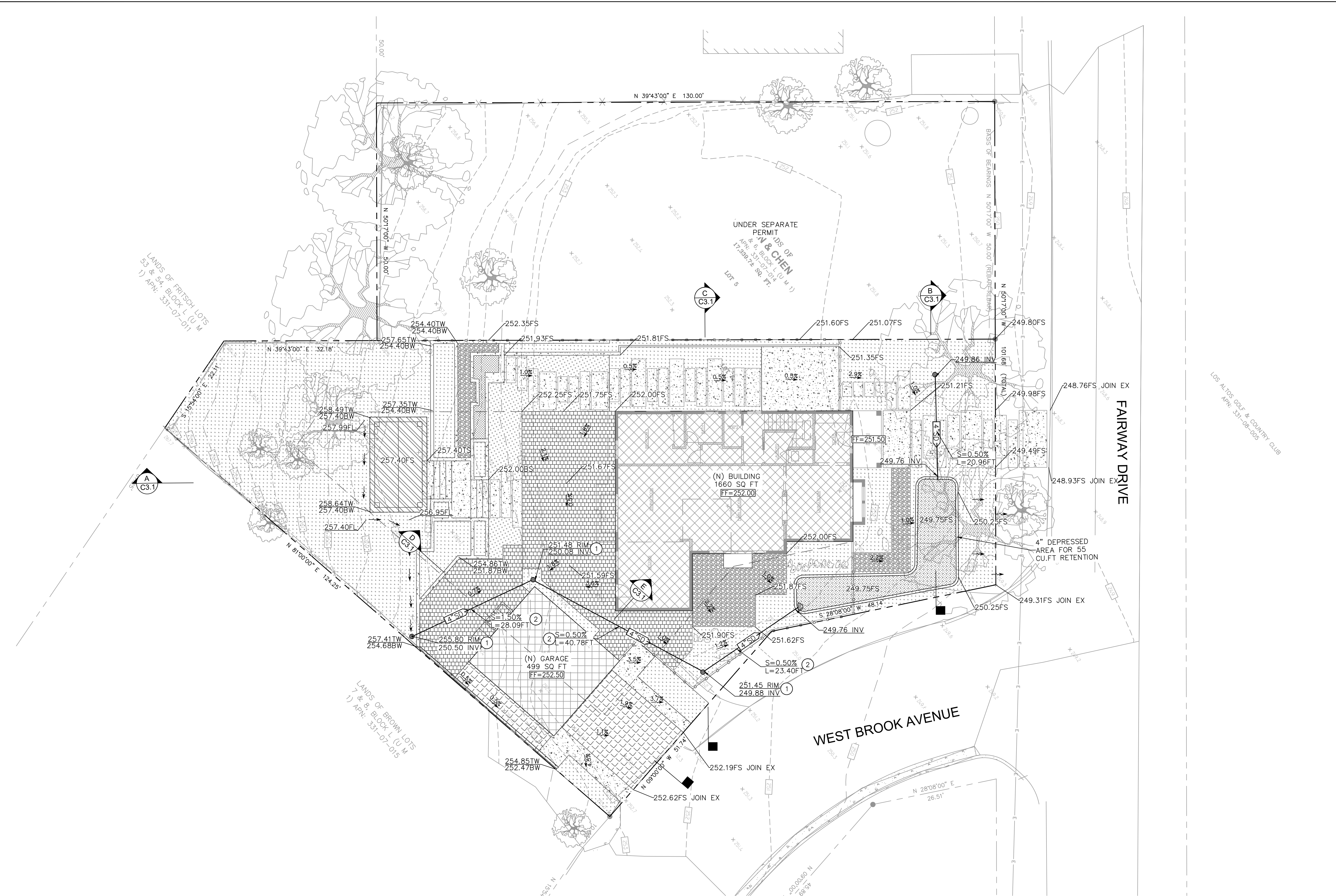
**GRADING AND DRAINAGE PLAN FOR  
 1675 FAIRWAY DR  
 LOS ALTOS, CA 9402  
 APN: 331-07-014**

TITLE:

**SITE IMPROVEMENT PLAN**

DATE:	02/20/2024	SHEET NO.  <b>C-2.0</b>
DESIGNED BY:	P. SINGH	
DRAWN BY:	A. SINGH	
CHECKED BY:	M. SAINI	
APPROVED BY:	M. SAINI	





### LEGEND

	PROPERTY BOUNDARY
	SETBACK LINE
	(N) BUILDING
	CONCRETE
	(N) LANDSCAPE
	(N) ARTIFICIAL LAWN
	(N) GRAVEL AREA
	(N) GOOD NEIGHBOR FENCE
	(EX) ELEC. LINE
	(EX) FENCE
	SLOPE AND DIRECTION OF FLOW
	(N) ELEVATION
	SWALE ARROW
	BOTTOM OF STEP
	TOP OF STEP

### KEY PLAN NOTES

- 6" NDS GRATED INLET OR EQUIVALENT. TOP OF GRATE AND INVERT ELEVATIONS PER PLANS.
- INSTALL PVC SDR35 STORM DRAIN PIPE. LENGTH AND SLOPE PER PLAN.

### EARTH WORK QUANTITIES

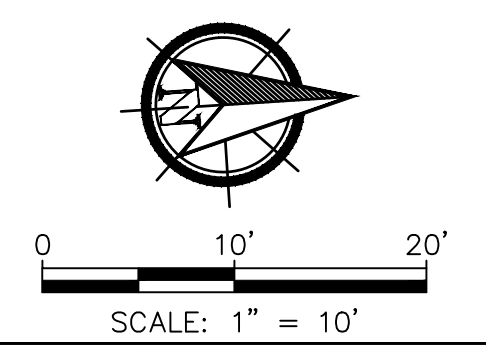
CUT:	328 CY
FILL:	5 CY
EXPORT:	323 CY
IMPORT:	0 CY

NOTE: THE QUANTITIES AS SHOWN HEREON ARE FOR PERMIT AND/OR BONDING PURPOSES ONLY. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF QUANTITIES PRIOR TO THE START OF GRADING AND ACCOUNT FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLYING AND DEFICIENCIES TO BRING SITE TO DESIGN GRADE.

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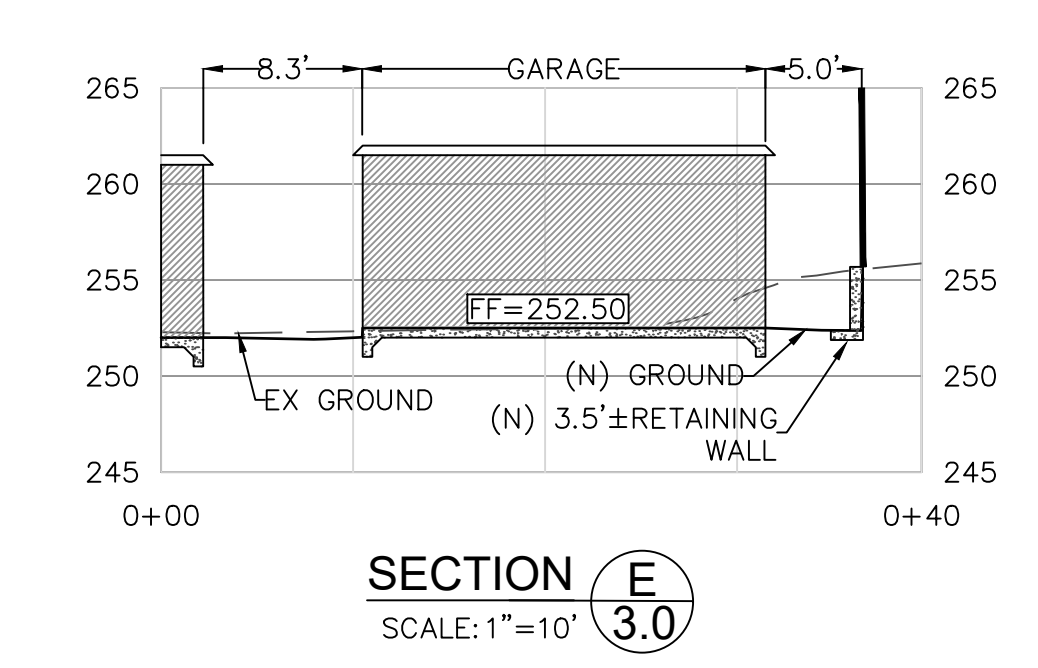
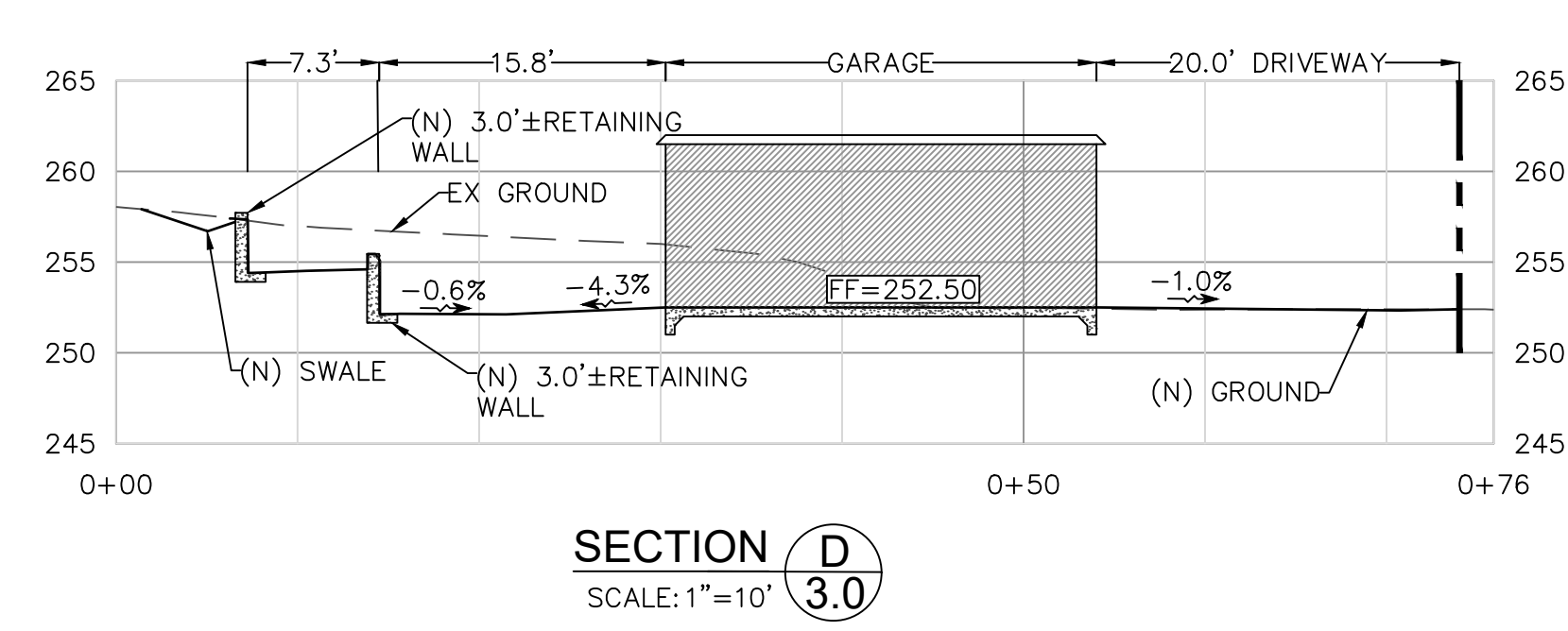
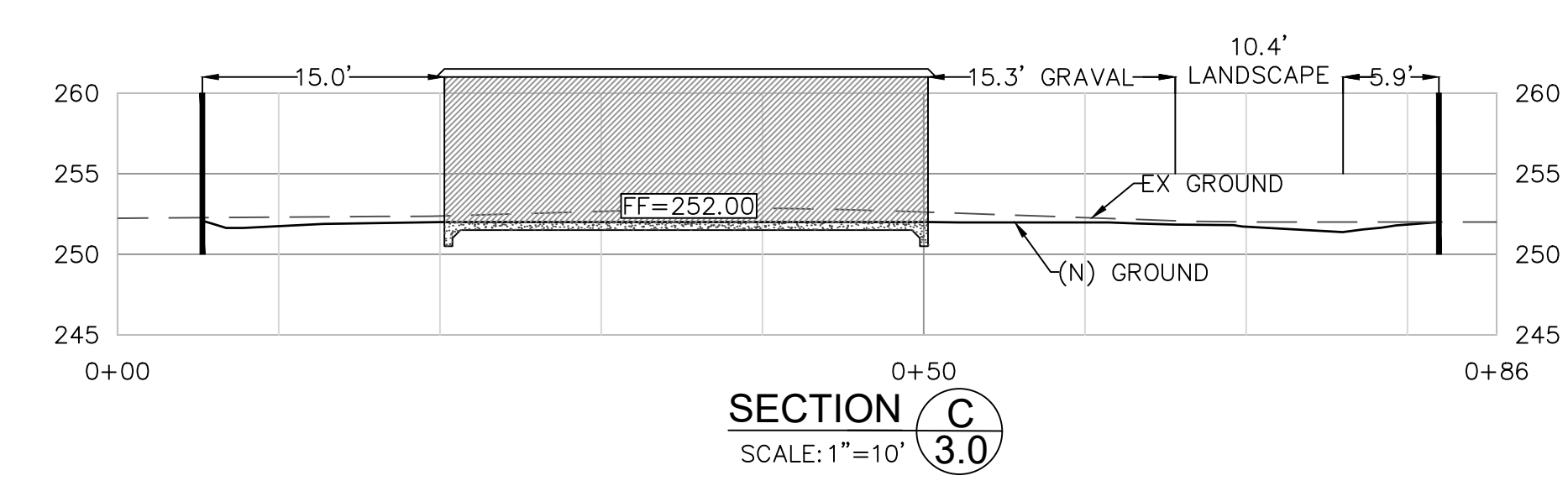
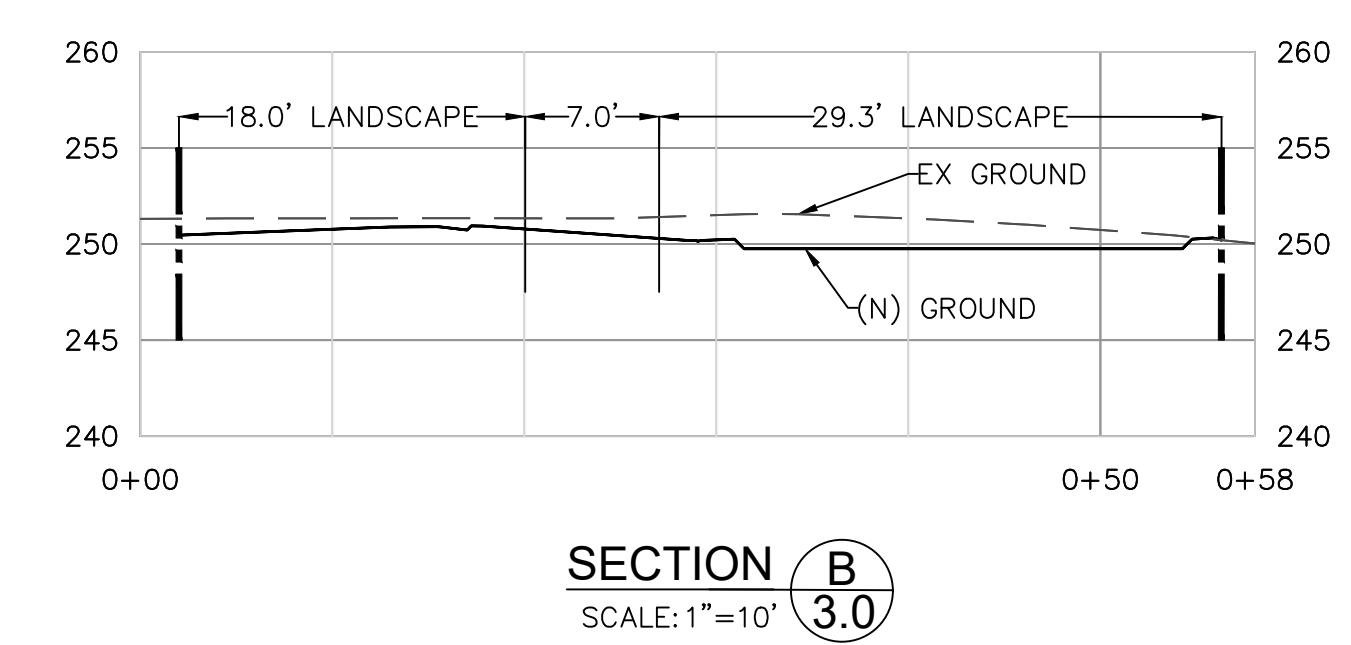
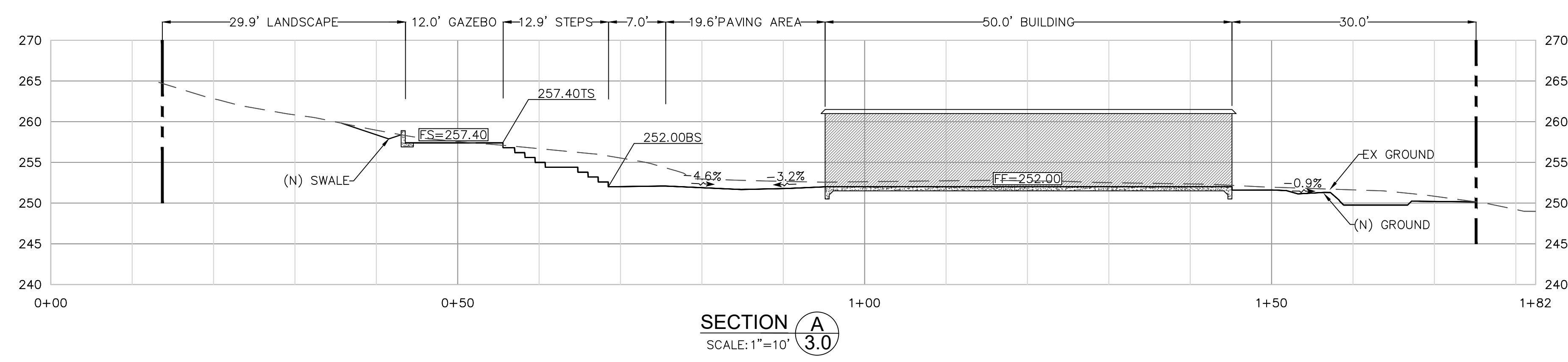
NO.	BY	DATE

PREPARED BY:

PREPARED FOR:  
**GRADING AND DRAINAGE PLAN FOR**  
**1675 FAIRWAY DR**  
**LOS ALTOS, CA 9402**  
**APN: 331-07-014**

TITLE:  
**GRADING AND DRAINAGE PLAN**

DATE:	02/20/2024	SHEET NO. <b>C-3.0</b>
DESIGNED BY:	P. SINGH	
DRAWN BY:	A. SINGH	
CHECKED BY:	M. SAINI	
APPROVED BY:	M. SAINI	



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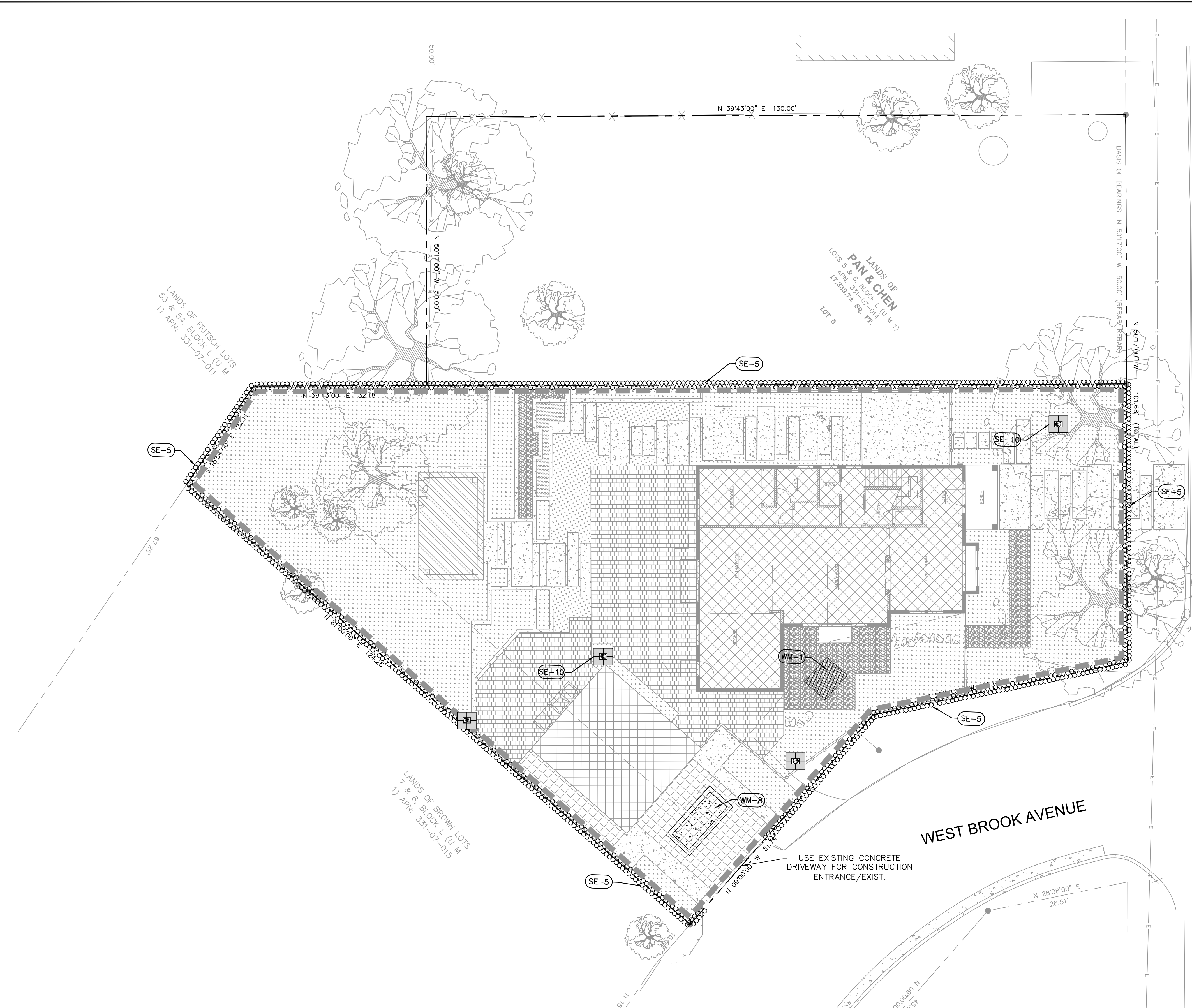
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TITLE:  
**SECTION**


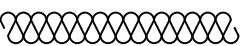

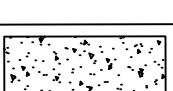

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DRAWN BY:	A. SINGH
CHECKED BY:	M. SAINI
APPROVED BY:	M. SAINI

SHEET NO.  
**C-3.1**





**BMP LEGEND**

-  DISTURBED AREA
-  FIBRE ROLL (SE-5)
-  MATERIAL STORAGE (WM-1)
-  CONCRETE WASHOUT AREA (WM-8)
-  STORM DRAIN INLET PROTECTION (SE-10)

**BMP REFERENCE ID**

SEDIMENT CONTROL	CASQA ID
FIBRE ROLLS	SE-5
INLET SEDIMENT CONTROL	SE-10

WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL	CASQA ID
MATERIAL DELIVERY AND STORAGE	WM-1
CONCRETE WASHOUT AREA	WM-8

**NOTE:**  
FOR DETAILS ON CONSTRUCTION AND IMPLEMENTATION OF BMPs REFER CASQA MANUAL 2009

TOTAL AREA DISTURBED: 0.24 ACRES

BMPs	MAINTENANCE
FIBER ROLL	<ol style="list-style-type: none"> <li>REPAIR OR REPLACE SPLIT, TORN, UNRAVELING, OR SLUMPING FIBER ROLLS.</li> <li>IF THE FIBRE ROLL IS USED AS A SEDIMENT CAPTURE DEVICE, OR AS AN EROSION CONTROL DEVICE TO MAINTAIN SHEET FLOWS, SEDIMENT THAT ACCUMULATES IN THE BMP SHOULD BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-THIRD THE DESIGNATED STORAGE DEPTH.</li> </ol>
MATERIAL & WASTE DISPOSAL LOCATION	<ol style="list-style-type: none"> <li>INSPECT SITE ON A WEEKLY BASIS TO EXAMINE CONSTRUCTION MATERIALS ARE PROPERLY STORED AND WASTE IS PROPERLY DISPOSED TO PREVENT WATER POLLUTION.</li> </ol>
CONCRETE WASHOUTS	<ol style="list-style-type: none"> <li>TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4IN. FOR ABOVE GRADE FACILITIES, MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION. HARDENED CONCRETE MATERIALS SHOULD BE REMOVED AND PROPERLY DISPOSED OR RECYCLED IN ACCORDANCE WITH FEDERAL, STATE OR LOCAL REGULATIONS.</li> <li>CONCRETE WASHOUTS SHALL BE CLEANED WHEN THE WASTE VOLUME IN THE WASHOUT REACHES 75 PERCENT OF CAPACITY.</li> <li>INSPECT WASHOUT FACILITIES FOR DAMAGE (E.G. TORN LINER, EVIDENCE OF LEAKS, SIGNAGE, ETC.). REPAIR ALL IDENTIFIED DAMAGE.</li> </ol>
INLET SEDIMENT CONTROL	<ol style="list-style-type: none"> <li>INLET SEDIMENT CONTROL DEVICES SHALL BE KEPT IN GOOD REPAIR. MATERIAL SPILLING FROM SEDIMENT CONTROL DEVICES SHALL BE CLEANED UP AND DEVICE REPAIRED OR REPLACED IMMEDIATELY.</li> <li>INSPECTION OF DEVICES SHALL BE WEEKLY AND PRIOR TO PREDICTED RAINFALL AND AFTER THE RAINFALL EVENT. SEDIMENT REMOVED FROM SEDIMENT DEVICES DURING MAINTENANCE OPERATIONS SHALL BE DISPOSED OF PROPERLY.</li> </ol>

**NOTES**

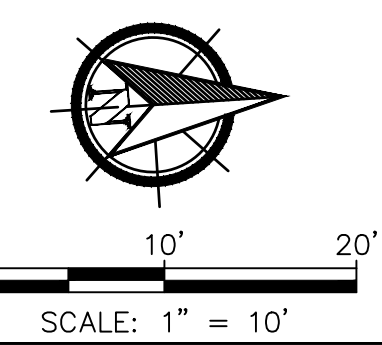
ALL EROSION CONTROL BMPs SHALL BE IN PLACE PRIOR TO ANY STORM EVENTS.

**NOTE TO CONTRACTOR:**  
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON. IF THE CONTRACTOR ENCOUNTERS ANY DISCREPANCIES, CONFLICTS OR AREAS WHICH HE FEELS UNWORKABLE, HE SHALL NOTIFY THE GRADING ENGINEER IMMEDIATELY PRIOR TO CONTINUING OR DEVIATING FROM THIS PLAN.

**UNAUTHORIZED CHANGES & USES:**  
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

**TOPOGRAPHIC AND BOUNDARY SURVEY**

TOPOGRAPHIC AND BOUNDARY SURVEY COMPLETED BY OTHERS SEE SHEET T-1.0.



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TWO WORKING DAYS BEFORE YOU DIG

NO.	BY	DATE

PREPARED BY:



PREPARED FOR:

**GRADING AND DRAINAGE PLAN FOR**  
1675 FAIRWAY DR  
LOS ALTOS, CA 9402  
APN: 331-07-014

TITLE:

**EROSION AND SEDIMENT CONTROL PLAN**

DATE:	02/20/2024	SHEET NO. <b>C-4.0</b>
DESIGNED BY:	P. SINGH	
DRAWN BY:	A. SINGH	
CHECKED BY:	M. SAINI	
APPROVED BY:	M. SAINI	