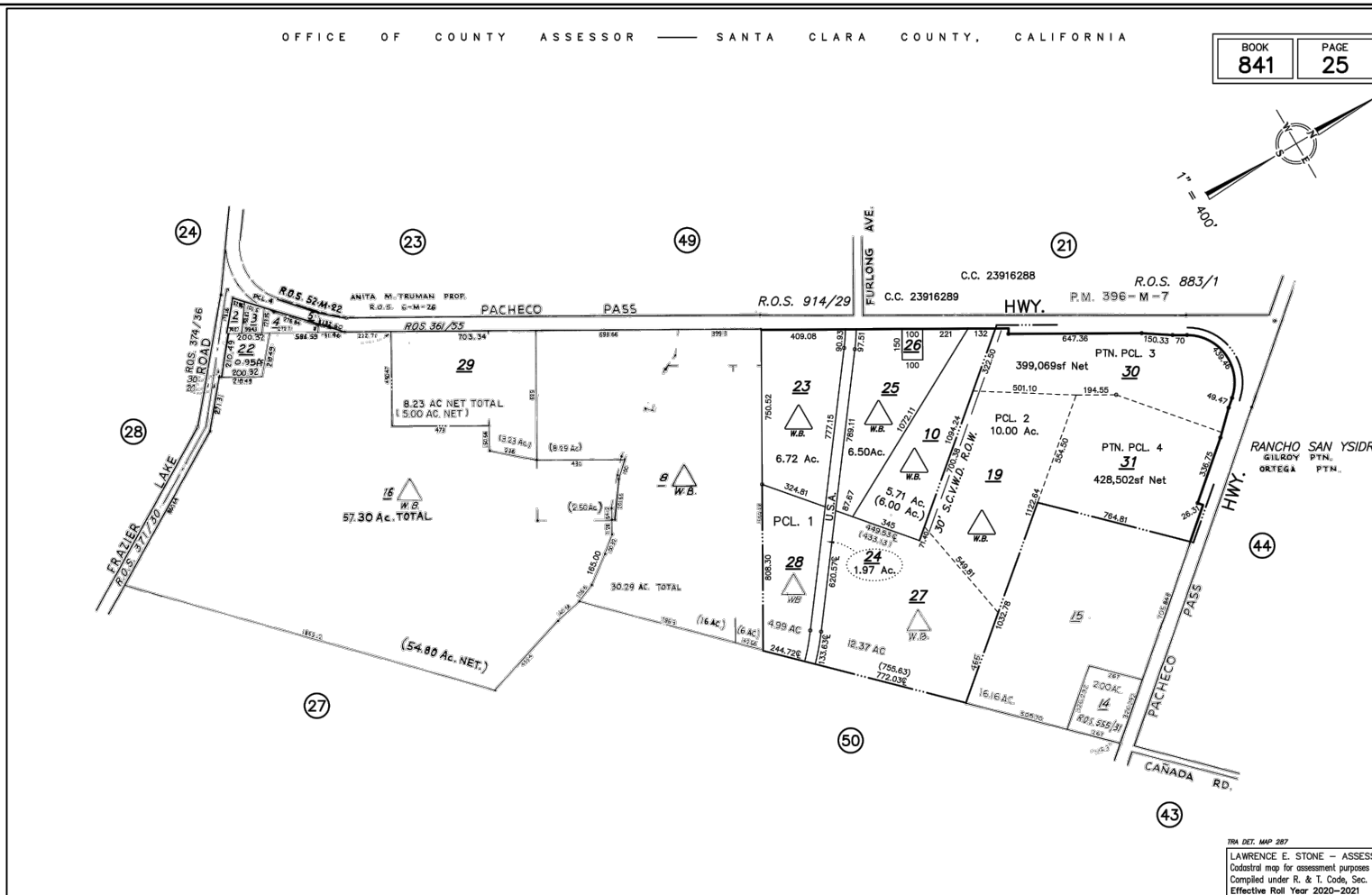


NEW WAREHOUSE & MOBILE HOMES
VANGUARD FARMS
2550 PACHECO PASS HIGHWAY
GILROY, CA 95020
SANTA CLARA COUNTY

MAP	PROJECT DIRECTORY	PROJECT DATA	DRAWINGS INDEX
	OWNER/APPLICANT: SANDRA FANG VANGUARD FARMS 2550 PACHECO PASS HIGHWAY GILROY, CA 95020 vanguardfarms@gmail.com ARCHITECT: REID LERNER ARCHITECTS 7680 MONTEREY STREET, SUITE 105 GILROY, CA 95020 (408) 842-9942	APN: 841-25-026 841-25-025 841-25-023 OCCUPANCY GROUP: EXISTING BUILDING: PROPOSED: S (WAREHOUSE) & R-3 (WORKER'S HOUSES) CONSTRUCTION TYPE: NEW WAREHOUSE: II-B SPRINKLERED (PRE-ENGINEERED STEEL FRAME BUILDING W/ METAL SKIN WALL AND ROOF) NEW WORKER'S HOUSES: V-B SPRINKLER: PROPOSED NEW BUILDING HEIGHT: WAREHOUSE BUILDING: 28'-0"± AT RIDGE WORKER'S HOUSES: 12'-0"± AT RIDGE ZONING: PUD (PLANNED UNIT DEVELOPMENT) LAND USE: INDUSTRIAL	<u>ARCHITECTURAL</u> A0.0 COVER SHEET A1.0 PROPOSED SITE PLAN A2.0 PROPOSED WAREHOUSE FLOOR PLAN A3.0 PROPOSED WAREHOUSE ROOF PLAN A4.0 PROPOSED WAREHOUSE EXTERIOR ELEVATIONS A5.0 PROPOSED WAREHOUSE EXTERIOR ELEVATIONS A6.0 PROPOSED MOBILE HOME TYPICAL FLOOR PLAN A7.0 PROPOSED MOBILE HOME TYPICAL ROOF PLAN A8.0 PROPOSED MOBILE HOME TYPICAL ELEVATIONS
DEFERRED SUBMITTAL	GENERAL REQUIREMENTS	SCOPE OF WORK	
1) FIRE SPRINKLER & FIRE ALARM PLANS SHALL BE DEFERRED SUBMITTAL UNDER A SEPARATE PERMIT.	1. ALL WORK SHALL COMPLY WITH APPLICABLE CODES & ORDINANCES INCLUDING: 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA FIRE CODE WITH LOCAL AMENDMENTS 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ENERGY CODE (TITLE 24) REGULATIONS 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE 2. OBTAIN PERMITS AND INSPECTIONS AS REQUIRED. 3. INSTALL EQUIPMENT AND MATERIALS IN ACCORDANCE TO MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS. 4. OWNER SHALL OBTAIN CLEARANCES FROM PLANNING, ENGINEERING, BUILDING & FIRE DEPARTMENTS BEFORE THE START OF CONSTRUCTION 5. APPROVED NUMBERS & ADDRESSES SHALL BE PLACED ON ALL NEW & EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 6. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, SCAFFOLDING, BRACING & BARRICADES AS REQUIRED 7. PROPOSED COMMERCIAL SIGNAGE SHALL BE AUTHORIZED BY A SEPARATE BUILDING PERMIT APPLICATION AND SUBJECT TO REVIEW AND APPROVAL. 8. CONTRACTOR SHALL APPLY MANDATORY CALGREEN REQUIREMENTS AS LISTED ON PLANS	1) BUILD A 6,000 SF (100'X60') PRE-ENGINEERED METAL BUILDING ON A 14-ACRE LOT TO SERVE AS STORAGE WAREHOUSE 2) BUILD 3 PRE-MANUFACTURED MODULAR HOMES TO SERVE AS TEMPORARY RESIDENTS FOR THE FARM WORKERS WORKING ON THE PROPERTY. 3) BUILD NEW PARKING LOT AND NEW DRIVEWAY	
		AREA CALCULATION A) PARCEL AREA: ±14 ACRES (±621,512 SF) B) PROPOSED BUILDINGS AREA: 6,000 SF + 3500 SF C) EXISTING HOUSE AREA: 1,700 SF C) FLOOR AREA RATIO: 1.8%	

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PROPOSED NEW WAREHOUSE
VANGUARD FARMS
2550 PACHECO PASS HIGHWAY
GILROY, CA 95020 SANTA CLARA COUNTY

COVER SHEET

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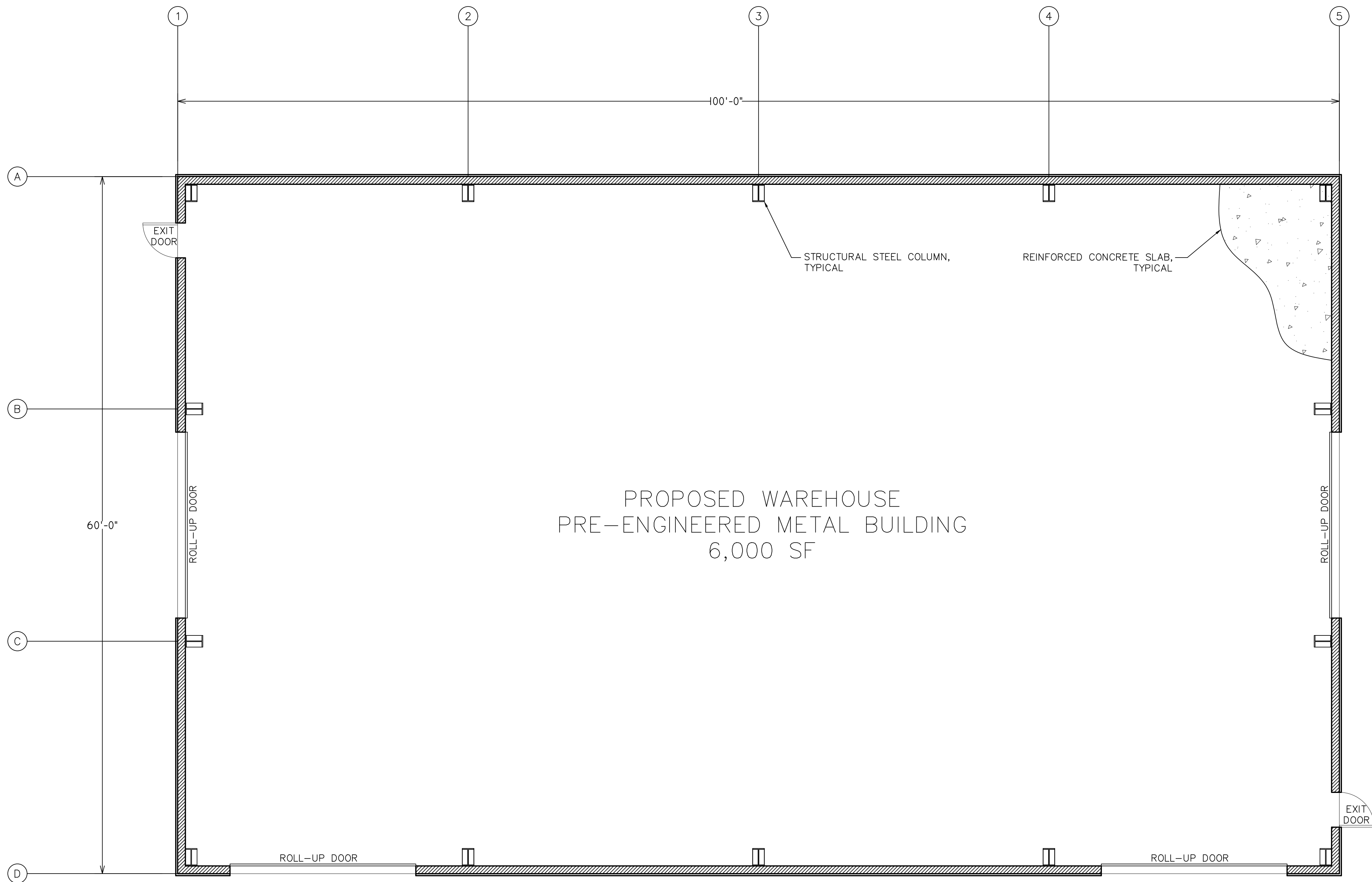
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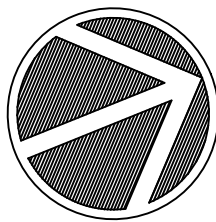
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PROPOSED WAREHOUSE
PRE-ENGINEERED METAL BUILDING
6,000 SF

PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"

WALL SCHEDULE	
LEGEND	DESCRIPTION
1 	NEW FORMED METAL WALL PANEL W/ STEEL GIRT ATTACHED TO STEEL COLUMN



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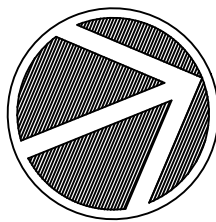
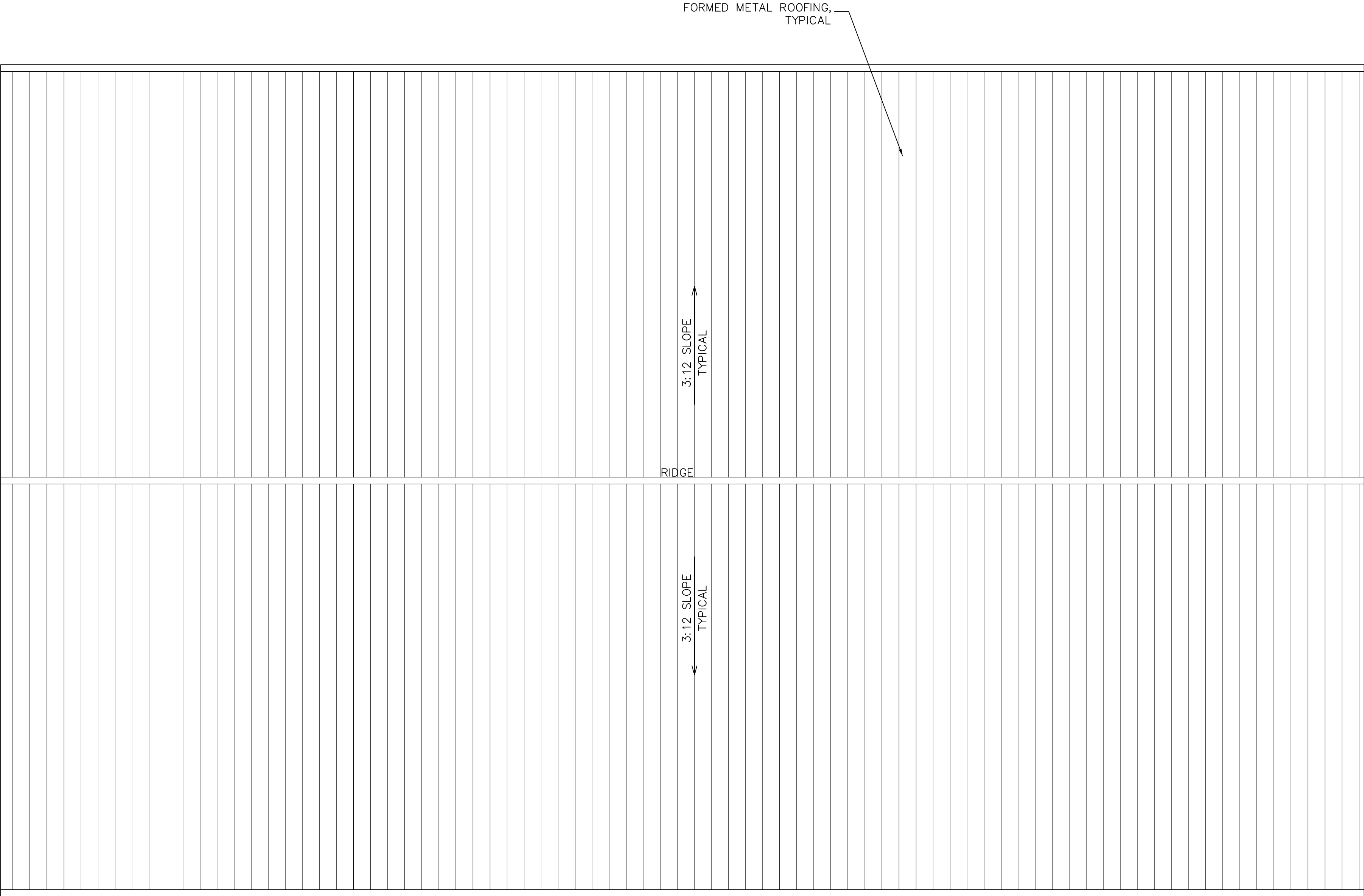
PROPOSED WAREHOUSE
FLOOR PLAN

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PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"



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Date	05/03/21
Scale	AS NOTED
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PROPOSED WAREHOUSE
ROOF PLAN

PROPOSED NEW WAREHOUSE
VANGUARD FARMS
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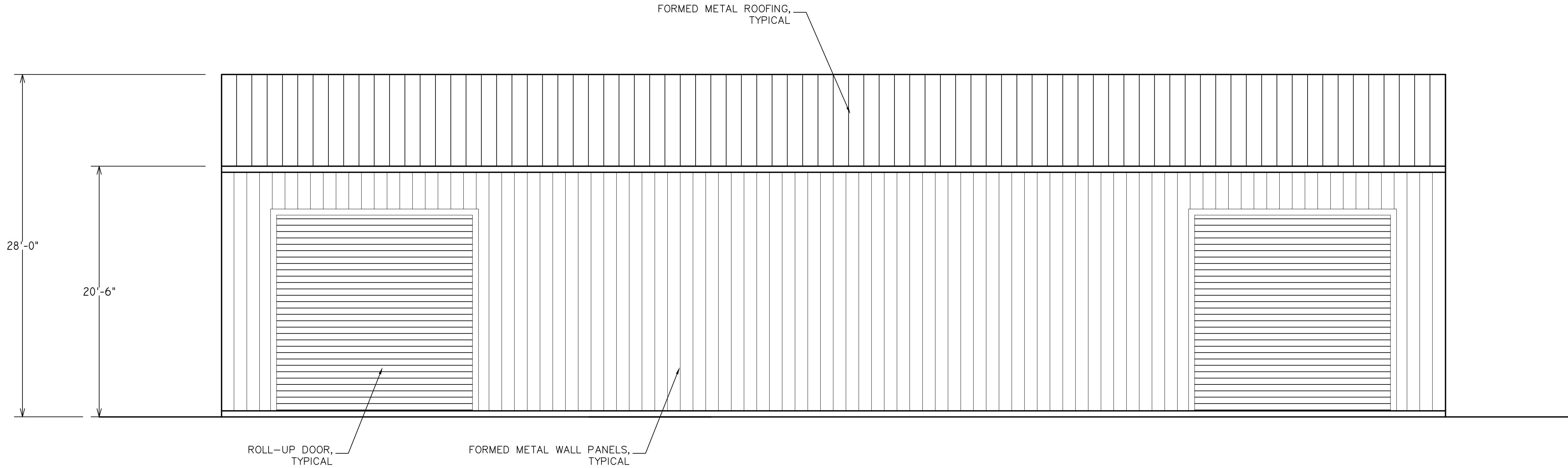
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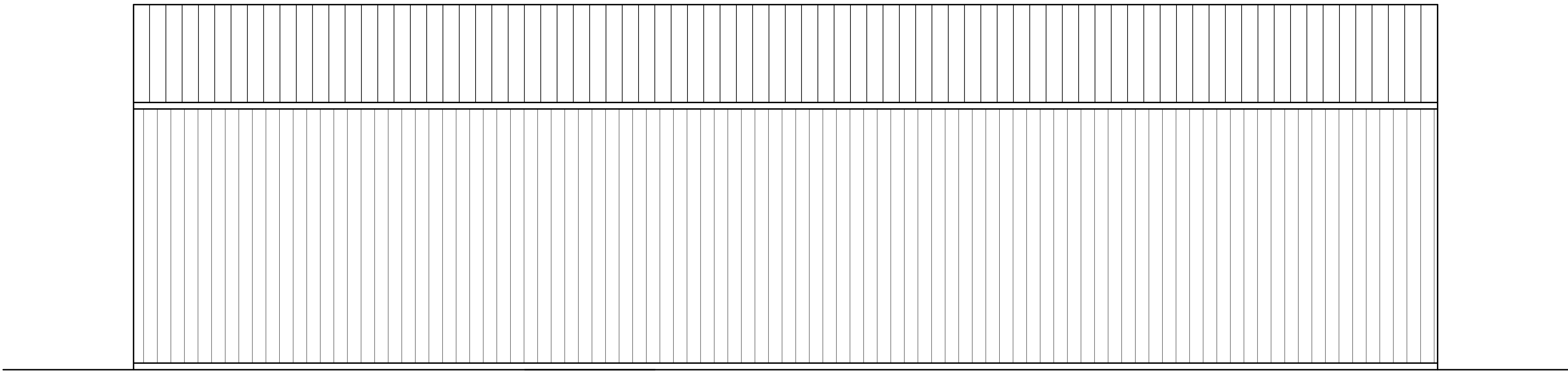
7680 MONTEREY ST #105

GILROY, CA 95020

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PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"

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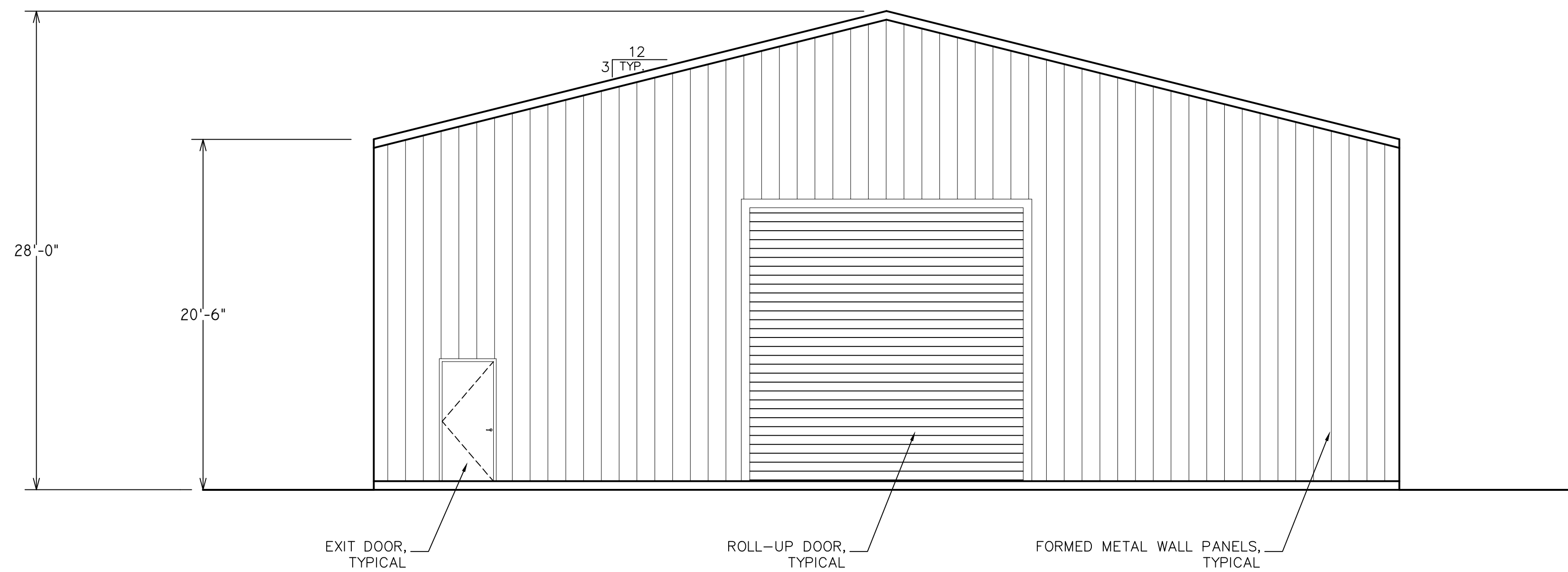
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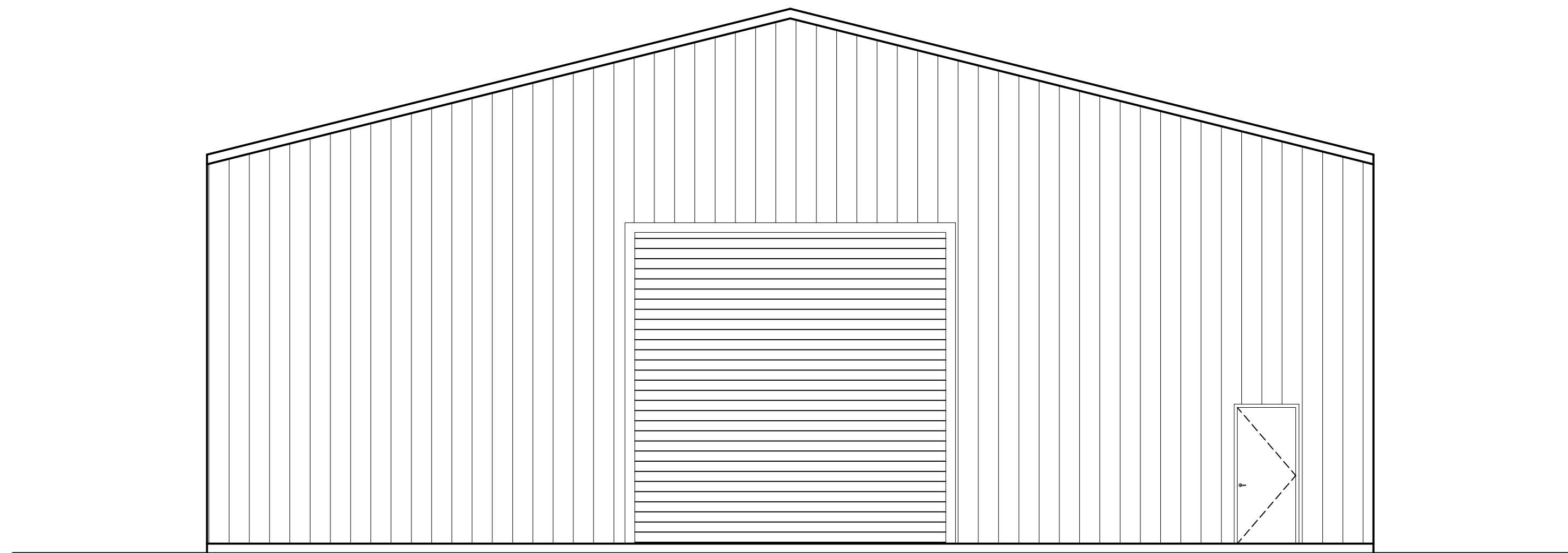
PROPOSED WAREHOUSE
ELEVATIONS

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Date	05/03/21
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PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"



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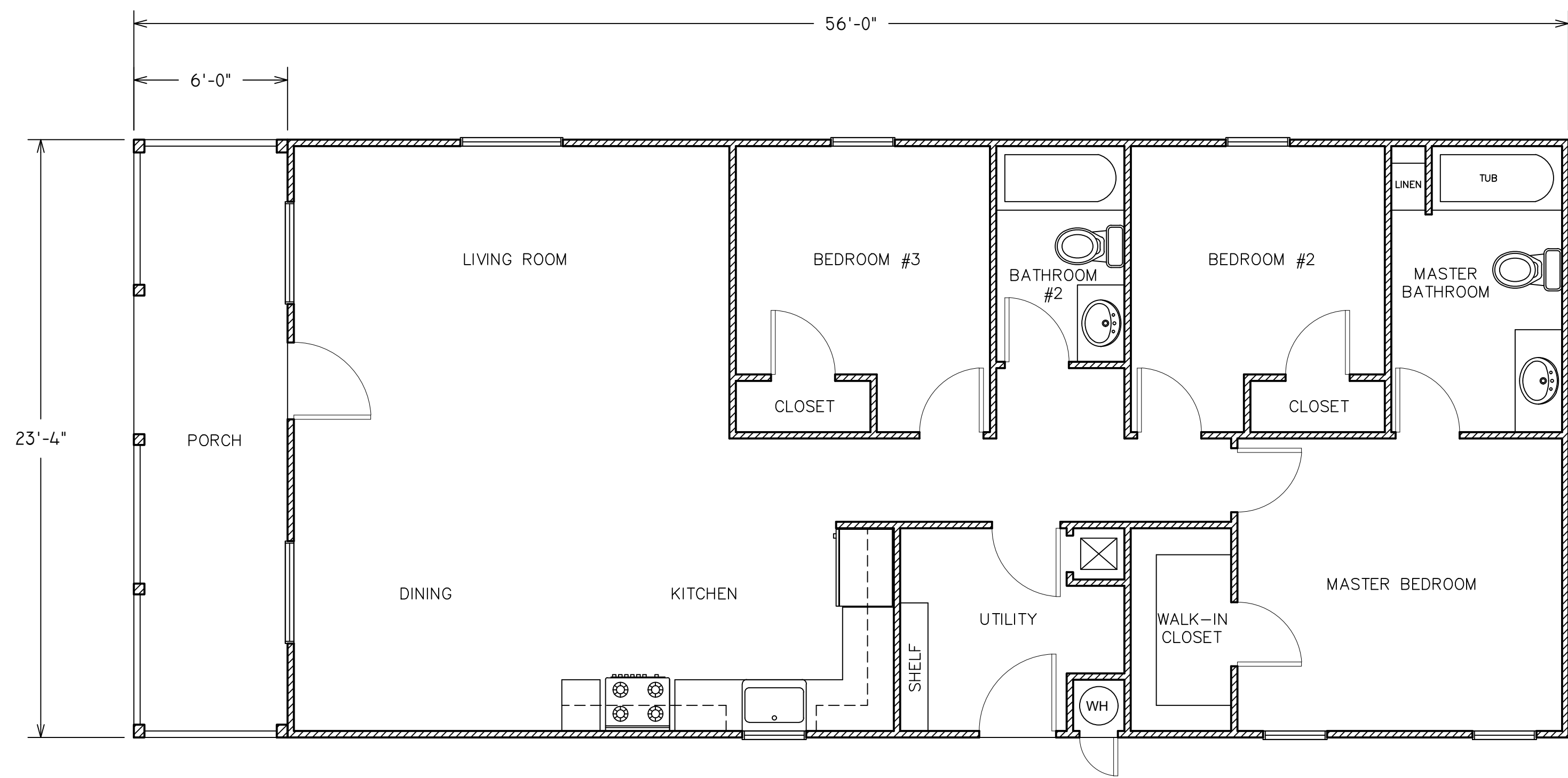
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PROPOSED WAREHOUSE
ELEVATIONS

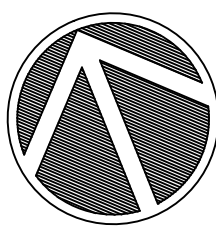
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PROPOSED MOBILE HOME FLOOR PLAN
SCALE: 1/4" = 1'-0"



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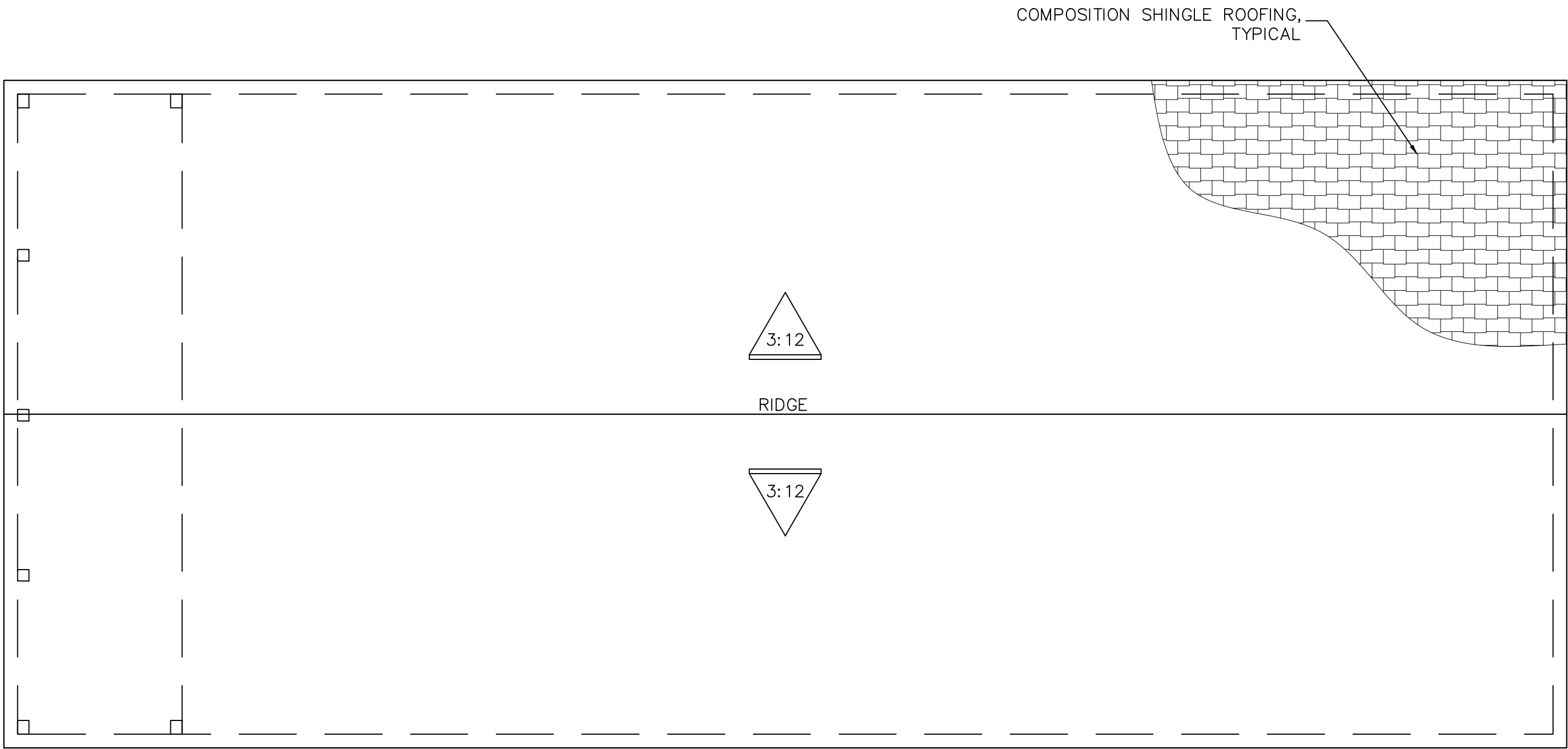
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REGISTERED ARCHITECT
No. C 19293
REN 31 AUG 2021
STATE OF CALIFORNIA

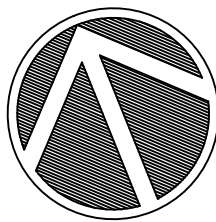
PROPOSED NEW WAREHOUSE
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PROPOSED MOBILE HOME
TYPICAL FLOOR PLAN

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Date	05/03/21
Scale	AS NOTED
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PROPOSED MOBILE HOME ROOF PLAN
SCALE: 1/4" = 1'-0"



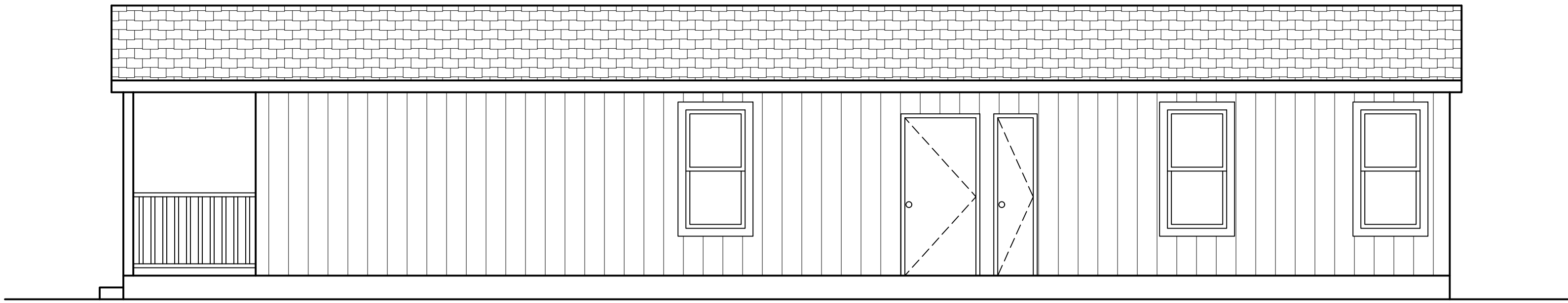
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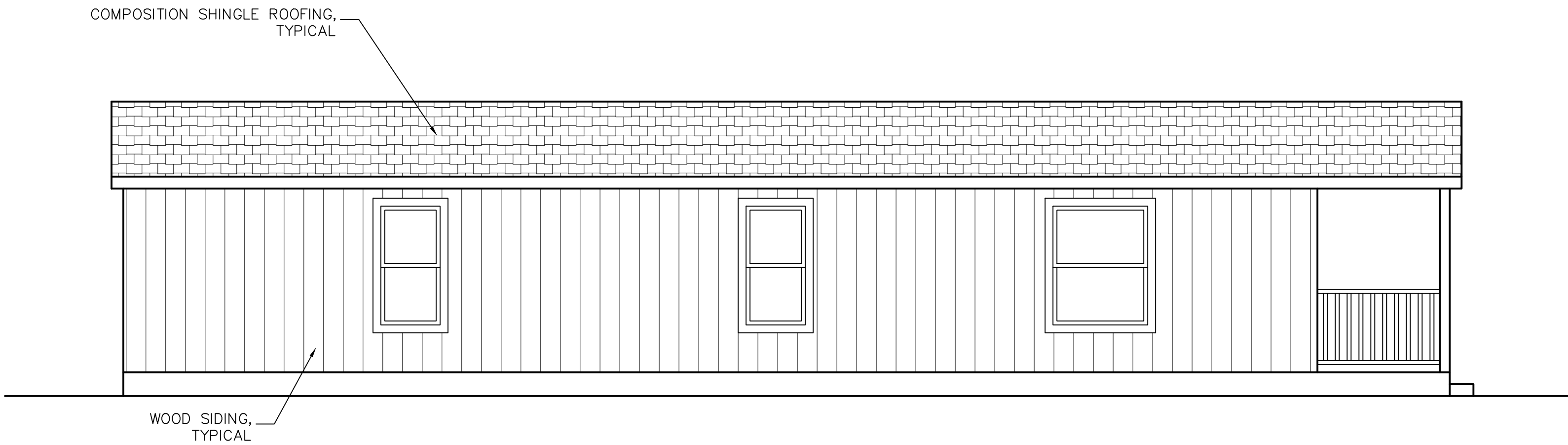
PROPOSED MOBILE HOME
TYPICAL ROOF PLAN

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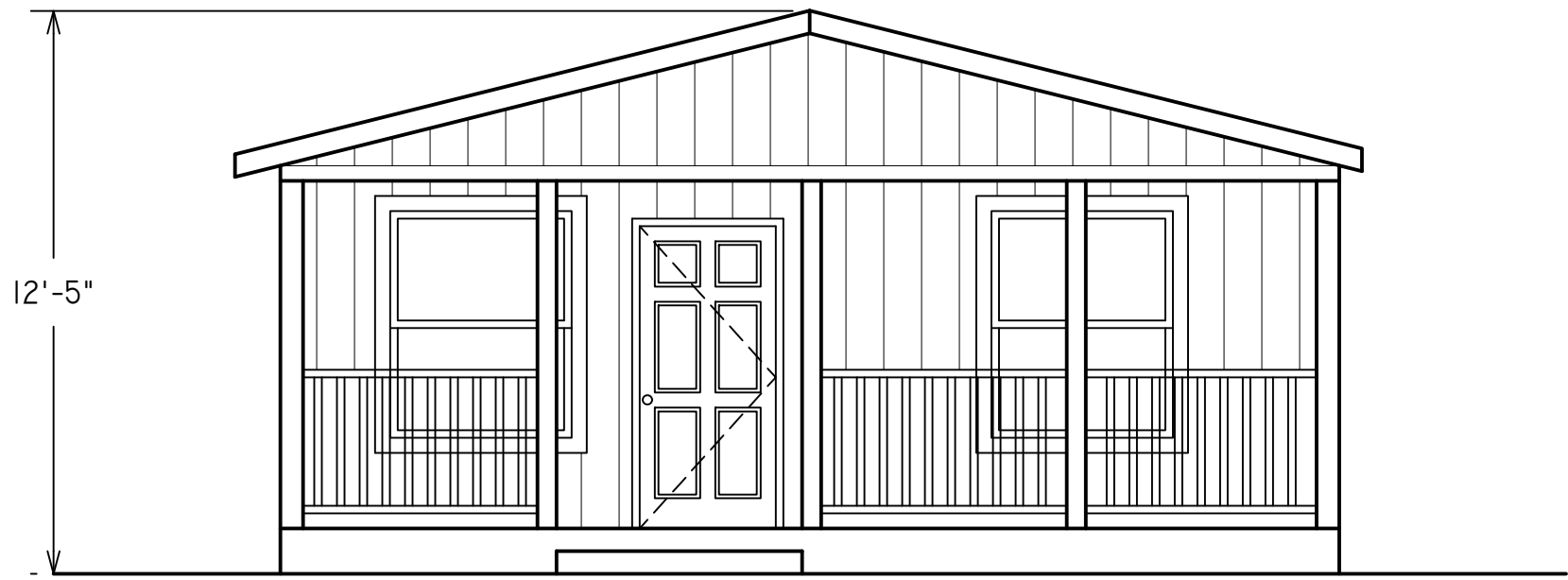
PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



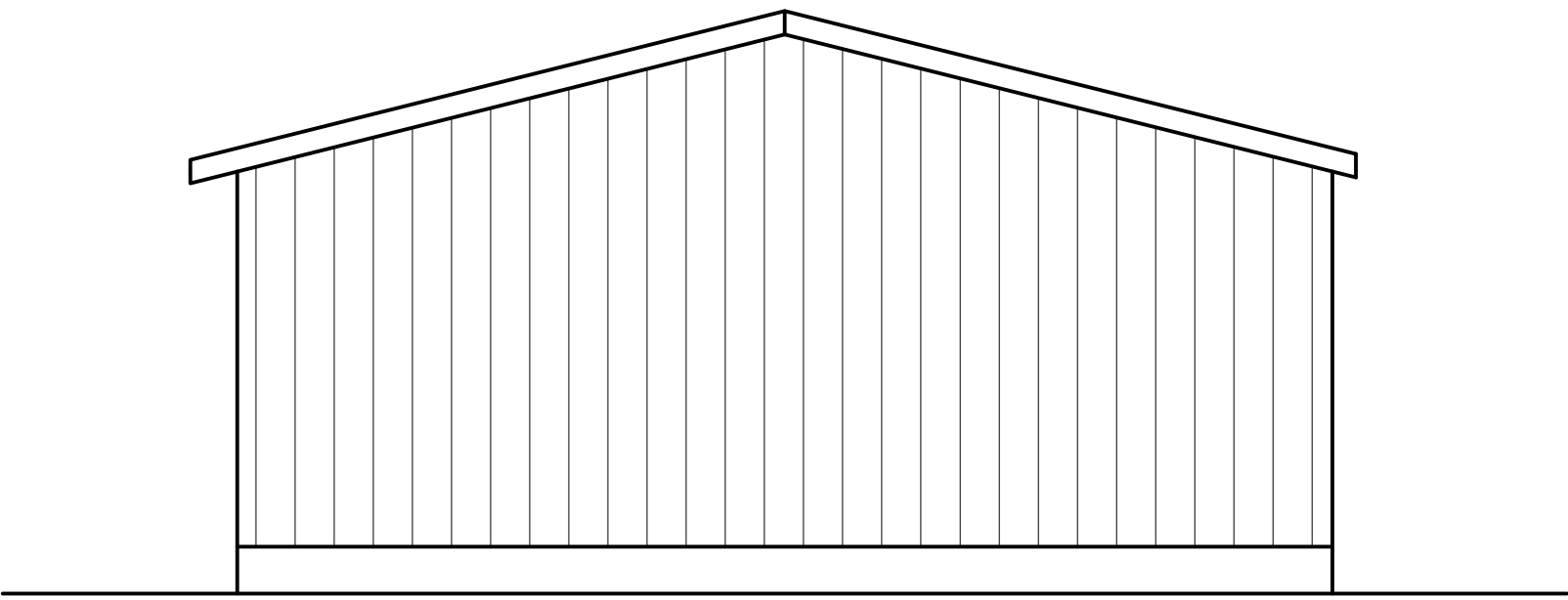
PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



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PROPOSED MOBILE HOME
TYPICAL ELEVATIONS

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