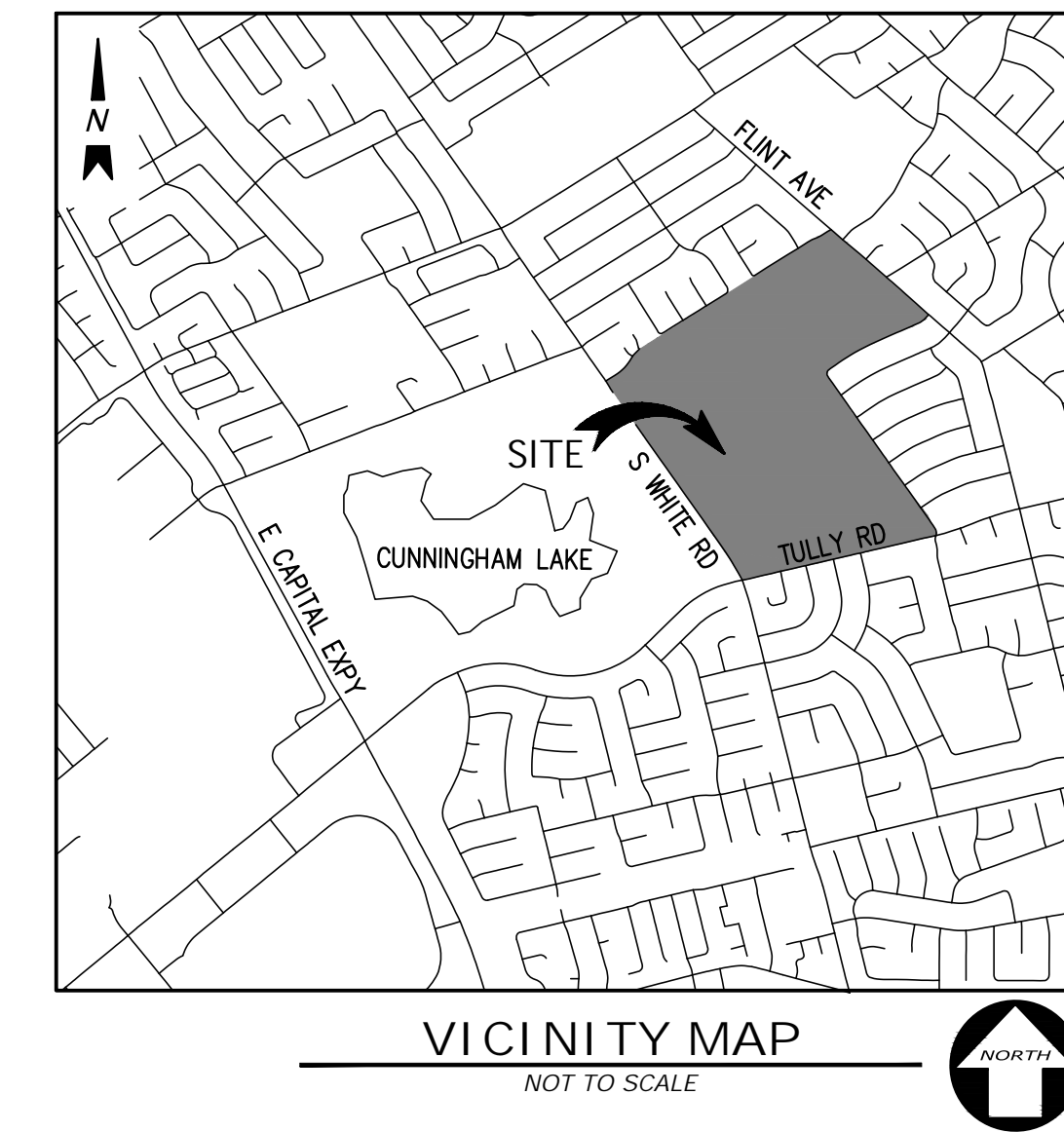


MASTER PLANNED DEVELOPMENT OF PLEASANT HILLS GOLF COURSE REDEVELOPMENT FOR LAKESIDE COMMUNITY, LLC SAN JOSE DECEMBER, 2024 CALIFORNIA



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JOINT TRENCH SHEETS (DEFERRED)

LANDSCAPE SHEETS (DEFERRED)

BY REVISIONS NO.

KIER+WRIGHT

Phone: (408) 727-6665
www.kierwright.com

3350 Scott Boulevard, Building 22
Santa Clara, CA 95054

COVER SHEET

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

DRAWN BY: C/JG CHECKED BY: CHG DEPARTMENT: ENGR

ORIGINAL ISSUE
DATE: 12.06.2024

CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

DRAWING NUMBER:
C1.0
1 OF 45 SHEETS

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		ASPHALT BERM
		BLOCK/RETAINING WALL
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB
		CONCRETE CURB CUT
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		FLUSH CONCRETE CURB
		FENCE LINE
		GAS LINE-VALVE & METER
		GRADE BREAK LINE
		GUARD RAIL
		JOINT TRENCH LINE
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		PERFORATED STORM DRAIN PIPE
		PROPERTY LINE
		RIDGE LINE
		SANITARY SEWER-MANHOLE & CLEANOUT
		SIDEWALK
		STORM DRAIN-MANHOLE & CATCH BASIN
		TELEPHONE LINE
		THRU CURB DRAIN
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLIER
		WALK-BOLLARD LIGHT
		FIRE HYDRANT
		POST INDICATOR VALVE
		POWER POLE/JOINT POLE
		SPOT ELEVATION
		TRANSFORMER
		TRAFFIC SIGN
		TREE
		UTILITY BOX
		SLOPE 2:1 MAX

ABBREVIATIONS

AB	= AGGREGATE BASE	O.D.	= OUTSIDE DIAMETER
ABS	= ACRYLONITRILE-BUTADIENE-STYRENE PIPE	PCC	= PORTLAND CEMENT CONCRETE
AC	= ASPHALT CONCRETE	P	= PAD
AHJ	= AUTHORITY HAVING JURISDICTION	PE	= POLYETHYLENE PLASTIC PIPE
ARV	= AIR RELEASE VALVE	PL	= PROPERTY LINE
ASTM	= AMERICAN SOCIETY OF TESTING AND MATERIALS	P.A.	= PLANTING AREA
AWWA	= AMERICAN WATER WORKS ASSOCIATION	P.A.E.	= PEDESTRIAN ACCESS EASEMENT
BC	= BEGINNING OF CURVE	P&GE	= PACIFIC GAS & ELECTRIC COMPANY
BFV	= BUTTERFLY VALVE	PS	= PRESSURE SURGE
BO	= BLOW-OFF VALVE	PSE	= PUBLIC SERVICE EASEMENT
BOW	= BACK OF SIDEWALK	PSM	= PROCESS SAFETY MANAGEMENT
BR	= BEGINNING OF RETURN	PT	= POINT
CALTRANS	= STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION	P.U.E.	= PUBLIC UTILITIES EASEMENT
CF	= CUBIC FOOT (FEET)	PV	= PAVEMENT
CL	= CLEAR	PVC	= POLYVINYL CHLORIDE PIPE
CONC	= CONCRETE	PVCPP	= PVC PRESSURE PIPE
CONST.	= CONSTRUCTION	PVCSDNPP	= PVC STORM DRAIN NONPRESSURE PIPE
COPH	= CITY OF PLEASANT HILLS	R	= RADIUS
COTG	= CLEANOUT TO GRADE	RCE	= REGISTERED CIVIL ENGINEER
C-1-P	= CAST-IN-PLACE CONCRETE PIPE	RCP	= REINFORCED CONCRETE PIPE
C&G	= CURB & GUTTER	RCPP	= REINFORCED CONCRETE PRESSURE PIPE
CL	= CENTERLINE	RCP(PVCL)	= REINFORCED CONCRETE PIPE (PVC LINED)
DETAIL X	= CALTRANS STRIPING DESIGNATION	REQ'D	= REQUIRED
DF	= DOUGLAS FIR	RE	= RIM ELEVATION
D.G.	= DECOMPOSED GRANITE	(RT)	= RIGHT
DIA.	= DIAMETER	RW	= RECYCLED WATER
DIP	= DUCTILE IRON PIPE	R/W	= RIGHT OF WAY
DR	= DIMENSION RATIO	"S"	= SLOPE
DWY	= DRIVEWAY	SD	= STORM DRAIN
EC	= END OF CURVE	SDCB	= STORM DRAIN CATCH BASIN
EG	= EXISTING GRADE	SCH	= SCHEDULE
EP	= EDGE OF PAVEMENT	SL	= STREET LIGHT
ER	= END OF RETURN	SLC	= STREET LIGHT CONDUIT
FF	= FINISH FLOOR	MC	= MUNICIPAL CODE
FG	= FINISHED GRADE	Q.	= SQUARE
FH	= FIRE HYDRANT	SS	= SANITARY SEWER
FL	= FLOW LINE	SSFM	= SANITARY SEWER FORCE MAIN
GALV.	= GALVANIZED	R.	= STANDARD
GB	= GRADE BREAK	SW	= SIDEWALK
HDPE	= CORRUGATED POLYETHYLENE NONPRESSURE PIPE	SWE	= SIDEWALK EASEMENT
D.H.	= INSIDE DIAMETER	T	= TELEPHONE
IE	= INVERT ELEVATION	TOB	= TOP OF BERM
I.P.	= IRON PIPE	TC	= TOP OF CURB
LS	= REGISTERED LAND SURVEYOR	T.I.	= TRAFFIC INDEX (TI)
LSE	= LANDSCAPE EASEMENT	T.V.	= TELEVISION
(LT)	= LEFT	TYP	= TYPICAL
MAX	= MAXIMUM	T&B	= TOP & BOTTOM
MECH	= MECHANICAL	VCP	= VITRIFIED CLAY PIPE
MH	= MAINTENANCE HOLE	W	= WATER
MIN.	= MINIMUM	WCR	= WHEEL CHAIR RAMP
MUTCD	= MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES	WDID	= WASTE DISCHARGE IDENTIFICATION
NAVD	= NORTH AMERICAN VERTICAL DATUM	WRD	= WATER RESOURCES DIVISION
NFPA	= NATIONAL FIRE PROTECTION ASSOCIATION	WA	= WITH
O.C.	= ON CENTER	Ø	= DIAMETER

PUBLIC SERVICE EASEMENT (PSE) NOTE
NAMED STREETS WITHIN THE PLEASANT HILLS GOLF COURSE REDEVELOPMENT PROJECT TO BE COVERED BY A PUBLIC SERVICE EASEMENT (PSE) FOR PUBLIC ACCESS, UTILITIES, AND EMERGENCY VEHICLE ACCESS PURPOSES.

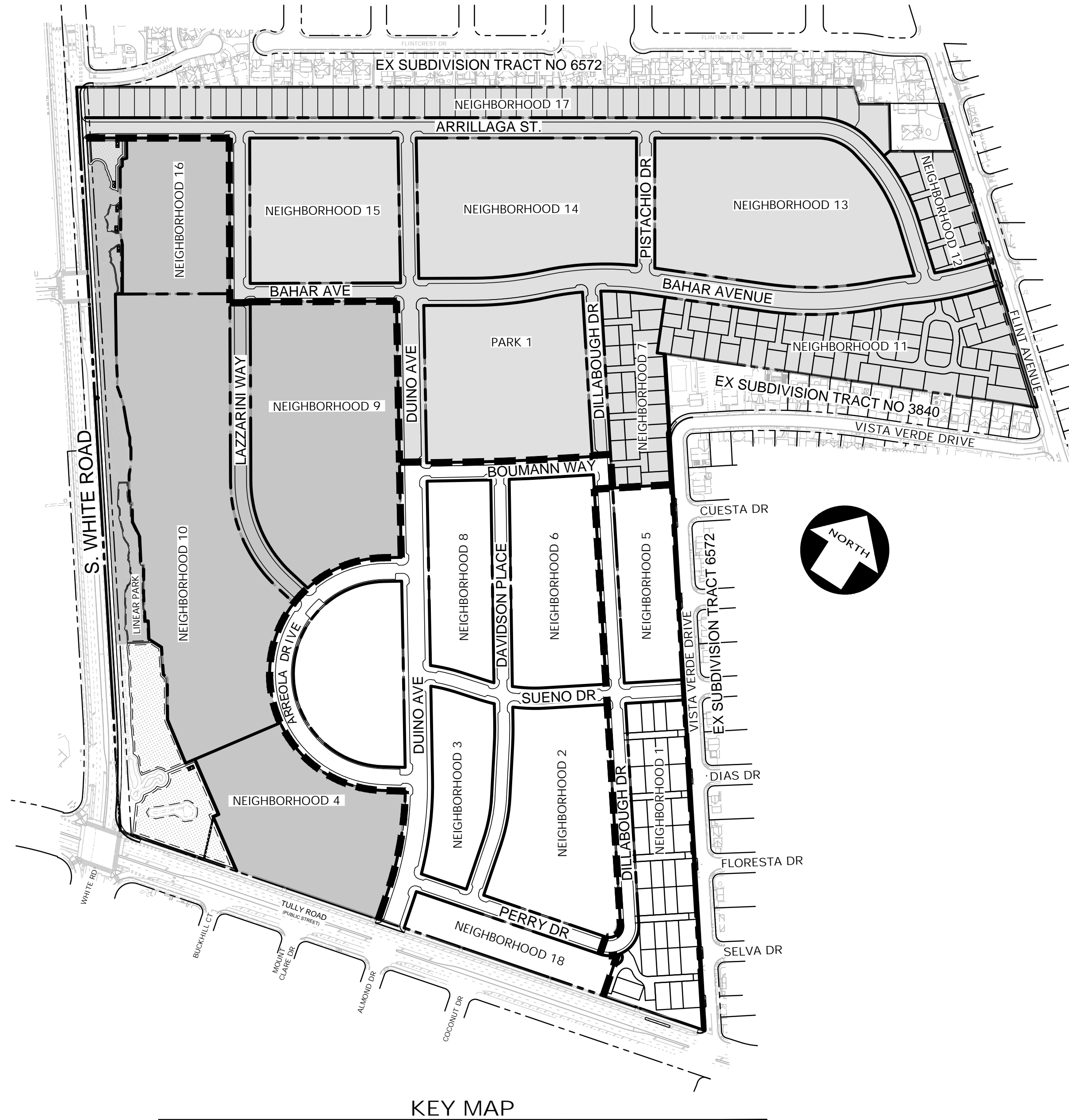
ARCHITECT
DAHLEN ARCHITECTURE
ATTN: RITU RAJ SHARMA
5865 OWENS DRIVE
PLEASANTON, CA 94588
(925) 251-7297

LANDSCAPE ARCHITECT
THE GUZZARDO PARTNERSHIP INC.
ATTN: MORGAN BURKE
PIER 9 THE EMBARCADERO, SUITE 115
SAN FRANCISCO, CA 94111
(415) 317-6224

CIVIL ENGINEER
KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
ATTN: MARK KNUDSEN
3350 SCOTT BOULEVARD, BUILDING 22
SANTA CLARA, CA 95054
(408) 727-6665

GEOTECHNICAL ENGINEER
FIRM NAME
ATTN: CONTACT NAME
201 N CIVIC DRIVE, SUITE 135, WALNUT CREEK, CA 94596
CITY, STATE ZIP
()

JOINT TRENCH DESIGNER
RADIUS DESIGN
ATTN: JOHN TRUMBO
201 N CIVIC DRIVE, SUITE 135, WALNUT CREEK, CA 94596
CITY, STATE ZIP
(925) 471-1650

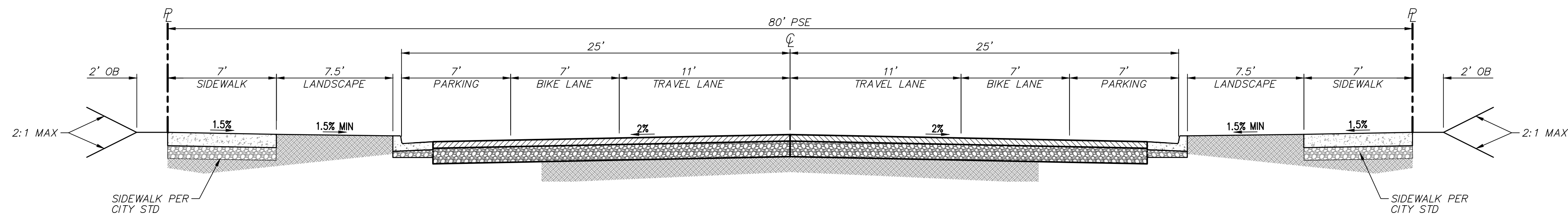


EARTHWORK SUMMARY

CUT:	500,000± CY
FILL:	500,000± CY

THE EARTHWORK QUANTITIES LISTED ON THESE PLANS ARE STATED ONLY FOR CALCULATION OF GRADING AND BUILDING PERMIT FEES. THESE QUANTITIES DO NOT INCLUDE TRENCH OR FOOTING SPOILS, SHRINK OR SWELL FROM COMPACTING EFFORTS OR OTHER VARIABLES. THE ENGINEER MAKES NO REPRESENTATION THIS SITE WILL BALANCE.

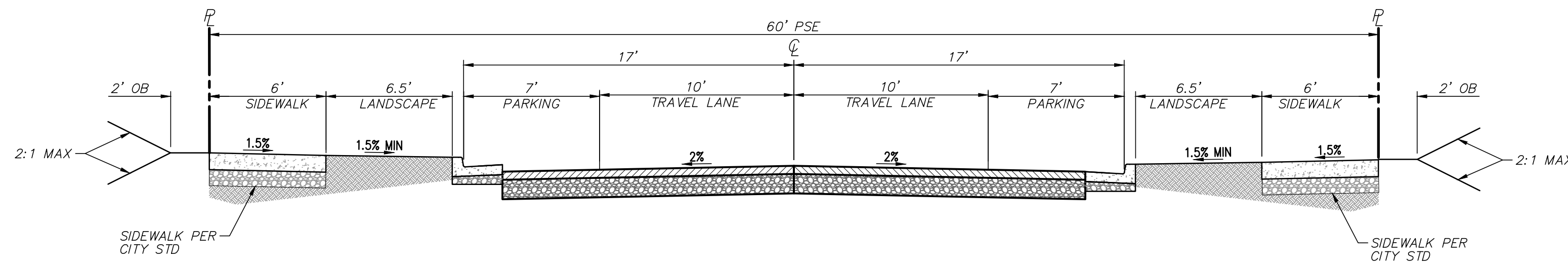
THE CONTRACTOR SHALL DETERMINE HIS OWN EARTHWORK QUANTITIES AND BASE HIS BID ACCORDINGLY.



TYPICAL SECTION @ 80' RIGHT OF WAY

NOT TO SCALE

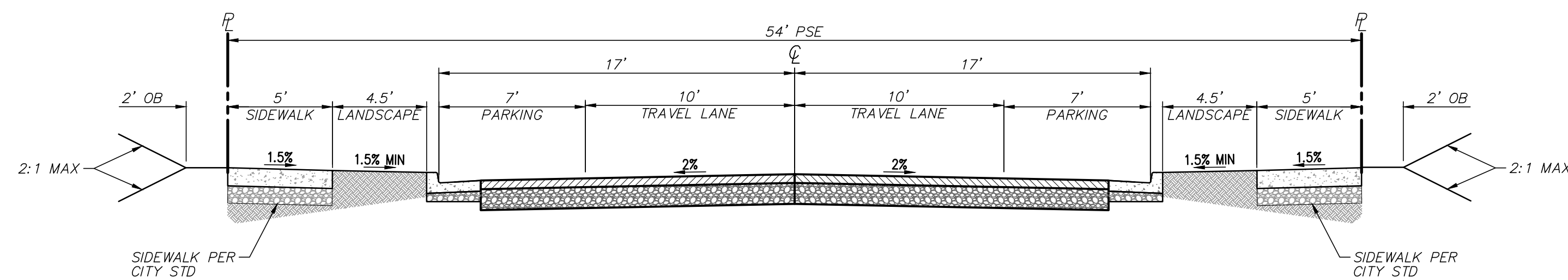
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TYPICAL SECTION @ 60' RIGHT OF WAY

NOT TO SCALE

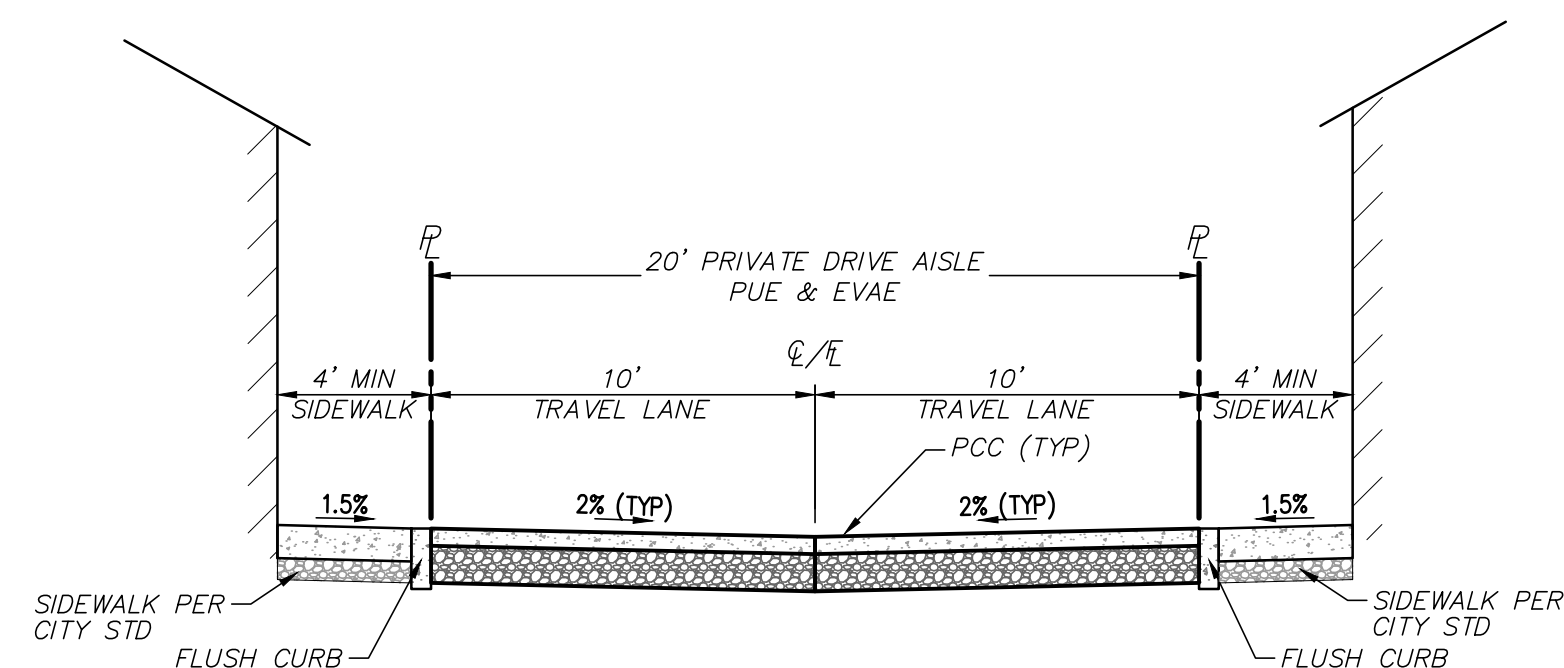
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TYPICAL SECTION @ 54' RIGHT OF WAY

NOT TO SCALE

III



TYPICAL SECTION @ PRIVATE DRIVE AISLE

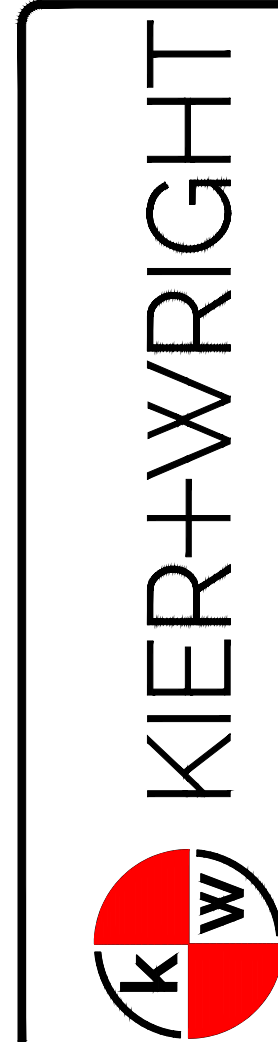
NOT TO SCALE

IV

BY

REVISIONS

NO.



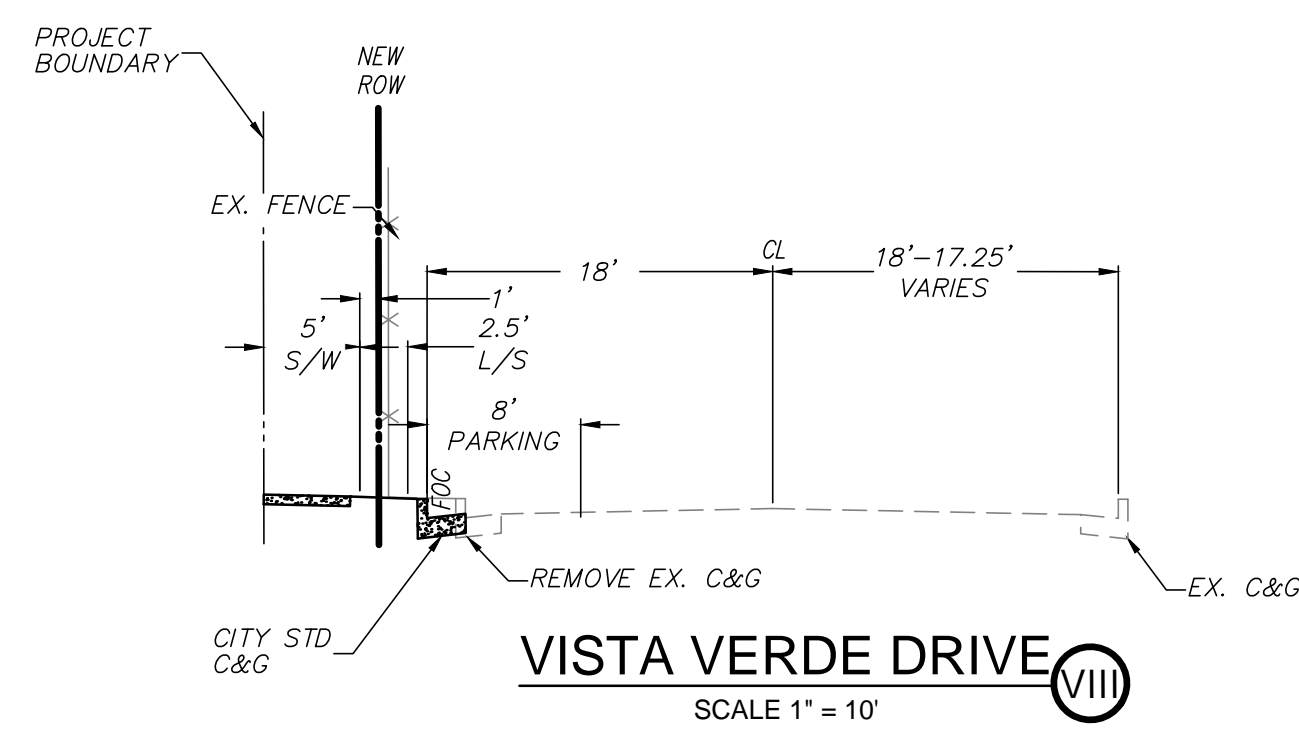
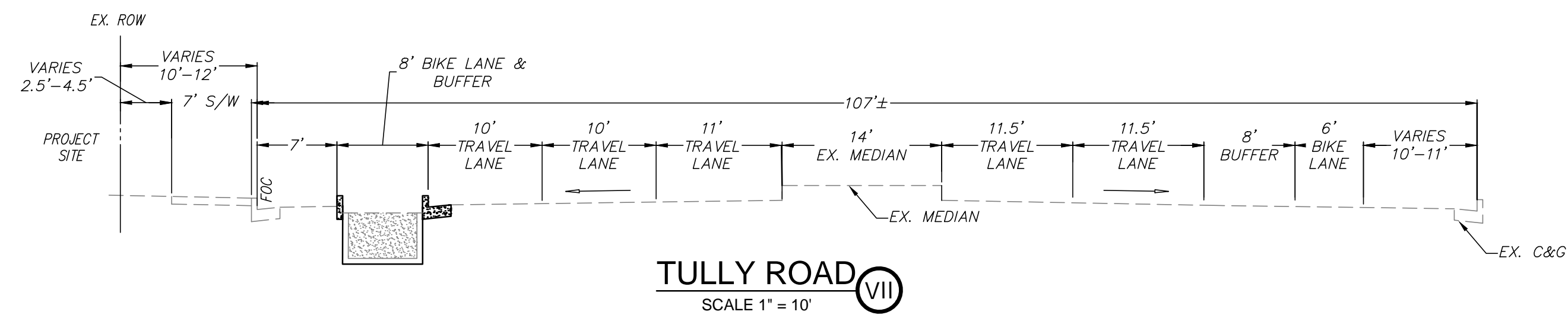
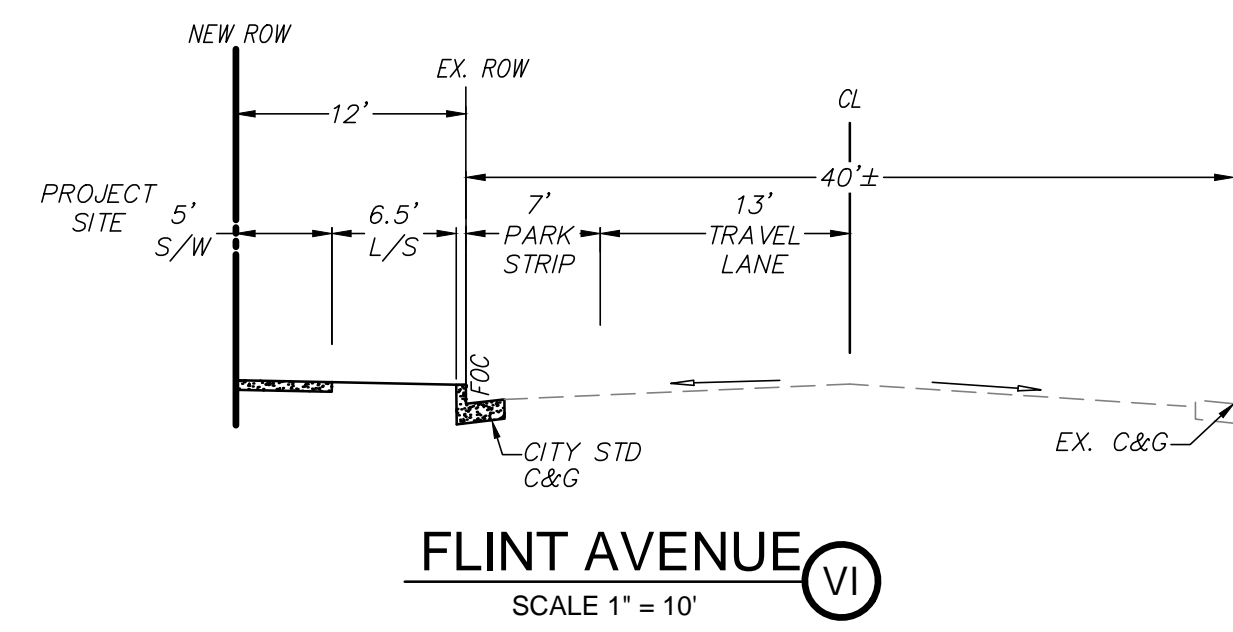
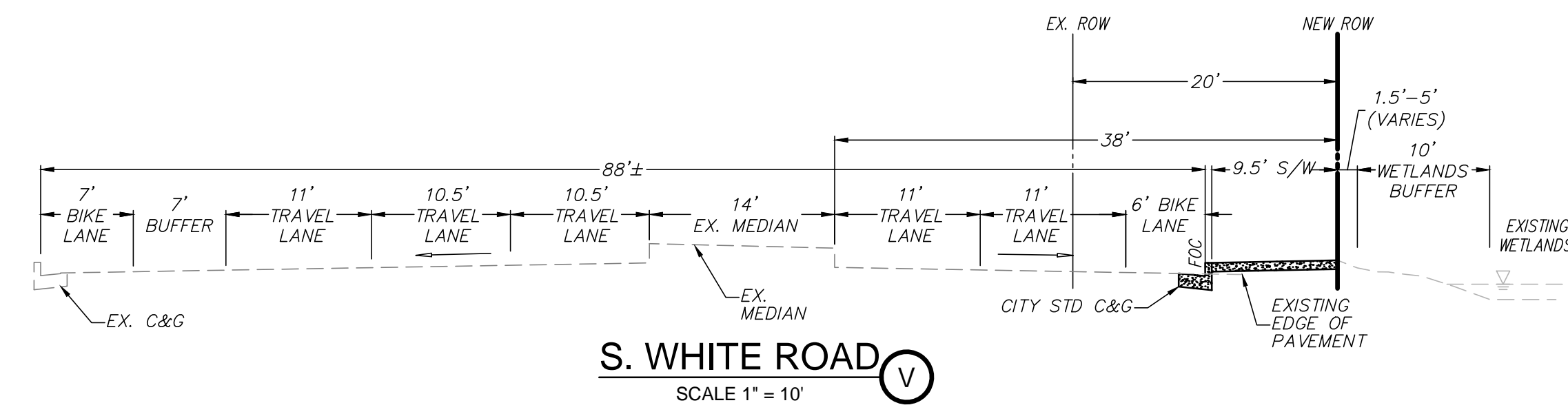
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Phone: (408) 727-6665
www.kierwright.com

DETAILS & TYPICAL SECTIONS
PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

ORIGINAL ISSUE
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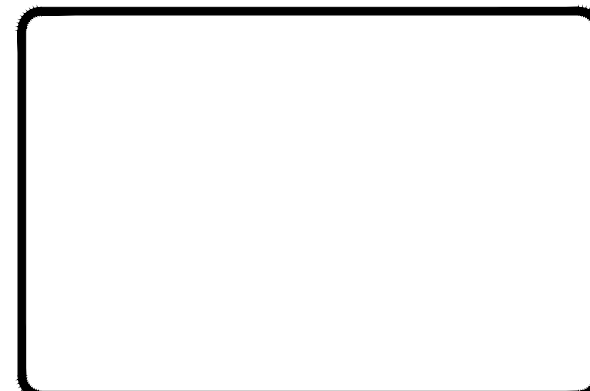
DRAWING NUMBER:

C1.1
2 OF 45 SHEETS



NO.	REVISIONS	BY

KIER+WRIGHT
Phone: (408) 727-6665
www.kierwright.com
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054



TYPICAL SECTIONS

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR

ORIGINAL ISSUE
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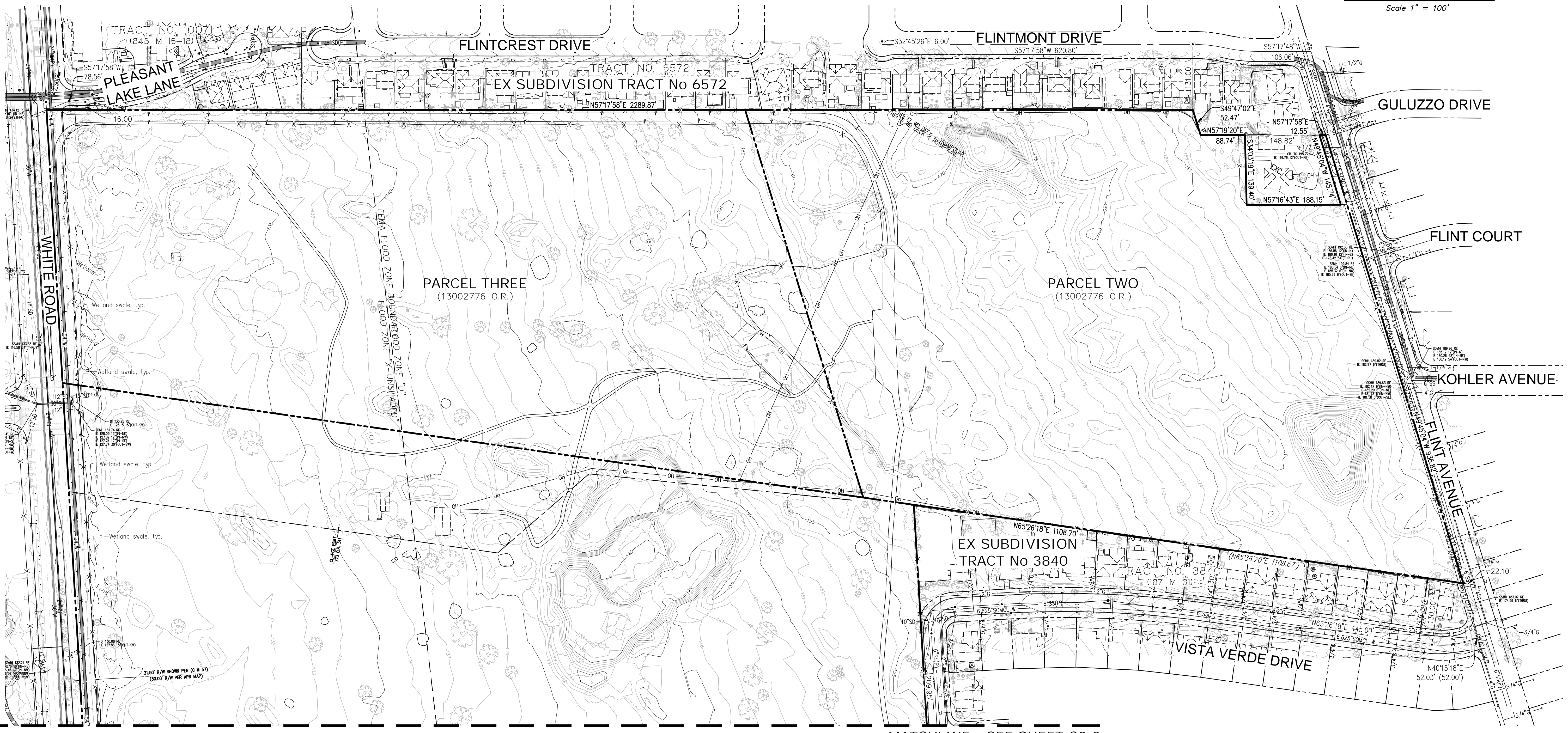
PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

DRAWING NUMBER:

C1.2
3 OF 45 SHEETS



0 50 100 200 300
Scale 1" = 100'



MATCHLINE - SEE SHEET C2.2

NOTES

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED APRIL 26, 2024 AND UPDATED APRIL 30, 2024, ORDER NUMBER NCS-1057421-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- THE SUBJECT PROPERTY IS PARTIALLY SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, AND INCORPORATED AREAS, MAP NUMBER 06085C0256H FOR COMMUNITY NUMBER 060337 (SANTA CLARA COUNTY INCORPORATED AREAS), WITH AN EFFECTIVE DATE OF MAY 18, 2009, AS BEING LOCATED IN THE FLOOD ZONE "D", AND PARTIALLY SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) LETTER OF MAP REVISION (LOMR) 20-09-1371P060337 FOR SANTA CLARA COUNTY, INCORPORATED AREAS, MAP NUMBER 06085C0256H FOR COMMUNITY NUMBER 060337 (SANTA CLARA COUNTY INCORPORATED AREAS), WITH A REVISED TO REFLECT LOMR EFFECTIVE DATE OF NOVEMBER 26, 2021, AS BEING LOCATED IN FLOOD ZONE "X" (UNSHADED) AND FLOOD ZONE "D".
- BENCHMARK:
CITY OF SAN JOSE BENCHMARK-305; CHISELED "RECTANGLE" AT TOP OF CURB ON SOUTH SIDE OF TULLY ROAD, 100 FEET EAST OF CENTERLINE OF SOUTH WHITE ROAD, 10 FEET EAST OF CATCH BASIN. (REVISED DESCRIPTION 11-27-89).
ELEVATION= 133.261' (NAVD88 DATUM)
- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- UTILITY INFORMATION HEREON IS IN PROGRESS AT THIS TIME. A REQUEST WAS MADE TO THE PG&E FOR INFORMATION REGARDING THE LOCATION OF THEIR GAS FACILITIES ON THIS SITE. AS OF DECEMBER 11, 2024, THEY HAD NOT RESPONDED WITH THIS INFORMATION. UNTIL WE RECEIVE THIS INFORMATION AND ARE ABLE TO DELINEATE THESE FACILITIES, ALL PARTIES SHOULD CONSIDER THIS SURVEY AS PRELIMINARY WITH REGARDS TO THE LOCATION OF UTILITY FACILITIES. UPON RECEIPT OF THIS INFORMATION KIER & WRIGHT WILL UPDATE THIS SURVEY AND REISSUE IT.
- ACCORDING TO FEMA THE DEFINITION OF ZONE "X" (UNSHADED) IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ACCORDING TO FEMA THE DEFINITION OF ZONE "D" IS: AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.
- INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (MSC.FEMA.GOV) ON DECEMBER 10, 2024.
- THE AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOGRAMMETRIC METHODS BY COOPER AERIAL SURVEYS CO., IN PHOENIX ARIZONA. JOB NUMBER 2311034. IN AREAS OF DENSE VEGETATION, ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY DECEMBER 01, 2023, ORIGINAL COMPILED MAP SCALE 1"=20', CONTOUR INTERVAL 1 FOOT. THE GRID IS BASED ON PHOTOGRAMMETRIC METHODS COMPILED ON DIGITAL STEREO WORKSTATIONS USING AERIAL PHOTOGRAPHY. CONTROL SURVEY PERFORMED BY KIER & WRIGHT, SANTA CLARA, CA.

BY	
REVISIONS	
NO.	

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Phone: (408) 727-6665
www.kierwright.com

EXISTING CONDITIONS
PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA
DRAWN BY: C/JG CHECKED BY: CHG DEPARTMENT: ENGR

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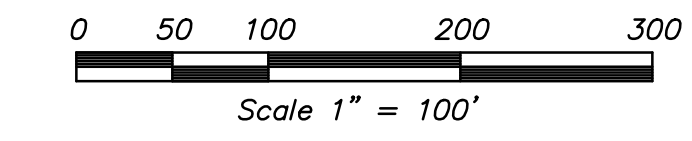
DRAWING NUMBER:
C2.1
4 OF 45 SHEETS

KIER + WRIGHT PROJECT NUMBER: A23414

2:20240624/04/09/ENGINEERING/FILES/2024-11-20/1 CADR_GUTENKUNT

MATCHLINE - SEE SHEET C2.1

MATCHLINE - SEE SHEET C2.1



NOTES

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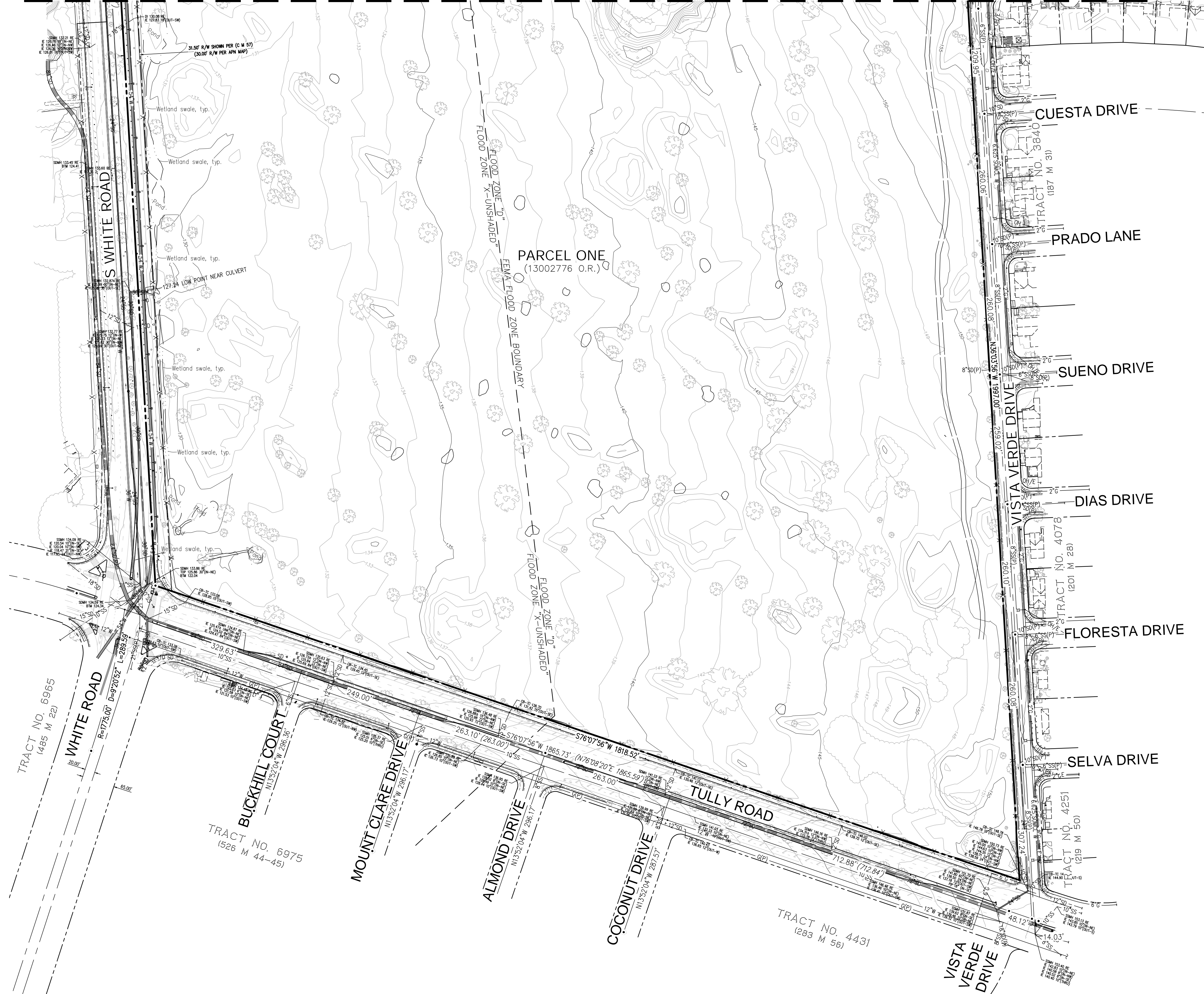
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INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (MSC.FEMA.GOV) ON DECEMBER 10, 2024.
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CITY OF SAN JOSE BENCHMARK-305; CHISELED "RECTANGLE" AT TOP OF CURB ON SOUTH SIDE OF TULLY ROAD, 100 FEET EAST OF CENTERLINE OF SOUTH WHITE ROAD, 10 FEET EAST OF CATCH BASIN. (REVISED DESCRIPTION 11-27-89).

ELEVATION= 133.261' (NAVD88 DATUM)

ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88. TO CONVERT TO NGVD29 SUBTRACT 2.822' FROM THE ELEVATIONS SHOWN. DATUM CONVERSION WAS OBTAINED FROM THE NGS VERTCON WEBSITE (WWW.NGS.NOAA.GOV/CGI-BIN/VERTCON/VERT_CON.PRL).
6. BASIS OF BEARINGS:
THE BEARING OF NORTH 36° 03' 00" WEST TAKEN ON THE MONUMENT LINE OF WHITE ROAD AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON JUNE 13, 1975, IN BOOK 357 OF MAPS AT PAGES 29-42, OFFICIAL RECORDS OF SANTA CLARA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
7. CORNER RECORD NOTE:
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.
8. THE AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOGAMMETRIC METHODS BY COOPER AERIAL SURVEYS CO., IN PHOENIX ARIZONA. JOB NUMBER 2311034. IN AREAS OF DENSE VEGETATION, ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY DECEMBER 01, 2023, ORIGINAL COMPILED MAP SCALE 1"=20', CONTOUR INTERVAL 1 FOOT. THE GRID IS BASED ON PHOTOGAMMETRIC METHODS COMPILED ON DIGITAL STEREO WORKSTATIONS USING AERIAL PHOTOGRAPHY. CONTROL SURVEY PERFORMED BY KIER & WRIGHT, SANTA CLARA, CA.



BY	
REVISIONS	
NO.	

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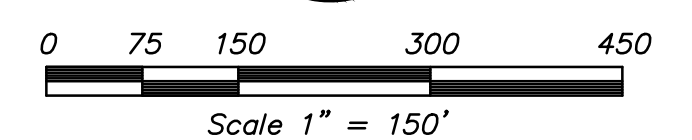
EXISTING CONDITIONS

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR

ORIGINAL ISSUE DATE: 12.06.2024
CURRENT SET ISSUE DATE: XX.XX.XXXX
PERMIT SET / CONSTRUCTION ISSUE DATE: XX.XX.XXXX
DRAWING NUMBER:

C2.2
5 OF 45 SHEETS



DEMOLITION LEGEND

ALL EXISTING ONSITE STRUCTURES, TREES, & UTILITIES WITHIN THE DEVELOPED AREA INCLUDING WATERLINES, STORM DRAIN, SANITARY SEWER, ELECTRIC, GAS AND COMMUNICATION UTILITIES TO BE REMOVED FROM SITE AND CAPPED AT PROJECT BOUNDARY IN CONFORMANCE WITH THE RESPECTIVE UTILITY PURVEYOR REQUIREMENTS UNLESS SPECIFICALLY STATED OTHERWISE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE RESPECTIVE UTILITY PURVEYORS AND ARRANGE FOR THE TERMINATION OF ALL REQUIRED UTILITIES THAT SERVICE THE SITE.

- ALL EXISTING ONSITE STRUCTURES, TREES, & UTILITIES WITHIN THE DEVELOPED AREA INCLUDING WATERLINES, STORM DRAIN, SANITARY SEWER, ELECTRIC, GAS AND COMMUNICATION UTILITIES TO BE REMOVED FROM SITE AND CAPPED AT PROJECT BOUNDARY IN CONFORMANCE WITH THE RESPECTIVE UTILITY PURVEYOR REQUIREMENTS UNLESS SPECIFICALLY STATED OTHERWISE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE RESPECTIVE UTILITY PURVEYORS AND ARRANGE FOR THE TERMINATION OF ALL REQUIRED UTILITIES THAT SERVICE THE SITE.
- SAWCUT LINE
- UNDERGROUND UTILITIES TO BE REMOVED
- PLUG AND CAP END

DEMOLITION KEYNOTES

- CONTRACTOR TO PROTECT IN PLACE ALL EXISTING IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY, UNLESS OTHERWISE NOTED.
- EXISTING POWER POLE AND OVERHEAD LINES TO BE REMOVED
- EXISTING STORM DRAIN/STRUCTURE TO BE REMOVED
- EXISTING UTILITY STRUCTURE (BOX, VAULT, POLE, CONDUITS, MANHOLE, ETC.) TO BE REMOVED.
- EXISTING TREE TO REMAIN. PROTECT IN PLACE.
- CONTRACTOR TO REMOVE ALL EXISTING IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY, UNLESS OTHERWISE NOTED.
- EXISTING WATERLANDS TO REMAIN. 10' BUFFER AWAY TO BE PROTECT IN PLACE.
- REMOVE EXISTING FENCE. CONTRACTOR TO INSTALL PERIMETER FENCING AROUND ENTIRE SITE AFTER DEMOLITION HAS BEEN COMPLETED.
- CONTRACTOR TO INSTALL PERIMETER FENCING AROUND UNDISTURBED AREA. LANDSCAPING AND TREES TO BE PROTECTED WITHIN, UNLESS OTHERWISE NOTED.

GENERAL DEMOLITION NOTES

1. REMOVE EXISTING BUILDING(S), UNDERSLAB UTILITIES AND FOUNDATION IN ENTIRETY.
2. SITEWORK DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL CONCRETE, AC PAVEMENT, BASE ROCK AND ALL UTILITIES (NOT DESIGNATED FOR PROTECTION) WITHIN PROJECT LIMIT OF WORK.
3. ALL UNUSED PUBLIC UTILITY LATERALS WITHIN THE CITY RIGHT-OF-WAY SHALL BE ABANDONED AND CAPPED AT THE PROPERTY LINE./REMOVED AND CAPPED AT THE MAIN.
4. ALL UNUSED PUBLIC UTILITY LATERALS WITHIN THE CITY RIGHT-OF-WAY SHALL BE REMOVED AND CAPPED AT THE MAIN.
5. REMOVE ALL LANDSCAPE GROUND COVER AND SHRUBS WITHIN PROJECT LIMIT OF WORK.
6. REMOVE ALL IRRIGATION WITHIN LIMIT OF WORK.
7. REFER TO LANDSCAPE PLAN FOR TREE DISPOSITION INFORMATION REGARDING TREES TO BE REMOVED, PROTECTED OR RELOCATED.

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PRELIMINARY DEMOLITION PLAN
PLEASANT HILLS GOLF COURSE MASTER PLANNED DEVELOPMENT PERMIT FOR LAKESIDE COMMUNITY, LLC SAN JOSE, CALIFORNIA
DRAWN BY: C/JG CHECKED BY: CHG DEPARTMENT: ENGR
ORIGINAL ISSUE DATE: 12.06.2024
CURRENT SET ISSUE DATE: XX.XX.XXXX
PERMIT SET / CONSTRUCTION ISSUE DATE: XX.XX.XXXX
DRAWING NUMBER: C3.1 6 OF 45 SHEETS

SEE SHEET C4.1, C5.1, & C6.1 SEE SHEET C4.2, C5.2, & C6.2

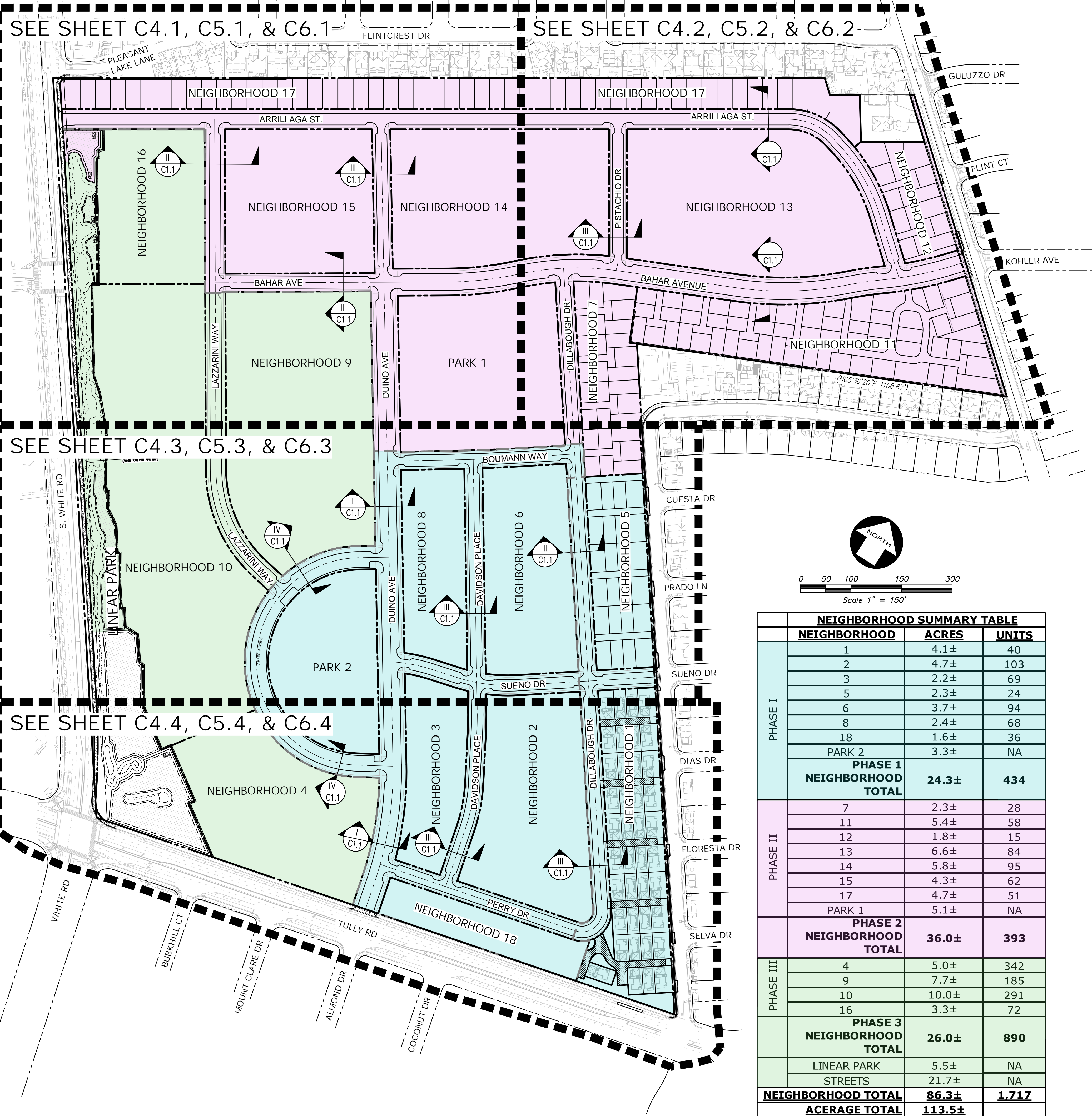
LEGEND

PROPOSED	DESCRIPTION
	PRIVATE DRIVE AISLE PUE & EVAE

PUBLIC SERVICE EASEMENT (PSE) NOTE
 PROPOSED NAMED STREETS WITHIN THE PLEASANT HILLS GOLF COURSE REDEVELOPMENT PROJECT TO BE COVERED BY A PUBLIC SERVICE EASEMENT (PSE) FOR PUBLIC ACCESS, UTILITIES, AND EMERGENCY VEHICLE ACCESS PURPOSES FROM BACK OF WALK TO BACK OF WALK

SEE SHEET C4.3, C5.3, & C6.3

SEE SHEET C4.4, C5.4, & C6.4



NEIGHBORHOOD SUMMARY TABLE			
	NEIGHBORHOOD	ACRES	UNITS
PHASE I	1	4.1±	40
	2	4.7±	103
	3	2.2±	69
	5	2.3±	24
	6	3.7±	94
	8	2.4±	68
	18	1.6±	36
	PARK 2	3.3±	NA
PHASE 1 NEIGHBORHOOD TOTAL		24.3±	434
PHASE II	7	2.3±	28
	11	5.4±	58
	12	1.8±	15
	13	6.6±	84
	14	5.8±	95
	15	4.3±	62
	17	4.7±	51
	PARK 1	5.1±	NA
PHASE 2 NEIGHBORHOOD TOTAL		36.0±	393
PHASE III	4	5.0±	342
	9	7.7±	185
	10	10.0±	291
	16	3.3±	72
PHASE 3 NEIGHBORHOOD TOTAL		26.0±	890
LINEAR PARK		5.5±	NA
STREETS		21.7±	NA
NEIGHBORHOOD TOTAL		86.3±	1,717
ACERAGE TOTAL		113.5±	

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OVERALL SITE PLAN, SHEET
 INDEX AND PHASING

PLEASANT HILLS GOLF COURSE
 MASTER PLANNED DEVELOPMENT PERMIT
 FOR
 LAKESIDE COMMUNITY, LLC
 SAN JOSE, CALIFORNIA

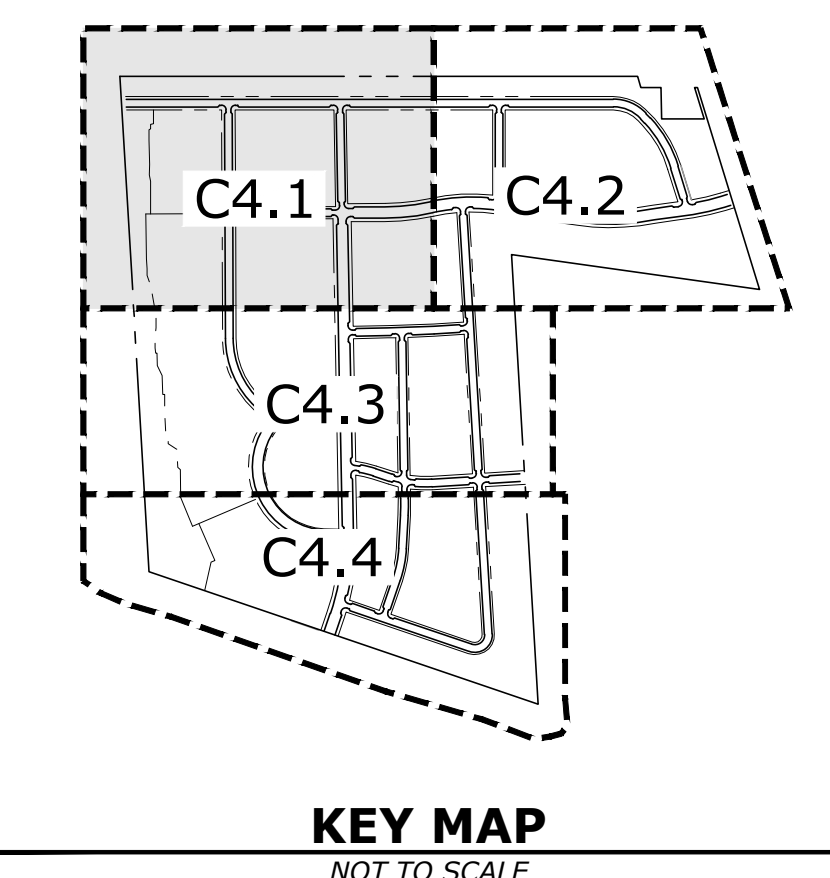
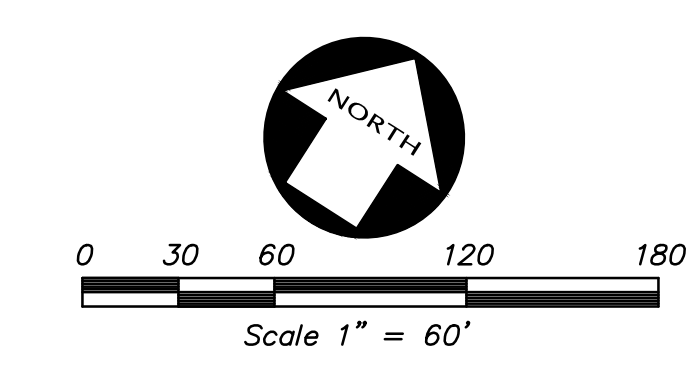
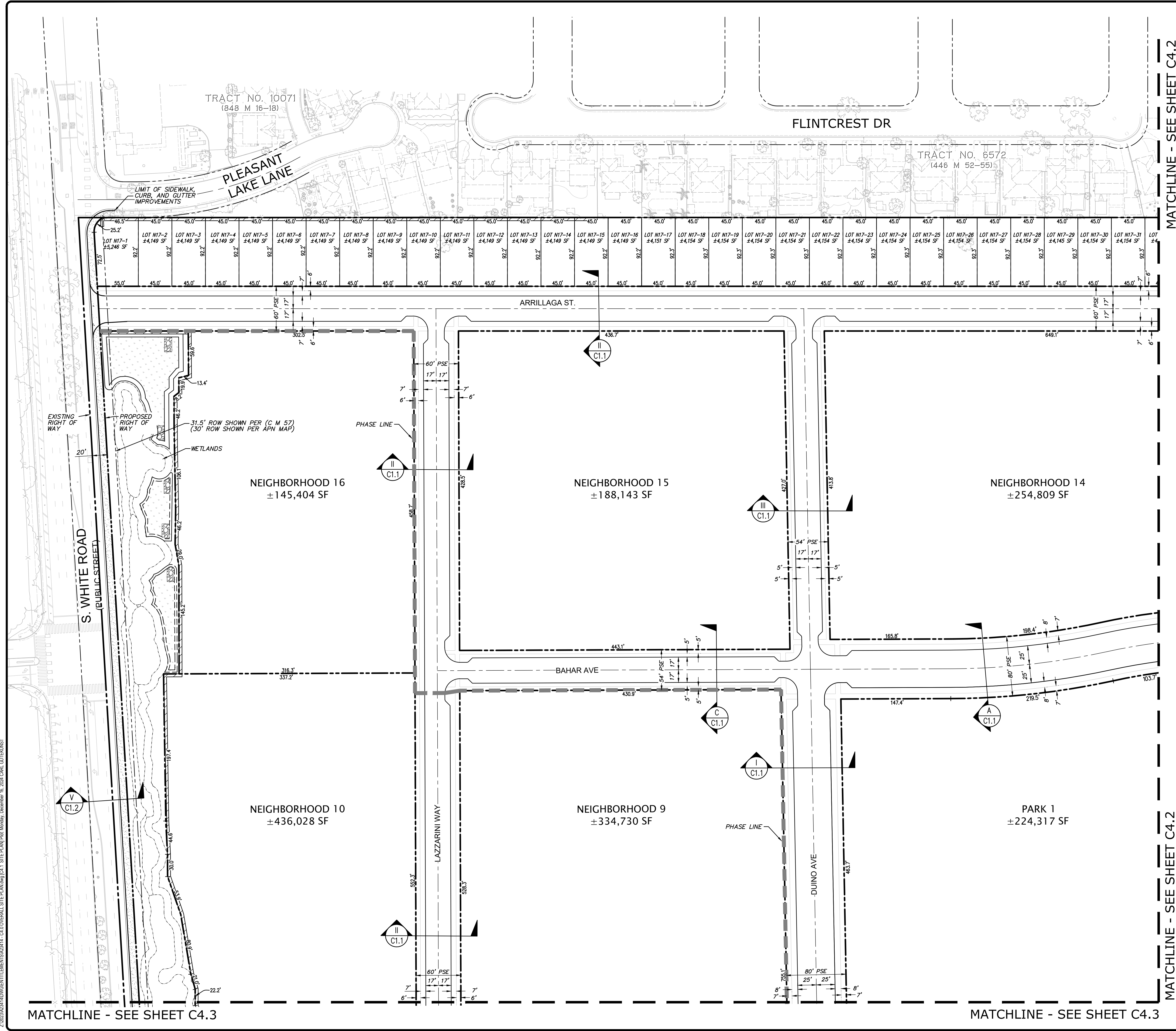
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 DATE: 12.06.2024

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 DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
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DRAWING NUMBER:
C4.0
 7 OF 45 SHEETS



MATCHLINE - SEE SHEET C4.2

MATCHLINE - SEE SHEET C4.3

MATCHLINE - SEE SHEET C4.3

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PRELIMINARY SITE PLAN
 PLEASANT HILLS GOLF COURSE
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 FOR
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 SAN JOSE, CALIFORNIA

DRAWN BY: CJG | CHECKED BY: CHG | DEPARTMENT: ENGR

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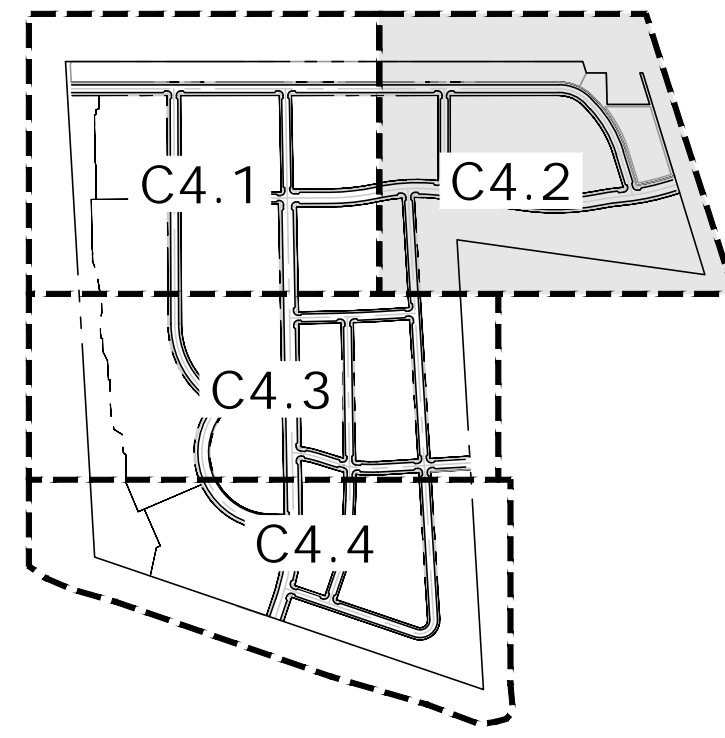
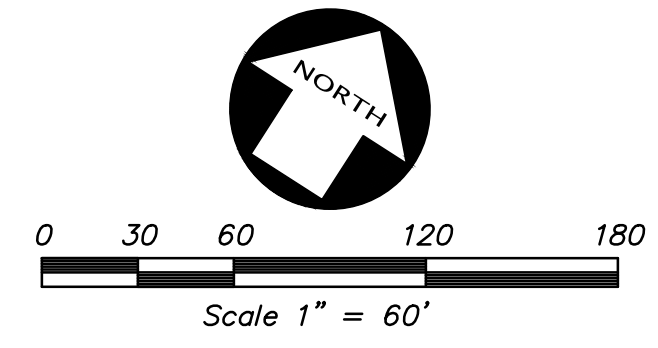
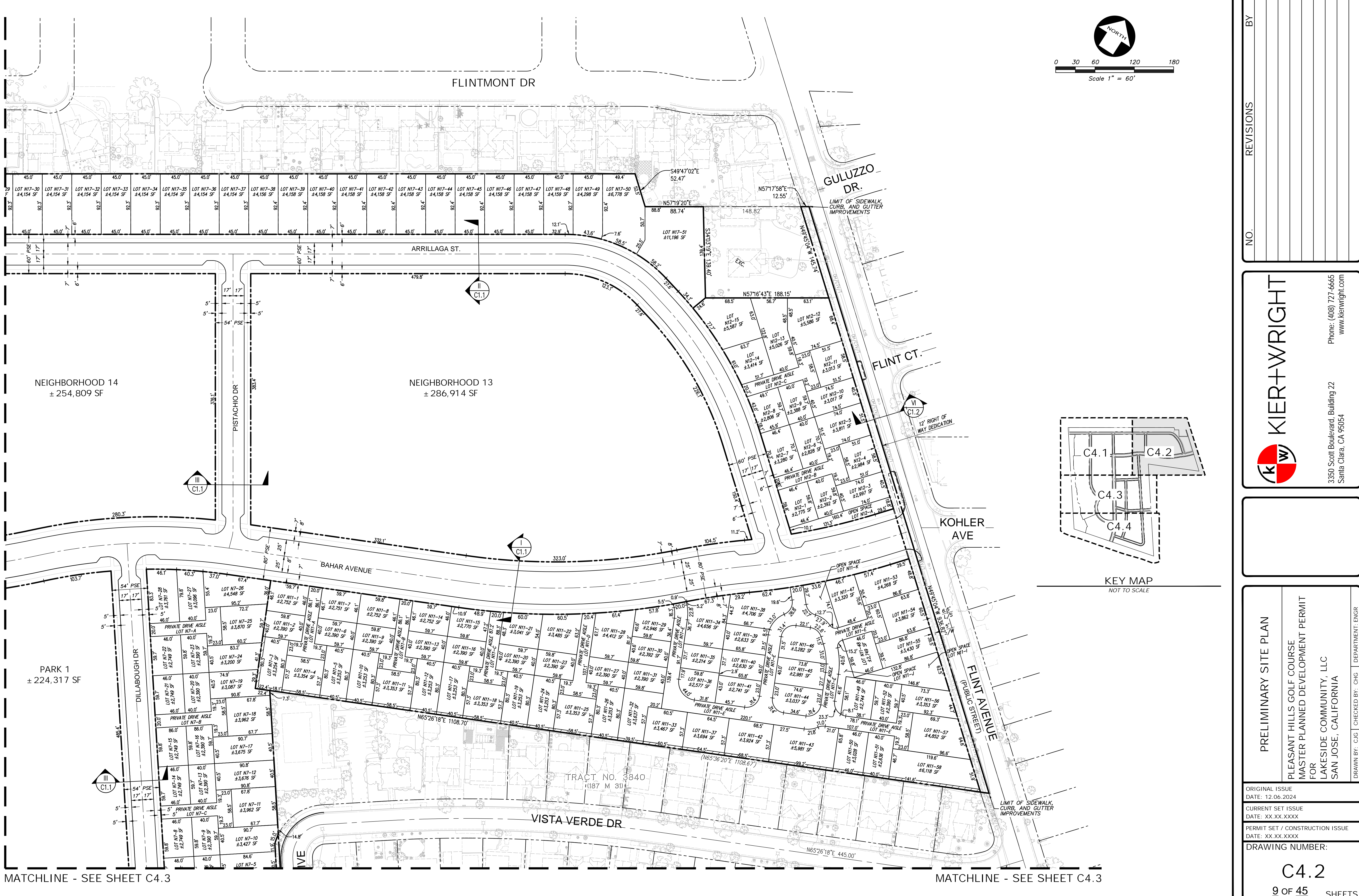
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PERMIT SET / CONSTRUCTION ISSUE
 DATE: XX.XX.XXXX

DRAWING NUMBER:
C4.1
 8 OF 45 SHEETS

MATCHLINE - SEE SHEET C4.1

MATCHLINE - SEE SHEET C4.1



KEY MAP
NOT TO SCALE

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PRELIMINARY SITE PLAN

PLEASANT HILLS GOLF COURSE
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FOR
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SAN JOSE, CALIFORNIA

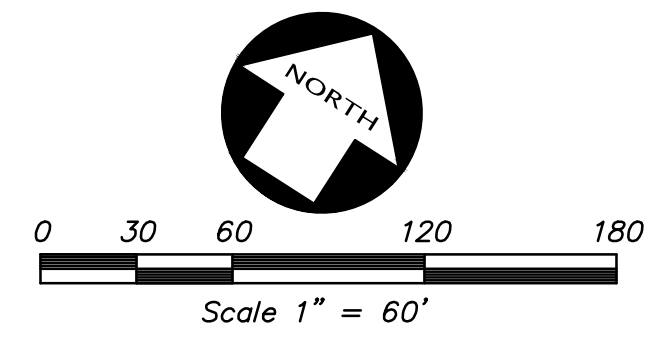
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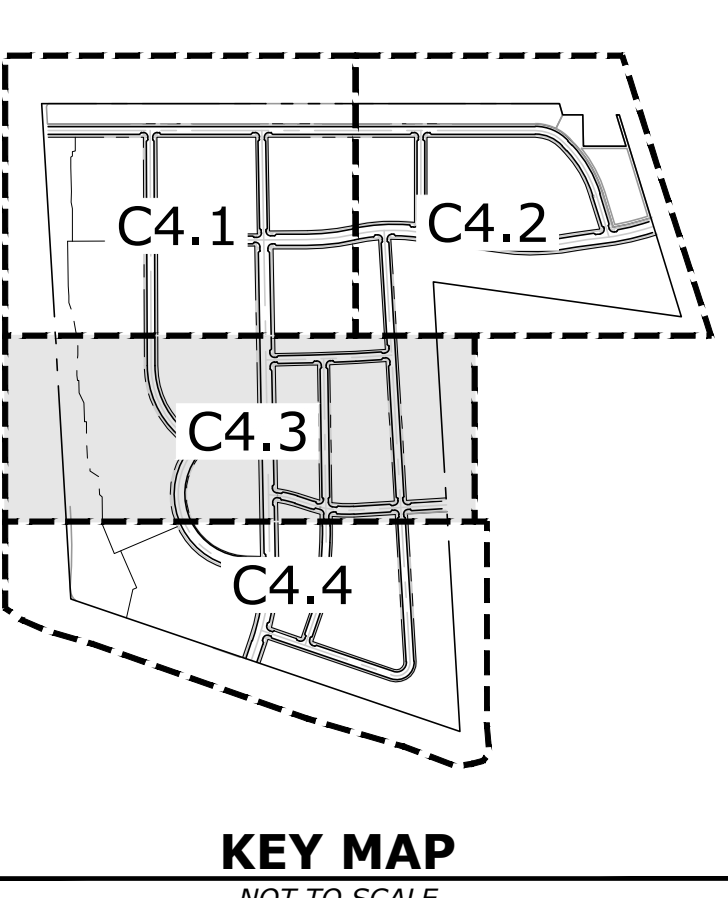
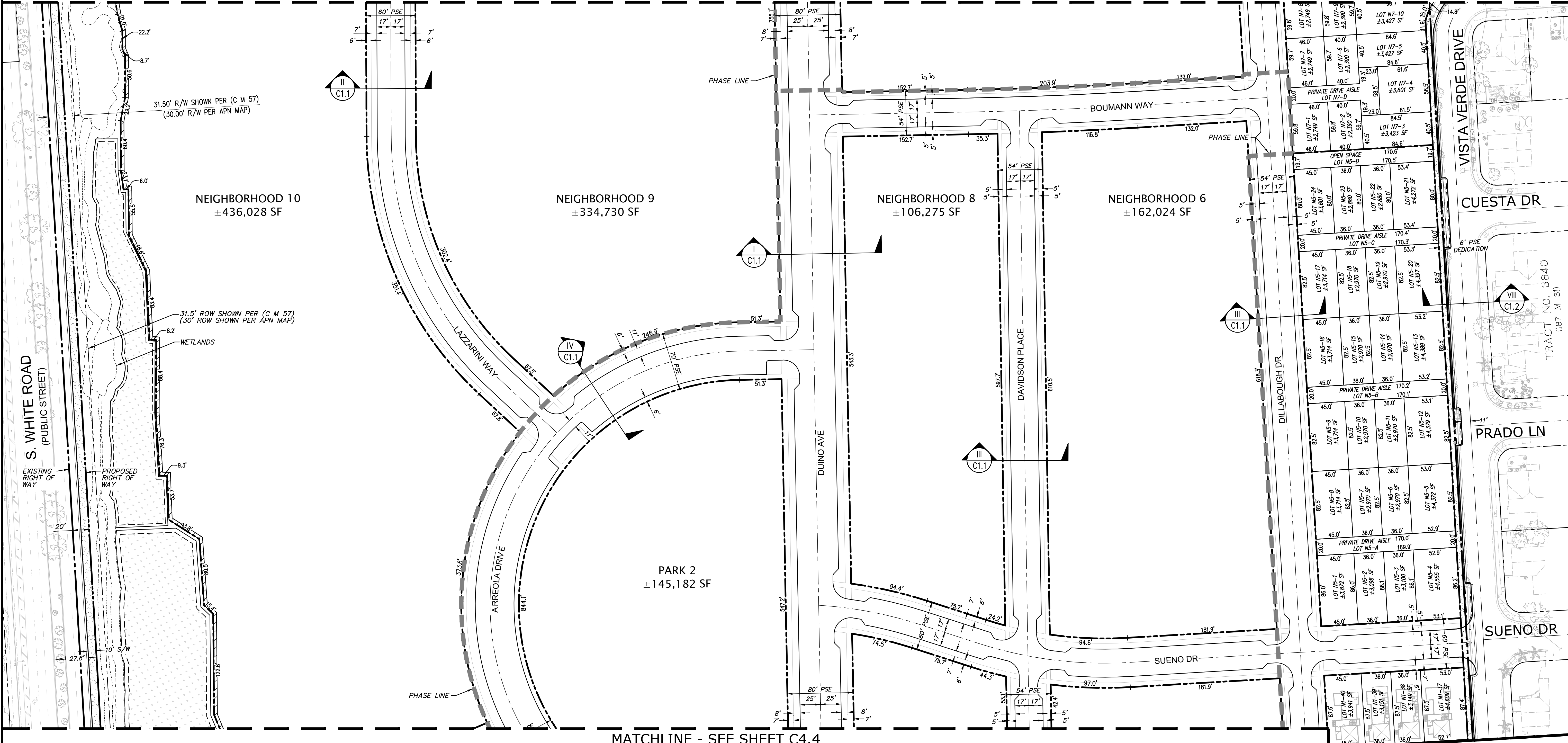
DRAWING NUMBER:

C4.2
9 OF 45 SHEETS



MATCHLINE - SEE SHEET C4.2

MATCHLINE - SEE SHEET C4.2



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PRELIMINARY SITE PLAN
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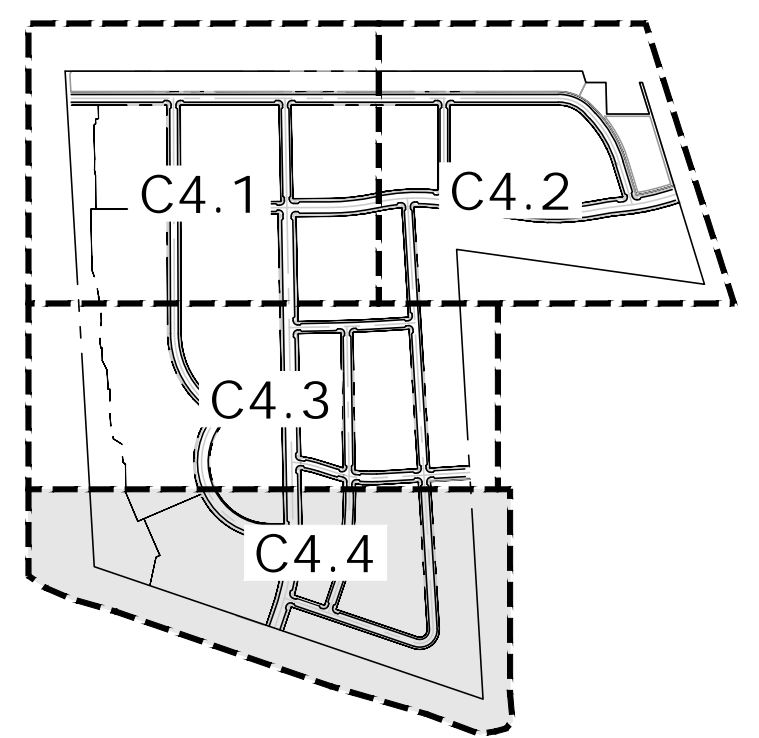
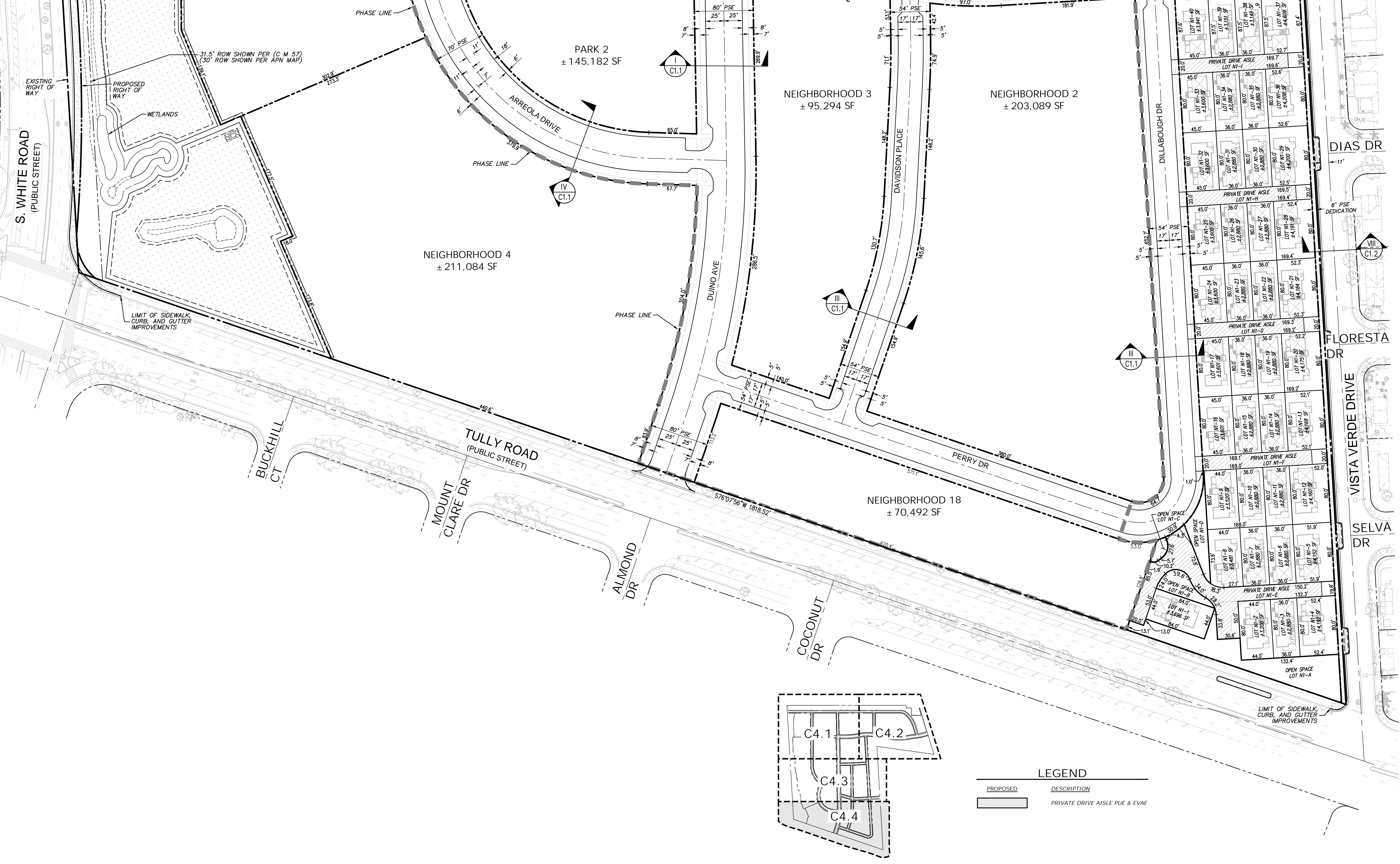
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DATE: 12.06.2024	
CURRENT SET ISSUE DATE: XX.XX.XXXX	
PERMIT SET / CONSTRUCTION ISSUE DATE: XX.XX.XXXX	
DRAWING NUMBER: C4.3	
10 OF 45 SHEETS	



0 30 60 120 180
Scale 1" = 60'

MATCHLINE - SEE SHEET C4.3

MATCHLINE - SEE SHEET C4.3

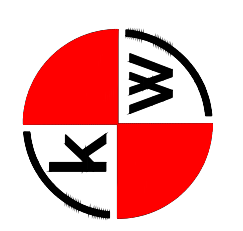


KEY MAP
NOT TO SCALE

LEGEND

PROPOSED	DESCRIPTION
	PRIVATE DRIVE AISLE PUE & EVAE

BY	
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PRELIMINARY SITE PLAN
 PLEASANT HILLS GOLF COURSE
 MASTER PLANNED DEVELOPMENT PERMIT
 FOR
 LAKESIDE COMMUNITY, LLC
 SAN JOSE, CALIFORNIA

DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR

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DRAWING NUMBER:
C4.4
 11 OF 45 SHEETS

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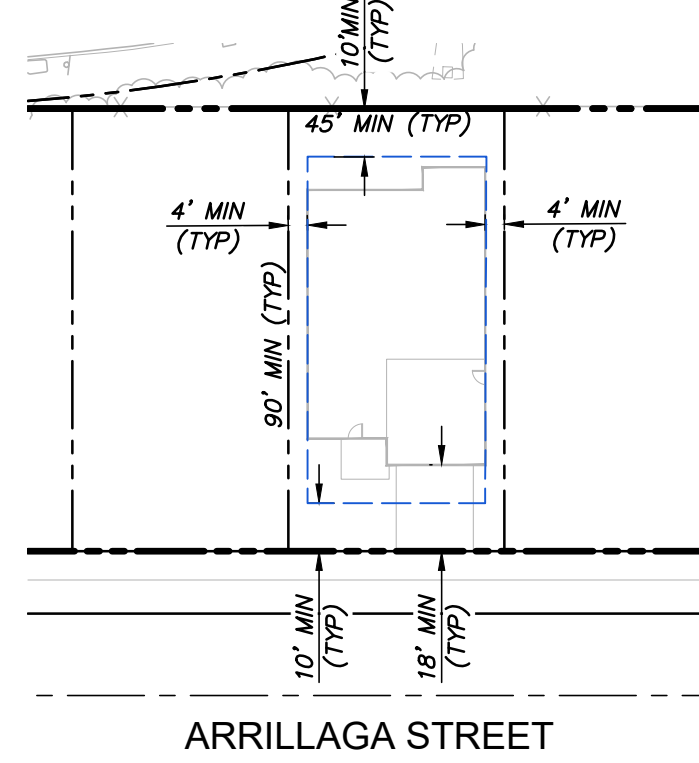
TYPICAL LOT SETBACKS

**PROPOSED OBJECTIVES
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 10' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHES, FIREPLACES, NOOKS, ETC MAY ENCR OACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 17
(2 STORY SFD - FRONT LOADED)

NOT TO SCALE

TYPICAL LOT SIZE: 45' X 90'
TYPICAL CORNER LOT: 51' X 90'

1

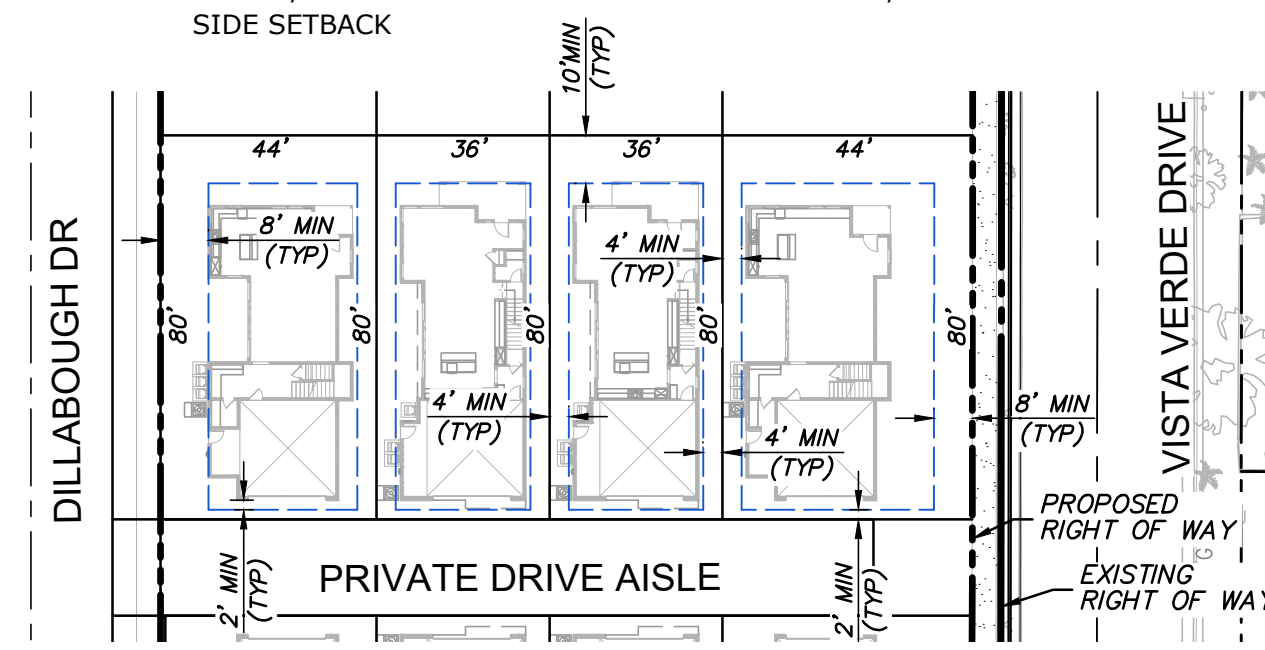
TYPICAL LOT SETBACK

**PROPOSED PROJECT
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 10' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHES, FIREPLACES, NOOKS, ETC MAY ENCR OACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 1 NEIGHBORHOOD 1 & 5
(2 STORY PASEO COURTS SFD - ALLEY LOADED)

NOT TO SCALE

2

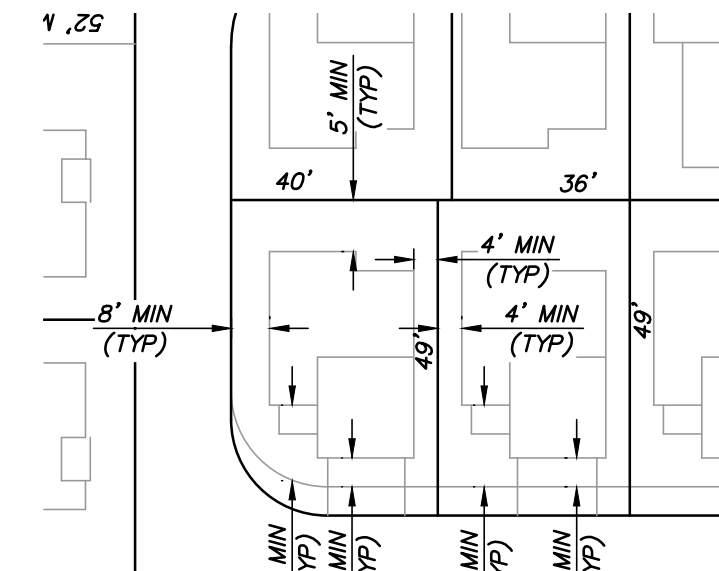
TYPICAL LOT SETBACK

**PROPOSED PROJECT
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET: 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 10' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHES, FIREPLACES, NOOKS, ETC MAY ENCR OACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 11
(2 STORY SFD FRONT LOADED)

NOT TO SCALE

TYPICAL LOT SIZE: 36' X 49'
TYPICAL CORNER LOT: 40' X 49'

3

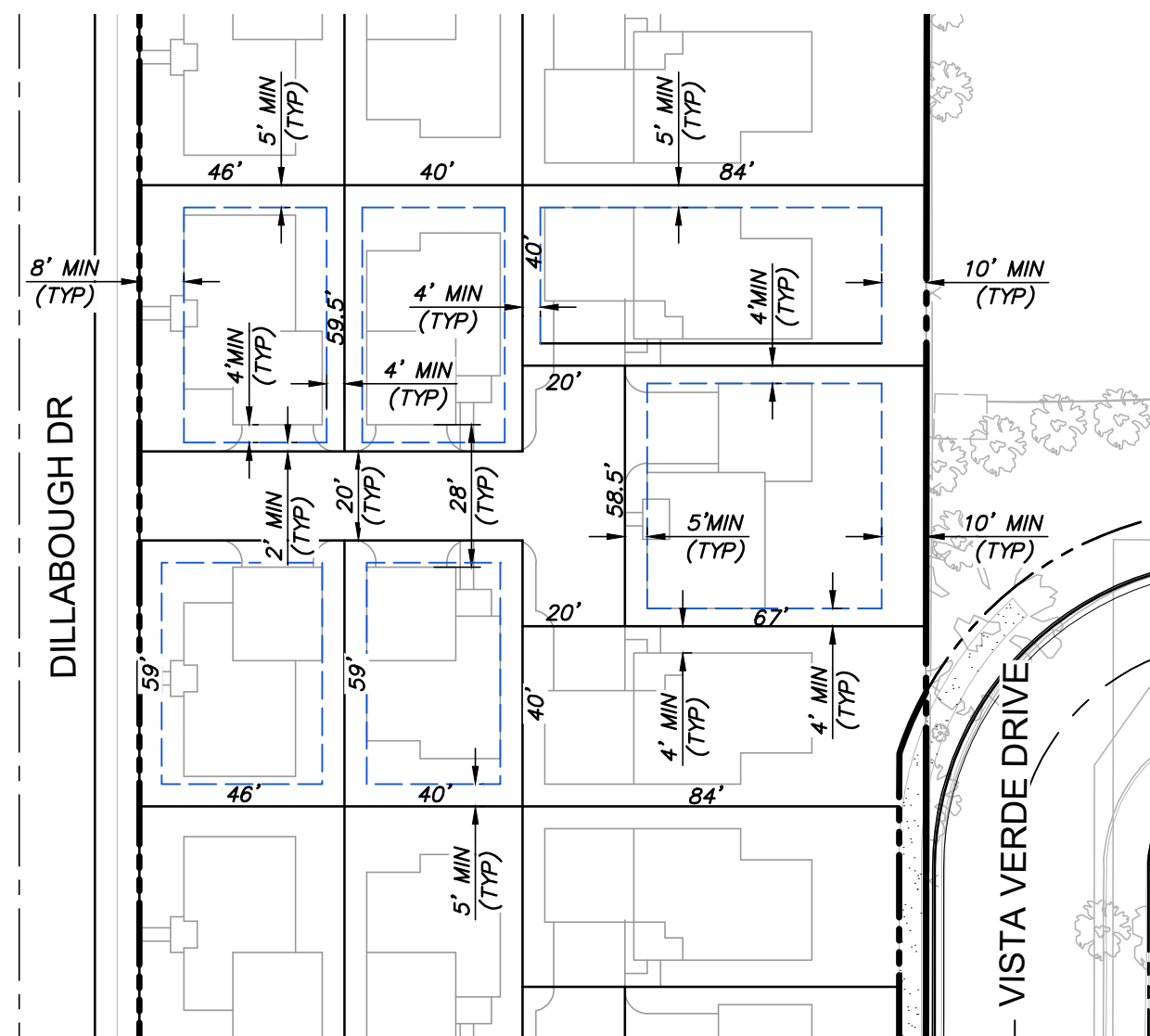
TYPICAL LOT SETBACKS

**PROPOSED OBJECTIVES
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 10' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHES, FIREPLACES, NOOKS, ETC MAY ENCR OACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 7
(2 STORY AUTO COURT SFD)

NOT TO SCALE

4

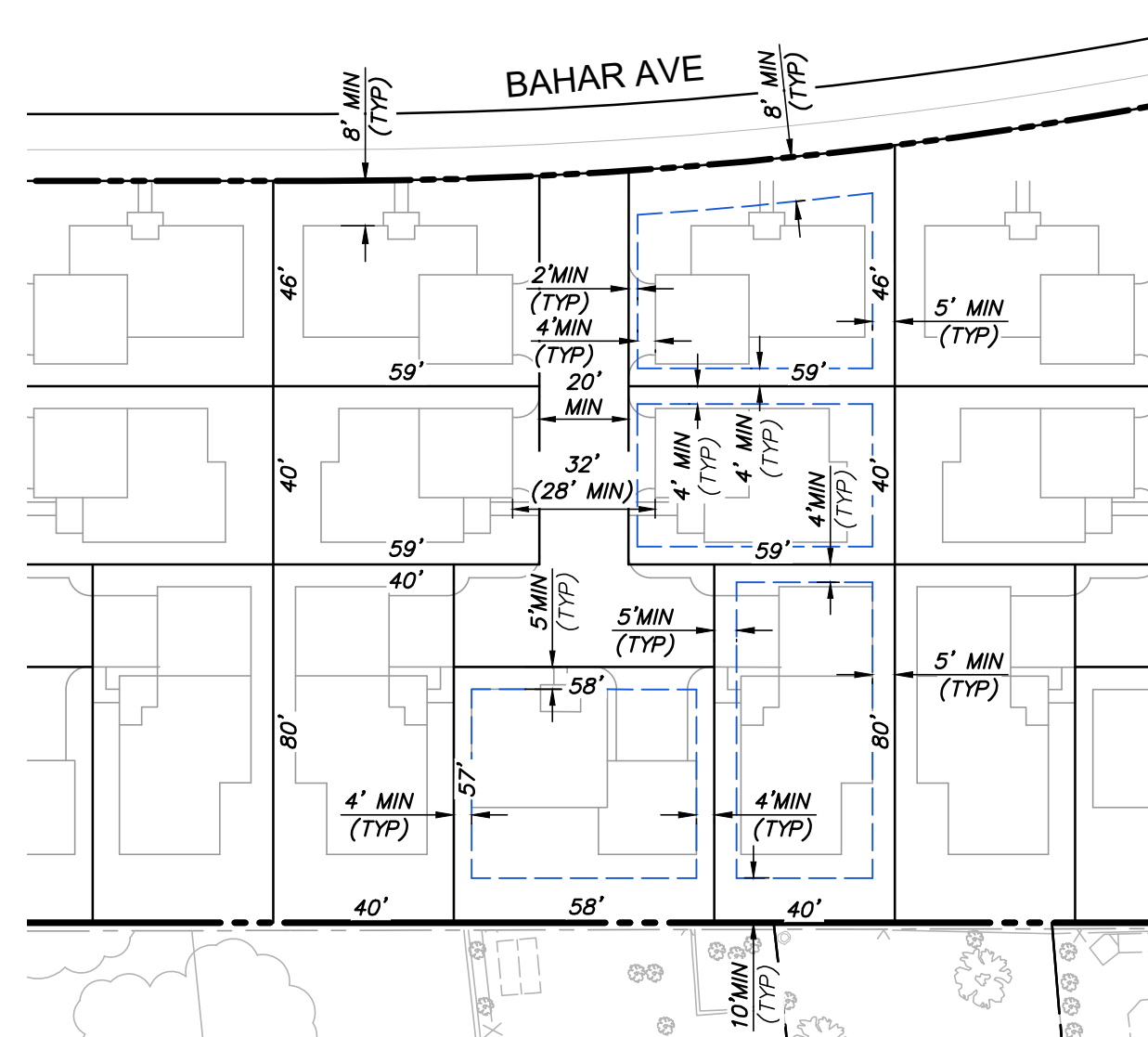
TYPICAL LOT SETBACK

**PROPOSED PROJECT
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 10' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHES, FIREPLACES, NOOKS, ETC MAY ENCR OACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 11
(2 STORY AUTO COURT SFD)

NOT TO SCALE

5

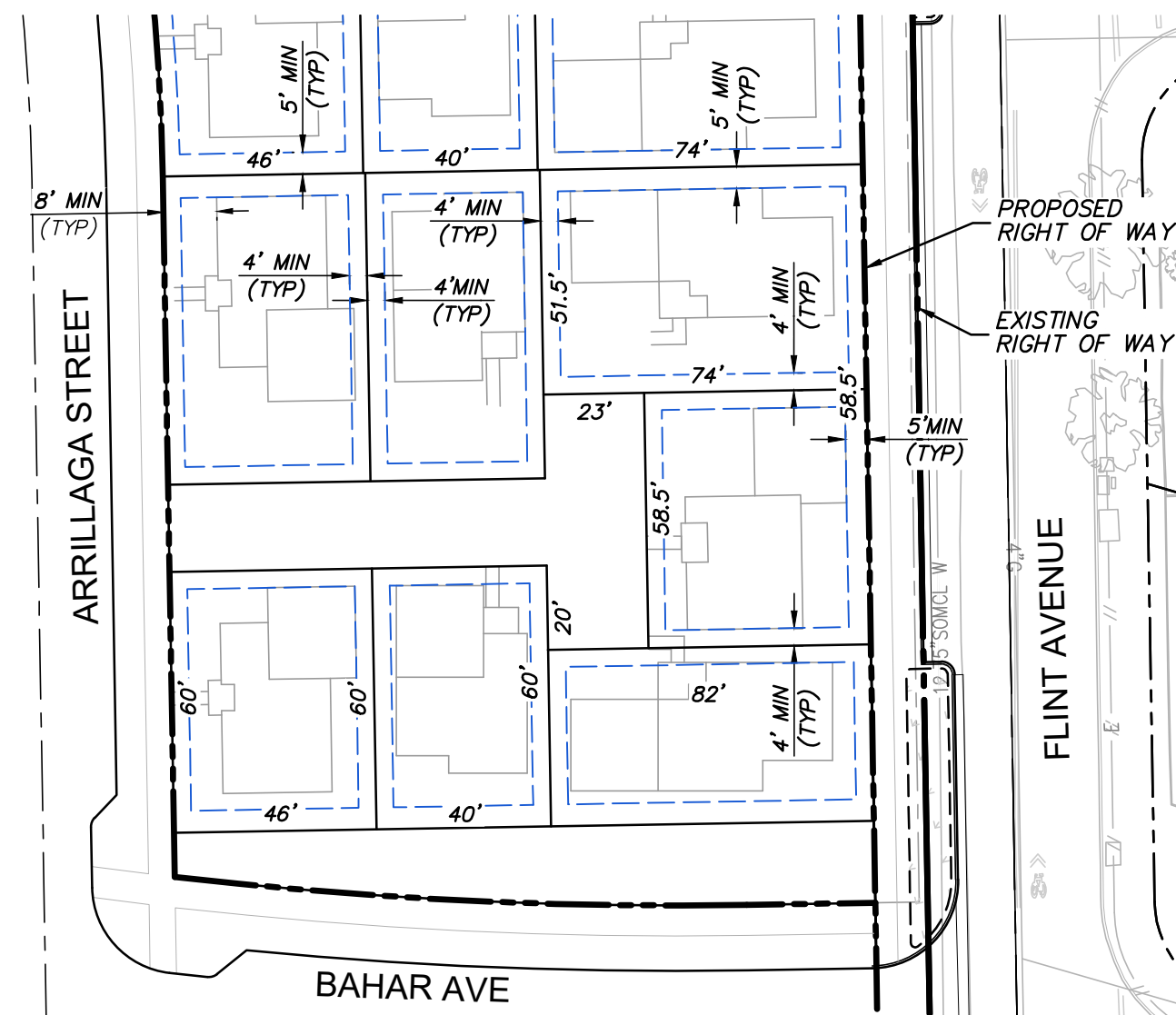
TYPICAL LOT SETBACK

**PROPOSED PROJECT
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET: 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 5' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHES, FIREPLACES, NOOKS, ETC MAY ENCR OACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 12
(2 STORY AUTO COURT SFD)

NOT TO SCALE

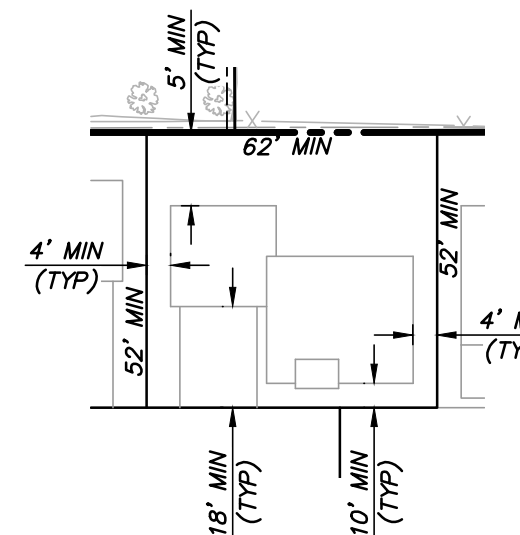
6

TYPICAL LOT SETBACKS

**PROPOSED OBJECTIVES
DEVELOPMENT STANDARDS**

GARAGE: 18' MIN
FRONT (LIVING SPACE): 10' MIN
SIDE: 4' MIN
REAR (LIVING SPACE): 5' MIN

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHES, FIREPLACES, NOOKS, ETC MAY ENCR OACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 11
(2 STORY SFD SIDE ON GARAGE)

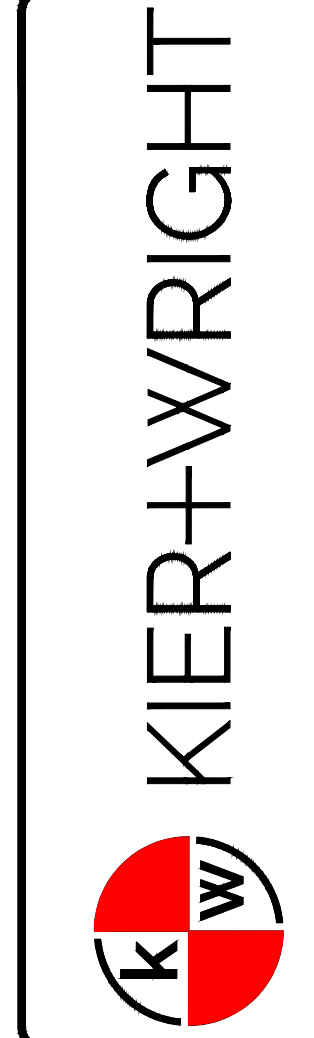
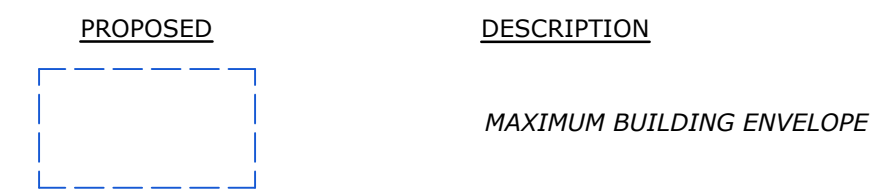
NOT TO SCALE

7

GENERAL NOTES

- LOT DIMENSIONS ON PARCELS IN NEIGHBORHOODS 7, 11, AND 12 ARE CONCEPTUAL ONLY. LOT DIMENSIONS ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN AND CAN ADJUST PROVIDED THE PROPOSED SETBACKS ARE MAINTAINED.
- CORNER LOT SIDE SETBACK ONLY APPLIES WHEN ADJACENT TO A PUBLIC STREET.

LEGEND



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TYPICAL LOT SETBACKS

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FOR
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SAN JOSE, CALIFORNIA

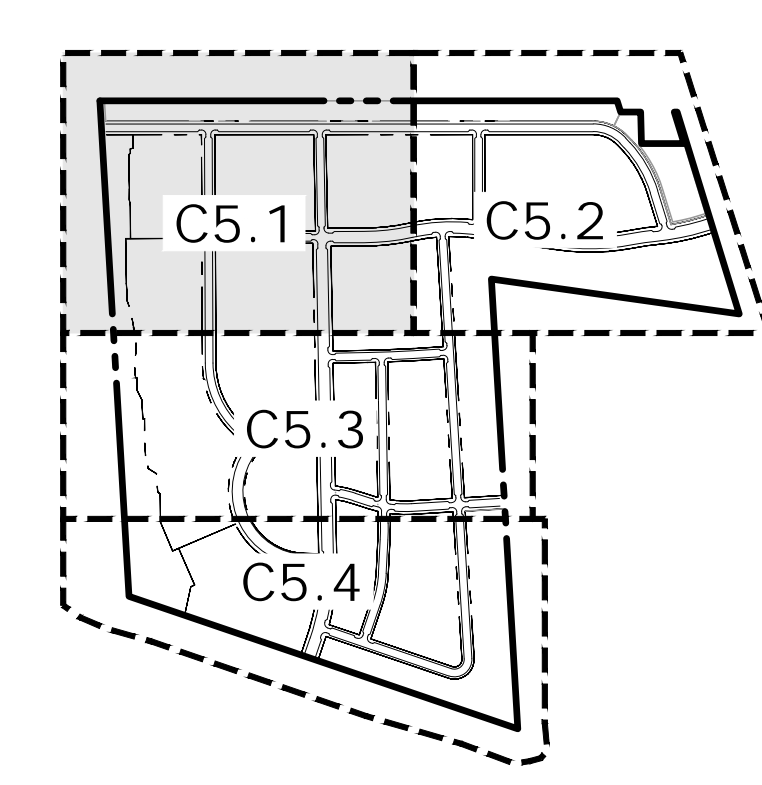
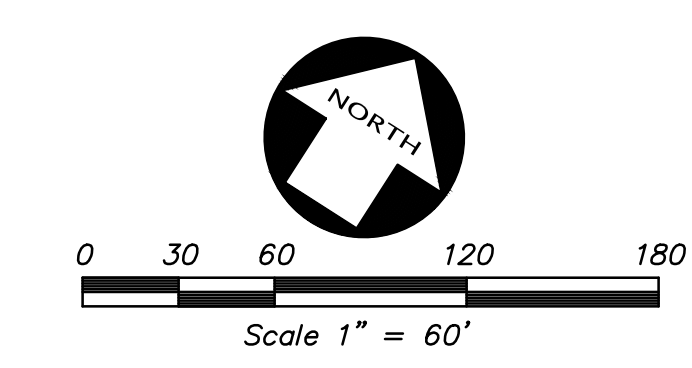
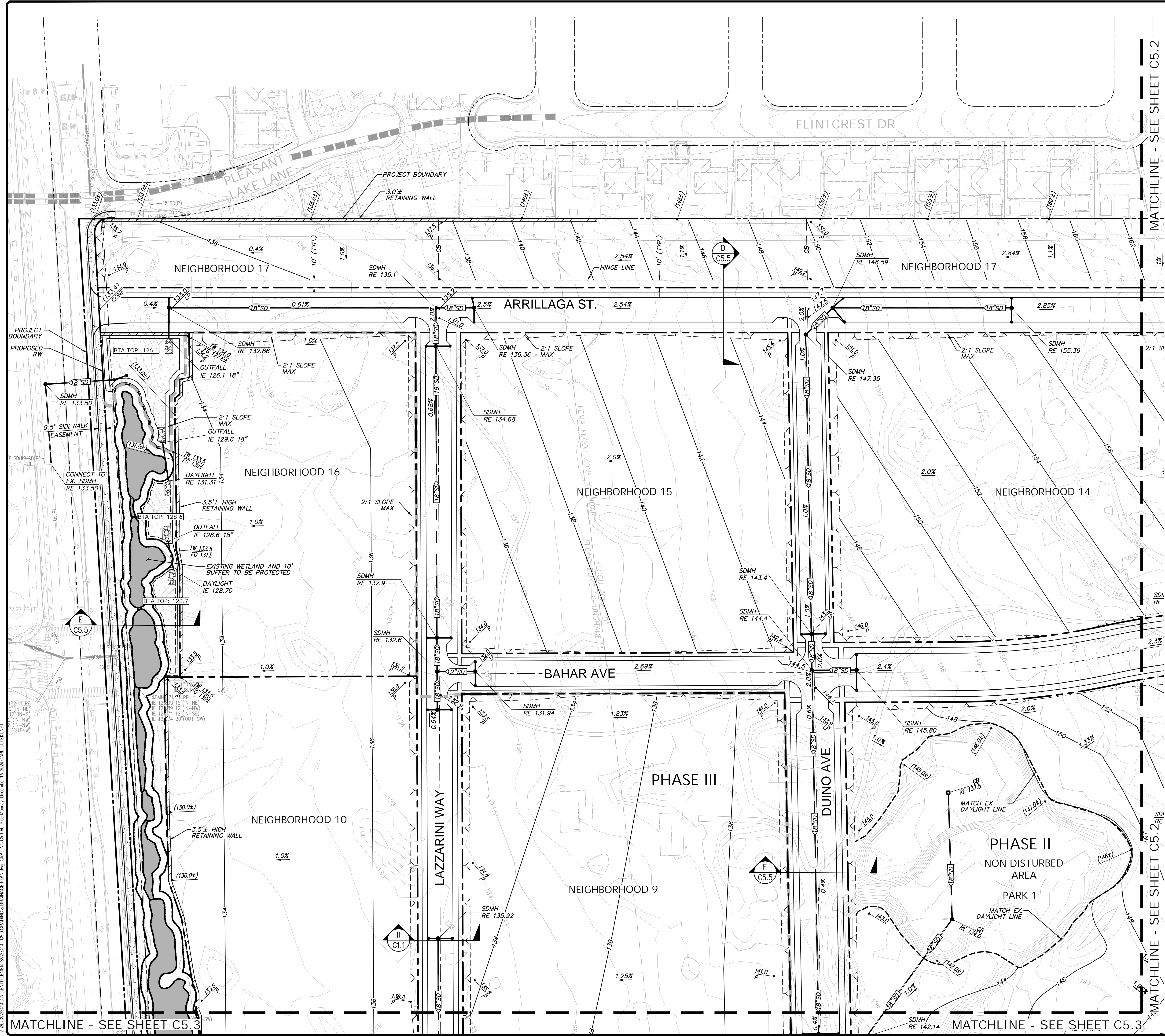
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DATE: XX.XX.XXXX

DRAWING NUMBER:
C4.5
12 OF 45 SHEETS

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PRELIMINARY GRADING PLAN

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

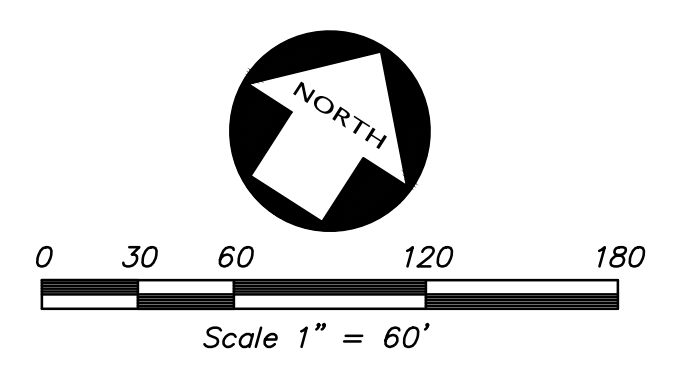
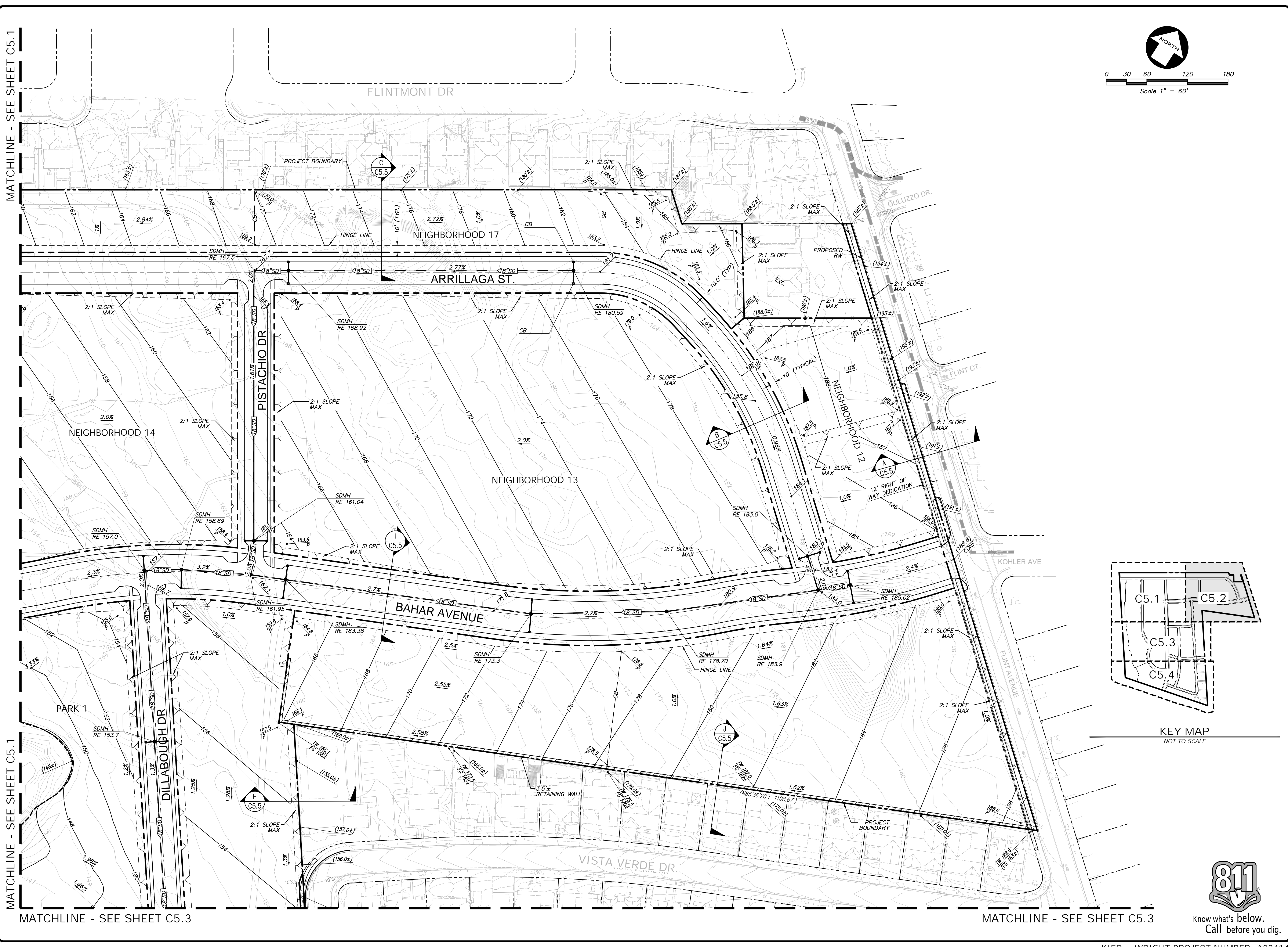
ORIGINAL ISSUE
DATE: 12.06.2024

CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

DRAWING NUMBER:
C5.1
13 OF 45 SHEETS

DRAWN BY: C/JG CHECKED BY: CHG DEPARTMENT: ENGR

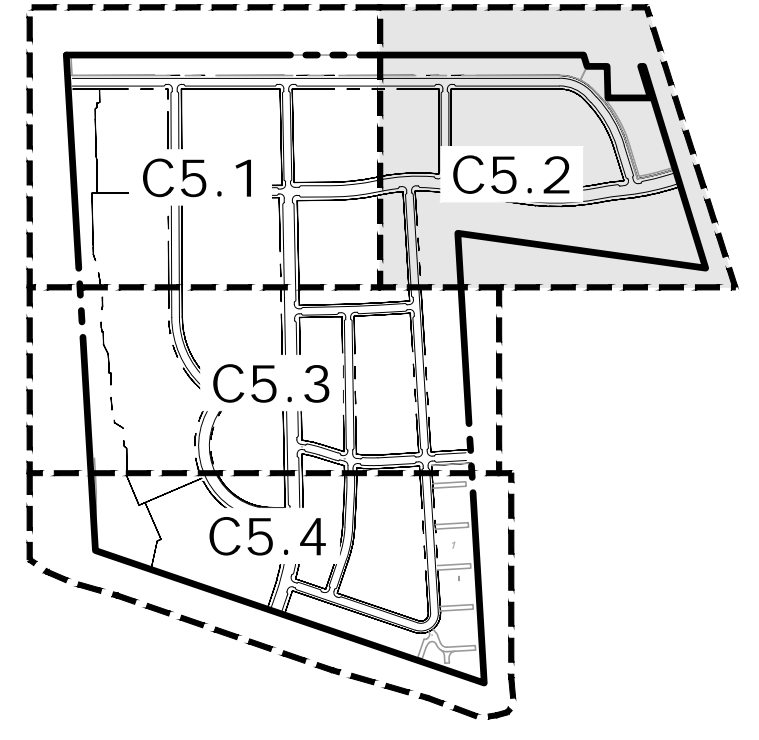


MATCHLINE - SEE SHEET C5.1

MATCHLINE - SEE SHEET C5.1

MATCHLINE - SEE SHEET C5.3

MATCHLINE - SEE SHEET C5.3



KEY MAP
NOT TO SCALE

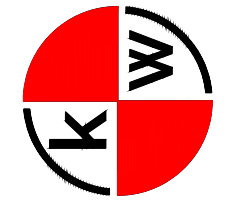


Know what's below.
Call before you dig.

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REVISIONS _____



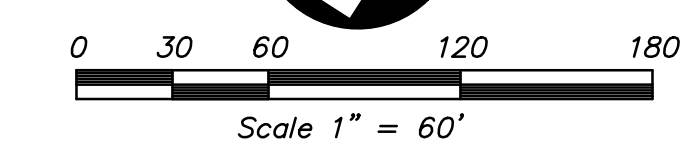
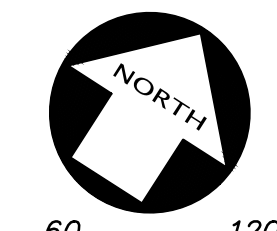
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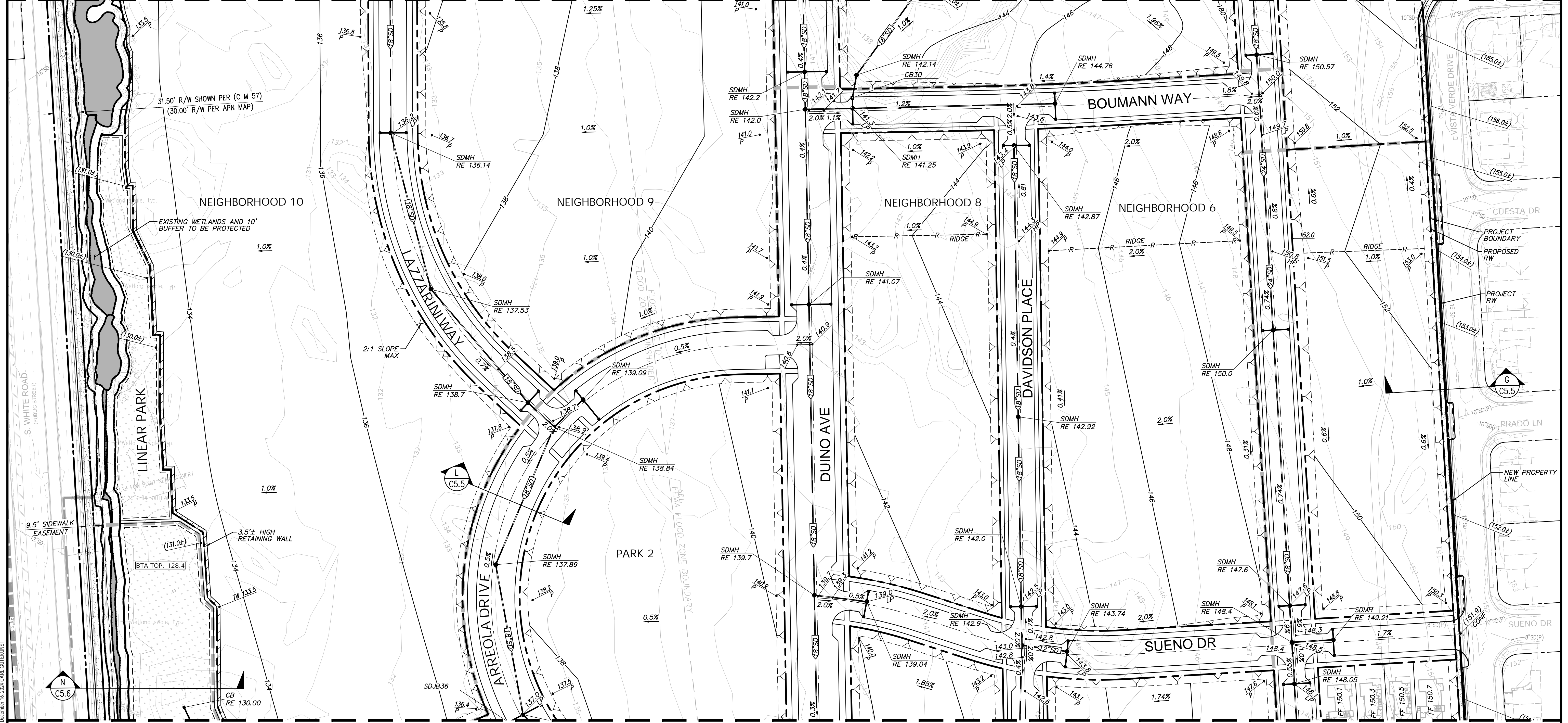


<p>PRELIMINARY GRADING PLAN</p> <p>PLEASANT HILLS GOLF COURSE MASTER PLANNED DEVELOPMENT PERMIT FOR LAKESIDE COMMUNITY, LLC SAN JOSE, CALIFORNIA</p> <p>DRAWN BY: C/JG CHECKED BY: CHG DEPARTMENT: ENGR</p>	<p>ORIGINAL ISSUE DATE: 12.06.2024</p> <p>CURRENT SET ISSUE DATE: XX.XX.XXXX</p> <p>PERMIT SET / CONSTRUCTION ISSUE DATE: XX.XX.XXXX</p> <p>DRAWING NUMBER: C5.2 14 OF 45 SHEETS</p>
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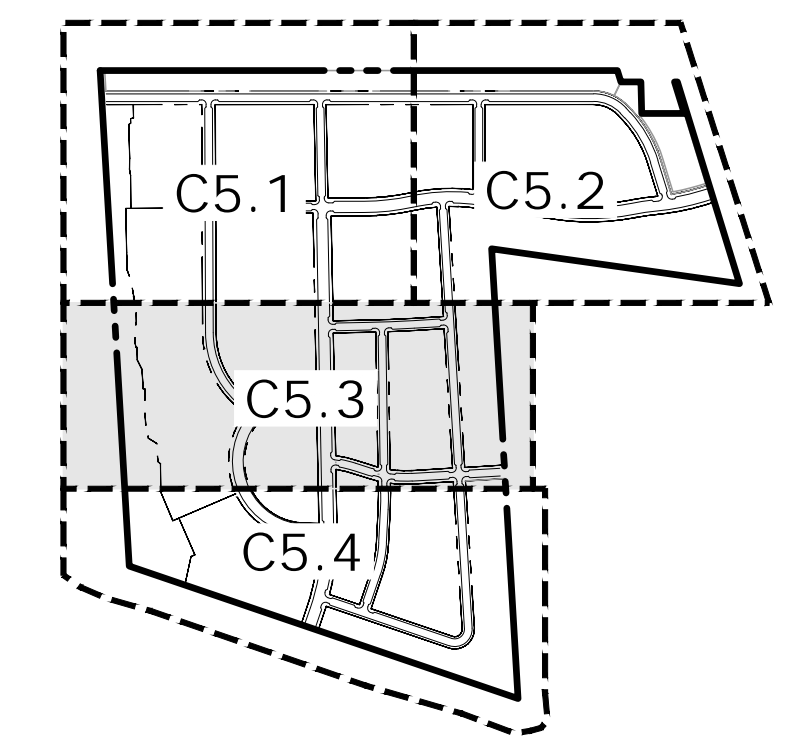
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MATCHLINE - SEE SHEET C5.2



MATCHLINE - SEE SHEET C5.4

MATCHLINE - SEE SHEET C5.4



KEY MAP
NOT TO SCALE

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ORIGINAL ISSUE
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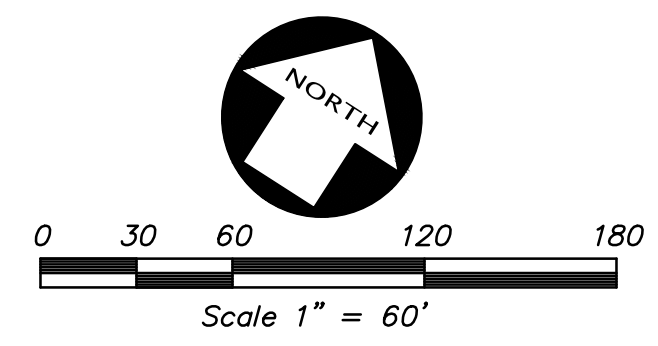
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15 OF 45 SHEETS

DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR

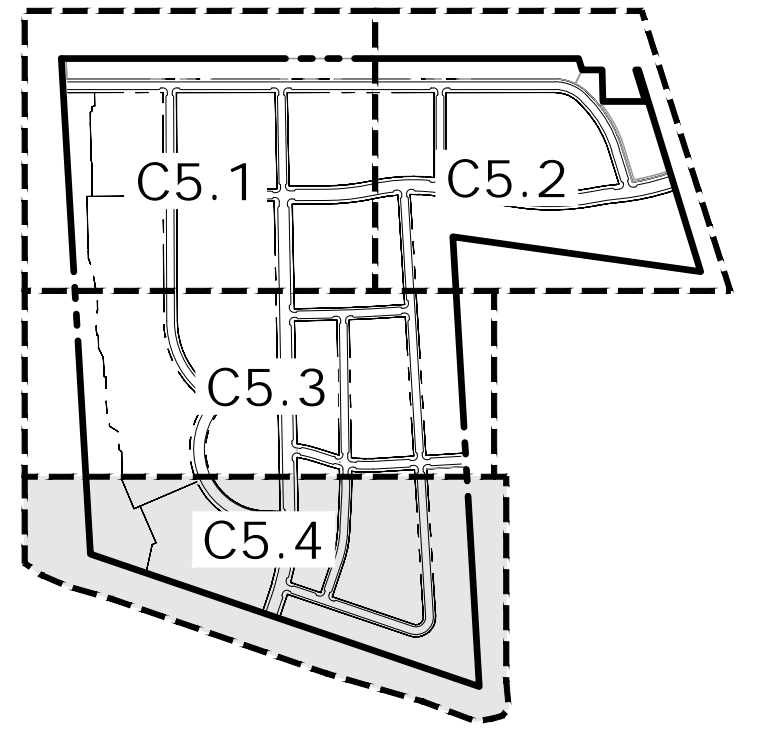
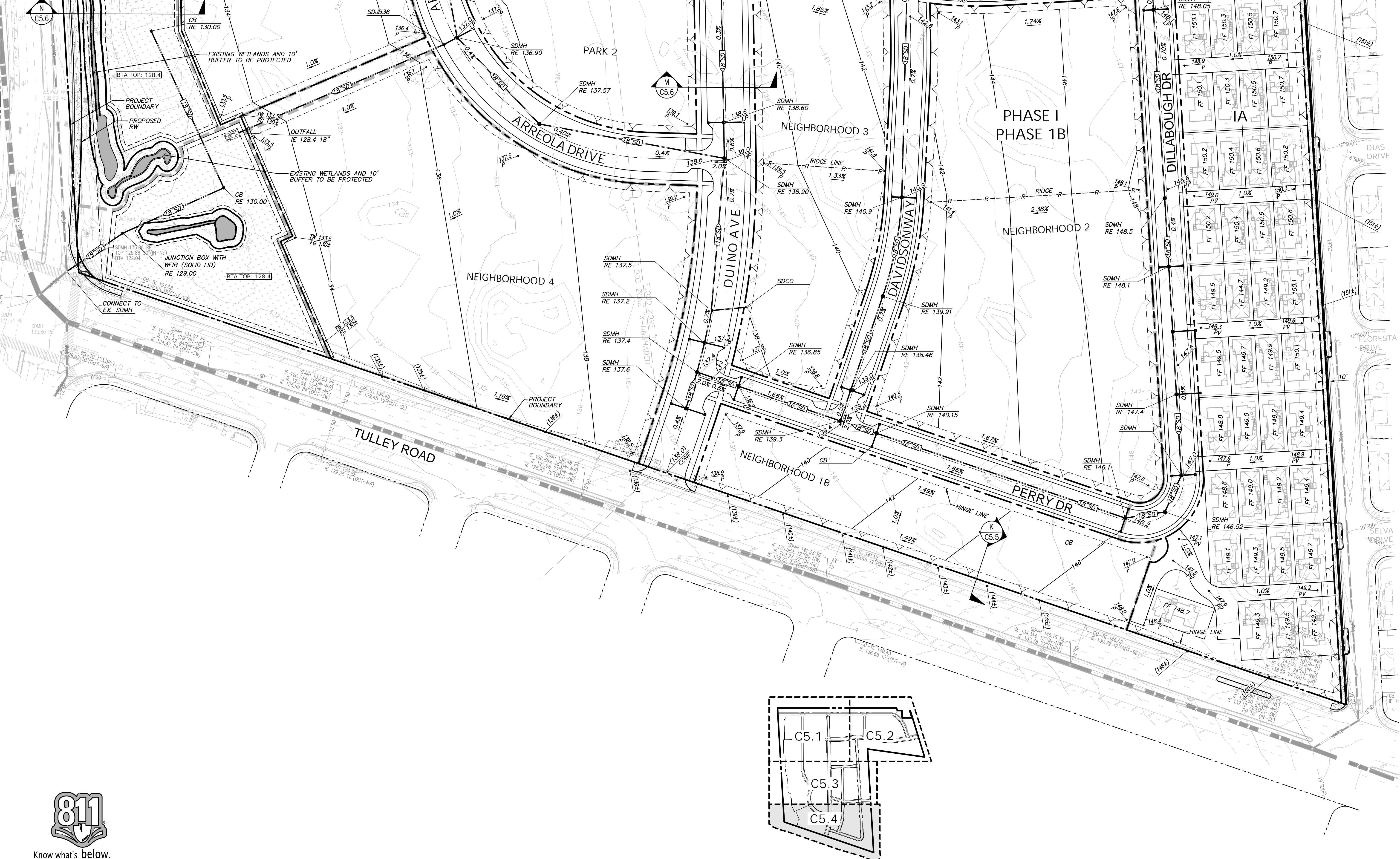


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MATCHLINE - SEE SHEET C5.3

MATCHLINE - SEE SHEET C5.3



KEY MAP
NOT TO SCALE

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PRELIMINARY GRADING PLAN

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FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR

ORIGINAL ISSUE DATE: 12.06.2024
CURRENT SET ISSUE DATE: XX.XX.XXXX
PERMIT SET / CONSTRUCTION ISSUE DATE: XX.XX.XXXX

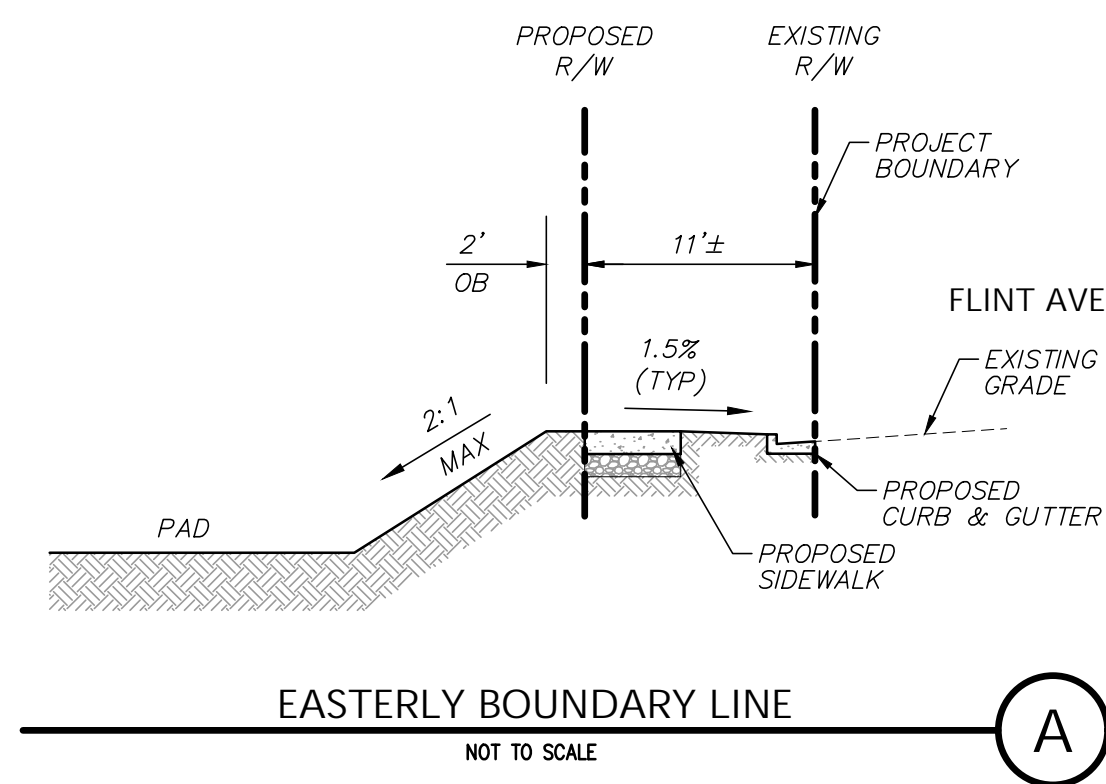
DRAWING NUMBER:
C5.4
16 OF 45 SHEETS



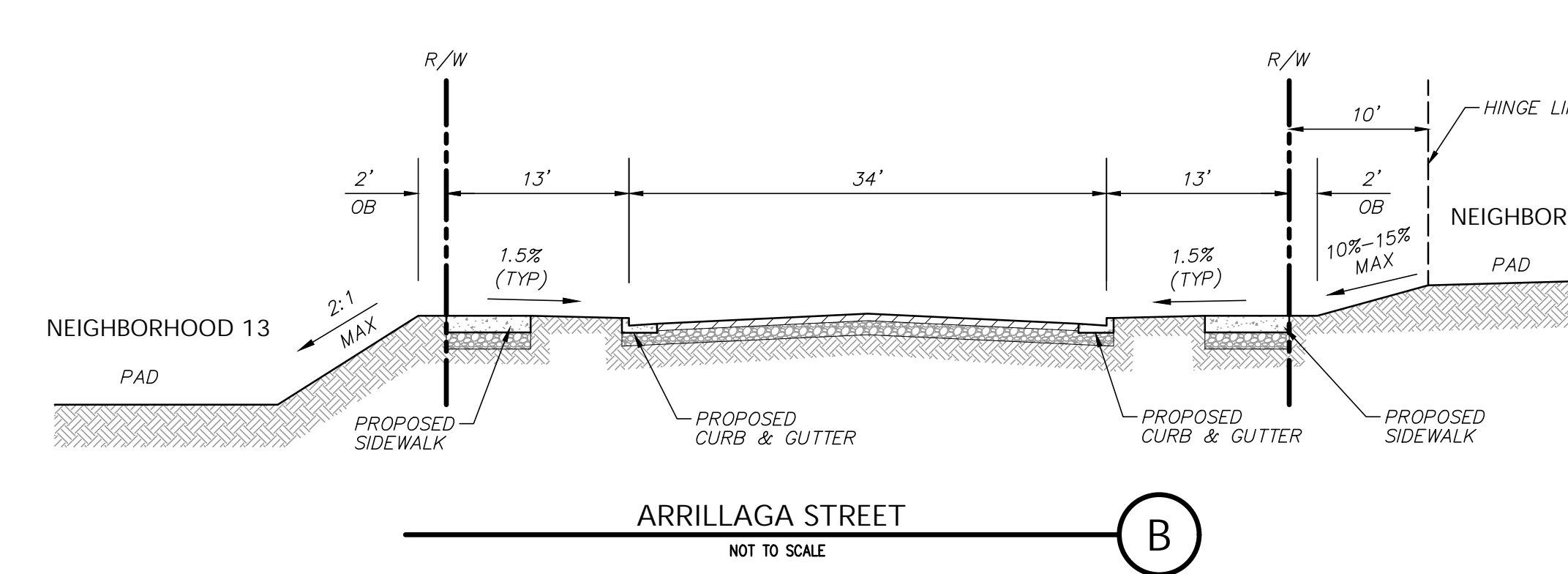
Know what's below.
Call before you dig.

2:20240614(0)INVENTENTMENTS02014 - C5.4 GRADING & DRAINAGE PLAN (REVISED) (SHEET) (DATE: 12.06.2024) (SCALE: 1"=60') (PROJECT: PLEASANT HILLS GOLF COURSE MASTER PLANNED DEVELOPMENT PERMIT FOR LAKESIDE COMMUNITY, LLC SAN JOSE, CALIFORNIA)

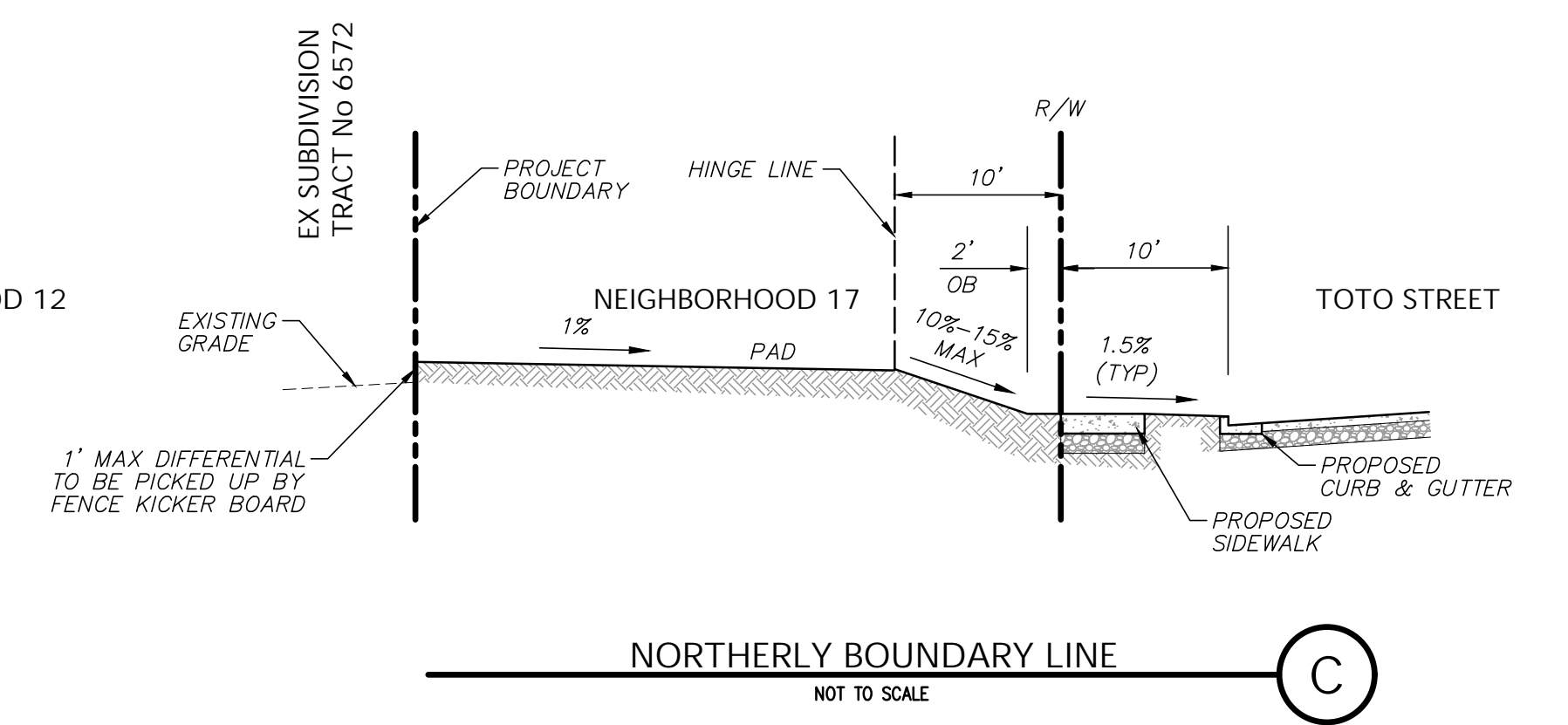
2:02/24/24/14/0/IN/ENT/ITEMS/02/24 - C5.5 GRADING SECTIONS AND C5.5 GRADING SECTIONS (Plan History) - December 16, 2024 - CARL GUTENRIST



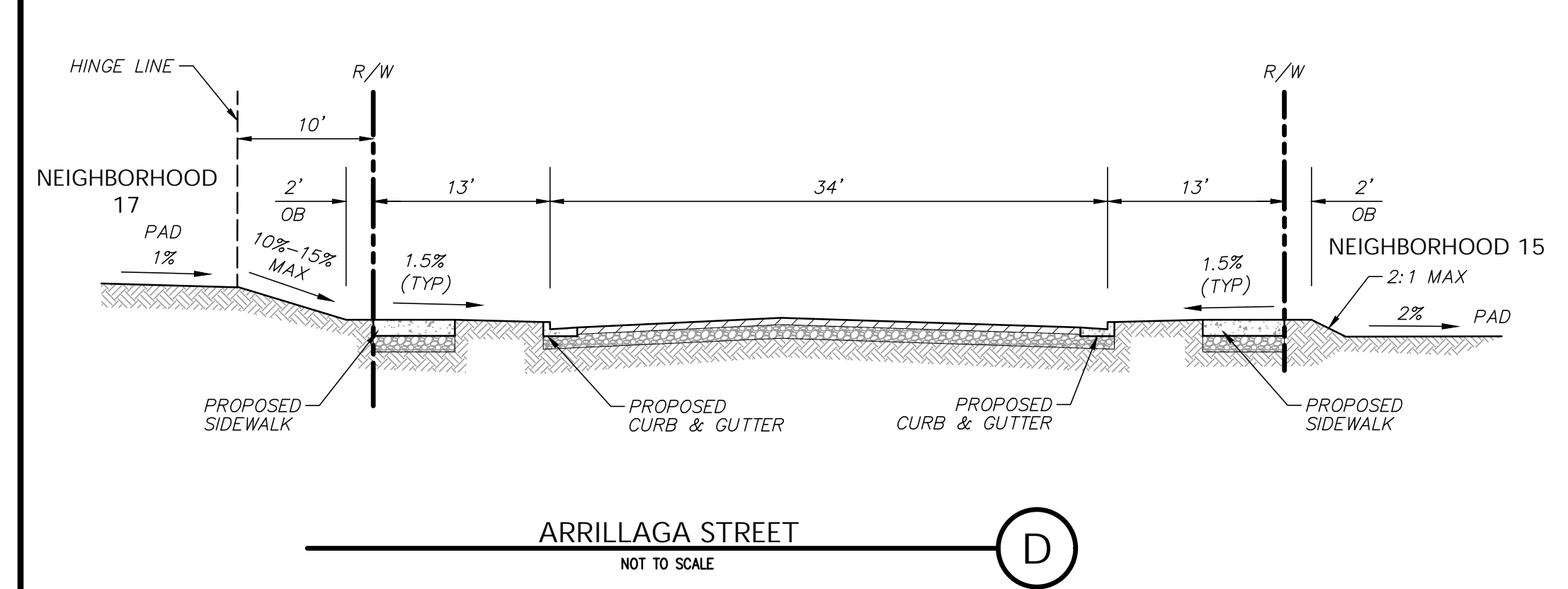
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NOT TO SCALE (A)



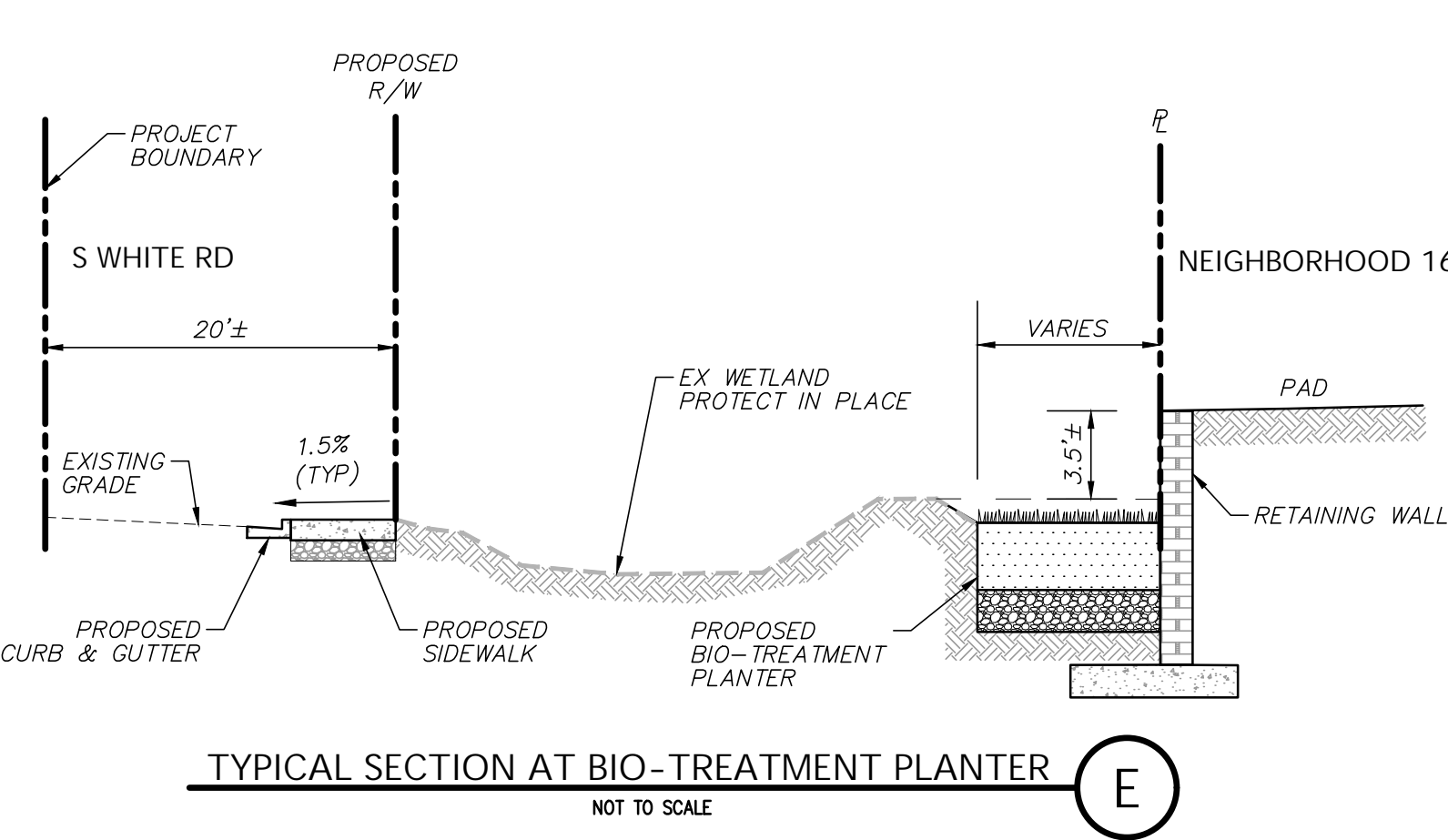
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NOT TO SCALE (B)



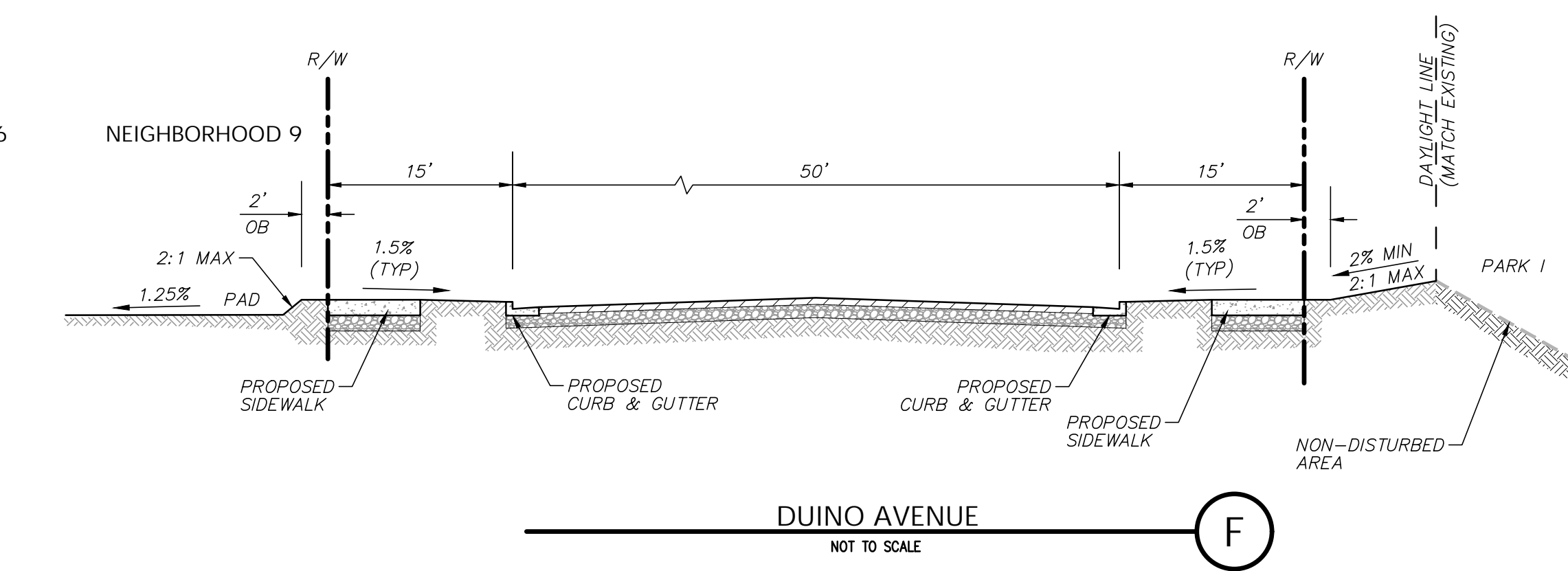
NORTHERLY BOUNDARY LINE
NOT TO SCALE (C)



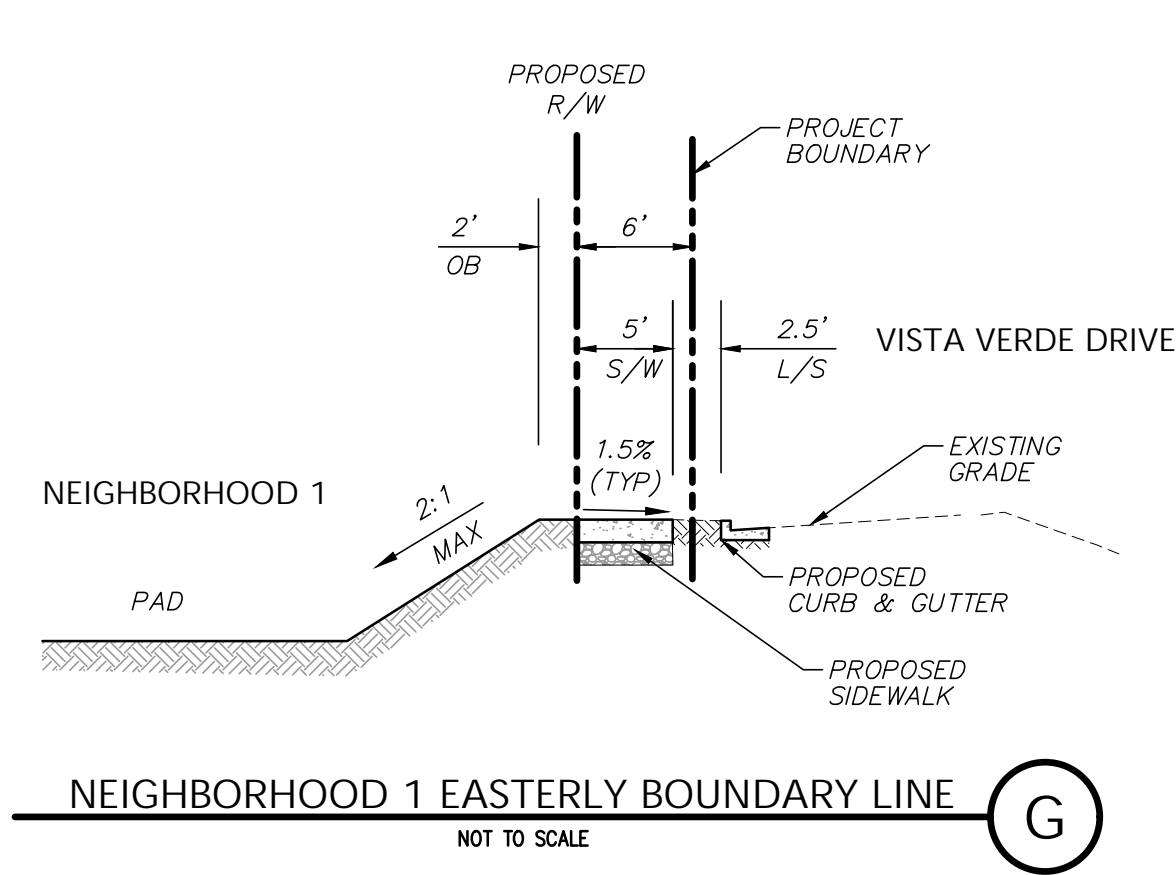
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NOT TO SCALE (D)



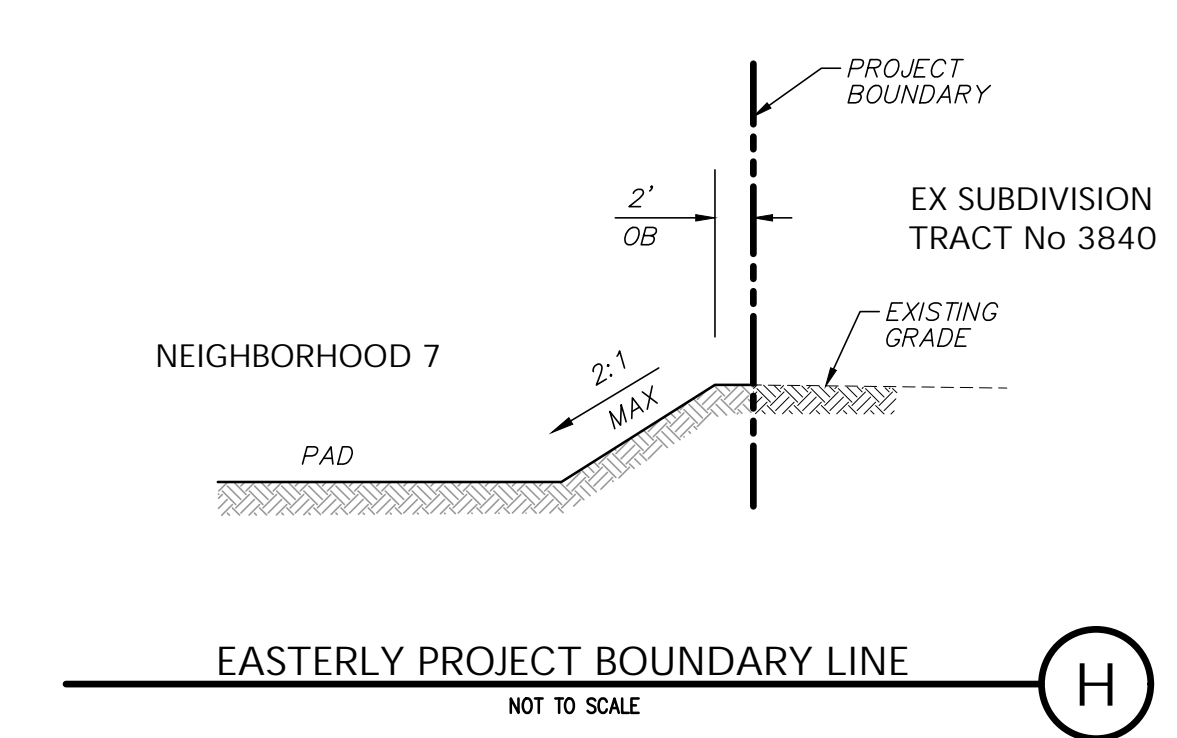
TYPICAL SECTION AT BIO-TREATMENT PLANTER
NOT TO SCALE (E)



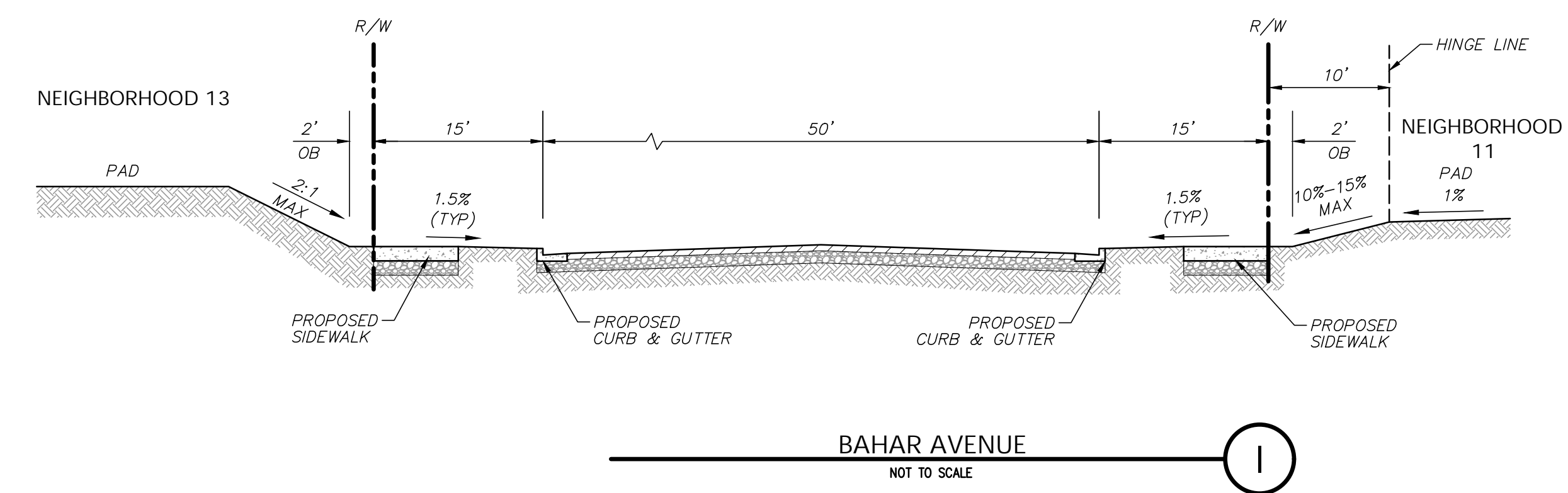
DUINO AVENUE
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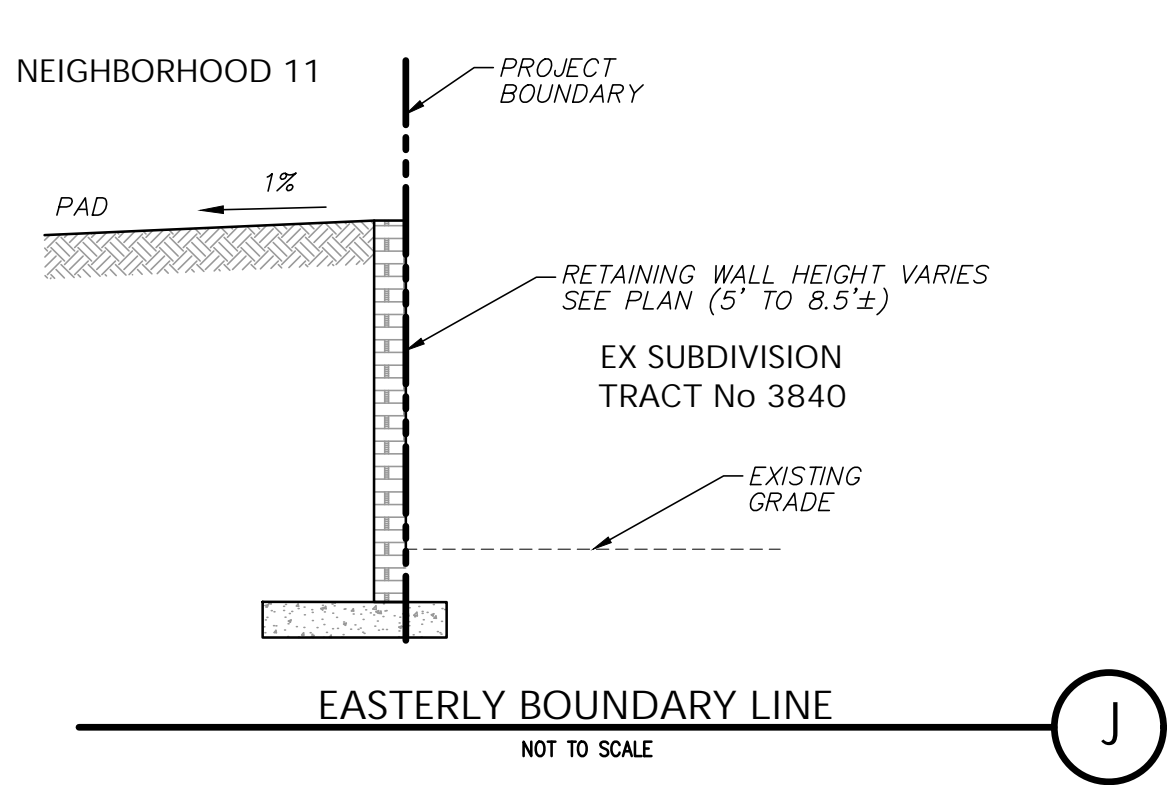
NEIGHBORHOOD 1 EASTERLY BOUNDARY LINE
NOT TO SCALE (G)



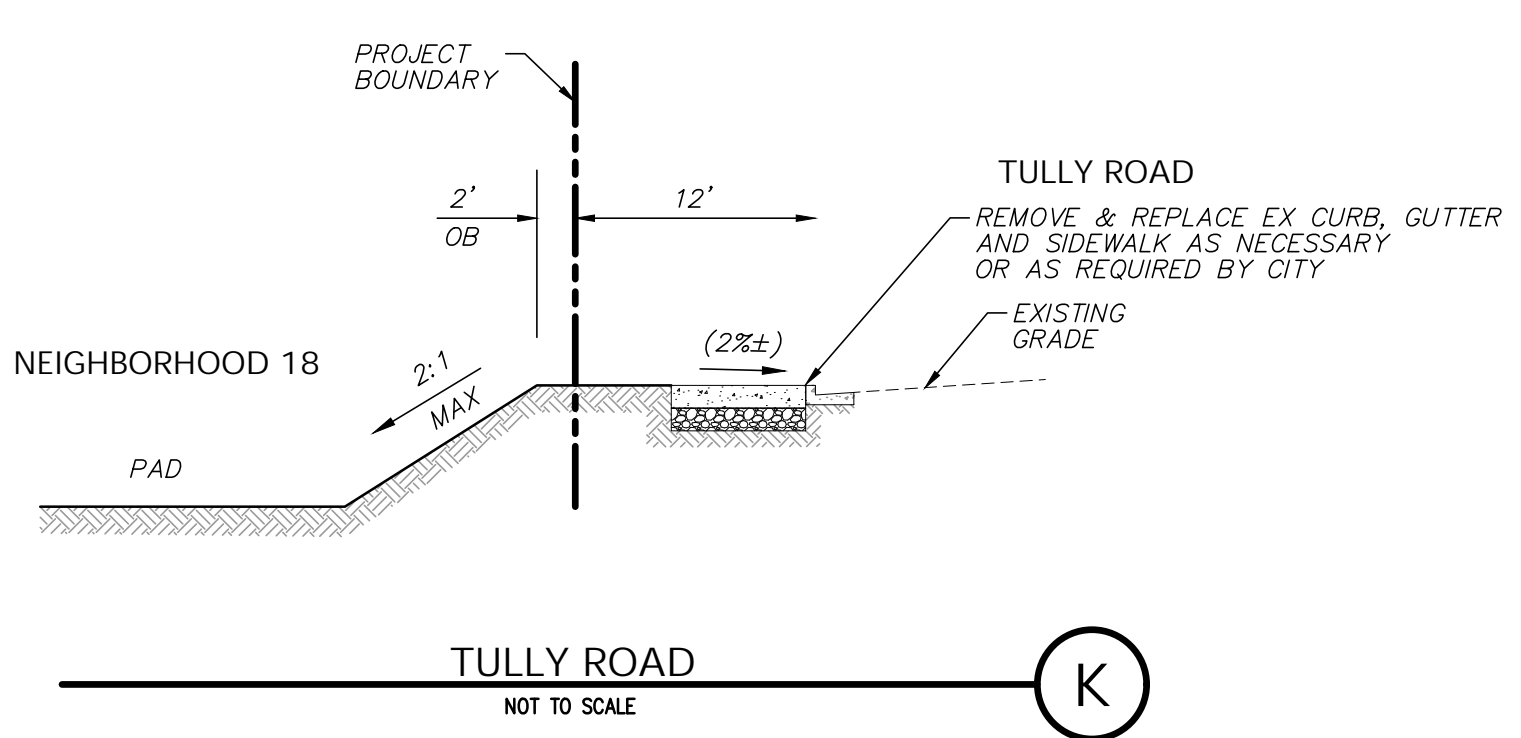
EASTERLY PROJECT BOUNDARY LINE
NOT TO SCALE (H)



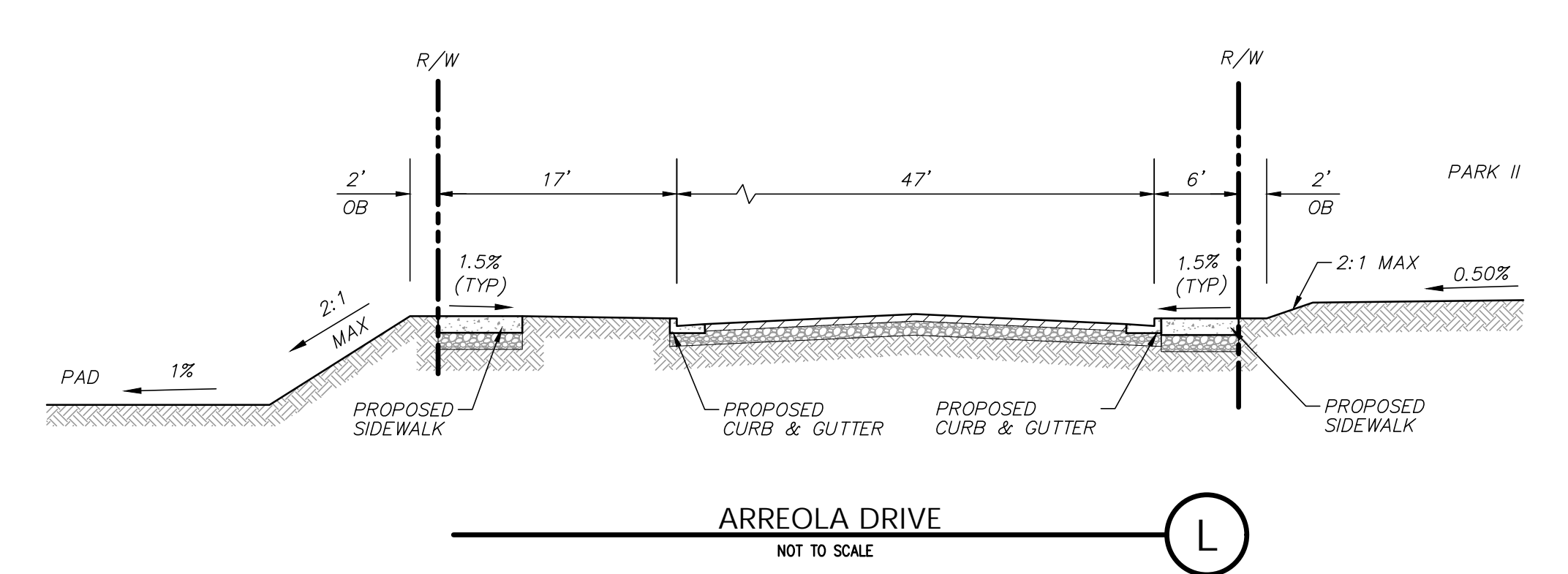
BAHAR AVENUE
NOT TO SCALE (I)



EASTERLY BOUNDARY LINE
NOT TO SCALE (J)



TULLY ROAD
NOT TO SCALE (K)



ARREOLA DRIVE
NOT TO SCALE (L)

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GRADING SECTIONS

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MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

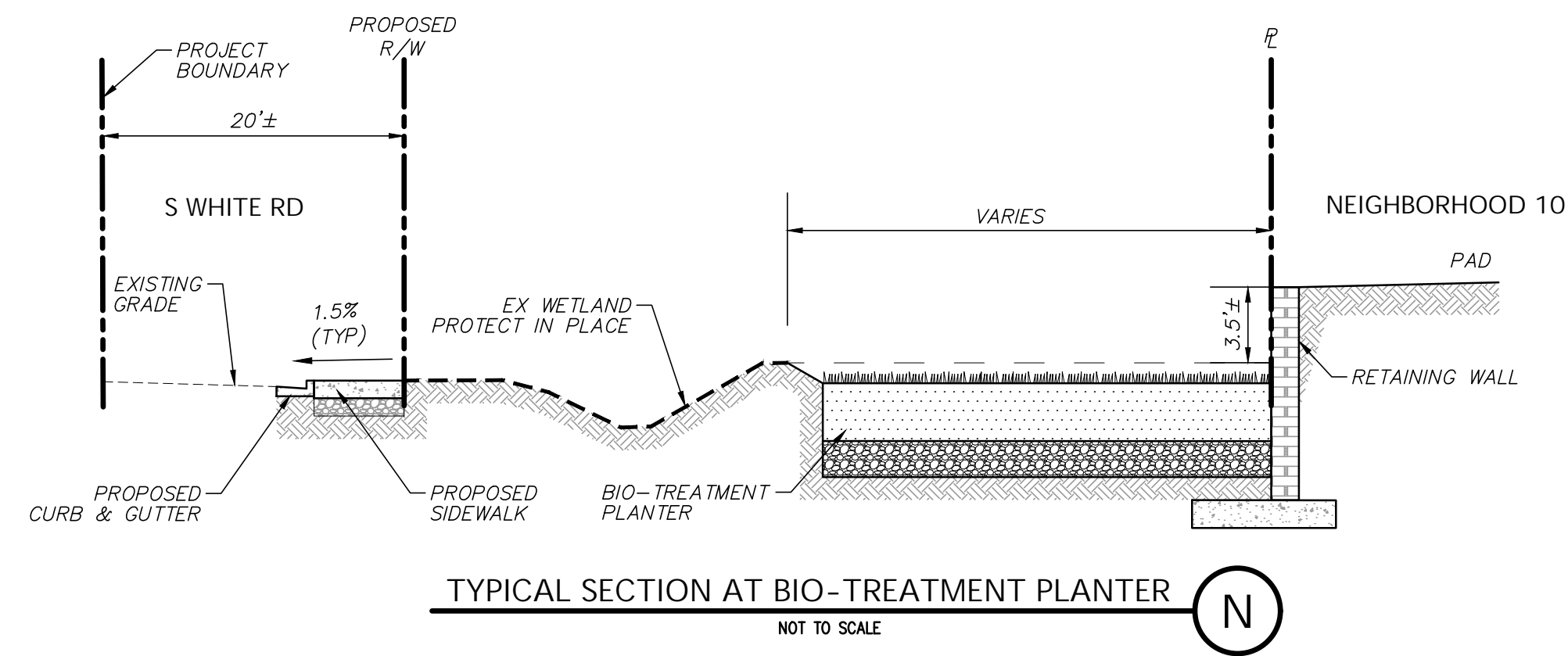
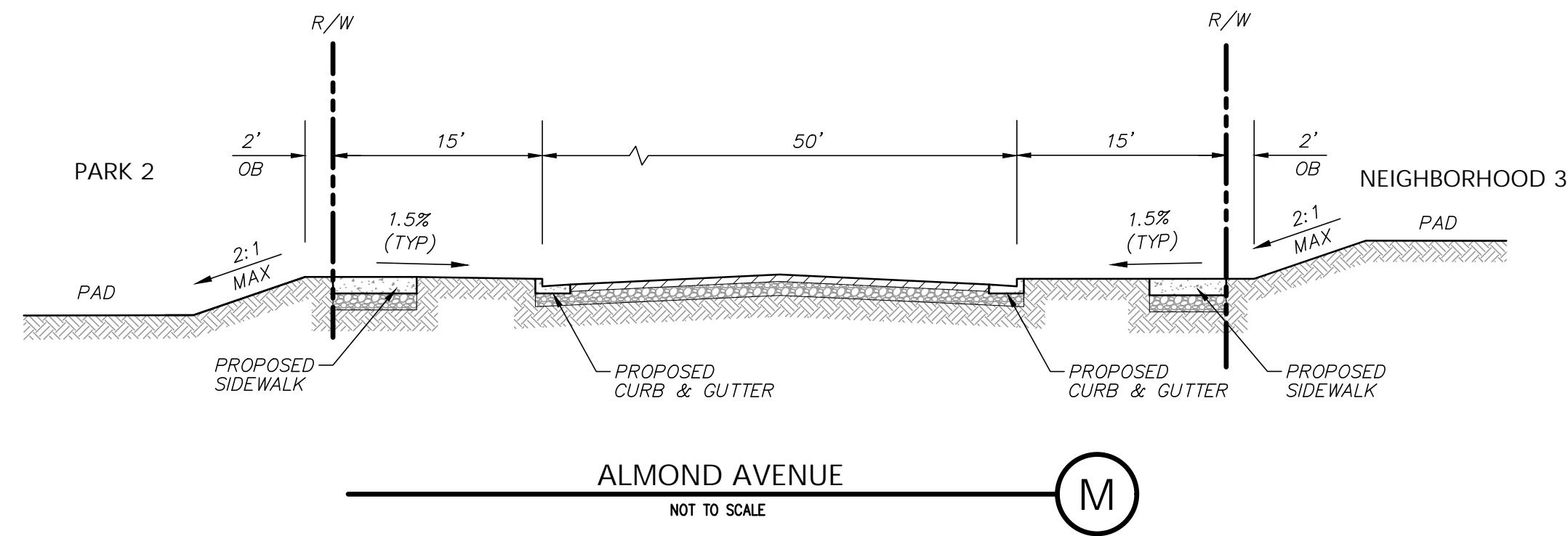
DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR

ORIGINAL ISSUE
DATE: 12.06.2024

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PERMIT SET / CONSTRUCTION ISSUE
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DRAWING NUMBER:
C5.5
17 OF 45 SHEETS



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FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR

ORIGINAL ISSUE
DATE: 12.06.2024

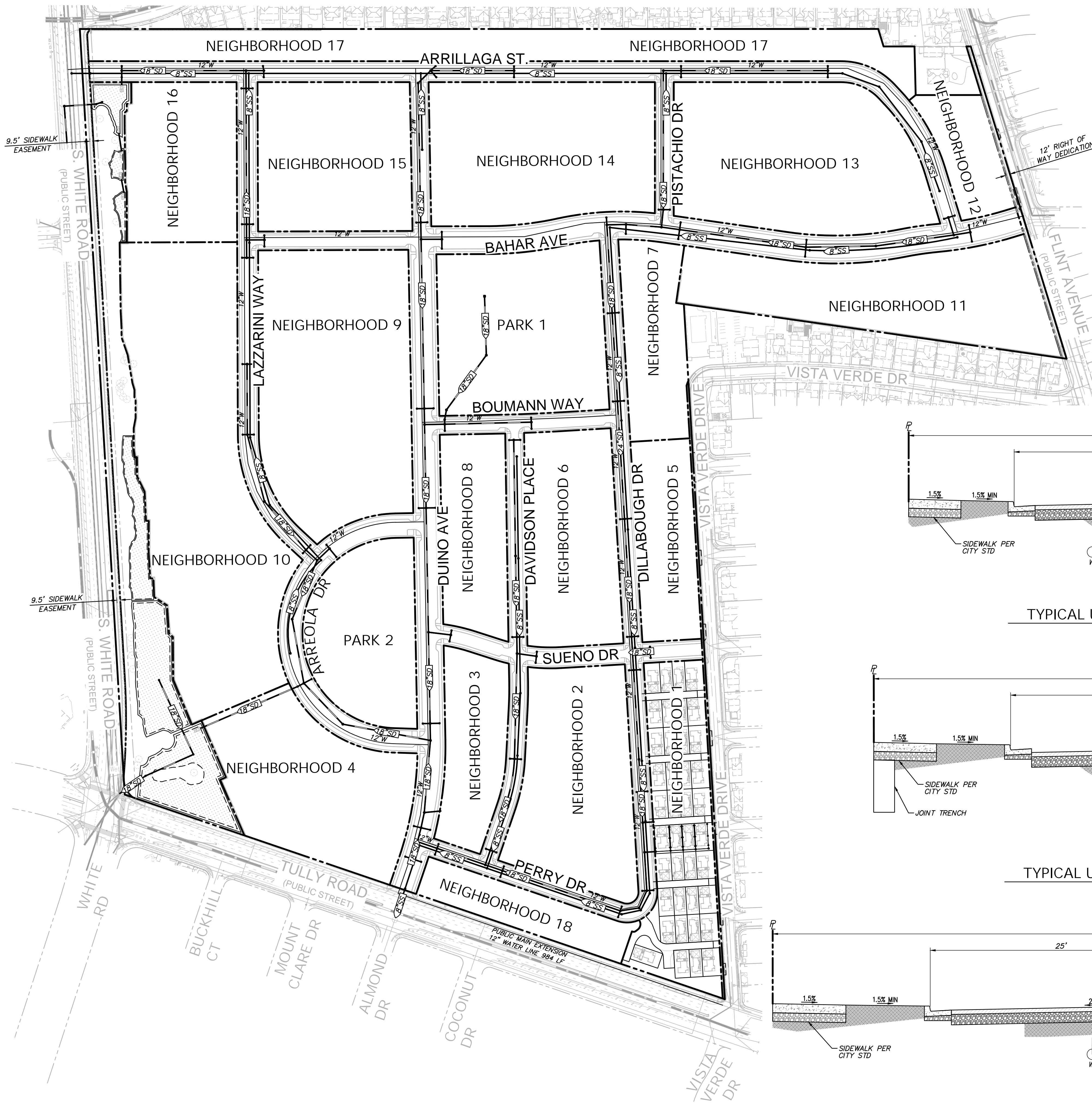
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DATE: XX.XX.XXXX

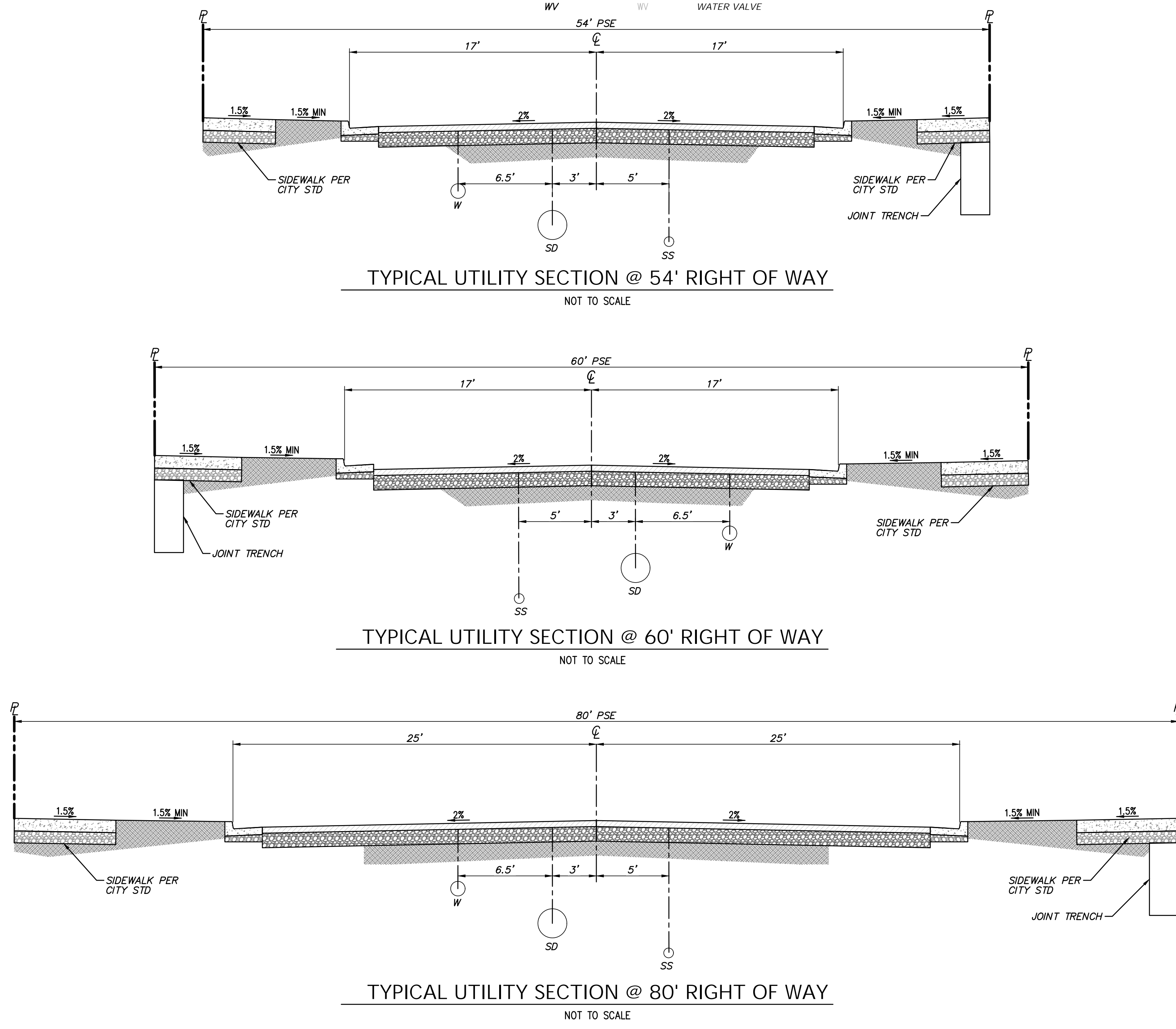
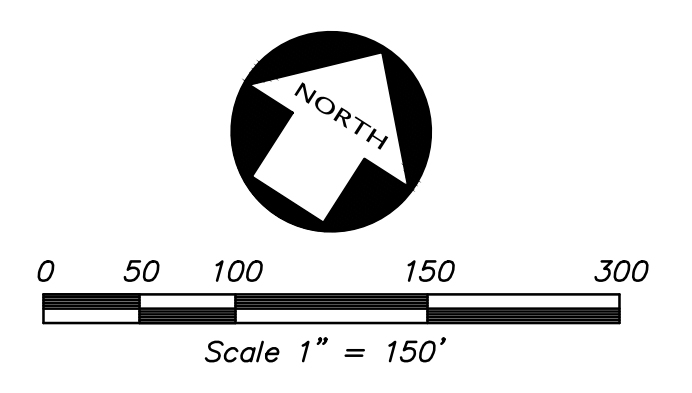
DRAWING NUMBER:
C5.6
18 of 45 SHEETS

NO.	REVISIONS	BY

P:\2024\2414\DRAWINGELEMENTS\2414_C5.6 GRADING SECTIONS.dwg | C5.6 GRADING SECTIONS | Title: Masterplan | Date: 12/06/2024 | 16:20:00 | C:\R. GUTENRIST



PROPOSED	EXISTING	DESCRIPTION
		ELECTRIC LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PERFORATED STORM DRAIN PIPE
		PROPERTY LINE
		SANITARY SEWER - MANHOLE AND CLEANOUT
		SPOT ELEVATION
		STORM DRAIN - MANHOLE AND CATCH BASIN
		THRU CURB DRAIN
		TELEPHONE LINE
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		WALK-BOLLARD LIGHT
		FIRE HYDRANT
		POST INDICATOR VALVE
		POWER POLE/JOINT POLE
		TRANSFORMER
		TRAFFIC SIGN
		UTILITY BOX
		AREA DRAIN
		AUTOMATIC SPRINKLER RISER
		BACKFLOW PREVENTION DEVICE
		CATCH BASIN
		CLEANOUT TO GRADE
		DOUBLE DETECTOR CHECK VALVE
		DOWN SPOUT
		FINISHED FLOOR
		FIRE HYDRANT
		FLOW LINE
		INVERT ELEVATION
		LIGHT
		POINT OF CONNECTION
		POST INDICATOR VALVE
		RAIN WATER LEADER
		RIM ELEVATION
		SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		STORM DRAIN JUNCTION BOX
		STREET LIGHT
		STREET LIGHT BOX
		WATER METER
		WATER VALVE



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OVERALL UTILITY PLAN

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MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

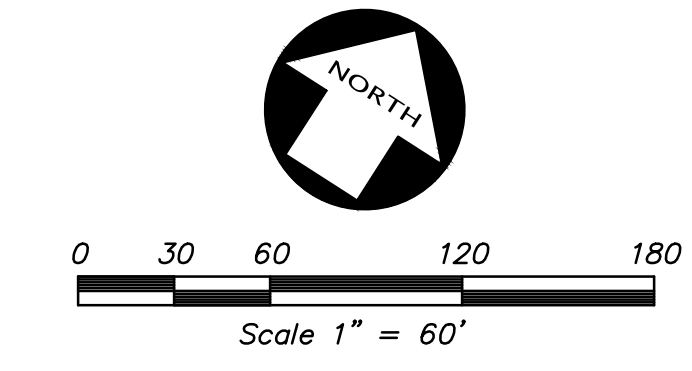
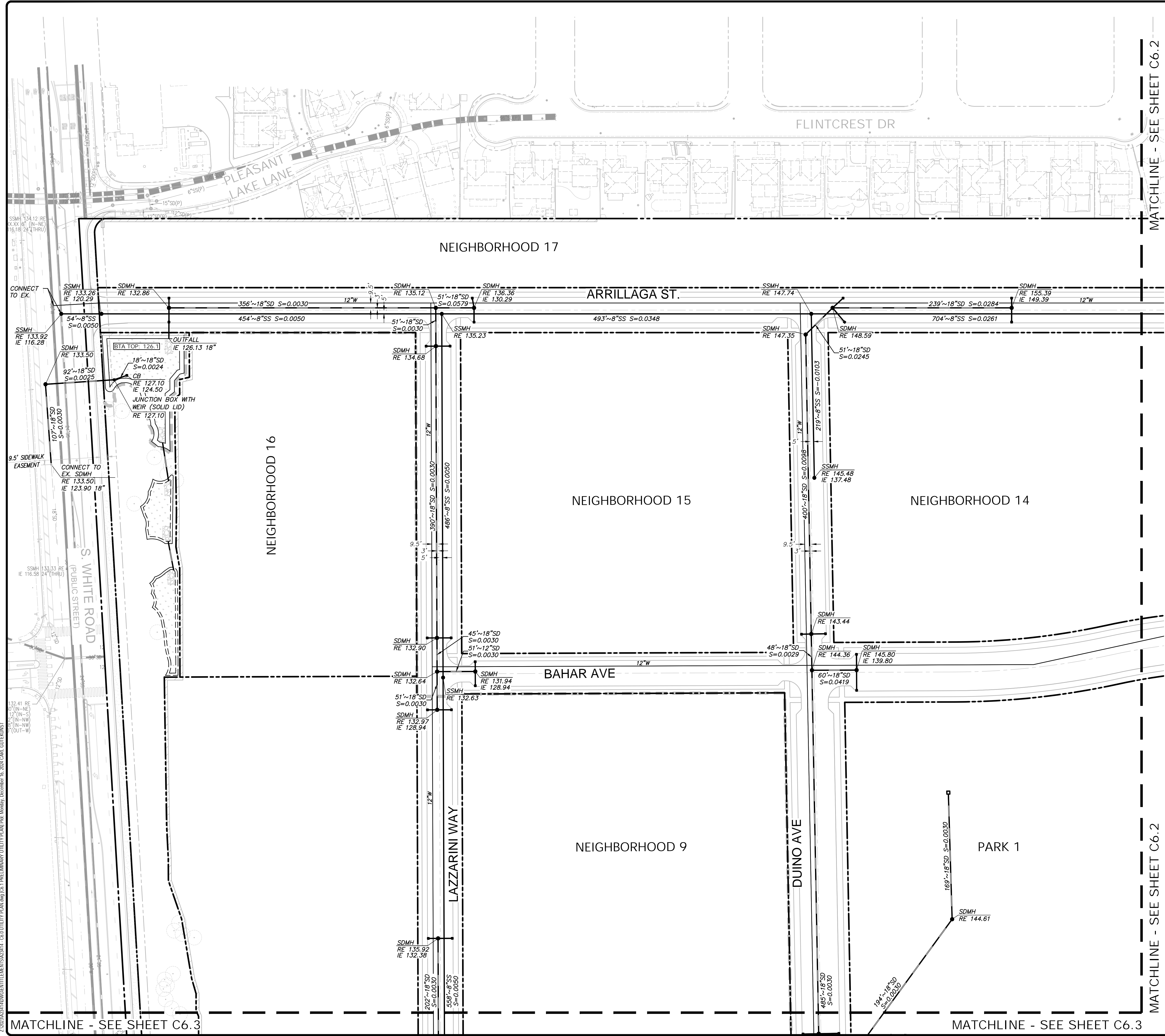
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DATE: 12.06.2024

CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

DRAWING NUMBER:
C6.0
19 of 45 SHEETS

DRAWN BY: C/JG CHECKED BY: CHG DEPARTMENT: ENGR

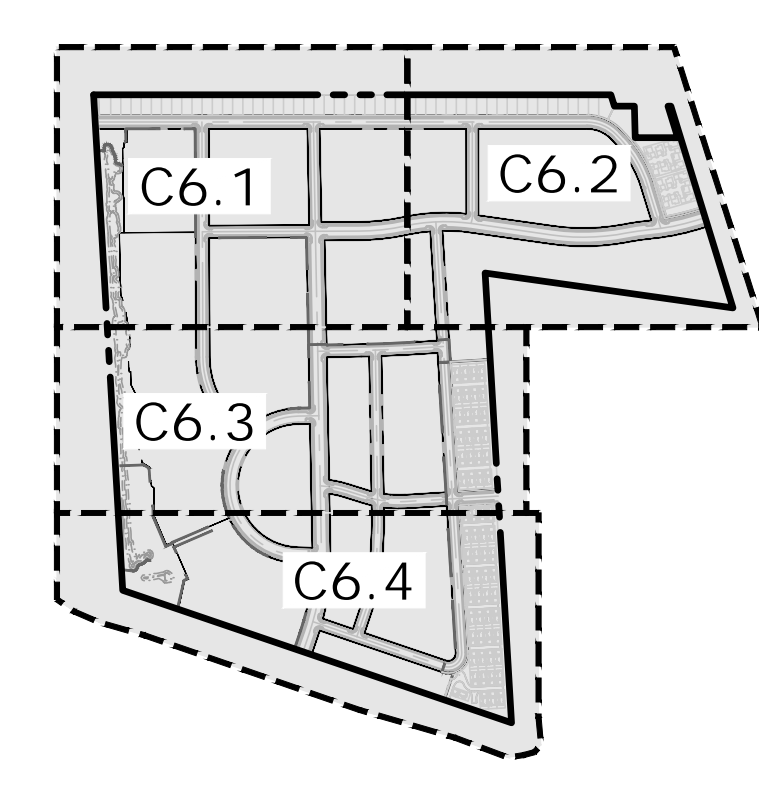


MATCHLINE - SEE SHEET C6.2

MATCHLINE - SEE SHEET C6.2

MATCHLINE - SEE SHEET C6.3

MATCHLINE - SEE SHEET C6.3



KEY MAP
NOT TO SCALE

NO.	REVISIONS	BY

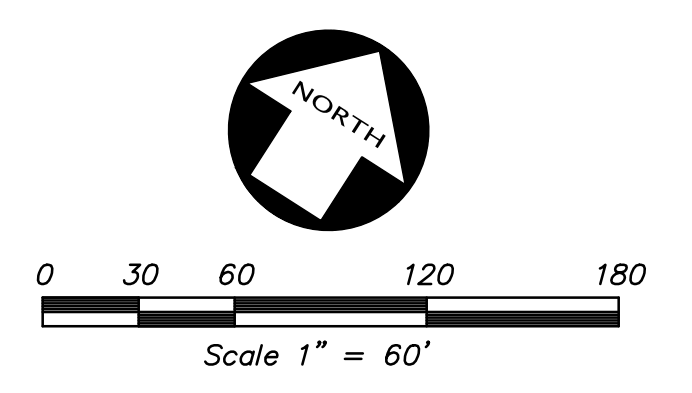
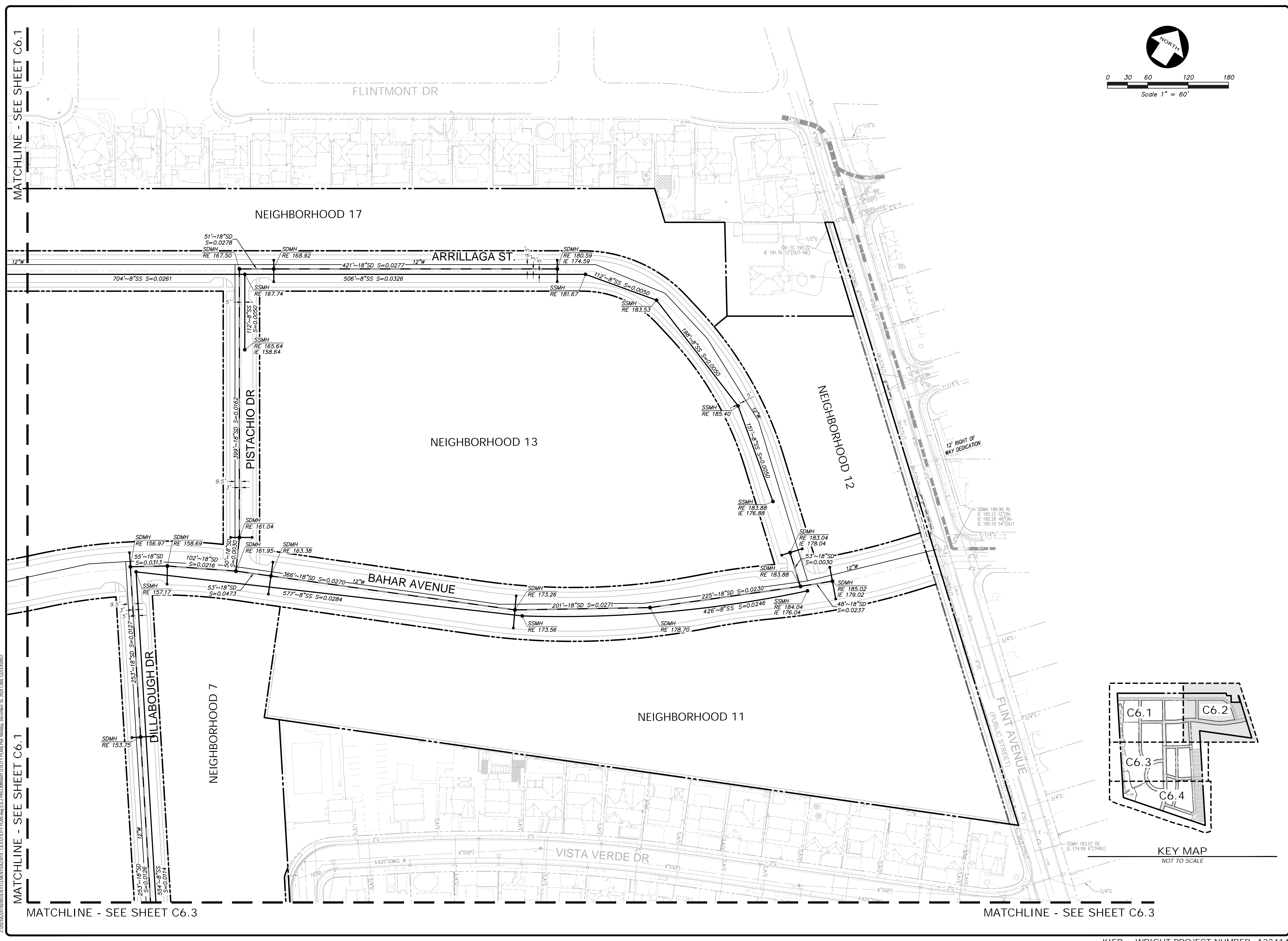
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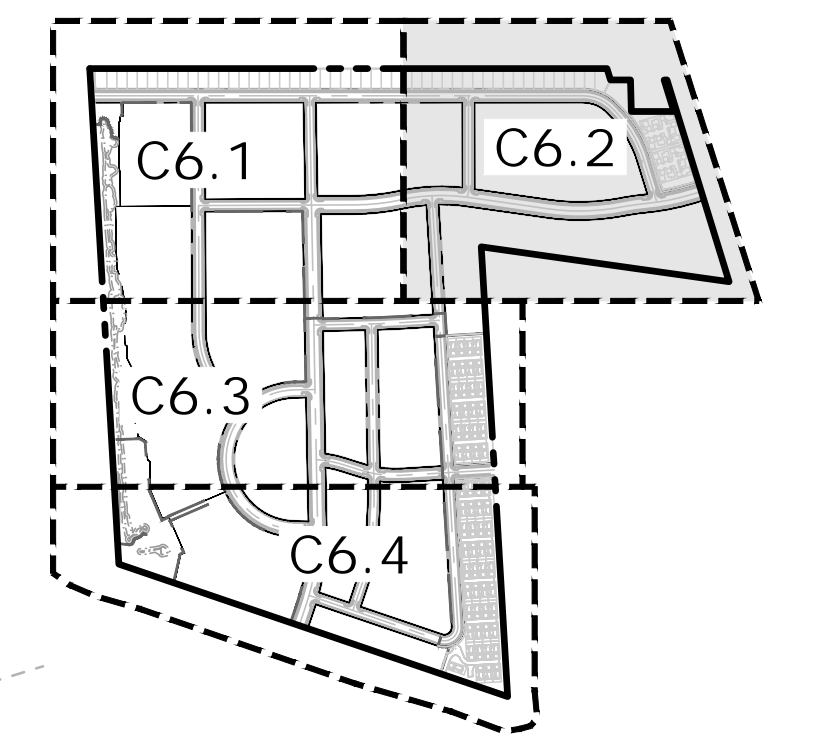
<p>PRELIMINARY UTILITY PLAN</p> <p>PLEASANT HILLS GOLF COURSE MASTER PLANNED DEVELOPMENT PERMIT FOR LAKESIDE COMMUNITY, LLC SAN JOSE, CALIFORNIA</p> <p style="font-size: small;">DRAWN BY: C/JG CHECKED BY: CHG DEPARTMENT: ENGR</p>	<p>ORIGINAL ISSUE DATE: 12.06.2024</p> <p>CURRENT SET ISSUE DATE: XX.XX.XXXX</p> <p>PERMIT SET / CONSTRUCTION ISSUE DATE: XX.XX.XXXX</p> <p>DRAWING NUMBER: C6.1</p> <p style="text-align: right;">20 of 45 SHEETS</p>
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MATCHLINE - SEE SHEET C6.1

MATCHLINE - SEE SHEET C6.1

MATCHLINE - SEE SHEET C6.3



KEY MAP
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PRELIMINARY UTILITY PLAN

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MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

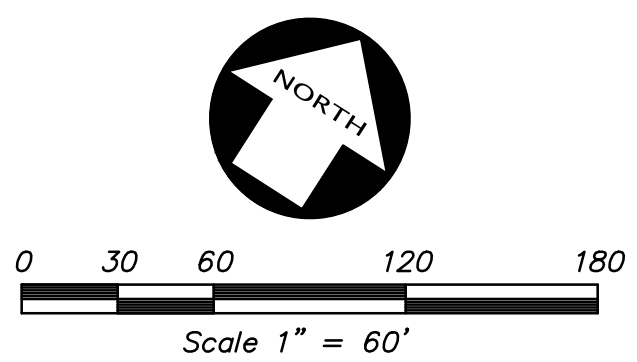
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DATE: XX.XX.XXXX

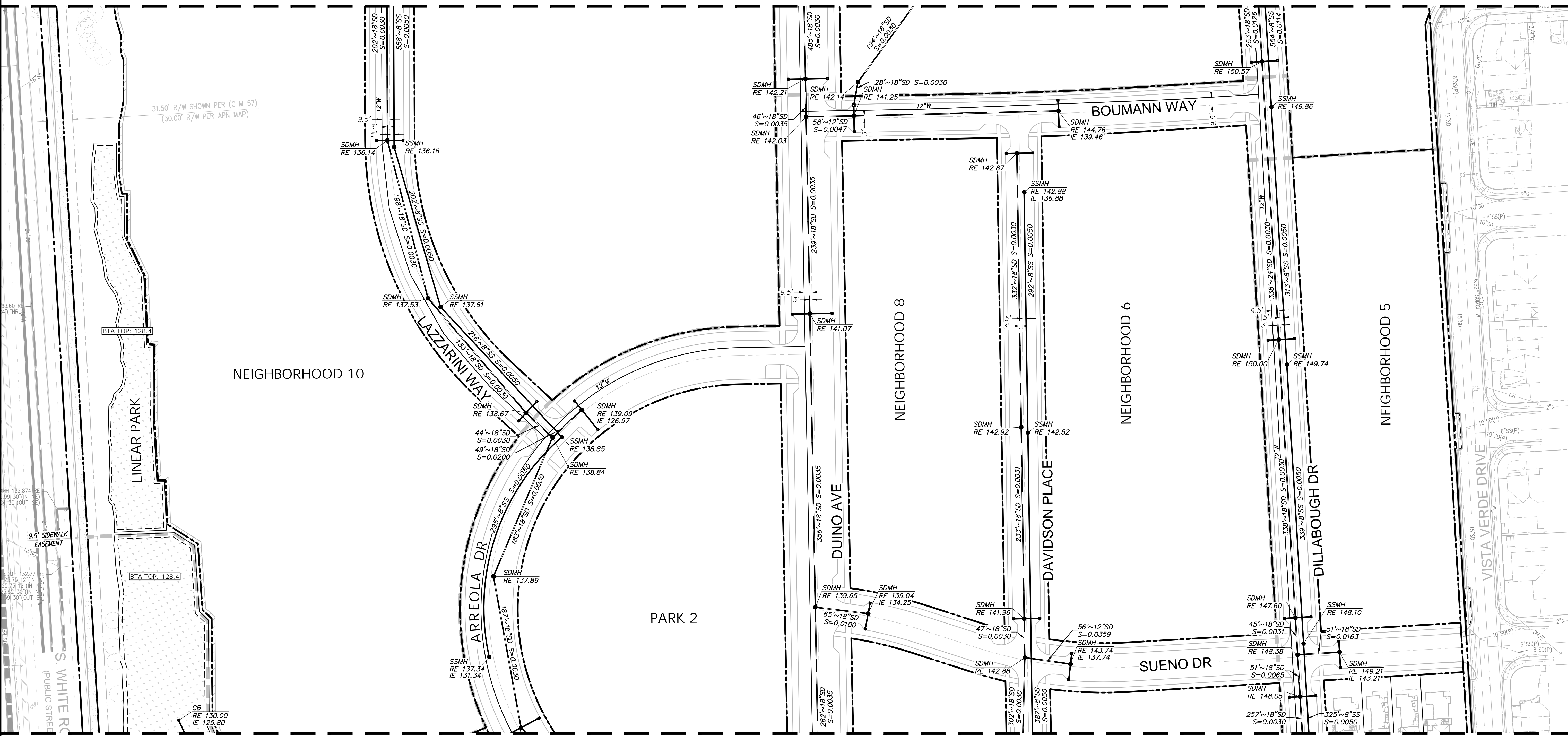
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C6.2
21 OF 45 SHEETS

DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR



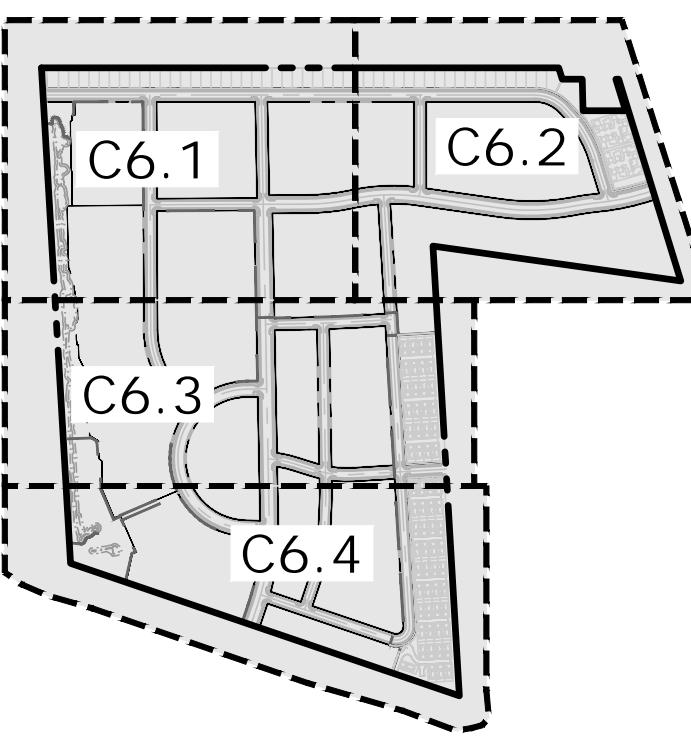
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MATCHLINE - SEE SHEET C6.2



MATCHLINE - SEE SHEET C6.4

MATCHLINE - SEE SHEET C6.4



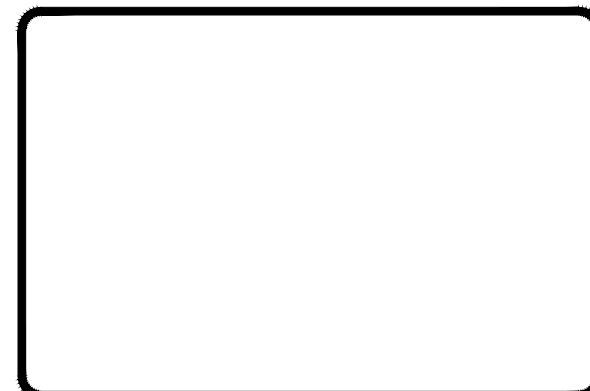
KEY MAP
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SAN JOSE, CALIFORNIA

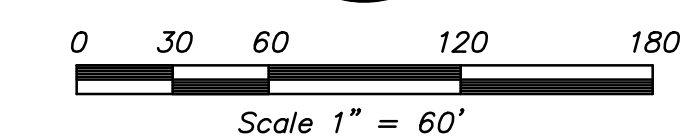
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DATE: XX.XX.XXXX

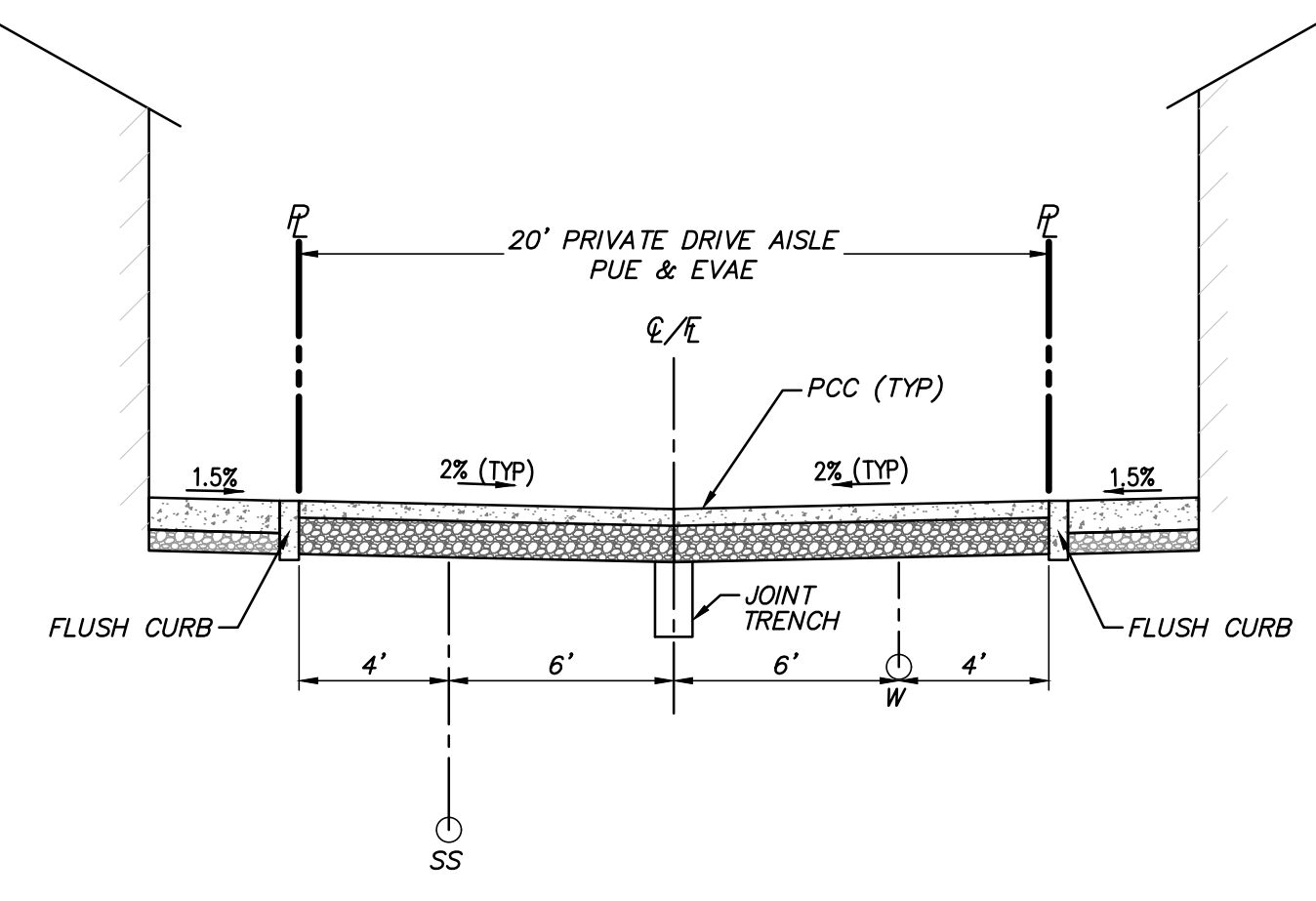
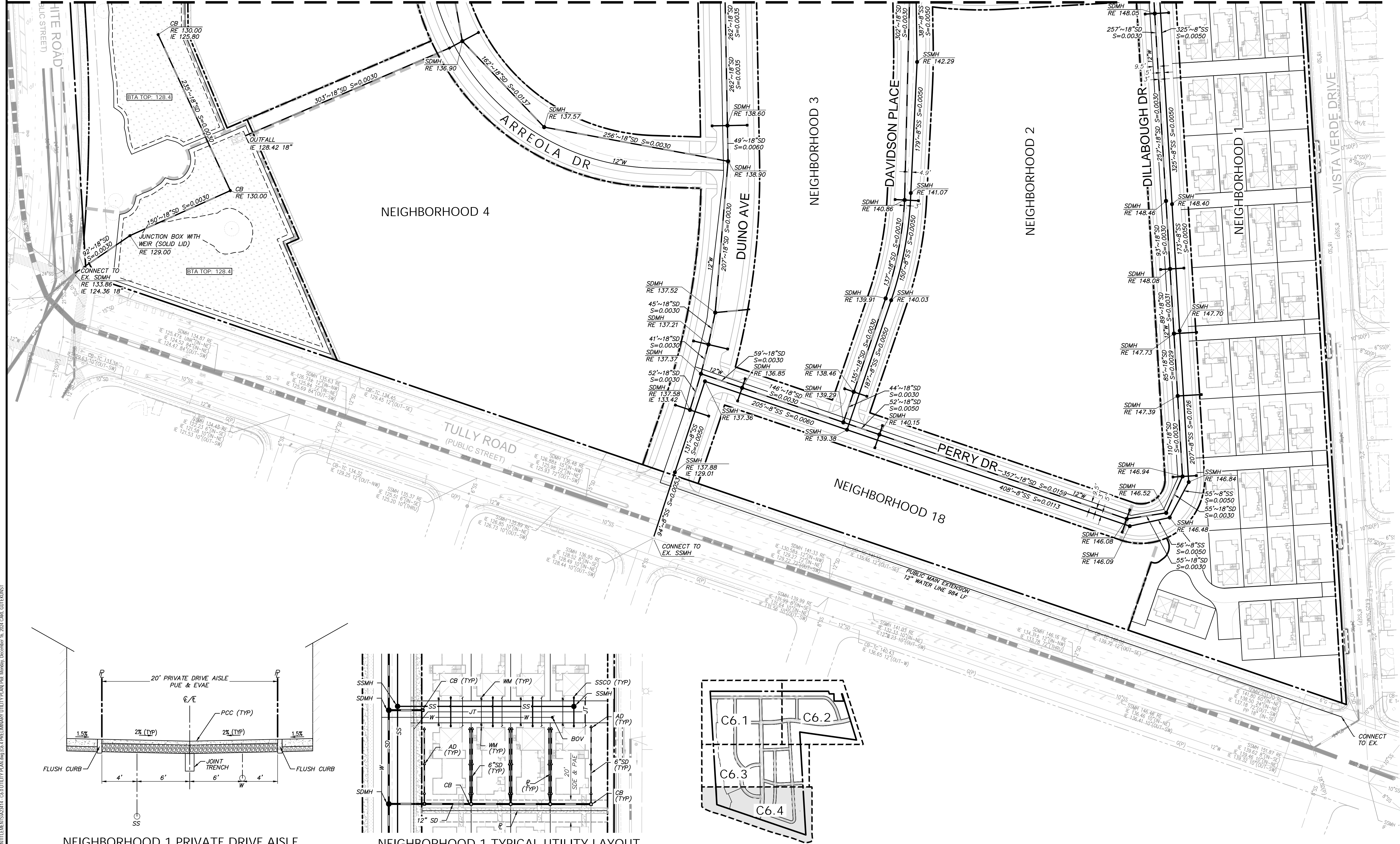
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22 of 45 SHEETS

DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR

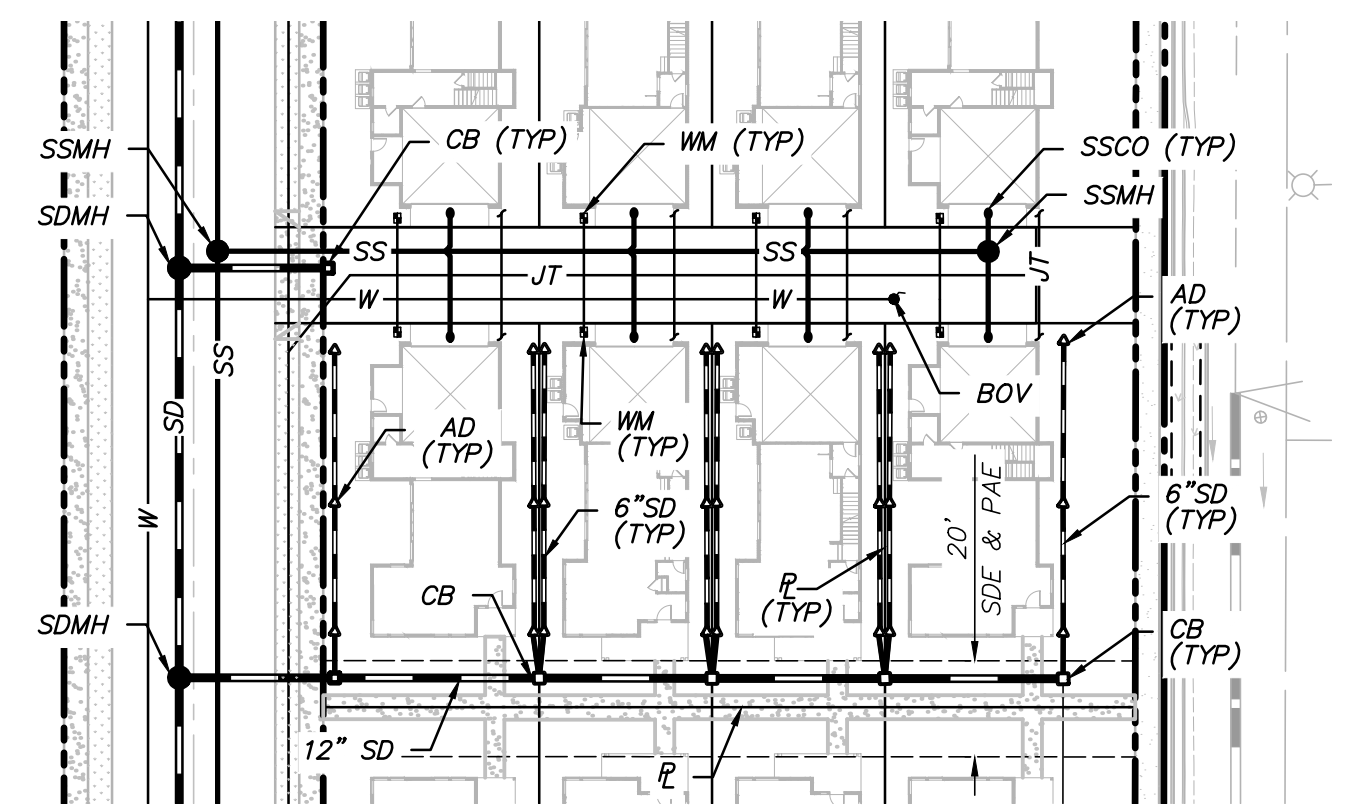


MATCHLINE - SEE SHEET C6.3

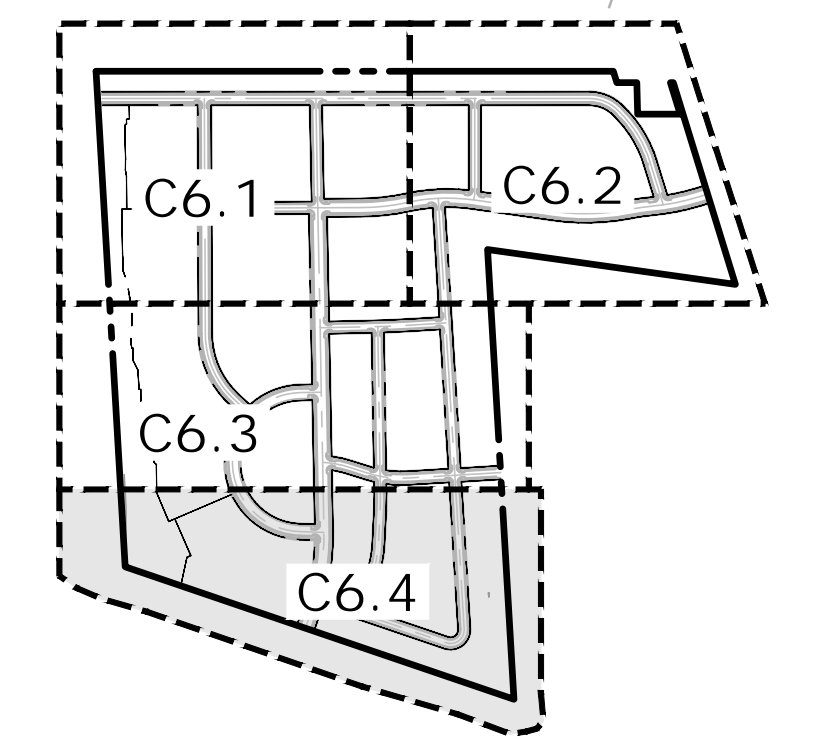
MATCHLINE - SEE SHEET C6.3



NEIGHBORHOOD 1 PRIVATE DRIVE AISLE
NOT TO SCALE



NEIGHBORHOOD 1 TYPICAL UTILITY LAYOUT
1"=40'



KEY MAP
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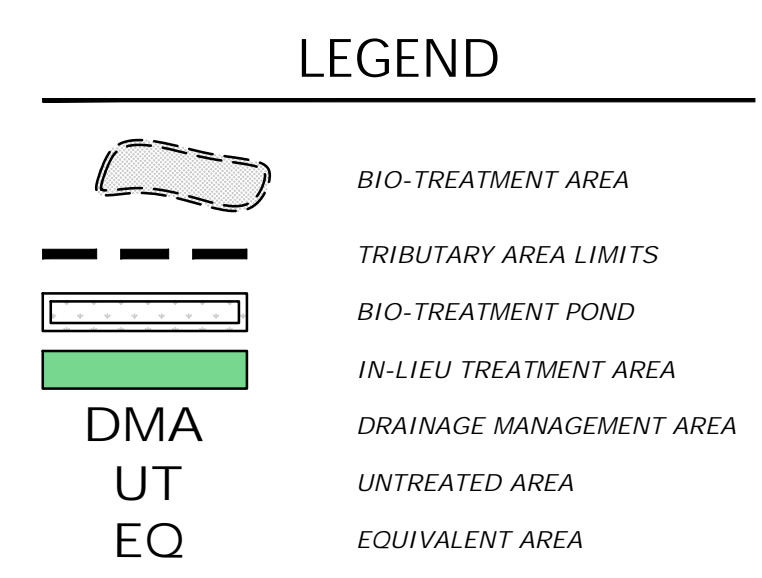
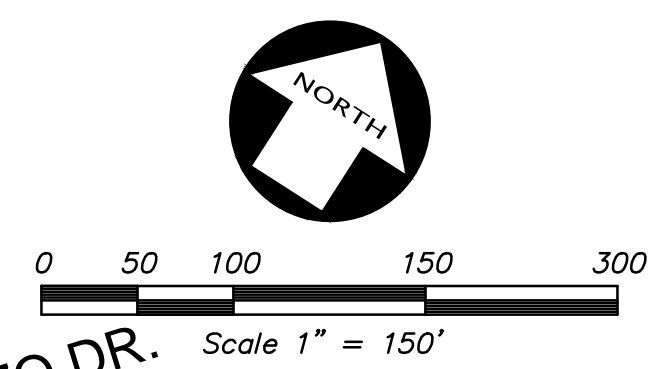
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DATE: 12.06.2024

CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

DRAWING NUMBER:
C6.4
23 OF 45 SHEETS

DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR



- ### STORMWATER NOTES
1. THE BIOTREATMENT PONDS IN DMA 1 ARE HYDRAULICALLY CONNECTED.
 2. THE BIOTREATMENT PONDS IN DMA 2 ARE HYDRAULICALLY CONNECTED.
 3. THE BIOTREATMENT PONDS PROPOSED MAINTAIN 10' CLEARANCE TO SEASONAL WETLAND SWALES AND BASINS.
 4. TO ACCOMMODATE HYDROMODIFICATION REQUIREMENTS, PONDS SHALL PROPOSE 3.7' DEPTH SECTION OF CLASS II AB AND CATCH BASINS WITH 8" ORIFICES FOR SLOWING DOWN RUNOFF.

FORM #138 - Stormwater Evaluation Form page 2 of 5

1.i Check the watershed in which your project is located.
See the Watershed Maps webpage

Baylands
 Calabazas
 Coyote (including Lower Penitencia)
 Guadalupe
 San Tomas Aquino

1.j Old Industrial Area
Is your project in an Old Industrial Area?
See the Old Industrial Area Map webpage to confirm if your project is in an Old Industrial Area.
 Yes (at future stages, sediment sampling may be conditioned at your property)
 No

1.k Special Project Status
Use the online Special Project Worksheet and the Affordable Housing calculator to determine if your project qualifies as a Special Project. Does your project qualify?
 Yes, but it is feasible for the project to incorporate 100% LID.
 Yes, and it is infeasible for the project to incorporate 100% LID. Attach the following to this application: Special Project Worksheet, Affordable Housing Calculator (if applicable), and Feasibility/Infeasibility Narrative justifying the use of non-LID.
 No

2. AREA DATA

2.a Enter the Project Phase Number (1, 2, 3, etc. or N/A if Not Applicable):

2.b Total area of site: 113.2 acres

2.c Total area of site that will be disturbed¹: 113.2 acres

COMPARISON OF IMPERVIOUS AND PERVIOUS AREAS AT PROJECT SITE:

Site Totals	Pre-Project Existing IA sq. ft.	Existing IA Retained As-Is ² sq. ft.	Existing IA Replaced with IA ³ sq. ft.	New IA Created ⁴ sq. ft.	Total Post Project IA sq. ft.
Total onsite IA	4,191,112	0	4,191,112	4,624,192	8,815,304
Total off-site IA ²	4,269	0	4,269	35,752	40,021
Total project IA	4,195,381	0	4,195,381	4,660,944	8,856,325
Total New and Replaced IA			4,195,381	4,660,944	8,856,325
Percent Replacement of onsite IA in Redevelopment Projects (d.3+d.1) x 100:					4.1%

2.d PERVIOUS AREAS - PA⁵

Total on-site PA	Pre-Project Existing PA sq. ft.	Total Post Project PA sq. ft.
4,739,433	1,455,451	6,194,884
Total off-site PA	2,250	10,288
Total PA ⁵	4,741,683	6,205,172
2.f Total Area (IA + PA)	8,936,764	15,060,497

continued

IN-LIEU TREATMENT SUMMARY TABLES

DISTURBED AREA	IMPERVIOUS AREA (SQFT)	IN-LIEU TREATMENT AREA	IMPERVIOUS AREA (SQFT)
UT-1	2,709	EQ-1	2,670
UT-2	5,817	EQ-2	2,525
UT-3	22,803	EQ-3	12,266
UT-4	10,692	EQ-4	3,196
TOTAL	42,021	EQ-5	2,493
		EQ-6	3,173
		EQ-7	3,187
		EQ-8	3,205
		EQ-9	1,665
		EQ-10	11,593
		TOTAL	45,973

TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA #	TCM #	Location ¹	Treatment Type ²	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area ³ (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	% Onsite / Offsite Area Treated by LID or Non-LID TCM	Bio-retention Area Required (s.f.)	Bio-retention Area Provided (s.f.)	Overflow Reser. Height (in)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided	Media Filter Media Type	Cartridge Height (inches)	Treatment Credit (s.f.)	Comments	
1	1	Onsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	4,190,288	2,982,360	0	1,207,928	84.99%	87,700	91,149	12			N/A	N/A	N/A	N/A	N/A	
2	2	Onsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	545,446	372,364	0	173,082	11.08%	11,350	13,075	12			N/A	N/A	N/A	N/A	N/A	
3	N/A	Onsite	Self-treating areas (landscaped)	LID	N/A	101,479	0	0	101,479	2.08%	N/A	N/A	N/A			N/A	N/A	N/A	N/A	N/A	
4	N/A	Onsite	Self-treating areas (landscaped)	LID	N/A	5,604	0	0	5,604	0.11%	N/A	N/A	N/A			N/A	N/A	N/A	N/A	N/A	
EQ-1 ⁴	1	Offsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	7,946	6,330	0	1,616	0.16%	222	161	6			N/A	N/A	N/A	N/A	N/A	
EQ-2 ⁴	1	Offsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	7,584	6,117	0	1,467	0.15%	212	568	6			N/A	N/A	N/A	N/A	N/A	
EQ-3 ⁴	1	Offsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	16,202	14,217	0	1,985	0.33%	460	503	6			N/A	N/A	N/A	N/A	N/A	
EQ-4 ⁴	1	Offsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	7,728	6,835	0	893	0.18%	219	257	6			N/A	N/A	N/A	N/A	N/A	
EQ-5 ⁴	1	Offsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	5,391	4,631	0	760	0.11%	152	262	6			N/A	N/A	N/A	N/A	N/A	
EQ-6 ⁴	1	Offsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	8,097	7,016	0	1,081	0.16%	229	257	6			N/A	N/A	N/A	N/A	N/A	
EQ-7 ⁴	1	Offsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	6,763	5,870	0	893	0.14%	191	197	6			N/A	N/A	N/A	N/A	N/A	
EQ-8 ⁴	1	Offsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	6,759	5,876	0	883	0.14%	191	197	6			N/A	N/A	N/A	N/A	N/A	
EQ-9 ⁴	1	Offsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	3,703	3,373	0	330	0.08%	106	165	6			N/A	N/A	N/A	N/A	N/A	
EQ-10 ⁴	1	Offsite	Bio-retention lined w/ underdrain	LID	3 Flow-Volume Combo	14,848	14,606	0	242	0.30%	428	451	6			N/A	N/A	N/A	N/A	N/A	
UT-1 ⁵	N/A	Offsite	Untreated	N/A	3 Flow-Volume Combo	2,709	2,709	0	0	0.05%	N/A	N/A	N/A			N/A	N/A	N/A	N/A	N/A	Being equivalently treated by EQ-1 - 10
UT-2 ⁵	N/A	Offsite	Untreated	N/A	3 Flow-Volume Combo	5,817	5,817	0	0	-	N/A	N/A	N/A			N/A	N/A	N/A	N/A	N/A	Being equivalently treated by EQ-1 - 10
UT-3 ⁵	N/A	Offsite	Untreated	N/A	3 Flow-Volume Combo	22,803	22,665	0	138	-	N/A	N/A	N/A			N/A	N/A	N/A	N/A	N/A	Being equivalently treated by EQ-1 - 10
UT-4 ⁵	N/A	Offsite	Untreated	N/A	3 Flow-Volume Combo	10,692	10,692	0	0	-	N/A	N/A	N/A			N/A	N/A	N/A	N/A	N/A	Being equivalently treated by EQ-1 - 10
Totals:						4,930,545	3,432,304	0	1,498,241	100.00%											

¹ Per the Municipal Regional Stormwater Permit, sidewalks and other parts of the right-of-way should be included in the new and/or replaced impervious surface calculation and treated as required.
² "Lined" refers to an impermeable liner placed on the bottom of a Bio-retention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.
³ Sizing for Bio-retention Area Required calculated using the 4% Method (Impervious Area x 0.04).
⁴ Gravel is considered as an impervious surface unless it is part of an infiltration trench.
⁵ UT-XX is not being treated but will be treated by Equivalent Treatment Area EQ-1. Area EQ-1 is equal to or greater than the required treatment area of DMA XX. EQ-1 is not required to be treated as it is [insert reason here].
⁶ Treatment type of Self-Treating or Self-Retaining should only be used with landscape based treatment. If previous pavement is proposed for Self-Treating or Retaining, use the Pervious Pavement selection.

BY	
REVISIONS	
NO.	

KIER+WRIGHT

Phone: (408) 727-6665
www.kierwright.com

3350 Scott Boulevard, Building 22
Santa Clara, CA 95054



STORMWATER QUALITY CONTROL PLAN

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

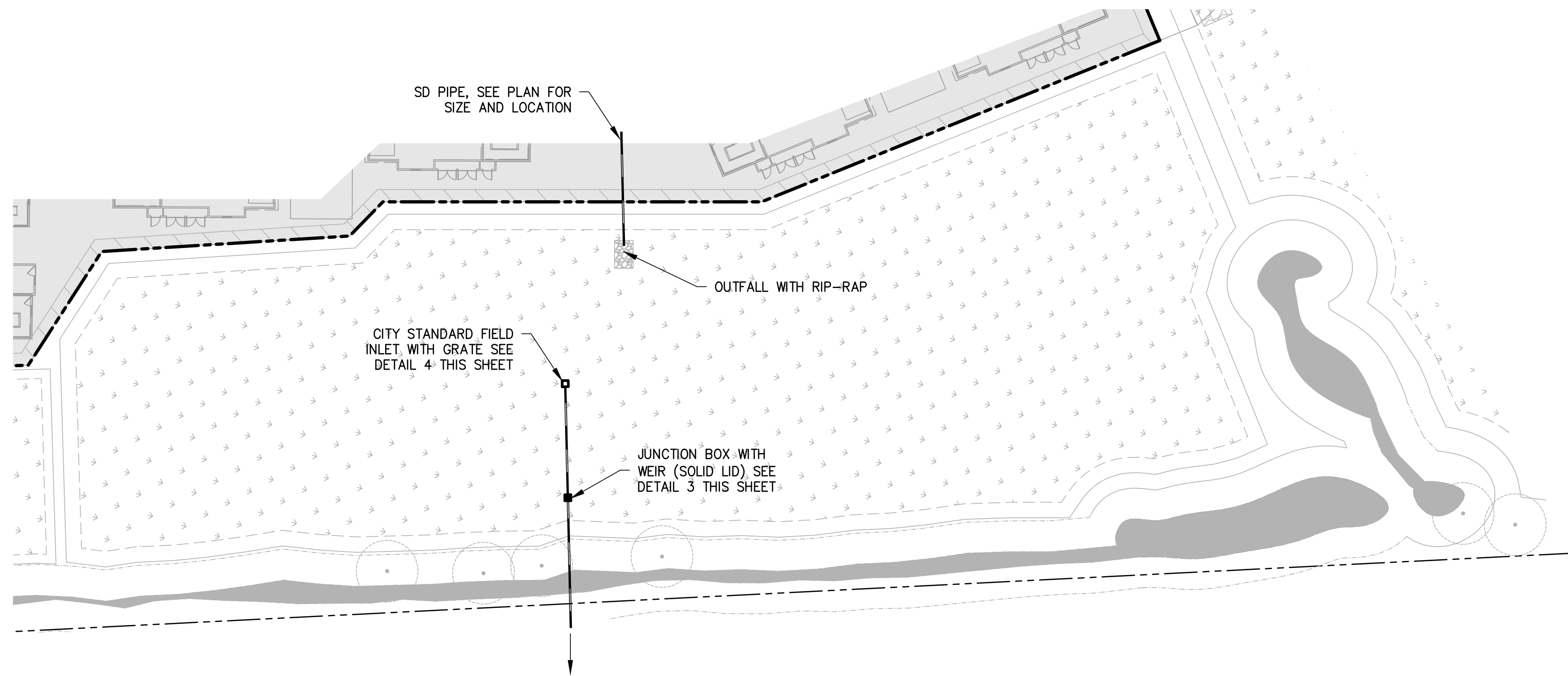
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ORIGINAL ISSUE
DATE: 12.06.2024

CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

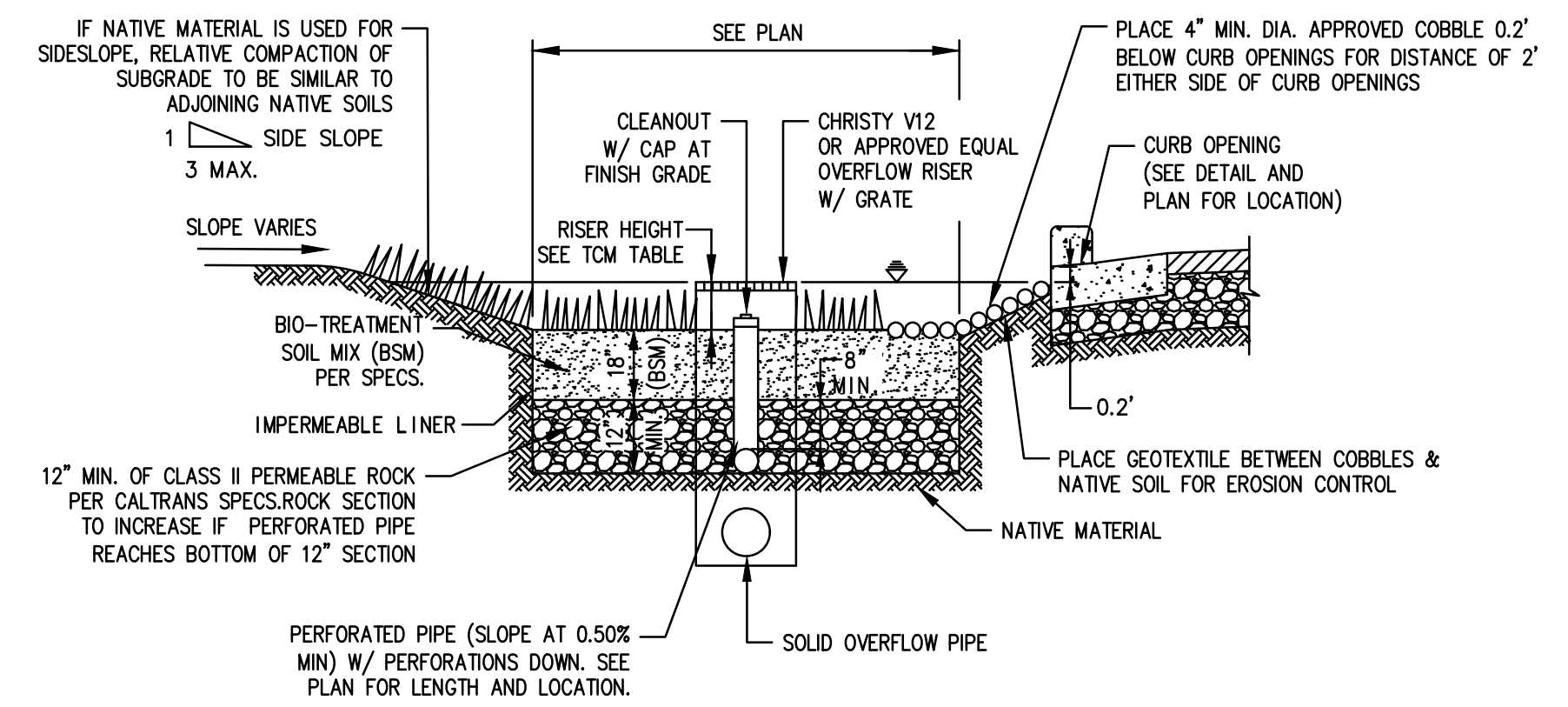
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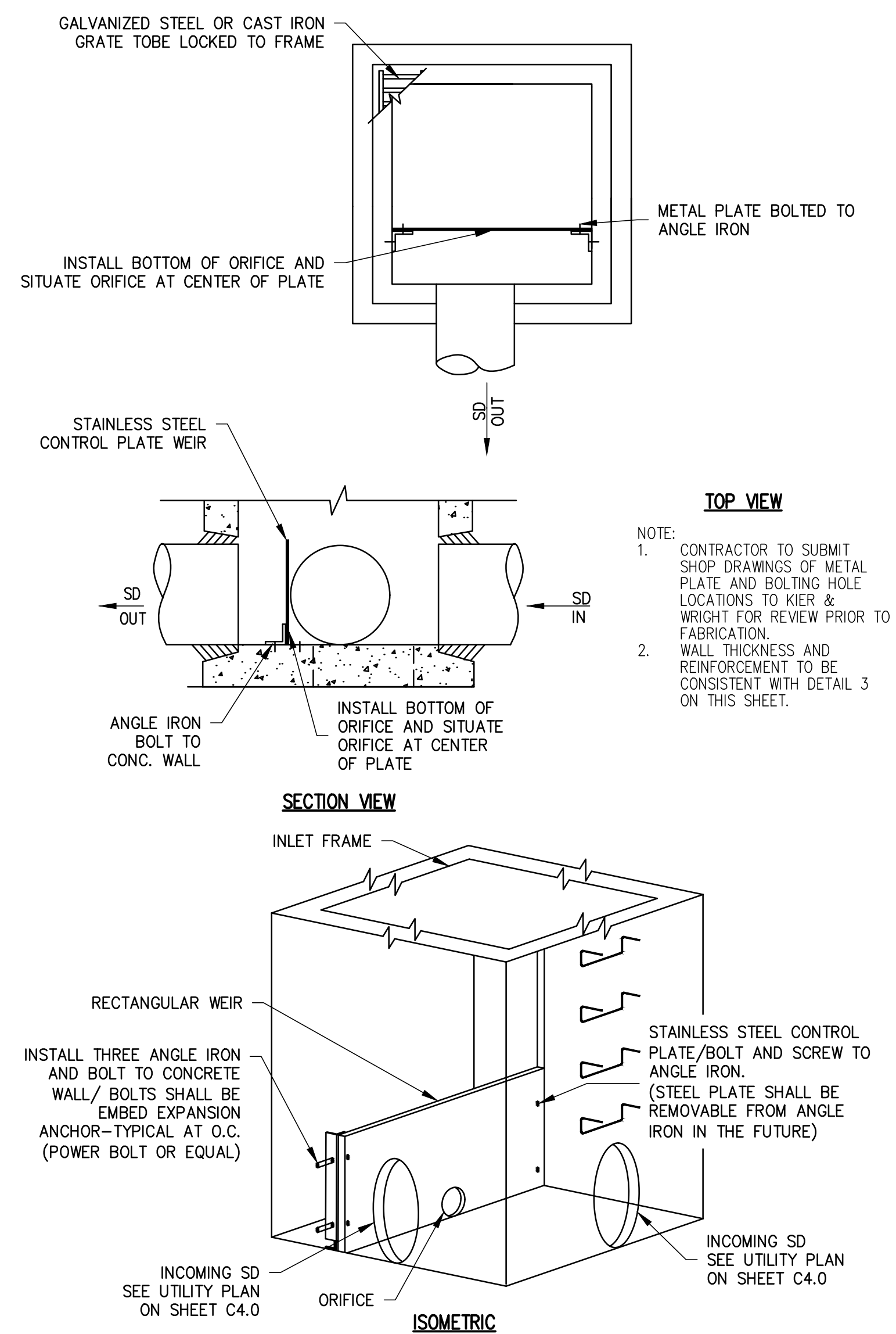
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TYPICAL BIORETENTION BASIN SECTION WITH LINER

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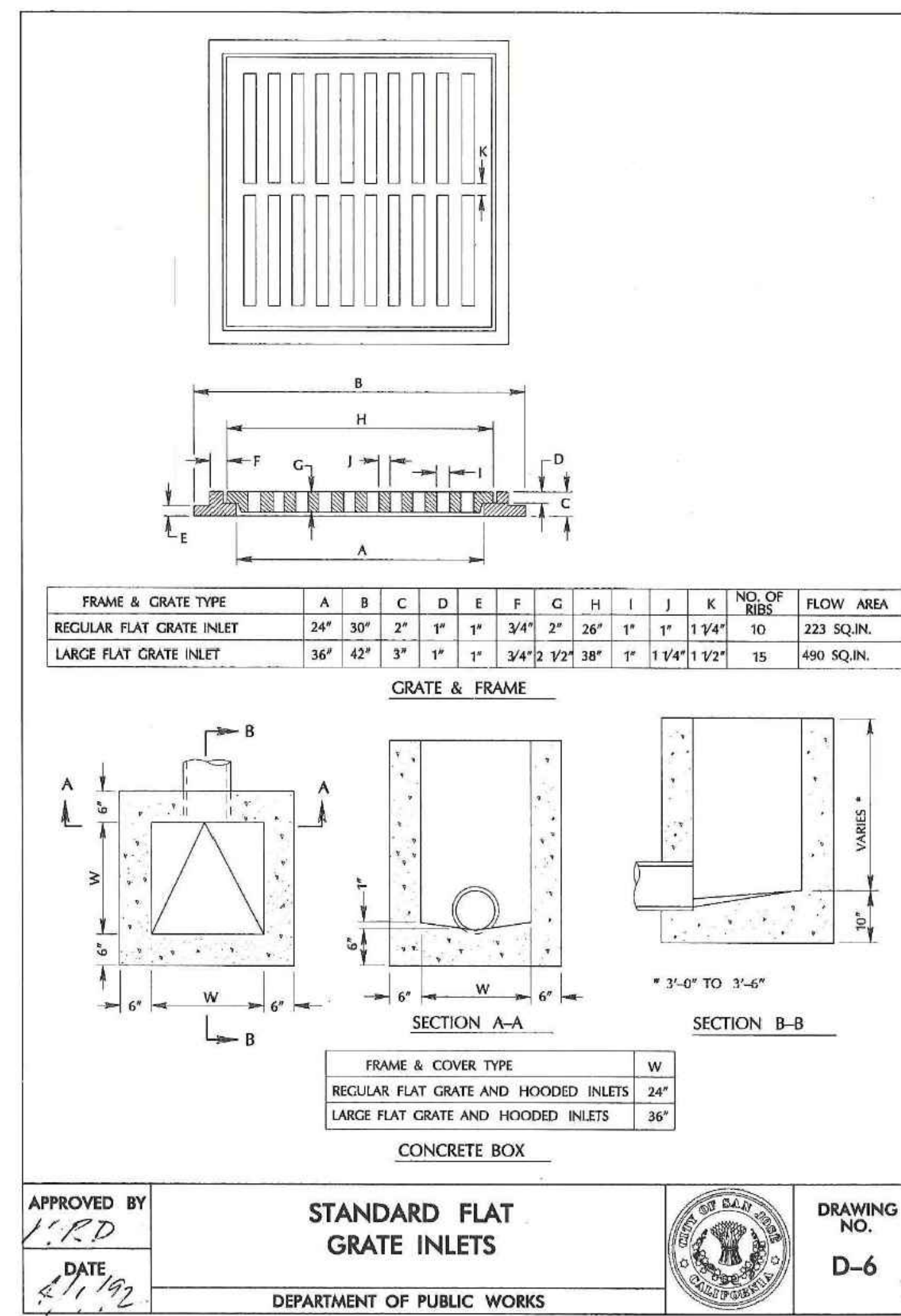
NOT TO SCALE



JUNCTION BOX WITH WEIR (CONTROL STRUCTURE)

3

NOT TO SCALE



STANDARD FLAT GRATE INLETS

CITY STANDARD FIELD INLET

4

NOT TO SCALE

NO.	REVISIONS	BY

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Santa Clara, CA 95054

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SWQCP NOTES AND DETAILS

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

ORIGINAL ISSUE
DATE: 12.06.2024

CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

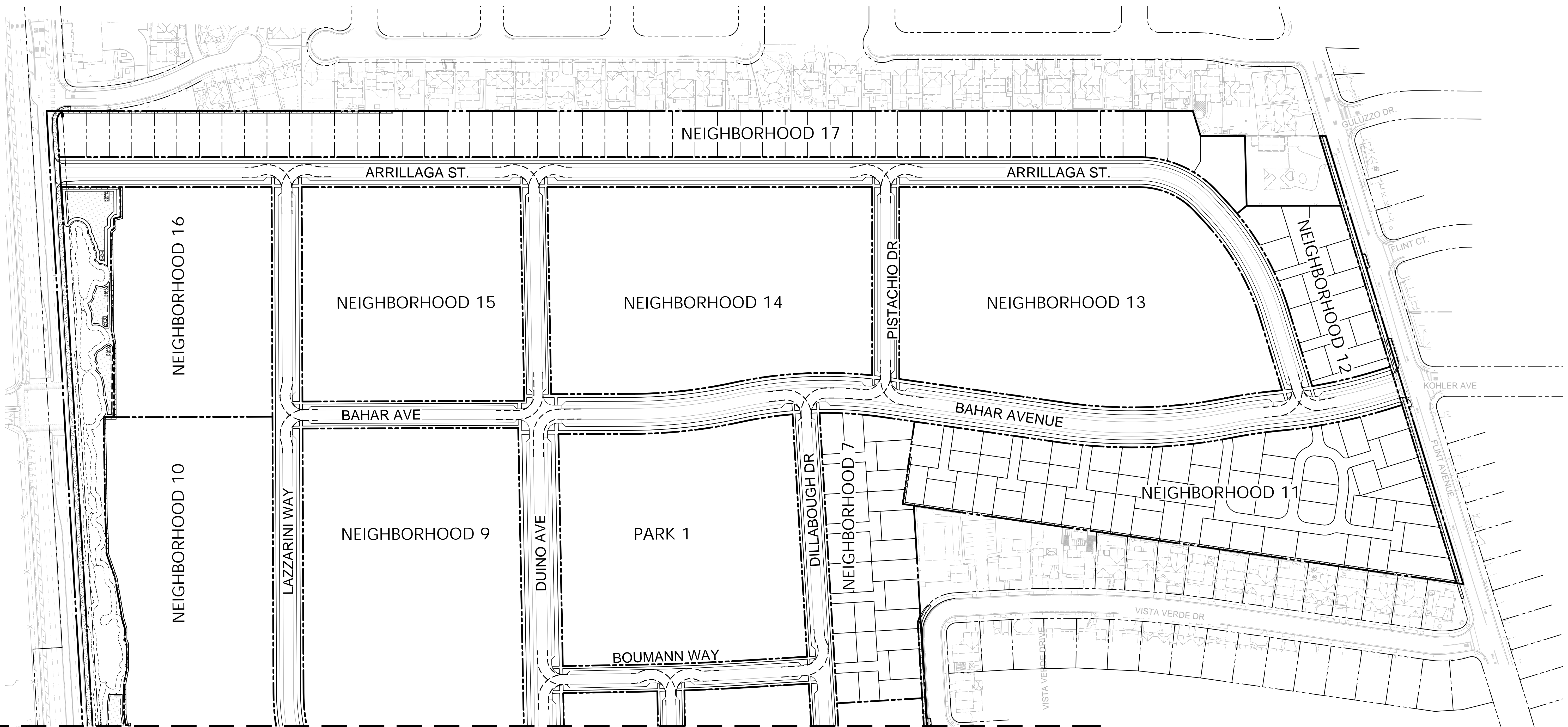
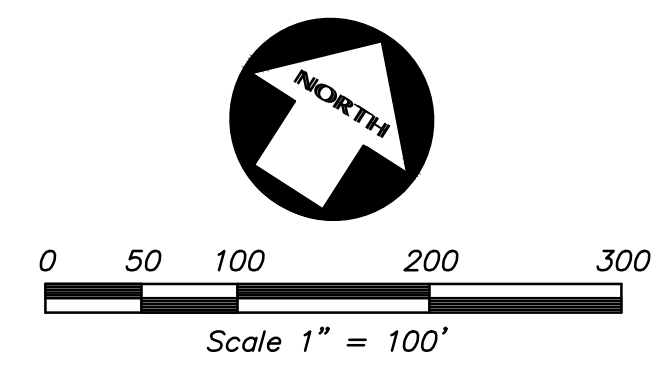
DRAWING NUMBER:
C7.2
25 OF 45 SHEETS

APPROVED BY: *J.R.D.*
DATE: 8/1/2024

DRAWING NO. **D-6**

DEPARTMENT OF PUBLIC WORKS

DRAWN BY: C/JG CHECKED BY: CHG DEPARTMENT: ENGR



LEGEND
 - - - - - 30' INNER / 50' OUTER TRUCK TURNING RADIUS

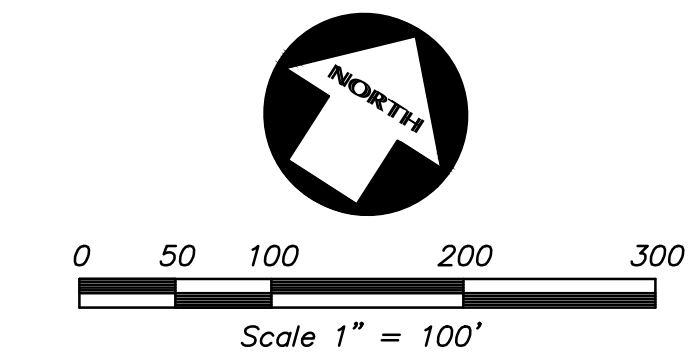
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NO.	REVISIONS	BY


KIER+WRIGHT
 Phone: (408) 727-6665
 www.kierwright.com
 3350 Scott Boulevard, Building 22
 Santa Clara, CA 95054



PRELIMINARY FIRE TRUCK ROUTING PLEASANT HILLS GOLF COURSE MASTER PLANNED DEVELOPMENT PERMIT FOR LAKESIDE COMMUNITY, LLC SAN JOSE, CALIFORNIA <small>DRAWN BY: C/JG CHECKED BY: CHG DEPARTMENT: ENGR</small>
<small>ORIGINAL ISSUE</small> <small>DATE: 12.06.2024</small>
<small>CURRENT SET ISSUE</small> <small>DATE: XX.XX.XXXX</small>
<small>PERMIT SET / CONSTRUCTION ISSUE</small> <small>DATE: XX.XX.XXXX</small>
<small>DRAWING NUMBER:</small> <h1 style="text-align: center;">C8.1</h1> <p style="text-align: center;">27 of 45 SHEETS</p>



LEGEND

--- 30' INNER / 50' OUTER TRUCK TURNING RADIUS

NO.	REVISIONS	BY

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Santa Clara, CA 95054

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PRELIMINARY FIRE TRUCK ROUTING	
PLEASANT HILLS GOLF COURSE MASTER PLANNED DEVELOPMENT PERMIT FOR LAKESIDE COMMUNITY, LLC SAN JOSE, CALIFORNIA	
ORIGINAL ISSUE DATE: 12.06.2024	DRAWN BY: C/JG CHECKED BY: CHG DEPARTMENT: ENGR
CURRENT SET ISSUE DATE: XX.XX.XXXX	
PERMIT SET / CONSTRUCTION ISSUE DATE: XX.XX.XXXX	
DRAWING NUMBER: C8.2 28 OF 45 SHEETS	

2:2024061400\DWG\ENTITLEMENTS\23414 - C913 TRUCK TURN RADIUS C8.2 PRELIMINARY FIRE TRUCK ROUTING Plan_Mandatory December 19, 2024 CARL GUTENKUNST

DEVELOPMENT SUMMARY	
Use	AC (+/-)
Residential	73.0
Mixed use	5.0
Parks	8.4
Linear Park	5.4
Project Roads	21.7
Total	113.5

RESIDENTIAL UNIT ALLOCATION						
Neighborhood	Number of units	Gross ac (+/-)	Gross Density (du/ac)	Net ac (+/-)	Net Density (du/ac)	Building typology/ Housing type
1	40	4.1	10	3.7	10.9	2 Story Paseo Courts SFD (alley loaded)
18	36	1.6	22	1.4	25.2	3 story Townhomes
2	103	4.7	22.1	3.9	26.4	3 story Townhomes
3	69	2.2	31.5	1.8	38.0	4 story Stacked Flats/Townhomes
4	342	5.0	68.4	5.0	68.4	Mixed-use buildings with structured parking
5	24	2.3	10.3	2.1	11.3	2 Story Paseo Courts SFD (alley loaded)
6	94	3.7	25.3	3.2	29.5	3 story Townhomes
7	28	2.3	12.2	2.2	12.7	2 story Auto-court SFD
8	68	2.4	27.9	2.2	30.8	3 story Cluster Townhomes
9	185	7.7	24.1	6.6	27.9	3 story Townhomes
10	291	10.0	29.1	8.1	35.8	4 story Stacked Flats/Townhomes
11	58	5.4	10.8	4.6	12.7	2 story Auto-court SFD
12	15	1.8	8.4	1.7	8.9	2 story Auto-court SFD
13	84	6.6	12.8	5.3	15.8	2 and 3 story Small Lot SFD (alley-loaded)
14	95	5.8	16.2	4.8	19.7	2 story Townhomes
15	62	4.3	14.4	3.4	18.2	2 and 3 story Small Lot SFD (alley-loaded)
16	72	3.3	21.6	2.9	25.0	3 story Townhomes
17	51	4.7	10.8	4.7	10.8	2 story SFD (front loaded)
Totals	1717	78.0	22.0	62.7	27.4	



ILLUSTRATIVE SITE PLAN

Pleasant Hills Golf Course Redevelopment
 SAN JOSE | LAKESIDE COMMUNITY LLC

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM

DAHLIN

JOB NO. 1651-001
 DATE 12/16/2024

A.1

RESIDENTIAL UNIT ALLOCATION						
Neighborhood	Number of units	Gross ac (+/-)	Gross Density (du/ac)	Net ac (+/-)	Net Density (du/ac)	Building typology/ Housing type
1	40	4.1	10	3.7	10.9	2 Story Paseo Courts SFD (alley loaded)
18	36	1.6	22	1.4	25.2	3 story Townhomes
2	103	4.7	22.1	3.9	26.4	3 story Townhomes
3	69	2.2	31.5	1.8	38.0	4 story Stacked Flats/Townhomes
4	342	5.0	68.4	5.0	68.4	Mixed-use buildings with structured parking
5	24	2.3	10.3	2.1	11.3	2 Story Paseo Courts SFD (alley loaded)
6	94	3.7	25.3	3.2	29.5	3 story Townhomes
7	28	2.3	12.2	2.2	12.7	2 story Auto-court SFD
8	68	2.4	27.9	2.2	30.8	3 story Cluster Townhomes
9	185	7.7	24.1	6.6	27.9	3 story Townhomes
10	291	10.0	29.1	8.1	35.8	4 story Stacked Flats/Townhomes
11	58	5.4	10.8	4.6	12.7	2 story Auto-court SFD
12	15	1.8	8.4	1.7	8.9	2 story Auto-court SFD
13	84	6.6	12.8	5.3	15.8	2 and 3 story Small Lot SFD (alley-loaded)
14	95	5.8	16.2	4.8	19.7	2 story Townhomes
15	62	4.3	14.4	3.4	18.2	2 and 3 story Small Lot SFD (alley-loaded)
16	72	3.3	21.6	2.9	25.0	3 story Townhomes
17	51	4.7	10.8	4.7	10.8	2 story SFD (front loaded)
Totals	1717	78.0	22.0	62.7	27.4	

KEY

- MIXED-USE NEIGHBORHOOD
- URBAN RESIDENTIAL
- PARK



LAND USE PLAN

Pleasant Hills Golf Course Redevelopment
SAN JOSE | LAKESIDE COMMUNITY LLC

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

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DAHLIN

JOB NO. 1651-001
DATE 12/16/2024

A.2

RESIDENTIAL UNIT ALLOCATION						
Neighborhood	Number of units	Gross ac (+/-)	Gross Density (du/ac)	Net ac (+/-)	Net Density (du/ac)	Building typology/ Housing type
1	40	4.1	10	3.7	10.9	2 Story Paseo Courts SFD (alley loaded)
18	36	1.6	22	1.4	25.2	3 story Townhomes
2	103	4.7	22.1	3.9	26.4	3 story Townhomes
3	69	2.2	31.5	1.8	38.0	4 story Stacked Flats/Townhomes
4	342	5.0	68.4	5.0	68.4	Mixed-use buildings with structured parking
5	24	2.3	10.3	2.1	11.3	2 Story Paseo Courts SFD (alley loaded)
6	94	3.7	25.3	3.2	29.5	3 story Townhomes
7	28	2.3	12.2	2.2	12.7	2 story Auto-court SFD
8	68	2.4	27.9	2.2	30.8	3 story Cluster Townhomes
9	185	7.7	24.1	6.6	27.9	3 story Townhomes
10	291	10.0	29.1	8.1	35.8	4 story Stacked Flats/Townhomes
11	58	5.4	10.8	4.6	12.7	2 story Auto-court SFD
12	15	1.8	8.4	1.7	8.9	2 story Auto-court SFD
13	84	6.6	12.8	5.3	15.8	2 and 3 story Small Lot SFD (alley-loaded)
14	95	5.8	16.2	4.8	19.7	2 story Townhomes
15	62	4.3	14.4	3.4	18.2	2 and 3 story Small Lot SFD (alley-loaded)
16	72	3.3	21.6	2.9	25.0	3 story Townhomes
17	51	4.7	10.8	4.7	10.8	2 story SFD (front loaded)
Totals	1717	78.0	22.0	62.7	27.4	

KEY

- RES 1- SINGLE FAMILY HOMES
- RES 2- SINGLE FAMILY HOMES
- RES 3- TOWNHOMES
- RES 4- CLUSTER TOWNHOMES & FLATS
- MIXED-USE
- PARK

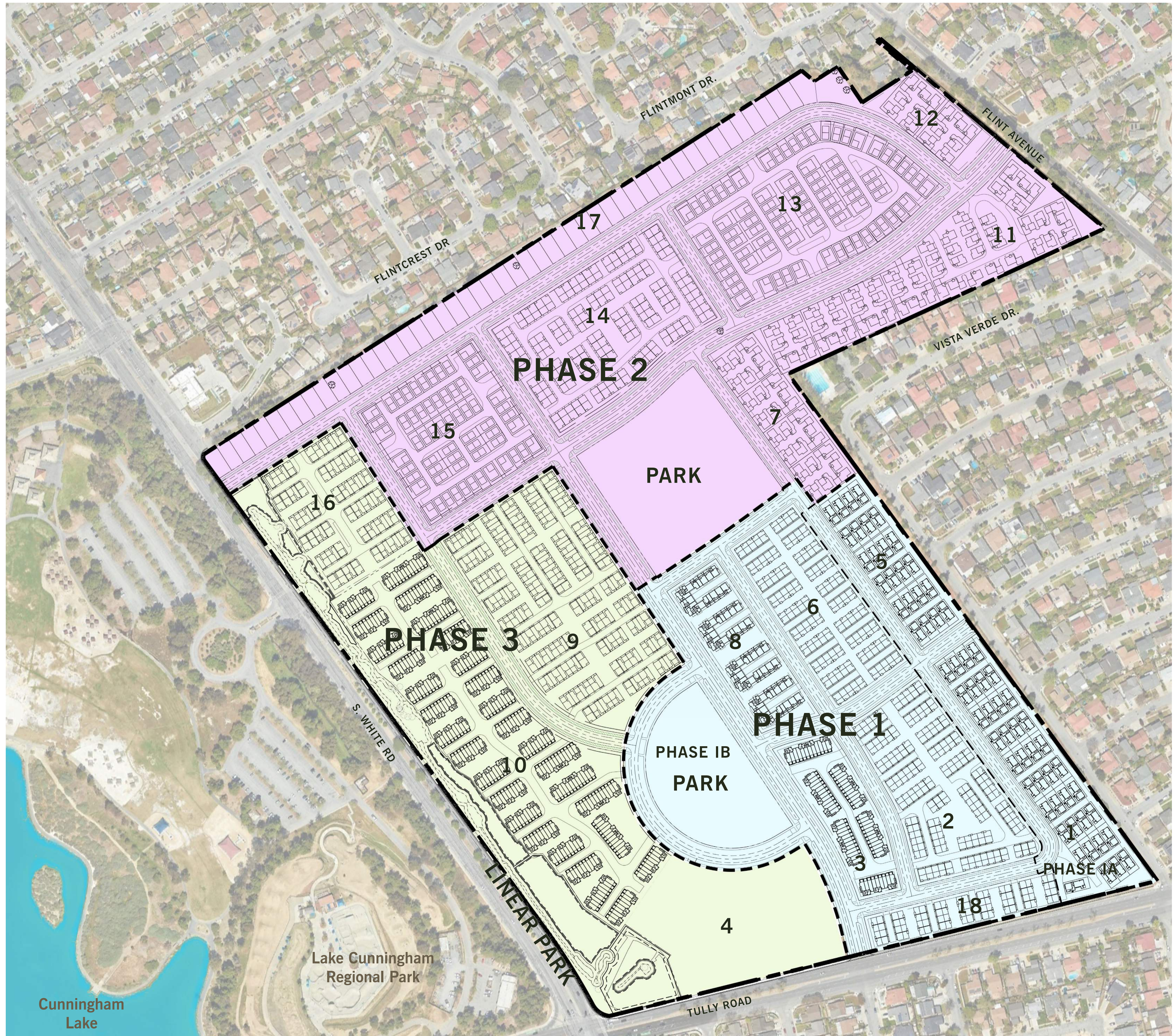


HOUSING TYPOLOGY PLAN

PHASE 1 - RESIDENTIAL UNIT ALLOCATION		
Parcel Number	Number of units	Building typology/ Housing type
1	40	2 Story Paseo Courts SFD (alley-loaded)
18	36	3 story Townhomes
2	103	3 story Townhomes
3	69	4 story Stacked Flats/Townhomes
5	24	2 Story Paseo Courts SFD (alley-loaded)
6	94	3 story Townhomes
8	68	3 story Cluster Townhomes
Totals	434	

PHASE 2 - RESIDENTIAL UNIT ALLOCATION		
Parcel Number	Number of units	Building typology/ Housing type
7	28	2 story Auto-court SFD
11	58	2 story Auto-court SFD
12	15	2 story Auto-court SFD
13	84	2 and 3 story Small Lot SFD (alley-loaded)
14	95	2 story Townhomes
15	62	2 and 3 story Small Lot SFD (alley-loaded)
17	51	2 story SFD (front loaded)
Totals	393	

PHASE 3 - RESIDENTIAL UNIT ALLOCATION		
Parcel Number	Number of units	Building typology/ Housing type
4	342	Mixed-use buildings with structured parking
9	185	3 story Townhomes
10	291	4 story Stacked Flats/Townhomes
16	72	3 story Townhomes
Totals	890	



PHASING PLAN



PERSPECTIVE - MIXED-USE PASEO

Pleasant Hills Golf Course Redevelopment
 SAN JOSE | LAKESIDE COMMUNITY LLC

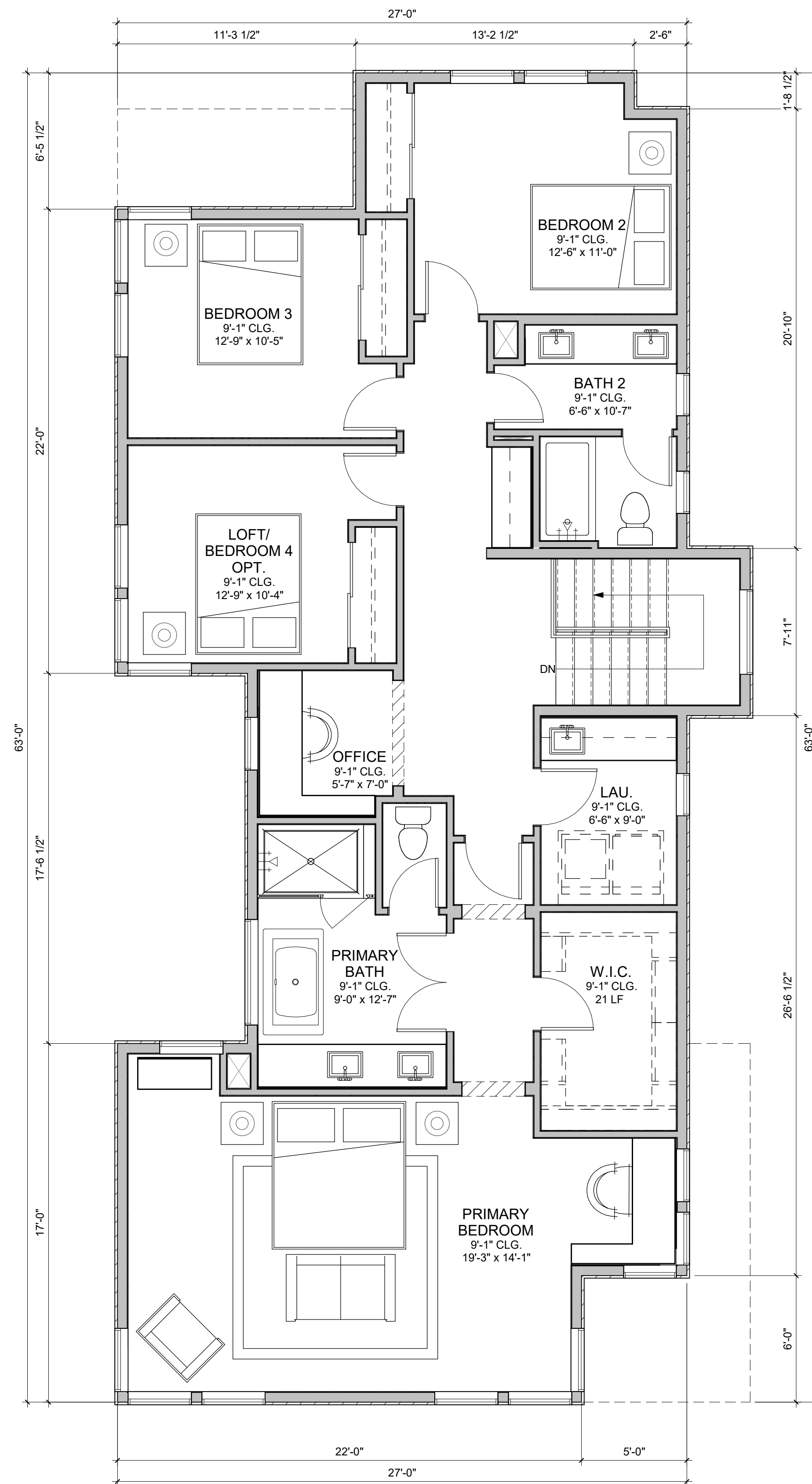
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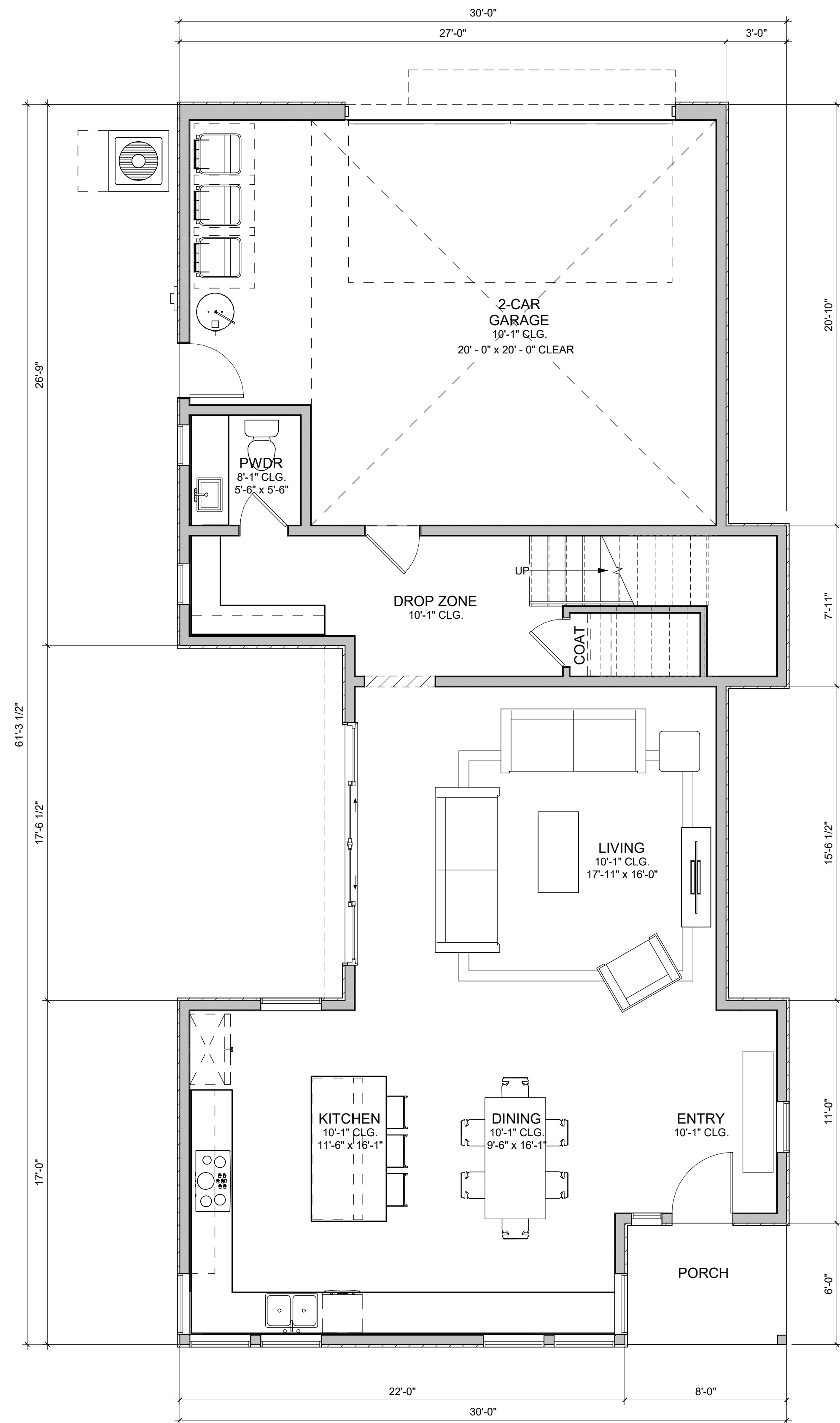


JOB NO. 1651-001
 DATE 12/16/2024

A.5



2 PLAN 1 SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 1 FIRST FLOOR PLAN
1/4" = 1'-0"

PLAN 1 - 4 BR / 2.5 BA*	
NAME	AREA (SF)
FIRST FLOOR	1014
SECOND FLOOR	1448
TOTAL LIVING AREA	2462
2-CAR GARAGE	524
PORCH	48

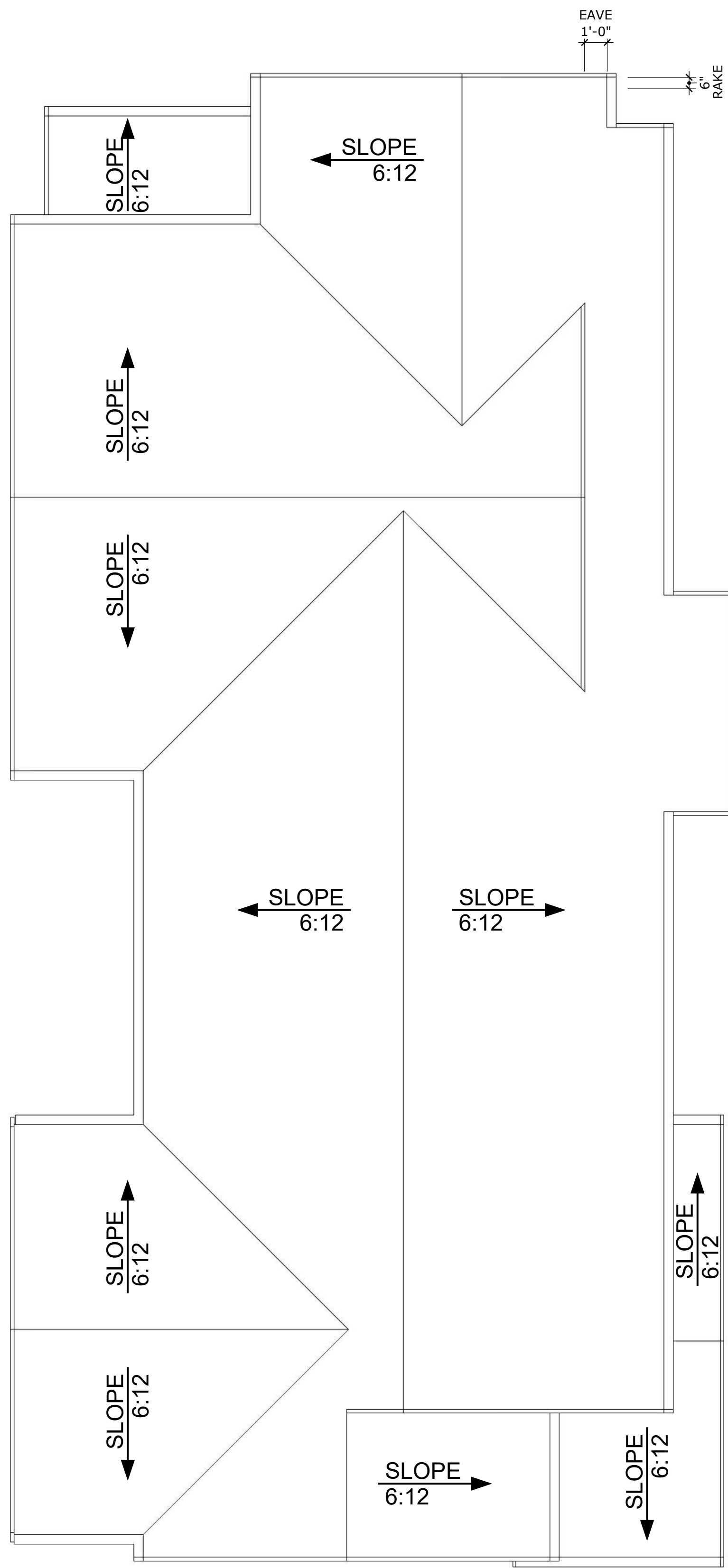
*GROSS SQUARE FOOTAGE

PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD
PLAN 1 - FLOOR PLANS

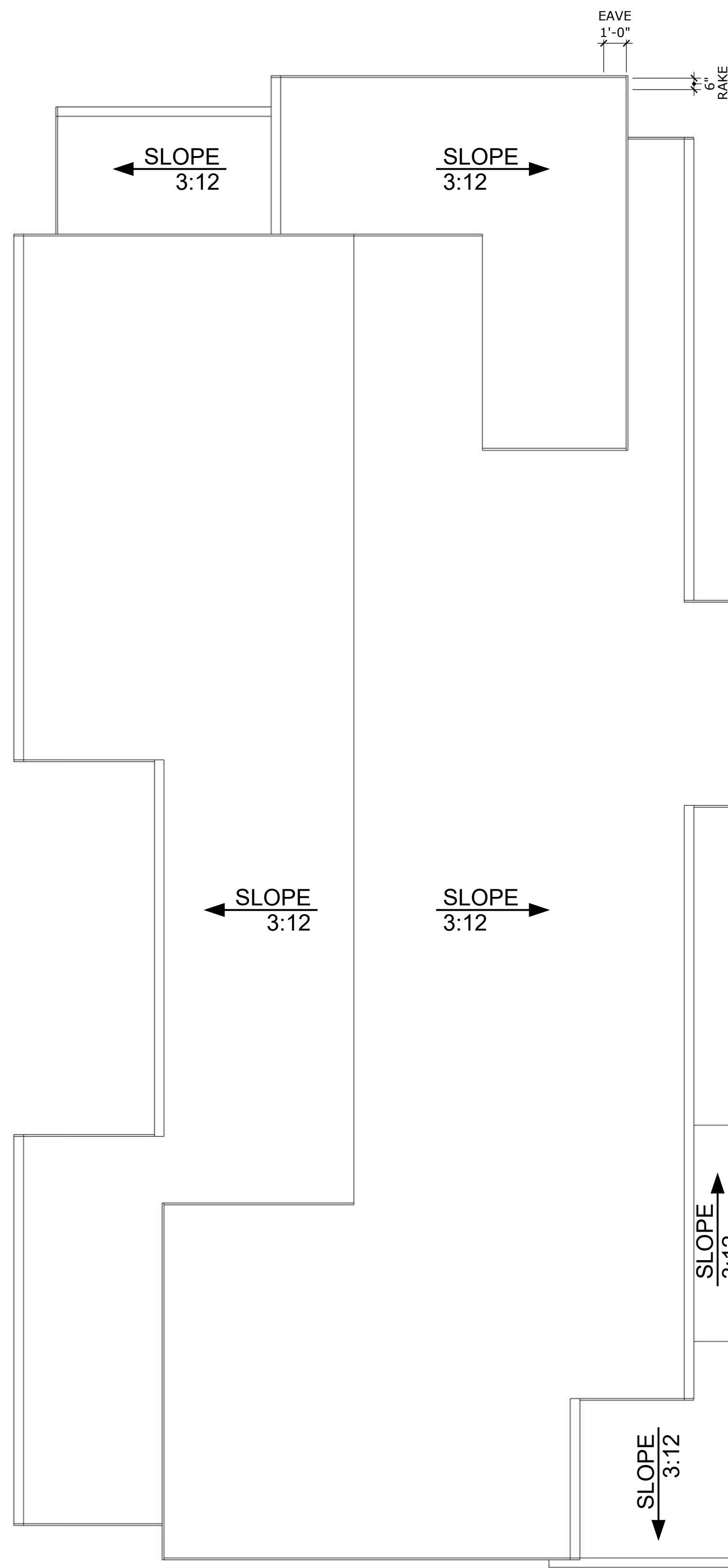


JOB NO. 1651-001
DATE 12/16/2024

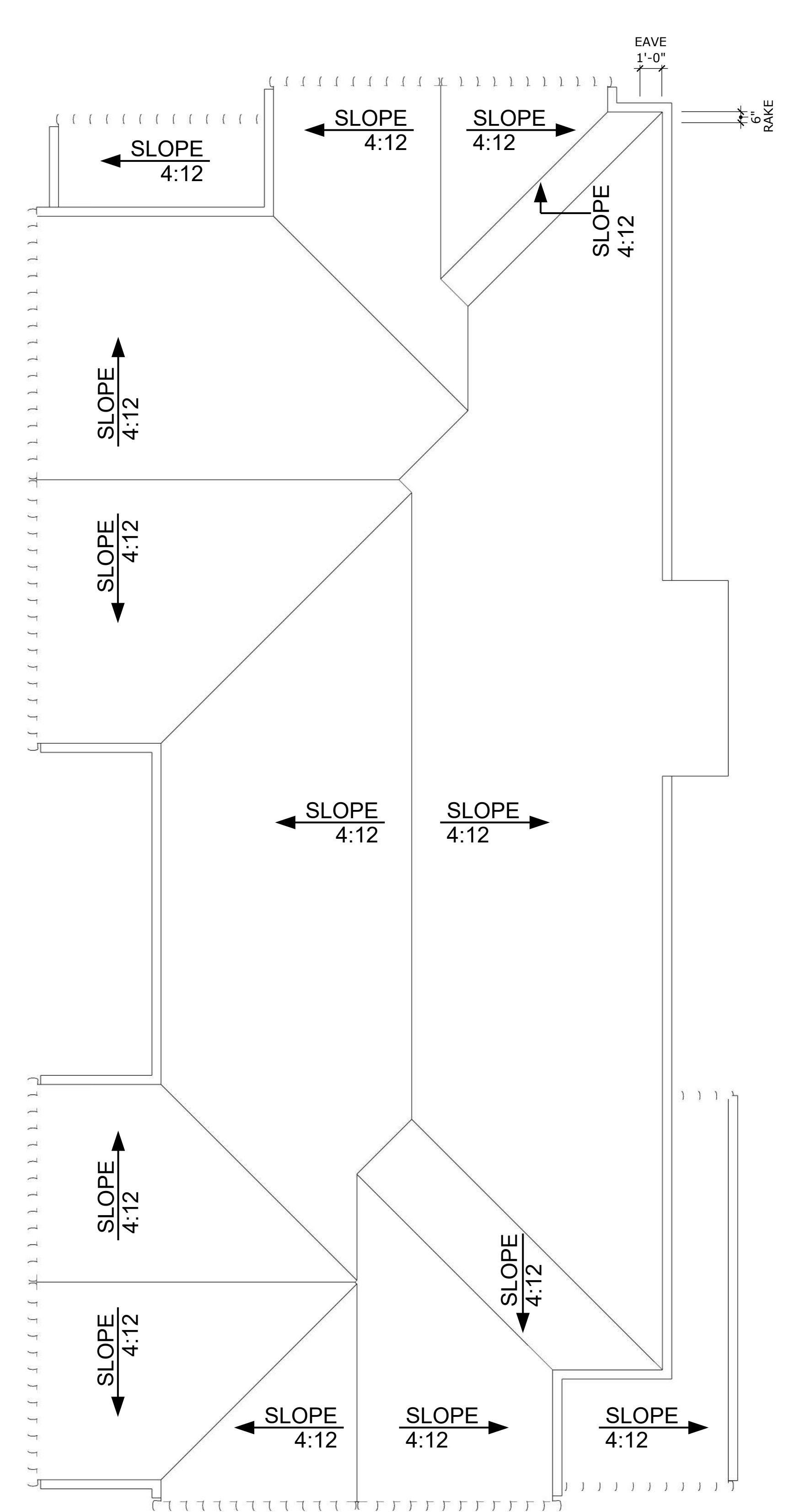




ROOF PLAN 1 - A - FARMHOUSE



ROOF PLAN 1 - B - TRANSITIONAL



ROOF PLAN 1 - C - SPANISH

PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD

PLAN 1 - ROOF PLANS



JOB NO. 1651-001

DATE 12/16/2024





FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD
PLAN 1- ELEVATION A- FARMHOUSE

Pleasant Hills Golf Course Redevelopment
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JOB NO. 1651-001
 DATE 12/16/2024

A.8



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD
PLAN 1- ELEVATION B- TRANSITIONAL

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JOB NO. 1651-001
 DATE 12/16/2024

A.9



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD
PLAN 1- ELEVATION C- SPANISH

Pleasant Hills Golf Course Redevelopment
 SAN JOSE | LAKESIDE COMMUNITY LLC

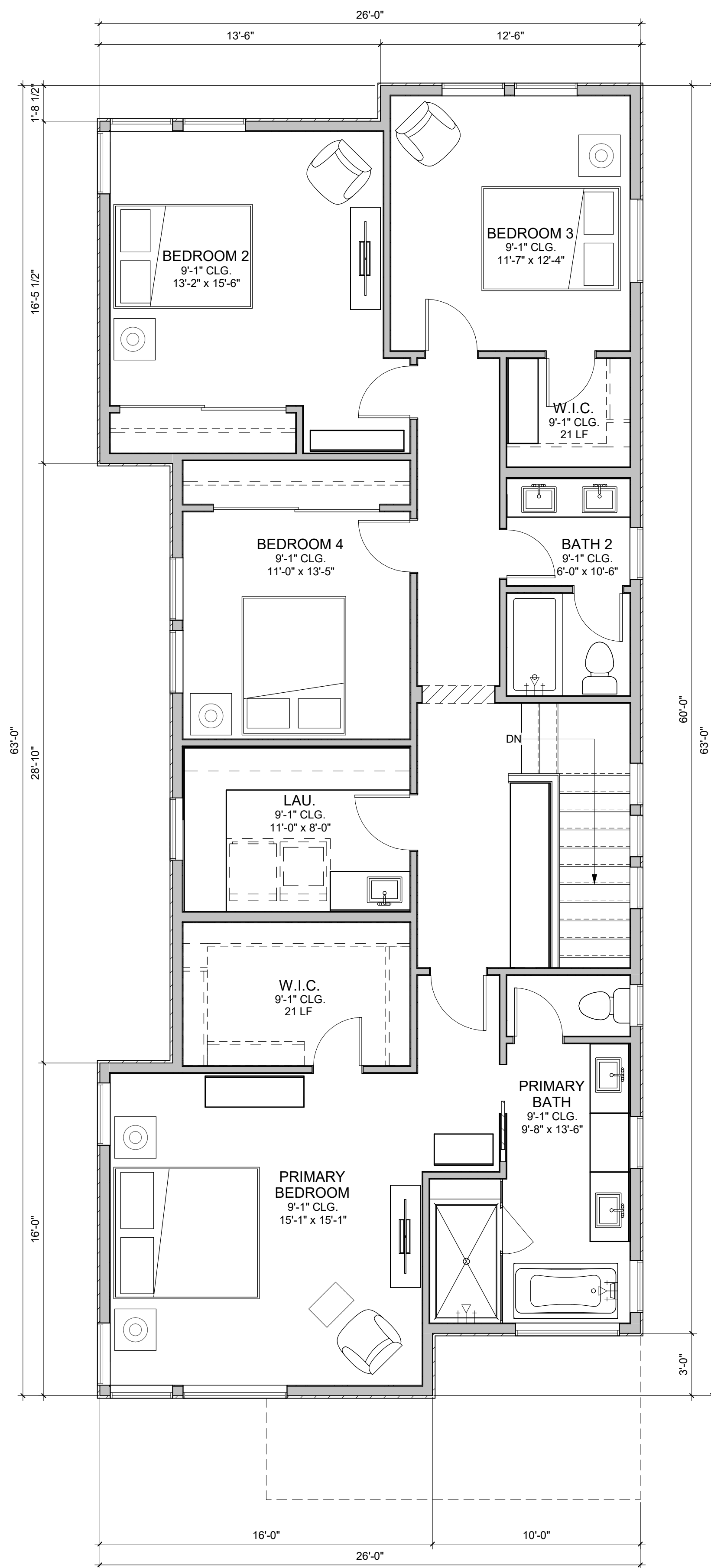
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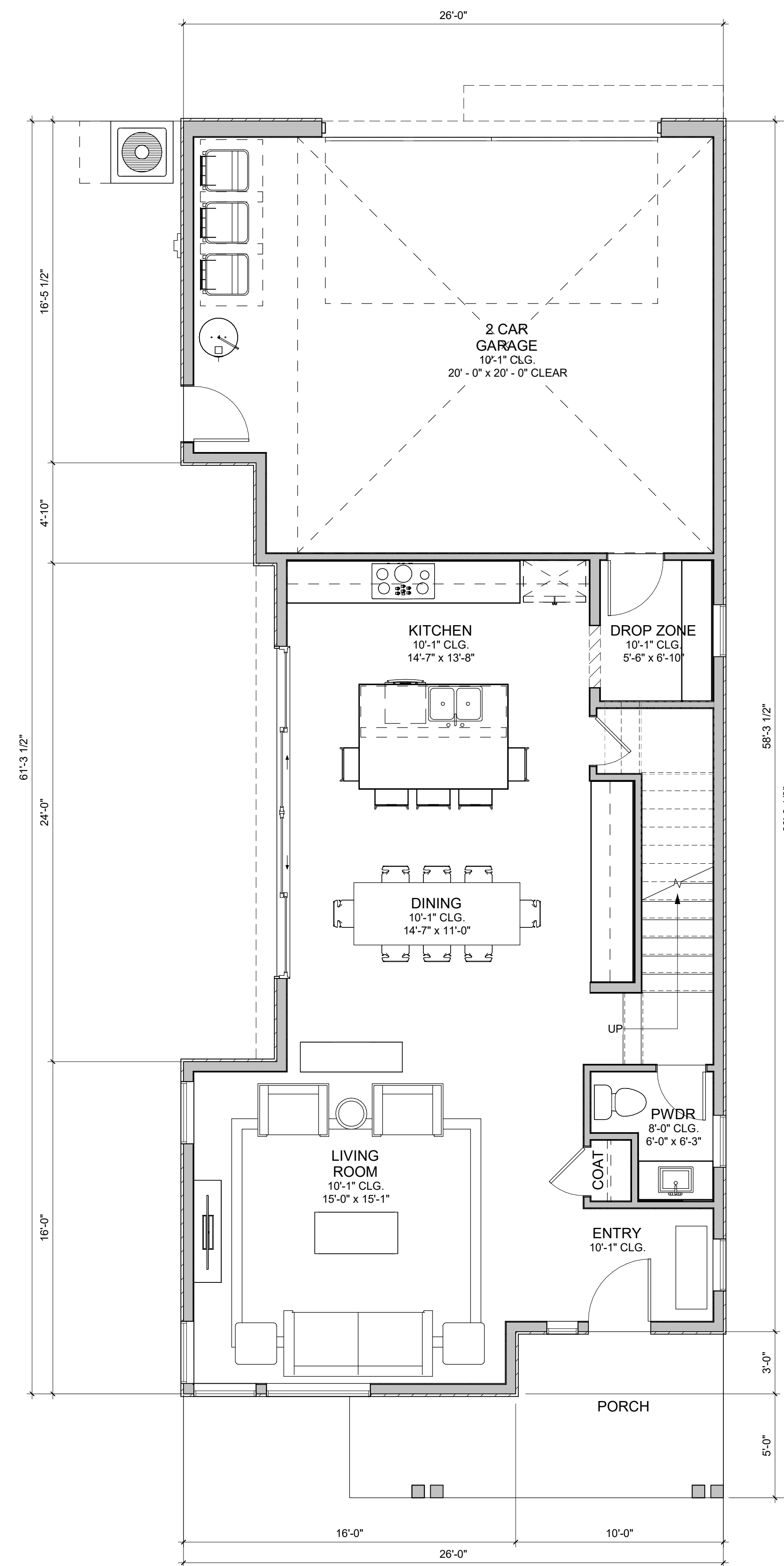


JOB NO. 1651-001
 DATE 12/16/2024

A.10



2 PLAN 2 SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 2 FIRST FLOOR PLAN
1/4" = 1'-0"

PLAN 2 - 4 BR / 2.5 BA*	
NAME	AREA (SF)
FIRST FLOOR	912
SECOND FLOOR	1433
TOTAL LIVING AREA	2345
2-CAR GARAGE	527
PORCH	120

*GROSS SQUARE FOOTAGE

PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD

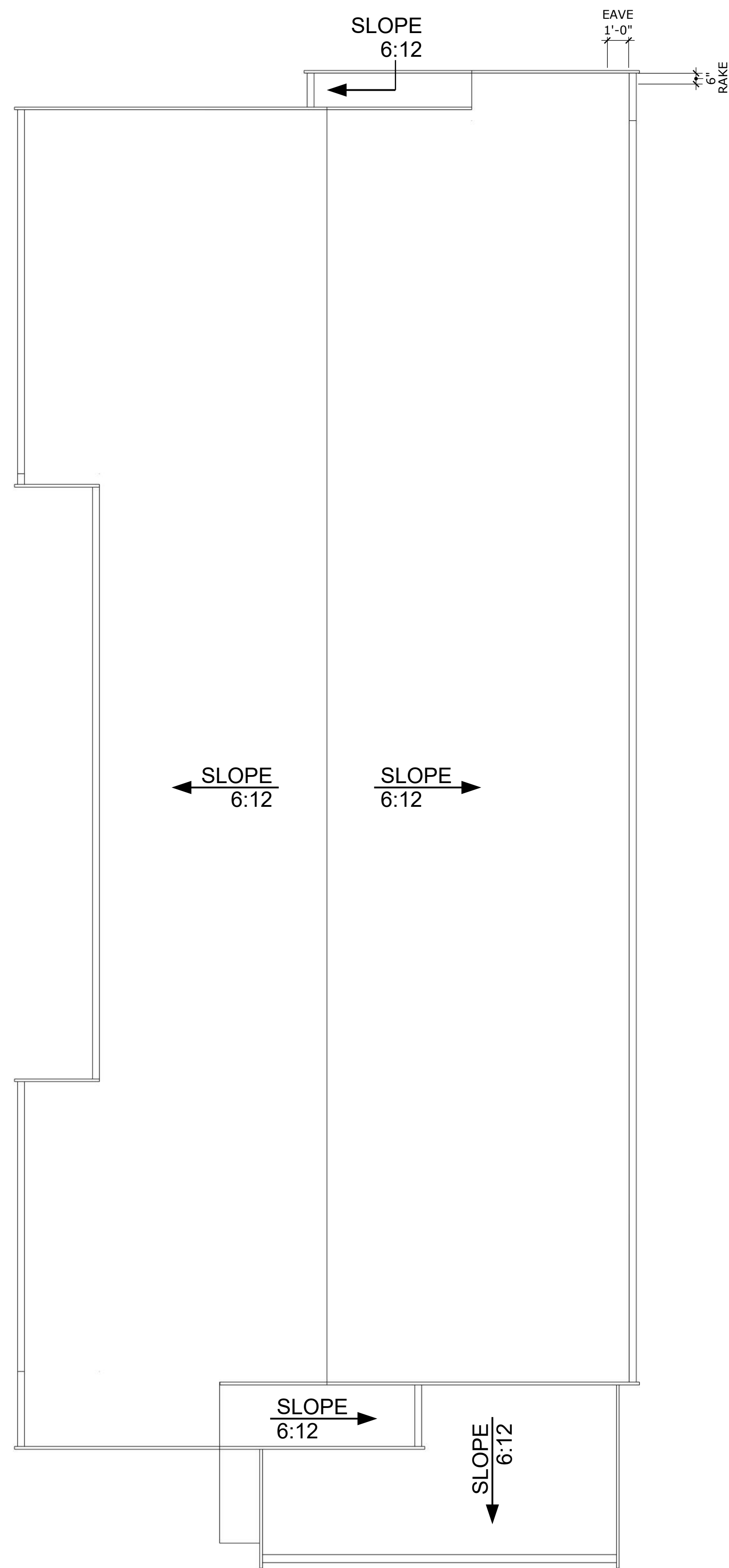
PLAN 2 - FLOOR PLANS



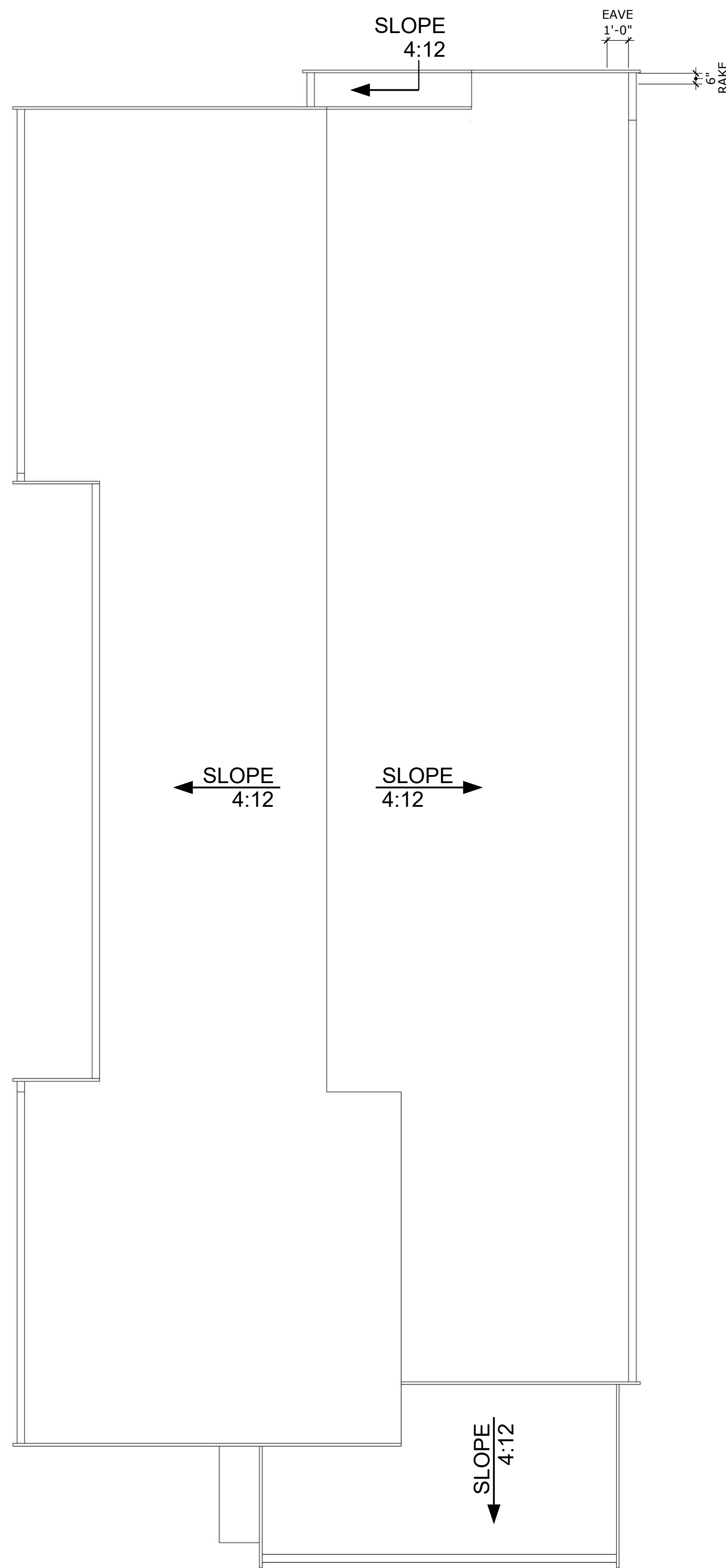
JOB NO. 1651-001
DATE 12/16/2024



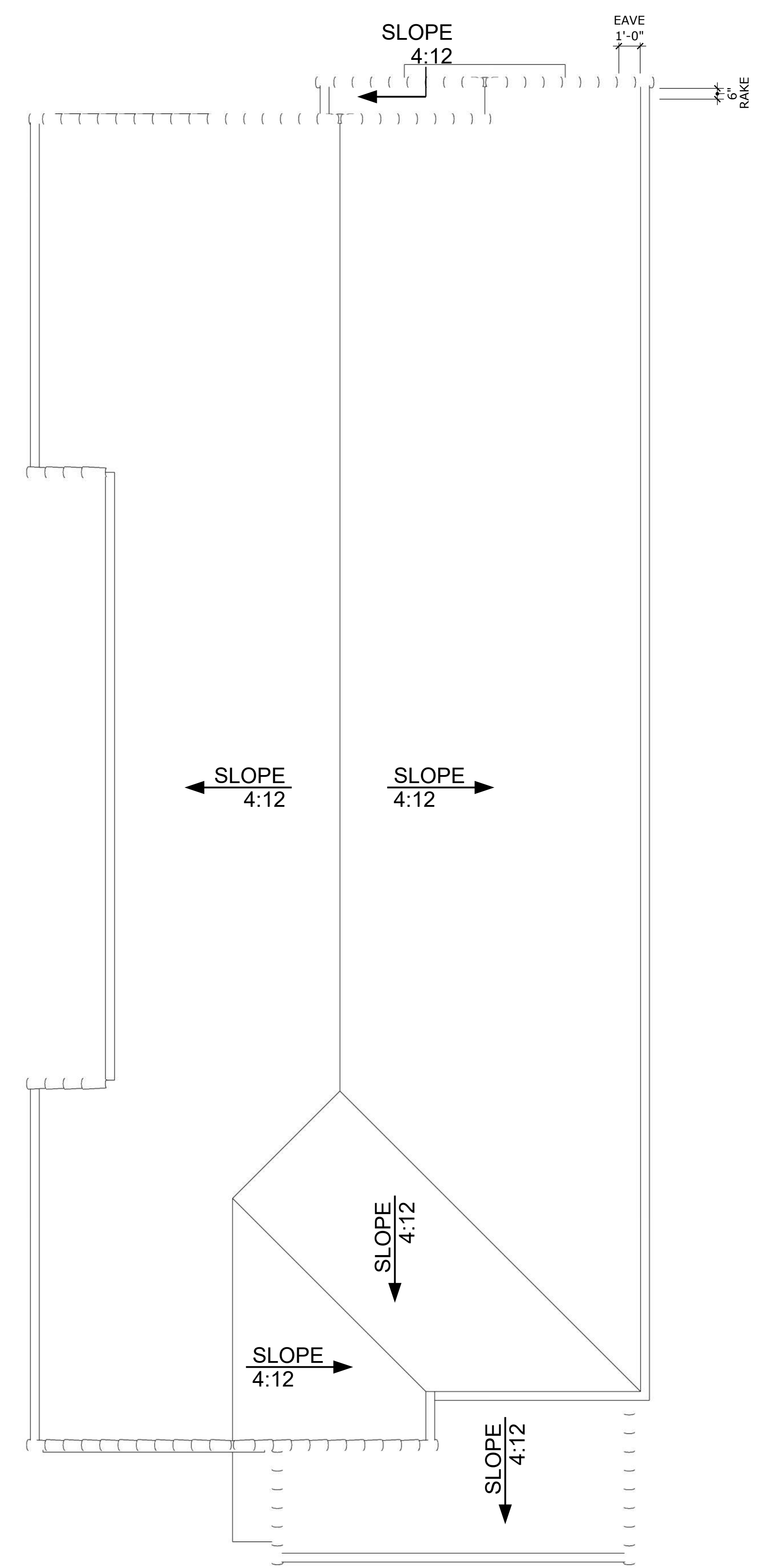
A.11



ROOF PLAN 1 - A - FARMHOUSE



ROOF PLAN 1 - B - TRANSITIONAL



ROOF PLAN 1 - C - SPANISH

PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD

PLAN 2 - ROOF PLANS

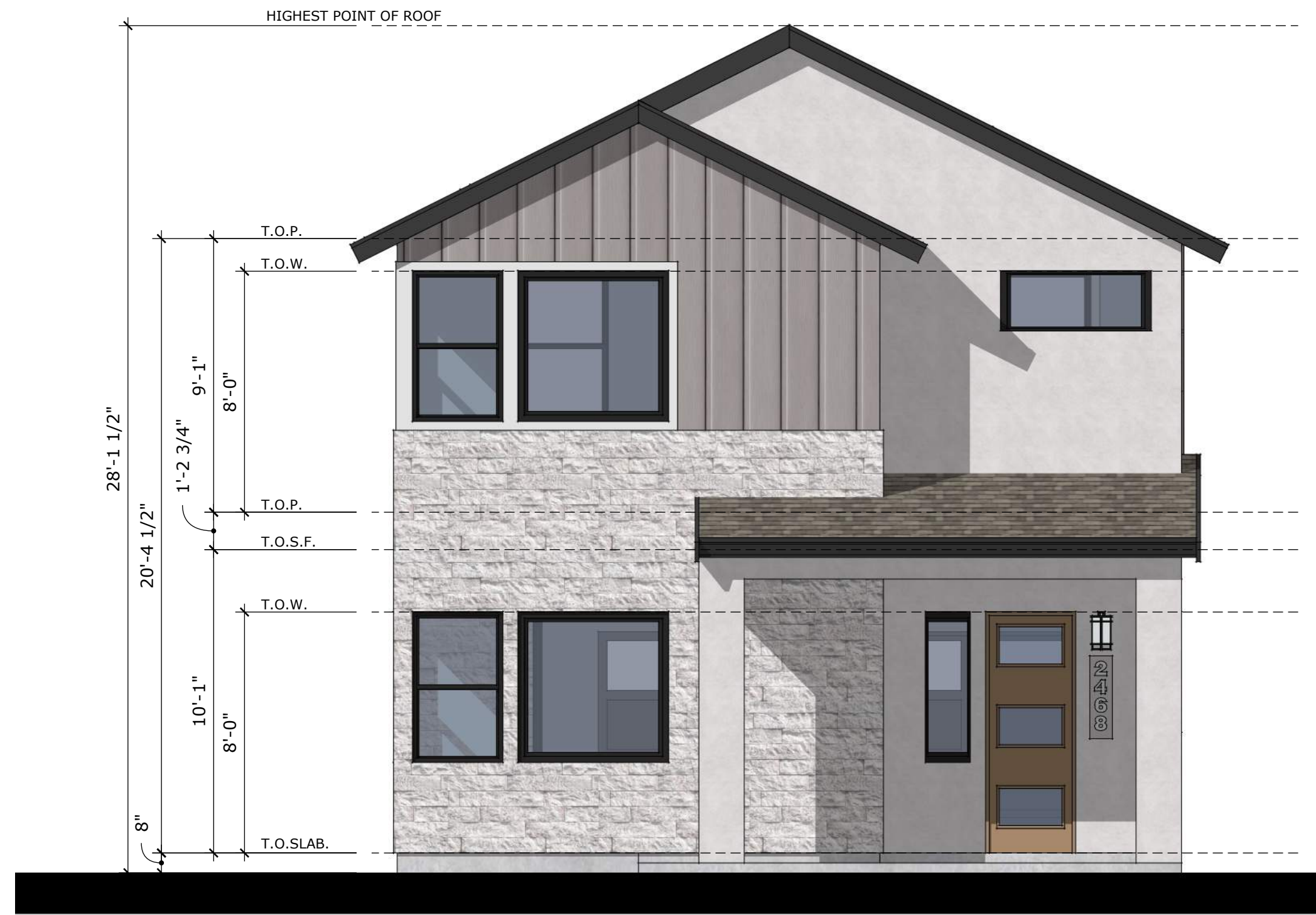


JOB NO. 1651-001

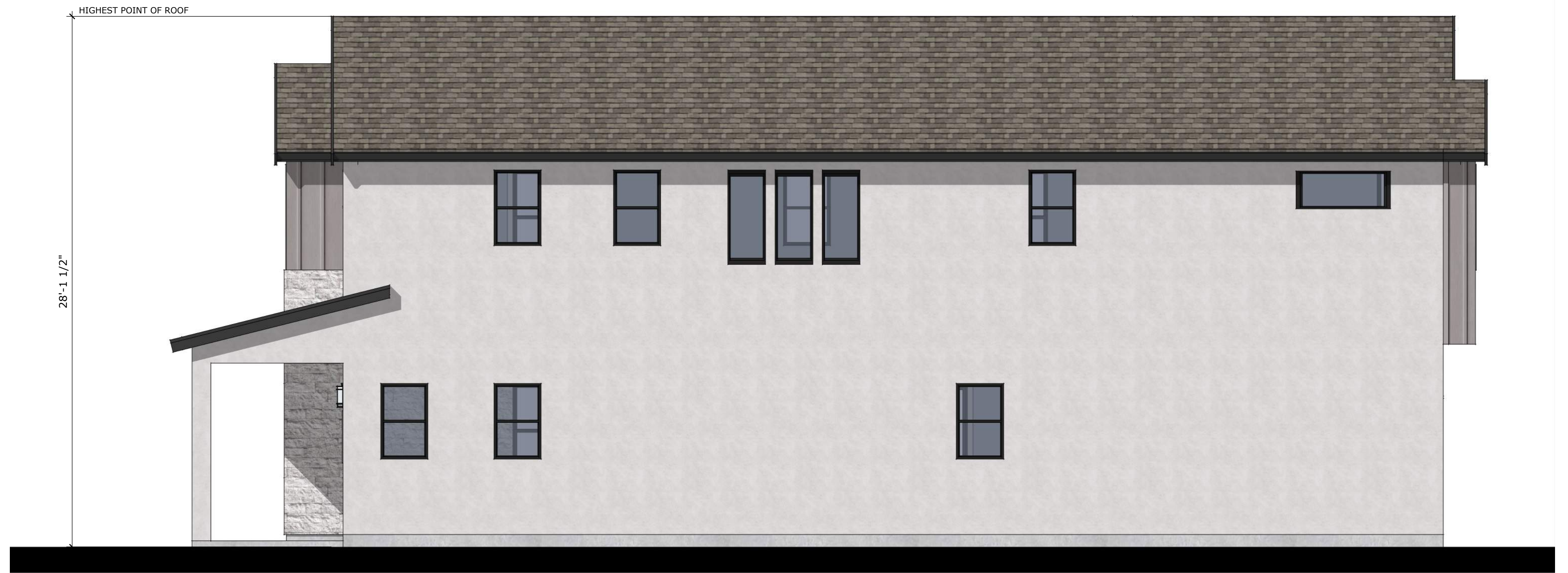
DATE 12/16/2024

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A.12



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD
PLAN 2- ELEVATION A- FARMHOUSE



JOB NO. 1651-001
 DATE 12/16/2024

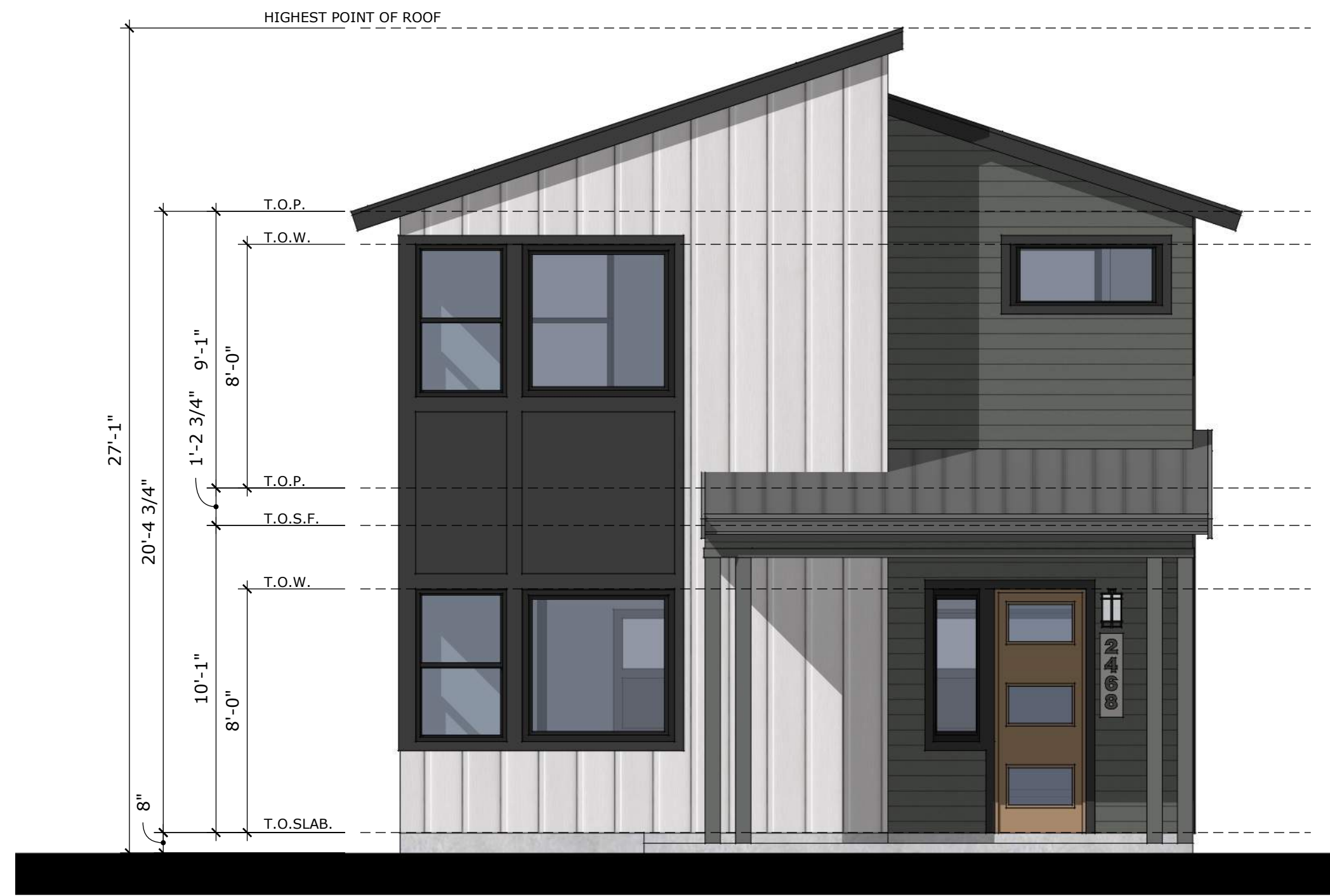


A.13

Pleasant Hills Golf Course Redevelopment
 SAN JOSE | LAKESIDE COMMUNITY LLC

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FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD
PLAN 2- ELEVATION B- TRANSITIONAL

Pleasant Hills Golf Course Redevelopment
 SAN JOSE | LAKESIDE COMMUNITY LLC

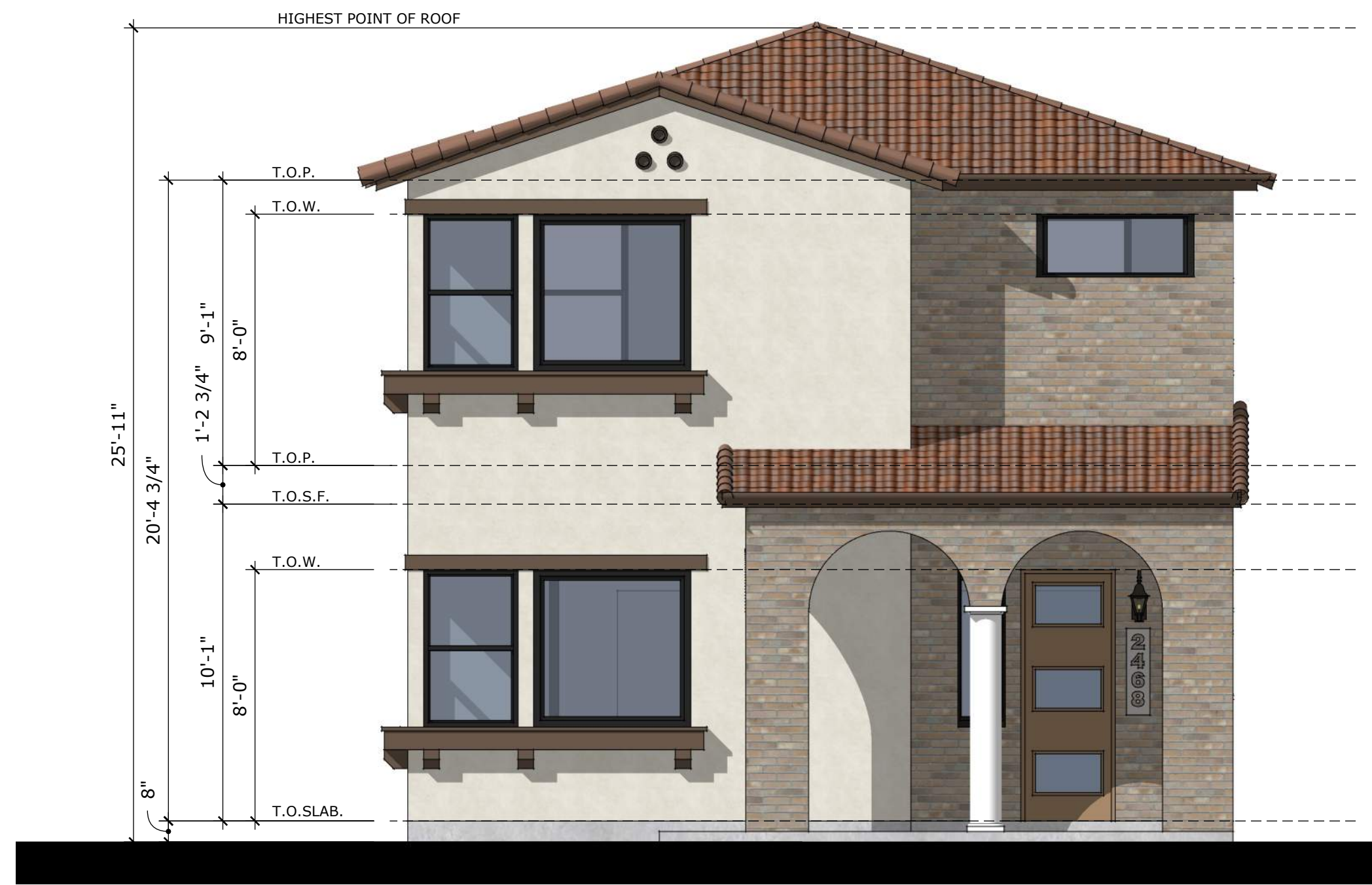
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JOB NO. 1651-001
 DATE 12/16/2024

A.14



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD
PLAN 2- ELEVATION C- SPANISH



JOB NO. 1651-001
 DATE 12/16/2024



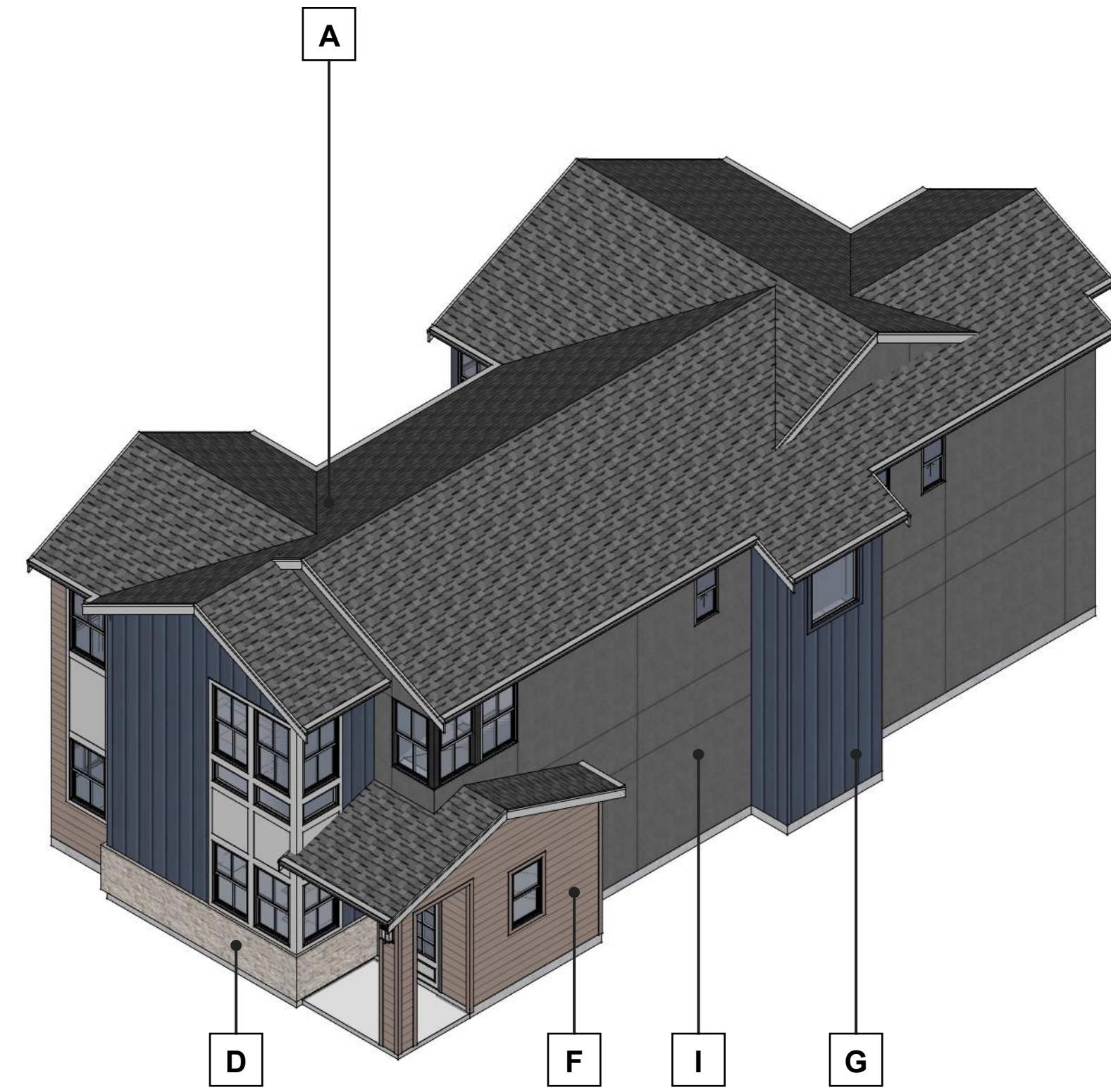
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Pleasant Hills Golf Course Redevelopment
 SAN JOSE | LAKESIDE COMMUNITY LLC

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

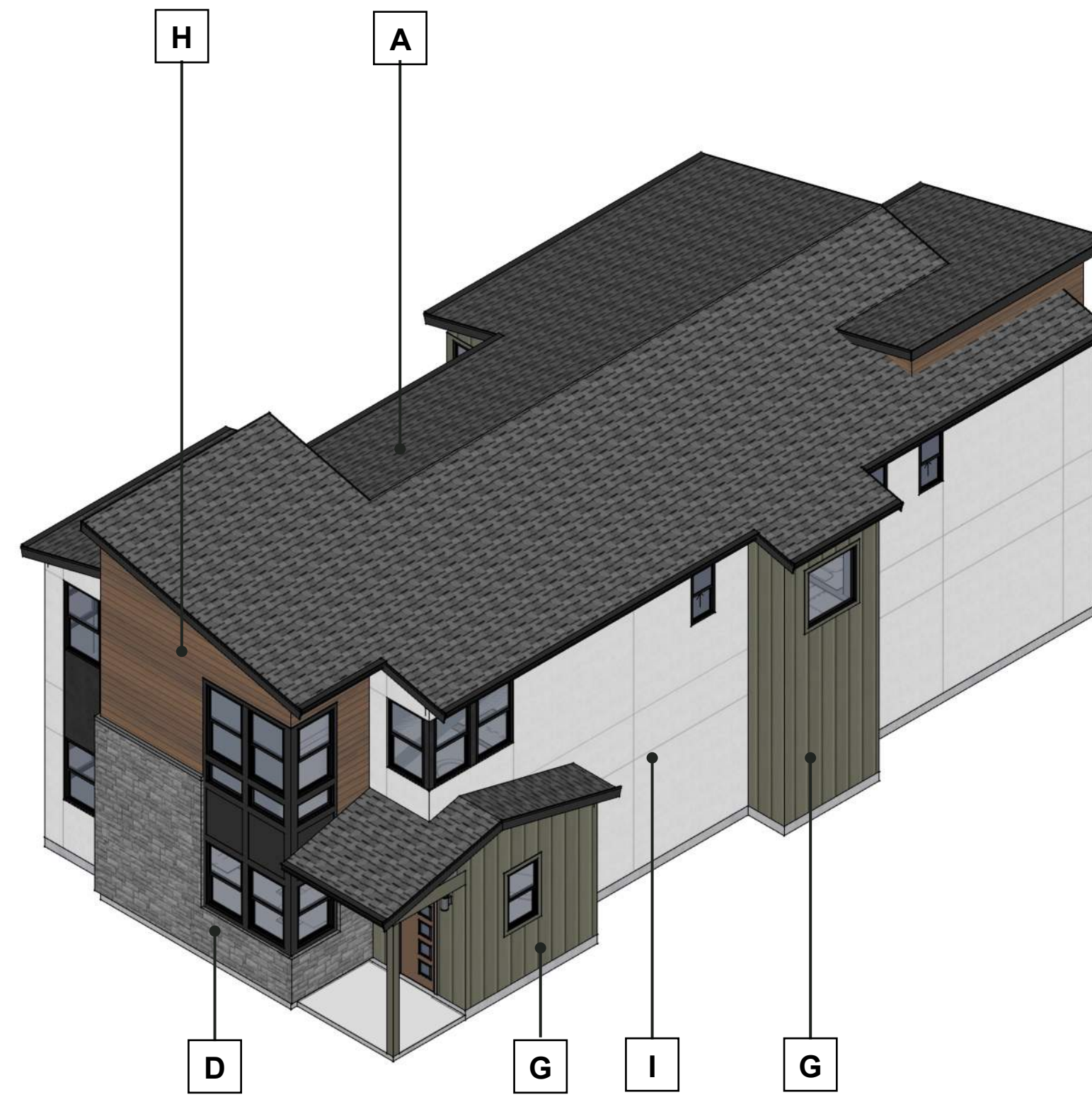
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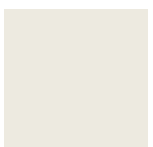











COLORS



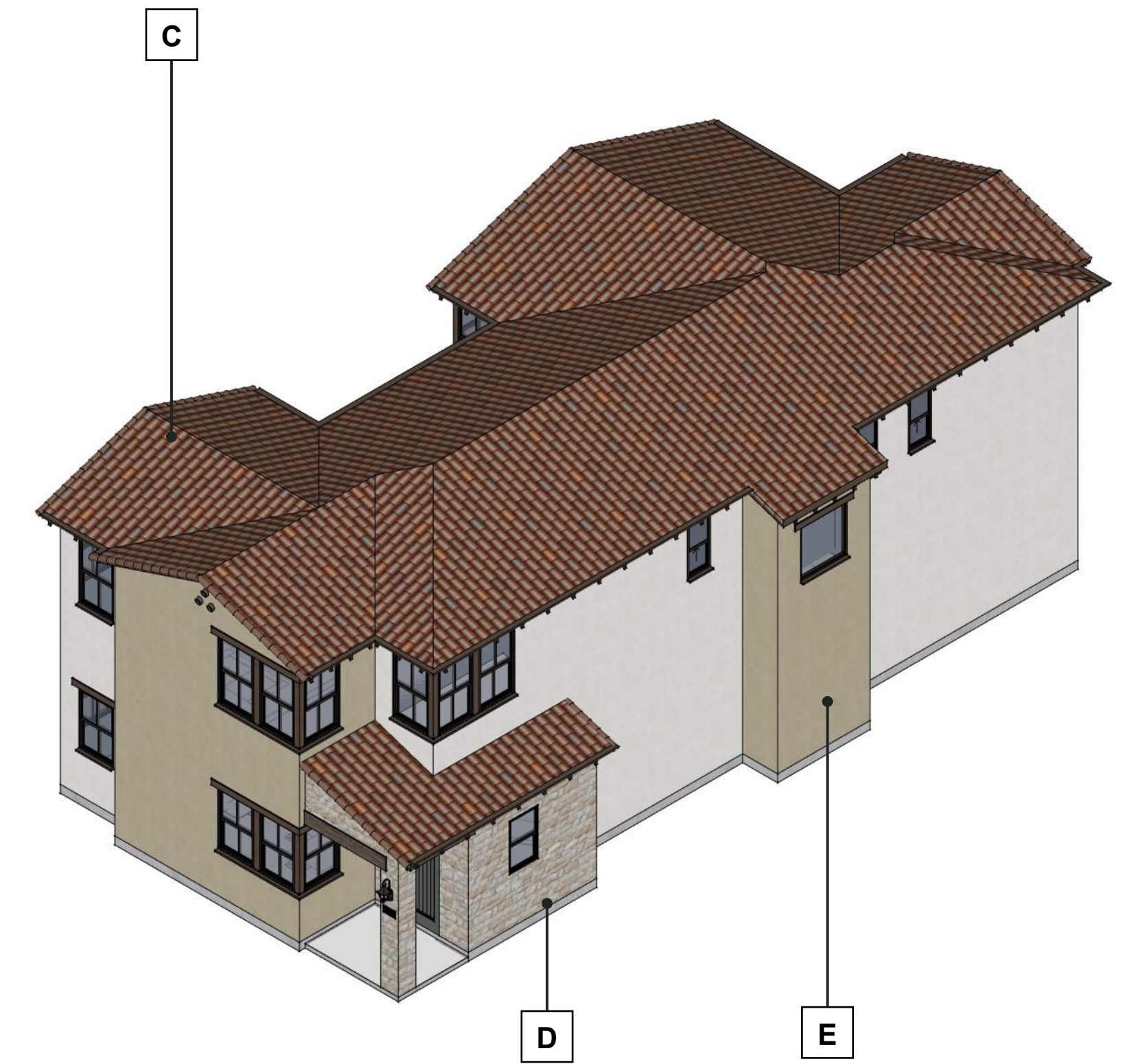
COLOR SCHEME 1	 TRULY TAUPE SW 6038	 INDIGO BATIK SW 7602	 DORIAN GRAY SW 7017	 WHITE FLOUR SW 7102
COLOR SCHEME 2	 GREEK VILLA SW 7551	 SOMMELIER SW 7595	 GRIZZLE GRAY SW 7068	 SPICED CIDER SW 7702
COLOR SCHEME 3	 TOQUE WHITE SW 7003	 SABLE SW 6083	 PEPPERCORN SW 7674	 RUSTIC RED SW 2802

PLAN 1 FARMHOUSE



COLOR SCHEME 1	 ALABASTER WHITE SW 7008	 KENDALL GREEN SW 6467	 IRON ORE SW 7069	 SPICED CIDER SW 7702
COLOR SCHEME 2	 DRIFT OF MIST SW 9166	 ROSEMARY SW 6187	 GRIZZLE GRAY SW 7068	 BEE SW 6683
COLOR SCHEME 3	 GRAYISH SW 6001	 WESTCHESTER GRAY SW 2849	 PEPPERCORN SW 7674	 SECURE BLUE SW 6508


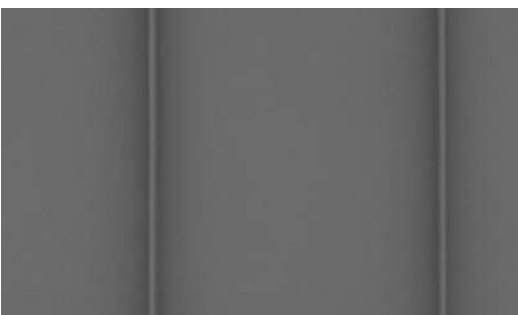


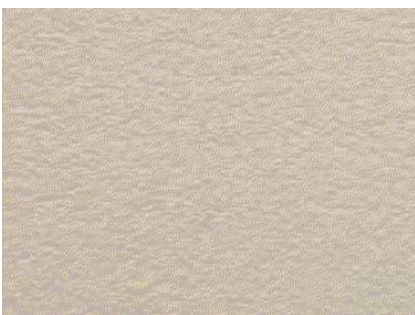




PLAN 1 TRANSITIONAL



COLOR SCHEME 1	 ALABASTER WHITE SW 7008	 SANDBAR SW 7547	 OTTER SW 6041	 ROSEMARY SW 6187
COLOR SCHEME 2	 IVORY LACE SW 7013	 PRACTICAL BEIGE SW 6100	 JAVA SW 6090	 BASIL SW 6194
COLOR SCHEME 3	 DOWNY SW 7002	 SMOKY BEIGE SW 9087	 SABLE SW 6083	 KENDALL GREEN SW 6467

PLAN 1 SPANISH

MATERIALS

A ROOF MATERIAL 1 COMPOSITION SHINGLE	B ROOF MATERIAL 2 STANDING SEAM	C ROOF MATERIAL 3 'S' TILE BARCELONA 900 BY BORAL	D ADHERED MASONRY VENEER ELDORADOE STONE	E STUCCO LIGHT SAND FINISH	F HORIZONTAL LAP SIDING 7.25" SIDING W/ 6" EXP.	G BOARD & BATT SIDING 1x3 BATTENS SPACED @ 16" C/C	H CEMENTITIOUS PANEL SIDING FAUX CEDAR FINISH	I CEMENTITIOUS PANEL SIDING SMOOTH FINISH
								

NOTE:

PAINT COLORS AND PHOTO IMAGES OF MATERIALS SEEN ON SCREEN MAY NOT ACCURATELY REPRESENT COLORS AND TEXTURES. REFER TO ACTUAL MATERIALS FOR COLORS.

DOWNSPOUTS: PAINT ALL EXPOSED SIDES WITH ADJACENT COLOR.

GUTTERS: 5" O'GEE GUTTERS, PAINTED.

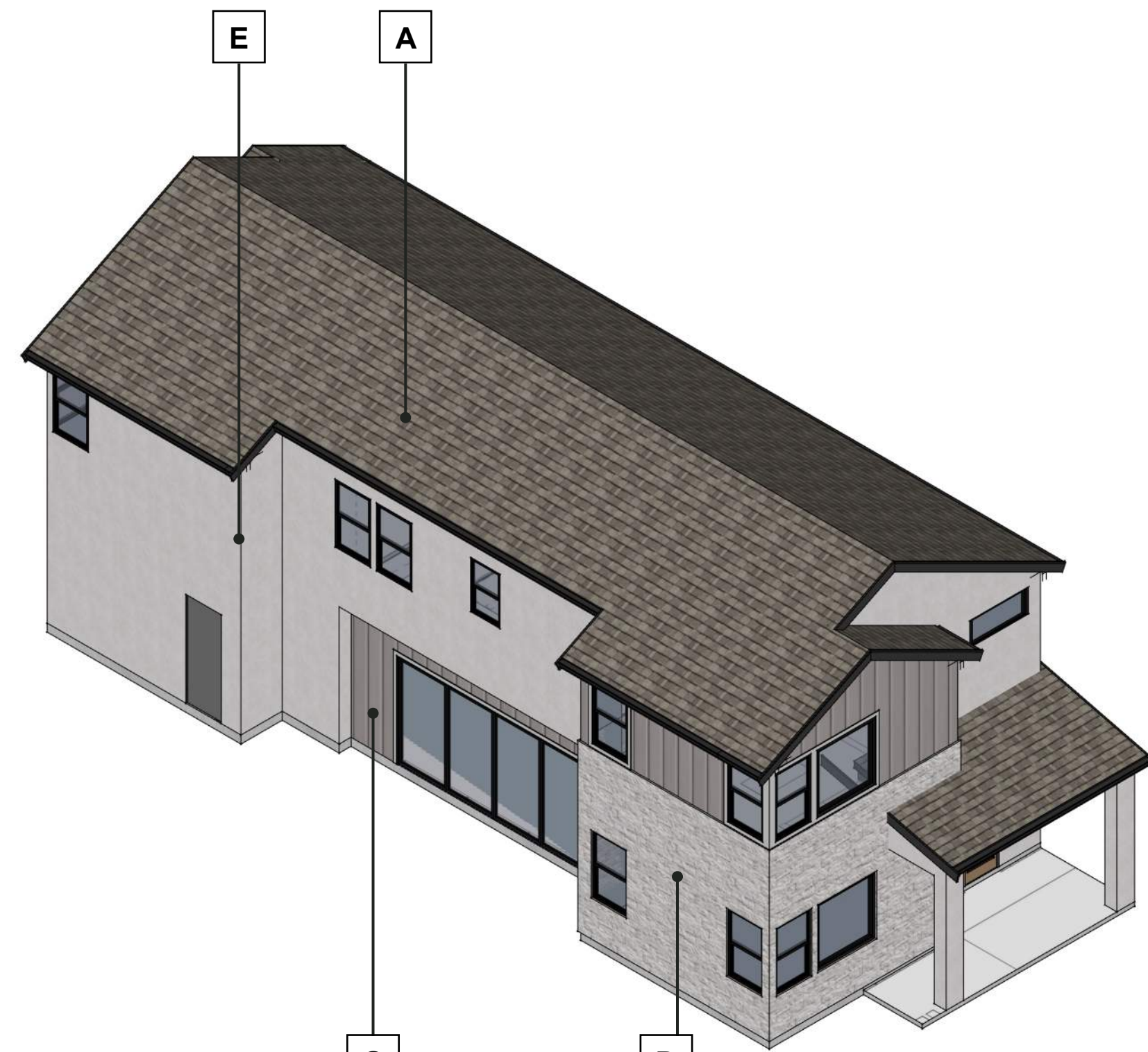
WINDOWS: ALL VINYL WINDOWS W/ DARK COLORED FRAMES. WINDOW TRIMS- 2X TRIMS- PAINT AS PER COLORBOARD.

GARAGE DOORS: WOOD-VENEERED WITH FROSTED GLASS.

FRONT DOORS: FIBERGLASS DOORS

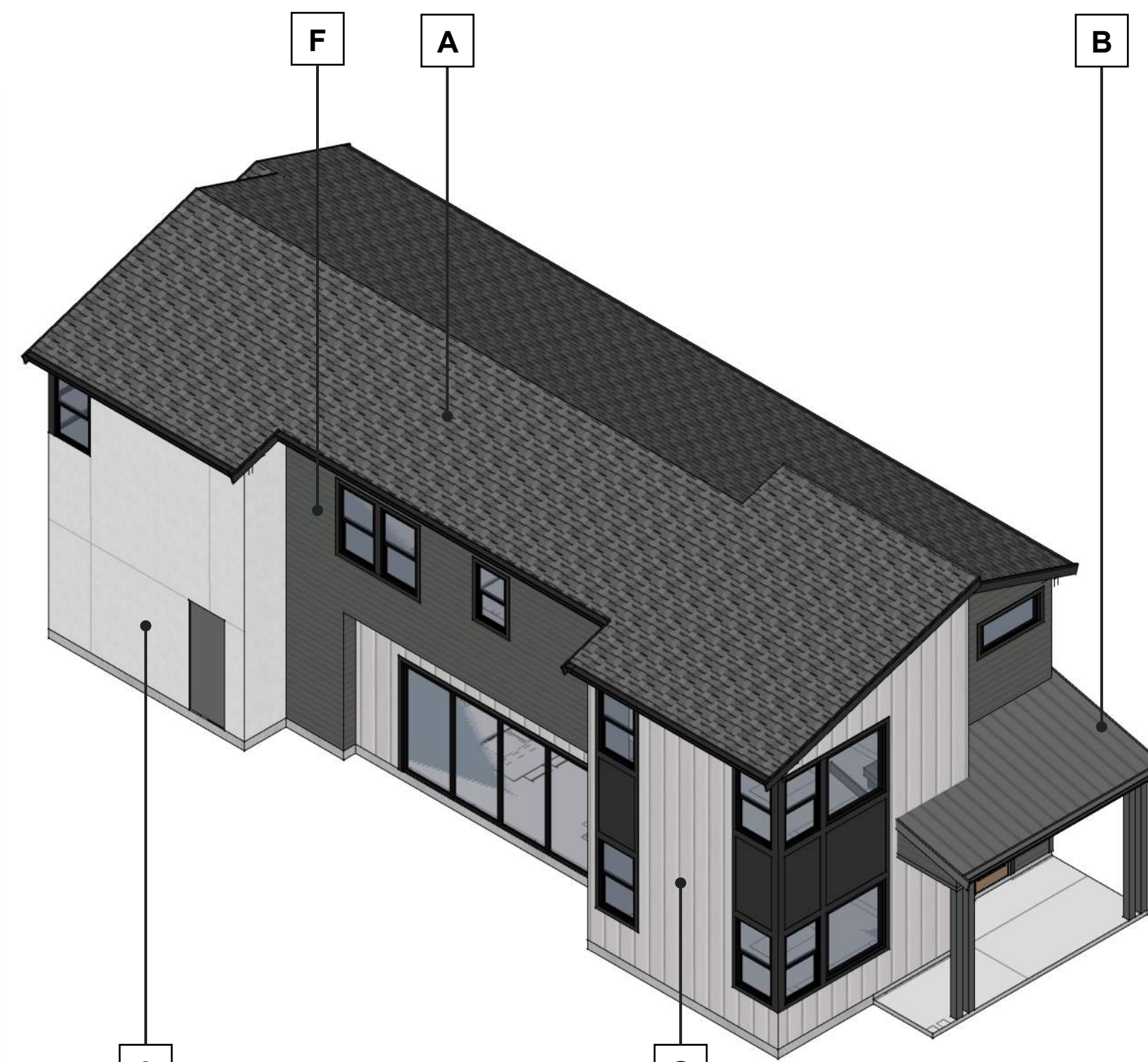
PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD
PLAN 1 - COLOR AND MATERIAL BOARD

COLORS



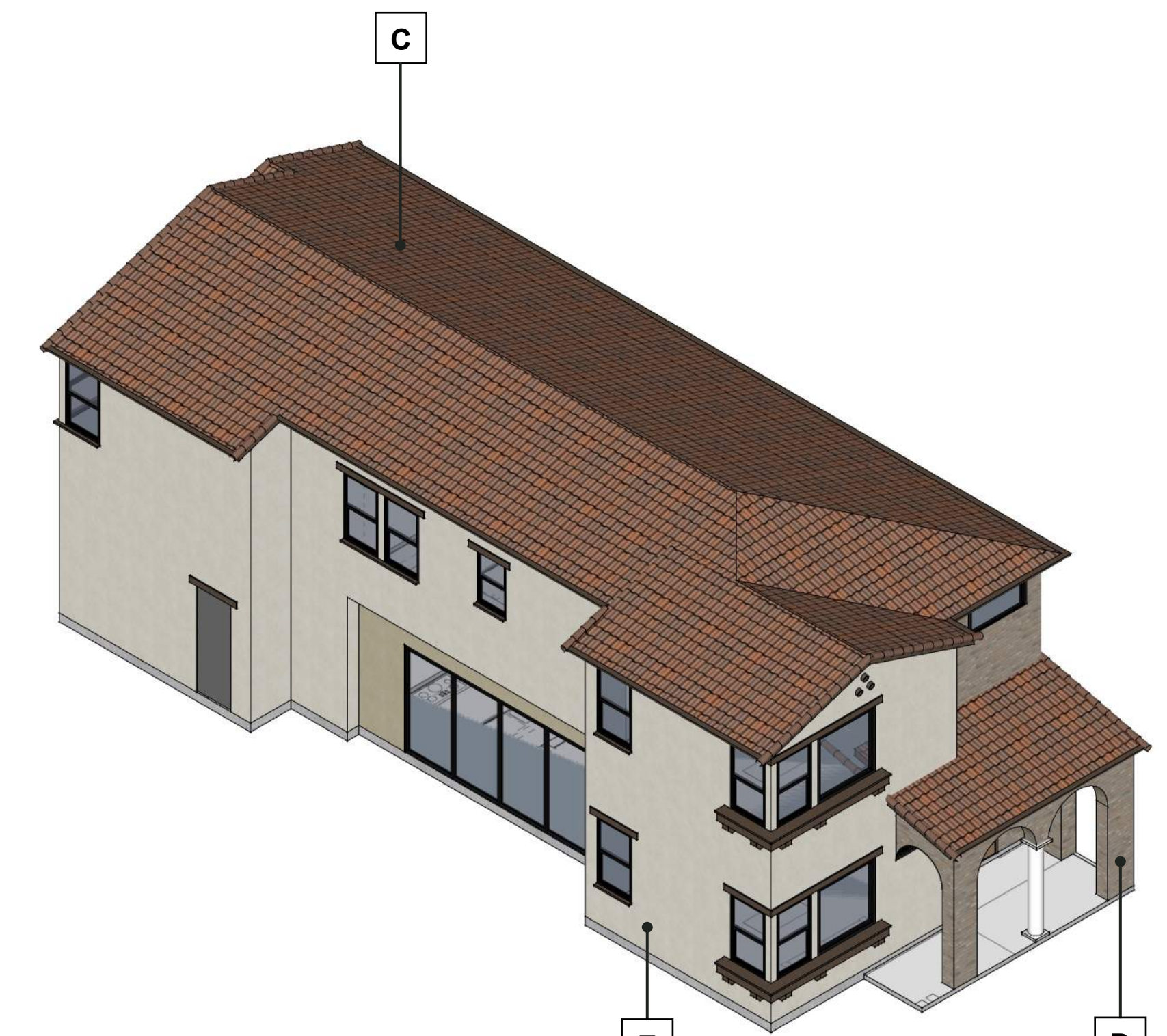
COLOR SCHEME 1				
	TRULY TAUPE SW 6038	INDIGO BATIK SW 7602	DORIAN GRAY SW 7017	WHITE FLOUR SW 7102
	COLOR SCHEME 2			
GREEK VILLA SW 7551		SOMMELIER SW 7595	GRIZZLE GRAY SW 7068	SPICED CIDER SW 7702
COLOR SCHEME 3				
	TOQUE WHITE SW 7003	SABLE SW 6083	PEPPERCORN SW 7674	RUSTIC RED SW 2802

PLAN 2 FARMHOUSE



COLOR SCHEME 1				
	ALABASTER WHITE SW 7008	KENDALL GREEN SW 6467	IRON ORE SW 7069	SPICED CIDER SW 7702
	COLOR SCHEME 2			
DRIFT OF MIST SW 9166		ROSEMARY SW 6187	GRIZZLE GRAY SW 7068	BEE SW 6683
COLOR SCHEME 3				
	GRAYISH SW 6001	WESTCHESTER GRAY SW 2849	PEPPERCORN SW 7674	SECURE BLUE SW 6508

PLAN 2 TRANSITIONAL



COLOR SCHEME 1				
	ALABASTER WHITE SW 7008	SANDBAR SW 7547	OTTER SW 6041	ROSEMARY SW 6187
	COLOR SCHEME 2			
IVORY LACE SW 7013		PRACTICAL BEIGE SW 6100	JAVA SW 6090	BASIL SW 6194
COLOR SCHEME 3				
	DOWNY SW 7002	SMOKY BEIGE SW 9087	SABLE SW 6083	KENDALL GREEN SW 6467

PLAN 2 SPANISH

MATERIALS

A ROOF MATERIAL 1	B ROOF MATERIAL 2	C ROOF MATERIAL 3	D ADHERED MASONRY VENEER	E STUCCO	F HORIZONTAL LAP SIDING	G BOARD & BATT SIDING	H CEMENTITIOUS PANEL SIDING	I CEMENTITIOUS PANEL SIDING
COMPOSITION SHINGLE	STANDING SEAM	'S' TILE BARCELONA 900 BY BORAL	ELDORADO STONE	LIGHT SAND FINISH	7.25" SIDING W/ 6" EXP.	1x3 BATTENS SPACED @ 16" C/C	FAUX CEDAR FINISH	SMOOTH FINISH

NOTE:

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GUTTERS: 5" O'GEE GUTTERS, PAINTED.

WINDOWS: ALL VINYL WINDOWS W/ DARK COLORED FRAMES. WINDOW TRIMS- 2X TRIMS- PAINT AS PER COLORBOARD.

GARAGE DOORS: WOOD-VENEERED WITH FROSTED GLASS.

FRONT DOORS: FIBERGLASS DOORS

PHASE 1A- PARCEL 1: 2 STORY PASEO COURTS SFD
PLAN 2 - COLOR AND MATERIAL BOARD