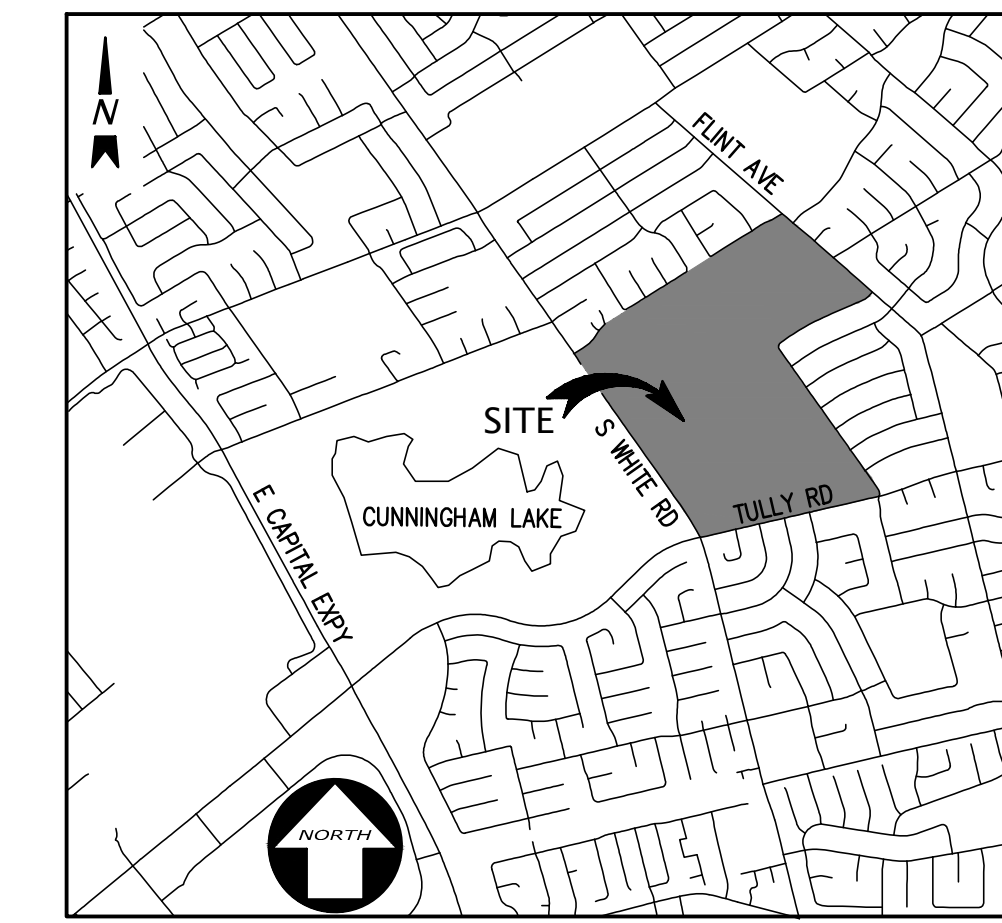


SEE SHEET C2.1

SEE SHEET C2.2

SEE SHEET C2.3

SEE SHEET C2.4



VICINITY MAP
NOT TO SCALE

TENTATIVE MAP

PLEASANT HILLS GOLF COURSE REDEVELOPMENT T24-XXX

SHEET INDEX

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
C1.1	TYPICAL SECTIONS
C1.2	TYPICAL SECTIONS
C2.1	PRELIMINARY CIVIL SITE PLAN
C2.2	PRELIMINARY CIVIL SITE PLAN
C2.3	PRELIMINARY CIVIL SITE PLAN
C2.4	PRELIMINARY CIVIL SITE PLAN
C2.5	TYPICAL LOT SETBACKS

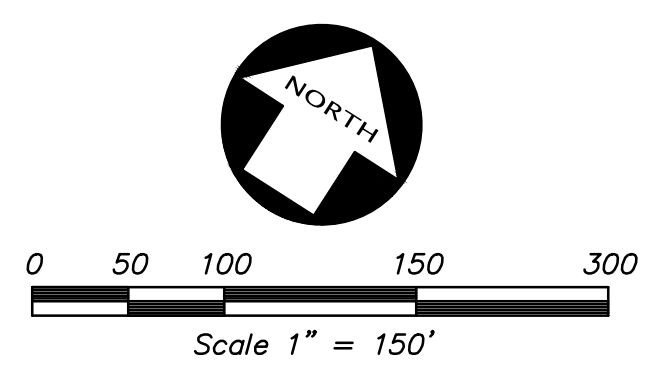
PROJECT DATA

- OWNER & APPLICANT:** LAKESIDE COMMUNITY, LLC.
ATTN: MARK D LAZZARINI
387 S. FIRST STREET, SUITE 300
SAN JOSE CA, 95113
PHONE: 408-933-9575
- MAP PREPARED BY:** KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
3350 SCOTT BOULEVARD, BUILDING 22
SANTA CLARA, CA 95054
PHONE: (408) 727-6665
CONTACT: KELLY S. JOHNSON, LS 9126
- APN:** 649-23-001 (AFFECTS PARCEL 1) & 649-24-013 (AFFECTS PARCELS 2 & 3)
- PREVIOUS USE:** GOLF COURSE + OPEN SPACE
- EXISTING USE:** VACANT HILLSIDE
- PROPOSED USE:** MIXED-USED RETAIL AND RESIDENTIAL
- EXISTING ZONING:** N/A
- PROPOSED ZONING:** NO CHANGE
- GENERAL PLAN DESIGNATION:** PRIVATE RECREATION AND OPEN SPACE
- PROPOSED GENERAL PLAN DESIGNATION:** MIXED USE NEIGHBORHOOD, MIXED USE COMMERCIAL, & RESIDENTIAL NEIGHBORHOOD
- EXISTING NUMBER OF LOTS:** 3
- PROPOSED NUMBER OF LOTS:** 1,717 (MAXIMUM)
- TOTAL ACREAGE:** 113.5± ACRES
- NEW STREET NAMES ARE PROPOSED AS DEPICTED.**
- PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED APRIL 19, 2023 AND UPDATED APRIL 25, 2023, ORDER NUMBER NCS-10057421-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.**
- AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOGRAMMETRIC METHODS BY COOPER AERIAL SURVEYS CO., IN PHOENIX ARIZONA, JOB NUMBER A23414. IN AREAS OF DENSE VEGETATION, ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY DECEMBER 01, 2023. ORIGINAL COMPILED MAP SCALE 1"=20', CONTOUR INTERVAL 1 FOOT. THE GRID IS BASED ON PHOTOGRAMMETRIC METHODS COMPILED ON DIGITAL STEREO WORKSTATIONS USING AERIAL PHOTOGRAPHY. CONTROL SURVEY PERFORMED BY KIER & WRIGHT, LIVERMORE, CA.**
- SUBJECT PROPERTY IS PARTIALLY SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) LETTER OF MAP REVISION (LOMR) FOR SANTA CLARA COUNTY, CALIFORNIA AND INCORPORATED AREAS, MAP NUMBER 06085C25SH FOR COMMUNITY NUMBER 060337 (SANTA CLARA COUNTY INCORPORATED AREAS), WITH A REVISED TO REFLECT LOWR. EFFECTIVE DATE OF NOVEMBER 26, 2021, AS BEING LOCATED IN FLOOD ZONE "X" (UNSHADED) AND FLOOD ZONE "D", AND PARTIALLY SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, AND INCORPORATED AREAS, MAP NUMBER 06085C25SH FOR COMMUNITY NUMBER 060337 (SANTA CLARA COUNTY INCORPORATED AREAS), WITH AN EFFECTIVE DATE OF MAY 18, 2009, AS BEING LOCATED IN THE FLOOD ZONE "D".**

ACCORDING TO FEMA THE DEFINITION OF ZONE "X" (UNSHADED) IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ACCORDING TO FEMA THE DEFINITION OF ZONE "D" IS: AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.

INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (MSC.FEMA.GOV) ON DECEMBER 10, 2024.
- BENCHMARK:** CITY OF SAN JOSE BENCHMARK-305; CHISELED "RECTANGLE" AT TOP OF CURB ON SOUTH SIDE OF TULLY ROAD, 100 FEET EAST OF CENTERLINE OF SOUTH WHITE ROAD, 10 FEET EAST OF CATCH BASIN. (REVISED DESCRIPTION 11-27-89).
ELEVATION = 133.261' (NAVD88 DATUM)
- ADDITIONAL EASEMENTS MAY BE NECESSARY, ANY ADDITIONAL EASEMENT REQUIREMENTS WILL BE DETERMINED AS THE PROJECT EVOLVES.**
- EASEMENTS TO BE DEDICATED ON THE PARCEL MAP OR BY SEPARATE INSTRUMENT.**
- THIS SUBDIVISION WILL CONFORM TO THE STREET TREE PLAN OF THE CITY OF SAN JOSE.**
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A GEOLOGICAL HAZARD ZONE.**
- DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.**
- UTILITIES:**
STORM DRAIN & SANITARY SEWER: CITY OF SAN JOSE
WATER SUPPLY: SAN JOSE WATER COMPANY
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC COMPANY
TELEPHONE: AT&T
CABLE: COMCAST



NEIGHBORHOOD SUMMARY TABLE		
NEIGHBORHOOD	ACRES	UNITS
1	4.1±	40
2	4.7±	103
3	2.2±	69
5	2.3±	24
6	3.7±	94
8	2.4±	68
18	1.6±	36
PARK 2	3.3±	NA
PHASE 1 NEIGHBORHOOD TOTAL	24.3±	434
7	2.3±	28
11	5.4±	58
12	1.8±	15
13	6.6±	84
14	5.8±	95
15	4.3±	62
17	4.7±	51
PARK 1	5.1±	NA
PHASE 2 NEIGHBORHOOD TOTAL	36.0±	393
4	5.0±	342
9	7.7±	185
10	10.0±	291
16	3.3±	72
PHASE 3 NEIGHBORHOOD TOTAL	26.0±	890
LINEAR PARK	5.5±	NA
STREETS	21.7±	NA
NEIGHBORHOOD TOTAL	86.3±	1,717
ACERAGE TOTAL	113.5±	

LEGEND

PROPOSED DESCRIPTION

PRIVATE DRIVE AISLE PUE & EVAE

PUBLIC SERVICE EASEMENT (PSE) NOTE
PROPOSED NAMED STREETS WITHIN THE PLEASANT HILLS GOLF COURSE REDEVELOPMENT PROJECT TO BE COVERED BY A PUBLIC SERVICE EASEMENT (PSE) FOR PUBLIC ACCESS, UTILITIES, AND EMERGENCY VEHICLE ACCESS PURPOSES FROM BACK OF WALK TO BACK OF WALK

NO.	REVISIONS	BY

KIER+WRIGHT

Phone: (408) 727-6665
www.kierwright.com

3350 Scott Boulevard, Building 22
Santa Clara, CA 95054

OVERALL SITE PLAN, SHEET INDEX AND PHASING

PLEASANT HILLS GOLF COURSE MASTER VESTING TENTATIVE MAP FOR LAKESIDE COMMUNITY, LLC SAN JOSE, CALIFORNIA

ORIGINAL ISSUE DATE: 12.20.2024

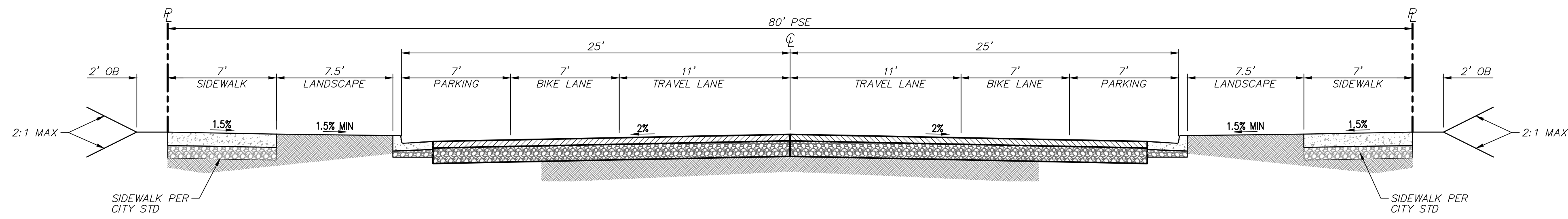
CURRENT SET ISSUE DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE DATE: XX.XX.XXXX

DRAWING NUMBER:
C1.0
1 OF 8 SHEETS

KIER + WRIGHT PROJECT NUMBER: A23414

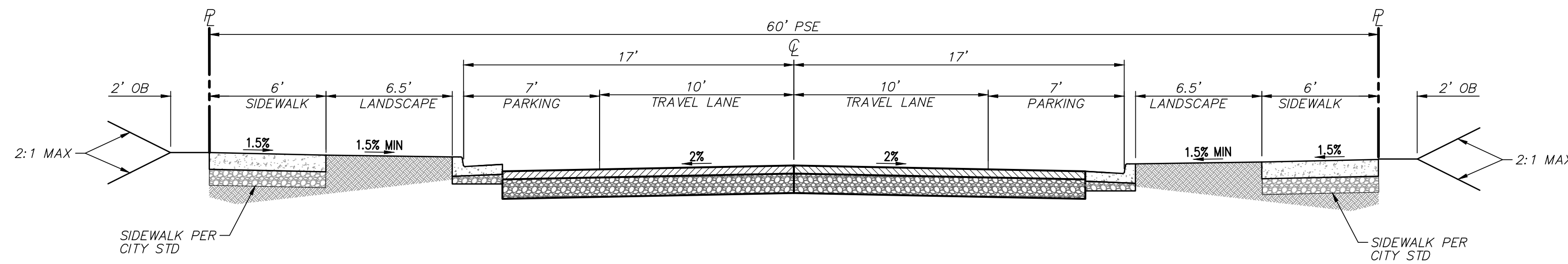
20230224-1400-INDIVIDUAL EASEMENTS-02414 - C:\JOB\BALL STREE PLAN\01-INDIVIDUAL EASE PLAN (V.M.) File Monday December 18, 2024 04:01:05 PM GUTENST



TYPICAL SECTION @ 80' RIGHT OF WAY

NOT TO SCALE

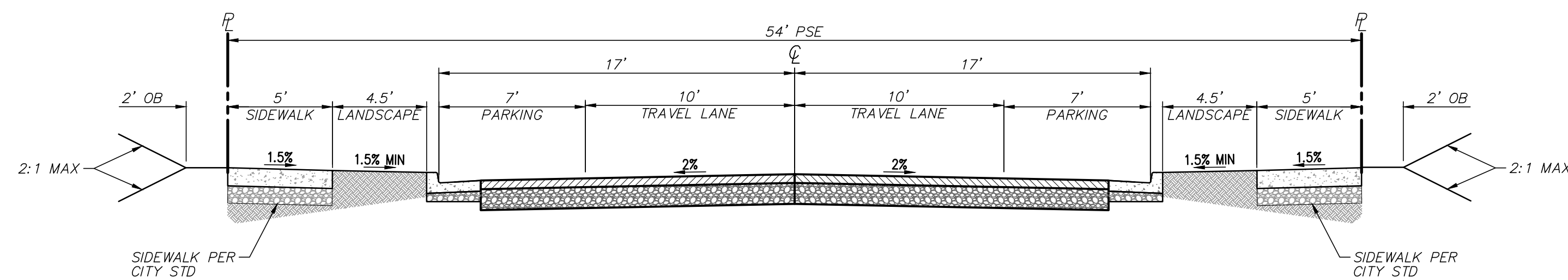
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TYPICAL SECTION @ 60' RIGHT OF WAY

NOT TO SCALE

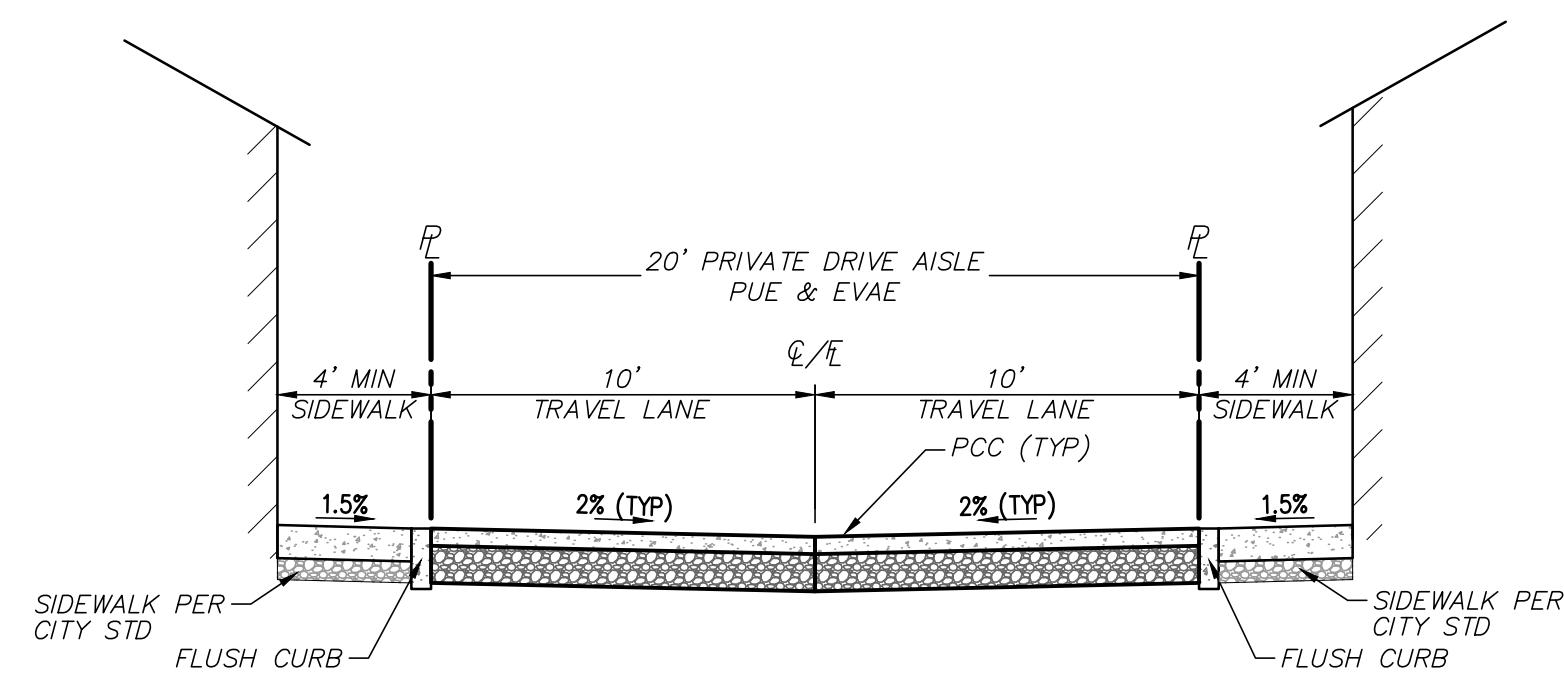
II



TYPICAL SECTION @ 54' RIGHT OF WAY

NOT TO SCALE

III



TYPICAL SECTION @ PRIVATE DRIVE AISLE

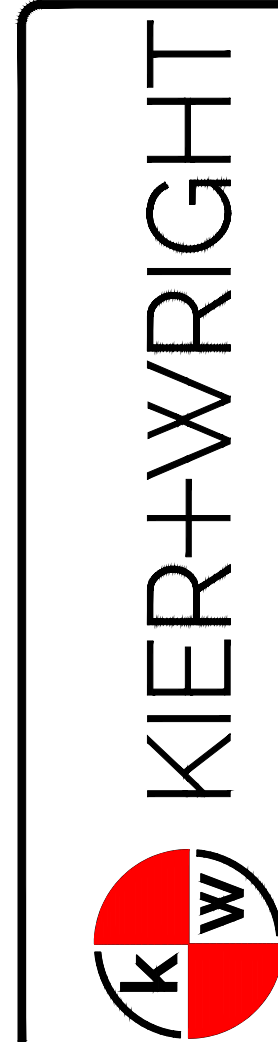
NOT TO SCALE

IV

BY

REVISIONS

NO.

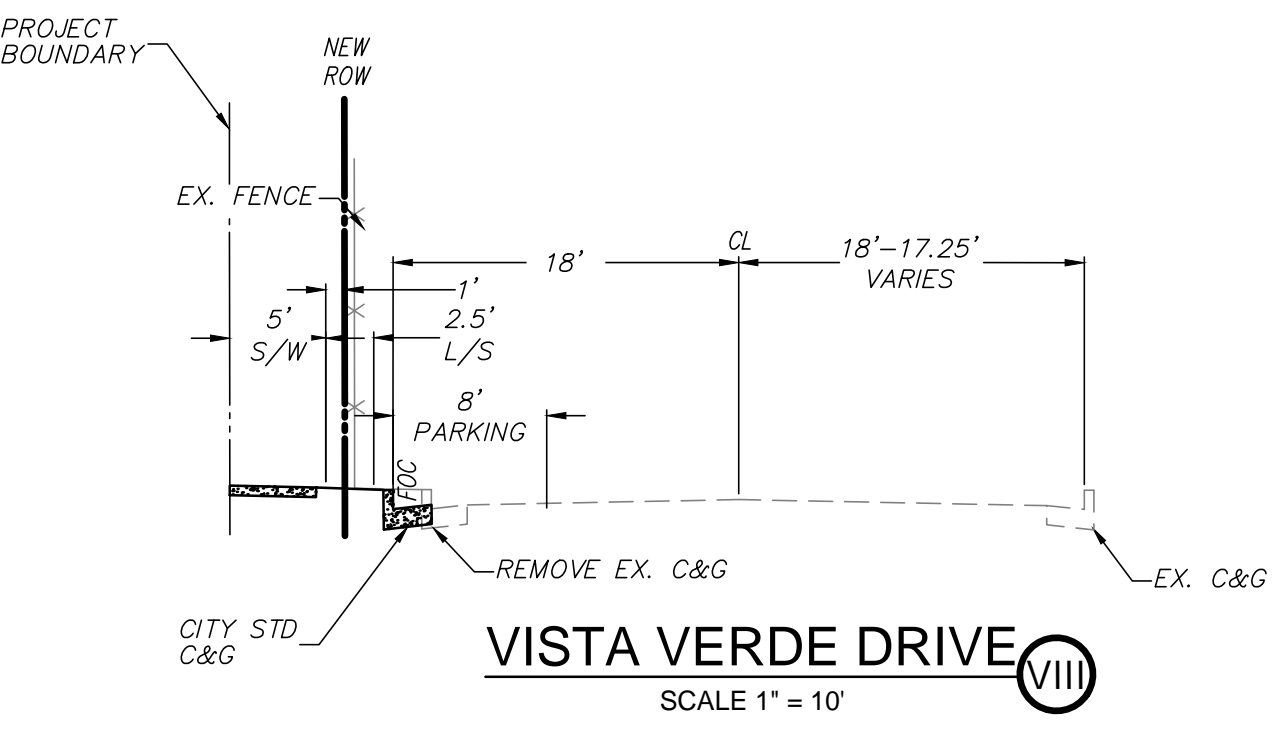
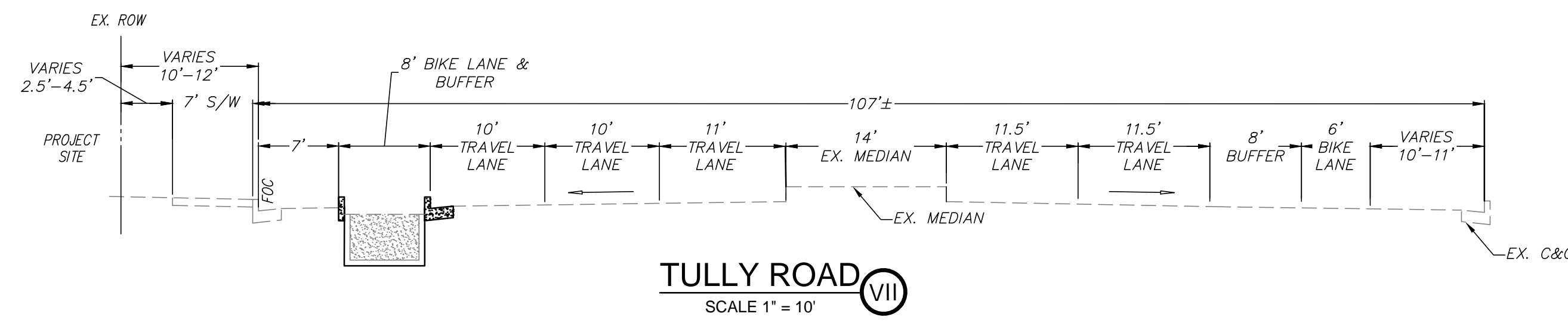
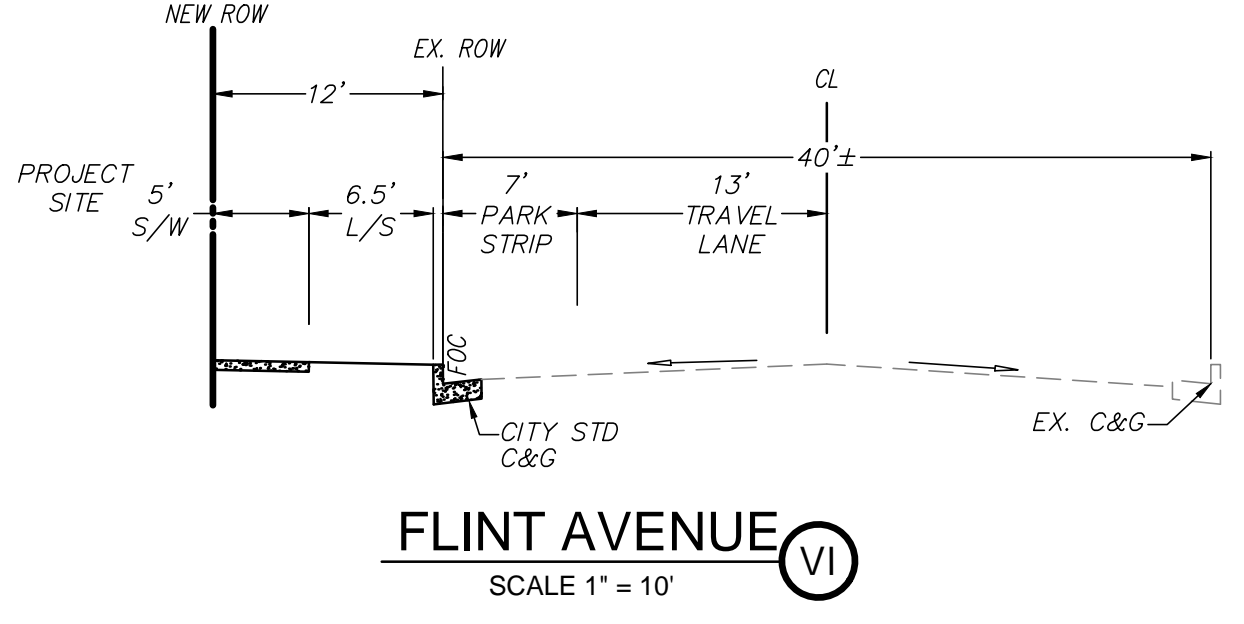
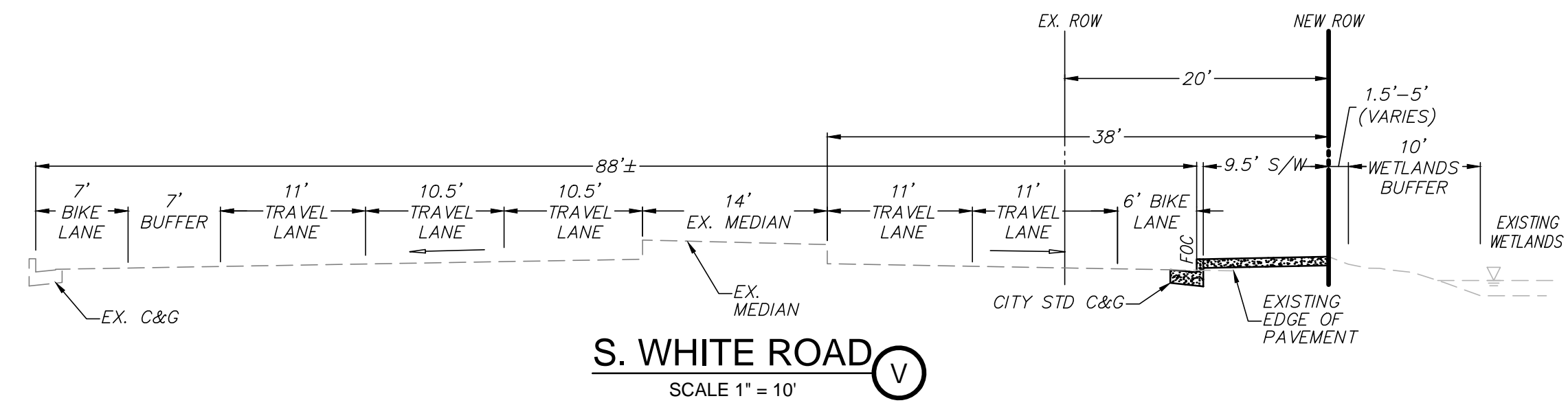


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Phone: (408) 727-6665
www.kierwright.com

DETAILS & TYPICAL SECTIONS
PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

ORIGINAL ISSUE
DATE: 12.06.2024
CURRENT SET ISSUE
DATE: XX.XX.XXXX
PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

DRAWING NUMBER:
C1.1
2 OF 8 SHEETS



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Santa Clara, CA 95054



TYPICAL SECTIONS

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR

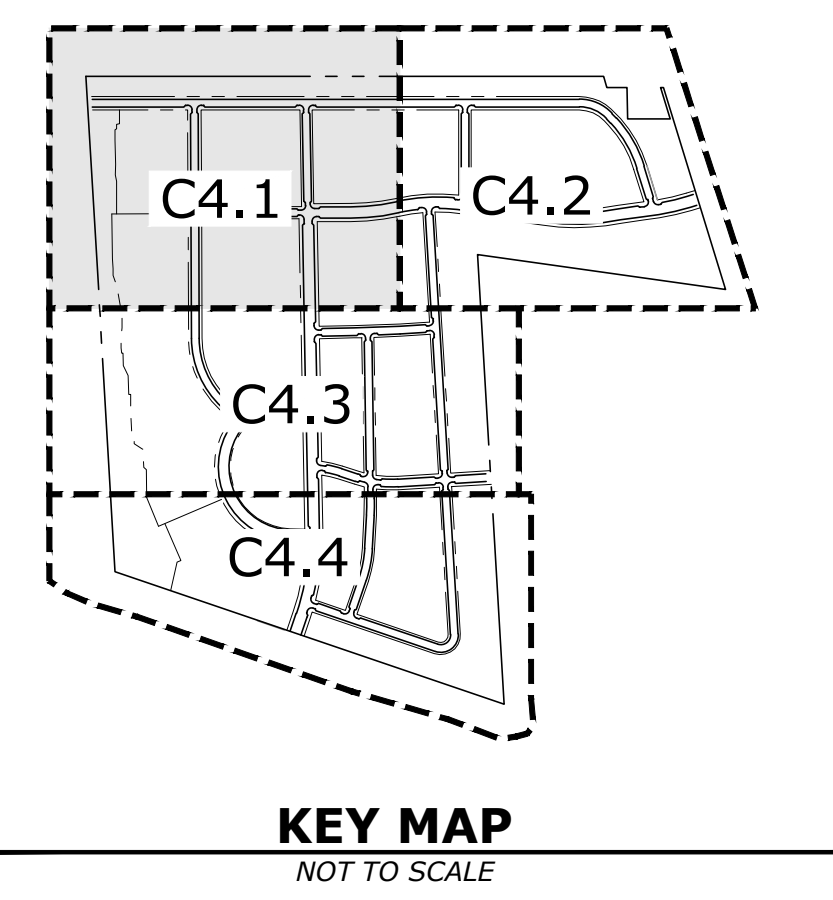
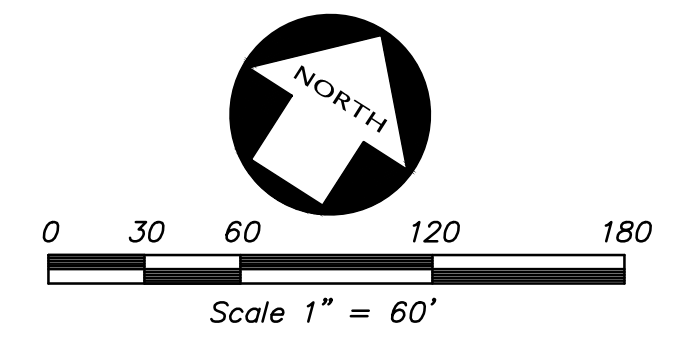
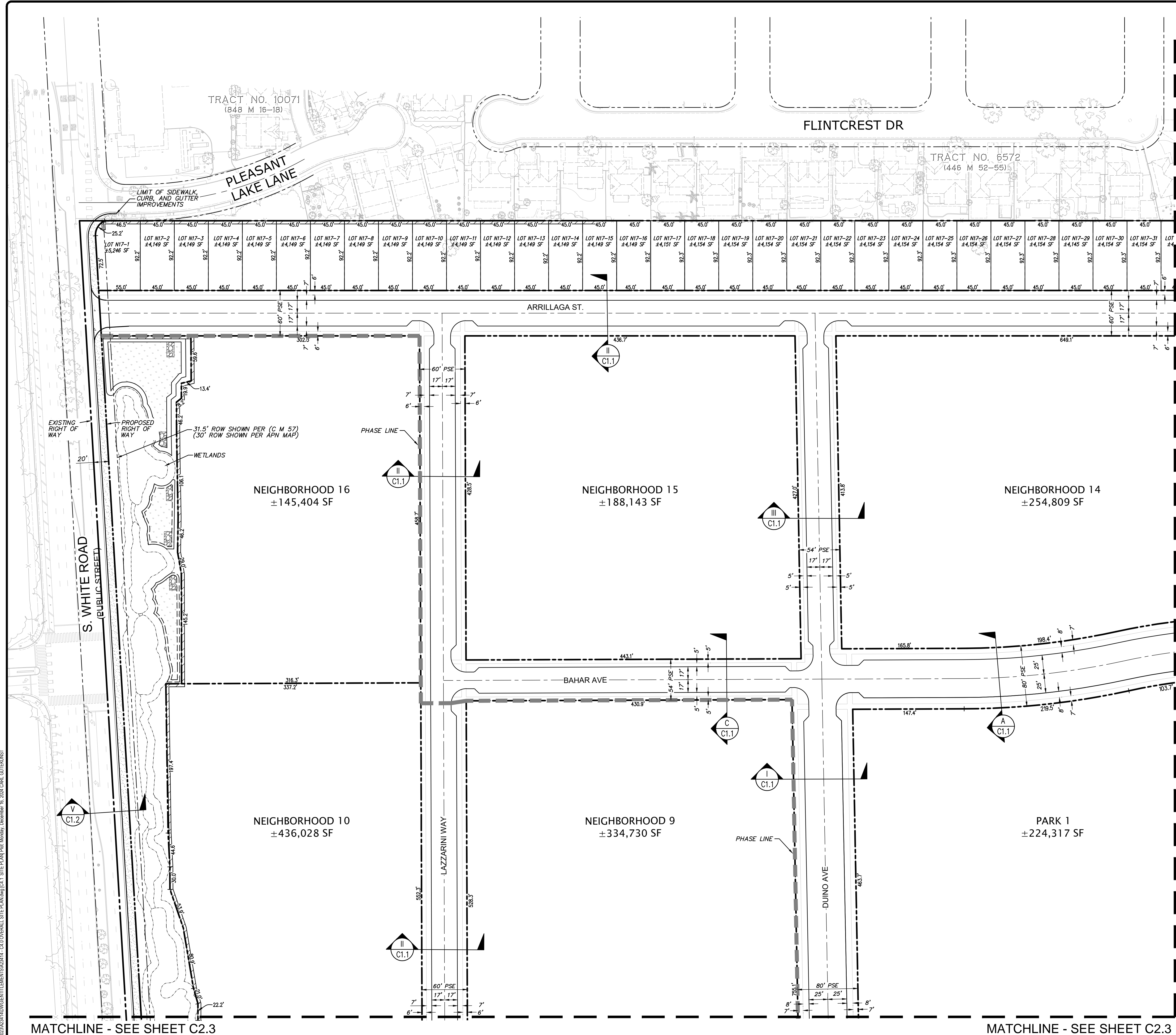
ORIGINAL ISSUE
DATE: 12.06.2024

CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

DRAWING NUMBER:
C1.2
3 OF 8 SHEETS

2:20240224140\DWG\ENTITLEMENTS\2414_C1.DWG (COVER & NOTES.dwg) | C1.2 TYPICAL SECTIONS (The Mobility) | Date: 16 January 2024 | CARL CUTLER@KWR



NO.	REVISIONS	BY

KIER+WRIGHT

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Santa Clara, CA 95054

Phone: (408) 727-6665
www.kierwright.com

PRELIMINARY SITE PLAN

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

DRAWN BY: CJG | CHECKED BY: CHG | DEPARTMENT: ENGR

ORIGINAL ISSUE
DATE: 12.06.2024

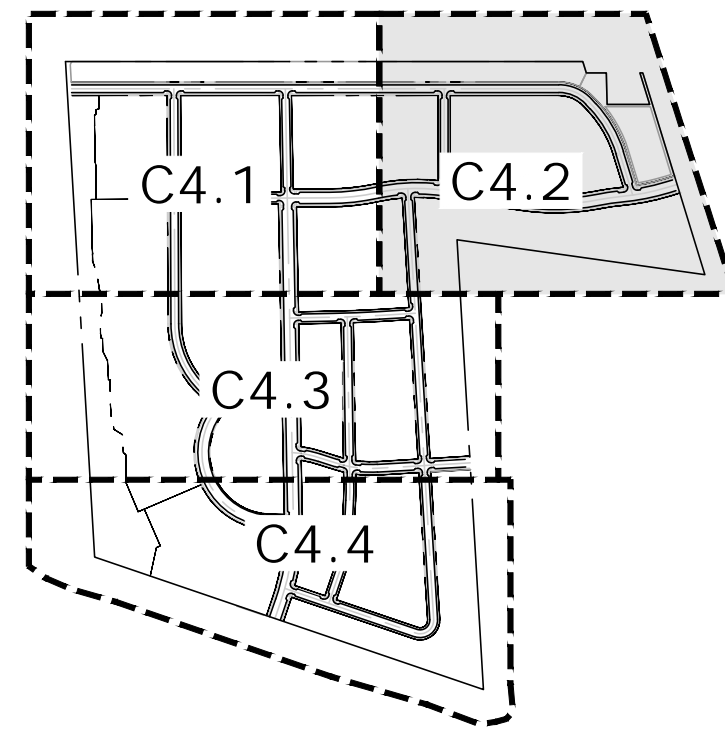
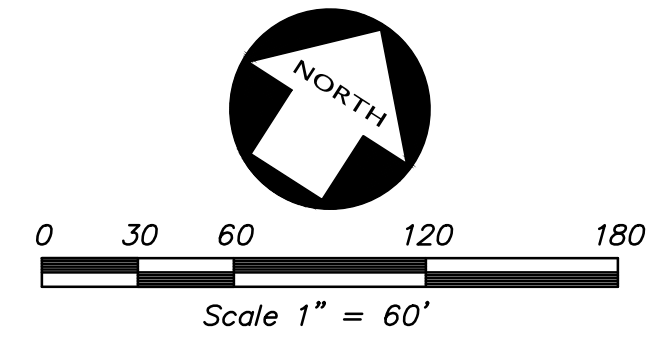
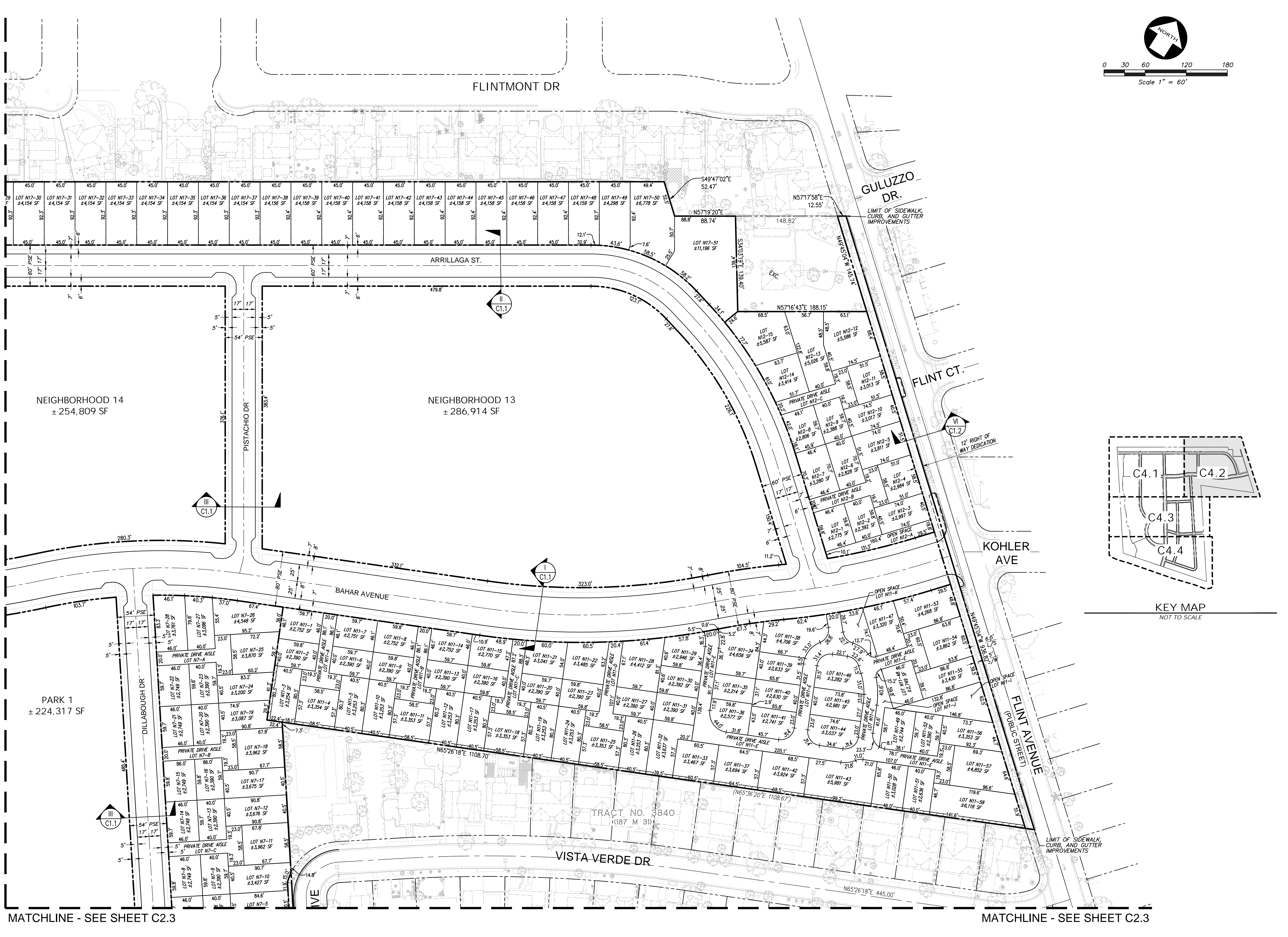
CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

DRAWING NUMBER:
C2.1
4 OF 8 SHEETS

MATCHLINE - SEE SHEET C2.1

MATCHLINE - SEE SHEET C2.1



BY	
NO.	
REVISIONS	

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PRELIMINARY SITE PLAN

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

DRAWN BY: C/JG CHECKED BY: CHG DEPARTMENT: ENGR

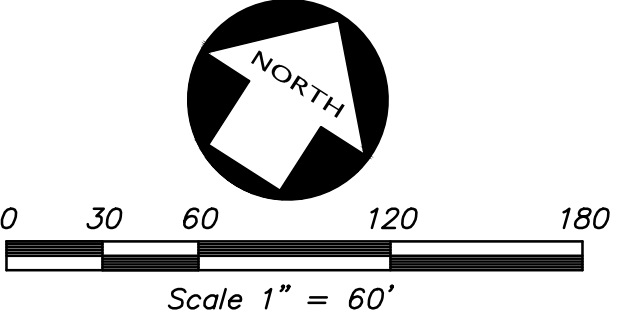
ORIGINAL ISSUE
DATE: 12.06.2024

CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

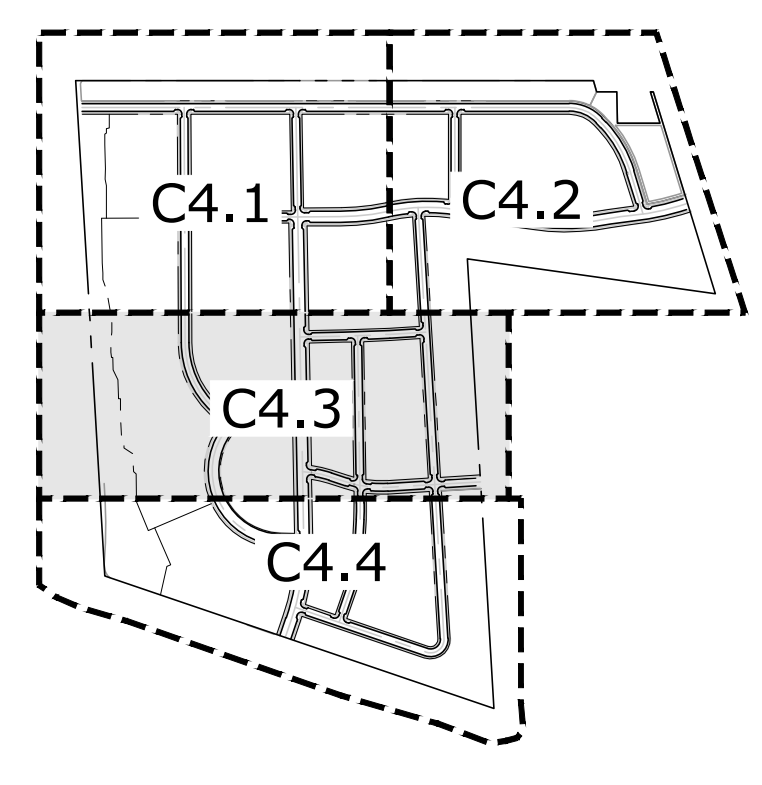
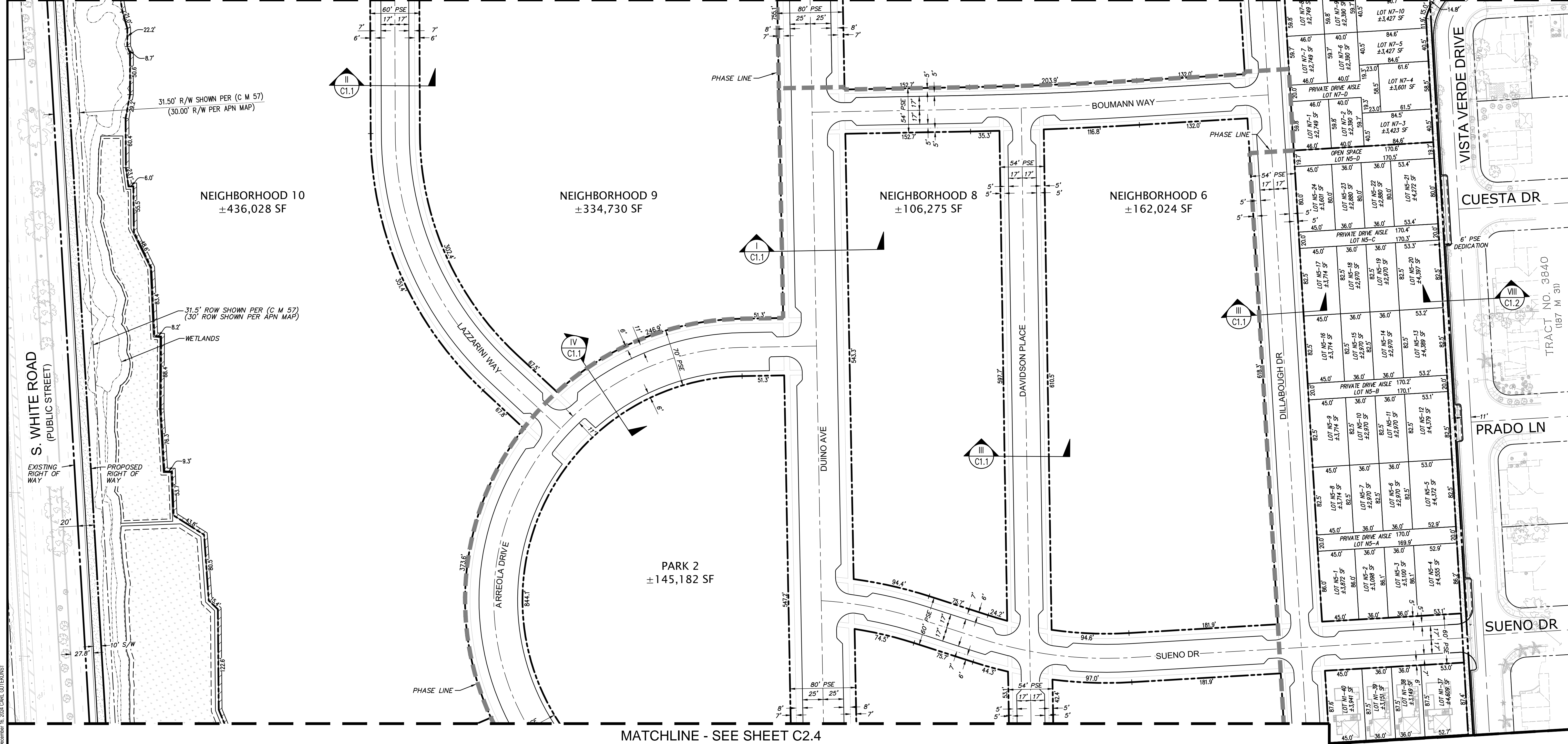
DRAWING NUMBER:
C2.2

5 OF 8 SHEETS



MATCHLINE - SEE SHEET C2.2

MATCHLINE - SEE SHEET C2.2



KEY MAP
NOT TO SCALE

BY

REVISIONS

NO.

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PRELIMINARY SITE PLAN

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

DRAWN BY: CIG | CHECKED BY: CHG | DEPARTMENT: ENGR

ORIGINAL ISSUE
DATE: 12.06.2024

CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

DRAWING NUMBER:
C2.3

6 OF 8 SHEETS

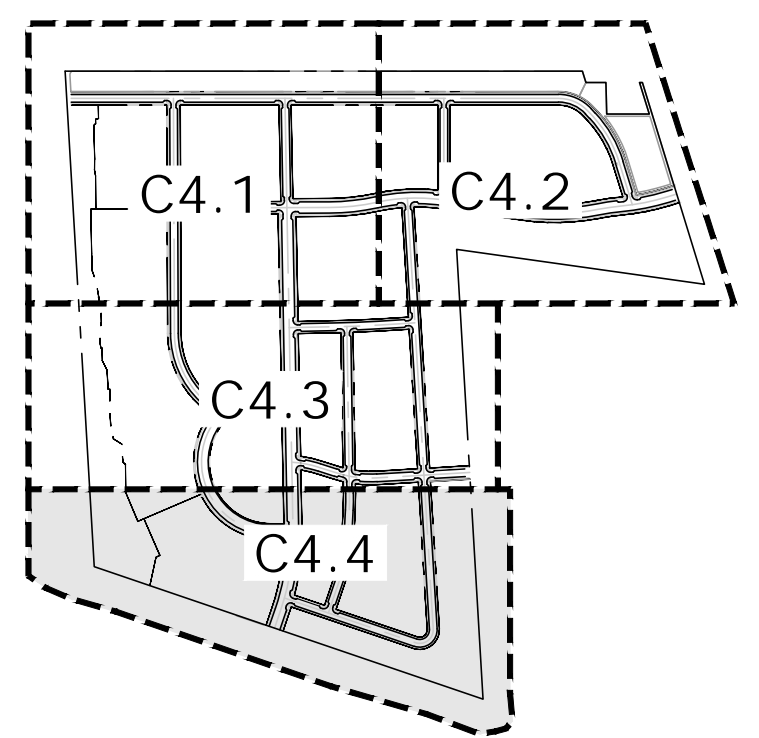
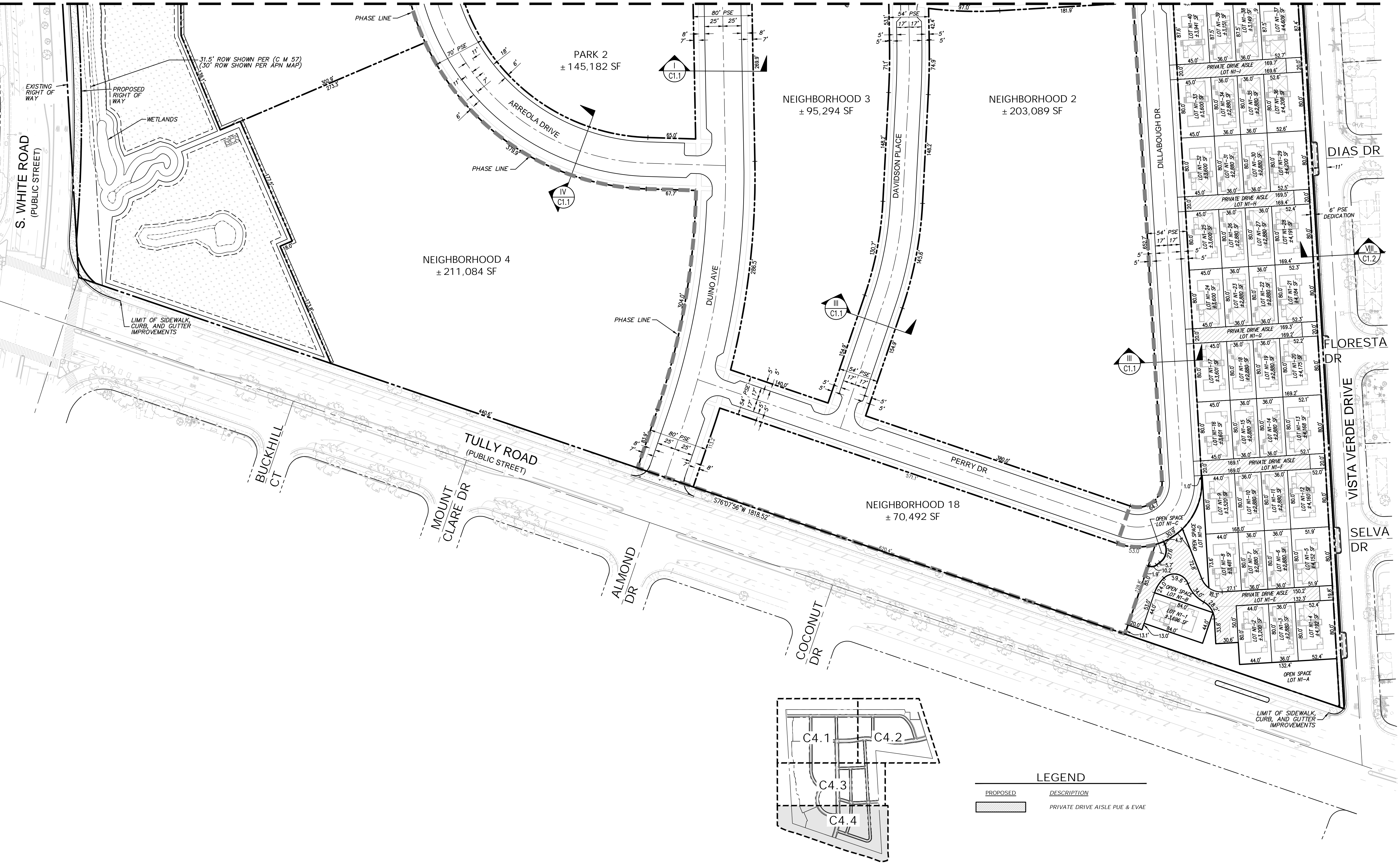
KIER + WRIGHT PROJECT NUMBER: A23414



0 30 60 120 180
Scale 1" = 60'

MATCHLINE - SEE SHEET C2.3

MATCHLINE - SEE SHEET C2.3



KEY MAP
NOT TO SCALE

LEGEND	
PROPOSED	DESCRIPTION
	PRIVATE DRIVE AISLE PUE & EVAE

BY	
NO.	
REVISIONS	

KIER+WRIGHT

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Santa Clara, CA 95054

Phone: (408) 727-6665
www.kierwright.com



PRELIMINARY SITE PLAN

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

DRAWN BY: C/JG | CHECKED BY: CHG | DEPARTMENT: ENGR

ORIGINAL ISSUE DATE: 12.06.2024
CURRENT SET ISSUE DATE: XX.XX.XXXX
PERMIT SET / CONSTRUCTION ISSUE DATE: XX.XX.XXXX
DRAWING NUMBER: C2.4
7 OF 8 SHEETS

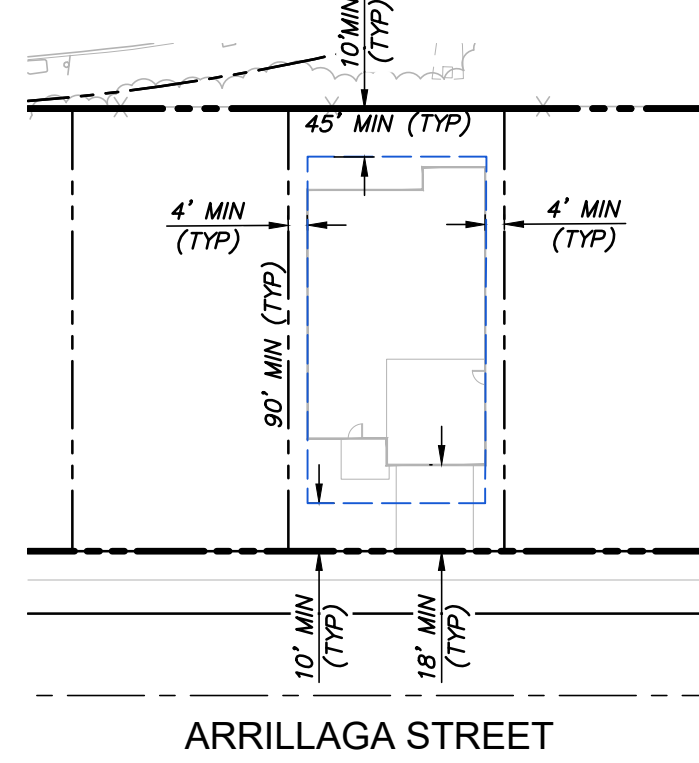
TYPICAL LOT SETBACKS

**PROPOSED OBJECTIVES
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 10' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHEs, FIREPLACES, NOOKS, ETC MAY ENCRoACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 17
(2 STORY SFD - FRONT LOADED)

NOT TO SCALE

TYPICAL LOT SIZE: 45' X 90'
TYPICAL CORNER LOT: 51' X 90'

1

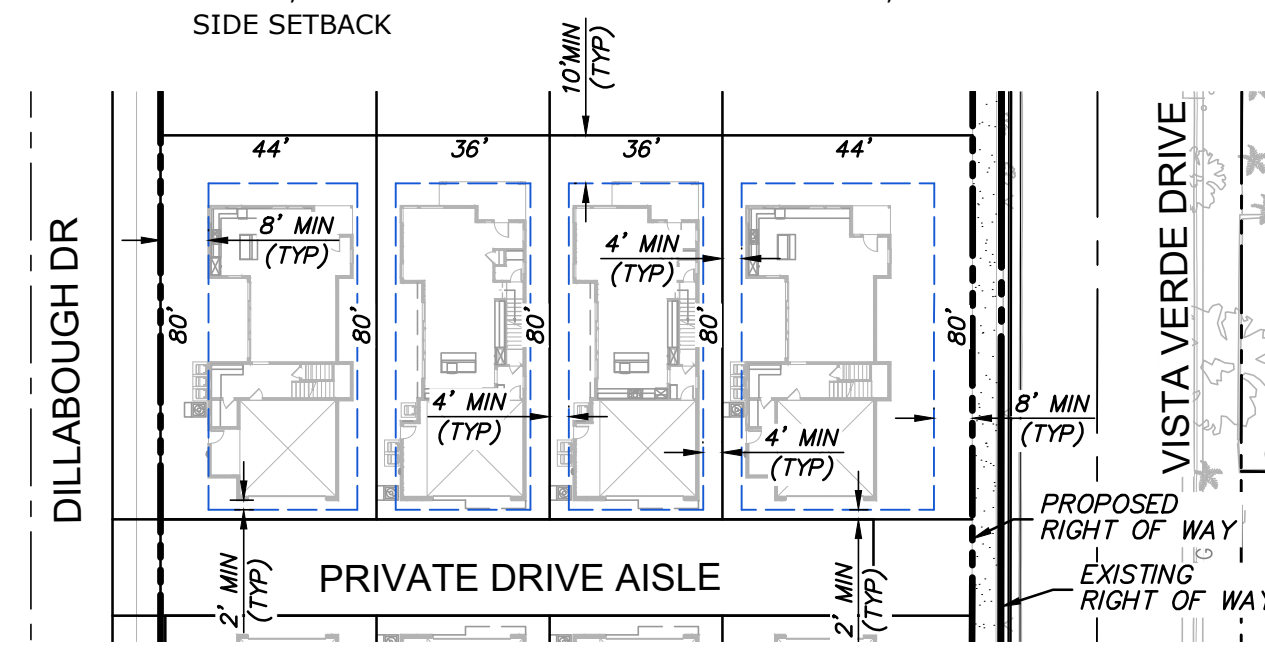
TYPICAL LOT SETBACK

**PROPOSED PROJECT
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 10' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHEs, FIREPLACES, NOOKS, ETC MAY ENCRoACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 1 NEIGHBORHOOD 1 & 5
(2 STORY PASEO COURTS SFD - ALLEY LOADED)

NOT TO SCALE

2

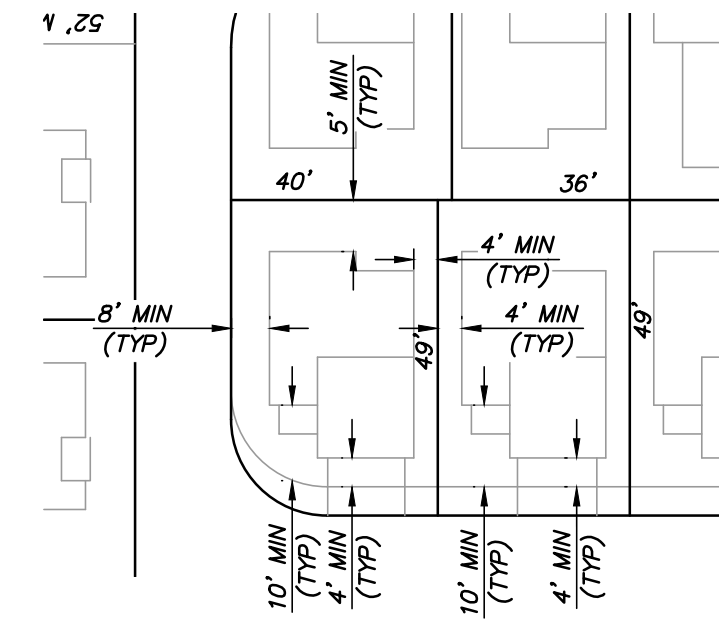
TYPICAL LOT SETBACK

**PROPOSED PROJECT
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET: 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 10' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHEs, FIREPLACES, NOOKS, ETC MAY ENCRoACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 11
(2 STORY SFD FRONT LOADED)

NOT TO SCALE

TYPICAL LOT SIZE: 36' X 49'
TYPICAL CORNER LOT: 40' X 49'

3

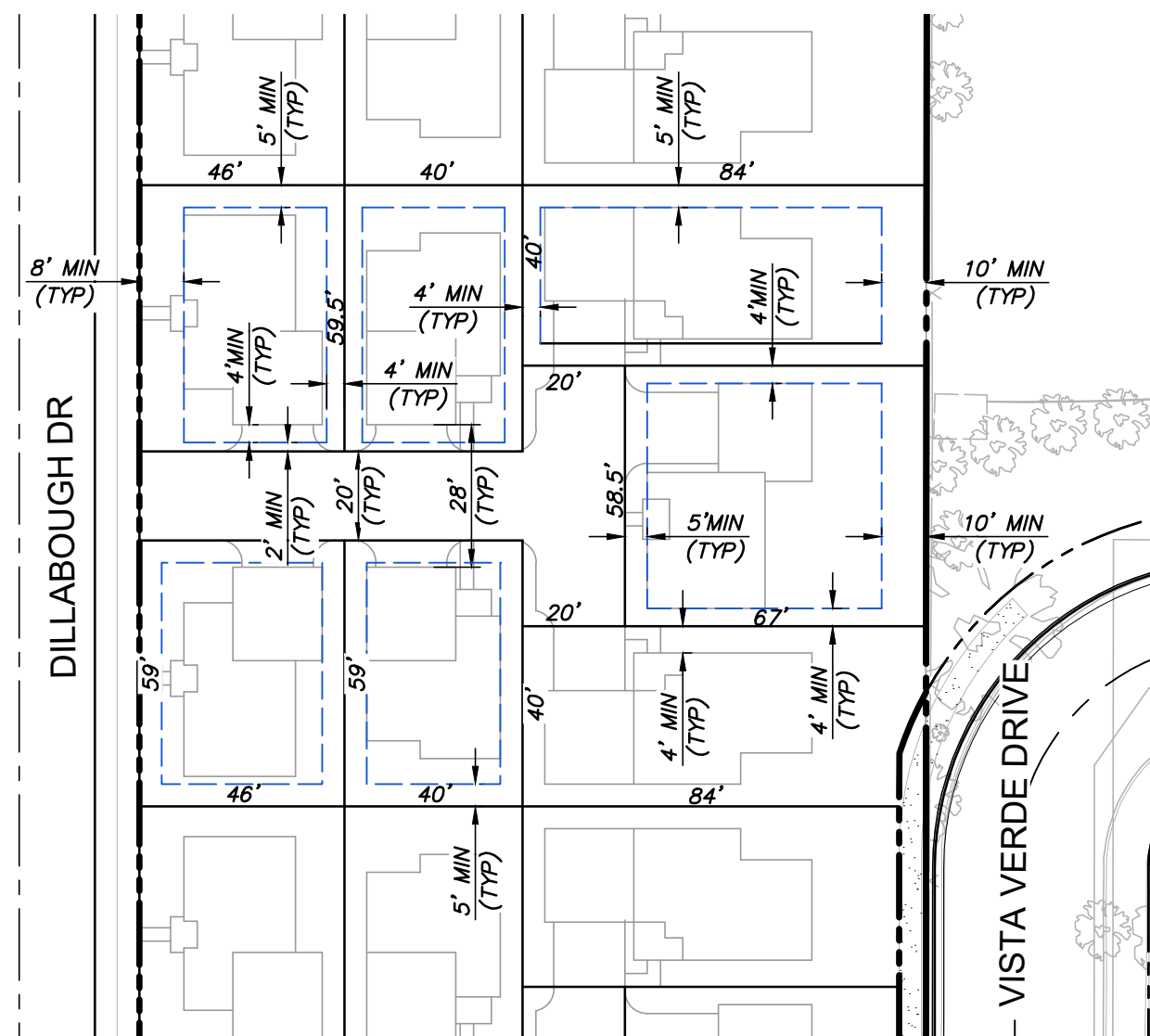
TYPICAL LOT SETBACKS

**PROPOSED OBJECTIVES
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 10' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHEs, FIREPLACES, NOOKS, ETC MAY ENCRoACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 7
(2 STORY AUTO COURT SFD)

NOT TO SCALE

4

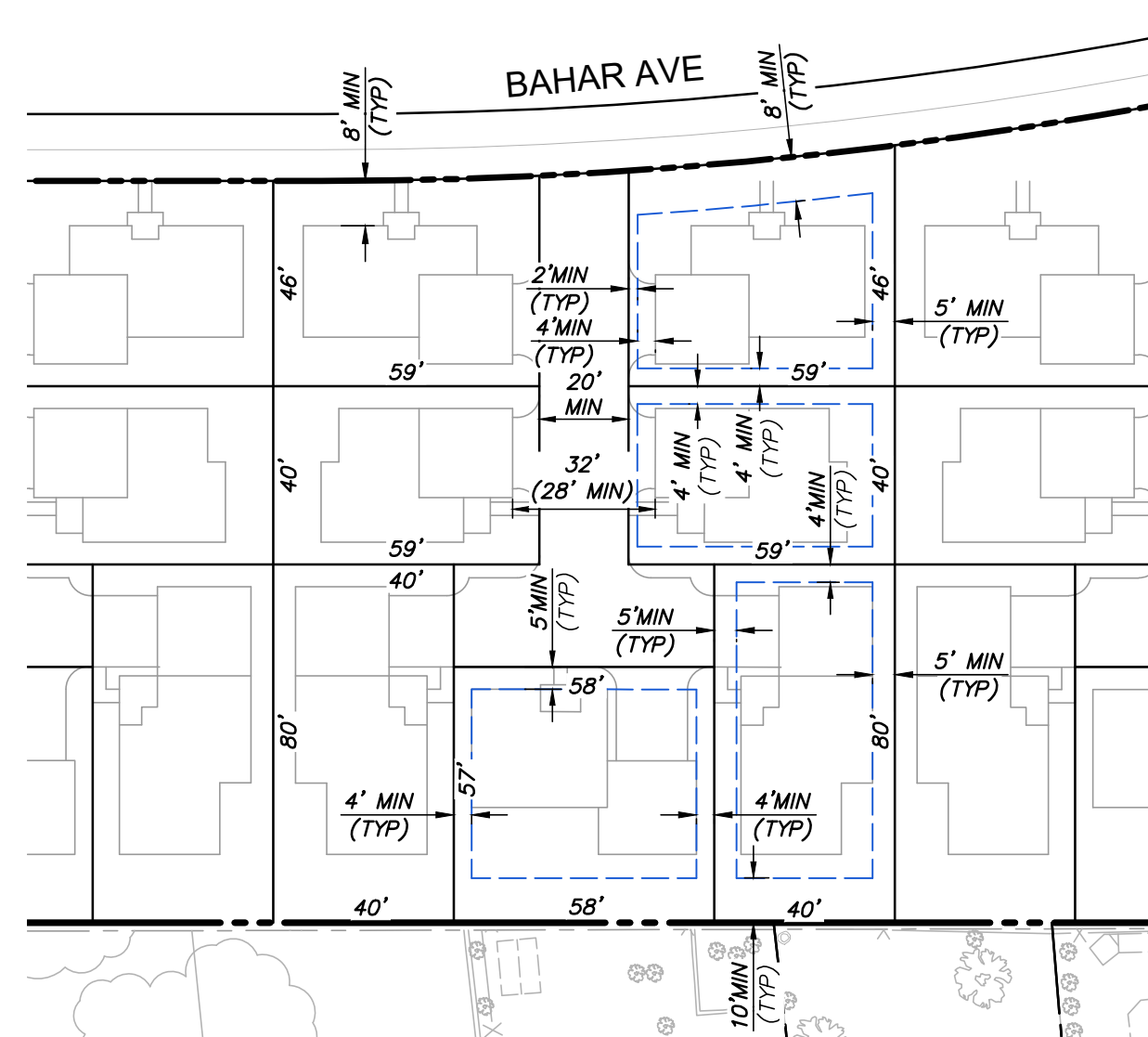
TYPICAL LOT SETBACK

**PROPOSED PROJECT
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 10' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHEs, FIREPLACES, NOOKS, ETC MAY ENCRoACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 11
(2 STORY AUTO COURT SFD)

NOT TO SCALE

5

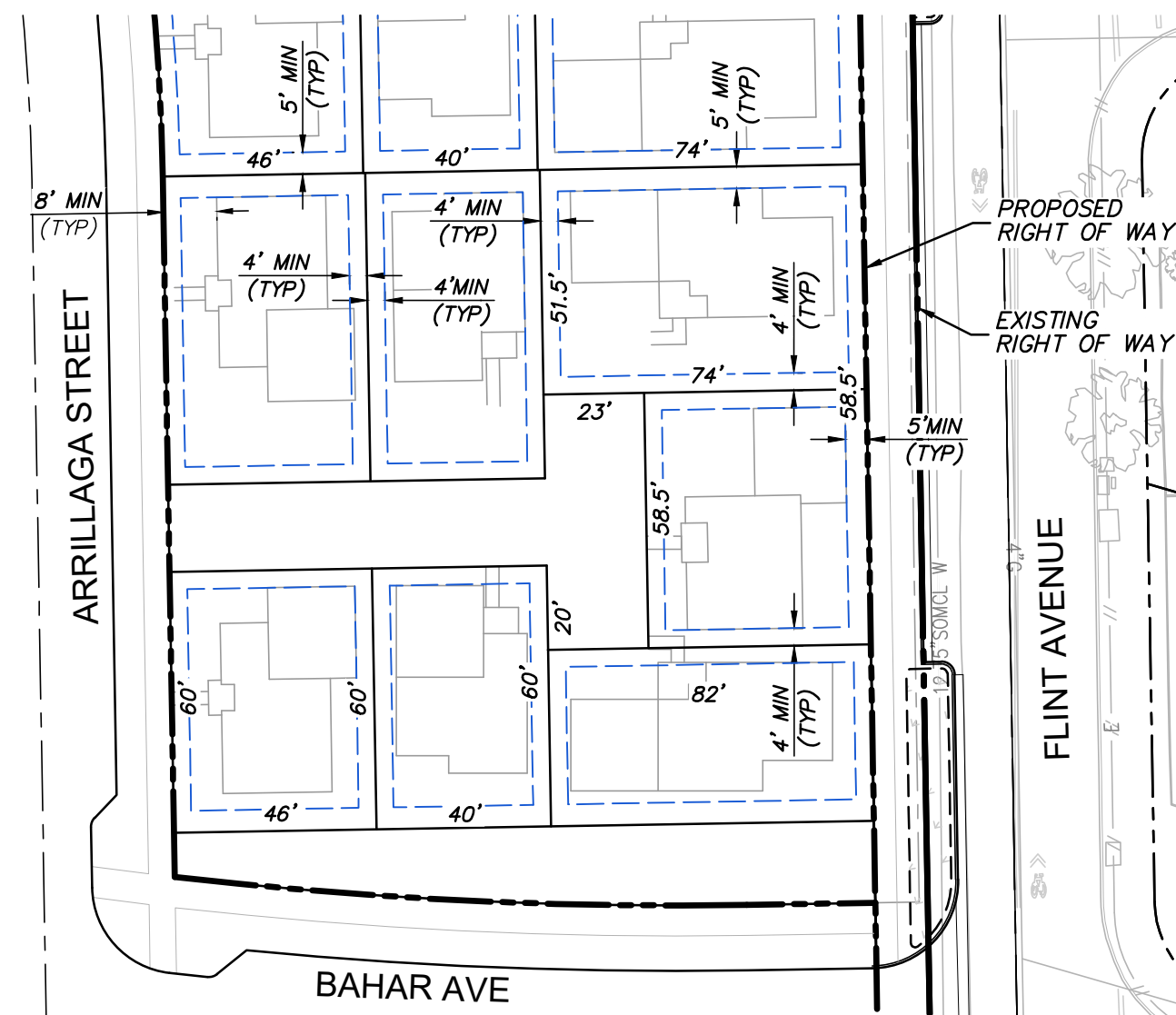
TYPICAL LOT SETBACK

**PROPOSED PROJECT
DEVELOPMENT STANDARDS**

GARAGE 4' MIN
FRONT ALONG INTERNAL CLUSTER: 4' MIN
FRONT ALONG MAJOR STREET: 8' MIN
SIDE: 4' MIN
SIDE: (CORNER LOT): 8' MIN
REAR: (LIVING SPACE) 5' MIN
REAR SETBACK TO ADJACENT LOTS 5' MIN

REAR SETBACK ADJACENT TO PROJECT 5' MIN
BOUNDARY

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHEs, FIREPLACES, NOOKS, ETC MAY ENCRoACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 12
(2 STORY AUTO COURT SFD)

NOT TO SCALE

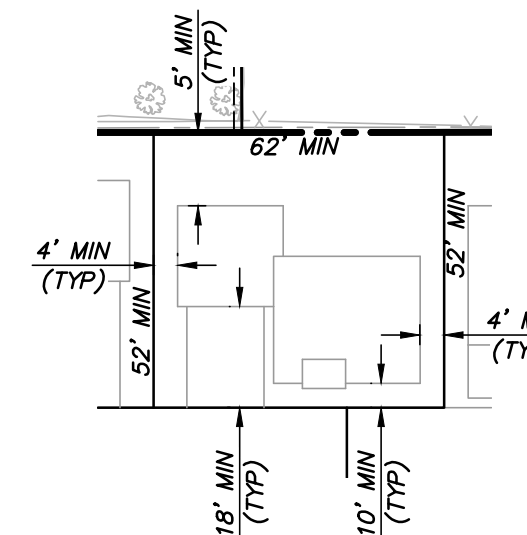
6

TYPICAL LOT SETBACKS

**PROPOSED OBJECTIVES
DEVELOPMENT STANDARDS**

GARAGE: 18' MIN
FRONT (LIVING SPACE): 10' MIN
SIDE: 4' MIN
REAR (LIVING SPACE): 5' MIN

NOTE:
ARCHITECTURAL POPOUTS INCLUDING SECOND STORY OVERHANG, BAY WINDOWS, MEDIA NICHEs, FIREPLACES, NOOKS, ETC MAY ENCRoACH UP TO 2' INTO FRONT, REAR OR SIDE SETBACK



PHASE 2 NEIGHBORHOOD 11
(2 STORY SFD SIDE ON GARAGE)

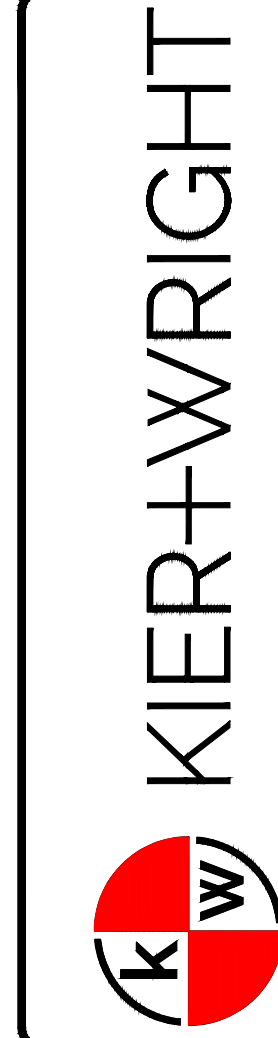
NOT TO SCALE

7

GENERAL NOTES

- LOT DIMENSIONS ON PARCELS IN NEIGHBORHOODS 7, 11, AND 12 ARE CONCEPTUAL ONLY. LOT DIMENSIONS ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN AND CAN ADJUST PROVIDED THE PROPOSED SETBACKS ARE MAINTAINED.
- CORNER LOT SIDE SETBACK ONLY APPLIES WHEN ADJACENT TO A PUBLIC STREET.

LEGEND



3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Phone: (408) 727-6665
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NO.	REVISIONS	BY

TYPICAL LOT SETBACKS

PLEASANT HILLS GOLF COURSE
MASTER PLANNED DEVELOPMENT PERMIT
FOR
LAKESIDE COMMUNITY, LLC
SAN JOSE, CALIFORNIA

ORIGINAL ISSUE
DATE: 12.06.2024

CURRENT SET ISSUE
DATE: XX.XX.XXXX

PERMIT SET / CONSTRUCTION ISSUE
DATE: XX.XX.XXXX

DRAWING NUMBER:
C2.5

8 OF 8 SHEETS

DRAWN BY: CJG | CHECKED BY: CHG | DEPARTMENT: ENGR