

# County of Santa Clara

## Department of Planning and Development

*"People Centered Services"*

County Government Center, East Wing, 7th Floor

70 West Hedding Street

San José, CA 95110

Phone: (408) 299-5700

Website: [plandev.santaclaracounty.gov](http://plandev.santaclaracounty.gov)



## STAFF REPORT

Zoning Administration

August 7, 2025

## Item #2

Staff Contact: Lara Tran, Senior Planner  
(408) 299-5759, [lara.tran@pln.sccgov.org](mailto:lara.tran@pln.sccgov.org)

### File: PLN24-173

### Tentative Parcel Map for a Three-Lot Subdivision

**Summary:** Tentative Parcel Map to subdivide a 1.83-acre lot (79,692 square feet) into three (3) lots, Parcel 1, Parcel 2, and Parcel 3 measuring 31,876 square feet (sq.ft.), 25,176 sq.ft., and 22,634 sq.ft., respectively.

<b>Owner:</b> Richard & Linda Dickinson Living Trust	<b>GP Designation:</b> USA - City of Los Altos
<b>Applicant:</b> Heather Dickinson	<b>Zoning:</b> R1-20-n1
<b>Address:</b> 1663 Whitham Avenue, Los Altos	<b>APN:</b> 331-06-064
<b>Present Land Use:</b> Residential	<b>Lot Size:</b> 1.83 acre
<b>Supervisory District:</b> 5	<b>HCP:</b> Not Applicable

### RECOMMENDED ACTIONS

- A. Accept a Categorical Exemption, pursuant to Section 15315 of the CEQA Guidelines (Minor Land Divisions), Attachment A; and,
- B. Grant a Tentative Parcel Map Approval, subject to the Conditions of Approval outlined in Attachment B.

### ATTACHMENTS INCLUDED

Attachment A – CEQA Determination – Categorical Exemption from CEQA (Section 15315)  
Attachment B – Preliminary Conditions of Approval  
Attachment C – Location & Vicinity Map  
Attachment D – Tentative Parcel Map and Energy Conservation Plan  
Attachment E – General Plan Conformance and Contiguity Annexation Form  
Attachment F – County of Santa Clara Subdivision Compliance Exhibit

## PROJECT DESCRIPTION

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The project consists of the subdivision of a 1.83-acre lot (79,692 square feet) into three (3) lots, Parcel 1, Parcel 2, and Parcel 3 measuring 31,876 square feet (sq.ft.), 25,176 sq.ft., and 22,634 sq.ft., respectively. Single-family residences would be constructed in the future but are not proposed in conjunction with the proposed Parcel Map. The property is a corner lot at Whitham Avenue and Miller Avenue with driveway access from Whitham Avenue. The City of Los Altos and Los Altos Hills are more than 0.38 miles north and south of the property. The surrounding land uses include single-family residential houses to the immediate south, east, and west, with the Los Altos Country Club located north of the parcel. The property has an existing 3,890 sq. ft. single-family residence built in 1939 that will be demolished as part of the subdivision. No trees would be removed as a result of the Parcel Map. Grading is not proposed as part of the Tentative Parcel Map approval.

### Setting/Location Information

The subject property is located in the western foothills of unincorporated Santa Clara County, west of Highway 101 and east of Highway 280. The existing parcel is a corner lot that abuts two public rights-of-way, Whitham Avenue and Miller Avenue. The exiting lot was created through the “Map of Subdivision No.2, Los Altos Country Club Properties.” The greater neighborhood consists of single-family residential development and the San Jose Country Club to the south. The property is located within the Urban Service Area (USA) of the City of Los Altos.

## REASONS FOR RECOMMENDATION

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### A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption under the provisions of Section 15315 (Minor Land Divisions) for division of property in urbanized areas zoned for residential use.

### B. Project/proposal

The project consists of a Tentative Parcel Map approval to subdivide an existing 1.83-acre lot into three (3) lots.

### C. Subdivision Ordinance

This subdivision application has been reviewed in accordance with the Subdivisions and Land Development Ordinance Section CI2-122 of the County of Santa Clara Ordinance Code, and the State Subdivision Map Act. Pursuant to these standards, the Zoning Administrator/Hearing Officer shall deny approval of a tentative or final parcel map if it makes any of the following seven (7) findings. In the following discussion, the scope of review criteria is **bold**, and an explanation of how the project does or does not meet the required standard in plain text below.

#### **1. That the proposed map is not consistent with applicable general and specific plans.**

The proposed subdivision map would result in the division of an existing 1.83-acre lot (79,692 sq. ft.) into three (3) lots, Parcel 1, Parcel 2, and Parcel 3 measuring 31,876 sq.ft., 25,176 sq.ft., and 22,634 sq.ft., respectively. The intended future use of the lots would include the development of a new single-family residence on each new lot.

According to Section 5.20.060 of the County's Zoning Ordinance, "*On property located within a city's urban service area, city general plan conformance shall be required of uses permitted by the following permitting procedures: subdivision...*" (pg. 274). The subject property is located within the Urban Service Area (USA) of the City of Los Altos. For this reason, the property is subject to the land use policies of the City of Los Altos' General Plan that regulate for type and intensity of development. As the property is located more than 300 ft. from the city limits of Los Altos, it is not eligible for annexation due to the location. The property has a land use designation of Single Family in the Los Altos General Plan. The intent of this designation is to preserve the existing character of these neighborhoods and to limit new development to infill projects which closely conform to the prevailing existing neighborhood character as defined by density, lot size, and pattern.

The City of Los Altos' General Plan land use designation of Single-Family Residence allows for a maximum 4 units/acre. Per the General Plan Conformance and Contiguity/Annexation Statement (Attachment E) provided by the City of Los Altos, the city determined that the proposed subdivision map is consistent with the existing neighborhood density, lot size, and pattern.

The property is zoned R1-20-n1 under the County's Zoning Ordinance, which is a base zoning designation of One-Family Residence district with a Lot-Size combining district (-20) and the Neighborhood Preservation combining district for Los Altos (-n1), in the County of Santa Clara's Zoning Ordinance. The required minimum lot size is 20,000 sq.ft., as specified by the -20-lot size combining district (Zoning Ordinance Section 3.10). The -n1 combining district stipulates the gross floor area per Zoning Ordinance Section 3.40.030(A)(1).

The proposed Tentative Map is found to be consistent with the requirements of the County's Solar Access for Subdivision Development ordinance, Division C12, commencing with Section C12-173. This ordinance requires that an energy conservation plan be submitted with the tentative subdivision map designed to provide solar access to future buildings for solar energy systems. As required by the Ordinance, all proposed structures and vegetation shall be sited to provide solar access to a south wall of the greatest possible number of buildings feasible. If providing south wall solar access is not feasible, the lots shall be designed to provide solar access to a south roof. The applicant submitted the required Energy Conservation Plans to demonstrate adequate solar access for potential buildings constructed in the future, and has demonstrated the proposed subdivision, in combination with future construction of residences, is not detrimental to solar access of any neighboring property (see Attachment D).

Potential building sites have been shown on the Tentative Map to demonstrate site feasibility, and the proposed lot sizes are consistent with the City of Los Altos General Plan and the County of Santa Clara Zoning Ordinance. There are no Specific Plans which pertain to the project. As such, for the reasons stated above, staff cannot make this finding and therefore recommends approval of the proposed two-lot Tentative Parcel Map.

**2. That the design or improvements of the proposed subdivision is not consistent with applicable general and specific plans.**

The subject property and Tentative Parcel Map application is subject to the land use policies of the City of Los Altos General Plan. Per the General Plan Conformance and Annexation Statement provided by the City of Los Altos and as summarized in Finding No. 1 above, the proposed subdivision is consistent with the density, lot size and pattern of the existing neighborhood (Attachment E). In addition, building sites on the proposed parcels have been situated such that the required minimum property lines setbacks are maintained. The required residential setbacks are 30 feet, as measured from the front property line, 15 feet as measured for the side, and 25 feet, as measured from the rear property line.

Lot design criteria for subdivisions are outlined in Section C12-21 of the County Ordinance Code (see Attachment F). The project is consistent with these lot design requirements and demonstrates adequate size and shape characteristics to support single family residential uses. Driveway and pedestrian access are also adequate. All proposed lots will have access from Whitham Avenue with all lots having frontage on county-maintained roads. Proposed lots do not exceed the recommended maximum depth to width ratio of three-to-one.

As such, for the reasons stated above, staff cannot make this finding and therefore recommends approval of the proposed three-lot Tentative Parcel Map.

**3. That the site is not physically suitable for the type of development.**

The site is physically suitable for development of single-family dwellings, as proposed by the Applicant who intends to construct a new residence on each parcel in the future.

On-site Conditions

Topography of the site proposed for development is flat to very gently sloping with direct access from Whitham Avenue and Miller Avenue. The project site contains sufficient area for the creation of three (3) lots which meet the minimum required lots size of 20,000 sq.ft, per the County Zoning Ordinance requirements. The proposed lots have been designed such that suitable building envelopes exist on each lot, illustrating potential future buildable areas for a single-family residence that meets the minimum setbacks (30 feet front, 15 feet side, and 25 feet rear) required by the Zoning Ordinance. Furthermore, the property is in an existing neighborhood that contains single-family housing.



### Geology

The site is located within a County Fault Rupture Hazard Zone, however the site is not located within the State of California Zones associated with an active fault or seismically induced landslides. A geological report dated February 7, 1978 by J. Michael Cleary & Associates was prepared for a potential lot split, which documented exploratory trenches that showed the majority of the lot is not transected by a fault and concluded the potential for surface fault rupture is low. The County Geologist reviewed the subdivision proposal including the geologic report by J. Michael Cleary & Associates and other information of nearby properties and concluded that the proposed building sites are geologically feasible for development.

### Utilities & Water

Utilities to the proposed lots would be provided by California Water Service, City of Los Altos for sanitary sewer, Pacific Gas and Electric (PG&E). AT&T, and Comcast cable would also be available, though not required to be connected. The Department of Environmental Health has reviewed the application and requires will serve letters from local sanitary sewer district and water purveyors as Conditions of Approval to be completed prior to Final Map recordation. The project has also been reviewed by the County Fire Marshal and conditioned to require any residences subsequently developed on Parcel 1, Parcel 2, and Parcel 3 include interior fire suppression sprinklers.

As such, for the reasons stated above, staff cannot make this finding and therefore recommends approval of the proposed three-lot Tentative Parcel Map.

#### **4. That the site is not physically suitable for the proposed density of development.**

Per the General Plan Conformance and Contiguity/Annexation Statement (Attachment E), the subject property is physically suitable for the proposed density of development. The property has a designation of Single-Family Residence in the City of Los Altos General Plan that allows for a maximum of 4 units/acre.

As described in Finding No. 1 above, density of the proposed three lot subdivision is in conformance with this density. As such, for the reasons stated above, staff cannot make this finding and therefore recommends approval of the proposed three-lot Tentative Parcel Map.

#### **5. That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The project site is located in an urban residential setting, with minimal native habitats. There are no riparian habitats or wildlife corridors on or adjacent to the site. The ultimate construction and installation of the subdivision improvements, including improvement to the existing driveway, and three (3) single family residential homes on the project site, will not cause substantial environmental damage or injure fish or wildlife or their habitat. Furthermore, the property is not located within the Santa Clara Habitat Conservation Plan

(HCP) area. As such, for the reasons stated above, staff cannot make this finding and recommend approval of the proposed three-lot Tentative Parcel Map.

**6. That the design of the subdivision or the type of improvements is likely to cause serious public health problems.**

Utilities to the proposed lots would be provided by California Water Service and City of Los Altos for sanitary sewer. The ultimate construction and installation of the subdivision improvements, including the driveway and three (3) single family residences on the project site, will not create significant, long-term traffic, noise or air quality impacts. The project will result in short-term impacts related to construction activities, however, as temporary impacts, construction-related impacts would not cause serious or long-term public health problems. As such, for the reasons stated above, staff cannot make this finding and recommend approval of the proposed three-lot Tentative Parcel Map.

**7. That the design of the subdivision or the type of improvements will conflict with easements acquired by the public at large, for access through, or use of, property within the proposed subdivision.**

After reviewing available maps on file with the County, and as proposed on the Tentative Parcel Map, no existing easements were found on the property. Thus, the design of the subdivision and proposed improvements will not conflict with any existing easements on the property. Access to all three parcels is from Whitham Avenue with Parcel 2 and Parcel 3 will have easements across Parcel 1 and Parcel 2 to access from Whitham, which county-maintained road. As such, the proposed subdivision will not conflict with easements acquired by the public at large, for access through, or use of property within the proposed subdivision. Therefore, for the reasons stated above, staff cannot make this finding and therefore recommends approval of the proposed three-lot Tentative Parcel Map.

## **BACKGROUND**

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The subject property was created as part of the “Map of Subdivision No.2, Los Altos Country Club Properties,” recorded on August 3, 1925. On April 6, 2022, the applicant submitted a pre-application for a proposed three lot subdivision with a subsequent meeting with staff and a formal pre-application letter issued. The applicant officially submitted for a three-lot Tentative Parcel Map on September 4, 2024, which was subsequently deemed incomplete on October 3, 2024. Staff met with the applicant many times to discuss questions related to the incomplete letter which resulted in the first re-submittal received on March 18, 2025, and subsequently deemed incomplete, on April 17, 2025. The second re-submittal was received on May 20, 2025, and ultimately deemed complete on June 18, 2025. A public notice was mailed to all property owners within a 300-foot radius of the project on July 23, 2025, and published in the Post Record on July 28, 2025<sup>1</sup>. As of the writing of this report, no comments from the public were received.

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<sup>1</sup> San Jose Post Record; <https://www.postrecord.news/LegalNotices/SJR-2025-07-28.pdf#page=6> – Legal Notices July 28, 2025;

## STAFF REPORT REVIEW

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Prepared and reviewed by: Lara Tran, Senior Planner

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*Lara Tran*  
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# Attachment A

## Proposed CEQA Determination

# County of Santa Clara

## Department of Planning and Development

*"People Centered Services"*

County Government Center, East Wing, 7th Floor

70 West Hedding Street

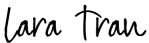
San José, CA 95110

Phone: (408) 299-5700

Website: [plandev.santaclaracounty.gov](http://plandev.santaclaracounty.gov)



## STATEMENT OF EXEMPTION from the California Environmental Quality Act (CEQA)

<b>FILE NUMBER</b>	<b>APN(S)</b>	<b>DATE</b>
PLN24-174	331-06-064	7/31/2025
<b>PROJECT NAME</b>	<b>APPLICATION TYPE</b>	
Tentative Map for Three Lot Subdivision Whitham Avenue, Los Altos	Subdivision	
<b>OWNER</b>	<b>APPLICANT</b>	
Richard and Linda Dickinson Trust	Heather Dickinson	
<b>PROJECT LOCATION</b>		
1663 Whitham Avenue, Los Altos		
<b>PROJECT DESCRIPTION</b>		
Subdivision of a 1.83-acre lot (79,692 square feet) into three (3) lots, Parcel 1, Parcel 2, and Parcel 3 measuring 31,876 square feet (sq.ft.), 25,176 sq.ft., and 22,634 sq.ft., respectively. Single-family residences would be constructed in the future but are not proposed in conjunction with the Tentative Parcel Map. The property has an existing 3,890 sq. ft. single-family residence built in 1939 that will be demolished as part of the subdivision. No trees would be removed because of the Parcel Map. Grading is not proposed as part of the Tentative Parcel Map approval.		
All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.		
<b>CEQA (GUIDELINES) EXEMPTION SECTION</b>		
Section 15315 (Minor Land Divisions) for division of property in an urbanized area zoned for residential use.		
<b>COMMENTS</b>		
<b>APPROVED BY:</b> Lara Tran, Senior Planner	<div>DocuSigned by:  747B96A85CB94DC...</div> Signature	7/31/2025  Date



# Attachment B

## Preliminary Conditions of Approval

## PRELIMINARY CONDITIONS OF APPROVAL THREE-LOT SUBDIVISION

**Owner/Applicant:** Richard and Linda Dickinson Trust/ Heather Dickinson  
**Location:** 1663 Whitham Avenue, Los Altos (APN: 331-06-064)  
**File Number:** PLN24-174  
**CEQA:** Categorical Exemption, pursuant to Section 15315 Class 15 of the CEQA Guidelines (Minor Land Divisions)  
**Project Description:** Tentative Parcel Map to subdivide a 1.83-acre lot (79,692 square feet) into three (3) lots, Parcel 1, Parcel 2, and Parcel 3 measuring 31,876 square feet (sq.ft.), 25,176 sq.ft., and 22,634 sq.ft., respectively.

Agency	Name	Phone	E-mail
Planning	Lara Tran	(408) 299-5759	<a href="mailto:lara.tran@pln.sccgov.org">lara.tran@pln.sccgov.org</a>
Land Development Engineering	Darrell Wong	(408) 299-5735	<a href="mailto:darrell.wong@pln.sccgov.org">darrell.wong@pln.sccgov.org</a>
Environmental Health	Darrin Lee	(408) 918-3435	<a href="mailto:darrin.lee@cep.sccgov.org">darrin.lee@cep.sccgov.org</a>
Fire Marshal's Office	Alex Goff	(408) 299-5760	<a href="mailto:alex.goff@sccfd.org">alex.goff@sccfd.org</a>
Roads and Airports	Tom Esch	(408) 573-2450	<a href="mailto:tom.esch@rda.sccgov.org">tom.esch@rda.sccgov.org</a>

## STANDARD CONDITIONS OF APPROVAL

### Planning

1. The parcel configuration shown on the tentative map, which was received by the Planning Office on May 6, 2025 is approved as submitted. All development and maintenance of the project site shall take place in substantial accordance with the approved plans, received by the Planning Office on May 6, 2025.
2. The existing zoning is R1-20-n1 (One-Family Residence base district with a Lot-Size Combining District of 20,000 square feet minimum lot size and a Los Altos Neighborhood Combining District). Future development shall comply with all setbacks required by the County Zoning Ordinance at the time applications for development are submitted.
3. In the event that previously unidentified historic or prehistoric archaeological resources are discovered during grading and/or construction activities, work shall be temporarily halted in the vicinity of the discovered materials. Workers shall not alter or disturb the materials and their context until a qualified professional archaeologist has evaluated the materials and provided recommendations for treatment/preservation and documentation of the discovered archaeological and/or Native American resources. Documentation of treatment of the resources shall be submitted to the County Department of Planning and Development staff upon completion of construction.
4. This approval is for the Tentative Parcel Map, a subdivision of one (1) lot into three (3) lots. At the time of development of the residences on each lot, the property owner will be required to meet all County standards for construction and State laws.



Land Development Engineering

5. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to adjoining property.
6. All new on-site utilities, mains, and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.
7. All fencing and gates shall be located outside of the right of way to be dedicated.

Department of Environmental Health

8. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

Roads and Airports

9. Provide for the maintenance of adequate corner sight distance at the intersection of Tallent Avenue and Regal Court.

**CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO MAP  
RECORDATION**

Land Development Engineering

10. Prepare and submit a Parcel Map for review and approval by the County Surveyor and address all applicable comments to meet all State and County requirements.
11. Indicate on the Final/Parcel Map all applicable easements affecting the parcel(s) with benefactors and recording information. Provide letters from the utility companies stating that all easements and financial obligations have been satisfied. These shall include:
  - Gas Company
  - Electric Company
  - Telephone Company
  - Water Company
  - Sewer Company(Contact the utility companies immediately as these clearances may require over 90 days to acquire.)
12. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the Parcel Map.
13. Applicant shall request and obtain verification of the installation by the County Surveyor's office of all monuments required by the map and pay all applicable fees.
14. A monument bond shall be posted prior to recording the Parcel/ Tract Map.
15. Enter into a land development improvement agreement with the County. Submit an Engineer's

Estimate of Probable Construction Cost prepared by a registered civil engineer with all stages of work clearly identified for all improvements and grading as proposed in this application. Post financial assurances based upon the estimate, sign the development agreement and pay necessary inspection and plan check fees, and provide County with a Certificate of Worker's Compensation Insurance. (C12-206).

Department of Environmental Health

16. Provide a will-serve letter from California Water Service and a sanitary sewer connection will serve letter from the City of Los Altos.

Roads and Airports

17. Obtain an Encroachment Permit from the County of Santa Clara Roads and Airports Department for the following required improvements:
  - A. Installation of curb and gutter per County Standard B/13 along Tallent Avenue from the storm drain inlet at Holly Drive to the storm drain inlet at Regal Court.

The process for obtaining an Encroachment Permit and the forms that are required can be found at: [www.countyroads.org](http://www.countyroads.org) > Services > Apply for Permits > Encroachment Permit.

18. Construct the aforementioned improvements to the satisfaction of the Roads and Airports Department.

**CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMIT**

Land Development Engineering

19. Obtain a Grading Permit from Land Development Engineering (LDE) prior to beginning any construction activities. Issuance of the Grading Permit is required prior to LDE clearance of the Parcel Map. The process for obtaining a Grading Permit and the forms that are required can be found at the following web page:  
<https://plandev.sccgov.org/home> > How to > Apply for a Development Permit or Planning Application > Grading Permit

Note: If the County Roads and Airports Department provides a condition of approval to obtain an encroachment permit, for your convenience, the grading and encroachment permits will be processed concurrently under one set of improvement (grading) plans.

20. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
21. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures, and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:

- Standard Details Manual, September 1997, County of Santa Clara, Roads and Airports

- Department: <https://countyroads.sccgov.org/home> > Do Business with Us > County Standard Details, Specifications and Documents
- March 1981 Standards and Policies Manual, Volume 1 (Land Development): <https://plandev.sccgov.org/home> > Ordinances & Codes > Land Development Standards and Policies
  - 2007 Santa Clara County Drainage Manual: <https://plandev.sccgov.org/home> > Ordinances & Codes > Grading and Drainage Ordinance
22. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified, and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed prior to construction and new monuments shall be set prior to final acceptance of the improvements. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
23. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
24. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.

#### *Drainage*

25. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile. The documentation and certification of the pervious pavers shall be included in this requirement.
26. Provide a detail of the pervious paving that includes the necessary drainage storage within the rock layer and the necessary elevated subdrainage system to allow for the storage volume.

#### *Utilities*

27. All new on-site utilities, mains, and services shall be shown to be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

#### *Stormwater Treatment – San Francisco Bay*

28. All pervious paving and pavers shall be designed and constructed with the appropriate storage volume and subdrain system to allow for proper infiltration into the native surface.

### *Soils and Geology*

29. Submit one copy of the signed and stamped geotechnical report for the project.
30. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendations in the above geotechnical report have been incorporated into the improvement plan.

### *Dedications and Easements*

31. The following offers to dedicate easements shall be submitted to LDE. All easement dedications shall include legal descriptions, plats, and corresponding documents to be reviewed and approved by the County Surveyor's Office. The owner/ applicant will be required to record the document with the County's Recorder's Office after reviewed and approved by the County Surveyor's Office.
  - A. Offer to dedicate the necessary ingress/egress and utility easements for the benefit of Lots two and three.

### Fire Marshal Office

#### *Fire Protection – Water*

32. The minimum fire-flow shall be based on CFC Appendix "B", measured by gpm at 20 psi.  
Note: The fire-flow may be adjusted depending upon the final size of the structure shown on the building permit set of drawings to meet Appendix B of the CFC.
  - A. At the time of plan submittal for building permit, provide written verification from the water company that this condition can be satisfied.
  - B. If an existing approved water system is within 300 ft. of the property line, extension to site is required, provided it is feasible to do so. Contact local water purveyor as soon as possible. If the water company will not grant a water connection, submit official documentation from the water company to that effect.
  - C. Standard fire hydrant is to be located within 400 ft. exterior path of travel to all portions of non-sprinklered structures and 600 ft. of sprinklered structures.

#### *Fire Department Access*

33. These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.
34. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or maintained at all times.
35. Access roads (roads serving more than two lots) and driveways (roads serving no more than two lots) for fire department access shall comply with the following:
  - A. Width: Access Roads to have a clear drivable width of 18 ft. plus a 3 ft. shoulder on each side per CFMO-A1. Driveways are to have a 12 ft. drivable width and a 3 ft. shoulder.
  - B. Vertical Clearance: Minimum vertical clearance of 13 ft. 6 in. shall be maintained to

- building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements) for access roads and driveways.
- C. Curve Radius: Plans to show minimum 30 ft. inside turn radius for curves and 50 ft. exterior turn radius.
  - D. Grade: Maximum grade shall not exceed 15%.
  - E. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000 pound gross vehicle weight.
  - F. Dead End Roads: Turnarounds shall be provided for dead end access roads in excess of 150 ft. in length. Acceptable turnaround shall comply with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
  - G. Bridges: All bridges shall be capable of sustaining 75,000 pound gross vehicle weight and meet the latest edition of the CalTrans Standard Bridge Design Specifications. Appropriate signage, including but not limited to weight or vertical clearance limitations, or any special conditions shall be provided.
  - H. Turnouts: Passing turnouts in compliance with SD-16 shall be provided at every 400 ft. and wherever hydrants are placed adjacent to a driveway.
  - I. Turnarounds: Turnaround shall be provided for driveways in excess of 150 ft. as measured along the path of travel from the centerline of the access road to the structure. Acceptable turnaround shall comply with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
  - J. Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.
  - K. Address: Numbered address to be easily recognizable from the street.

#### *Miscellaneous*

- 36. Maintenance: Fire protection water systems and equipment shall be accessible and maintained in operable condition at all times, and shall be replaced or repaired where defective. Fire protection water shall be made available to the fire department.
- 37. Fire department access roads, driveways, turnouts, and turnarounds shall be maintained free and clear and accessible at all times for fire department use. Gates shall be maintained in good working order and shall remain in compliance with Fire Marshal Standard CFMO-A3 at all times.

#### Department of Environmental Health

- 38. For each individual developing parcel, prior to issuance of a development permit, obtain and provide either a sanitary sewer will serve letter and/or a sewer connection permit from the City of Los Altos for the proposed developing parcel/dwelling.
- 39. For each individual developing parcel, prior to issuance of a development permit, obtain and provide a current water will serve letter from California Water Service, stating its intent and ability to provide potable/domestic water to the developing parcel/dwelling.

#### Roads and Airports

- 40. All of the Roads and Airports Department General Conditions apply to all three parcels on this Tentative Map and apply prior to issuance of a development permit for any of the three parcels (i.e., not required for tentative map filing).

- A. A Tree Removal Approval (Board of Supervisors) process is required prior to any tree removal, replacement, or relocation within the County right-of-way (ROW). The process for obtaining approval for a tree removal and the forms that are required can be found at: <https://countyroads.sccgov.org/tree-removal-approval-county-right-way>.
  - B. Gates within 30 feet of edge of pavement are not permitted.
  - C. Fencing, fixed appurtenances, mailboxes with non-breakaway posts, etc., are not permitted within the County ROW.
41. All of the Roads and Airports Department conditions outlined below apply to all three parcels on this Tentative Map. Conditions apply prior to issuance of a development permit for any of the three parcels (i.e., not required for tentative map filing).
42. Obtain a Santa Clara County Roads and Airports Department Encroachment Permit for the following required improvements (the process for obtaining an Encroachment Permit and the forms that are required can be found at: <https://countyroads.sccgov.org/encroachment-permits>):
- A. Improvement of the property's frontage and drainage as further described below.
  - B. Installation of the single driveway approach to County Standard B/4; installation of the shared driveway approach to the two residences to County Standard B/5.
  - C. As identified in the Sight Distance Analysis, removal of any vegetation or other obstructions necessary to provide adequate line-of-sight at the driveway approach location.
  - D. Removal of fences outside the limits of the County maintained road right-of-way.
  - E. All utility relocations, replacements, abandonments, temporary facilities, and new facilities.
43. Improve property frontage. In lieu of County Standard B/4A frontage improvements, provide the following:
- A. Between driveways, provide 2 feet paved swale at existing flowline;
  - B. North of the last driveway, provide Caltrans Type A HMA dike per State Standard Plan A87B to maintain existing flowline;
  - C. Align the new driveway frontage to be in proximity to the flowline of the swale as it crosses the driveway;
  - D. Widen pavement as necessary where located in unpaved shoulder areas along the frontage (remove and replace minimum 1 foot of existing pavement as necessary).
44. The north drainage channel extends to the County ROW line. Provide dispersement of drainage from property to County right-of-way. Any release to County right-of-way must be controlled dispersed overland flow. Identify flow as it drops above the proposed swale

Three-Lot Subdivision  
File #PLN24-173  
August 7, 2025

line/dike (refer to frontage comment).

45. Provide driveway and frontage details with dimensions during the encroachment permit process, with sufficient detail to fully demonstrate application of the County standards that will apply to the driveway, driveway gates, frontage and drainage to be constructed (i.e., not only referencing the County details). Include County Standard details on the plan sets.
46. Demonstrate that the post-development maximum flow rate into the County Road right-of-way is equal-to or less-than the pre-development corresponding storm event flow rate per the County Drainage Manual. Provide engineered plans and drainage calculations for any detention or retention system necessary to satisfy this requirement.

### **CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL BUILDING INSPECTION**

#### **Department of Environmental Health**

47. Provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

#### **Land Development Engineering**

48. Existing and set permanent survey monuments shall be verified by inspectors prior to final acceptance of the improvements by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
49. Construct the improvements. Construction staking is required and shall be the responsibility of the developer.
50. Provide a Construction Observation Letter from the Geotechnical Engineer.
51. The new lot lines for parcels one, two and three must be surveyed and monumented by a Licensed Land Surveyor or Registered Civil Engineer who is authorized to practice land surveying. The work and map must conform to the California Subdivision Map Act and County Ordinances.

#### **Fire Marshal Office**

52. An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure.
53. The fire sprinkler system shall be installed and finalized by this office prior to occupancy. A separate permit shall be obtained from this office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.

#### **Roads and Airports**

54. All of the Roads and Airports Department final conditions outlined below apply to all three parcels on this Tentative Map as part of an encroachment permit application (i.e., does not apply for filing of the tentative map).

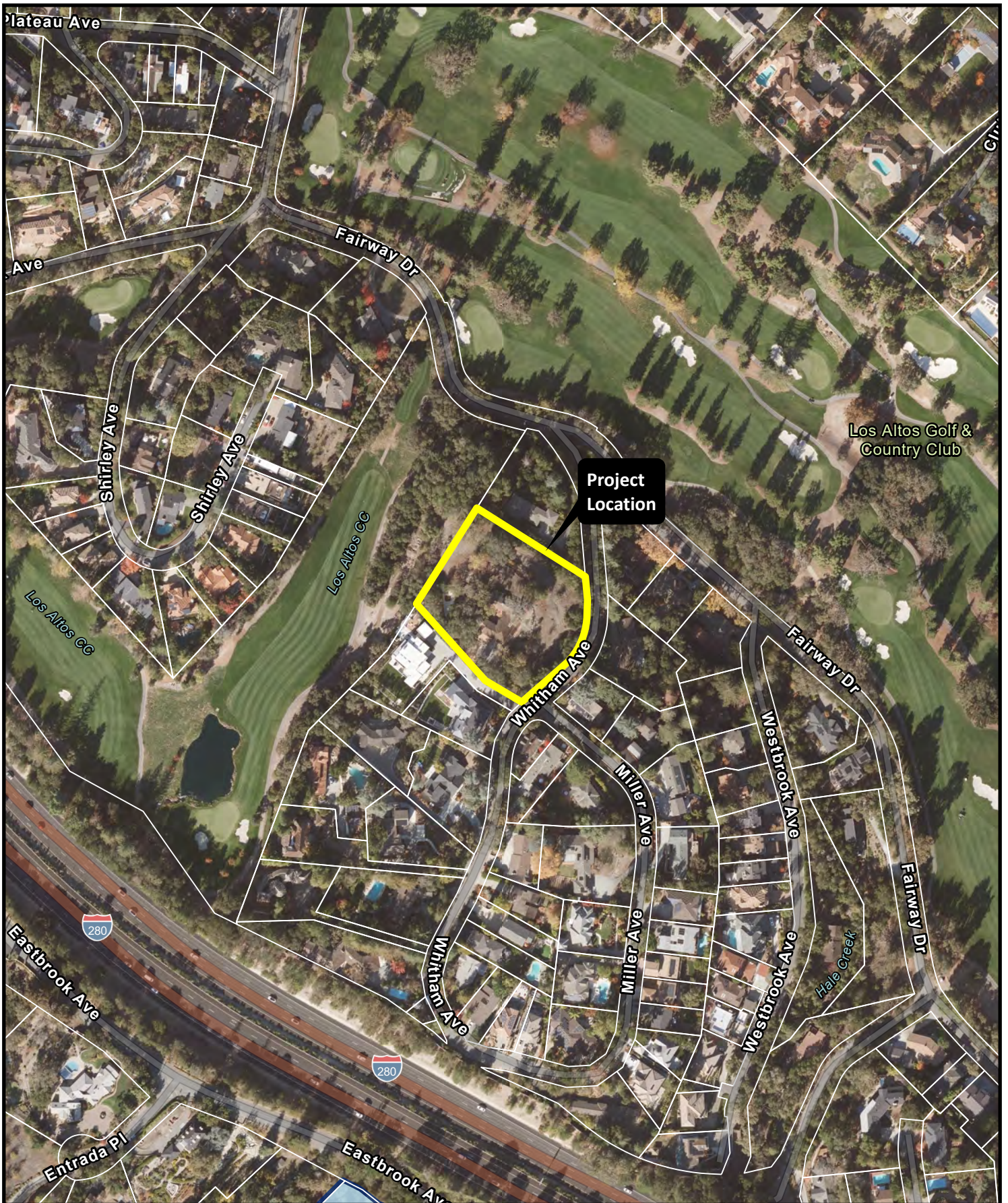
- A. Construct all the improvements approved under the Encroachment Permit.
- B. Remove temporary facilities and temporary construction entrances from the County ROW.



# Attachment C

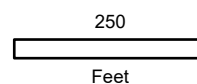
## Location and Vicinity Map





## Location and Vicinity Map

Record No. PLN24-173  
APN 33106034  
1663 WHITHAM AV LOS ALTOS





# Attachment D

## Tentative Parcel Map and Energy Conservation Plan



TENTATIVE MAP  
FOR 3 LOT DEVELOPMENT  
1663 WHITHAM AVENUE  
LOS ALTOS, SANTA CLARA COUNTY  
(UNINCORPORATED)



VICINITY MAP

NTS

OWNER / DEVELOPER

OWNER / DEVELOPER:  
HEATHER DICKINSON  
1663 WHITHAM AVENUE  
LOS ALTOS, CA

PROPERTY INFORMATION:  
1663 WHITHAM AVENUE  
LOS ALTOS, CA

APN: 331-06-034

PROJECT UTILITIES:

WATER: CALIFORNIA WATER COMPANY  
ELECTRIC: PACIFIC GAS AND ELECTRIC  
GAS: PACIFIC GAS AND ELECTRIC  
PHONE: AT&T  
SEWER: SANTA CLARA COUNTY  
CABLE: COMCAST  
FIRE DEPT: SANTA CLARA COUNTY FIRE DEPT

REFERENCES

- THIS PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY TURNROSE LAND SURVEYING, ENTITLED:  
"BOUNDARY & TOPOGRAPHIC MAP"  
1663 WHITHAM AVENUE  
LOS ALTOS, USA  
DATED: MARCH & APRIL 2021  
JOB# 21-06
  - TOPOGRAPHIC BOUNDARY SURVEY BY LEA AND BRAZE ENGINEERING, ENTITLED:  
"TOPOGRAPHIC SURVEY"  
1663 WHITHAM AVENUE  
LOS ALTOS, USA  
DATED:  
JOB# 2241106 SU

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

ESTIMATED EARTHWORK QUANTITIES

CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING (DRIVEWAY)	OUTSIDE BUILDING (LANDSCAPE GRADING)	OFFSITE (LANDSCAPE GRADING)	TOTAL CUBIC YARDS
CUT	295 (6.24' MAX.)	215 (6.28' MAX.)	955 (7.22' MAX.)	-	1,465
FILL	1,365 (13' MAX.)	820 (9' MAX.)	10 (0.9' MAX.)	-	2,195
IMPORT					730
NOTE: GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.					

COUNTY FAULT RUPTURE HAZARD ZONE  
PER COUNTY GIS WEBSITE. THE PROPERTY IS WITHIN THE GEO-HAZARD ZONE. A THOROUGH INVESTIGATION SHALL BE PERFORMED PRIOR TO APPLICATION OF ANY DEVELOPMENT.

KNOWN GEOLOGIC HAZARD AREAS  
MONTE VISTA FAULT APPROXIMATELY 2,200 FT SOUTHWEST OF THE PROPERTY PER GEOLOGIC HAZARD REPORT DATED FEBRUARY 7, 1978

SHEET INDEX

C-1.0	TITLE SHEET
C-2.0	LOT & EASEMENT LAYOUT PLAN
C-3.0	EXISTING SITE CONDITION
C-4.0	SITE IMPROVEMENTS
C-5.0	FIRE TRUCK TURNAROUND EXHIBIT
C-6.0	SIGHT DISTANCE ANALYSIS (SDA) EXHIBIT
C-7.0	DRIVEWAY PROFILES AND SECTIONS
C-7.1	CROSS SECTIONS
C-8.0	DETAILS



LEA & BRAZE ENGINEERING, INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
REGIONAL OFFICES:  
MAIN OFFICE: 1663 WHITHAM AVENUE  
LOS ALTOS, CALIFORNIA 94045  
(510) 887-4086  
WWW.LEABRAZE.COM

DICKINSON RESIDENCE  
1663 WHITHAM AVENUE  
LOS ALTOS, CALIFORNIA

SANTA CLARA COUNTY

TITLE SHEET

REVISIONS	BY

JOB NO:	2240997
DATE:	08-05-24
SCALE:	AS NOTED
DESIGN BY:	DH
CHECKED BY:	PC
SHEET NO:	

C-1.0

1 OF 9 SHEETS

LEGEND

EXISTING

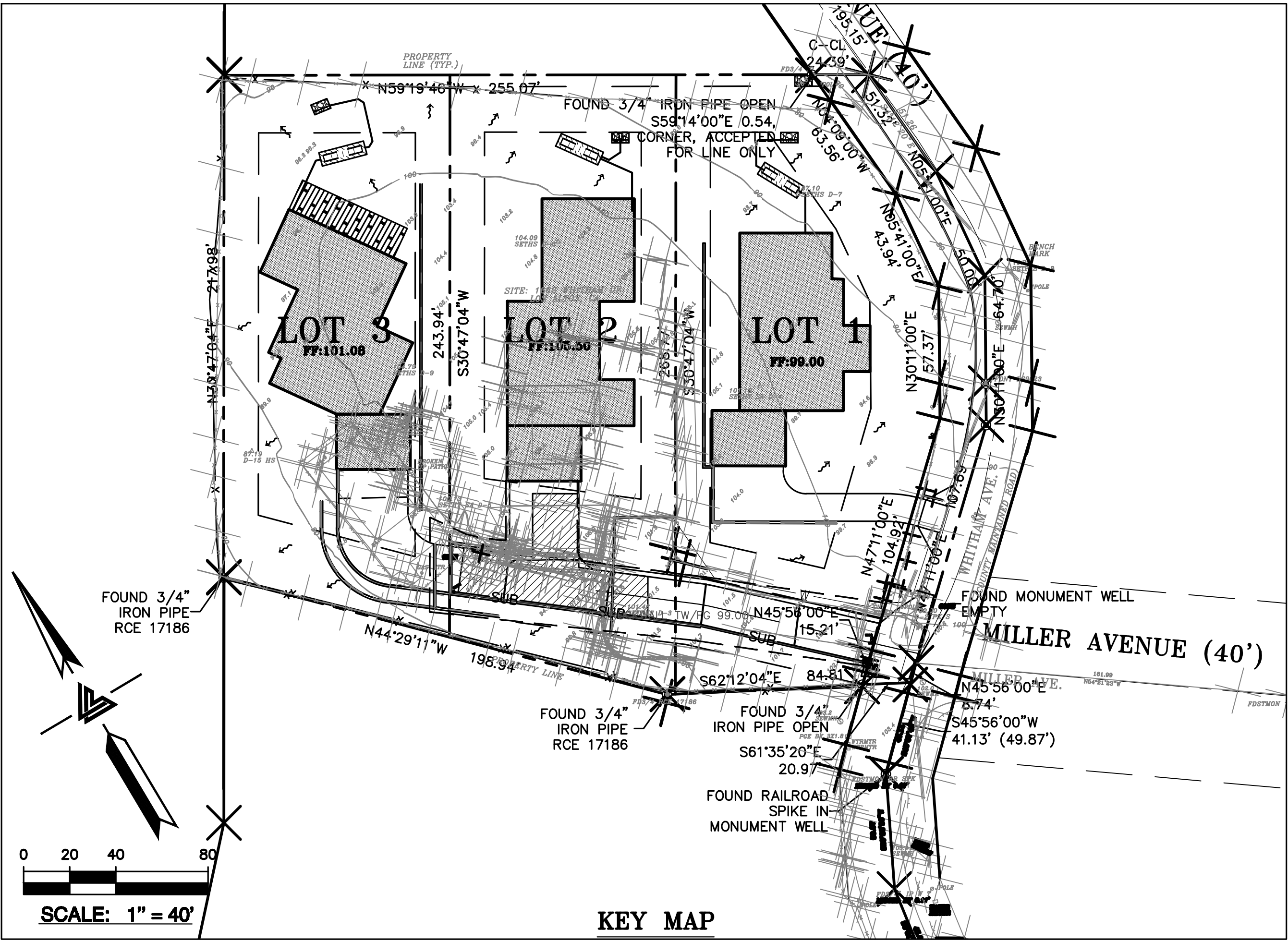
PROPOSED

DESCRIPTION

---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	STORM DRAIN PRESSURE LINE
---	---	SANITARY SEWER PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	TREE PROTECTION FENCING

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NOT TO SCALE	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
C	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	R	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EL	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
(E)	EXISTING	SHT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FG	FINISHED GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST.	STREET
GA	GAGE OR GAUGE	STA	STATION
GB	GRADE BREAK	STD	STANDARD
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STRUCT	STRUCTURAL
HORIZ	HORIZONTAL	T	TELEPHONE
HI PT	HIGH POINT	TC	TOP OF CURB
H&T	HUB & TACK	TOW	TOP OF WALL
ID	INSIDE DIAMETER	TEMP	TEMPORARY
INV	INVERT ELEVATION	TP	TOP OF PAVEMENT
JB	JUNCTION BOX	TW/FG	TOP OF WALL/FINISH GRADE
JT	JOINT TRENCH	TP	TYPICAL
JP	JOINT UTILITY POLE	VC	VERTICAL CURVE
L	LENGTH	VCP	VITRIFIED CLAY PIPE
LNDG	LANDING	VERT	VERTICAL
		W	WITH
		W. WL	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC

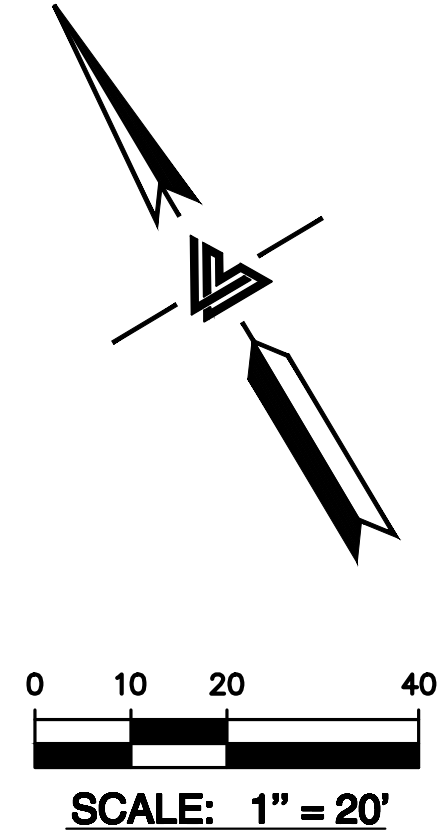
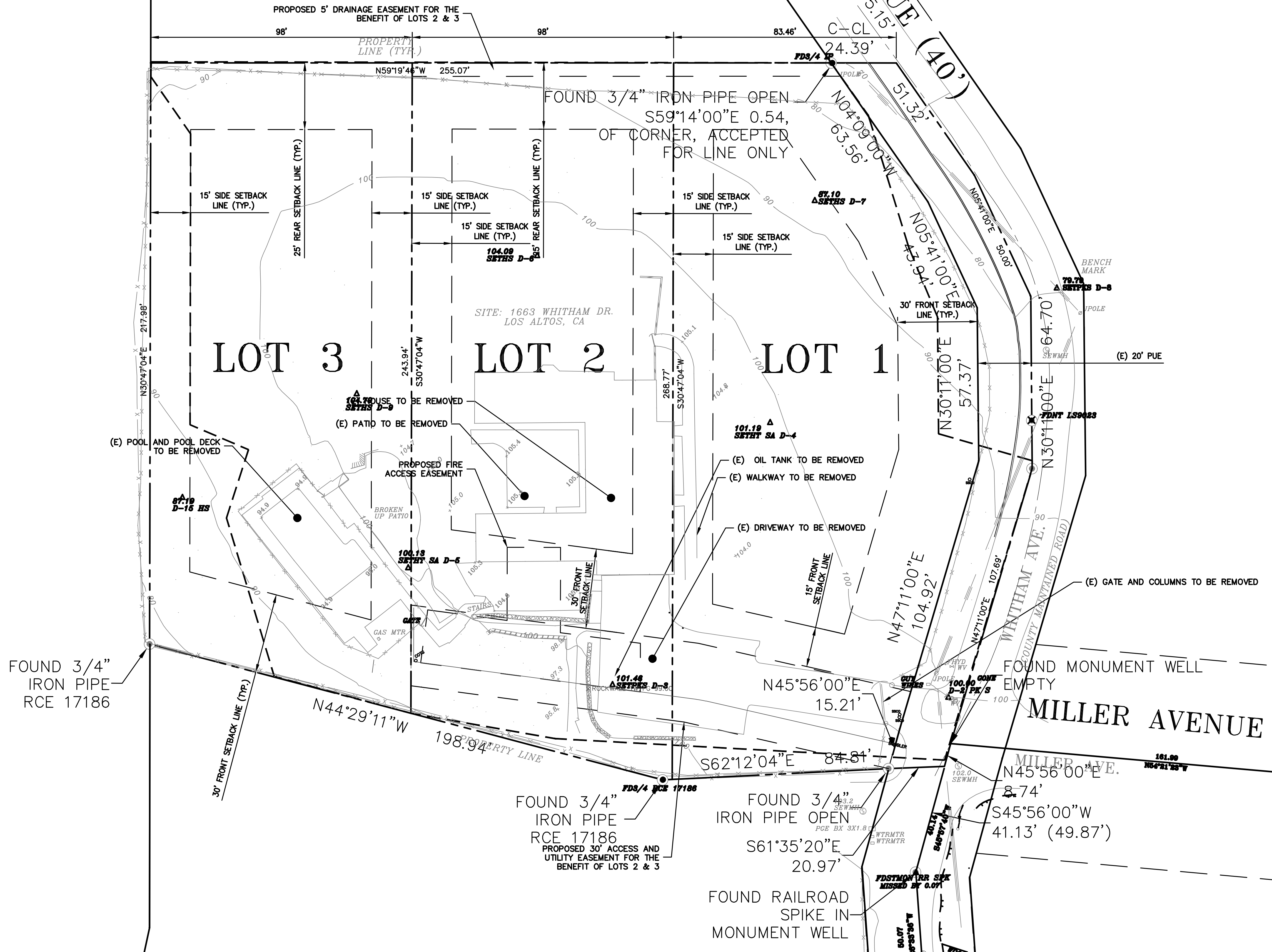


- NOTES:
- ALL ELEVATIONS WERE BASED UPON A PK NAIL AND SHINER "D-2" SHOWN AS BENCH MARK WITH AN ASSUMED ELEVATION OF 100.00 FEET. THIS IS NOT MEAN SEA LEVEL DATUM.
  - NO EASEMENTS WERE SHOWN IN CONDITION OF TITLE GUARANTEE PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY DATED MARCH 19, 2021 WITH GUARANTEE NO. A04016-CTG-304165.
  - STRUCTURE LOCATIONS WERE DETERMINED FROM MOST EXTERIOR HOUSE SIDING (NOT FOUNDATION).
  - NOT ALL TREES WERE LOCATED BY THIS SURVEY, BUT GENERALLY TREES THAT ARE 10" IN DIAMETER OR LARGER WERE LOCATED.
  - CONTOUR INTERVAL = 2'. SCALE: 1" = 16'
  - PER THIS SURVEY, AN AVERAGE SLOPE ON THE PROPERTY WAS CALCULATED TO BE 16.5% PER THE SLOPE-DENSITY CALCULATION FORM PROVIDED BY THE COUNTY OF SANTA CLARA PLANNING OFFICE. THE SLOPE CALCULATIONS WERE BASED UPON MEASURING 2 FOOT CONTOURS AS SHOWN ON THIS MAP. CONTOURS NORTH OF THE NORTH FENCE WERE ASSUMED TO BE EXTENSIONS OF CONTOURS MEASURED FROM THE SOUTH.
  - A RECORD OF SURVEY TO BE PREPARED AT A LATER DATE IF A TENTATIVE MAP APPLICATION IS NOT SUBMITTED FOR POSSIBLE SUBDIVISION WITHIN ONE YEARS TIME FROM THE DATE OF THIS MAPPING.

INDICATES SURVEY CONTROL POINT



(S30°46'W 184.3  
N30°47'00"E 183.



**PROJECT INFORMATION:**

EXISTING LOT  
AREA (GROSS): 79,692 SF (1.83 ACRES)  
AREA (NET\*-COUNTY): 74,042 SF (1.70 AC)  
EXISTING ZONING\*\*: R1E-20-N1  
EXISTING AVERAGE SLOPE: 17.01%

PROPOSED LOT 1  
AREA (GROSS): 31,876 SF (0.73 AC)  
AREA (NET\*-COUNTY): 24,902 SF (0.57 AC)  
ZONING\*\*: R1E-20-N1 (EXISTING)  
ZONING\*\*: R1E-20-N1 (PROPOSED)  
AVERAGE SLOPE (ENTIRE LOT): 21.05%  
AVERAGE SLOPE (BLD SITE AREA): 15.19%

PROPOSED LOT 2  
AREA (GROSS): 25,176 SF (0.58 AC)  
AREA (NET\*-COUNTY): 23,694 SF (0.54 AC)  
ZONING\*\*: R1E-20-N1 (EXISTING)  
ZONING\*\*: R1E-20-N1 (PROPOSED)  
AVERAGE SLOPE (ENTIRE LOT): 11.42%  
AVERAGE SLOPE (BLD SITE AREA): 11.53%

PROPOSED LOT 3  
AREA (GROSS): 22,634 SF (0.52 AC)  
AREA (NET\*-COUNTY): 22,634 SF (0.52 AC)  
ZONING\*\*: R1E-20-N1 (EXISTING)  
ZONING\*\*: R1E-20-N1 (PROPOSED)  
AVERAGE SLOPE (ENTIRE LOT): 17.55%  
AVERAGE SLOPE (BLD SITE AREA): 16.11%

(\*) NET AREA REFERS TO THE GROSS AREA LESS THE AREA OF INGRESS/EGRESS EASEMENTS, PER COUNTY ORDINANCE.  
(\*\*) REFERS TO THE COUNTY OF SANTA CLARA ZONING DESIGNATIONS



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CIVIL ENGINEERS & LAND SURVEYORS  
REGIONAL OFFICES:  
SAN JOSE  
DUBLIN  
HAYWARD  
SAN JOSE  
(510) 887-4086  
WWW.LEABRAZE.COM

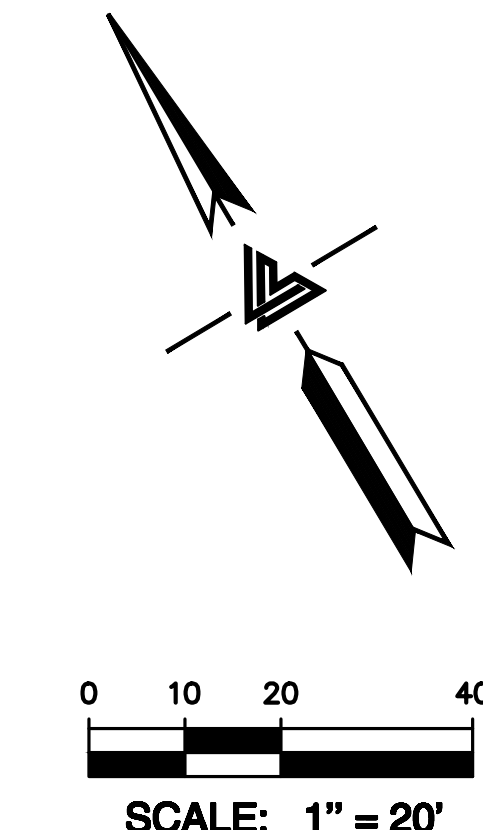
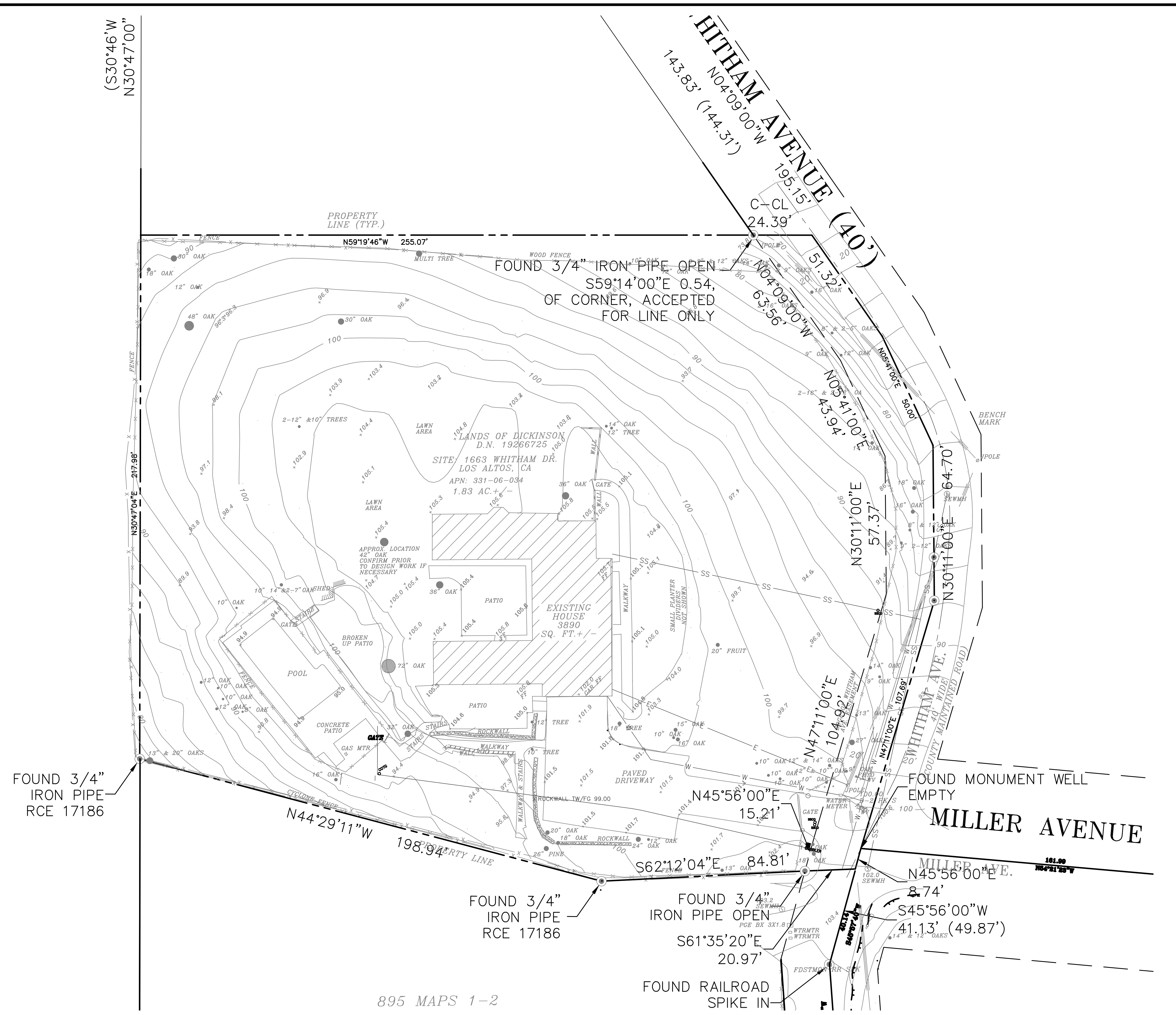
DICKINSON RESIDENCE  
1663 WHITHAM AVENUE  
LOS ALTOS, CALIFORNIA

APN: 331-06-034  
SANTA CLARA COUNTY

**3 LOT TENTATIVE MAP  
LOT & EASEMENT  
LAYOUT PLAN**

REVISIONS	BY
JOB NO: 2240997	
DATE: 08-05-24	
SCALE: AS NOTED	
DESIGN BY: DH	
CHECKED BY: PC	
SHEET NO:	





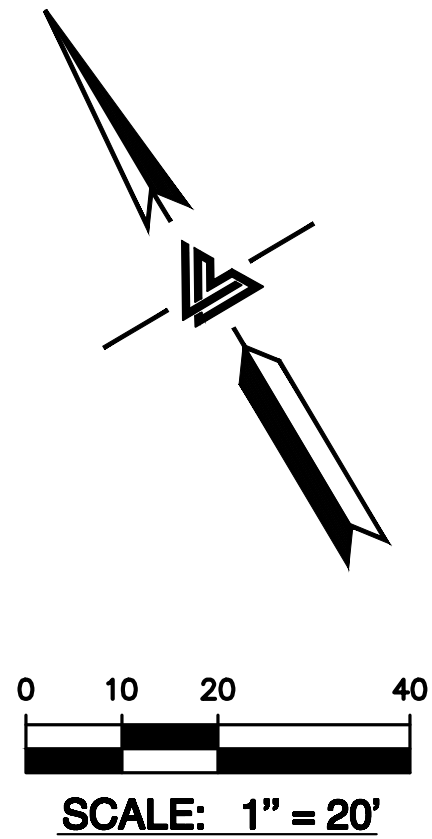
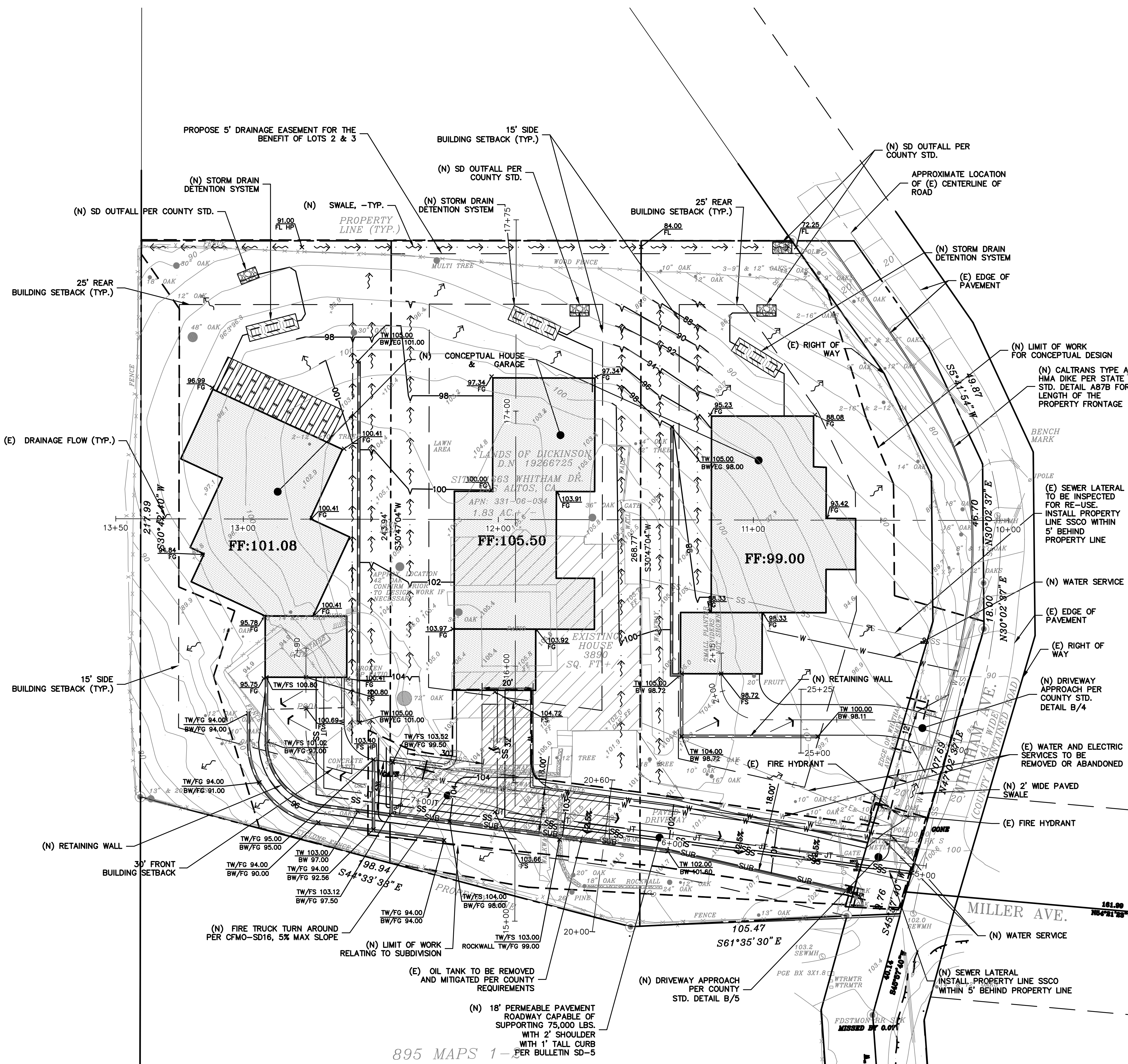
**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
REGIONAL OFFICES:  
SAN JOSE  
SAN FRANCISCO  
SAN DIEGO  
SAN JOSE  
(510) 887-4066  
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**DICKINSON RESIDENCE**  
1663 WHITHAM AVENUE  
LOS ALTOS, CALIFORNIA  
SANTA CLARA COUNTY  
APN: 331-06-034

**EXISTING SITE  
CONDITION**

-	-
-	-
-	-
-	-
-	-
REVISIONS	BY
JOB NO: 2240997	
DATE: 08-05-24	
SCALE: AS NOTED	
DESIGN BY: DH	
CHECKED BY: PC	
SHEET NO:	
<b>C-3.0</b>	
3 OF 9 SHEETS	





### CONCEPTUAL DEVELOPMENT AREA INFORMATION

TOTAL SITE AREA	79,740 SQUARE FEET (1.830 ACRE)			
TOTAL DISTURBED AREA	66,800 SQUARE FEET (1.533 ACRE)			
IMPERVIOUS AREAS	EXISTING TOTAL S.F.	REMOVED TOTAL S.F.	NEW TOTAL S.F.	PROPOSED TOTAL S.F.
BUILDING ROOF AREA*	3,889	3,889	11,422	11,422
DRIVEWAY & PARKING	3,568	3,568	0	0
POOL AND POOL DECK	1,896	1,896	0	0
PATIOS & WALKWAYS	2,069	2,069	0	0
TOTAL IMPERVIOUS AREA	11,422	11,422	11,422	11,422
NET CHANGE IN IMPERVIOUS AREA	+ 0 SQFT (NET INCREASE)			
PERVIOUS PAVING				
PERVIOUS PAVER DRIVEWAY	0	0	7,765	7,765
PERMEABLE GRASSPAVE DRIVEWAY	0	0	0	0
TOTAL PERVIOUS PAVING AREA	0	0	7,765	7,765
NET CHANGE IN PERVIOUS PAVING AREA	0 SQFT (NET INCREASE)			
TOTAL DEVELOPED AREA	11,422	11,422	19,187	19,187
NET CHANGE IN DEVELOPED AREA	+7,765 SQFT (NET INCREASE)			
LANDSCAPE	68,318			60,553

\*HARDSCAPE BELOW ROOF LINE INCLUDED IN ROOF AREA (ROOF AREAS BASED ON ARCHITECT ROOF PLAN)

### SUBDIVISION DEVELOPMENT AREA INFORMATION

TOTAL SITE AREA	79,740 SQUARE FEET (1.830 ACRE)			
TOTAL DISTURBED AREA	66,800 SQUARE FEET (1.533 ACRE)			
IMPERVIOUS AREAS	EXISTING TOTAL S.F.	REMOVED TOTAL S.F.	NEW TOTAL S.F.	PROPOSED TOTAL S.F.
BUILDING ROOF AREA*	3,889	3,889	0	0
DRIVEWAY & PARKING	3,568	3,568	725	725
POOL AND POOL DECK	1,896	1,896	0	0
PATIOS & WALKWAYS	2,069	2,069	0	0
TOTAL IMPERVIOUS AREA	11,422	11,422	725	725
NET CHANGE IN IMPERVIOUS AREA	- 10,697 SQFT (NET DECREASE)			
PERVIOUS PAVING				
PERVIOUS PAVER DRIVEWAY	0	0	4,485	4,485
PERMEABLE GRASSPAVE DRIVEWAY	0	0	0	0
TOTAL PERVIOUS PAVING AREA	0	0	4,485	4,485
NET CHANGE IN PERVIOUS PAVING AREA	+4,485 SQFT (NET INCREASE)			
TOTAL DEVELOPED AREA	11,422	11,422	5,210	5,210
NET CHANGE IN DEVELOPED AREA	- 6,212 SQFT (NET DECREASE)			
LANDSCAPE	68,318			74,530

\*HARDSCAPE BELOW ROOF LINE INCLUDED IN ROOF AREA (ROOF AREAS BASED ON ARCHITECT ROOF PLAN)



**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
REGIONAL OFFICES:  
MAIN OFFICE: 16000 N. 1ST AVE. SUITE 100  
DUBLIN, CALIFORNIA 94568  
(510) 887-4086  
WWW.LEABRAZE.COM

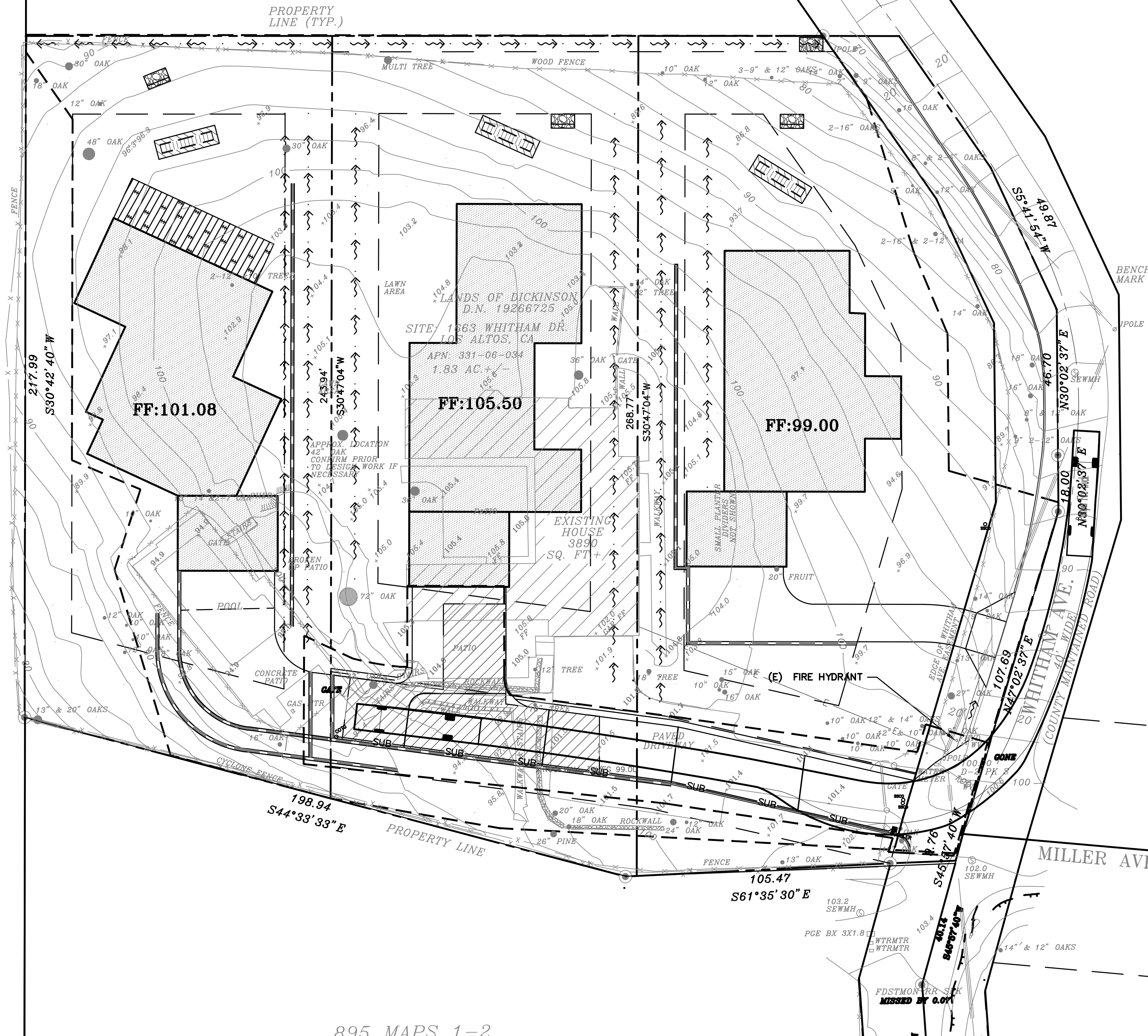
DICKINSON RESIDENCE  
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LOS ALTOS, CALIFORNIA

APN: 331-06-034  
SANTA CLARA COUNTY

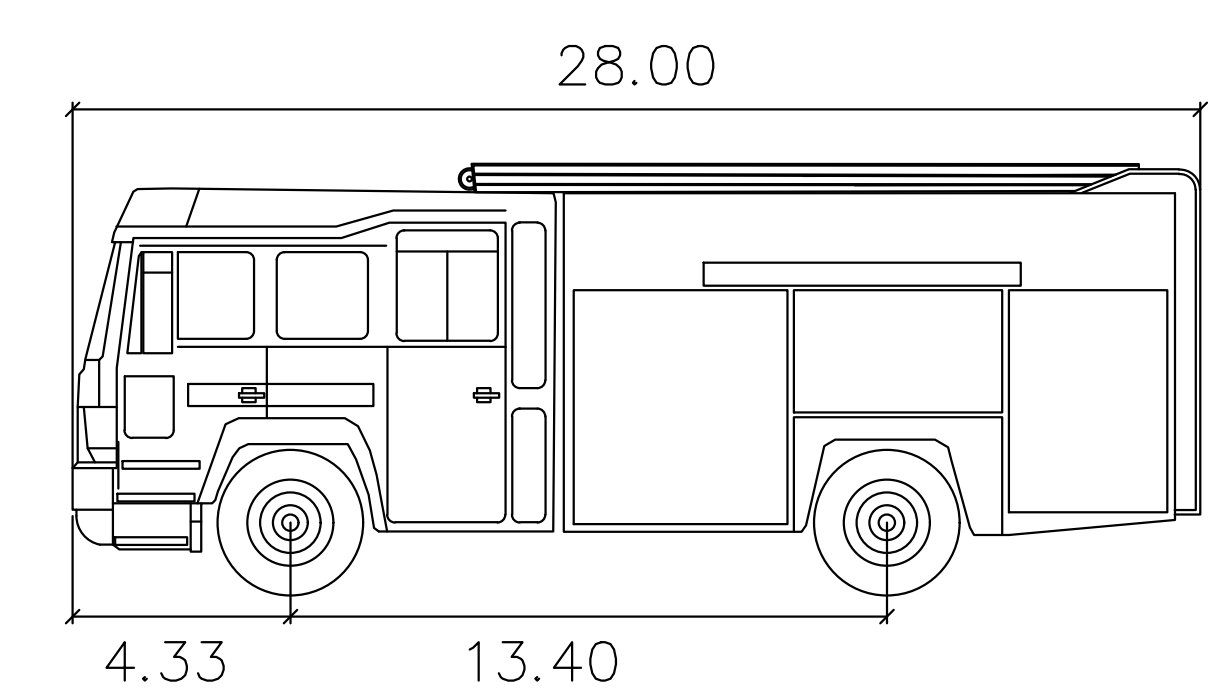
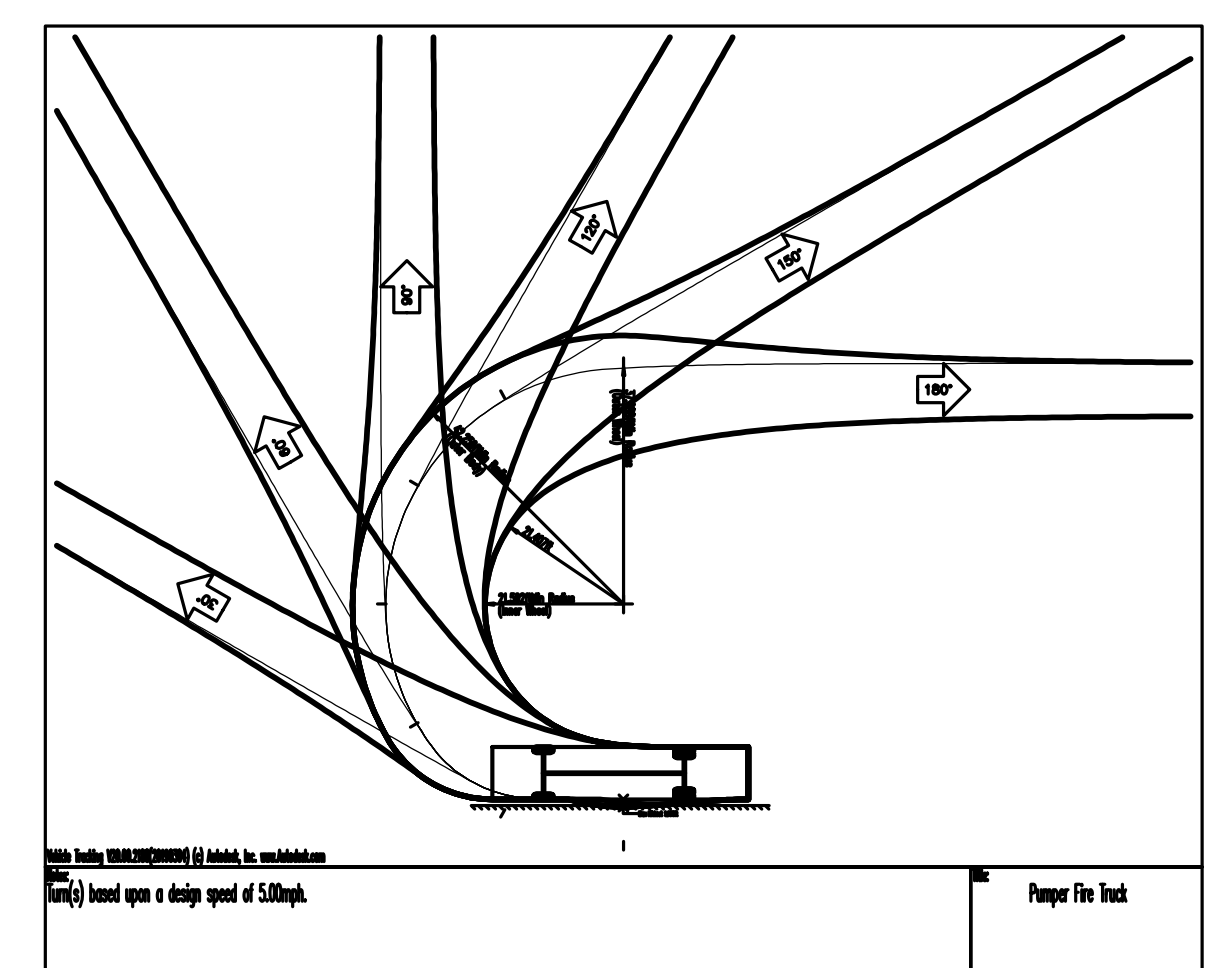
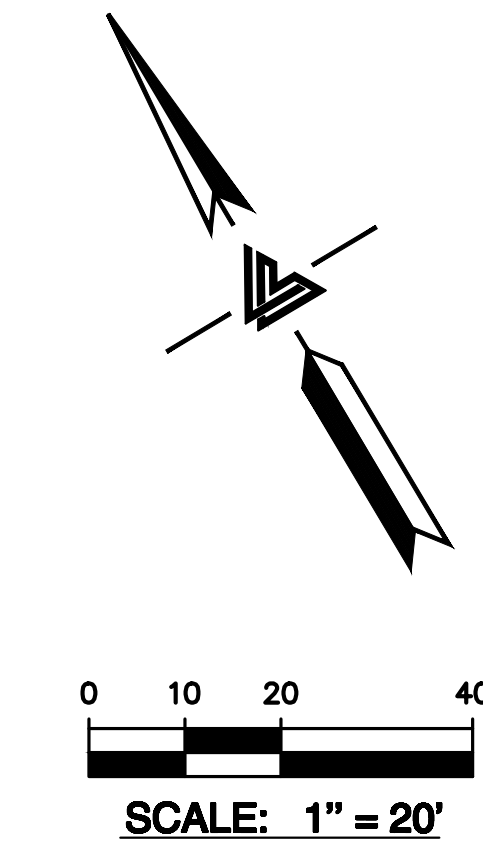
PRELIMINARY SITE  
IMPROVEMENT

REVISIONS	BY
JOB NO:	2240997
DATE:	08-05-24
SCALE:	AS NOTED
DESIGN BY:	DH
CHECKED BY:	PC
SHEET NO:	





895 MAPS 1-2



Santa Clara County Fire  
feet  
Width : 8.20 Lock to Lock Time : 6.0  
Track : 5.74 Steering Angle : 34.3



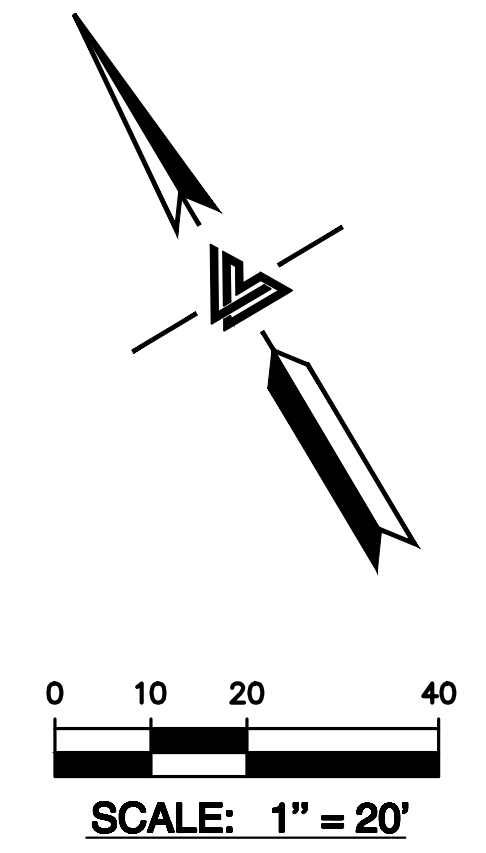
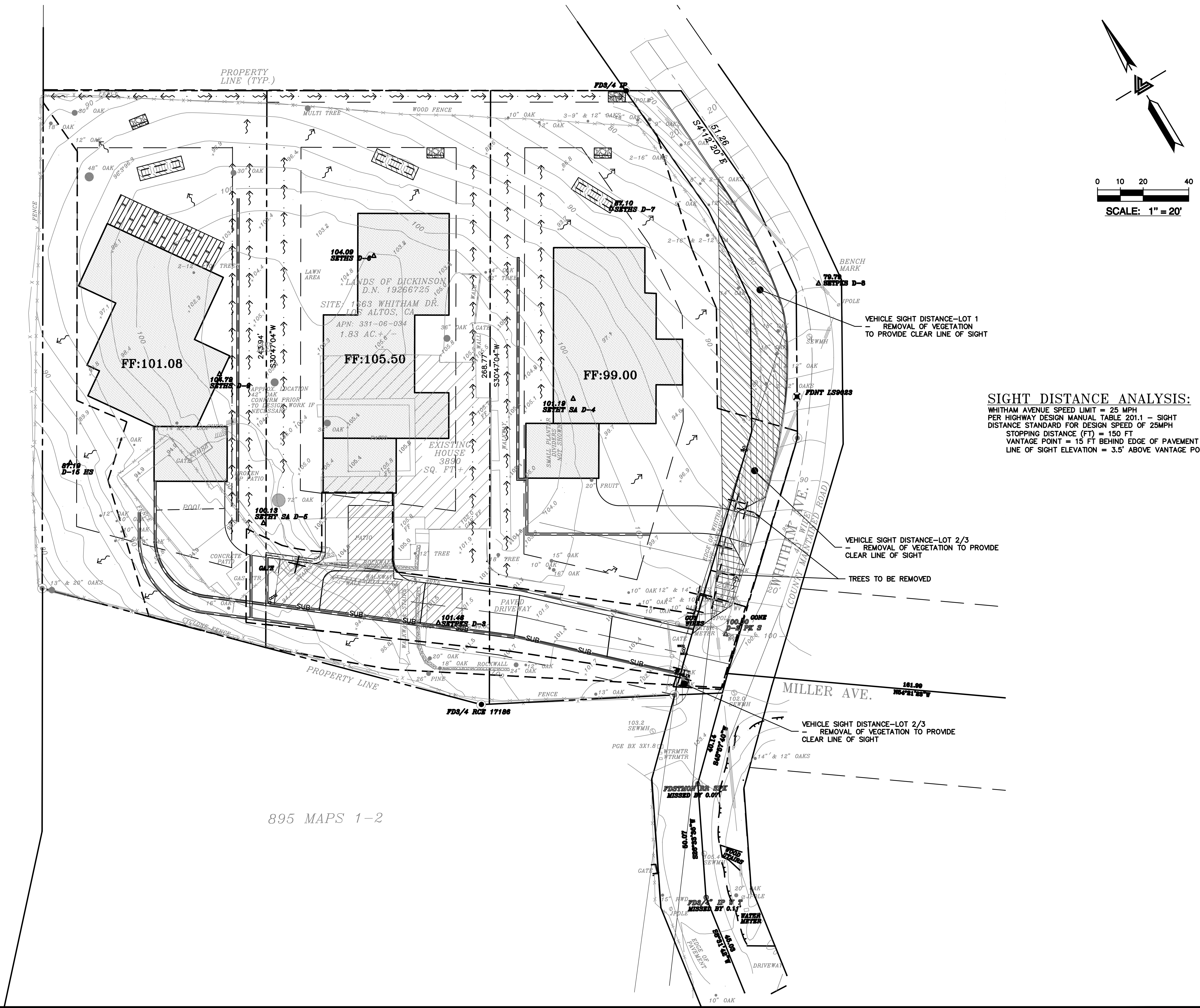
**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
REGIONAL OFFICES:  
SAN JOSE  
SAN FRANCISCO  
SAN DIEGO  
SAN JOSE  
(510) 887-4066  
WWW.LEABRAZE.COM

**DICKINSON RESIDENCE**  
1663 WHITHAM AVENUE  
LOS ALTOS, CALIFORNIA  
SANTA CLARA COUNTY  
APN: 331-06-034

**FIRE TRUCK  
TURNING EXHIBIT**

REVISIONS	BY
JOB NO: 2240997	
DATE: 08-05-24	
SCALE: AS NOTED	
DESIGN BY: DH	
CHECKED BY: PC	
SHEET NO:	
<b>C-5.0</b>	
5 OF 9 SHEETS	





**SIGHT DISTANCE ANALYSIS:**  
WHITHAM AVENUE SPEED LIMIT = 25 MPH  
PER HIGHWAY DESIGN MANUAL TABLE 201.1 - SIGHT  
DISTANCE STANDARD FOR DESIGN SPEED OF 25MPH  
STOPPING DISTANCE (FT) = 150 FT  
VANTAGE POINT = 15 FT BEHIND EDGE OF PAVEMENT  
LINE OF SIGHT ELEVATION = 3.5' ABOVE VANTAGE POINT

VEHICLE SIGHT DISTANCE-LOT 1  
- REMOVAL OF VEGETATION  
TO PROVIDE CLEAR LINE OF SIGHT

VEHICLE SIGHT DISTANCE-LOT 2/3  
- REMOVAL OF VEGETATION TO PROVIDE  
CLEAR LINE OF SIGHT

TREES TO BE REMOVED

VEHICLE SIGHT DISTANCE-LOT 2/3  
- REMOVAL OF VEGETATION TO PROVIDE  
CLEAR LINE OF SIGHT



**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
REGIONAL OFFICES:  
MAIN OFFICE: 10000 PARKWAY WEST  
DUBLIN, CALIFORNIA 94568  
(510) 887-4066  
WWW.LEABRAZE.COM

**DICKINSON RESIDENCE**  
1663 WHITHAM AVENUE  
LOS ALTOS, CALIFORNIA  
SANTA CLARA COUNTY  
APN: 331-06-034

**SIGHT DISTANCE  
EXHIBIT**

-	-
-	-
-	-
-	-
-	-
REVISIONS	BY
JOB NO:	2240997
DATE:	08-05-24
SCALE:	AS NOTED
DESIGN BY:	DH
CHECKED BY:	PC
SHEET NO:	
<b>C-6.0</b>	
6 OF 9 SHEETS	





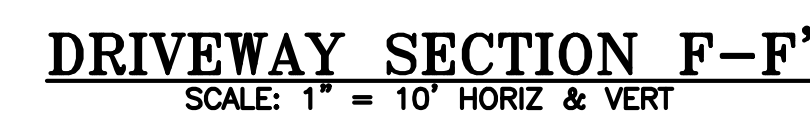
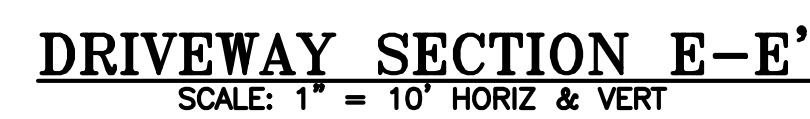
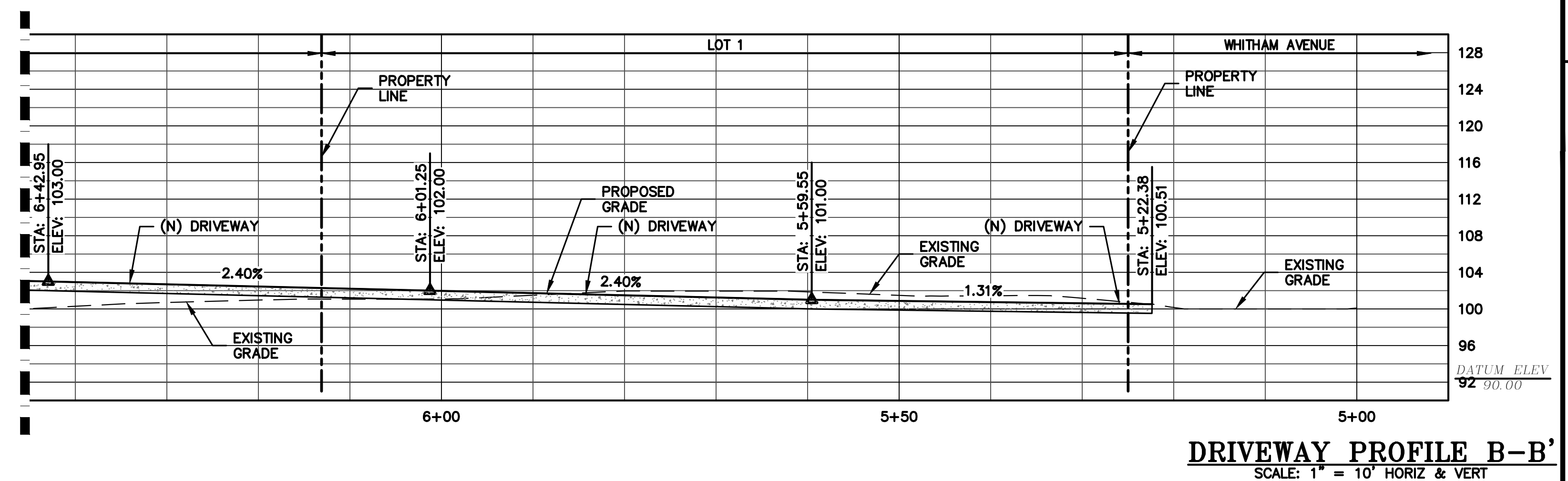
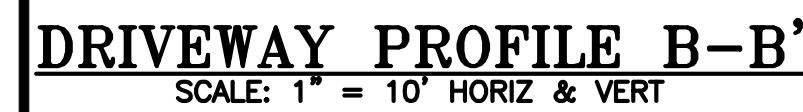
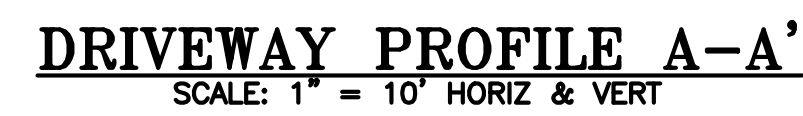
DICKINSON RESIDENCE  
1663 WHITHAM AVENUE  
LOS ALTOS, CALIFORNIA  
APN: 331-06  
SANTA CLARA COUNTY

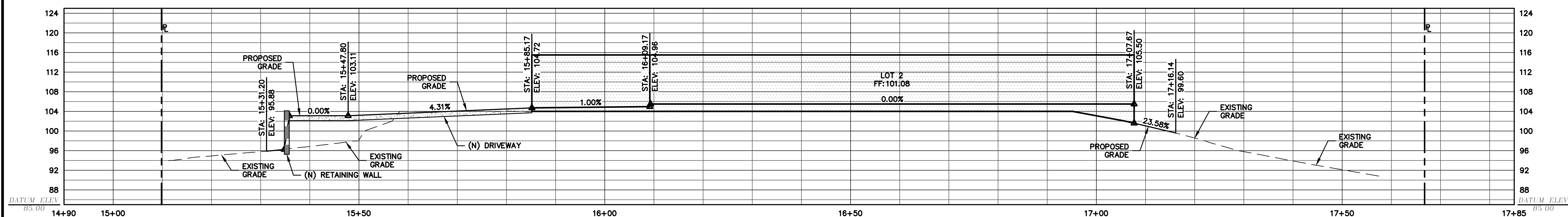
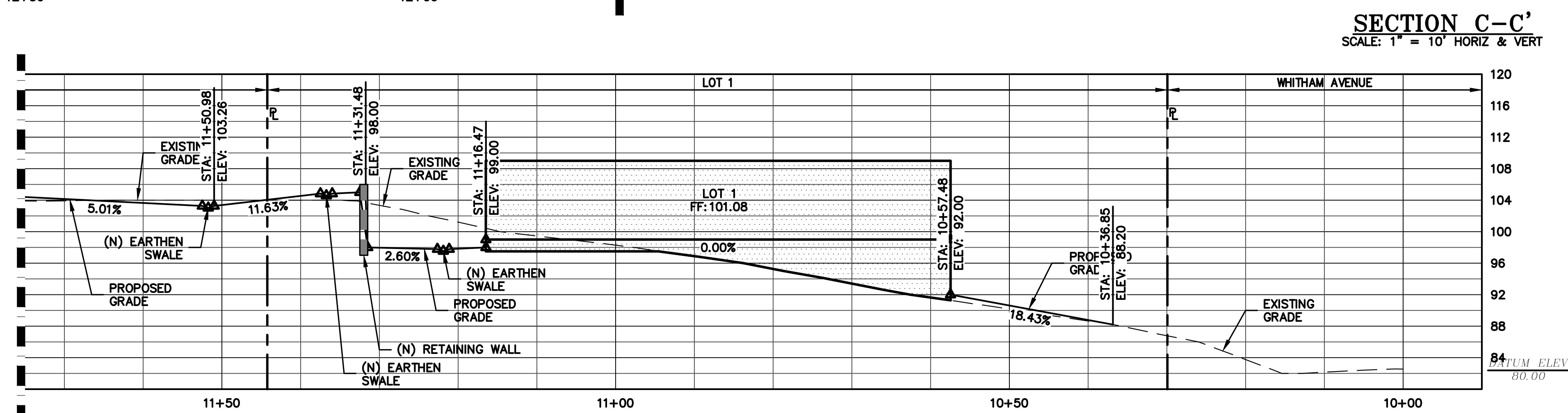
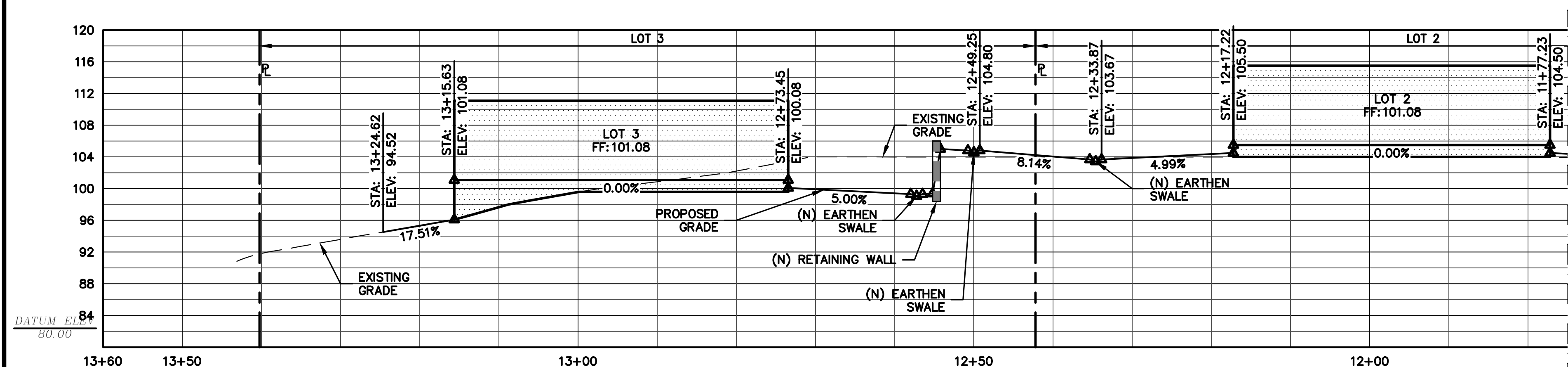
## DRIVEWAY PROFILES AND SECTIONS

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REVISIONS	BY
8 NO:	2240997
TE:	08-05-24
ALE:	AS NOTED
SIGN BY:	DH
CHECKED BY:	PC
EET NO:	

**C-7.0**

OF 9 SHEETS

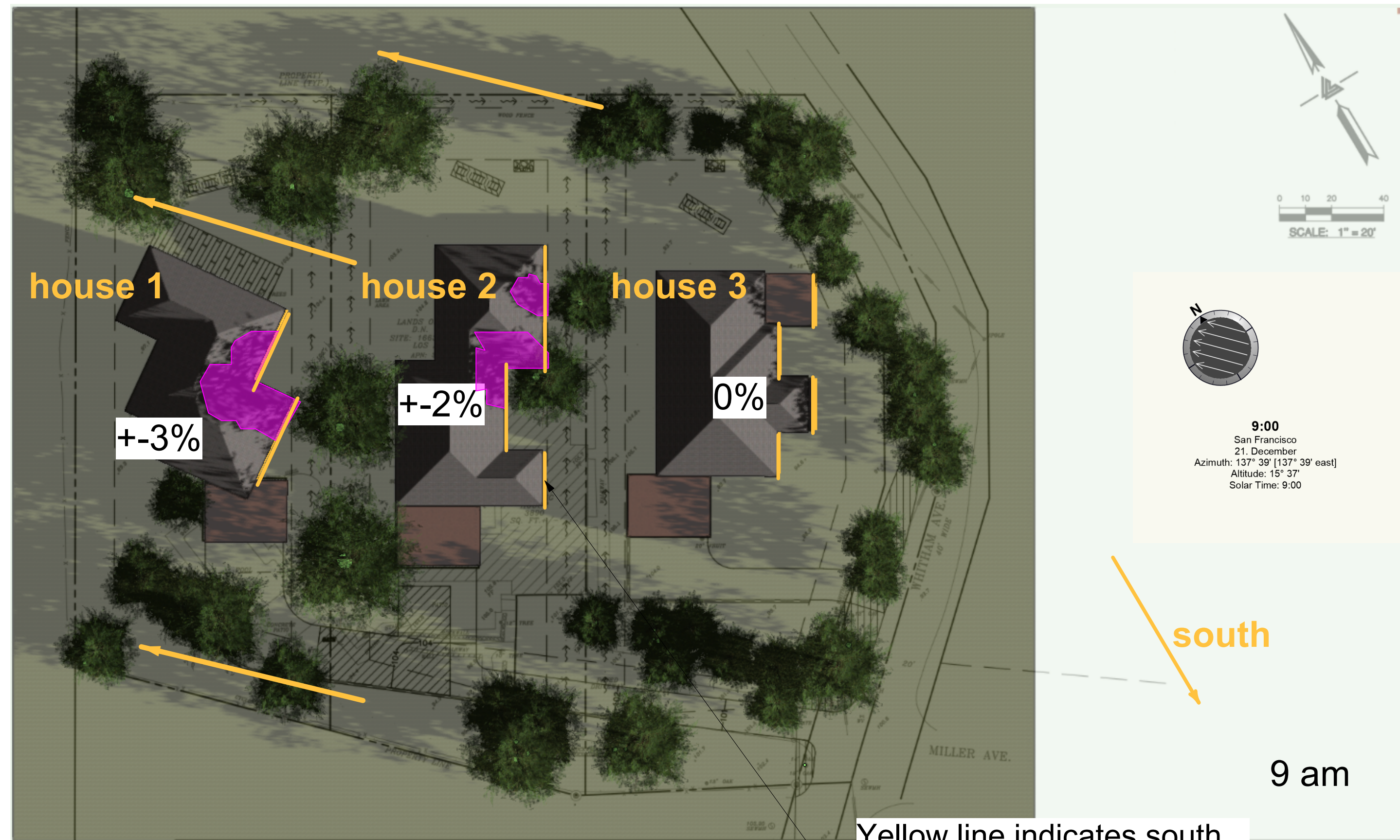




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REVISIONS	BY
JOB NO: 2240997	
DATE: 08—05—24	
SCALE: AS NOTED	
DESIGN BY: DH	
CHECKED BY: PC	
SHEET NO:	
<b>C-7.1</b>	
8 OF 9 SHEETS	



prevailing wind direction (N, NW)



See plan for % of trees shadows coverage over upper roofs

Yellow line indicates south facing walls, typ.

n.t.s.

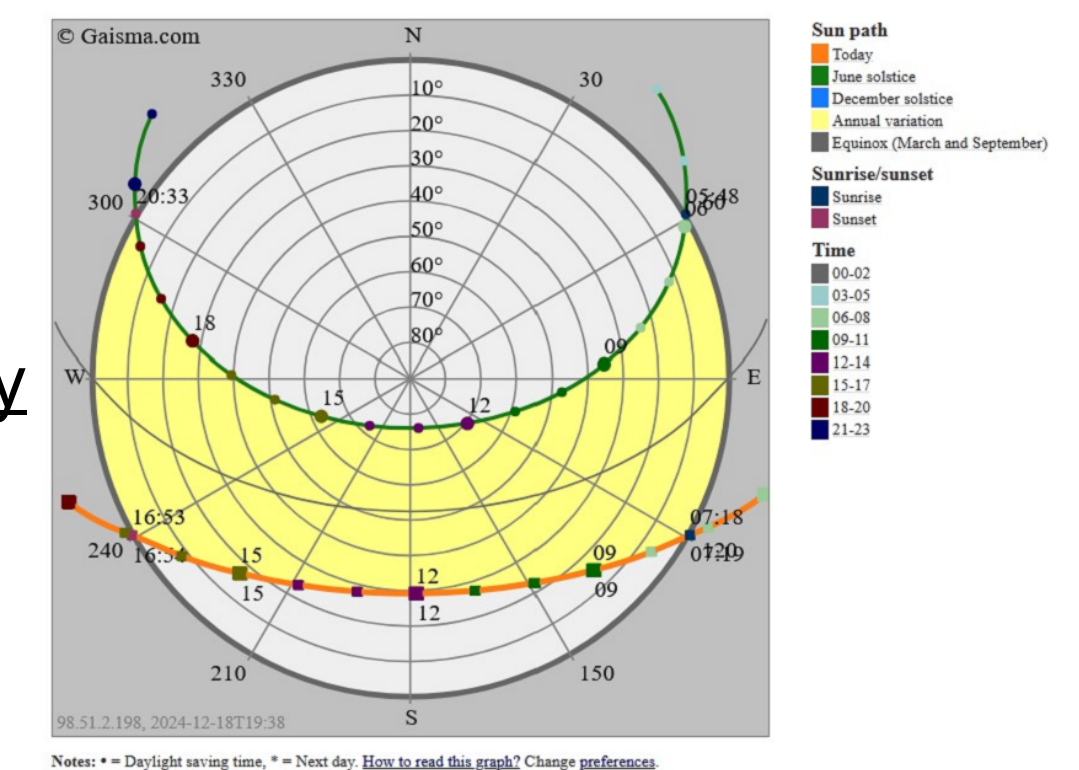


See plan for % of trees shadows coverage over upper roofs

n.t.s.



### December 21st Sun Access Study



on		on	Revision	Revision
Sheet Scale : AS NOTED		Drawn By DG	Reviewed By DG	12/19/2024
PIZZATO RESIDENCES		SA 1		
1663 Whitham Ave		1663 Whitham Ave Los Altos, CA 94024		



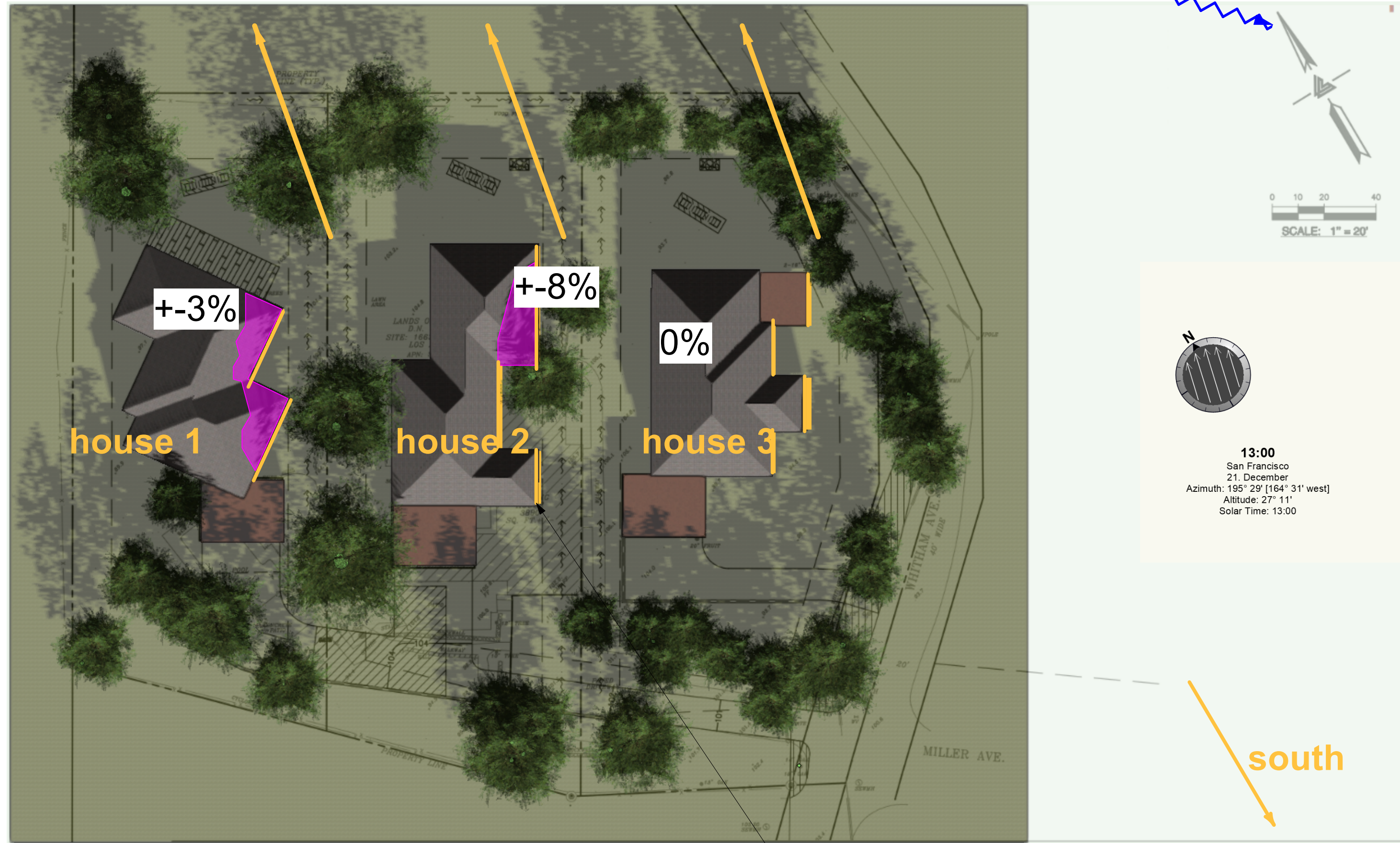
644 N. Santa Cruz Ave, Suite 6  
Los Gatos, California 95030  
T. 408-219-0601  
dg@acadia-architecture.com

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SA 1

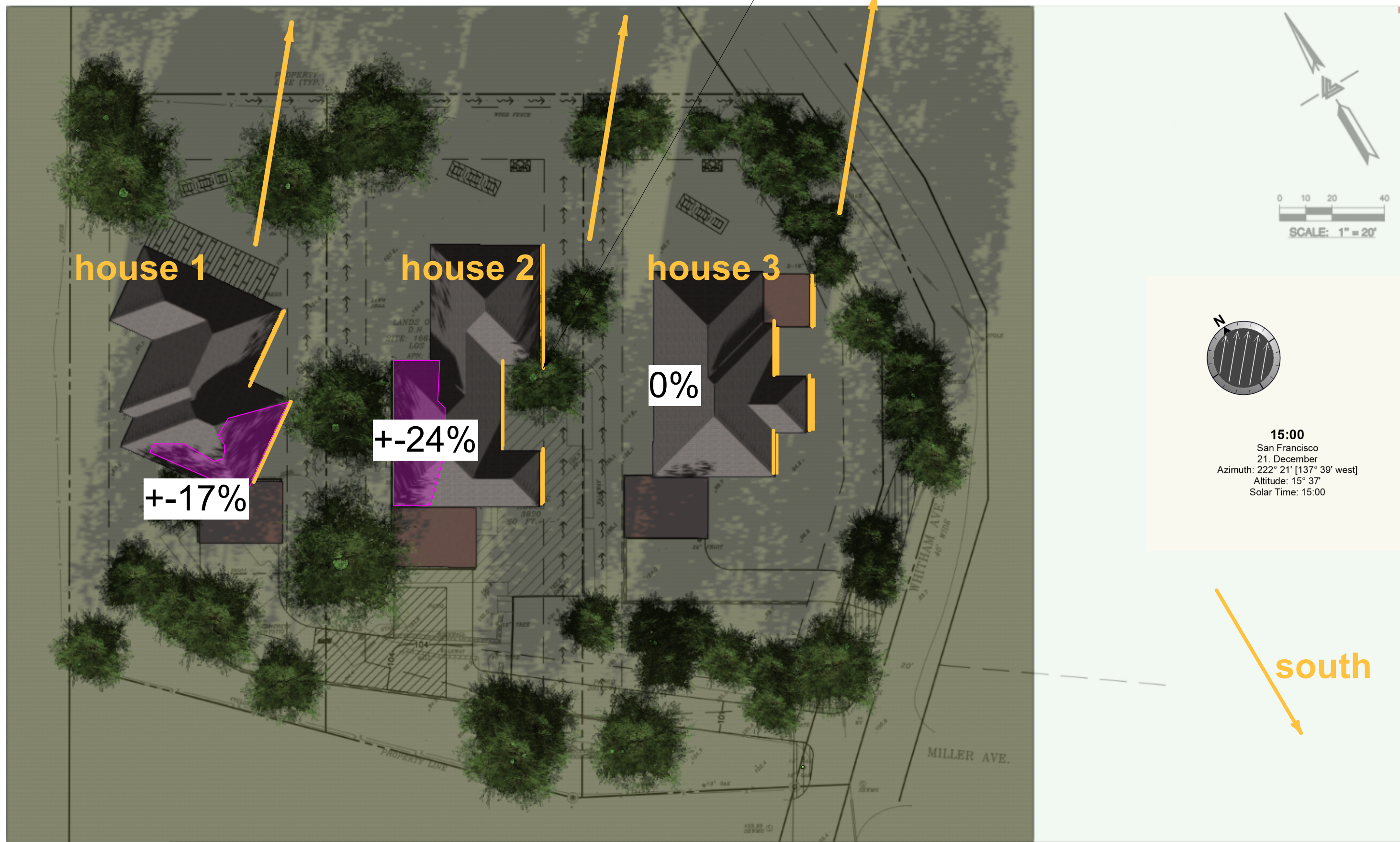




See plan for % of trees shadows coverage over upper roofs

Yellow line indicates south facing walls, typ.

n.t.s.



See plan for % of trees shadows coverage over upper roofs

n.t.s.

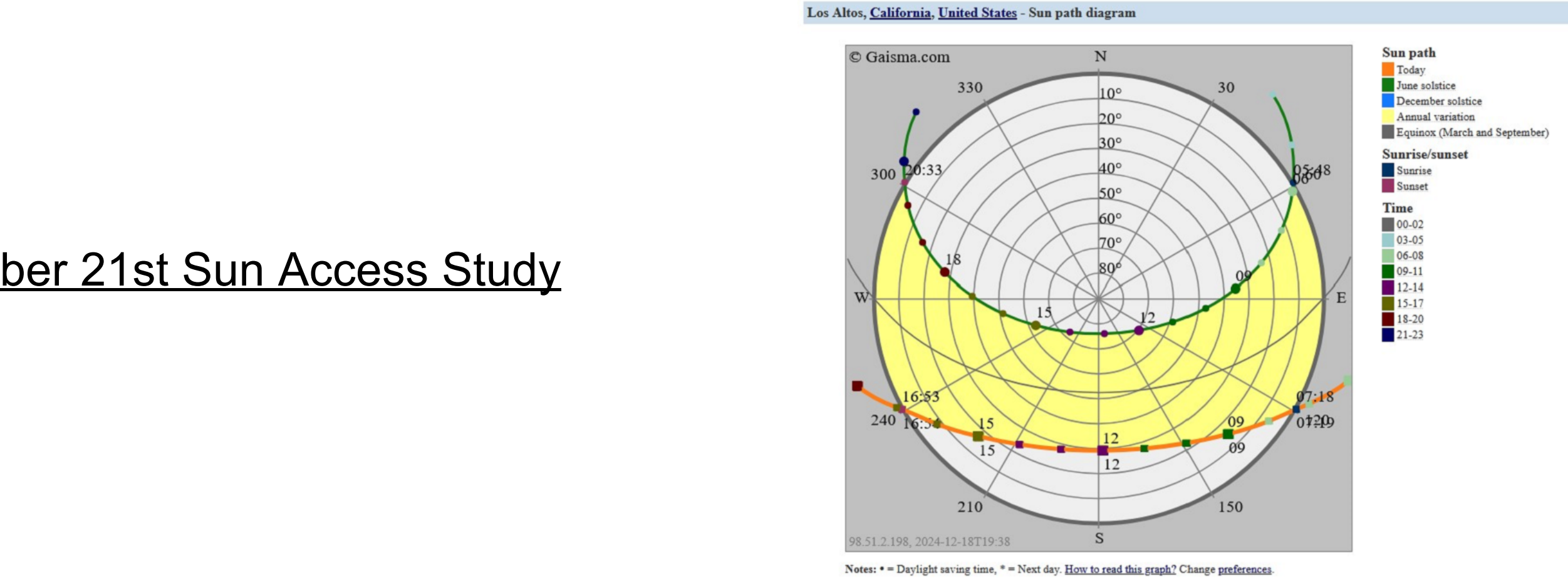
prevailing wind direction (N, NW)

HOUSE 1  
10% SOUTH FACING WALL WITHIN  
TREES SHADOW

HOUSE 2  
10% SOUTH FACING WALL IN SHADE

HOUSE 3  
0% SOUTH FACING WALL IN SHADE

December 21st 1pm



December 21st Sun Access Study



December 21st 3pm

Revision	Revision	Revision	Revision
PIZZATO RESIDENCES			
1663 Whitham Ave 1663 Whitham Ave Los Altos, CA 94024			
SA 2			
Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG	12/19/2024



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SA 2



# Attachment E

## General Plan Conformance and Contiguity Annexation Form

## GENERAL PLAN CONFORMANCE AND CONTIGUITY / ANNEXATION STATEMENT

This form must be completed by: (a) the property owner or project applicant, (b) the County Planning Office, and (c) the involved city before certain applications can be accepted for processing. Determination by the city is required for general plan conformance and/or annexation, as noted below. Application for development must be submitted within six (6) months of the date of the City Planning Department's determination, or a current form and determination will be required.

### General Plan Conformance

☒ Proposals for LOT LINE ADJUSTMENT, SUBDIVISION, USE PERMIT, or ZONE CHANGE on unincorporated county land within a city's urban service area must conform to the applicable use and density provisions of the city general plan. ARCHITECTURE AND SITE APPROVAL for multi-family residential development shall also be subject to city general plan conformance.

☐ Not Applicable

### Contiguity /Annexation

☐ Applicants proposing ARCHITECTURE AND SITE APPROVAL, BUILDING PERMIT for a new residence, BUILDING SITE APPROVAL for a new residence, SUBDIVISION, USE PERMIT, or ZONE CHANGE on unincorporated land within a city's urban service area deemed "contiguous" to that city may be subject to city annexation. "Contiguous" means property is either: (a) abutting city boundary, (b) directly across the street from boundary, or (c) within 300 feet of boundary measured along a public road and within territory entirely surrounded by city(ies).

☒ Not Applicable

§66412 of the Subdivision Map Act, §§ 5.20.060 and 5.20.070 of the County Zoning Ord., and § C1-52 of the County Ordinance Code.

## STEP 1

### TO BE COMPLETED BY OWNER OR APPLICANT

#### Applicant Information:

HEATHER DICKINSON  
NAME  
1663 WHITHAM AVE  
MAILING ADDRESS  
LOS ALTOS, CA 94024  
CITY STATE ZIP  
650.575.6557  
TELEPHONE #

#### Property Description:

1663 Whitham Avenue, Los Altos, CA  
STREET ADDRESS  
331-06-034  
APN  
74,923 s.f. (1.72 acre)  
LOT SIZE

Existing Use: Residential

Proposed Use (in detail): Subdivision of an existing 1.72 acre lot into three (3) lots.

APPLICANT SIGNATURE:

Heather Dickinson

DATE:

March 6, 2024

continued on reverse

6/04

**STEP 2****TO BE COMPLETED BY COUNTY STAFF****General Plan Conformance**

- ☐ Lot Line Adjustment
- ☒ Subdivision
- ☐ Use Permit
- ☐ Zone Change
- ☐ Architecture and Site Approval (Multi-family residential projects only)

**Contiguity / Annexation**

- ☐ Architecture and Site Approval
- ☐ Building Permit (additions, 2nd dwellings, currently valid time-limited site approvals excepted)
- ☐ Building Site Approval (additions & 2nd dwellings excepted)
- ☐ Subdivision
- ☐ Use Permit
- ☐ Zone Change

**Involved City:**

Town of Los Atlos

**Property is:**

- ☐ Directly adjacent to city boundary or directly across street from city boundary.
- ☐ Within 300 ft. of city boundary, as measured along a public road (§ 5.20.070(A)(3)).

**County Comments:** Applicant is proposing a subdivision of an existing 1.72 acre lot into three (3) lots.

Lara Tran, Senior Planner

NAME/TITLE

(408) 299-5759

TEL#

03/01/2024

DATE

**STEP 3****TO BE COMPLETED BY CITY PLANNING DEPARTMENT****General Plan Conformance**

- ☒ Conforms to city general plan land use and/or residential density policies (application may be filed).
- ☐ Does not conform to city general plan land use and/or residential density policies (application may not be filed).

**Contiguity /Annexation**

- ☐ City waives annexation at this time.
- ☐ City annexation is required prior to development. Application may not be filed with county.
- ☐ Project does not qualify for annexation due to location with respect to city boundary.

**NOTE:** Per the County Ordinance Code, cities are not authorized to impose conditions when issuing a determination on annexation or general plan conformance. If the city waives annexation and the project site remains unincorporated, county development standards and procedures (not city standards/procedures) will apply.

**City Comments:**

Stephanie Williams

NAME/TITLE

650-947-2633

TEL#

3-11-24

DATE



# Attachment F

## County of Santa Clara Subdivision Compliance Exhibit

# ATTACHMENT F

## County of Santa Clara Subdivision Compliance Exhibit (County Ordinance Sec. C12-21)

Letter	Language	Meets Criterion (Y / N / N.A.)
(a)	Each lot shall have an area equal to or greater than that required by the Zoning Ordinance or as allowed or required under other applicable regulations, such lot area to be sufficient for the house, setbacks, yards, septic tank and well, if required, and any necessary cuts or fills and drainage facilities. The size and shape shall be such that any necessary permits can be issued under normal review procedures based upon application of ordinance requirements and acceptable design principles. Future street openings and street extensions for traffic circulation must be provided. Lots typically shall have frontage on only one street where practicable, but may have double frontage when necessary because of natural terrain features.	Y
(b)	Lots shall have frontage on a street or legal access to a right-of-way as the principal vehicle access to the lot.	Y
(c)	The side lines of lots will be required to run at right angles to the street upon which the lot faces, as far as practical.	Y
(d)	Where practicable, residential lots adjacent to a major collector street or highway which is planned for four or more lanes shall be designed to front on a street one lot depth removed from the major street or highway, or an intersecting side street.	N.A.
(e)	Corner lots shall have extra width, sufficient to permit the maintenance of building setback lines on both front and side streets. Ordinarily, the width required will be the amount of the established building setback lines on the side street plus a reasonable building width plus such side yard width as may be required by law for the interior side of the lot.	Y
(f)	All lots shall be suitable for the purpose for which they are intended to be sold.	Y
(g)	All lots shall be designed to provide the maximum in safety and human enjoyment while taking advantage of the best natural building sites. Trees of significant value and the natural contours of the land shall be preserved as much as possible.	Y
(h)	Where lots have frontage on a roadway which is not designed to permit parking, off-street parking shall be provided. Either individual lot or common parking areas may be used. Common parking areas to serve several dwelling units shall be designed for two spaces per dwelling unit, exclusive of garage or carport. If common parking areas are not used, each lot shall be improved to provide off-street	N.A.

	parking spaces for four cars in addition to parking provided within garages or carports. Driveways may be used to provide this parking.	
(i)	Lot widths have a significant effect on aesthetics and improvement cost. To avoid undesirable narrow, deep lots and to achieve a reasonable balance in lot design and improvement costs, lots (except cluster developments) generally shall have a maximum depth to width ratio of three-to-one.	<b>Y</b>