

County of Santa Clara

Department of Planning and Development

"People Centered Services"

County Government Center, East Wing, 7th Floor

70 West Hedding Street

San José, CA 95110

Phone: (408) 299-5700

Website: plandev.santaclaracounty.gov



STAFF REPORT
Zoning Administration

April 9, 2025

Item No. 3

Staff Contact: Reva Kakaria, Assistant Planner
(408) 299-5792, reva.kakaria@pln.sccgov.org

File: PLN24-185

Special Permit for a new accessory structure with 5 plumbing fixtures

Summary: Special Permit for a new 195 square foot accessory structure with more than two plumbing fixtures, including a shower, toilet, sink, pool filter, and pool pump. Associated site improvements include the removal of an existing accessory structure in the same location.

Owner: Anja Hamilton

Applicant: Powell and Associates

Address: 2325 Dahlberg Drive, Morgan Hill

Present Land Use: Single-Family Residence

Supervisory District: 1

GP Designation: Rural Residential

Zoning: RR

APN: 773-16-014

Lot Size: 1.2 acres

HCP: Permit Area 2

RECOMMENDED ACTIONS

- A. Accept a Categorical Exemptions under Section 15303(e) of the CEQA Guidelines, Attachment A; and,
- B. Grant the request for a Special Permit, pursuant to the Conditions of Approval outlined in Attachment B.

ATTACHMENTS INCLUDED

Attachment A – Proposed CEQA Determination

Attachment B – Preliminary Conditions of Approval

Attachment C – Location and Vicinity Map

Attachment D – Proposed Plans

PROJECT DESCRIPTION

The proposed project is for a Special Permit for a 195 square foot accessory structure with more than two plumbing fixtures (5 fixtures in total). The uses of the structure include a full

bathroom, a sauna, and a pool equipment storage area. An existing shed for pool equipment is located in the same location as the proposed new structure, and is proposed to be removed to accommodate the new structure. No tree removal or grading is proposed. (Attachment D – Proposed Plans).

Setting/Location Information

The subject parcel is 1.2 gross acres and is located west of the City of Morgan Hill, in the southern portion of the unincorporated county. The subject property takes access from a private road, Dahlberg Drive, and was created as part of an approved subdivision in 1972, recorded in Parcel Map 311M35. The property is adjoined by single-family residences to the south and west, and vacant parcels to the north and east (Attachment C – Location & Vicinity Map)

The property is located in Habitat Conservation Plan Area 2: Rural Development Equal to or Greater Than 2 Acres Covered and does not require coverage by the Habitat Plan as there are no sensitive land covers, riparian areas, or plant/wildlife survey areas shown on the Santa Clara Valley Habitat Plan GIS map, and the lot is under 2 acres in area. A review of the California Natural Diversity Database did not reveal the known presence of any special-status species on site.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project has been reviewed in accordance with the California Environmental Quality Act (CEQA). The project qualifies for a Categorical Exemption under Section 15303(e) of the California Environmental Quality Act (CEQA) for the construction of an accessory structure and removal of an existing accessory structure. Additionally, no unusual circumstances exist on the site that constitute significant effects, per subsection 15300.2. As such, an Initial Study and further analysis under CEQA were not required.

B. Project/Proposal

1. **General Plan:** Rural Residential
2. **Zoning Standards:** The Zoning Ordinance specifies the required development standards for accessory structures in the RR Zoning District, as summarized below in the table noting the project’s conformance with Section 4.20.020 for accessory structures:

Table A: Compliance with Development Standards for Accessory Structures

STANDARDS & REQUIREMENTS	CODE SECTION	Meets Standard (Y/N)*
Located in the Rear Yard or a Minimum of 75 feet from the Front Property Line	§ 4.20.020 (E)(2)	Y
Height	§ 4.20.020 (E)(1)	Y
Minimum Separation Between Residence and Accessory Structure	§ 4.20.020 (E)(4)	Y

Rear Yard Coverage	§ 4.20.020 (E)(5)	Y
Corner Lot Abutting a Key Lot	§ 4.20.020 (F)(3)	Y

*Refer to additional discussion of these development standards within the body of the Special Permit Findings for the accessory structure in Section C below.

C. **Special Permit:** In addition to the development standards identified in Section B above, accessory structures with three or more plumbing fixtures are subject to a Special Permit (Chapter 5.60). In the following discussion, the scope of review findings for a Special Permit are delineated in bold type, and an explanation of how the project meets the required findings is in plain text below. The Zoning Administrator is required to make these findings to approve the project.

1. Special Findings for accessory structures with more than two plumbing fixtures (§ 4.20.020 (I)(2)): Residential accessory buildings (such as pool cabanas) with more than two (2) internal plumbing fixtures may be allowed if a special permit is obtained, per Chapter 5.60, and all of the following specific findings are made:

- i. Must conform to the development standards specified in this chapter. More restrictive setbacks may be required in order to mitigate detrimental impacts on neighboring properties.**

The accessory structure conforms with the applicable accessory structure setbacks, as it is proposed to be located 86 feet away from the front property line. The structure is not located within any of the property setbacks as it is proposed to be located at least 40 feet away from all other property lines. The structure is proposed to be 10 feet and 10 inches tall, which does not exceed the 12-foot height maximum allowed by Zoning Ordinance Section 4.20.020. A separation of 31 feet is proposed between the accessory structure and the existing primary residence. The proposed structure is not located nearer to Dahlberg Drive right-of-way than the depth of the front yard setback of the adjacent key lot. As such, this finding can be made.

- ii. May not be used for dwelling purposes or overnight accommodation.**

The structure is proposed to be used in association with an existing permitted swimming pool and is equipped with a shower, toilet, and sink. It also includes a sauna, and a pool storage/equipment room with a pool filter, pump, and water heater. An outdoor shower is mounted on the exterior wall of the structure. The applicant does not propose to use the accessory structure for overnight or dwelling purposes. The project has been conditioned to prohibit the use of the cabana as a dwelling (Condition No. 5). As such, this finding can be made.

iii. Must be of an appropriate size and design for the intended use, and should be configured in a manner that is clearly inappropriate and impractical for dwelling purposes.

The proposed structure is 195 square feet, and does not contain any enclosed rooms that are practical for dwelling purposes. The three proposed rooms are a full bathroom, a sauna, and pool equipment storage room. The floor plan is not configured in a manner that is appropriate for dwelling purposes and appears to be suited to the proposed use of a residential accessory structure. As such, this finding can be made.

2. The proposed use conforms with the general plan, with the zoning ordinance, and with all standards applicable to the proposed use that have been adopted by the Planning Commission or Board of Supervisors;

As discussed in Section B, the proposed development meets applicable zoning ordinance standards. The use of the accessory structure is accessory to the single-family residential use of the subject property, which is an allowed use pursuant to R-LU 57, and is a use allowed by right as shown in Table 2.20-1 in the Zoning Ordinance. As such, this finding can be made.

3. The site is adequate for the proposed use, including but not limited to being of adequate size and shape to accommodate all facilities and development features to integrate the use into the surrounding area and to provide any necessary or appropriate buffers between the use and the surrounding area;

The subject property is a 1.2-acre lot, and the proposed accessory structure would be accessory to the single-family residential use on the property. The site is adequate for the proposed use and development as the structure meets all required setbacks and requires no grading. The existing landscaping provides an additional buffer between the proposed use and the adjacent properties. As such, this finding can be made.

4. The proposed use will not be detrimental to the public health, safety, or general welfare. In this respect the zoning administrator shall further find, without limitation, that:

i. Adequate off-street parking, loading and unloading areas (if applicable) and handicapped access will be provided;

The property has adequate space for off-street parking as the existing residence has an attached 528 square foot garage. Ancillary parking areas are also present on the property. Therefore, there is capacity on the project site to accommodate the required minimum of two parking spaces (one covered) per County Zoning Ordinance Section 4.30.030. As such, this finding can be made.

- ii. Appropriately designed site access will be provided, including safe and adequate access for fire and emergency vehicles (including secondary access where deemed necessary by the fire marshal);**

The existing single-family residence and driveway was required to meet the minimum standards of the Fire Marshal's Office prior to final building approval and occupancy, and was approved by the Fire Marshal's Office under Building Permit 1975-22431-00. Additionally, the proposed accessory structure is under 500 square feet in size and not subject to review by the Fire Marshal's Office. As such, this finding can be made.

- iii. The use will not adversely affect water quality. Adequate wastewater treatment, disposal and sanitation facilities will be provided and will satisfy all applicable local, state and federal requirements;**

The proposed accessory structure would utilize an onsite wastewater treatment system (OWTS). The OWTS and expansion area were reviewed by the County of Santa Clara Department of Environmental Health (DEH) and the project is conditioned to require OWTS clearance prior to development permit issuance (Condition No. 20). As such, this finding can be made.

- iv. The use will not be detrimental to the adjacent area because of excessive noise, odor, dust or bright lights;**

The accessory structure would not create noise, odor, dust, or excessive light impacts. Furthermore, residential and accessory uses are subject to the County Noise Ordinance. As such, this finding can be made.

- v. The use will not substantially worsen traffic congestion affecting the surrounding area;**

The accessory structure will not create any additional traffic as the use will be ancillary to the single-family residential use on the property and does not on its own, function as a building that would increase capacity or density on the site related to increased traffic generation. As such, this finding can be made.

- vi. Erosion will be adequately controlled; and**

Standard conditions related to erosion control have been applied and Best Management Practices (BMPs) will be required for the construction of the project through building permit review. Inspections during construction will ensure that the BMPs are followed as required by the conditions of approval and future building permit approval. As such, this finding can be made.

- vii. Adequate storm drainage management exists or will be provided and will comply with all applicable local, state and federal requirements.**

The Special Permit would not trigger the requirement of a Drainage Permit. However, the project has been reviewed and conditioned by Land Development Engineering to comply with all local, state, and federal requirements. As such, this finding can be made.

In conclusion, Staff recommends that the Zoning Administration Hearing Officer approve the Special Permit for an accessory structure with more than two internal plumbing fixtures. As noted throughout the Staff Report, the proposed project meets all development standards for residential accessory structures and meets all the findings for a Special Permit.

BACKGROUND

On September 20, 2024, the applicant applied for a Special Permit for the proposed accessory structure. After three application reviews, the application was deemed complete on March 6, 2025. As such, the Permit Streamlining Act deadline for a decision on this project is May 5, 2025.

A public notice was mailed to all property owners within a 300-foot radius on March 27, 2025, and was also published in the Post Records on [March 28, 2025](#)¹. As of writing this report, no public comments have been received regarding this application.

STAFF REPORT REVIEW

Prepared by: Reva Kakaria, Assistant Planner

DocuSigned by:

Reva Kakaria

C401774762RC487

Reviewed by: Samuel Gutierrez, Principal Planner

DocuSigned by:



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¹ San Jose Post Record; <https://www.postrecord.news/home.cfm?ref=legalnotices&disp=1> – Legal Notices March 28, 2025; <https://www.postrecord.news/LegalNotices/SJR-2025-03-28.pdf>

Attachment A

Proposed CEQA Determination

STATEMENT OF EXEMPTION

from the California Environmental Quality Act (CEQA)

FILE NUMBER PLN24-185	APN(S) 773-16-014	 4/9/2025
PROJECT NAME New residential accessory structure with more than two plumbing fixtures	APPLICATION TYPE Special Permit	
OWNER Anja Hamilton	APPLICANT Powell and Associates	
PROJECT LOCATION 2325 Dahlberg Drive, Morgan Hill, CA 95037-9432		
PROJECT DESCRIPTION Special Permit for a new 195 square foot detached residential accessory structure with more than two plumbing fixtures, including a shower, toilet, sink, pool filter, and pool pump. Associated site improvements include the removal of an existing accessory structure in the same location. No tree removal or grading is proposed. All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects that meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.		
CEQA (GUIDELINES) EXEMPTION SECTION Section 15303(e) - Class 3(e): Examples of this exemption include, but are not limited to: Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences. The proposed project's environmental impacts were analyzed, resulting in a Categorical Exemption. The project will not create any significant environmental impacts as the project proposes no grading or impacts to the natural terrain. No tree removal is proposed. There are no watercourses, special-status species, or habitat mapped on the site. As such, the project qualifies for a Class 3, Section 15303(e) New Construction and Conversion of Small Structures Exemption from CEQA.		
COMMENTS The subject property is zoned to allow residential accessory uses by right. The proposed accessory structure requires a Special Permit for more than two internal plumbing fixtures, and meets Zoning Ordinance development standards.		
APPROVED BY:		
Reva Kakaria, Assistant Planner	<u>Reva Kakaria</u> Signature	<u>3/11/2025</u> Date

Attachment B

Preliminary Conditions of Approval

**SPECIAL PERMIT
PRELIMINARY CONDITIONS OF APPROVAL**

Date: April 9, 2025
Owner/Applicant: Anja Hamilton / Powell and Associates
Location: 2325 Dahlberg Drive, Morgan Hill, CA 95037-9432 (APN: 773-16-014)
File Number: PLN24-185
CEQA: Categorically Exempt – Section 15303, Class 3(e)

Project Description: Special Permit for a new 195 square foot accessory structure with more than two plumbing fixtures, including a shower, toilet, sink, pool filter, and pool pump. Associated site improvements include the removal of an existing accessory structure in the same location. No tree removal or grading is proposed. This project does not require coverage by the Santa Clara Valley Habitat Plan.

If you have any questions regarding the following preliminary conditions of approval, call the person whose name is listed below as the contact for that agency. They represent a specialty and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Reva Kakaria	(408) 299-5792	reva.kakaria@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 299-5748	darrin.lee@cep.sccgov.org
Land Development Engineering	Darrell Wong	(408) 299 5735	darrell.wong@pln.sccgov.org
Roads and Airports	Thomas Esch	(408) 573-2450	tom.esch@rda.sccgov.org

STANDARD CONDITIONS OF APPROVAL

Building Inspection

1. For detailed information about the requirements for a Building Permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at www.sccbuilding.org.

Planning

2. Development must take place in substantial conformance with the approved plans prepared by Powell and Associates Inc. and submitted to the Planning Office on February 12, 2025, and these Conditions of Approval. Any changes to the approved project must be submitted for review and approval by the Planning Office. Changes to the approved project may require a modification to this land use entitlement and/or additional environmental review under the California Environmental Quality Act, which may require a public hearing.
3. Permit Expiration: This approval by the Planning Office and accepted by the applicant, for a Special Permit, is valid for a period of forty-eight (48) months from the date of this approval. During this period, the conditions of approval must be completed and

development permits must be issued (Section C12-319). Failure to have development permits issued within forty-eight (48) months will result in this approval becoming invalid and void, unless an “Extension of Time Application” is submitted to and granted by the Planning Office in advance of the expiration of this approval.

4. Detached accessory structures shall be in the rear half of the lot, or at least 75 feet from the front property line or edge of the right-of-way, and shall not exceed 12 feet in height (Zoning Ordinance Section 4.20.020(E)). Rear yard coverage of cumulative detached accessory structures shall not be more than 30%, excluding greenhouses or agricultural structures.
5. Pursuant to Zoning Ordinance Section 4.20.020(I)(2) and as approved by this permit, the accessory structure may not be used for dwelling purposes or overnight accommodation.
6. Pursuant to Zoning Ordinance Section 4.20.020(J), pool filters, pumps, and other machinery appurtenant to swimming pools shall be located at least five feet from any property line or right-of-way.
7. Pursuant to Zoning Ordinance Section 4.20.020(F), in the case of a corner lot abutting two streets, no detached accessory building shall project beyond the minimum side yard setback requirements of the lot to the rear of the corner lot. However, when a corner lot abuts a key lot, no such accessory building shall be located nearer to the right-of-way of the streets upon which such key lot faces than a distance equal to the depth of the front yard required on the key lot.
8. In the event that archaeological resources or human skeletal remains are encountered, the applicant is required by County Ordinance No. B6-18 to immediately notify the County Coroner. Upon determination by the County Coroner that the remains are Native American, the coroner shall contact the California Native American Heritage Commission, pursuant to subdivision (c) of section 7050.5 of the Health and Safety Code and the County Coordinator of Indian affairs. No further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs in accordance with the provisions of state law and this chapter. If artifacts are found on the site a qualified archaeologist shall be contacted along with the County Planning Office. No further disturbance of the artifacts may be made except as authorized by the County Planning Office.

Land Development Engineering

9. The proposed project appears to meet the grading and drainage exemption requirements as outlined in the County’s Grading Ordinance. If any Building Plan revisions or construction field changes occur that alter the existing drainage pattern, alter a drainage course, increase the proposed impervious area greater than 2000 square feet, and/or results in any earthwork that is in excess of the limits as outlined the County’s Grading Ordinance starting at C12-400, then a Grading Permit or Drainage Permit will be required. To obtain a Grading Permit, apply to the Planning Office for grading approval. Once the Planning Office authorizes the grading approval, apply and obtain and Grading Permit from LDE. To obtain

a Drainage Permit, submit drainage plans and calculations to LDE. Penalties and rigid abatement procedures are required by ordinance for correction of any grading violation.

10. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to adjoining property.

Department of Environmental Health

11. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

Roads and Airports

12. Indicate on the submitted plans that Dahlberg Drive and Kimberly Court are private roads.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO ISSUANCE OF A DEVELOPMENT PERMIT

Planning

13. Prior to issuance of any permits, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
14. Prior to issuance of a building permit, a demolition permit shall be obtained and finalized for the existing accessory structure in the location of the proposed accessory structure.

Land Development Engineering

15. Survey monuments shall be shown on the building plans to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified and noted on the plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed prior to construction and new monuments shall be set prior to final acceptance of the improvements. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
16. Existing and set permanent survey monuments shall be verified by inspectors prior to final acceptance of the improvements by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
17. The building plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period).

Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.

18. All applicable easements affecting the parcel with benefactors and recording information shall be shown on the improvement plans.
19. Include one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to incorporate as many site design measures as possible into the project. For additional information, please refer to the C.3 Stormwater Handbook available at the following website:

§ www.scurppp.org > Resources > reports and work products > New Development and Redevelopment > C.3 Stormwater Handbook

Environmental Health

20. Prior to issuance of a development permit, through the Department of Environmental Health, apply for and receive septic system/ onsite wastewater treatment system (OWTS) clearance. This is a separate submittal to Environmental Health and subject to completion of a service application, submittal of an OWTS plan, and payment of applicable fees.
 - a. For the illustrated expansion area, maintain a 10-foot horizontal setback to property line.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL INSPECTION OF A DEVELOPMENT PERMIT

21. A planning inspection shall be completed by the Planning Division prior to the final inspection of the accessory structure to confirm construction is in substantial conformance with the conditions of approval and the approved plans. Contact Reva Kakaria at (408) 299-5792 or reva.kakaria@pln.sccgov.org to schedule the planning inspection.

The conditions of approval must be completed and a building permit issued within four years from the date of this approval, unless an extension of time application is made and granted, or this Special Permit shall become void. An extension of time request must be submitted to the Department of Planning and Development prior to the expiration date of this permit. The submission is to include an application form, explanation of the circumstances necessitating the extension request, and the appropriate filing fee established by the Board of Supervisors.

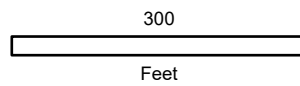
Attachment C

Location and Vicinity Map



Location and Vicinity Map

Record No. PLN24-185
APN 773-16-014
2325 Dahlberg Drive, Morgan Hill



Attachment D

Proposed Plans

GENERAL NOTES:

DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. IF A DISCREPANCY IS FOUND TO EXIST NOTIFY DESIGNER.

DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK, MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND IS TO BE INCLUDED AS PART OF THE WORK.

DIMENSIONS ARE TAKEN FROM THE FACE OF THE ACTUAL STUD. VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO STARTING ANY WORK. VERIFY FINDINGS, DIFFERENCES AND SUGGESTED MODIFICATIONS WITH DESIGNER PRIOR TO BEGINNING PROJECT.

ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND THAT EXTERIOR OPENINGS ARE TO BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHER PROOF.

TEMPERED GLAZING IS REQUIRED, 2022 CBC, FOR:

- A. WINDOW ADJACENT TO HOT TUBS, SWIMMING POOLS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, STAIR ENCLOSURES AND WITHIN 60" OF A STANDING SURFACE AND DRAIN INLET.
 - B. WINDOWS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF DOORS IN THE CLOSED POSITION AND WITHIN 60" OF FLOOR.
 - C. WINDOWS WITHIN 18" OF A WALKING SURFACE.
- GFCI OUTLETS ARE REQUIRED OUTDOORS, BATHROOMS, IN KITCHENS, WET BARS, IN GARAGES, IN CRAWL SPACES AND IN UNFINISHED BASEMENTS. NEC 210.8.
- INSULATION PER PLANS AND TITLE 24.
- DOORS AND WINDOWS ARE TO BE FULLY WEATHER-STRIPPED AT ALL JOINTS AND ALL PENETRATIONS ARE TO BE CAULKED AND SEALED. ALL NEW GLAZING SHALL BE INSTALLED WITH CERTIFYING LABEL ATTACHED SHOWING THE U-VALUE AND FENESTRATION.
- PROVIDE ALL NECESSARY BACKING AND FRAMING FOR ALL MOUNTED ITEMS, LIGHTS, FANS, AND OTHER ITEMS THAT REQUIRE SAME.
- ALL NAILING SHALL BE IN COMPLIANCE WITH 2022 CBC, COMMON NAILS ONLY.
- ALL RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH 2022 CEC.
- CONTRACTOR AND/OR SUBCONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, DATA, DIMENSIONS, SPEC. & EXISTING SITE CONDITIONS BEFORE PROCEEDING WITH ANY WORK, AND REPORT TO THE DESIGNER AT ONCE ANY ERROR, INCONSISTANCY AND/OR OMISSION HE/SHE MAY DISCOVER.
- REROUTE ALL EXISTING AC & WATER PIPING AS REQUIRED.
- END JOINTS IN DOUBLE TOP PLATES SHALL BE LAPPED 48" MINIMUM.
- ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED & BRACED SO AS TO DEVELOP THE STRENGTH & RIGIDITY NECESSARY FOR THE PURPOSES FOR WHICH THEY ARE TO BE USED.
- ALL SPACING & EDGE AND END DISTANCES SHALL BE SUCH AS TO AVOID SPLITTING OF THE WOOD. HOLES FOR NAILS, WHEN NECESSARY TO PREVENT SPLITTING, SHALL BE BORED TO A DIA. OF 70% OF THE NAIL DIA.
- ALL OUTDOOR LIGHTING SHALL CONFORM TO THE GOVERNING CITY, COUNTY, OR STATE AUTHORITY.
- PER 2022 CBC, THE APPROVAL AND/OR PERMITTING OF THE PLANS & SPECIFICATIONS CONTAINED HEREIN DOES NOT PERMIT THE VIOLATION OF ANY STATE, COUNTY OR CITY LAW.
- PIPING WHETHER BURIED OR UNBURIED FOR RECIRCULATING SECTIONS OF DOMESTIC HOT WATER HEATING SYSTEMS SHALL BE INSULATED PER TITLE 24.
- ALL WINDOWS SHALL BE RATED AND CERTIFIED FOR 20 LBS/SF OF WIND LOAD.

DESIGNER STATMENT

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications. Any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions, plans, and details on the enclosed drawing. Powell And Assoc, Inc. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

PROJECT DATA:

OWNER:
PHONE:
ADDRESS: 2325 DAHLBERG DR
MORGAN HILL, CA

SQUARE FOOTAGE:
EXISTING RESIDENCE (N.A.P.): 2698 SQ FT
PROPOSED ACCESSORY STRUCTURE: 195 SQ FT

BUILDING DATA:

OCCUPANCY: U
TYPE OF CONSTRUCTION: V-B
STORIES: 1
APN: 773-16-014
LEGAL: LOT 1 BOOK 311 PAGE 35
YEAR BUILT: 1976

INDEX OF SHEETS:

TITLE SHEET	
PAGE 1	GENERAL NOTES/PROJECT DATA
ARCHITECTURAL SHEETS	
PAGE 2	FLOOR PLAN
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PAGE 4	SECTION
PAGE 5	FOUNDATION PLAN
PAGE 6	ROOF FRAMING PLAN
PAGE 7	DETAILS
PAGE 8	DETAILS
PAGE 9	CAL. GREEN BUILDING NOTES

APPLICABLE CODES:

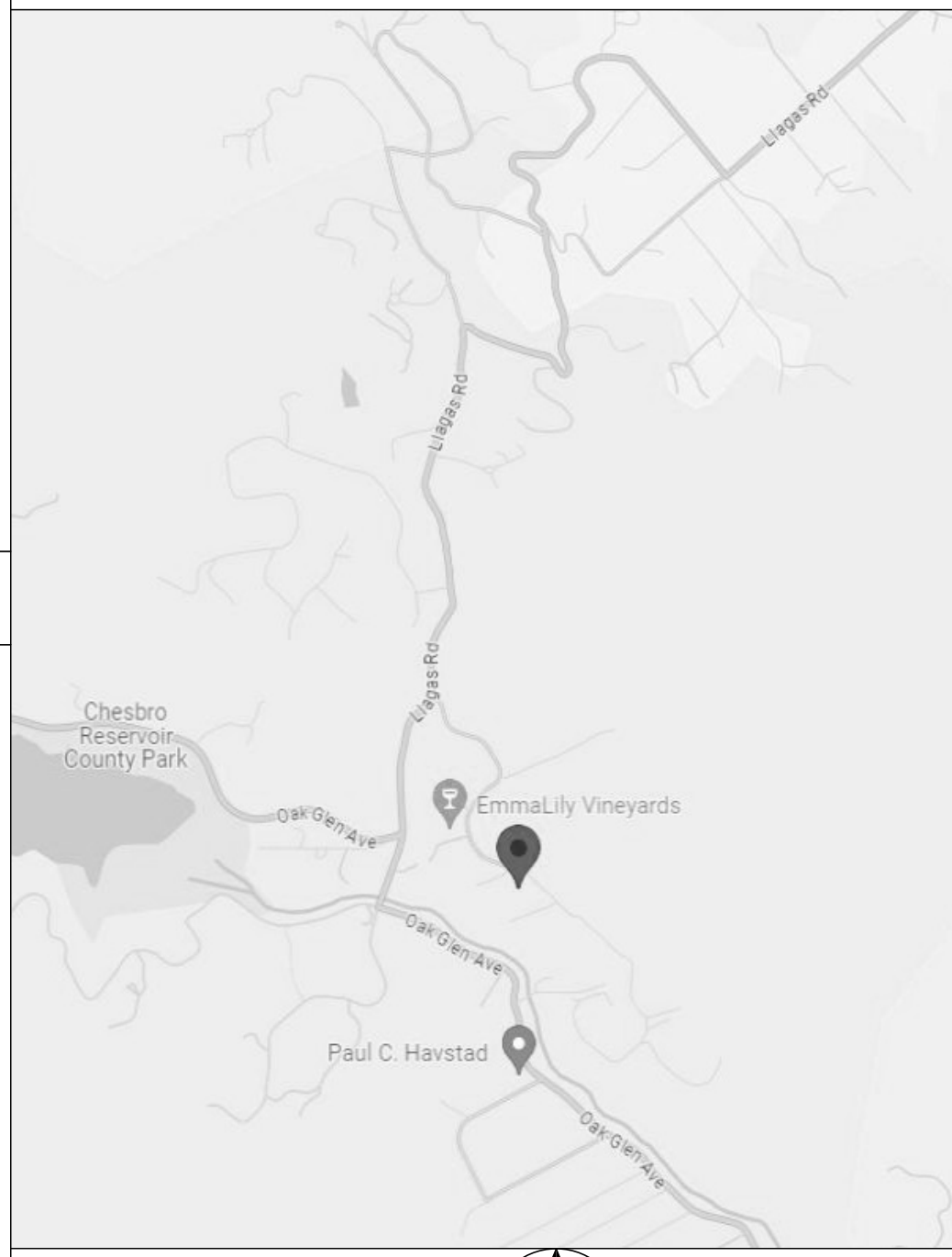
THE CITY OF MORGAN HILL NOW ENFORCES THE FOLLOWING EDITIONS OF THE MODEL CODES:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CALIFORNIA HISTORICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA REFERENCE STANDARDS CODE

ALL NEW WORK SHALL COMPLY WITH THE ABOVE LISTED EDITIONS OF THESE MODEL CODES

SCOPE OF WORK:

- REMOVE EXIST. POOL EQUIPMENT SHED.
- PROPOSED 195 SQ FT ACCESSORY STRUCTURE:
 - BATHROOM
 - SAUNA
 - POOL STORAGE ROOM
 - OUTDOOR SHOWER



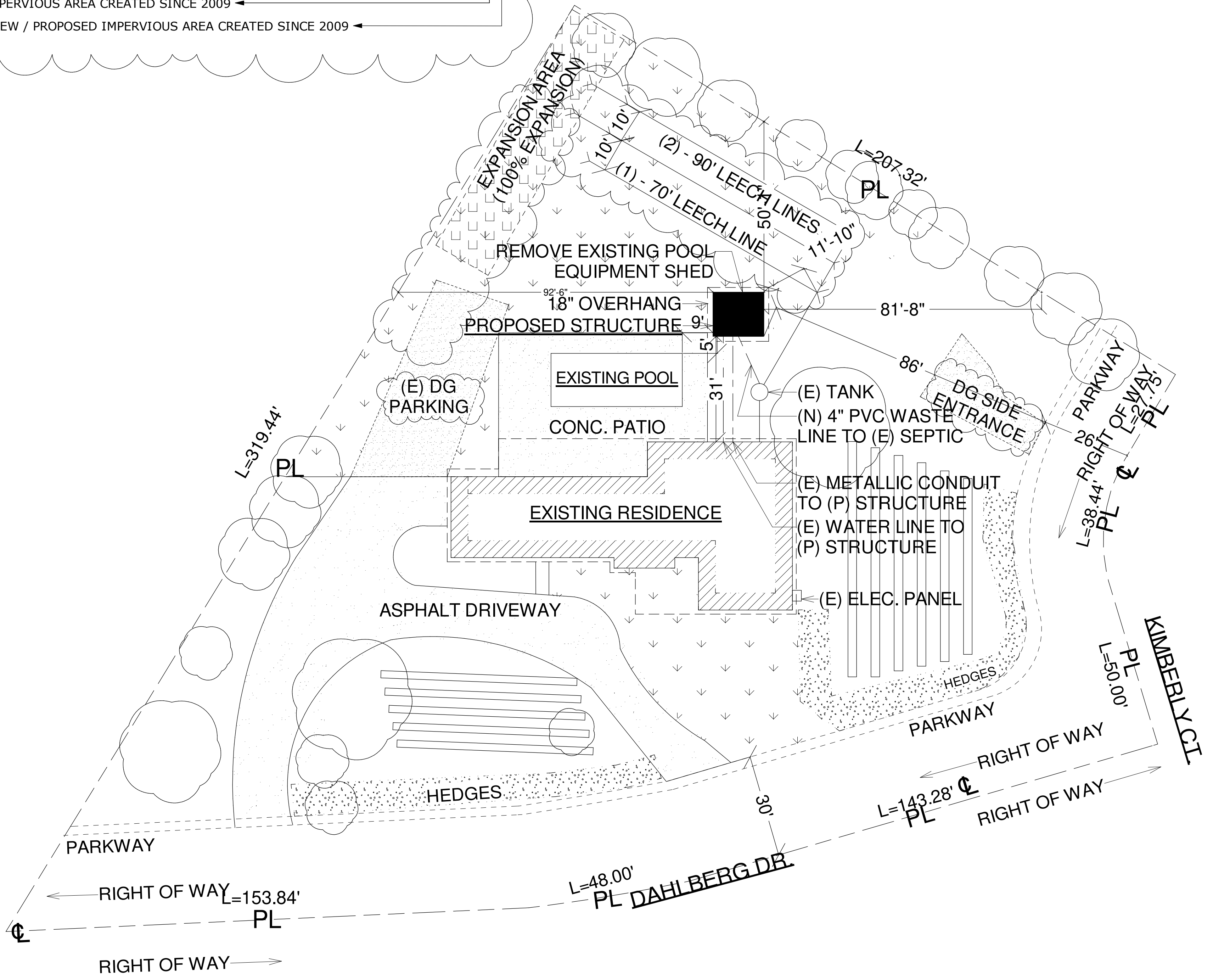
VICINITY MAP:
SCALE: N.T.S.

IMPERVIOUS AREA CALC

AREA	SQ. FT.	MATERIAL	POST 2009
EXIST. RESIDENCE	2698 SQ. FT.	COMP. ROOF (IMPERVIOUS)	NO
EXIST. PATIO / POOL	2400 SQ. FT.	CONCRETE (IMPERVIOUS)	NO
EXIST. DRIVEWAY	7500 SQ. FT.	ASPHALT (IMPERVIOUS)	NO
PROPOSED STRUCTURE	195 SQ. FT.	COMP. ROOF (IMPERVIOUS)	YES
EXIST. ADDITIONAL PARKING	1422 SQ. FT.	CRUSHED ROCK (PERVIOUS)	YES
EXIST. SIDE ENTRANCE	550 SQ. FT.	CRUSHED ROCK (PERVIOUS)	YES
TOTAL IMPERVIOUS AREA	12793 SQ. FT.		
LOT SIZE	53,578 SQ. FT.		
PERCENTAGE	23.9%		

1972 SQ. FT. TOTAL PERVIOUS AREA CREATED SINCE 2009 ←

195 SQ. FT. TOTAL NEW / PROPOSED IMPERVIOUS AREA CREATED SINCE 2009 ←



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
PROJECT DATA & SITE PLAN

PROJECT DESCRIPTION:
PROPOSED ACCESSORY STRUCTURE
2325 DAHLBERG DR
MORGAN HILL, CA

DRAWINGS PROVIDED BY:
POWELL AND ASSOCIATES INC.
5908 JASMINE ST, STE B
SAN JOSE, CA 95128
(951)392-3568

DATE:
2/12/2025

SCALE:

SHEET:

1

SITE PLAN:
SCALE: 1" = 20'-0"

LIGHTING NOTES:

THE TITLE 24 RESIDENTIAL LIGHTING REQUIREMENTS AS SET FORTH IN 2022 BUILDING ENERGY STANDARDS (BEES) MAY BE SUMMARIZED AS FOLLOWS:

- AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED DIN EVERY HABITABLE ROOM AND BATHROOM. [CEC 210.70(A)(1)]
- AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OF EXITS WITH GRADE LEVEL ACCESS. [CEC 210.70(A)(2)(b)]
- ALL LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CEC TABLE 150.0-A [CEC 150.0(k)1A]
- THE NUMBER OF BLANK ELECTRICAL BOXES WHICH ARE MORE THAN 5 FEET FROM ABOVE THE FINISHED FLOOR SHALL BE NO GREATER THAN THE NUMBER OF BEDROOMS. THE ELECTRICAL BOXES MUST SE SERVED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL. [CEC150.0(K)1B]
- RECESSED DOWNLIGHTS SHALL BE INSULATION CONTACT RATED, SHALL NOT CONTAIN SCREW BASED SOCKETS, AND ONLY CONTAIN JA8-2016-E (E FOR ELEVATED TEMPERATURE) RATED BULBS. [CEC 150.0(k)1C]
- ENCLOSED LUMINAIRES MUST CONTAIN JA8-2016-E (E FOR ELEVATED TEMPERATURE) RATED BULBS. [CEC 150.0(k)1H]
- EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING [CEC 150.0(k)2B]
- IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY A VACANCY SENSOR. [CEC 150.0(k)2J]
- ALL JA8 LUMINAIRES MUST BE CONTROLLED BY DIMMER OF VACANCY SENSOR. [CEC 150.0(k)2K]
- UNDER CABINET LIGHTING MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING. [CEC 150.0(k)2L]
- ALL OUTDOOR LIGHTING MUST BE CONTROLLED BY A MANUAL ON/OFF SWITCH AN ALSO ONE OF THE FOLLOWING:
 - PHOTOCELL WITH MOTION SENSOR.
 - PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL.
 - ASTRONOMICAL TIME CLOCK.
 - ENERGY MANAGEMENT CONTROL SYSTEM

NOTE: THESE REQUIREMENTS ARE A GENERAL OVERVIEW. FOR DETAILED REQUIREMENTS CONSULT A FULL TEXT OF BEES.

GENERAL RESIDENTIAL ELECTRICAL CIRCUIT REQUIREMENTS

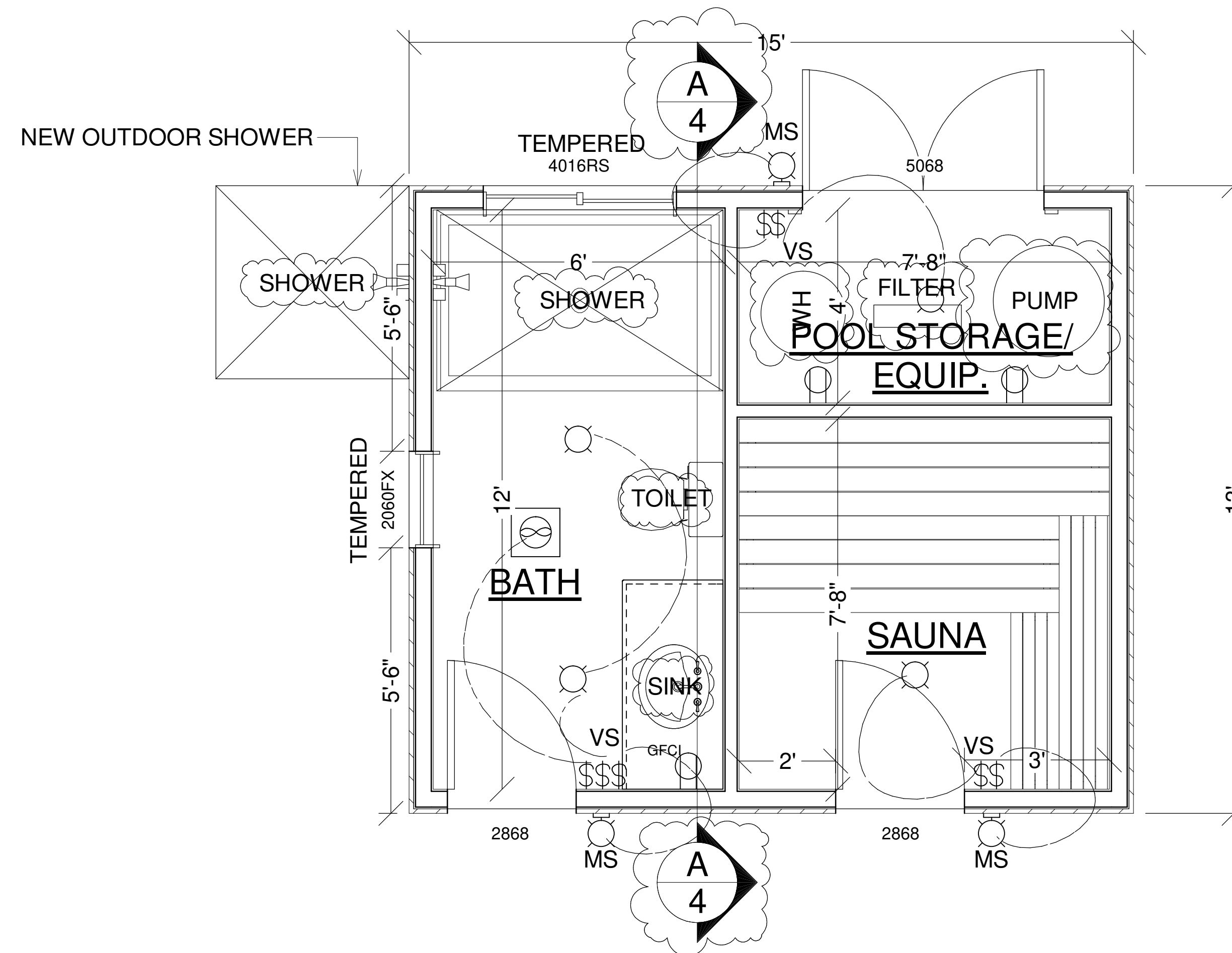
- PROVIDE AT LEAST TWO 20A SMALL APPLIANCE CIRCUITS TO FEED KITCHEN OUTLETS PER SECTION 210-52(B)
- PROVIDE AT LEAST ONE 20A DEDICATED CIRCUIT TO FEED ALL OUTLETS IN THE LAUNDRY AREA. MINIMUM ONE OUTLET. THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS.
- PROVIDE AT LEAST ONE 20A DEDICATED CIRCUIT TO FEED OUTLETS IN BATHROOMS. THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS.
- PROVIDE OUTLETS SO THAT NO PLACE ALONG ANY WALL SPACE 24" OR WIDER IS MORE THAN 6' FROM AN OUTLET.
- PROVIDE KITCHEN COUNTERTOP OUTLETS AT ALL COUNTER SPACES 12" OR WIDER SO THAT NO PLACE ALONG ANY COUNTER SPACE IS MORE THAN 24" FROM AN OUTLET. PROVIDE ONE OUTLET WITHIN 24" OF EITHER SIDE OF THE KITCHEN SINK.
- PROVIDE AT LEAST ONE OUTLET AT ANY PENINSULA OR ISLAND KITCHEN COUNTER SPACE.
- PROVIDE ONE OUTLET AT EACH BATHROOM SINK WITHIN 36" OF THE SINK.
- PROVIDE ONE OUTLET IN ANY HALLWAY 10" OR LONGER
- PROVIDE AT LEAST ONE GENERAL USE OUTLET IN ANY BASEMENT. THIS OUTLET IS IN ADDITION TO ANY OTHER REQUIRED OUTLET.
- PROVIDE ONE WEATHERPROOF GFI OUTLET AT THE FRONT AND REAR OF THE HOUSE AND AT ALL BALCONIES, DECKS, AND PORCHES.
- ALL EXTERIOR OUTLETS SHALL BE WEATHERPROOF AND GFI PROTECTED.
- ALL OUTLETS WITHIN THE GARAGE LESS THAN 8' ABOVE THE FLOOR SHALL BE GFI PROTECTED.
- ALL COUNTERTOP OUTLETS SHALL BE GFI PROTECTED.
- ALL BATHROOM OUTLETS SHALL BE GFI PROTECTED.
- ALL OUTLETS WITHIN 6' OF A SINK SHALL BE GFI PROTECTED.
- ALL 15A AND 20A 120V CIRCUITS SERVING OUTLETS (LIGHTING AND POWER) IN BEDROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION-TYPE ARC-FAULT INTERRUPTER.
- PROVIDE A SERVICE OUTLET AND A SWITCHED LIGHT AT ANY ATTIC MOUNTED EQUIPMENT
- PROVIDE A SWITCHED LIGHT OR HALF-HOT OUTLET IN EVERY ROOM OR AREA.
- PROVIDE A SWITCHED EXTERIOR LIGHT AT EVERY EXTERIOR DOOR.
- ALL LIGHTING SHALL COMPLY WITH THE 2022 RESIDENTIAL COMPLIANCE MANUAL.

THESE ARE GENERAL REQUIREMENTS FOR RESIDENTIAL INSTALLATIONS. OTHER REQUIREMENTS MAY APPLY. PLEASE REFER TO THE CURRENT EDITION OF THE CALIFORNIA ELECTRICAL CODE FOR SPECIFIC REQUIREMENTS AND POSSIBLE EXCEPTIONS TO THE GENERAL REQUIREMENTS.

PLUMBING FIXTURE NOTE:

EFFECTIVE JAN 1, 2017 RESIDENTIAL BUILDING UNDERGOING ADDITIONS, ALTERATIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANCE PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES PRIOR TO FINAL INSPECTION. THE REQUIREMENTS SHALL APPLY TO NEW FIXTURES IN ADDITIONS OR AREAS OF ALTERNATION TO THE BUILDING (PER 2022 CAL GREEN SECTIONS 301.1.1, 4.303.1.1 - 4.303.1.4.4 & CPC SECTIONS 403.0-403.8)

PLUMBING FIXTURE TYPE	MAX. FLOW RATE
WATER CLOSETS	1.28 GPF
SHOWERHEADS	1.8 GPM @ 80 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
RESIDENTIAL LAVATORY FAUCETS	1.2 GPM @ 60 PSI MAX, 0.8 GPM @ 20 PSI MIN.
PUBLIC LAVATORY FAUCETS	0.5 GPM @ 60 PSI
METERING FAUCETS	0.2 GALLONS / CYCLE
URINALS	0.125 GPF (WALL-MOUNT) & 0.5 GPF (OTHER)



ELECTRICAL LEGEND

	HIGH EFFICACY FLUSH MOUNTED LIGHT
	HIGH EFFICACY CEILING MOUNTED LIGHT
	50 CFM EXHAUST FAN W/ HUMIDITY CONTROL
	HIGH EFFICACY FLOURECENT EXTERIOR LIGHT W/ PHOTOCONTROL SENSOR
	CEILING MOUNTED INTER CONNECTED SMOKE DETECTOR
	CEILING MOUNTED INTER CONNECTED CARBON MONOXIDE DETECTOR
	SWITCH
	DIMMER SWITCH
	VACANCY SENSOR
	ARC-FAULT CIRCUIT INTERRUPTER
	GROUND-FAULT CIRCUIT INTERRUPTER
	WATER PROOF GROUND-FAULT CIRCUIT INTERRUPTER

SD / CO ALARMS:
 - CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTICATION OF ONE ALARM ACTIVATES ALL OF THE ALARMS (CRC R315.7)
 - SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM ACTIVATES ALL OF THE ALARMS. (CRC R314.4)

RECEPTACLES:
 - ALL 120V, SINGLE PHASE, 15 & 20 AMPS BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNITS KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI), COMBINATION TYPE. (CEC 210.12A)
 - ALL NONLOCKING TYPE 125V, 15 AND 20 AMP RECEPTACLES IN A DWELLING UNIT SHALL BE LISTED TAMPER-RESISTANT EXCEPT FOR RECEPTACLES (CEC 406.12A):
 ~ LOCATED MORE THAN 5 1/2' ABOVE THE FLOOR.
 ~ THAT ARE A PART OF A LUMINAIRE OR APPLIANCE
 ~ LOCATED WITHIN A DEDICATED SPACE FOR APPLIANCE
 ~ REPLACEMENT NON GROUNDING TYPE

WALL LEGEND

NEW 2x4 STUDS @ 16" O.C.

PROPOSED FLOOR PLAN
SCALE: 1/2" = 1'-0"



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
PROPOSED FLOOR PLAN

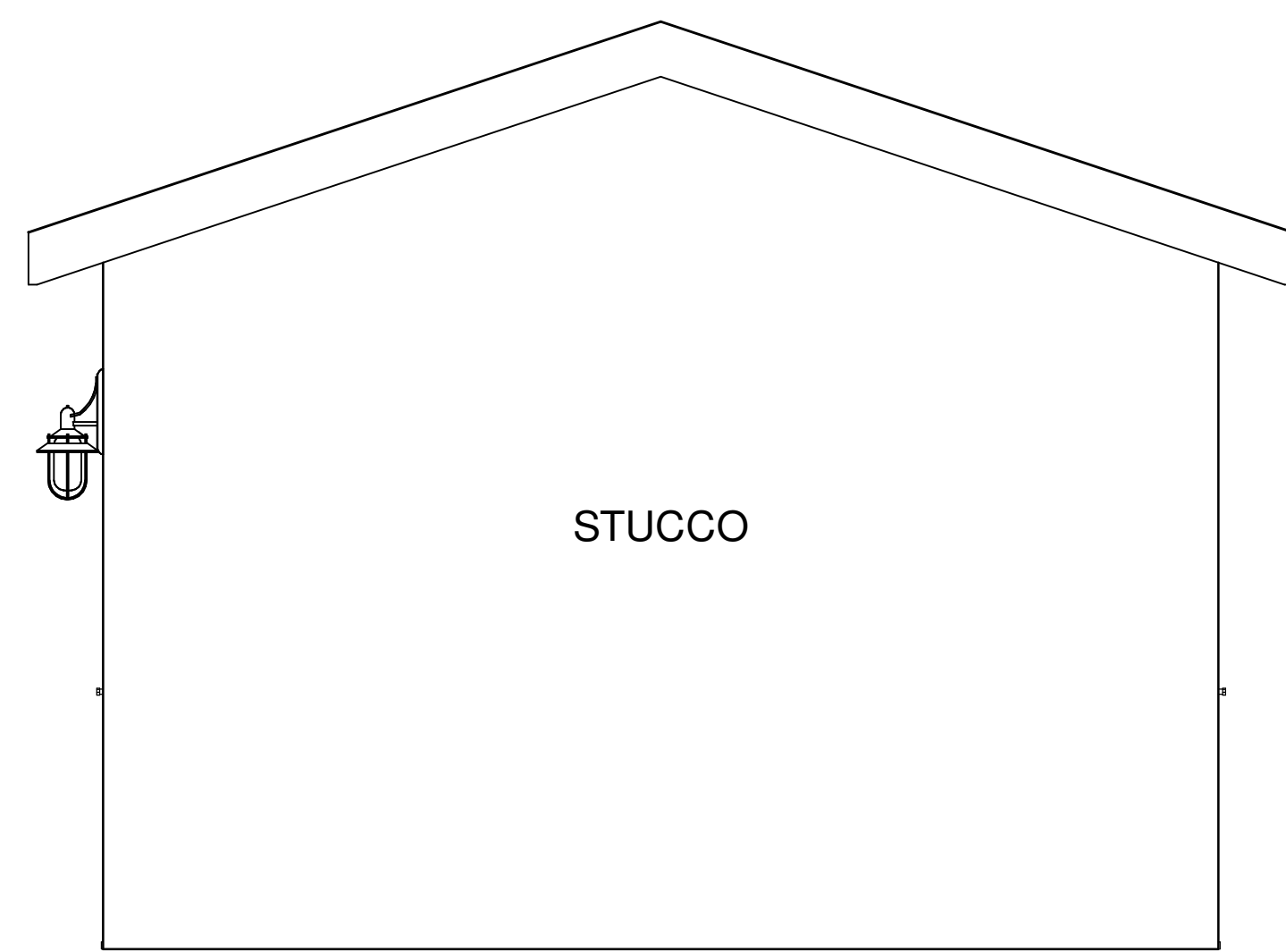
PROJECT DESCRIPTION:
PROPOSED ACCESSORY STRUCTURE
 2335 DANILBERG DR
 MORAGA HILL, CA

DRAWINGS PROVIDED BY:
POWELL AND ASSOCIATES INC.
 5908 JASMINE ST STE B
 RIVERCREST CA 94504
 (925) 392-5568

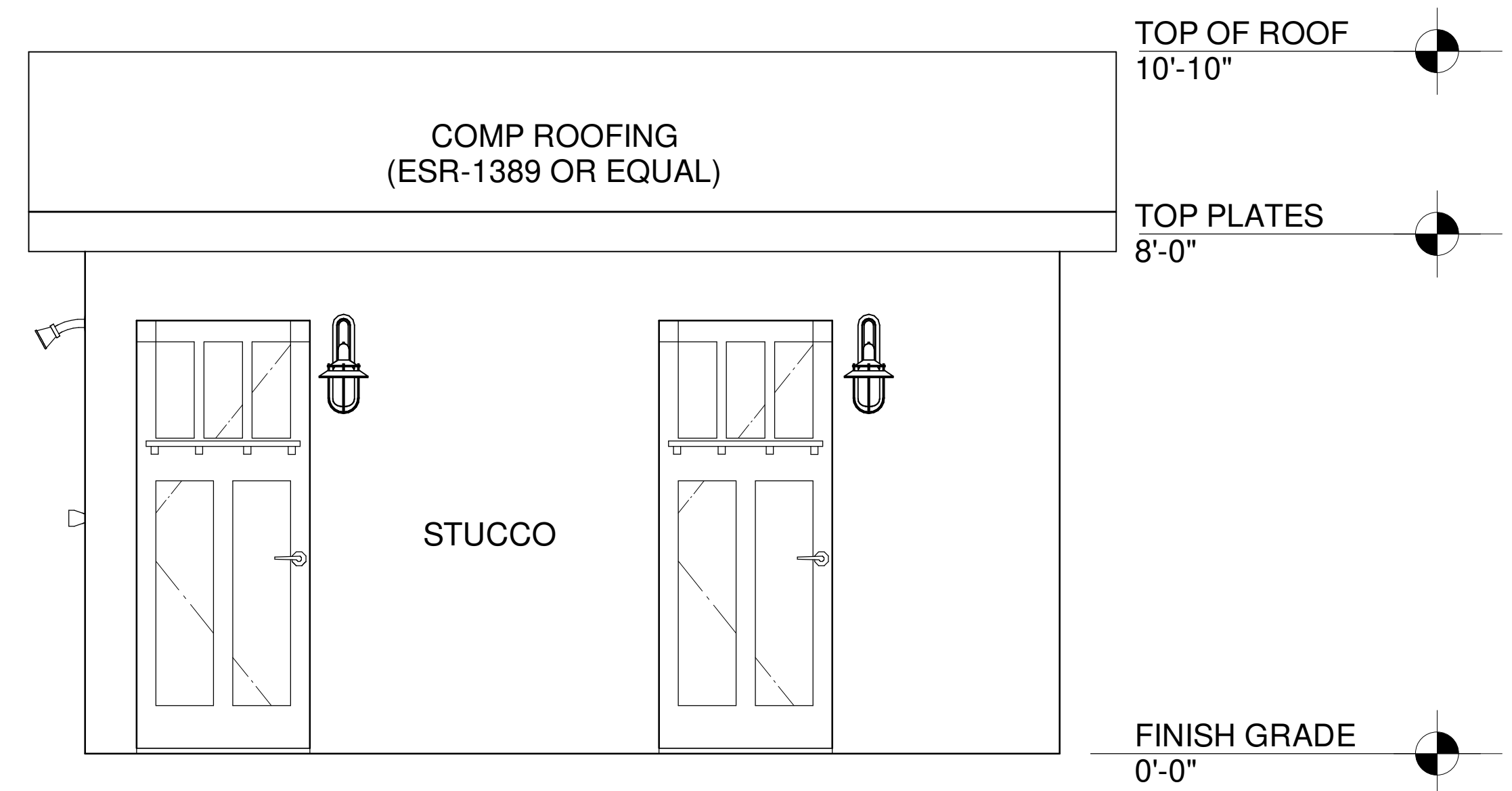
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2/12/2025

SCALE:

SHEET:

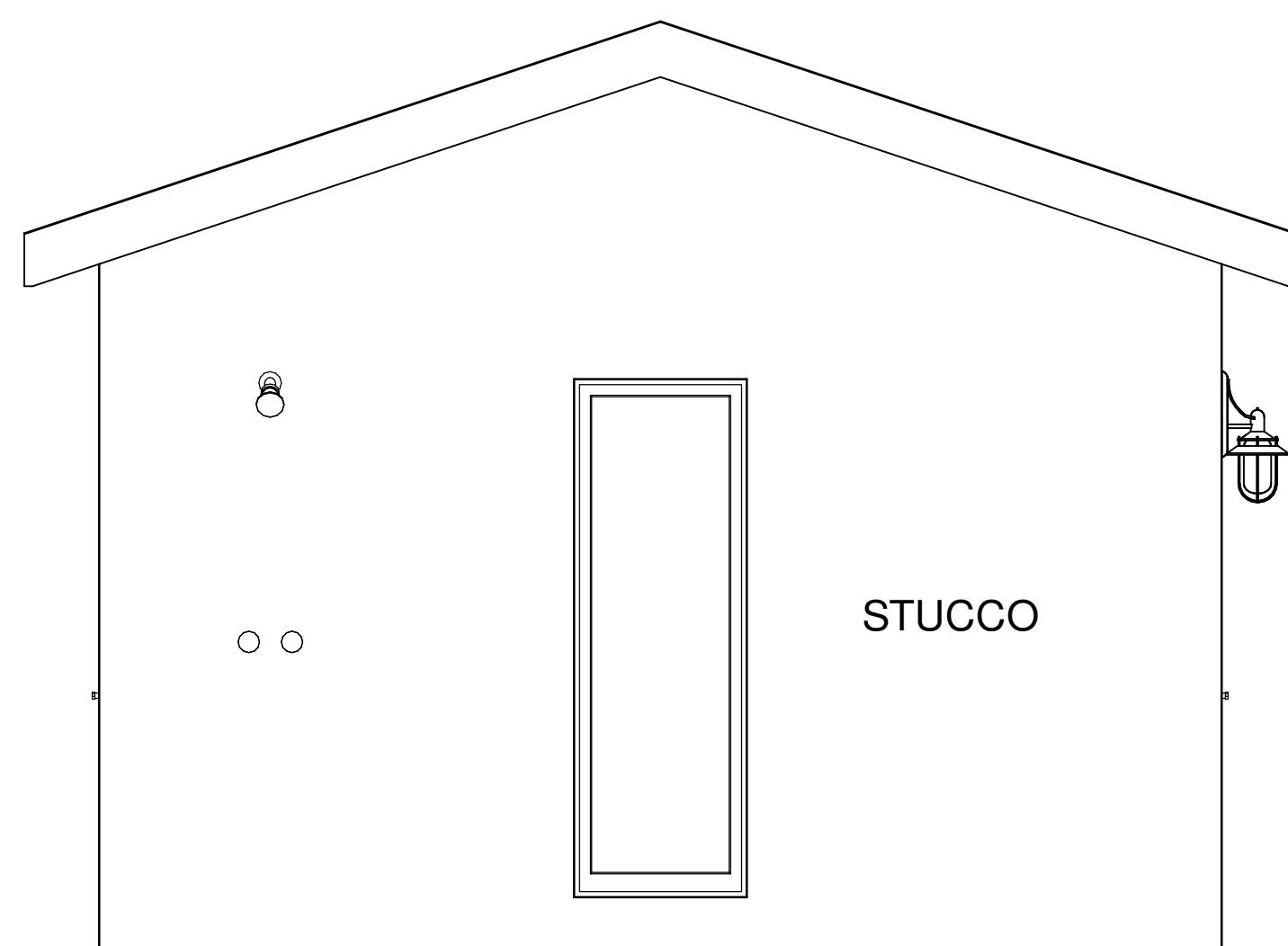


PROPOSED RIGHT ELEVATION
SCALE: 1/2" = 1'-0"

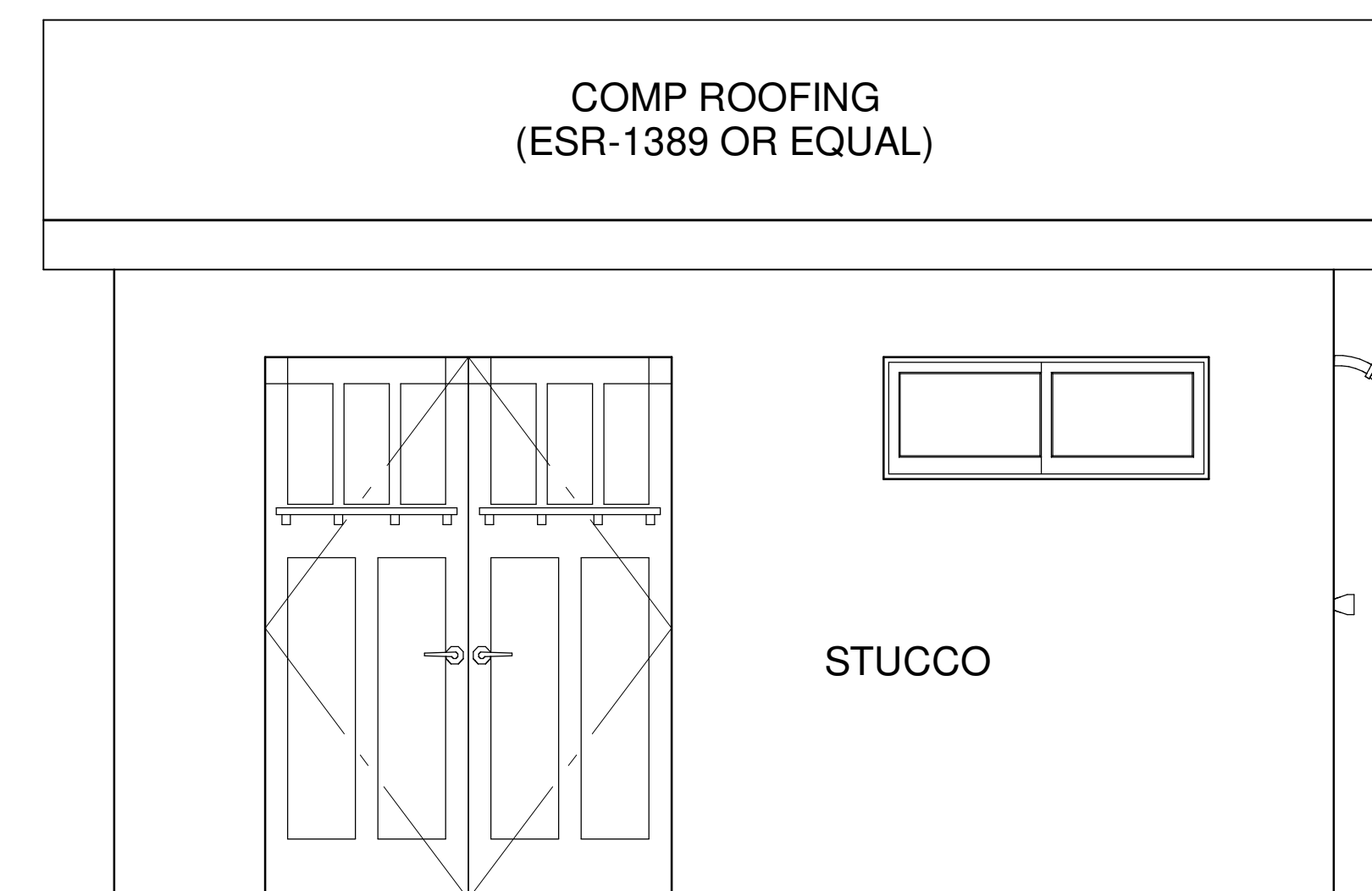


NOTE:
1. NEW EXTERIOR FINISH MATERIALS TO MATCH
COLOR & STYLE OF EXISTING RESIDENCE.

PROPOSED FRONT ELEVATION
SCALE: 1/2" = 1'-0"



PROPOSED LEFT ELEVATION
SCALE: 1/2" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/2" = 1'-0"



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
PROPOSED ELEVATIONS

PROJECT DESCRIPTION:
PROPOSED ACCESSORY STRUCTURE
2335 DAHLBERG DR
MORGAN HILL, CA

DRAWINGS PROVIDED BY:
POWELL AND ASSOCIATES INC.
5908 JASMINE ST, STE B
SAN JOSE, CA 95134
(951)352-3568

DATE:

2/12/2025

SCALE:

SHEET:

3



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
SECTIONS

PROJECT DESCRIPTION:
PROPOSED ACCESSORY STRUCTURE
2335 DAHLBERG DR
MORGAN HILL, CA

DRAWINGS PROVIDED BY:
POWELL AND ASSOCIATES INC.
5908 JASMINE ST, STE B
DUBLIN, CA 94568
(916) 352-3568

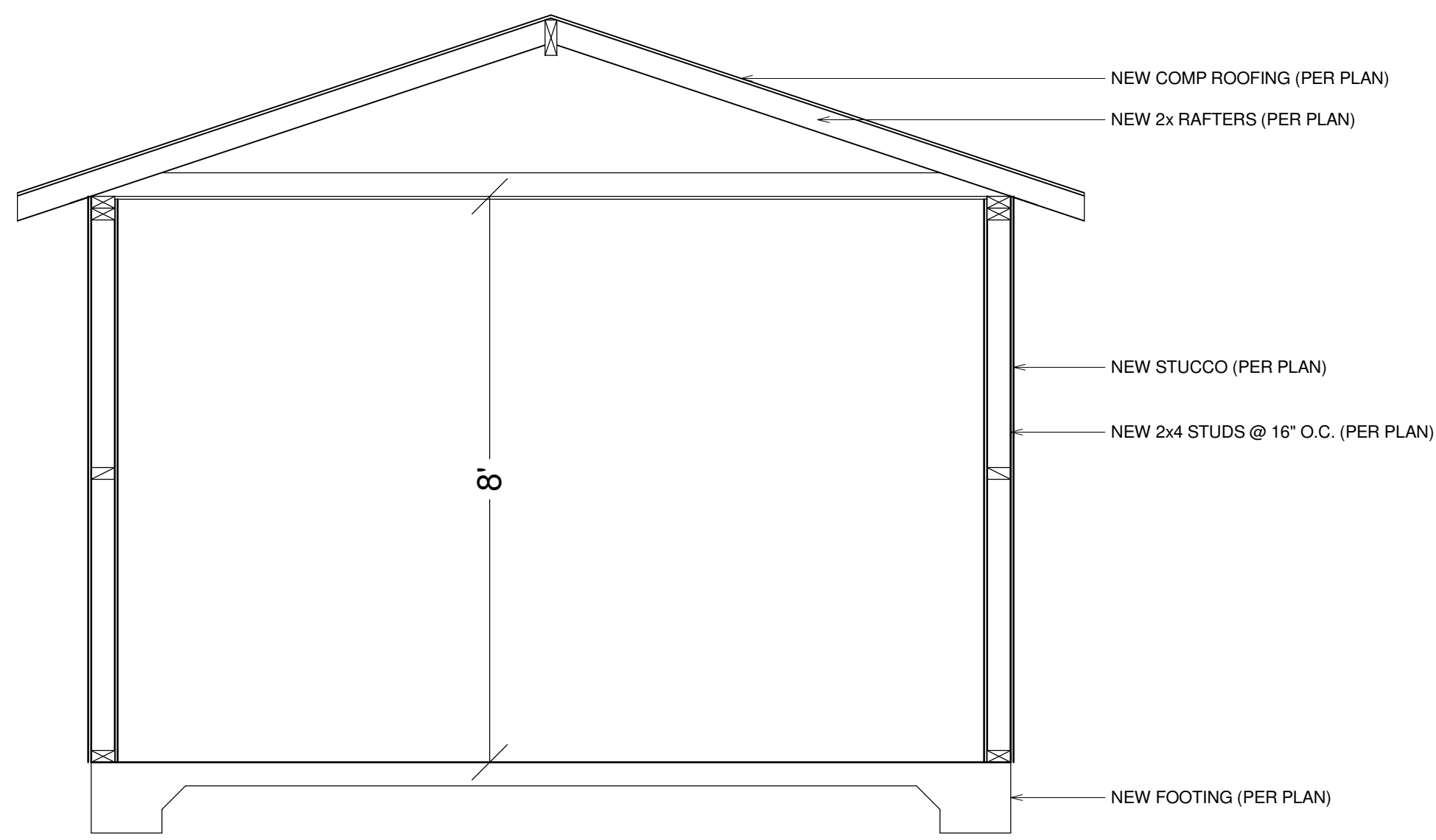
DATE:

2/12/2025

SCALE:

SHEET:

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SECTION 'A-A'
SCALE: 1/2" = 1'-0"

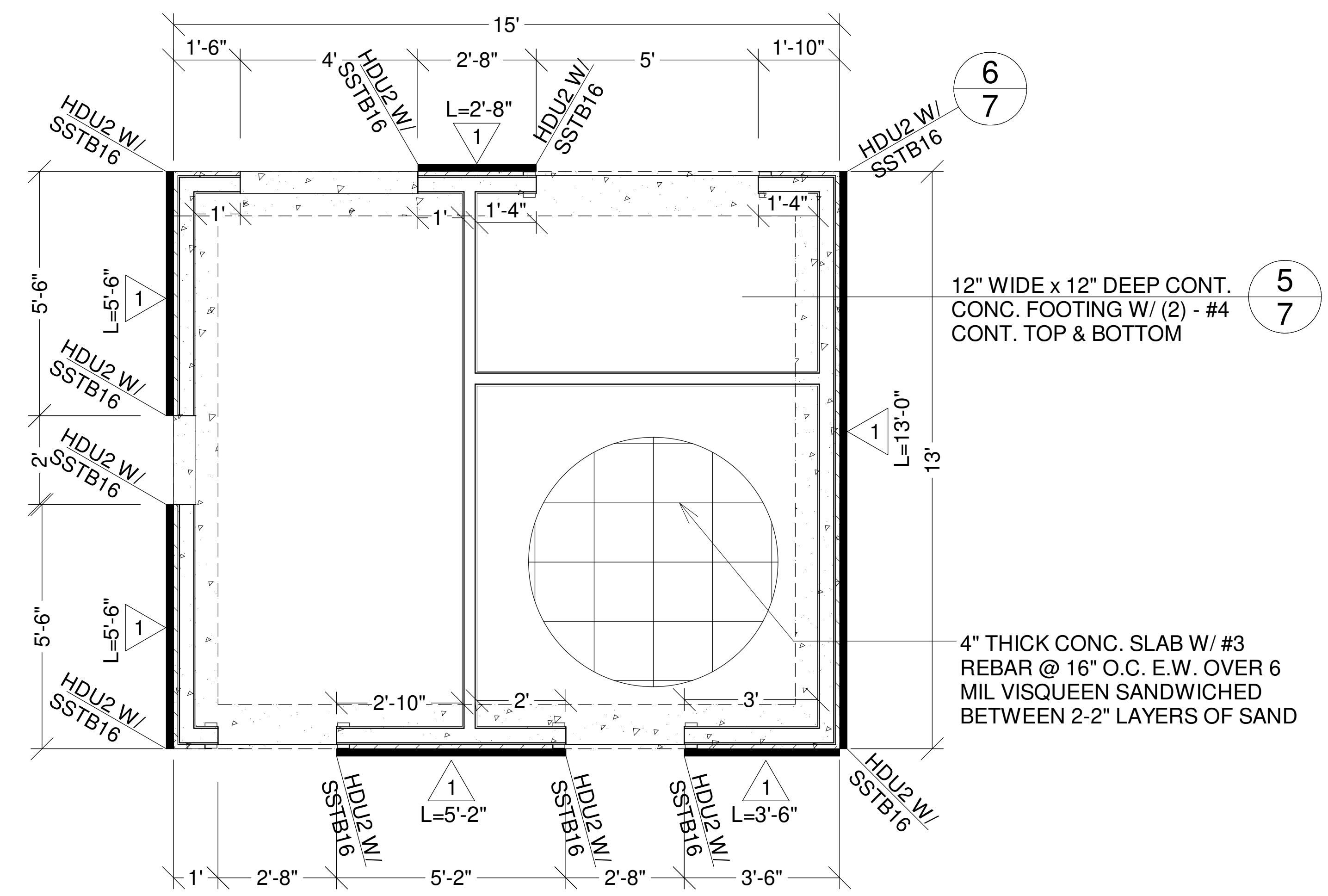
FOUNDATIONS:

- SAFE SOIL BEARING CAPACITY IS BASED UPON THE 2022 CALIFORNIA BUILDING CODE TABLE 1806.A.2 "PRESUMPTIVE LOAD-BEARING VALUES" AND IS ASSUMED TO BE 1500 P.S.F. FOR "CLASS 5 MATERIAL. THE SAFE BEARING CAPACITY MUST BE VERIFIED PRIOR TO PLACING ANY CONCRETE. IF THE SOILS ARE FOUND TO CONTAIN CLAY OR CLAYEY SILT, THE FOUNDATION WILL NEED TO BE REDESIGNED AND A SOILS ENGINEER SHALL BE RETAINED TO PROVIDE RECOMMENDATIONS. IF OTHER CONDITIONS ARE ENCOUNTERED WHICH MAY HAVE AN ADVERSE EFFECT ON THE STRUCTURE, THE ENGINEER MUST BE NOTIFIED.
- BEFORE COMMENCING ANY EARTHWORK, THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES OR STRUCTURES AND SHALL NOT PERFORM ANY WORK THAT WILL DAMAGE OR INTERFERE WITH THE SERVICE OF SAME.
- SITE PREPARATION, BACKFILL, SELECT FILL, ETC. SHALL BE AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER IF ONE IS RETAINED OR AS IS COMMON FOR OTHER STRUCTURES WITH SIMILAR CONDITIONS WHERE A GEOTECHNICAL ENGINEER IS NOT RETAINED.
- FOOTING EXCAVATIONS SHALL BE NEAT AND TRUE, WITH ALL LOOSE MATERIAL AND STANDING WATER REMOVED BEFORE FOOTING CONCRETE IS PLACED. EXCAVATIONS SHALL BE PROTECTED FROM FREEZING IF ALLOWED TO FREEZE, THE EXCAVATION WILL NEED TO BE SCARIFIED AND RE-COMPACTED.
- EARTH FORMS MAY BE USED FOR FOOTINGS ONLY WHERE THE SOIL IS FIRM AND STABLE AND THE CONCRETE WILL NOT BE EXPOSED.
- AT STEPPED FOOTINGS, PLACE CONCRETE IN THE LOWEST FOOTINGS FIRST PROCEEDING UP TO THE HIGHEST.
- ALL FOUNDATIONS SHALL BE PLACED ON FIRM UNDISTURBED EARTH. HOLES DUE TO REMOVAL OF LARGE ROCKS OR OVER-EXCAVATION SHALL BE FILLED WITH CONCRETE.
- UNLESS SHOWN OTHERWISE, FOOTINGS SHALL BE PLACED A MINIMUM OF 12 INCHES BELOW THE FINISHED EXTERIOR GRADE.
- ALL LOOSE SOIL AND FILL, INCLUDING BACKFILL BEHIND WALLS SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO AT LEAST 90% OF MAXIMUM DENSITY.

REINFORCED CONCRETE:

- ALL CONCRETE WORK AND MATERIALS SHALL CONFORM TO ACI 318, AS AMENDED BY THE 2022 C.B.C.
- CAST IN PLACE CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS OF 2500 PSI.
- UNLESS NOTED OTHERWISE, DESIGN IS BASED ON F'_c LESS THAN OR EQUAL TO 2500 PSI, THEREFORE, SPECIAL INSPECTION IS NOT REQUIRED.
- MAXIMUM WATER -CEMENT RATIO SHALL BE 0.45
- THE MAXIMUM SLUMP SHALL BE:

SLABS	4"
WALLS	4"
OTHER CONCRETE	4"
- REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI-318 AND SHALL BE ASTM A 615 GRADE 40 FOR #3 BARS & GRADE 60 FOR #4 BARS AND LARGER. WELDED WIRE FABRIC SHALL CONFORM TO IBC STANDARD NO. 26-6 (ASTM A 185).
- ALL HORIZONTAL BARS SHALL BE BENT AT CORNERS WITH A 24" EXTENSION, OR HAVE MATCHING CORNER BARS WITH 24" LEGS.
- AT INTERSECTING WALLS AND FOOTINGS, REINFORCEMENT SHALL BE EXTENDED THROUGH AND LAPPED ON THE OPPOSITE FACE OF THE CONTINUING WALL OR FOOTING, OR SHALL BE CONTINUOUS.
- AT "T" INTERSECTIONS, THE BARS IN THE DISCONTINUOUS WALL OR FOOTING SHALL EXTEND TO THE OPPOSITE FACE AND SHALL TERMINATE IN A STANDARD HOOK.



SHEAR WALL SCHEDULE						
TYPE	MATERIAL/DESCRIPTION	BLOCKING	ALLOWABLE SHEAR (PLF)	SILL ATTACHMENT TO FLOOR CONCRETE	SIMPSON LPT4 TIE (LARR25293)	REMARK
A	15/32" APA STRUCTURAL-1 W/ 106 COMMON NAILS @ 6:12	BLOCKING AT PANEL EDGES	340	16d NAILS @ 5" DIA. x 12" @ 16" O.C.		

NOTE:
A. MIN. 1/2" EDGE NAIL DISTANCE AT PANEL END AND EDGE

FOUNDATION LEGEND

NEW FOUNDATION (PER PLANS)

FOUNDATION PLAN
SCALE: 1/2" = 1'-0"



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
FOUNDATION PLAN

PROJECT DESCRIPTION:
PROPOSED ACCESSORY STRUCTURE
2325 DANILBERG DR
MORGAN HILL, CA

DRAWINGS PROVIDED BY:
POWELL AND ASSOCIATES INC.
5908 JASMINE ST, STE B
SAN JOSE, CA 95128
(951) 352-3568

DATE:

2/12/2025

SCALE:

SHEET:

5

WOOD NOTES:

1. SAWN LUMBER SHALL BE DOUGLAS FIR COMPLYING WITH DOC PS20 AND SHALL HAVE THE FOLLOWING MINIMUM GRADES (PER 2022 CBC) UNLESS OTHERWISE NOTED ON THE PLANS.

DESCRIPTION	GRADE	ALLOWABLE STRESS
TYPICAL FRAMING	STANDARD OR BETTER	Fb=575 PSI
2x RAFTERS AND JOISTS	NO. 2	Fb=900 PSI (SINGLE MEMBER USES)
2x RAFTERS AND JOISTS	NO. 2	Fb=900 PSI (REPETATIVE MEM. USES)
4x BEAMS	NO. 1	Fb=1000 PSI
6x BEAMS	NO. 1	Fb=1000 PSI
POST AND TIMBERS	NO. 1	Fc=1000 PSI
GLUE-LAMINATED BEAMS WESTERN SPECIES, 24F-1.7E WS		
PARALAM BEAMS (PSL) SHALL BE 2.0 E.		
MICROLAM (LVL) BEAMS SHALL BE 1.9 E.		
TIMBER STRAND (LSL) SHALL BE 1.3 E.		

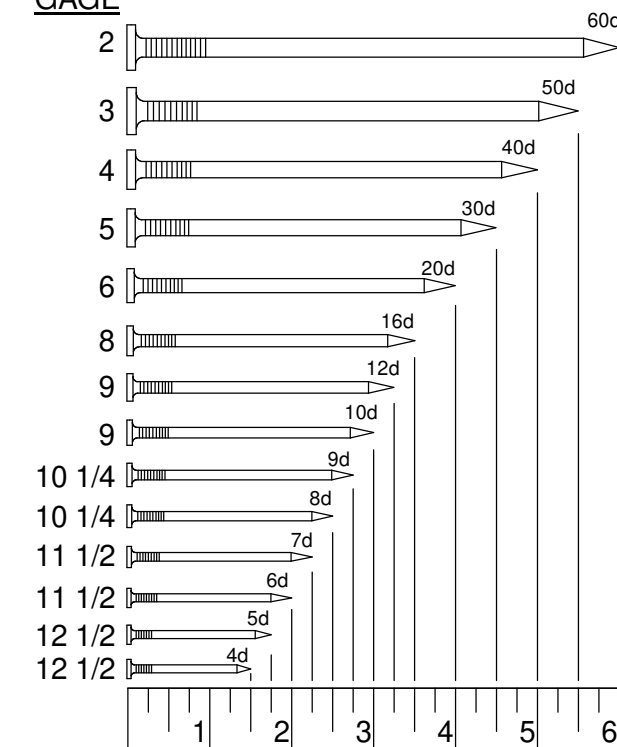
- FOUNDATION SILL PLATES SHALL BE PRESERVATIVE-TREATED WOOD OR FOUNDATION GRADE REDWOOD.
- LUMBER SHALL HAVE A MOISTURE CONTENT LESS THAN OR EQUAL TO 19%.
- ALL NAILS SHALL BE COMMON NAILS, EXCEPT AS NOTED ON THE PLANS.
- NAILS WHICH WILL BE EXPOSED TO WEATHER SHALL BE EITHER ZINC COATED, ALUMINUM ALLOY WIRE, OR STAINLESS STEEL.
- FASTENERS IN CONTACT WITH PRESERVATIVE-TREATED OR FIRE-RETARDANT TREATED WOOD SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER (R317.3)
- ALL ROUGH FRAMING SHALL CONFORM TO THE 2022 CBC.
- FRAMING HARDWARE SHALL BE AS MANUFACTURED BY THE SIMPSON STRONG-TIE CO. OR APPROVED EQUAL AND OF TYPE AND SIZE INDICATED ON THE PLANS. INSTALLATION SHALL BE AS RECOMMENDED BY THE MANUFACTURER AND SHALL BE NAILED FOR FULL CAPACITY, UNLESS NOTED OTHERWISE.
- SPECIAL CARE SHALL BE GIVEN TO THE FABRICATION OF BEARING SURFACES OF COLUMNS TO ENSURE THAT MEMBERS FIT TIGHTLY AND THE INTERFACING SURFACES ARE TRUE.
- BOLTS SHALL BE CUT AND THREAD MACHINE BOLTS (ASTM A 307). USE WASHERS WHERE BOLT HEAD OR NUT BEARS ON WOOD. HOLES SHALL BE 1/32" LARGER IN DIAMETER.
- PLYWOOD AND ORIENTED STRAND BOARD (OSB) SHALL CONFORM DOC PS1 OR DOC PS2 AND WITH VOLUNTARY PRODUCT STANDARD PS 2-10 FOR WOOD BASED STRUCTURAL PANELS, AS ADOPTED BY THE 2022 C.B.C.
- ROOF SHEATHING SHALL BE 15/32" CCX SHEATHING, WITH A PANEL INDEX OF 24/0, NAILED WITH 8d NAILS, SPACED AT 6" O.C., AT PANEL EDGES AND BOUNDARIES AND 12" O.C WITHIN THE FIELD.

NAILING SCHEDULE:

BUILDING ELEMENTS:	FASTENER	SPACING
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d	
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16-O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d	
STUD TO SOLE PLATE, TOE NAIL	3-8d OR 2-16d	
DOUBLE STUDS, FACE NAIL	10d	24-O.C.
DOUBLE PLATES, FACE NAIL	10d	24-O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	3-16d	16-O.C.
DOUBLE TOP PLATES, MIN. 48" OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d	
BLOCKING BETWEEN JOIST OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d	
RIM JOIST TO TOP PLATE, TOE NAIL	8d	6-O.C.
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d	
BUILT-UP HEADER, TWO PIECES W/ 1/2" SPACER EDGE	16d	16-O.C.
CEILING JOIST TO PLATE, TOE NAIL	3-8d	
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d	
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	3-10d	
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	3-10d	
RAFTER TO PLATE, TOE NAIL	2-16d	
1x BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d	
BUILT-UP CORNER STUDS	10d	24-O.C.
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS:		
TOE NAIL	4-16d	
FACE NAIL	3-16d	
RAFTERS TIES TO RAFTERS, FACE NAIL	3-8d	
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING		

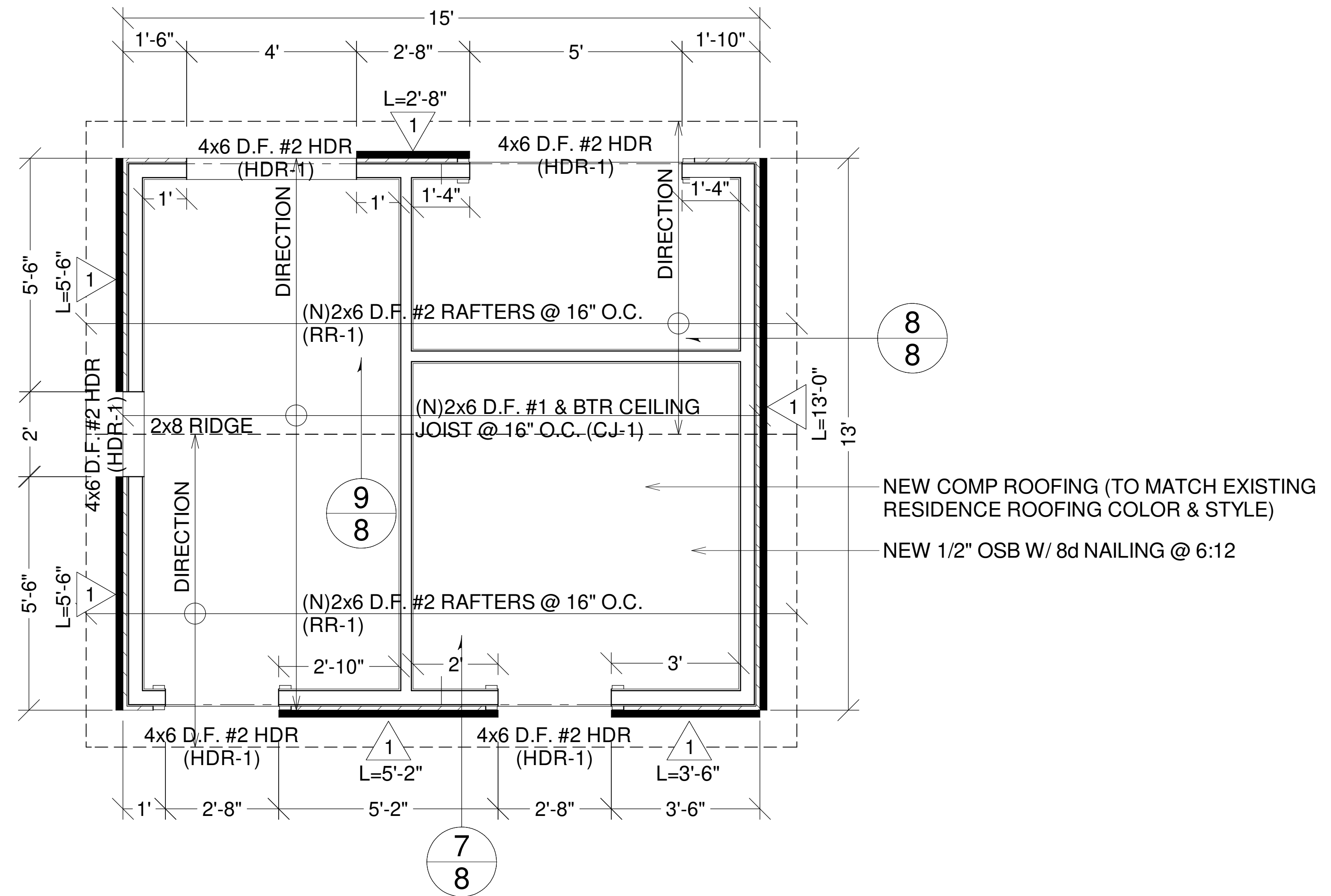
FASTENER	EDGES	INTERMEDIATE
5/16-1/2 6d COMMON NAIL (SUBFLOOR, WALL)	6	12
8d COMMON NAIL (ROOF)	6	12
19/32-1 8d COMMON NAIL	6	12
1 1/8-1 1/4 10d COMMON NAIL OR 8d DEFORMED NAIL	6	12

CELLULOSIC FIBERBOARD SHEATHING 1 1/2 GALV. ROOFING NAIL GAGE



- ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED.
- NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
- FOUR-FOOT-BY-8-FOOT OR 4-FOOT-BY-9-FOOT PANELS SHALL BE APPLIED VERTICALLY.

SIZES OF COMMON WIRE NAILS



SHEAR WALL SCHEDULE				
TYPE	MATERIAL/DESCRIPTION	BLOCKING ALLOWABLE SHEAR (PLF)	SILL ATTACHMENT TO FLOOR CONCRETE (LPT4 TIE (LARR25293))	SIMPSON REMARK
1	15/32" APA STRUCTURAL-1 W/ 10d COMMON NAILS @ 6:12	340	16d NAILS @ 5/8" DIA. x 12 3/8" O.C.	AB @ 32" O.C. @ 16" O.C.

NOTE: A. MIN. 1/2" EDGE NAIL DISTANCE AT PANEL END AND EDGE

ROOF FRAMING PLAN

SCALE: 1/2" = 1'-0"



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ROOF FRAMING PLAN

PROJECT DESCRIPTION:
PROPOSED ACCESSORY STRUCTURE
2335 DANILBERG DR
MORGAN HILL, CA

DRAWINGS PROVIDED BY:
POWER AND ASSOCIATES INC.
5908 JASMINE ST, STE B
SAN JOSE, CA 95128
(951)352-5568

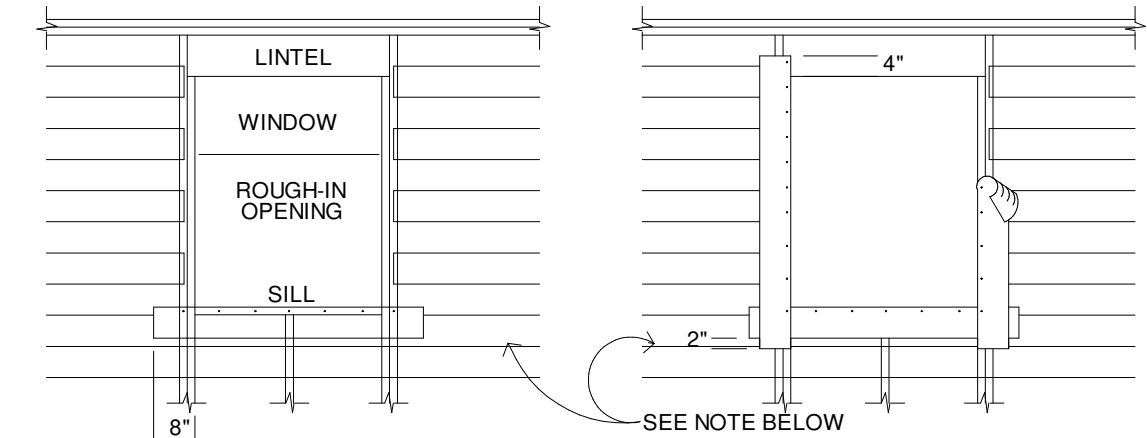
DATE:
2/12/2025

SCALE:

SHEET:

WINDOW FLASHING:

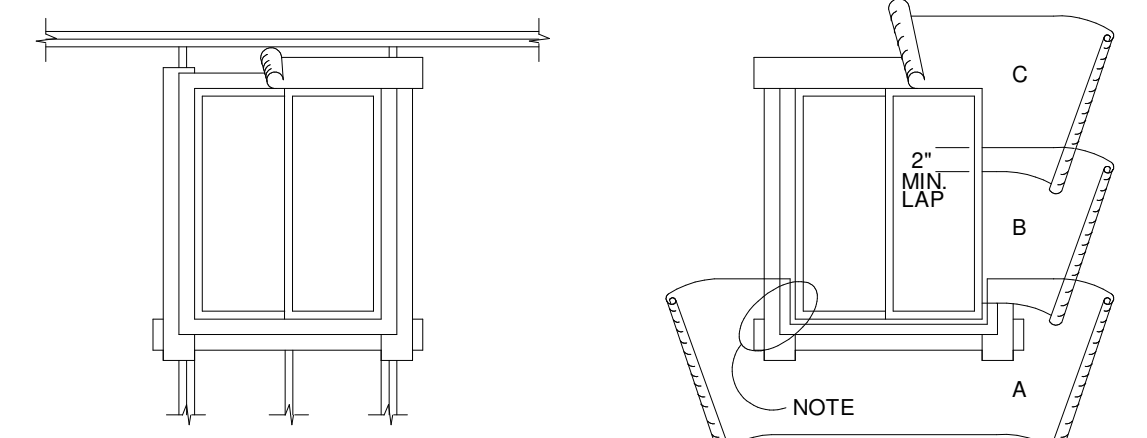
SECTION 706 OF THE CODE STATES THAT "EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF".



1. ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL - EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8". SECURE ALL MOISTOP (OR EQUAL) WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.
2. ATTACH JAMB STRIP WITH SIDE EDGE EVEN WITH ROUGH-JAMB FRAMING. START STRIP 1" BELOW LOWER EDGE OF SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF LINTEL. OR POWER-DRIVEN STAPLES.

NOTE: LINE-WIRE, WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH (NETTING) FOR PORTLAND CEMENT PLASTER (STUCCO), SHALL BE INSTALLED AS FOLLOWS:

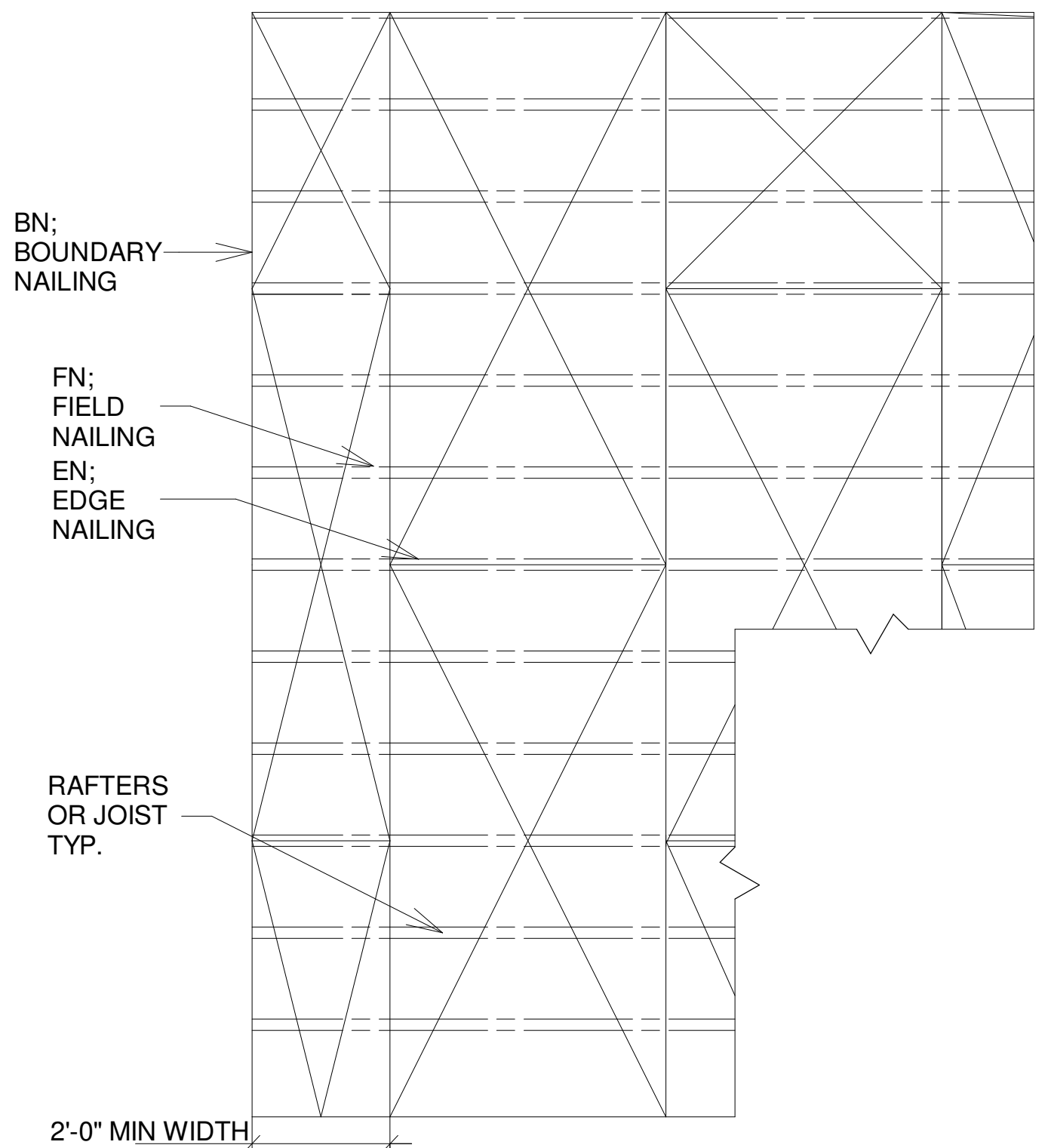
1. WIRE GAUGE, SPACING, AND ATTACHMENT SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF BUILDING NEWS ITEMS 25-1.
2. PERIPHERAL FLASHING, AT ALL EDGES OF WALL OPENINGS, MUST COVER THE WIRE BACKING.
3. NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.



3. INSTALL WINDOW JAMB NAILING FLANGES OVER A CONTINUOUS BEAD OF SEALANT ON THE MOISTOP (OR EQUAL). INSTALL THE WINDOW HEAD MOISTOP (OR EQUAL) ON A CONTINUOUS BEAD OF SEALANT APPLIED TO THE WINDOW HEAD NAILING FLANGE.
4. COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL, LAY BUILDING PAPER $\frac{1}{4}$ " UNDER $\frac{1}{4}$ " SILL STRIP.
 NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF (SHOWN AS SHORT DASHED LINES). DO NOT SLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL SUCCESSIVE LINES OF BUILDING PAPER (B.C.D ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

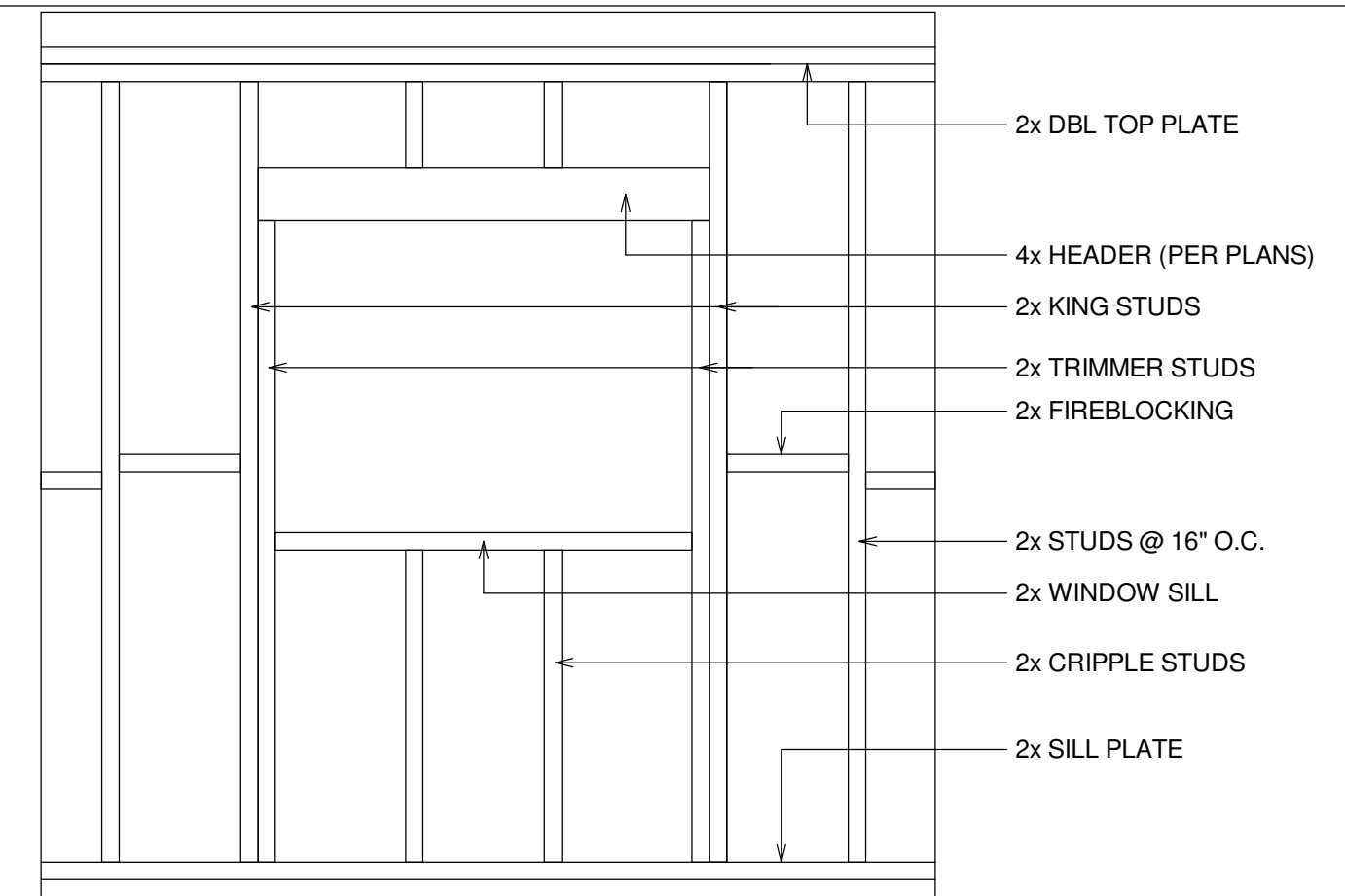
THE ABOVE METHOD APPLIES ONLY TO THE MOST COMMONLY USED TYPE OF METAL FRAME (SURFACE MOUNTED). FOR OTHER TYPES OF FRAMES, SPECIAL ATTENTION MUST BE PAID TO THE MANUFACTURER'S RECOMMENDATIONS.

VAPOR BARRIER



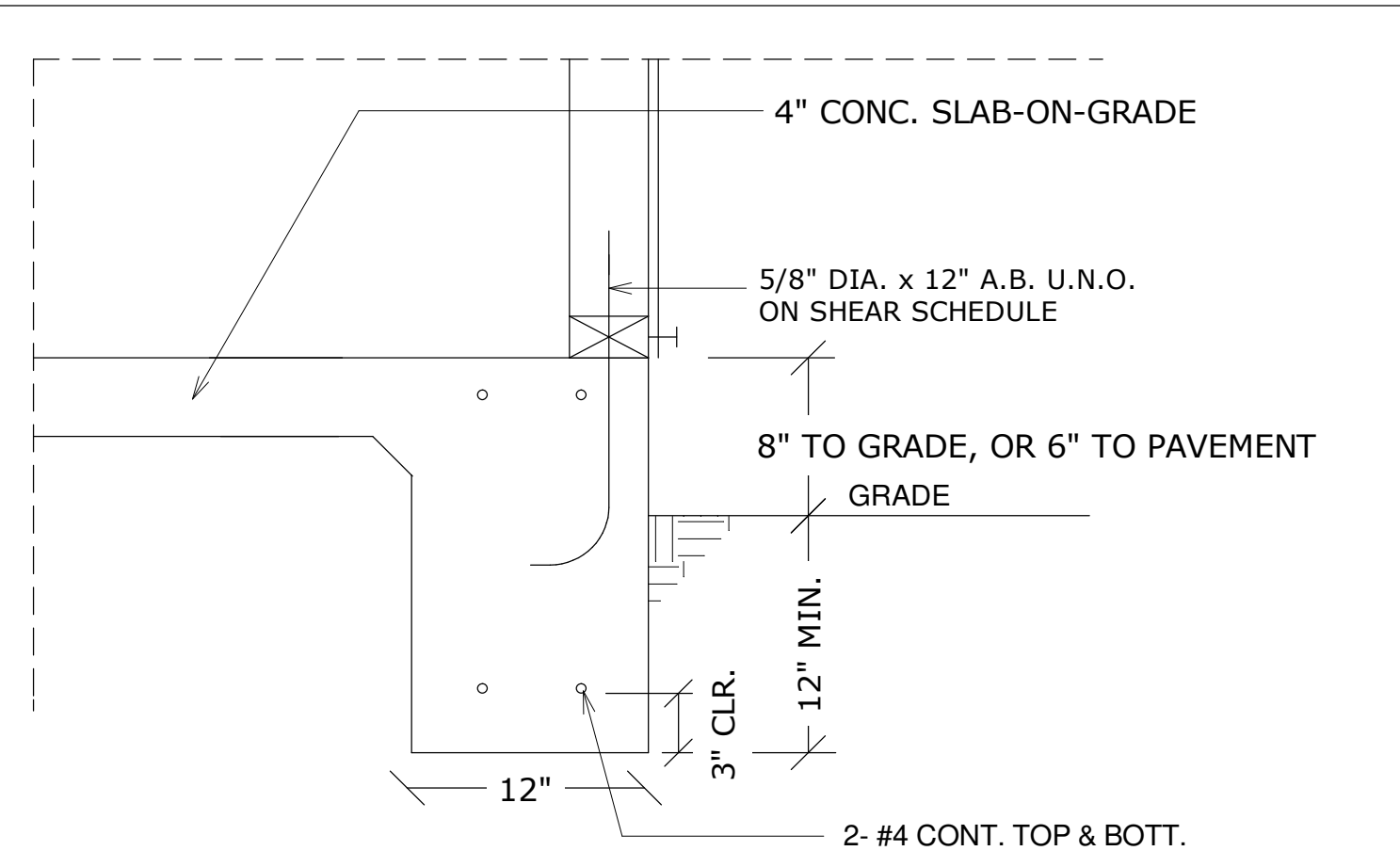
- NOTES
1. RUN LONG DIMENSIONS OF PLYWOOD OR ORIENTED STRAND BOARD ACROSS (PERPENDICULAR TO) JOISTS AND RAFTERS.
 2. STAGGER END JOINTS 2'-0" MINIMUM
 3. BOUNDARY NAILING APPLIES TO PERIMETER PLATE LINES, CHORDS, TIES, AND AS CALLED FOR ON DRAWING.
 4. SEE PLANS FOR NAILING.
 5. NAILS SHALL HAVE MIN. 3/8" EDGE DISTANCE.
 6. ALL JOIST AND RAFTERS SHALL BE LAID OUT IN A 4'-0" MODULE TO COINCIDE WITH PLYWOOD.
 7. TONGUE-AND-GROOVE PLYWOOD OR ORIENTED STRAND BOARD AT FLOORS UNLESS NOTED OTHERWISE.

PLYWOOD LAYOUT



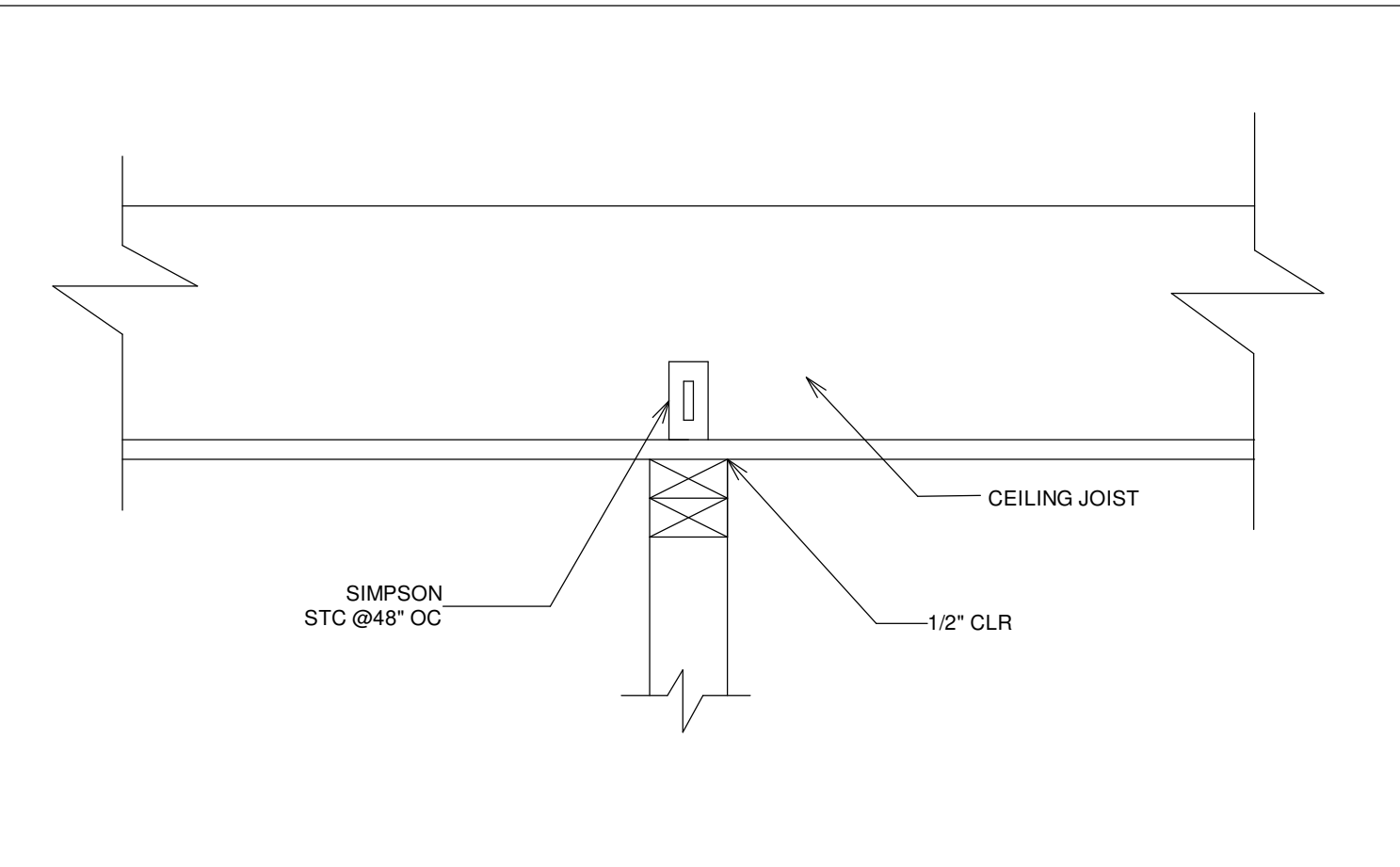
WINDOW FRAMING

9
7



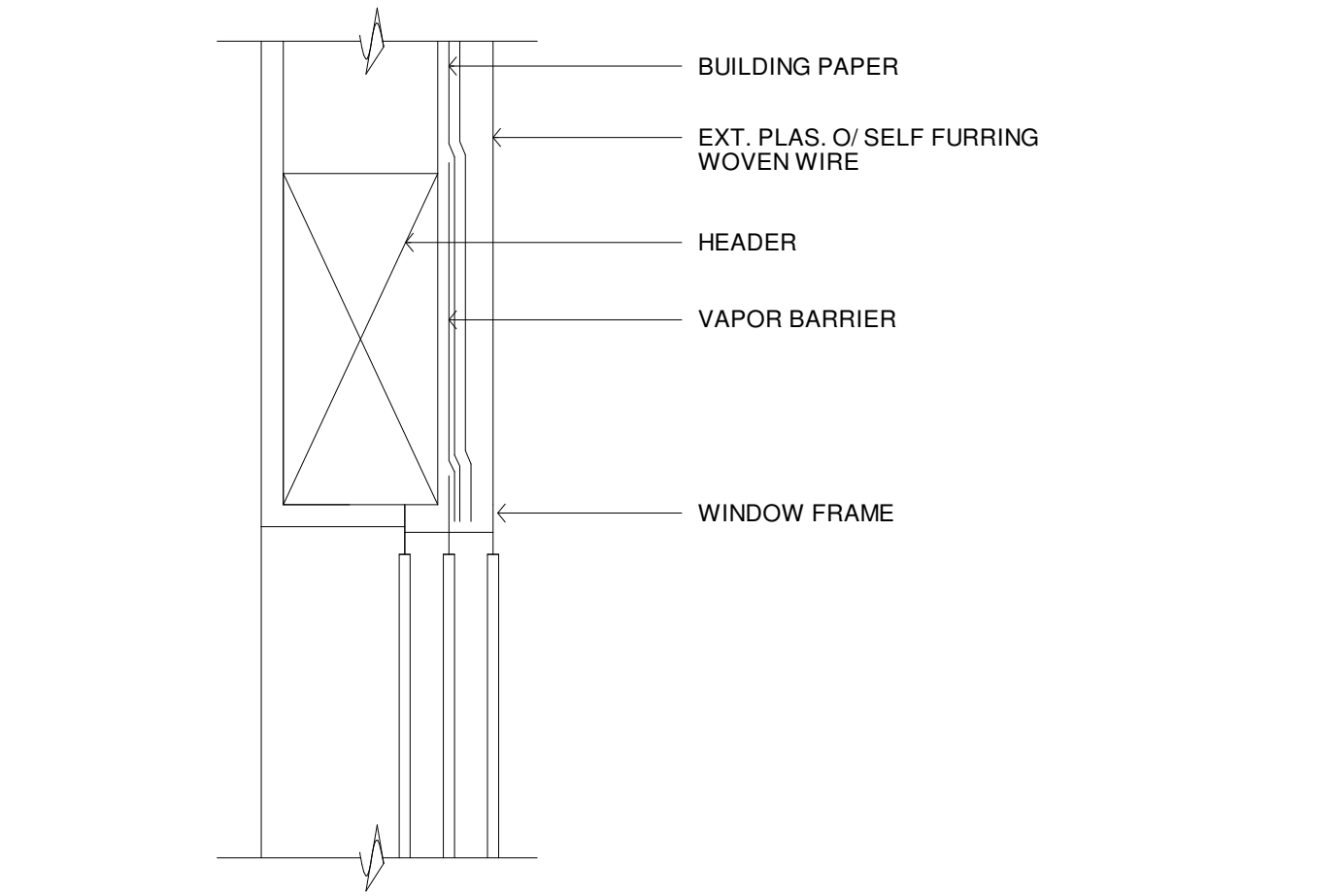
NEW FOOTING

5
7



TYP. NON-BRG. WALL

1
7



WINDOW HEAD

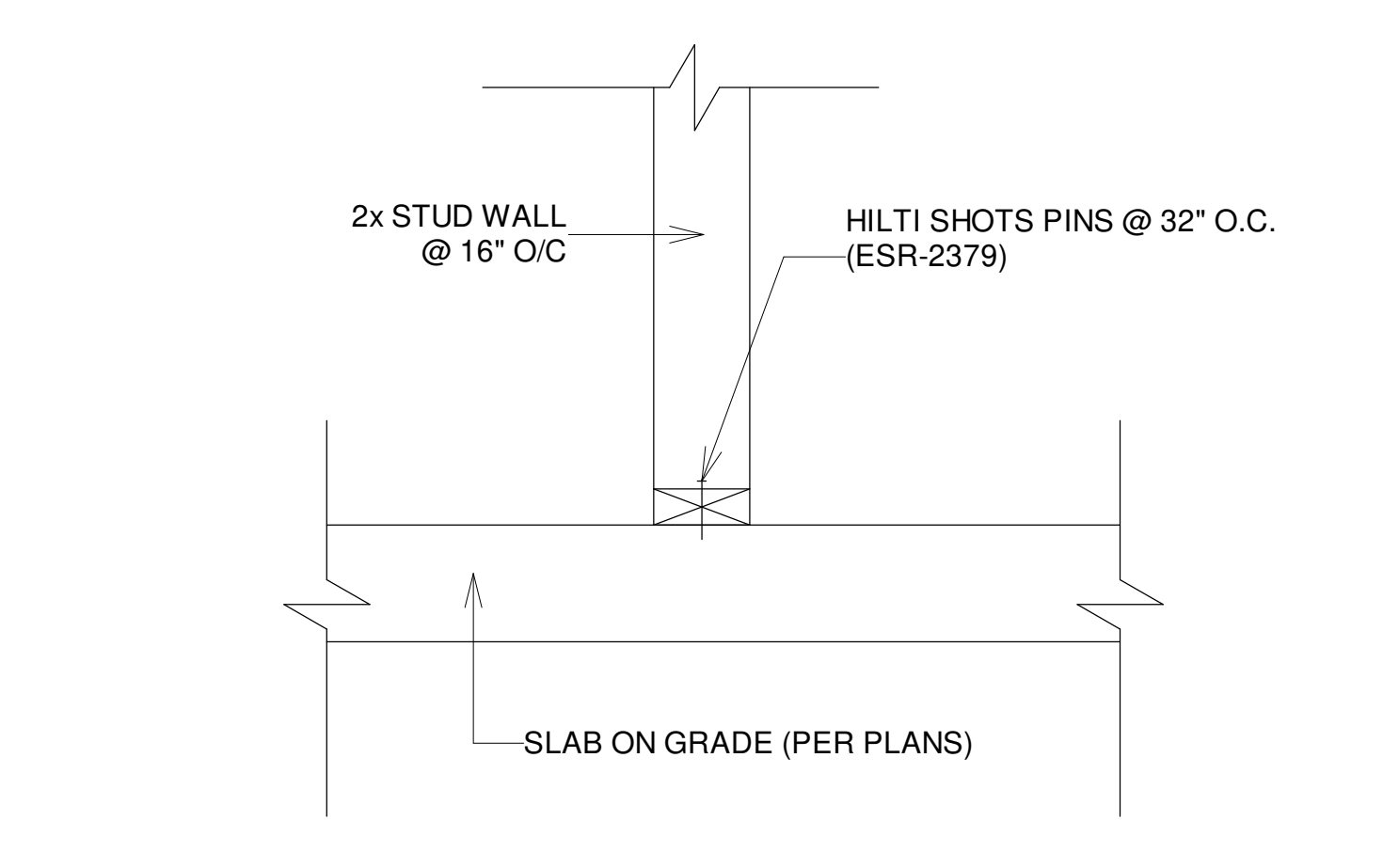
10
7

MODEL NO.	STEM WIDTH	DIA.	L	MIN EMBED.	ALLOWABLE TENSION LOAD		
					CONCRETE (f _c = 2500 psi)	CONCRETE 8" CMU BLOCK	CONCRETE 8" CMU CLOCK END
SSTB14	9	5/8"	16	11	3355		
SSTB16	6	5/8"	17 5/8" (SSTB16L = 19 5/8")	12 5/8"	4420	4780	1850
SSTB20	6	5/8"	21 5/8" (SSTB16L = 24 5/8")	16 5/8"	4600	4780	1850
SSTB24	6	5/8"	25 5/8" (SSTB16L = 28 1/8")	20 5/8"	5175	4780	1850
SSTB28	8	7/8"	29 5/8" (SSTB16L = 32 7/8")	24 7/8"	10100	6385	4815
SSTB34	8	7/8"	34 7/8"	28 7/8"	10100	6385	4815
SSTB36	8	7/8"	38 7/8"	28 7/8"	10100	6385	4815

MODEL NO.	2x, 3x, 2-2x SILL PLATES	
	MONO POUR	TWO POUR
HDU2, HD2A, LTT19, LTT20B, LTT131	SSTB16	SSTB20
HTT15	SSTB16	SSTB20
HDU4, HD5	SSTB20	SSTB24
HTT22, HDC5/22, HDC5/4, HDU5, HD5	SSTB24	SSTB24
HDU6, HDC6, HDC10/22, HDC10/4, HD7, HD9	SSTB28	SSTB34

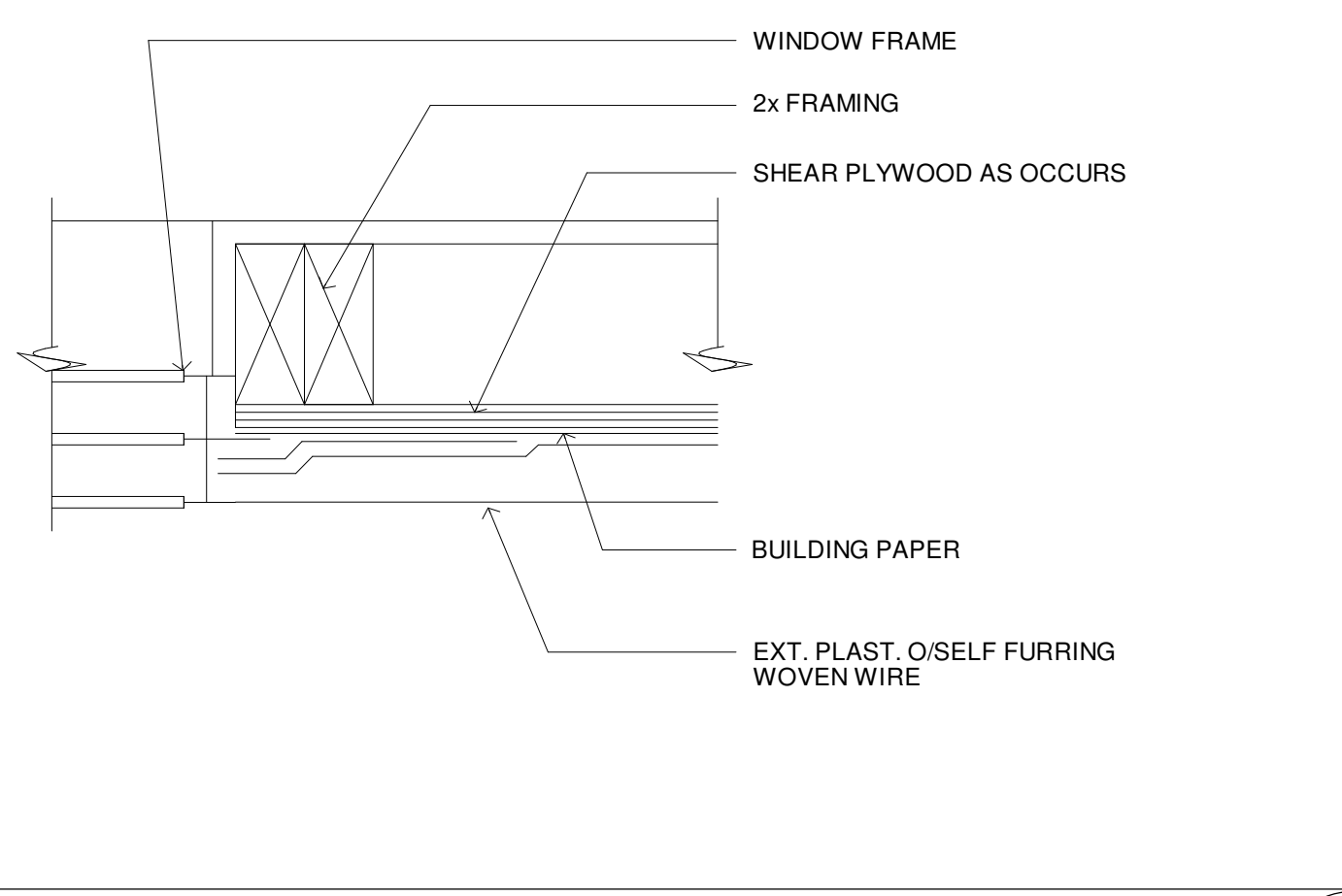
HOLD DOWN

6
7



TYP. NON-BRG. WALL

2
7



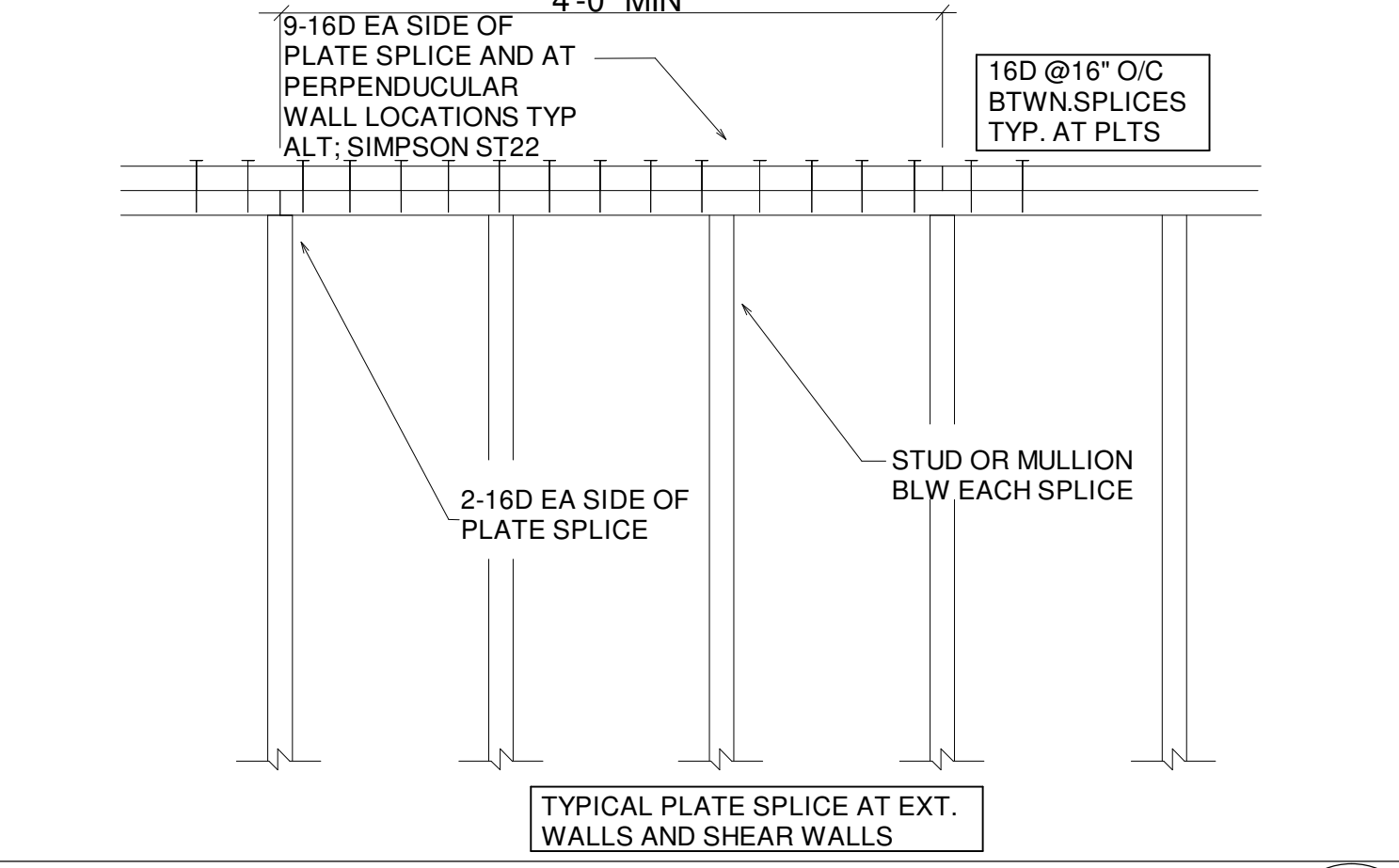
WINDOW JAMB

11
7

OPENING SIZE	HEADER SIZE 2x6 WALL	HEADER SIZE 2x4 WALL
4'-0" MAX.	6x6 HDR.	4x6 HDR.
6'-0" MAX.	6x6 HDR.	4x8 HDR.
8'-0" MAX.	6x8 HDR.	4x8 HDR.
10'-0" MAX.	6x10 HDR.	4x10 HDR.
12'-0" MAX.	6x12 HDR.	4x12 HDR.

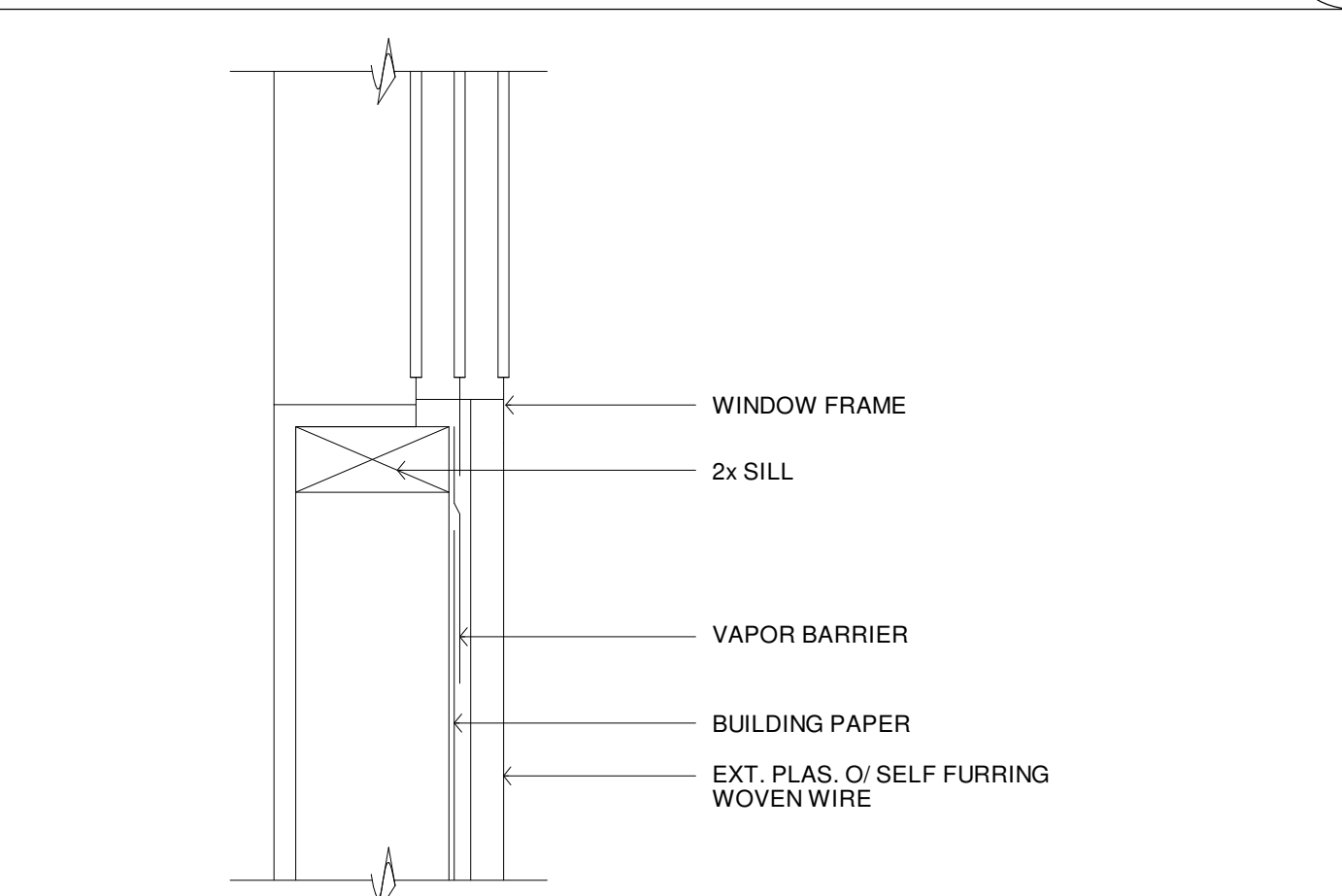
TYPICAL HEADER SCHEDULE (U.N.O.)

7
7



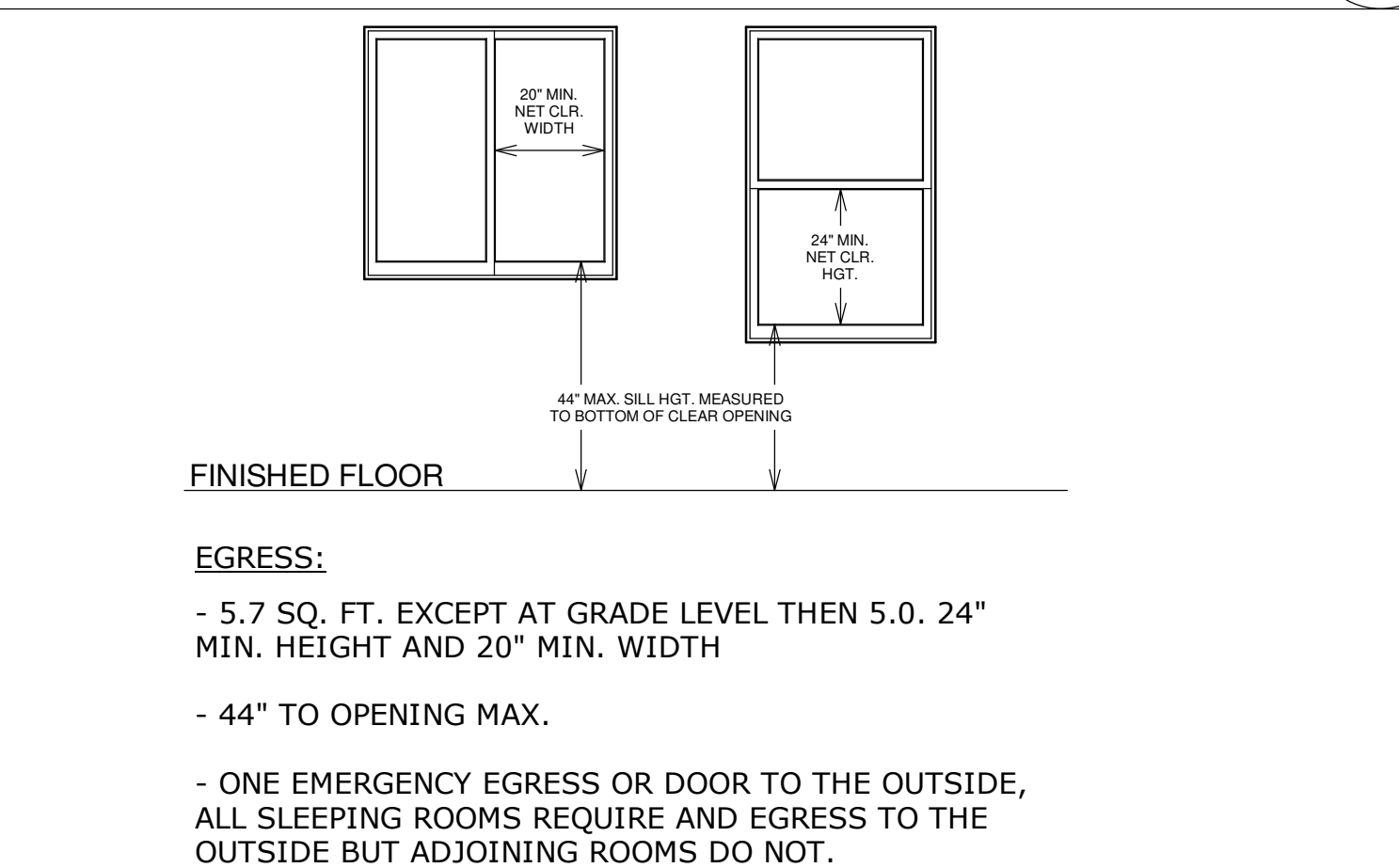
TYPICAL PLATE SPLICE AT EXT. WALLS AND SHEAR WALLS

3
7



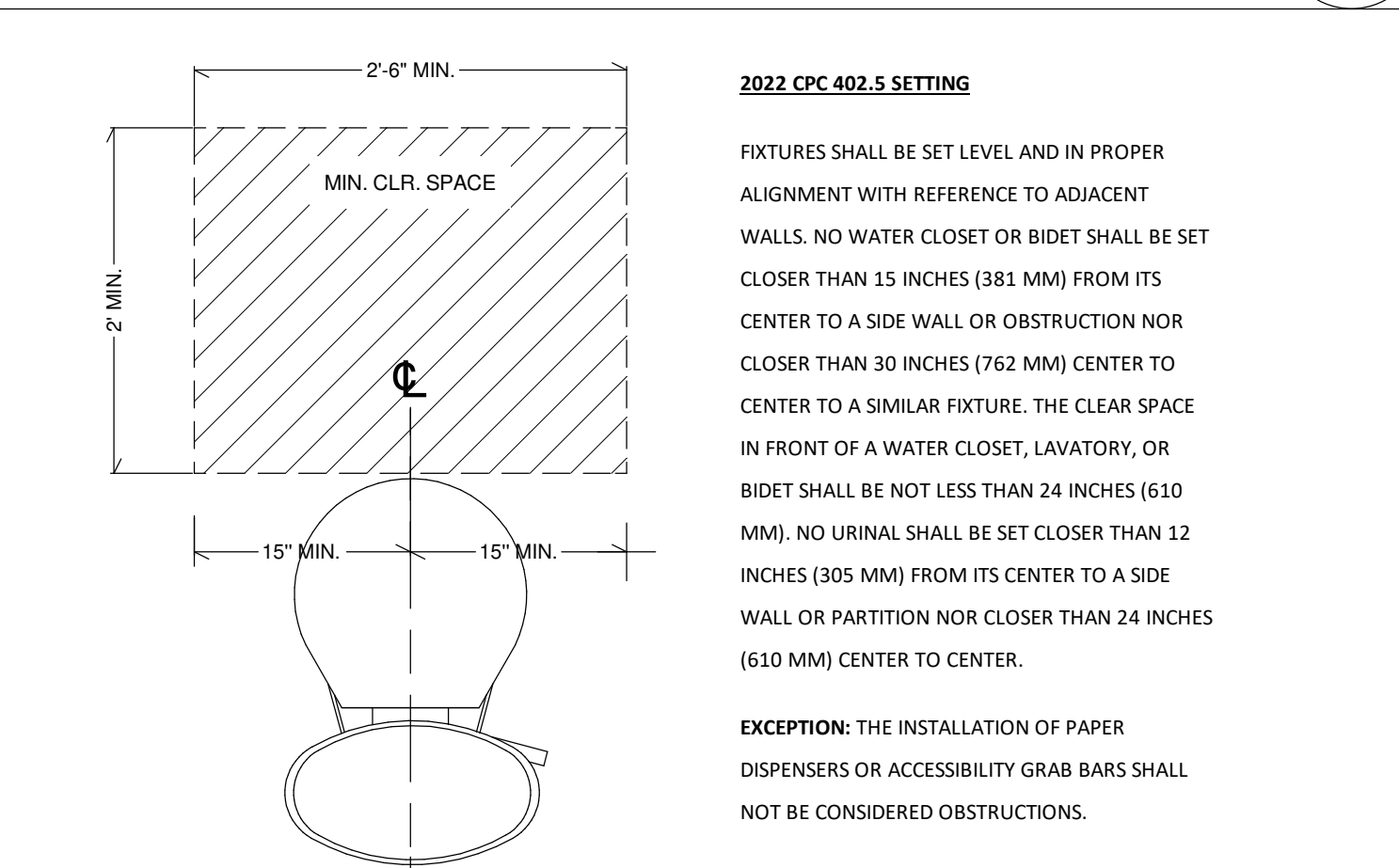
WINDOW SILL

12
7



EGRESS

8
7



TOILET CLEARANCE

4
7



NO.	DESCRIPTION	BY	DATE

SHEET TITLE: **DETAILS**

PROJECT DESCRIPTION: **PROPOSED ACCESSORY STRUCTURE**
2335 DANILBERG DR
MORGAN HILL, CA

DRAWINGS PROVIDED BY: **POWELL AND ASSOCIATES INC.**
5008 JASMINE ST. STE B
SAN JOSE, CA 95128
(951) 352-3568

DATE:

2/12/2025

SCALE:

SHEET:

7

	<p>LSTA30 W/ 6-10d x 1 1/2" @ EA. SIDE TO RAFTERS @ 32" O.C. ROOF SH'T'G 2x RAFTERS (PER FRAMING PLAN) 2x RIDGE (PER FRAMING PLAN)</p>	<p>NOTCHING AND BORING RAFTERS AND CEILING JOISTS (NOTCHING NOT PERMITTED IN MIDDLE 1/3 OF RAFTER OR JOIST SPAN)</p> <p>OR EACH BORED STUD DOUBLED. NOT PERMITTED IN MORE THAN 2 DOUBLED STUDS.</p> <p>BEARING PARTITIONS: 25% MAX., 40% MAX., 5/8" MIN. NON-BEARING PARTITIONS: 40% MAX., 60% MAX., 5/8" MIN.</p>	<p>2x DBL TOP PLATE 2x CRIPPLE STUDS 4x HEADER (PER PLANS) 2x KING STUDS 2x TRIMMER STUDS 2x FIREBLOCKING 2x STUDS @ 16" O.C. 2x SILL PLATE</p>
<p>13 8</p>	<p>RIDGE</p>	<p>NOTCHING AND BORING: WALL STUDS RAFTER/CEILING JOISTS</p>	<p>DOOR FRAMING SECTION</p>
<p>SHEAR PLYWOOD AS OCCURS BUILDING PAPER EXT. PLAS. O/ SELF FURRING WOVEN WIRE 2x P.T.D.F. SILL PLATE (U.N.O.) CORROSION RESISTANT WEEP SCREED W/ 3 1/2" VERT. ATTACHMENT FLANGE 4" MIN. ABOVE GRADE, OR 2" ABOVE PAVEMENT SLOPE 2% MIN. FINISH GRADE</p>	<p>STUCCO SCREED</p>	<p>EXTERIOR WALL CONSTRUCTION</p> <p>BROWN COAT SCRATCH COAT METAL LATH JUMBO TEX DOUBLED OVER SHEAR</p> <p>COLOR COAT PLASTER/ STONE OR VENEER</p> <p>NEW EXISTING (N) STUCCO PATCH (N) WIRE MESH PATCH LAP WIRE MESH & FELT 2" (N) 2-LAYERS OF 15# FELT PATCH 2" FURRING NAILS W/ WAD @ 6" O.C. (E) STUCCO (E) WIRE MESH & FELT</p>	<p>EXTERIOR PLASTER O/ SELF FURRING WOVEN WIRE BUILDING PAPER HEADER VAPOR BARRIER CAULKING WOOD DOOR FRAME WEATHERSTRIP DOOR</p>
<p>14 8</p>	<p>STUCCO SCREED</p>	<p>STUCCO DETAIL</p>	<p>DOOR HEAD</p>
<p>ROOF SH'T'G (PER ROOF PLAN) ROOFING (PER ROOF PLAN) 2x RAFTER (PER ROOF PLAN) SHIPLAP 2x BLK'G W/ A35 @ 16" O.C. FASCIA H2.5 @ EA. RAFTER TO TOP PLATES (3) - SDWS TIMBER SCREWS FROM RAFTER TO CEIL. JST 2x CEILING JOIST (PER ROOF PLAN)</p>	<p>RAFTER TO EXTERIOR WALL</p>	<p>DOOR WEATHERSTRIP 2x FRAMING VAPOR BARRIER BUILDING PAPER EXTERIOR PLASTER O/ SELF FURRING WOVEN WIRE WOOD DOOR FRAME</p>	<p>DOOR JAMB</p>
<p>15 8</p>	<p>RAFTER TO EXTERIOR WALL</p>	<p>DOOR JAMB</p>	<p>DOOR THRESHOLD</p>
<p>RAFTER H2A ROOF SH'T'G 2x4 STRONGBACK W/ FACE NAIL TO FLAT 2x4 W/ 3 16d @ 24" O.C. 2x4 FLAT OUTLOOKER @ 16" O.C. O/ 2x4 GABLE END STUD LET THRU 2x6 DIAGONAL W/ 2-16d @ EA. END H3 ON ALTERNATING SIDES SHEAR WALL SH'T'G PER PLAN BEAM/HEADER WHERE OCCURS 2x STUD WALL WHERE OCCURS CEIL. JST (PER PLAN)</p> <p>NOTE: UTILIZE THIS DETAIL AT THE RIDGE AND 4'-0" ON EA. SIDE OF RIDGE</p>	<p>GABLE END</p>	<p>DOOR DOOR SHOE ALUMINUM THRESHOLD-PROVIDE BITUMINOUS COATING ON SILL FOR SEPARATION OF ALUM. & CONC. (OR PRESSURE TREATED SILL LET IN TO SLAB) OR OTHER APPROVED MEASURE TO ISOLATE/PROTECT PER SECTION 2004, 2010 CBC CONC. STOOP (EXISTING) FOOTING (EXISTING)</p>	<p>DOOR THRESHOLD</p>
<p>16 8</p>	<p>GABLE END</p>	<p>DOOR THRESHOLD</p>	<p>DOOR THRESHOLD</p>



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
DETAILS

PROJECT DESCRIPTION:
PROPOSED ACCESSORY STRUCTURE
2325 DANILBERG DR
MORGAN HILL, CA

DRAWINGS PROVIDED BY:
POWELL AND ASSOCIATES INC.
5908 JASMINE ST. STE B
SAN JOSE, CA 95128
(951) 332-3568

DATE:

2/12/2025

SCALE:

SHEET:

8

SECTION 4.303

INDOOR WATER USE

4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with Sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.
 Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.
 4.303.1.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.
 Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.
 4.303.1.2 Urinals. The effective flush volume of wallmounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.
 4.303.1.3 Showerheads.
 4.303.1.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.
 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.
 Note: A hand-held shower shall be considered a showerhead.
 4.303.1.4 Faucets.
 4.303.1.4.1 Residential lavatory faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.
 4.303.1.4.2 Lavatory faucets in common and public use areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.
 4.303.1.4.3 Metering faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.
 4.303.1.4.4 Kitchen faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.
 Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.
 4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

SECTION 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Exceptions:
 1. Excavated soil and land-clearing debris.
 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
 4.408.2 Construction waste management plan. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.
 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
 2. Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
 3. Identify diversion facilities where the construction and demolition waste material will be taken.
 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
 4.408.3 Waste management company. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.
 4.408.4 Waste stream reduction alternative [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65 percent construction waste reduction requirement in Section 4.408.1.
 4.408.4.1 Waste stream reduction alternative. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65 percent construction waste reduction requirement in Section 4.408.1.
 4.408.5 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4.
 Notes:
 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at <http://www.hcd.ca.gov/building-standards/calgreen/cal-green-form.shtml> may be used to assist in documenting compliance with this section.
 2. Mixed construction and demolition debris (C&D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

SECTION 4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 Operation and maintenance manual. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:
 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
 2. Operation and maintenance instructions for the following:
 a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
 b. Roof and yard drainage, including gutters and downspouts.
 c. Space conditioning systems, including condensers and air filters.
 d. Landscape irrigation systems.
 e. Water reuse systems.
 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
 4. Public transportation and/or carpool options available in the area.
 5. Educational material on the positive impacts of an interior relative humidity between 30–60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
 6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
 9. Information about state solar energy and incentive programs available.
 10. A copy of all special inspection verifications required by the enforcing agency or this code.

SECTION 4.504 POLLUTANT CONTROL

4.504.1 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris, which may enter the system.
 4.504.2 Finish material pollutant control. Finish materials shall comply with this section.
 4.504.2.1 Adhesives, sealants and caulks. Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:
 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.
 4.504.2.2 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories

listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.
 4.504.2.3 Aerosol paints and coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.
 4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:
 1. Manufacturer's product specification.
 2. Field verification of on-site product containers
 4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:
 1. Carpet and Rug Institute's Green Label Plus Program.
 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.)
 3. NSF/ANSI 140 at the Gold level.
 4. Scientific Certifications Systems Indoor Advantage™ Gold.
 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.
 4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:
 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
 4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.
 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:
 1. Product certifications and specifications.
 2. Chain of custody certifications.
 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S, and Canadian CSA O121, CSA O151, CSA O153 and CSA O325 standards.
 5. Other methods acceptable to the enforcing agency

SECTION 4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:
 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 a. Humidity controls shall be capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent. A humidity control may utilize manual or automatic means of adjustment.
 b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).
 Notes:
 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower, or tub/shower combination.
 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.
 SECTION 4.507 ENVIRONMENTAL COMFORT
 4.507.1 Reserved.
 4.507.2 Heating and air-conditioning system design. Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following methods:
 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J—2016 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.

2. Duct systems are sized according to ANSI/ACCA 1 Manual D—2016 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S—2014 (Residential Equipment Selection) or other equivalent design software or methods.
 Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.

SECTION 4.507 FIREPLACES

4.507.1 General. Any installed gas fireplace shall be a directvent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

SECTION 4.507 ENVIRONMENTAL COMFORT

4.507.1 Reserved.
 4.507.2 Heating and air-conditioning system design. Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following methods:
 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J—2016 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
 2. Duct systems are sized according to ANSI/ACCA 1 Manual D—2016 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S—2014 (Residential Equipment Selection) or other equivalent design software or methods.
 Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
CALIFORNIA GREEN BUILDING STANDARDS

PROJECT DESCRIPTION:
PROPOSED ACCESSORY STRUCTURE
2335 DANILBERG DR
MORGAN HILL, CA

DRAWINGS PROVIDED BY:
POWELL AND ASSOCIATES INC.
5908 JASMINE ST STE B
SAN JOSE, CA 95128
(951)392-3568

DATE:

2/12/2025

SCALE:

SHEET:

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